

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition

APPLICANT: Patricia McCallister

LOCATION: Old and Historic Alexandria District
705 Devon Place

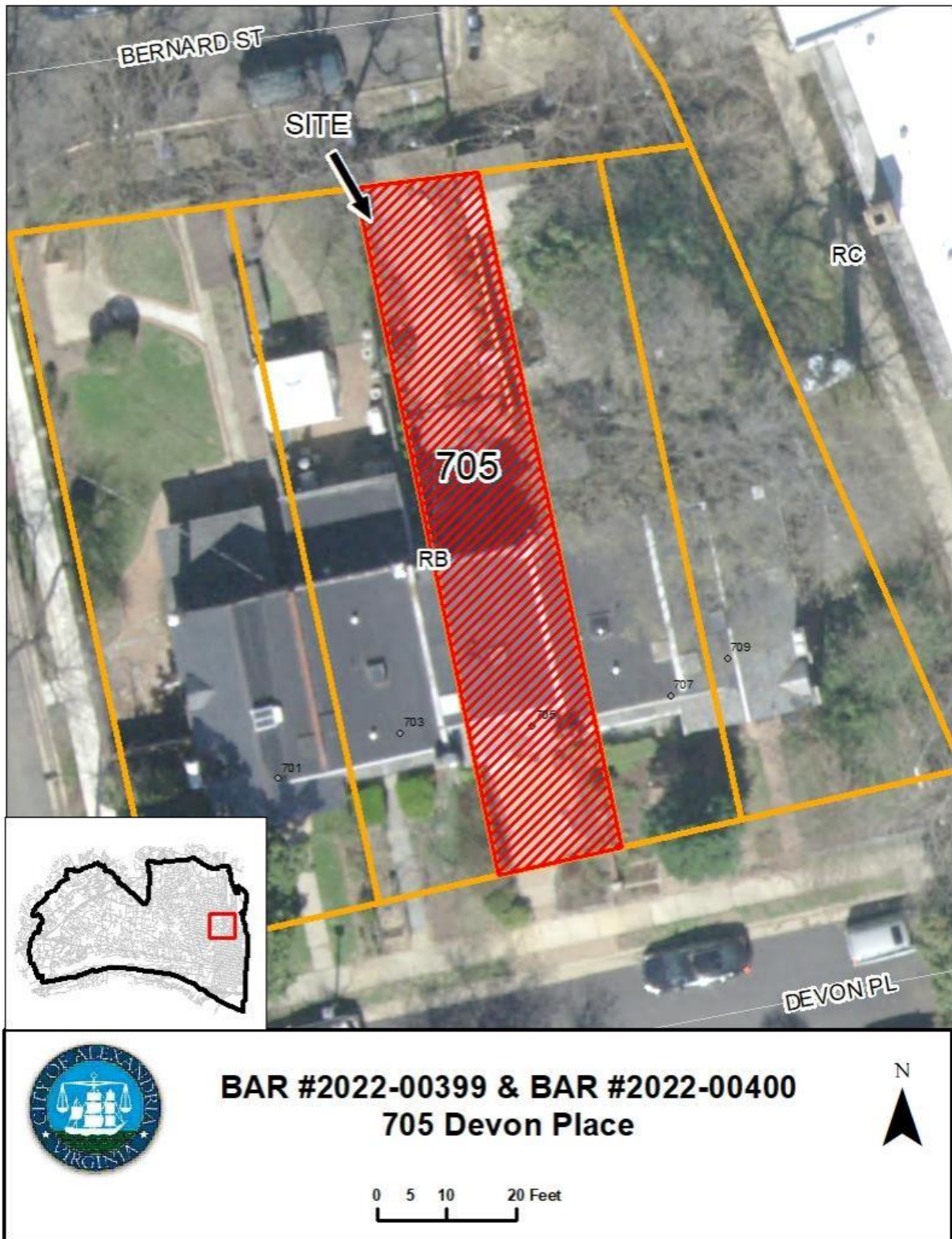
ZONE: RB/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the permit to Demolish (partial) and Certificate of Appropriateness for alterations with the condition that the applicant work with staff to select finishing materials for the new addition.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR #2022-00400) and Certificate of Appropriateness (BAR #2022-00399) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant is requesting a permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a one-story addition at the rear, at 705 Devon Place.

Permit to Demolish/Capsulate

The project calls to remove an existing rear deck and capsulating approximately 96 square feet of the rear/north elevation first-floor wall.

Certificate of Appropriateness

The approximately 14 feet wide by 12 feet deep one-story addition at the rear/north elevation will be partially visible from a public way (Figure 1).



Figure 1- visibility from Bernard Street

Site context

The subject property sits in the middle of the 700 Block of Devon Place on the north side. The rear of the property faces Bernard Street.

II. HISTORY

The two-story, two-bay vernacular townhouse with Cape Cod style features was built in **1939**. The row of six townhouses is part of a larger neighborhood known as Fagelsons's Addition, most of which was constructed in 1939 and 1940. The area has been part of the historic district since the Old and Historic Alexandria District (OHAD) was originally established in 1946. The OHAD boundaries extend 500' either side of the centerline of the George Washington Memorial Parkway from First Street north to Four Mile Run and were included within the boundaries of the district to protect the memorial character of the viewshed from the Parkway.

Previous BAR Approvals

BAR2022-00273, approval for window replacement (5/27/2022)

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	Not visible
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No

(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No
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In the opinion of staff, none of the criteria for demolition and capsulation are met in this case and the Permit to Demolish/Capsulate should be granted. The building is considered a Late (built after 1931) structure in the Old and Historic Alexandria District, and most of historic fabric to be encapsulated is limited to the rear elevation and will not compromise the integrity of the main block. The materials and workmanship of the affected portions could be reproduced easily today.

Certificate of Appropriateness

Addition

The *Design Guidelines* state that “As a general rule, the stylistic characteristics of additions to residential buildings should reflect the historical architectural styles found within the historic districts. Because of the long history and diversity of architectural styles in Alexandria, The Boards do not consider this a limiting factor.” In addition, “It is not the intention of the Boards to dilute design creativity in residential additions. Rather, the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of late 20th [21st] century while being compatible with the historic character of the districts.”

Staff has no objection to the construction of a one-story addition at the rear of the property. The addition will be minimally visible from the public way and will not detract from the historic character of the main historic building or the historic district. Furthermore, the Board routinely approves changes on the rear elevations of historic buildings to accommodate a more modern and functional interior layout as tastes and technology evolve. The existing rear elevation does not exhibit a high level of design or architectural detail as well, and due to the limited visibility; BAR review of the addition design is not necessary. However, the applicant did not submit material specifications for the new addition, therefore staff recommends approval of the project with the condition that the applicant work with staff to select finishing materials.

STAFF

Marina, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- F-1 The proposal will meet the 800 square feet of required open space and will be under the allowed floor area of 1,314 square feet.
- F-2 Proposed one-story rear addition and new deck comply with zoning.

Code Administration

- C-1 A building permit is required to review.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 Maps from the mid 1800's show that this property was in close proximity to both a railroad and a canal. There is some limited potential for archaeological evidence related to these two transportation mechanisms, but the area was otherwise undeveloped until the early 1900's. A 1900 map shows the property included in an 8.5-acre parcel owned by Andrew J. Turley and the existing structure was built in 1939.
- R-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The applicant should not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3 The above statements (in R-1, R-2) must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement.

V. ATTACHMENTS

1 – Supplemental Materials

BAR Case # _____

ADDRESS OF PROJECT: 705 DEVON PLACE ALEXANDRIA VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 044.02-04-03

ZONING: RB

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: PATRICIA MCALLISTER

Address: 705 DEVON PLACE

City: ALEXANDRIA

State: VA

Zip: 22314

Phone: 7038131768

E-mail: ana@elitecontractorservices.com

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ CONTRACTOR

Name: ANA R BLANCO

Phone: 703-813-1768

E-mail: ANA@ELITECONTRACTORSERVICES.COM

Legal Property Owner:

Name: PATRICIA MCALLISTER

Address: 705 DEVON PLACE

City: ALEXANDRIA

State: VA

Zip: 22314

Phone: 703-517-2761

E-mail: pmcalliste@aol.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☒ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Design and build 14'W X 12'D one story addition in the rear of the house to
accommodate a new family room, powder room, demo and dispose existing deck

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☒ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: ANA R BLANCO

Date: 08/17/2022



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. 705 DEVON PLACE ALEXANDRIA VA
Street Address

RB

Zone

A2. 1,752.00 x 1.50 = 2,628.00
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement 493.00

First Floor 493.00

Second Floor 493.00

Third Floor

Attic

Porches

Balcony/Deck

Lavatory***

Other**

B1. Total Gross 1,479.00

Allowable Exclusions**

Basement**

Stairways**

Mechanical**

Attic less than 7**

Porches**

Balcony/Deck**

Lavatory***

Other**

Other**

B2. Total Exclusions 0.00

B1. 1,479.00 Sq. Ft.
Existing Gross Floor Area*

B2. 0.00 Sq. Ft.
Allowable Floor Exclusions**

B3. 1,479.00 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area

Basement

First Floor 173.00

Second Floor

Third Floor

Attic

Porches

Balcony/Deck

Lavatory***

Other

C1. Total Gross 173.00

Allowable Exclusions**

Basement**

Stairways**

Mechanical**

Attic less than 7**

Porches**

Balcony/Deck**

Lavatory***

Other**

Other**

C2. Total Exclusions 0.00

C1. 173.00 Sq. Ft.
Proposed Gross Floor Area*

C2. 0.00 Sq. Ft.
Allowable Floor Exclusions**

C3. 173.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

**Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. 1,652.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 2,628.00 Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: *[Signature]*

Date: 08/17/2022

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. **Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Patricia McAllister	705 Devon Place Alexandria, VA 22314	100%
2.		
3.		

2. **Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 705 DEVON PLACE ALEXANDRIA VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. **Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

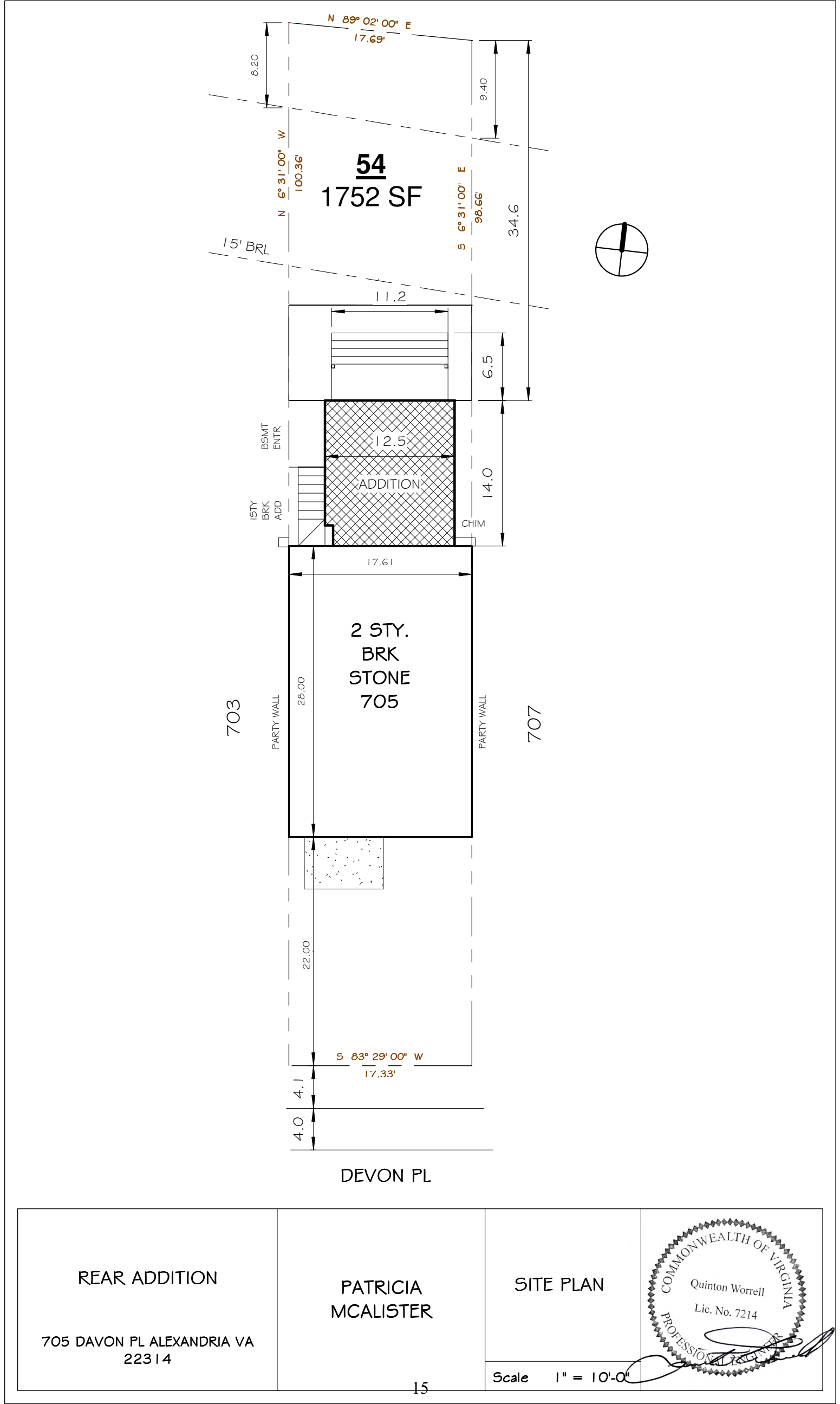
NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/19/22 PATRICIA McALLISTER Patricia McAllister
Date Printed Name Signature

Current Back of the House





RENOVATION EXTERIOR HOUSE

705 DEVON PL., ALEXANDRIA VIRGINIA, 22314

LIST OF DRAWING

Sheet	Sheet Name
A00	COVER SHEET
A01	SITE PLAN
A02	EXISTING 1ST FLOOR
A03	DEMO FLOOR PLAN
A04	NEW 1ST FLOOR PLAN
A05	ENLARGED FLOOR PLAN
A06	SECTION 1 SCHEDULES
A07	SECTION 2 PARTITIONS
A08	ELEVATIONS
A09	3D VIEWS
S01	FOUNDATION PLAN
S02	FRAMING PLANS
S03	BRACING WALLS

USED CODES

2018 Virginia Construction Code
2018 Virginia Existing Building Code
2018 Virginia Maintenance Code
2018 Virginia Statewide Fire Prevention Code
2018 Virginia Amusement Device Regulations
2018 Virginia Industrialized Building Safety Regulations
2018 Building Related Laws Package
2018 Virginia Certifications Standards
2018 Virginia Manufactured Home Safety Regulations

SCOPE OF WORK

Build an addition to the back of the house, creating a family room and half bath

GENERAL NOTES

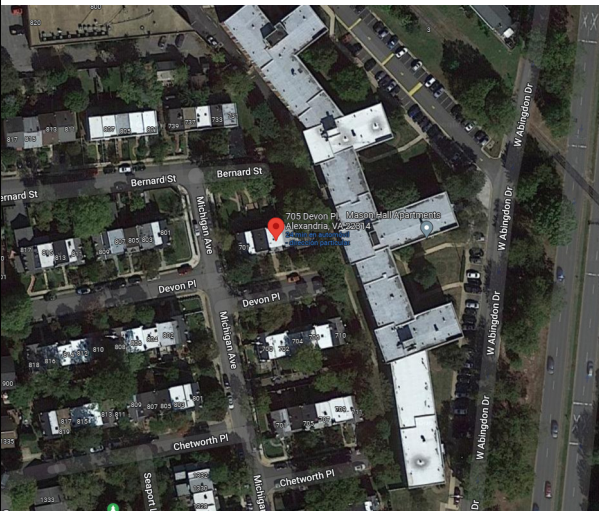
- Nothing set forth in these Drawings shall release the Contractor from its responsibility to provide appropriate quantities, field measurements, dimensional stability, installation, anchorage, and coordination with all other subcontractors and trades, or release the Contractor of responsibility to identify and resolve deviations from the requirements of these Documents, or release the Contractor of responsibility to alert the Architect to errors or omissions contained therein.
- The Contractor and all its subcontractors shall verify in the field all new and existing applicable conditions, dimensions, relationships, etc. shown in these Drawings and as pertinent to the intent of these Drawings. Any discrepancy discovered shall be brought to the attention of the Architect prior to the commencement of any Work affected by, or related to, such discrepancy. The Contractor shall be responsible for all costs associated with, or caused by, its failure to comply with this requirement.
- All floor plan dimensions shown on the New Floor Plans are from face of stud (whether new or existing wall) unless indicated otherwise by the designations "CL", "CLEAR", or .. "MIN." Coordinate with applicable new Wall Types and with applicable sections/details.
- The Contractor is to be responsible for job cleanliness. The Owner's facilities shall not be used for construction trash/debris disposal.
- The Contractor is to provide a complete, finished, and functional installation of all components described in these Drawings.
- Prepare all existing wall and floors scheduled to receive new finishes (or to be patched) as required to properly receive the new finish material. Coordinate with the Room Finish Schedule.
- AM =Verify in Field.
- All areas of depicted work existing in buildings that are currently occupied. The Contractor shall coordinate work time and access with the GUANO Project Manager and shall strive to ensure their work in no way adversely affects the adjacent occupied spaces.
- Warrant to the Owner that all materials and equipment furnished and installed under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from defects and faults, and conforms to the contract documents.
- The Contractor shall coordinate and work with all trades on the project not under contract to the Contractor (i.e. telephone, data lines, fire alarm, etc.). Any changes or delays arising from conflicts with such trades shall be the responsibility of the Contractor at no additional expense to the Owner.
- The Contractor shall be solely responsible for, and have control over, all construction means, techniques, sequences and procedures and for coordinating all portions of the work required by the contract documents.
- Contractor shall be responsible to patch and repair existing to remain gypsum wall board where previous demolition has left unfinished wall conditions.
- The Contractor shall schedule "loud" activities such as ductwork demolition and cutting; stud cutting, core drilling, installation of powder actuated fasteners, etc. until after hours, unless pre-approved by the UAO Project Manager, so as not to disrupt the Owner's activities. Coordinate the hours of these activities with the UAO Project Manager.



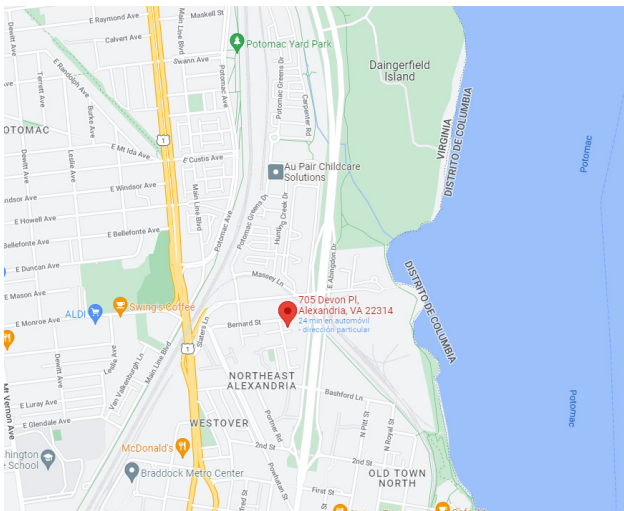
SYMBOLS

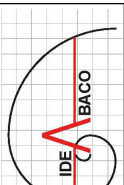
- FINISH GRADE WOOD
- PRECAST CONCRETE
- ALUMINUM
- BATT INSULATION
- RIDGE INSULATION
- CONCRETE MASONRY UNIT
- PLYWOOD
- GYPSON-PLASTER
- STEEL
- EARTH
- CERAMIC TILE
- SECTION HEAD
- CALLOUT HEAD
- EXTERIOR ELEVATION
- INTERIOR ELEVATION
- VIEW TITLE
- DOOR TYPES
- WINDOW TYPES
- PARTITION TYPE
- ELEVATION AFF
- ROOM NUMBERS
- CENTER LINE

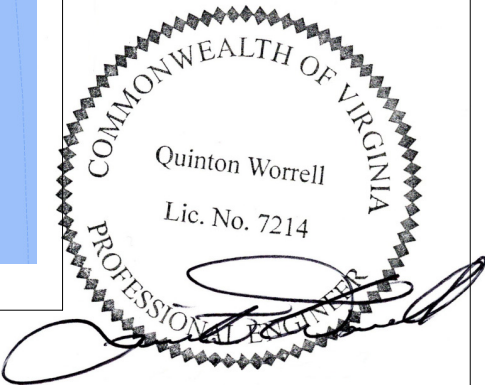
LOCATION

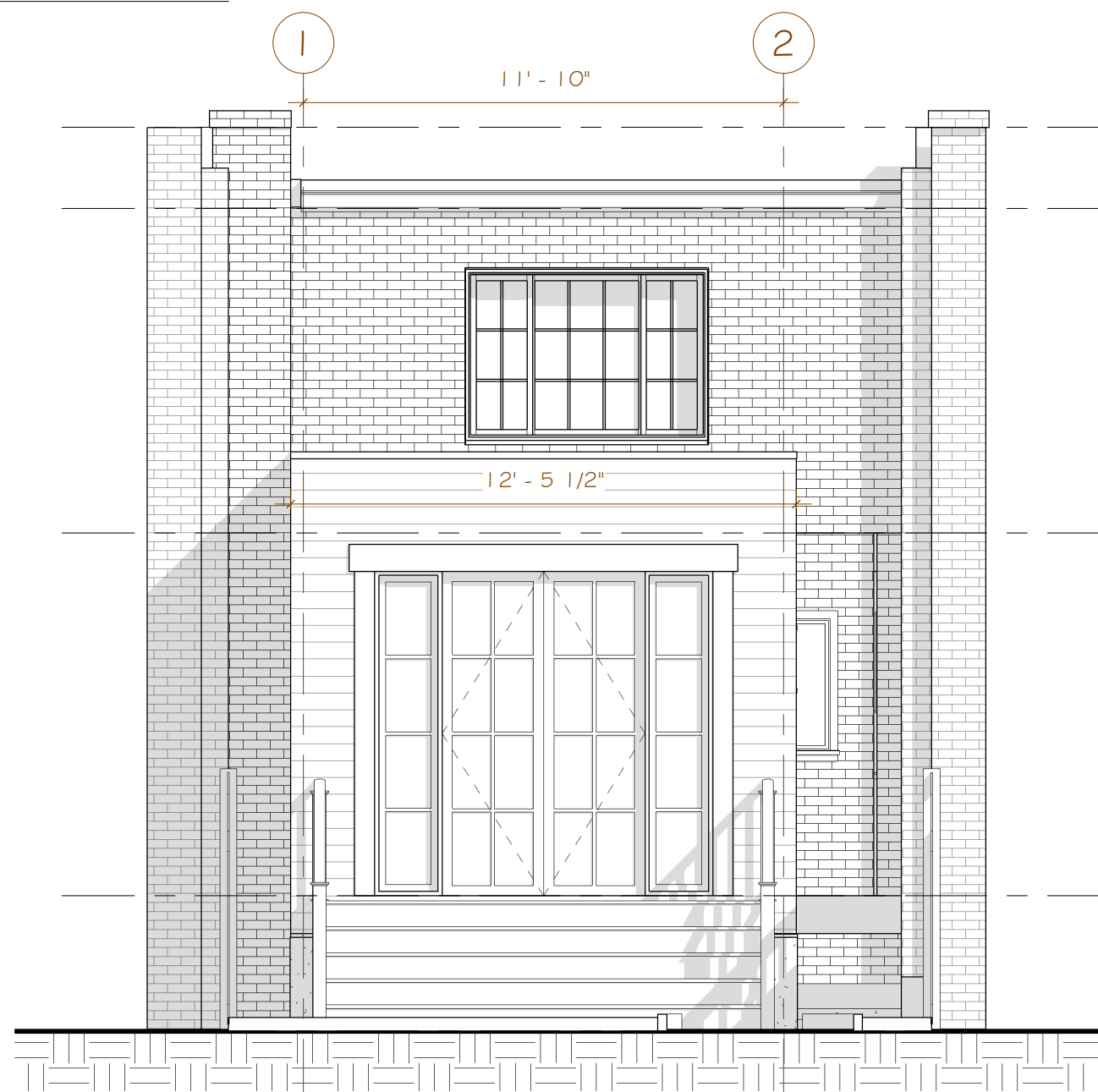


VICINITY MAP

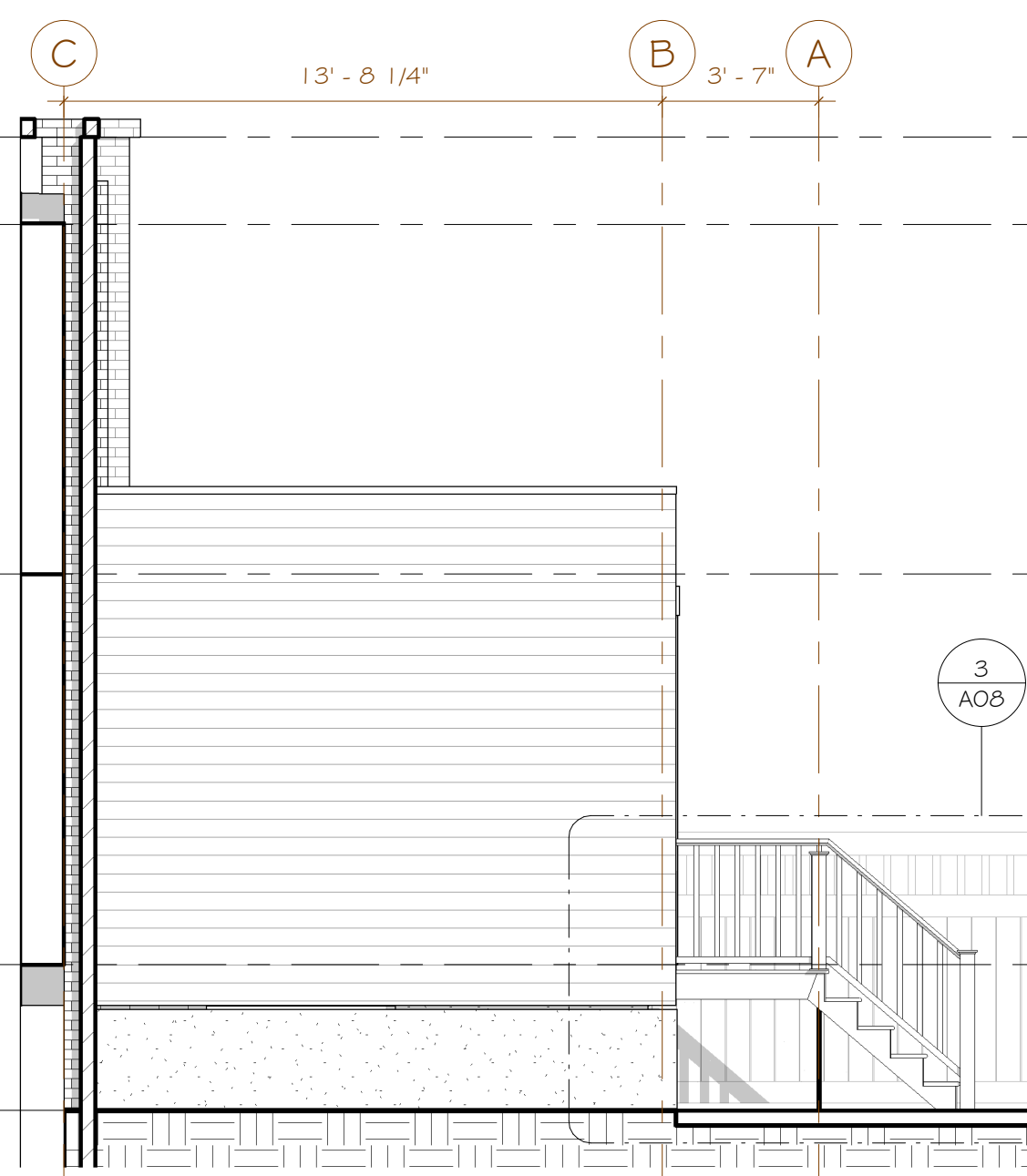


Designed By: 		Client: PATRICIA MCALISTER	
Designer			
No.		Date	
Description			
COVER SHEET		REAR ADDITION	
Project:		705 DEVON PL ALEXANDRIA VA 22314	
A00		Scale As indicated	

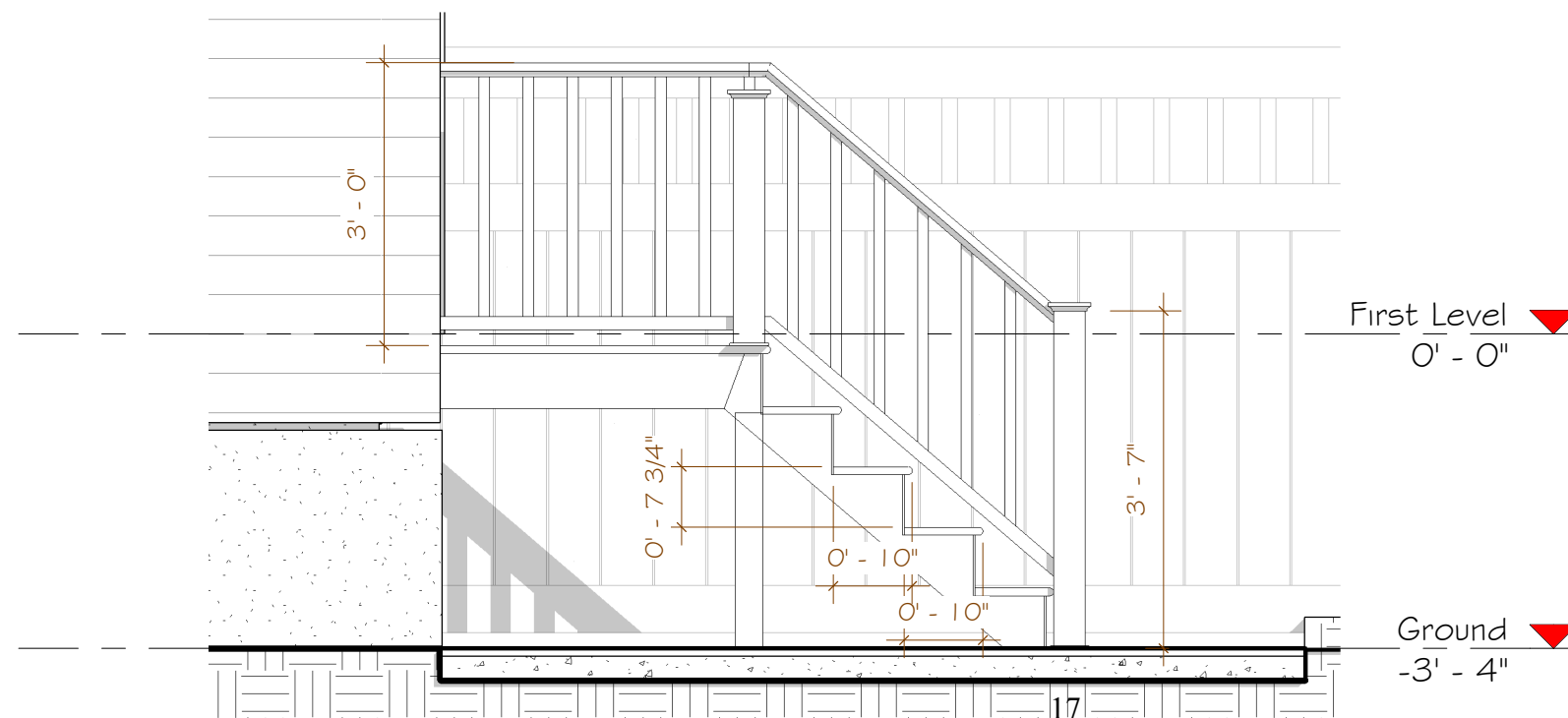




① NEW FRONT ELEVATION
1/4" = 1'-0"



② NEW SIDE ELEVATION
1/4" = 1'-0"



③ SECTION STAIRS
1/2" = 1'-0"

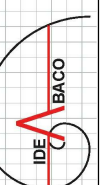
Top Roof ▼
18' - 11 1/4"
Ceiling Level ▼
16' - 11 1/4"

Second Level ▼
8' - 11 1/4"

First Level ▼
0' - 0"

Ground ▼
-3' - 4"

3
AO8

Designed By:  BACO
Diseñador
Client: **PATRICIA MCALISTER**

No.	Description	Date

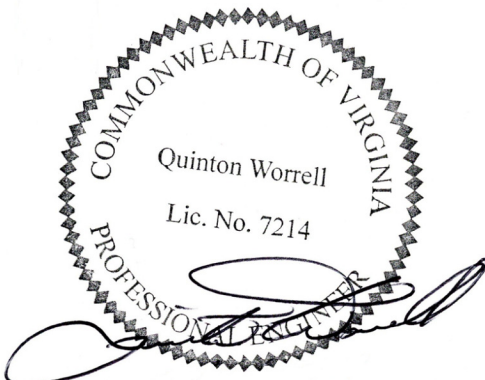
ELEVATIONS

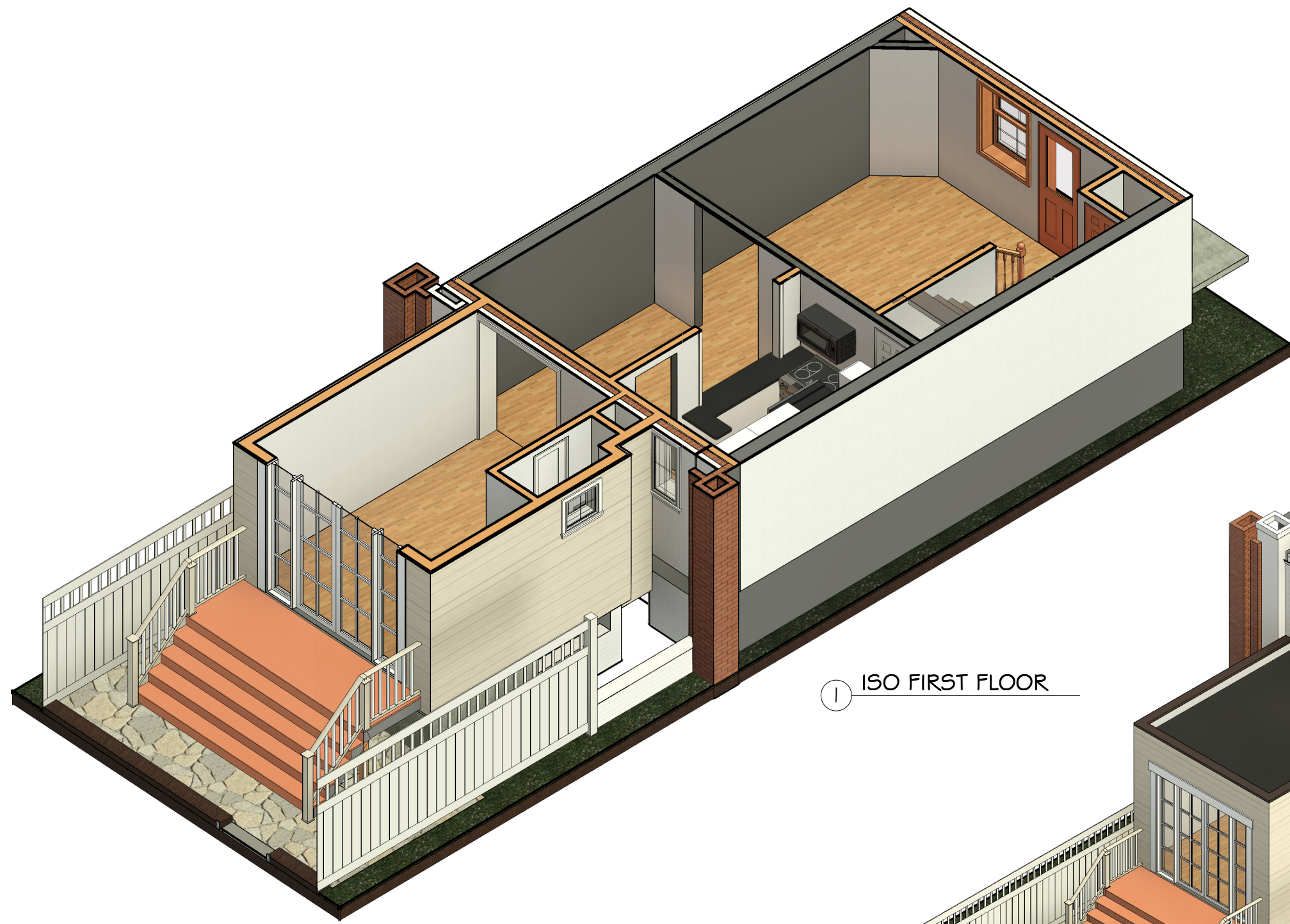
REAR ADDITION

705 DAVON PL ALEXANDRIA VA 22314

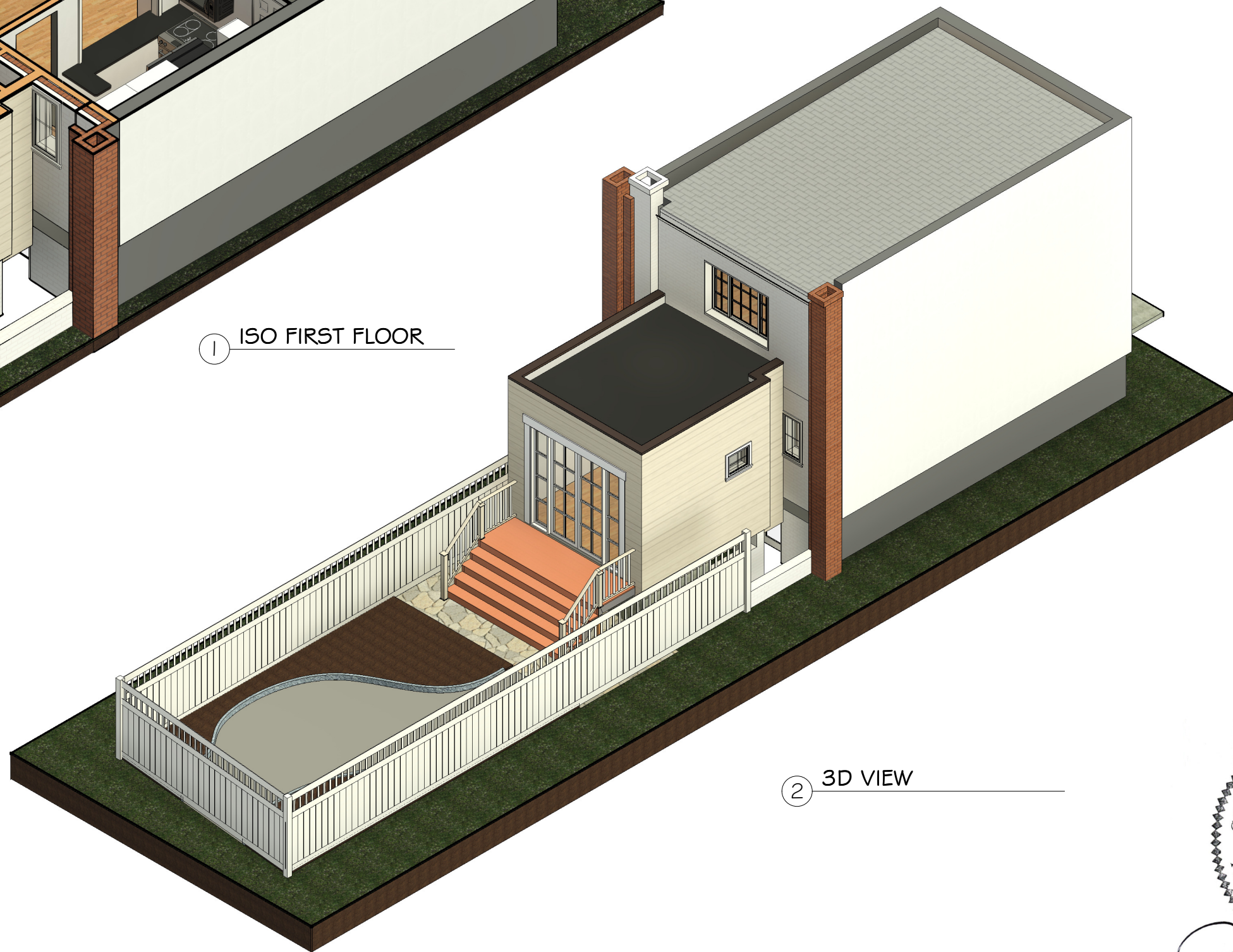
AO8

Scale As indicated






① ISO FIRST FLOOR



② 3D VIEW

<div>A09</div> <div>Scale</div>	Drawing Title:		3D VIEWS		Designed By:		<div></div>	
	Project:		REAR ADDITION		Designer			
							Client:	
							PATRICIA MCALISTER	
	No.	Description	Date					

