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Blair Barrett Deck  
Garage Roof Deck  
308 North Columbus St, Alexandria  
VA 22314

Scale: 1" = 20'
Date: 8/16/22
Revisions: PGH
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202203  
Schematic Design  
Document SDV1  
Proposed Plat

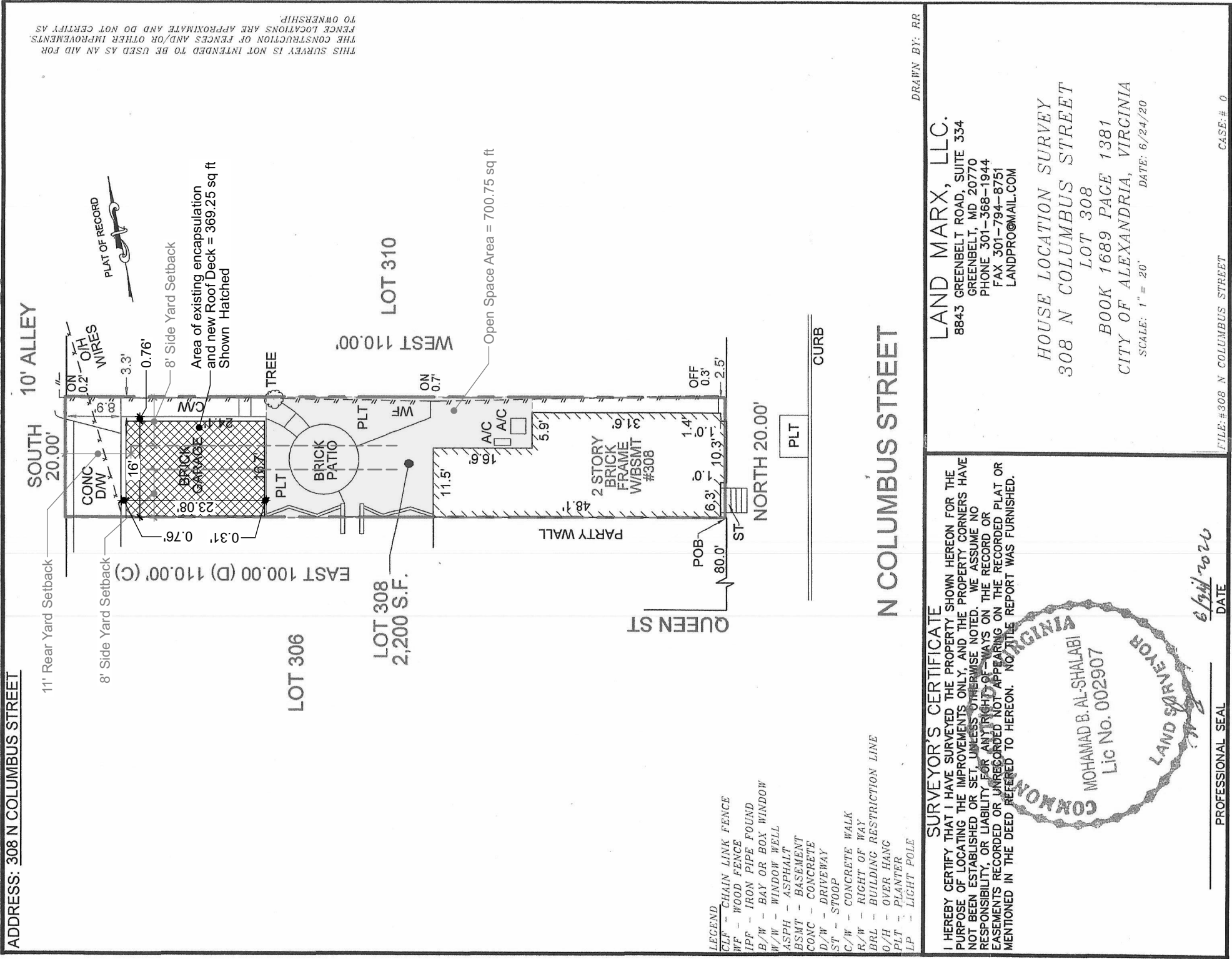
AR.01

Board of Architectural  
Review

Blair Barrett Plat

SCALE: 1" = 20'

1  
AR.01





SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

## Demolition Keynotes

General Demolition Notes:

1. Not demolition visible on exterior elevations
2. See Proposed for notes of existing elements

## Reason for Demolition / Encapsulation:

Clients would like to have a roof deck on top of their existing garage. This requires a roof top access.

There is not space in the following areas around the garage for the following reasons.

1. for an access in the back yard due to open space requirements.
2. Side yard space is needed for access to the street.
3. Ally space is required for garage access and would be contrary to reducing visible impact on the public right of way.

Alternatives to Demolition / Encapsulation:

There is not viable alternative to demolition of part of the roof deck for attic access hatch or for encapsulation of the roof to create the deck.

- |      |  |
|------|--|
| D001 | Remove roof deck and reframe roof as required to create new roof hatch opening |
| D002 | Area of roof to be encapsulated by new roof deck                               |

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Blair Barrett Deck  
Garage Roof Deck  
308 North Columbus St. Alexandria  
VA 22314

Date: 8/16/22

Revisions: PGH

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202203  
Schematic Design  
Document SDV1  
Existing - Demolition Plans

AR.02

Board of Architectural  
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Garage Roof Deck  
308 North Columbus St. Alexandria  
VA 22314

Scale: 1/4" = 1'-0", 1" = 1'-0"
Date: 8/16/22
Revisions: PGH
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202203  
Schematic Design  
Document SD/1  
Existing - Demolition  
Elevations  
**AR.03**  
Board of Architectural  
Review

### Demolition Keynotes

#### General Demolition Notes:

1. Not demolition visible on exterior elevations
2. See Proposed for notes of existing elements

#### Reason for Demolition / Encapsulation:

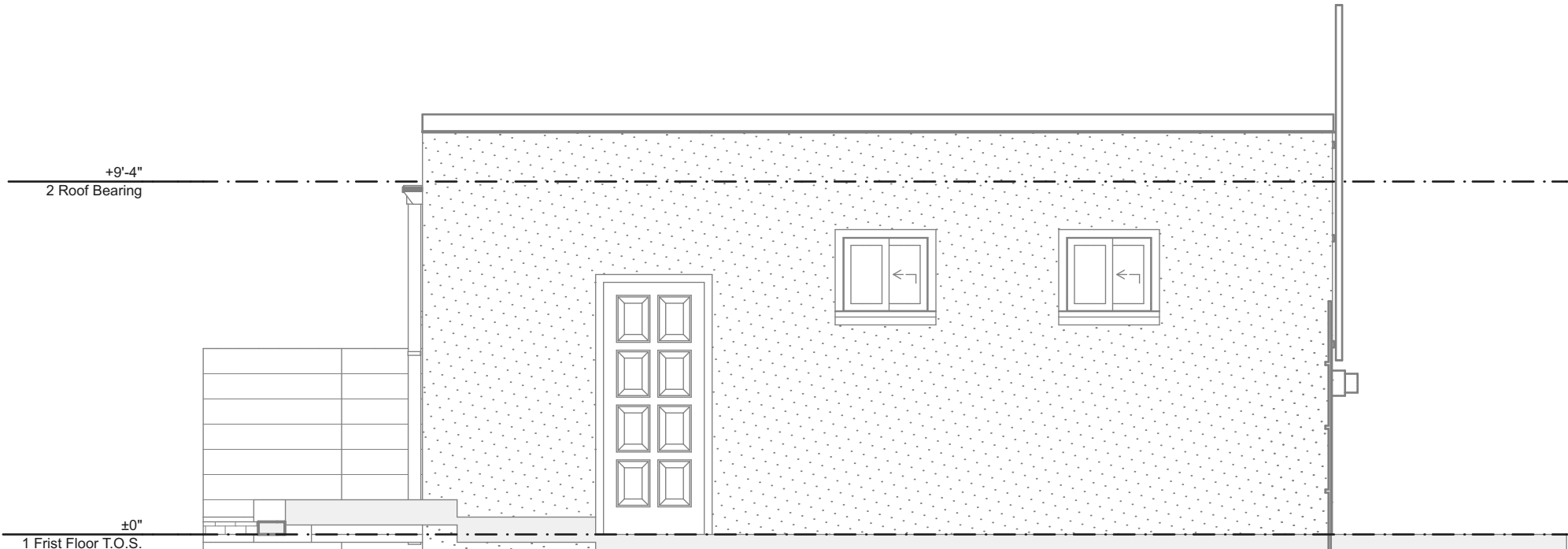
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1. for an access in the back yard due to open space requirements.
- 2.Side yard space is needed for access to the street.
3. Ally space is required for garage access and would be contrary to reducing visible impact on the public right of way.

#### Alternatives to Demolition / Encapsulation:

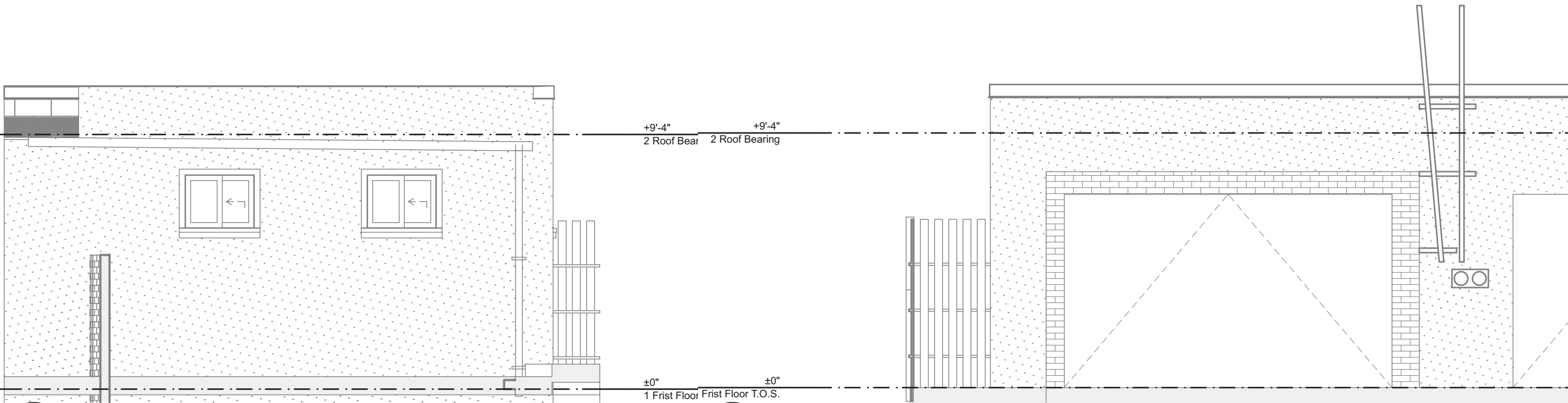
There is not viable alternative to demolition of part of the roof deck for attic access hatch or for encapsulation of the roof to create the deck.

- |      |  |
|------|--|
| D001 | Remove roof deck and reframe roof as required to create new roof hatch opening |
| D002 | Area of roof to be encapsulated by new roof deck                               |



**GARAGE LEFT SIDE ELEVATION EXISTING / DEMO.**

SCALE: 1/4" = 1'-0"



**GARAGE REAR ELEVATION EXISTING / DEMO.**

SCALE: 1/4" = 1'-0"

**GARAGE FRONT ELEVATION EXISTING / DEMO.**

SCALE: 1/4" = 1'-0"





Garage Front



Garage Rear



Garage Duplex from 800 Queen St.



Garage Duplex From Ally Entrance

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Scale: 1/8"=1'-0"	1:2.50
Date: 8/16/22	
Revisions: PGH	
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202203  
Schematic Design  
Document SDV1  
Existing Site Photos

AR.04  
Board of Architectural  
Review

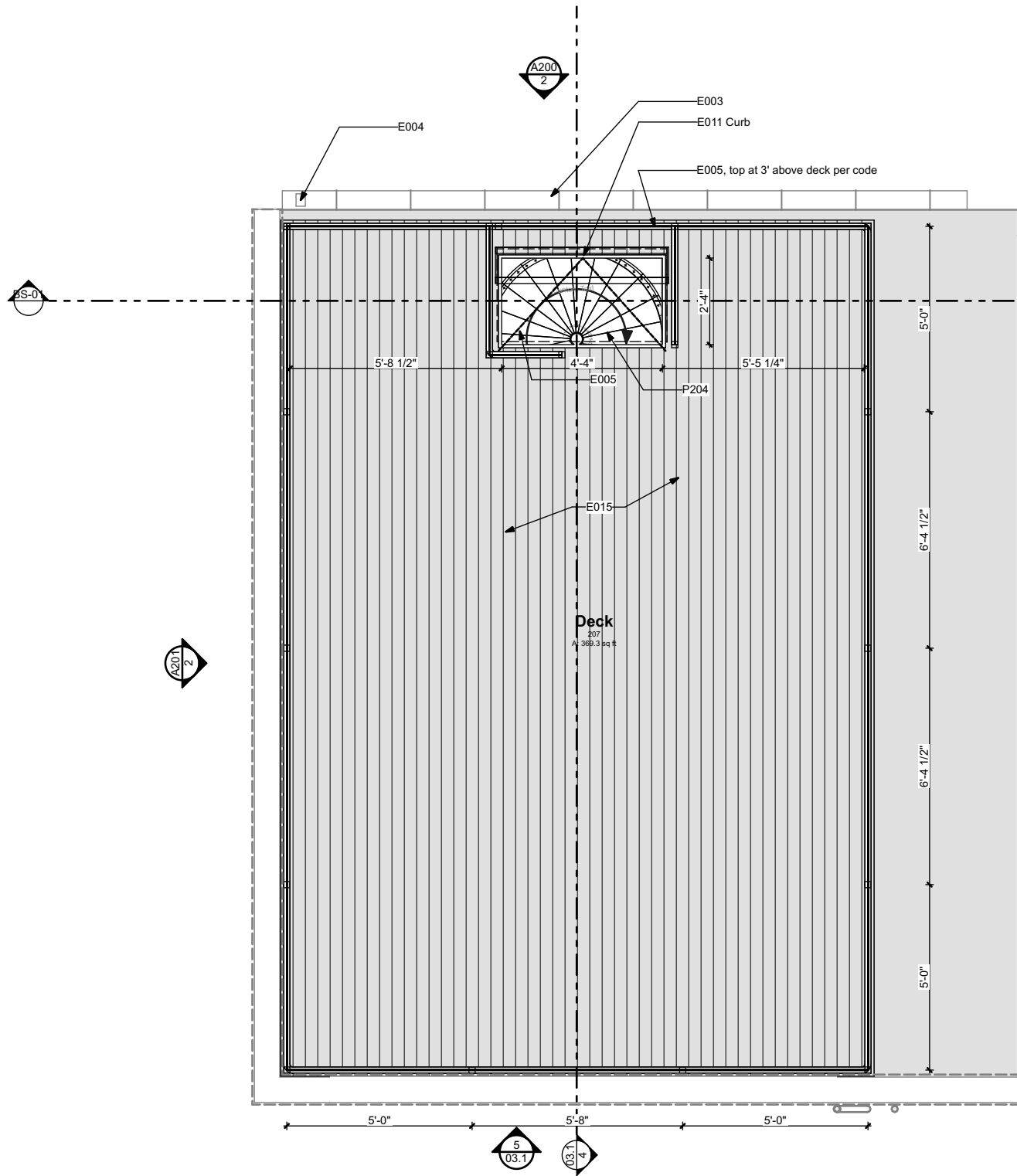


Renovation Graphic Key

Existing To Remain

Existing To Be Demolished

New Construction

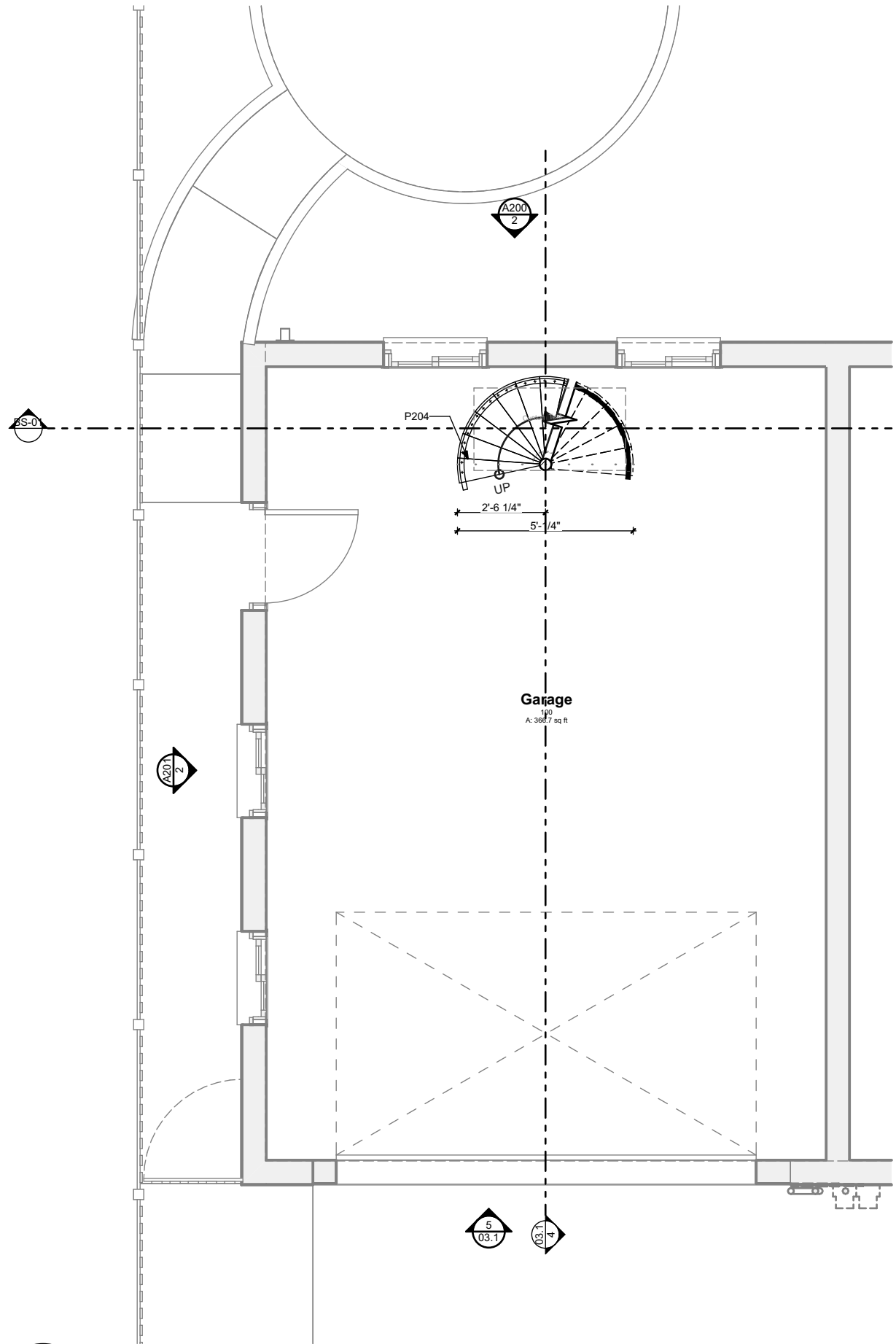


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AR.05

Proposed Roof Deck Plan

SCALE: 1/4" = 1'-0"



1

AR.05

Proposed Garage Level Plan

SCALE: 1/4" = 1'-0"

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Blair Barrett Deck

Garage Roof Deck

308 North Columbus St. Alexandria  
VA 22314

Scale: 1/4" = 1'-0"

Date: 8/16/22

Revisions: PGH

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202203  
Schematic Design  
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Proposed Plans

AR.05

Board of Architectural  
Review



- Renovation Graphic Key
- Existing To Remain
  - Existing To Be Demolished
  - New Construction

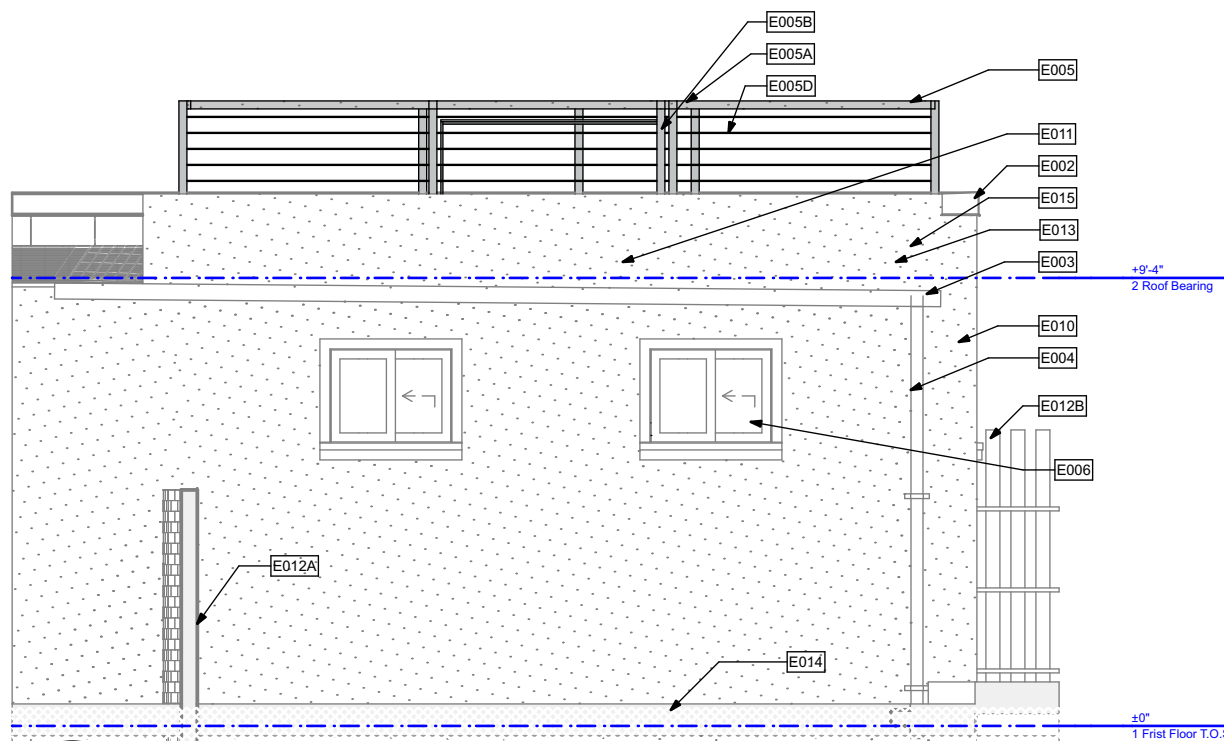
### Elevation Keynotes

- E001 Electrical Meter Panel and wire enclosure  
E002 Metal Wall Cap  
E003 Gutter  
E004 Downspout  
E005 Metal Guard Rail A.) 2"x2" top rail B.) 2"x2" Support Post, C.) 2"x1/2" Steel Flat Bar Side Support and bottom support. D.) Stainless Steel Cable System spaced as required to not allow a 4" sphere to pass.  
E006 Window  
E007 Top of Finished Deck Show Dashed  
E008 Garage Door  
E009 Exterior Brick  
E010 Exterior Stucco  
E011 Roof Hatch, Side Hinged towards Exterior Wall Face  
E012 Fence, A.) Brick. B.) Wood  
E013 Trim Board, Fiber cement, Painted to match existing trim  
E014 Original Grade  
E015 Roof Top Decking as selected by owner on sleepers on pedestals with 1/4" gap between boards for drainage to existing roof membrane supported on existing roof deck to remain

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AR.06

## GARAGE LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



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AR.06

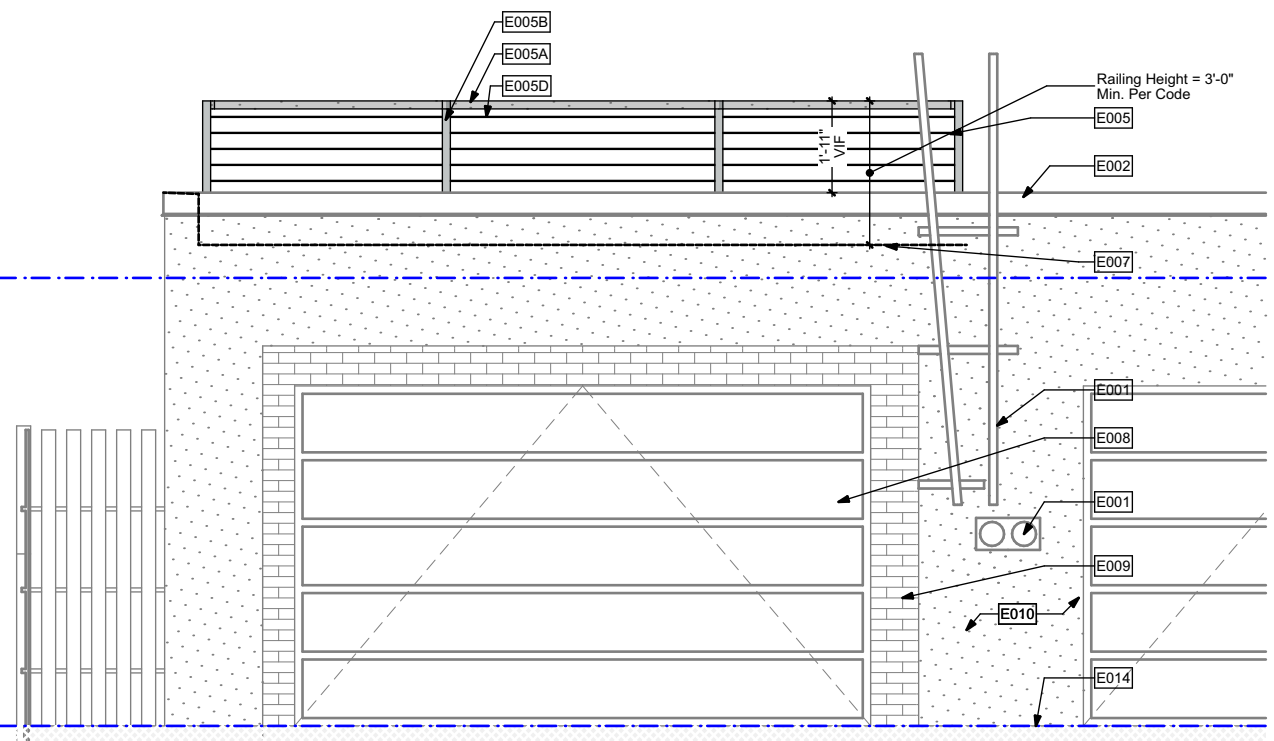
## GARAGE REAR ELEVATION

SCALE: 1/4" = 1'-0"

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AR.06

## GARAGE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



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VA 22314

Scale: 1/4" = 1'-0", 1" = 1'-0"	
Date: 8/16/22	
Revisions: PGH	
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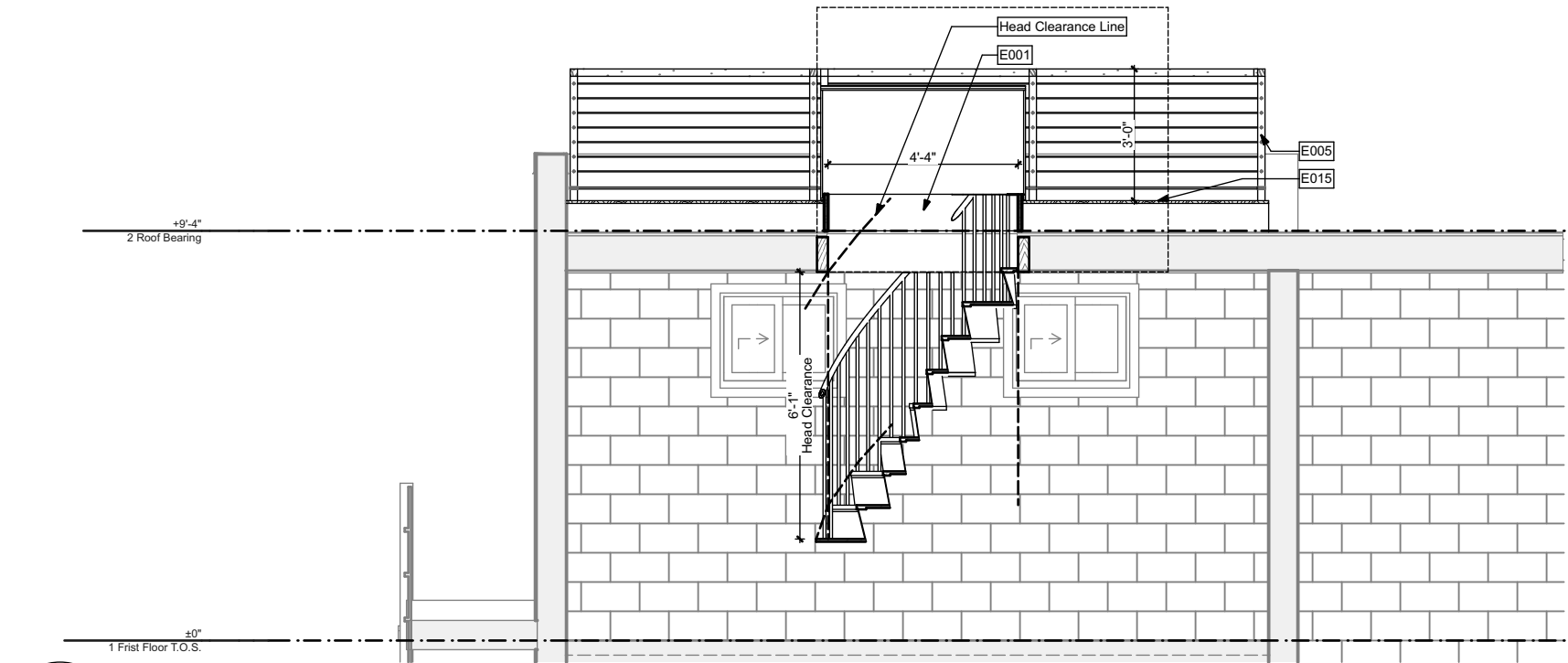
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202203  
Schematic Design  
Document SDV1  
Proposed Elevations

AR.06

Board of Architectural  
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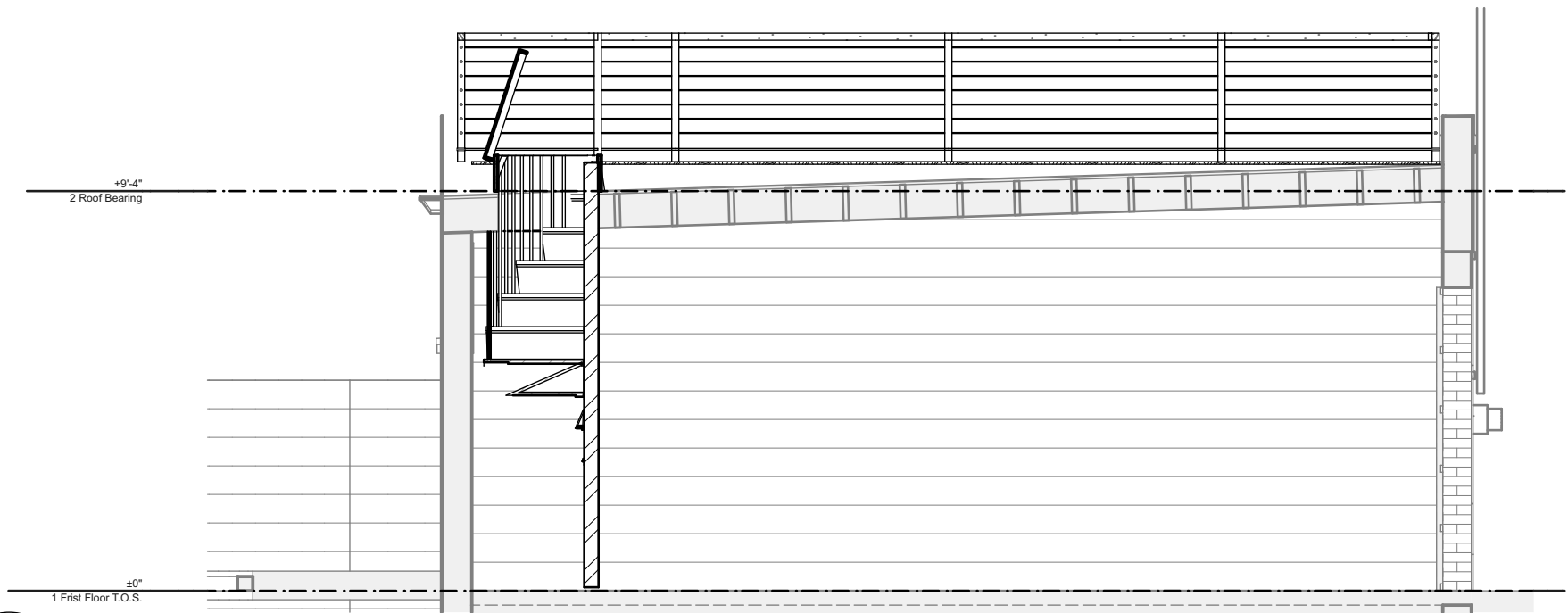




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AR.07

Garage Section Transverse

SCALE: 1/4" = 1'-0"



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AR.07

Garage Section Longitudnal

SCALE: 1/4" = 1'-0"

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Schematic Design  
Document SDV1  
Proposed Sections

AR.07  
Board of Architectural  
Review



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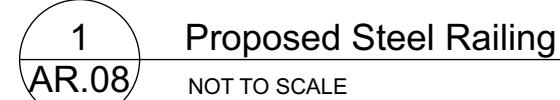
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Score: \_\_\_\_\_

Date: 8/16/22

Revisions: PGH

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Board of Architectural  
Review





Garage Front



Garage Front

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Garage Roof Deck

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VA 22314

Scale: 1/2" = 1'-0"
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Proposed Garage Views

AR.09

Board of Architectural  
Review