

ISSUE: Certificate of Appropriateness for alterations (small cell facility)

APPLICANT: Cellco Partnership, dba Verizon Wireless

LOCATION: Old and Historic Alexandria District
Dominion Energy utility pole near 501 Duke Street

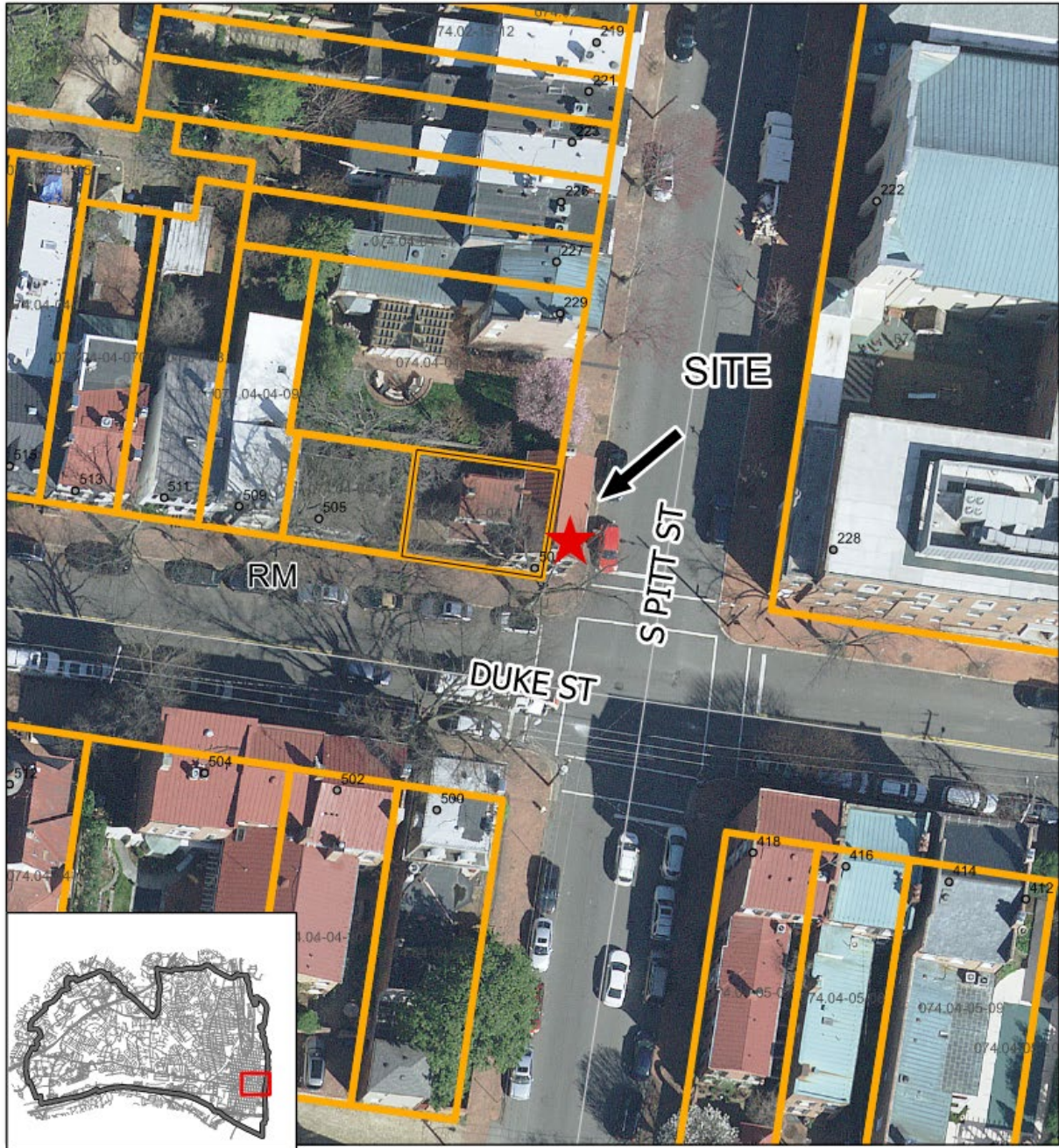
ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2022-00089
501 Duke Street



0 15 30 60 Feet

I. APPLICANT'S PROPOSAL

The applicant is requesting a Certificate of Appropriateness to replace the existing wood utility pole in the right-of-way near the property at 501 Duke Street with a taller wood pole on top of which a 5G small cell facility will be installed along with the associated equipment which will be mounted to the pole.

Certificate of Appropriateness

- Replace the existing 28'-11" tall wood utility pole with a new 38'-6" wood utility pole.
- Install Samsung AU 5G small cell antennas on top of the pole
- Install a Prop Verizon Wireless load center panel at 6'-0" above grade
- Install a meter box on the pole at 4'-3" from grade
- Install a Prop Verizon Wireless weatherproof junction box at 3'-0" above grade
- Remove the existing pole

Site context

The subject wood utility pole is located near the northwest corner of the intersection of South Pitt and Duke streets (Figure 1).



Figure 1 - Existing pole

II. HISTORY

According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, the property at 501 Duke Street was “built by Peter Wise, who bought the quarter block on which it stands in 1778. By 1791 the owner was William Hunter, Jr., founder of the St. Andrew’s Society of Alexandria, and mayor of the town 1787-1788, and 1790-1791. Hunter sold the house to George Augustine Washington, a nephew of General Washington. After George Augustine’s death, his widow, Fanny Bassett, niece of Martha Washington, married Tobias Lear, then serving as Washington’s secretary. In September 1795 Washington dined here with the Lears. Used as the Custom House by Charles Simms, Collector of the Port 1799-1819.”

III. ANALYSIS

To address the growing demand for wireless services across the United States, telecommunication providers are increasing the capacity of their networks by deploying small cell antennas within the public right-of-way to reduce the data traffic load on roof-mounted equipment and larger cell towers. Small cell facilities are low-powered antennas that provide wireless service coverage to a limited geographic area (often with ranges of a few hundred feet) and are used to supplement and expand the coverage provided by the traditional, larger-scale network.

In the past three years, Federal and State legislation has been enacted to further streamline the local approval process for cellular facilities, shortening the approval time and limiting jurisdictions’ authority. The laws can be contradictory between federal and state in some instances but do recognize that additional guidelines may be necessary in historic districts.

The City has adopted Interim Wireless Facility Aesthetic Guidelines for wireless infrastructure throughout the City which outline specific guidelines related to the replacement of existing utility poles, including:

- pole height may not increase more than 10 feet and may not exceed 50 feet without a special use permit
- replacement poles must be in the same general location as the existing pole
- replacement poles may not cause the removal of an existing tree or cause damaging impacts to trees located in the right-of-way
- wireless facilities must be shrouded, enclosing wires and equipment, and no separate ground mounted equipment is permitted
- wireless facilities must be painted to match the infrastructure

A Certificate of Appropriateness is required in the historic districts under Section 10-103(A) of the Zoning Ordinance, which state that “No building or structure shall be erected, reconstructed, altered or restored within the Old and Historic Alexandria District unless and until an application for a certificate of appropriateness shall have been approved...”

The proposed pole design is the A-3 Wood Utility Pole Replacement with 5G antenna Configuration approved by the City Council in December 2020 (Figure 2).

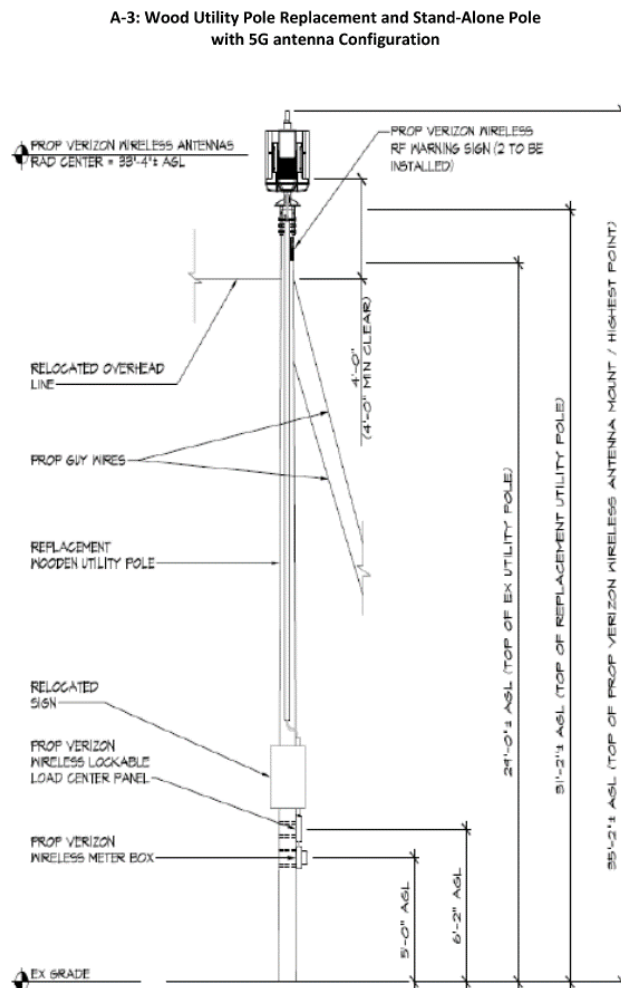


Figure 2 - Design A-3 approved by the City Council

The overall height of the new pole including the small cell facility is 42'-1". BAR staff has no objection to the taller wood pole or the installation of the small cell facility in this location and finds that painting the equipment the same color as the pole will make them less obvious. The existence of utility poles and overhead wires, street signs, and light poles are part of the urban streetscape, and staff does not believe that the installation of the taller pole with the small cell equipment will adversely impact existing viewsheds.

Therefore, staff recommends approval of the Certificate of Appropriateness as submitted.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Height of the pole shall not exceed 50.00 feet without a Special Use Permit.

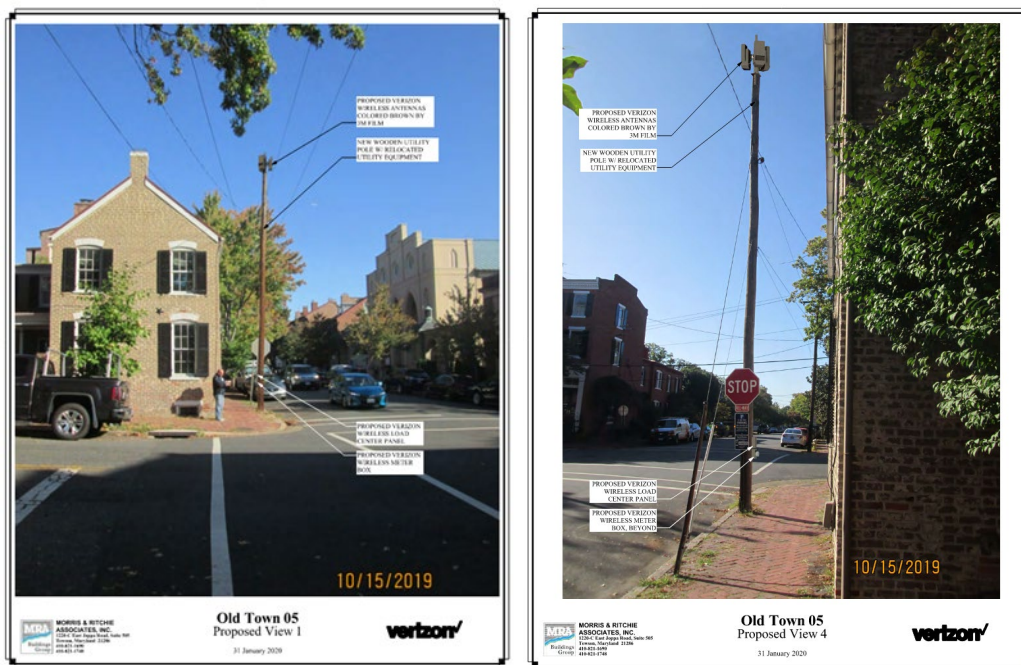
Existing pole height is 28' 11". The proposed pole height is 38' 6" feet and overall height is 42' 1".

F-2 Pole must be in the same general location as existing pole.

Pole will replace an existing pole currently in place.

F-3 The pole is not located in a manner that requires the removal of an existing tree or impacts of root zone.

Pole is not adjacent to tree well.



F-4 Pole shall be located that meets ADA requirements that do not impede or hinder pedestrian or vehicular travel.

In Compliance

F-5 Wireless facility shall be painted to match similar infrastructure on the block or earth tone color.

plans indicate facility to be a wood pole

Code Administration

Code Administration has no comments

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-4 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C-5 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons,

etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 No archaeological oversight necessary.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail : _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- ☐ Yes ☐ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☐ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Joshua Schakola

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

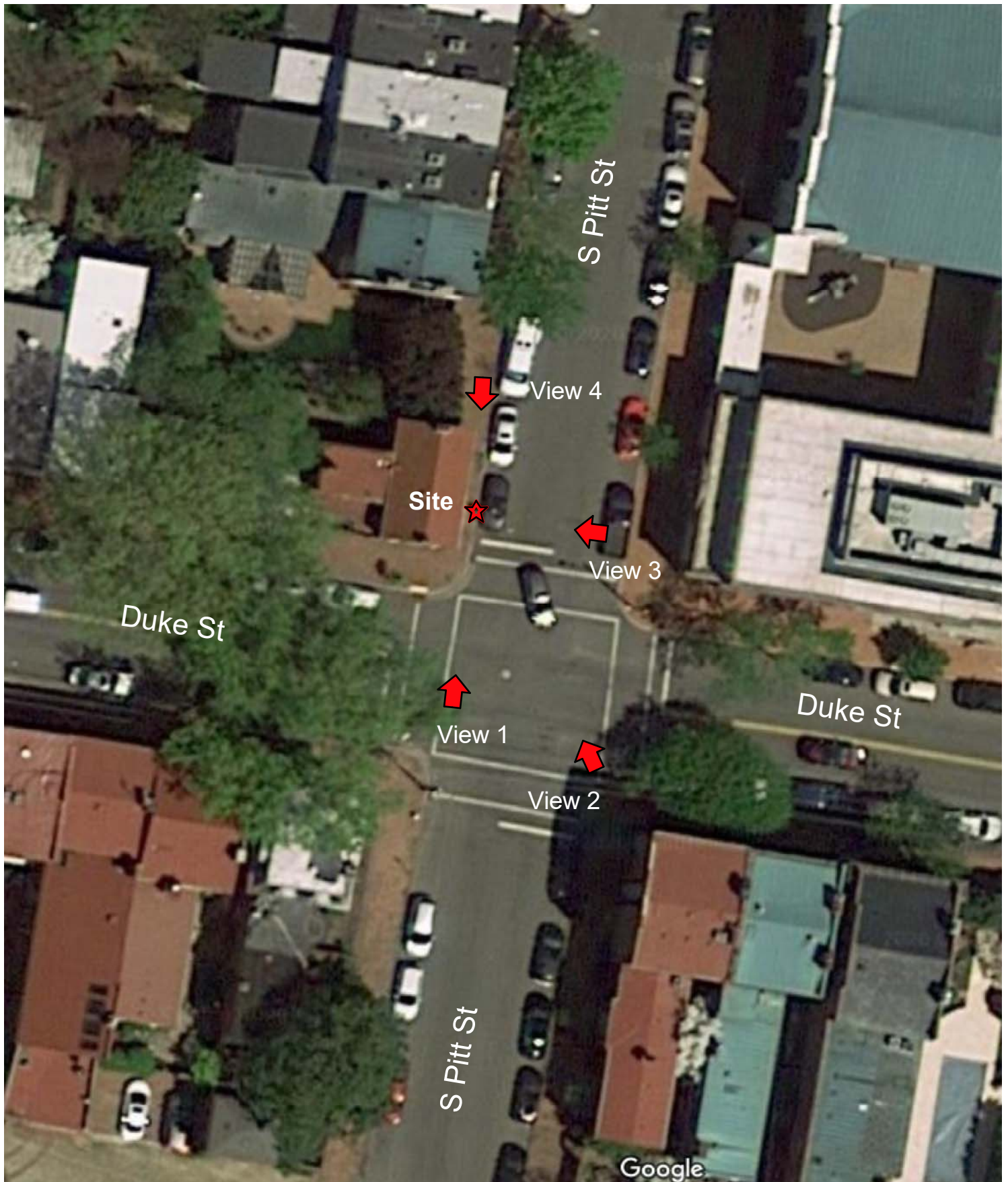
3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

_____	_____	<i>Joshua Schakola</i>
Date	Printed Name	Signature



**MORRIS & RITCHIE
ASSOCIATES, INC.**
1220-C East Joppa Road, Suite 505
Towson, Maryland 21286
410-821-1690
410-821-1748

Old Town 05 Overall Site Layout

31 January 2020





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Old Town 05 Existing View 1

31 January 2020

verizon✓



PROPOSED VERIZON
WIRELESS ANTENNAS
COLORED BROWN BY
3M FILM

NEW WOODEN UTILITY
POLE W/ RELOCATED
UTILITY EQUIPMENT

PROPOSED VERIZON
WIRELESS LOAD
CENTER PANEL

PROPOSED VERIZON
WIRELESS METER
BOX

10/15/2019



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Old Town 05
Proposed View 1

31 January 2020

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Old Town 05 Existing View 2

31 January 2020

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Old Town 05 Proposed View 2

31 January 2020



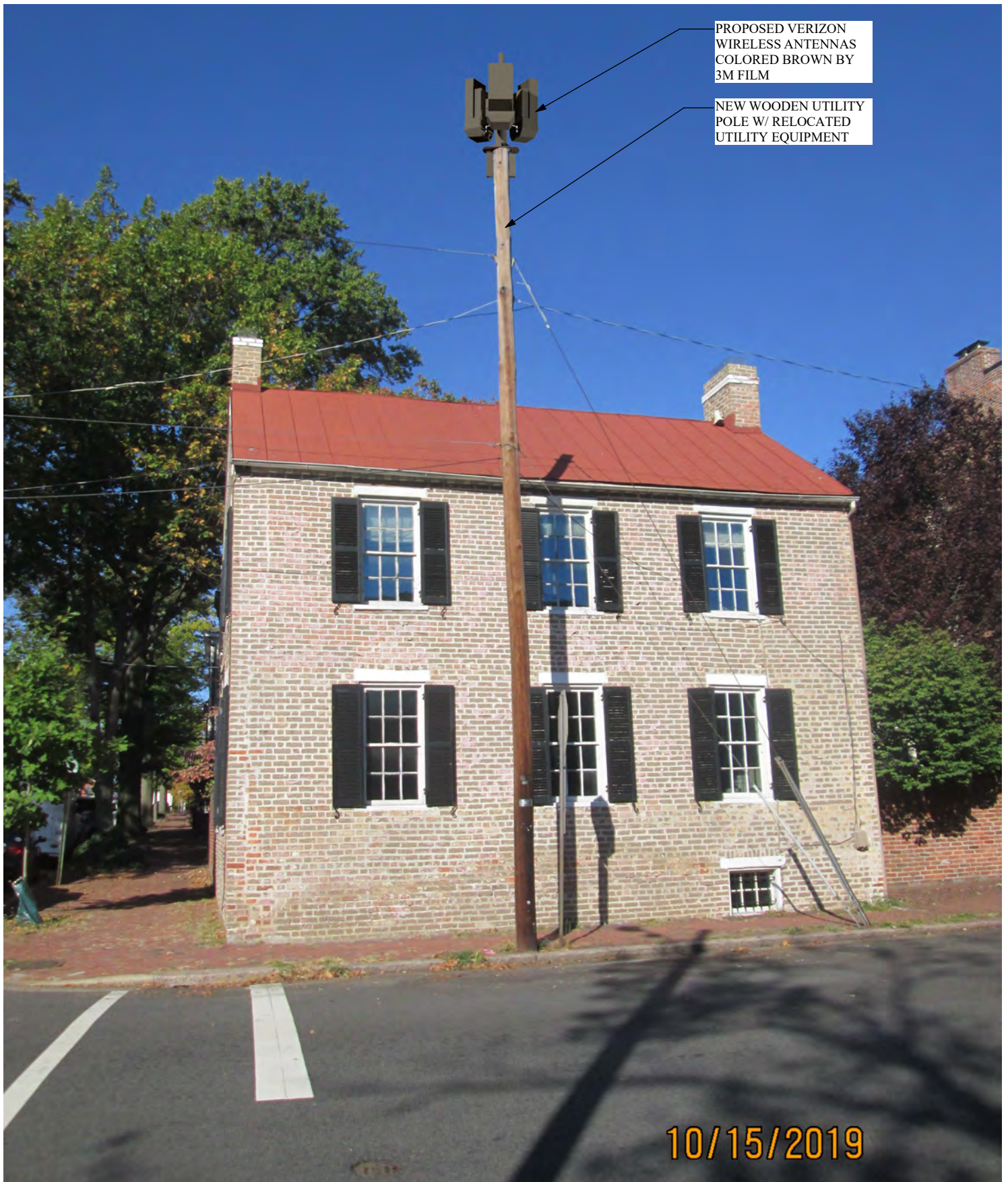


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Old Town 05 Existing View 3

31 January 2020

verizon



PROPOSED VERIZON
WIRELESS ANTENNAS
COLORED BROWN BY
3M FILM

NEW WOODEN UTILITY
POLE W/ RELOCATED
UTILITY EQUIPMENT

10/15/2019



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Old Town 05
Proposed View 3

31 January 2020

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Old Town 05 Existing View 4

31 January 2020





PROPOSED VERIZON
WIRELESS ANTENNAS
COLORED BROWN BY
3M FILM

NEW WOODEN UTILITY
POLE W/ RELOCATED
UTILITY EQUIPMENT

PROPOSED VERIZON
WIRELESS LOAD
CENTER PANEL

PROPOSED VERIZON
WIRELESS METER
BOX, BEYOND

10/15/2019



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Old Town 05
Proposed View 4

31 January 2020

verizon

GENERAL NOTES

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LOCAL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND INCORPORATING IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE VERIZON REPRESENTATIVE OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL AND THE MATERIALS DEFINED BY THE DISCREPANCIES, THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER NECESSARIES AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK FOR ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/ VENDOR'S SPECIFICATIONS UNLESS OTHERWISE NOTED OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVEMENTS, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE CONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSAL OF ALL DEBRIS, TRASH, AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. DETAILS OF EQUIPMENT TO BE INCLUDED IN REMOVAL PACKAGE PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE CONTRACTOR SHALL NOTIFY THE VERIZON REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE VERIZON REPRESENTATIVE.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC., ON THE JOB.
16. ALL UNISTRUT, HARDWARE AND OUTDOOR JUNCTION BOXES SHALL BE GALVANIZED STEEL FOR FIELD CUTS OF GALVANIZED ITEMS, FIRST COAT SHALL BE COLD GALVANIZED AND SECOND COAT SHALL BE MARINE GRADE GALVANIZED.
17. RETURN ANY UNUSED MATERIALS WITH REQUIRED DOCUMENTATION TO THE VERIZON WAREHOUSE WITHIN 14 DAYS OF PROJECT COMPLETION. RETURNED MATERIAL NEEDS TO BE ACCOMPANIED WITH AN RMA FORM AND PACKAGING REQUIREMENTS STIPULATED BY THE VZM CONSTRUCTION ENGINEER.
18. CONTRACTOR IS RESPONSIBLE FOR STORAGE OF ALL MATERIALS PROVIDED BY VERIZON, AND IS LIABLE FOR THESE MATERIALS ONCE PICKED UP FROM THE WAREHOUSE.
19. CONTRACTOR SHALL PERFORM A PUNCH WALK WITH VZM CONSTRUCTION ENGINEER AND VERIZON REPRESENTATIVE PRIOR TO DECLARING CONSTRUCTION COMPLETE.
20. GENERAL CONTRACTOR SHALL PROVIDE A 10LB. DRY-CHEMICAL FIRE EXTINGUISHER ON SITE DURING CONSTRUCTION. UPON COMPLETION OF ALL WORK, CONTRACTOR SHALL REMOVE FIRE EXTINGUISHER FROM SITE.

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL, AND COMPANY SPECIFICATIONS AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVER THESS RESPONSIBLE FOR ANY OMISSIONS OR ERRORS IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING IN WRITING THE VERIZON REPRESENTATIVE OF ANY CONFLICTS, OMISSIONS OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES WITH THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL WORK, MORE COSTS, OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT TO BE CONSTRUCTED IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/ VENDOR'S SPECIFICATIONS UNLESS OTHERWISE NOTED OR PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO MAINTAIN TRAFFIC WHILE CONSTRUCTING THE PAVEMENTS, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE CONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF DEBRIS, TRASH, AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. DETAILS OF EQUIPMENT TO BE INCLUDED IN REMOVED EQUIPMENT PRICES SHALL BE KEPT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE CONTRACTOR SHALL NOTIFY THE VERIZON REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE VERIZON REPRESENTATIVE.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
16. ALL UNISTRUT, HARDWARE, AND OUTDOOR JUNCTION BOXES SHALL BE GALVANIZED STEEL FOR FIELD CUTS OF GALVANIZED ITEMS. GALVANIZED STEEL SHALL BE GALVANIZED AND SECOND COAT SHALL BE MARINE GRADE GALVANIZED.
17. RETURN ANY UNUSED MATERIALS WITH REQUIRED DOCUMENTATION TO THE VERIZON WAREHOUSE WITHIN 14 DAYS OF PROJECT COMPLETION. RETURNED MATERIAL NEEDS TO BE ACCOMPANIED WITH AN RMA FORM AND FURNISHING REQUIREMENTS STIPULATED BY THE VZM CONSTRUCTION ENGINEER.
18. CONTRACTOR IS RESPONSIBLE FOR STORAGE OF ALL MATERIALS PROVIDED BY VERIZON AND IS LIABLE FOR THOSE MATERIALS ONCE PICKED UP FROM THE WAREHOUSE.
19. CONTRACTOR SHALL PERFORM A PUNCH WALK WITH VZM CONSTRUCTION & OPERATION REPRESENTATIVE PRIOR TO DECLARING CONSTRUCTION COMPLETE.
20. GENERAL CONTRACTOR SHALL PROVIDE A 10LBS. DRY-CHEMICAL FIRE EXTINGUISHER ON SITE DURING CONSTRUCTION. UPON COMPLETION OF ALL WORK, CONTRACTOR SHALL REMOVE FIRE EXTINGUISHER FROM SITE.

INDEX OF DRAWINGS

- C5-1 SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS, AND CODE ANALYSIS
- C-1 SITE PLAN
- C-2 ENLARGED SITE PLAN
- C-3 SITE DETAILS
- C-4 ELECTRICAL SERVICE CONDUIT PROFILE
- TMP-1 TRANSPORTATION MANAGEMENT PLAN NOTES
- TMP-2 TRANSPORTATION MANAGEMENT PLAN
- TMP-3 TRANSPORTATION MANAGEMENT PLAN
- S-1 STRUCTURAL SECTIONS AND DETAILS
- S-2 GENERAL NOTES
- E-1 ROUTING SITE PLAN
- E-2 SYMBOLS LIST, ELECTRICAL SPECIFICATIONS, AND DOMINION SPECIFICATIONS
- E-3 POLE UTILITY PLAN, POWER RISER DIAGRAM, EQUIPMENT PLAN AND NOTES
- E-4 GROUNDING DIAGRAM, DETAILS, AND NOTES
- E-5 DIAGRAMS
- E-6 DOMINION CHECKLIST, DOMINION DESIGN PRINT, AND DETAIL
- E-7 EQUIPMENT SCHEDULE, PANEL SCHEDULE, AND DETAILS
- E-8 ROUTING DETAILS

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E-5	DIAGRAMS
E-6	DOMINION CHECKLIST, DOMINION DESIGN PRINT, AND DETAIL
E-7	EQUIPMENT SCHEDULE, PANEL SCHEDULE, AND DETAILS
E-8	ROUTING DETAILS

CODE ANALYSIS

APPLICABLE BUILDING CODE:	IBC 2018
USE GROUP:	UTILITY (U)
CONSTRUCTION TYPE:	II-B
UTILITY COMPANY:	DOMINION

APPLICABLE BUILDING CODE:	IBC 2018
USE GROUP:	UTILITY (U)
CONSTRUCTION TYPE:	IIB
UTILITY COMPANY:	DOMINION

[illegible]

RAND MCNALLY LICENSE # R.L.04-S-97

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT ON A PROPOSED WOOD POLE TO REPLACE EXISTING. THE ASSOCIATED ANTENNAS WILL BE MOUNTED ON THE PROPOSED WOOD POLE AT A RAD CENTER OF 40'-8".

DIRECTIONS TO SITE

FROM JUNCTION DRIVE:

- TURN LEFT ONTO HENKELS LANE
- TAKE RAMP ON LEFT FOR MD-32 EAST
- TAKE EXIT #10C RAMP ON RIGHT FOR BALTIMORE WASHINGTON PARKWAY SOUTH
- TAKE EXIT #1A RAMP ON LEFT AND FOLLOW SIGNS FOR I-295 SOUTH
- TAKE EXIT #1C RAMP ON RIGHT FOR I-495 SOUTH
- TAKE EXIT #11TB-C RAMP ON RIGHT FOR US-1 NORTH
- TURN RIGHT ONTO VA-236/ DUKE STREET
- KEEP STRAIGHT ONTO DUKE STREET
- DESTINATION WILL BE ON THE LEFT

VERIZON WIRELESS REVIEW

BUILDING OWNER	DATE
ENGINEERING	DATE
OPERATIONS	DATE
CONSTRUCTION	DATE

THIS PROJECT CONSISTS OF THE INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT ON A PROPOSED WOOD POLE TO REPLACE EXISTING. THE ASSOCIATED ANTENNAS WILL BE MOUNTED ON THE PROPOSED WOOD POLE AT A RAD CENTER OF 40'-8".

DIRECTIONS TO SITE

FROM JUNCTION DRIVE:

- TURN LEFT ONTO HINKELS LANE
- TAKE RAMP ON LEFT FOR MD-32 EAST
- TAKE EXIT #10C RAMP ON RIGHT FOR BALTIMORE WASHINGTON PARKWAY SOUTH
- TAKE EXIT #1A RAMP ON LEFT AND FOLLOW SIGNS FOR I-295 SOUTH
- TAKE EXIT #1G RAMP ON RIGHT FOR I-495 SOUTH
- TAKE EXIT #117B-C RAMP ON RIGHT FOR US-1 NORTH
- TURN RIGHT ONTO VA-236/ DUKE STREET
- KEEP STRAIGHT ONTO DUKE STREET
- DESTINATION WILL BE ON THE LEFT

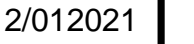
- FROM JUNCTION DRIVE:
- TURN LEFT ONTO HENKELS LANE
- TAKE RAMP ON LEFT FOR MD-32 EAST
- TAKE EXIT #100C RAMP ON RIGHT FOR BALTIMORE
- TURN RIGHT ON PARKWAY SOUTH
- TAKE EXIT #1A RAMP ON LEFT AND FOLLOW SIGNS FOR I-295 SOUTH
- TAKE EXIT #1B-C RAMP ON RIGHT FOR I-495 SOUTH
- TAKE EXIT #117B-C RAMP ON RIGHT FOR US-1 NORTH
- TURN RIGHT ONTO 2267 DULHE STREET
- KEEP STRAIGHT ONTO DUKE STREET
- DESTINATION WILL BE ON THE LEFT

VERIZON WIRELESS REVIEW

BUILDING OWNER	DATE
ENGINEERING	DATE
OPERATIONS	DATE
CONSTRUCTION	DATE

BUILDING OWNER	DATE
ENGINEERING	DATE
OPERATIONS	DATE
CONSTRUCTION	DATE

TELEVENT ENGINEERING INC.
2216 Commerce Road, Suite 1
Forest Hill, MD 21050
410-692-5816
www.tel-eng.com



verizon
OLD TOWN 5 - A - SMALL CELL
3 PITT ST RIGHT OF WAY ADJACENT TO 501 DUKE ST, ALEXANDRIA,
CITY OF ALEXANDRIA, VIRGINIA 22314

REVISIONS:

NO.	DESCRIPTION	DATE
	RFDS/UTILITY REVS	12/01/21
	PERMIT DWGS.	01/27/20

AST REV.:

PROJECT NO:19154Q

DATE: JANUARY 27, 2020

SCALE: AS NOTED

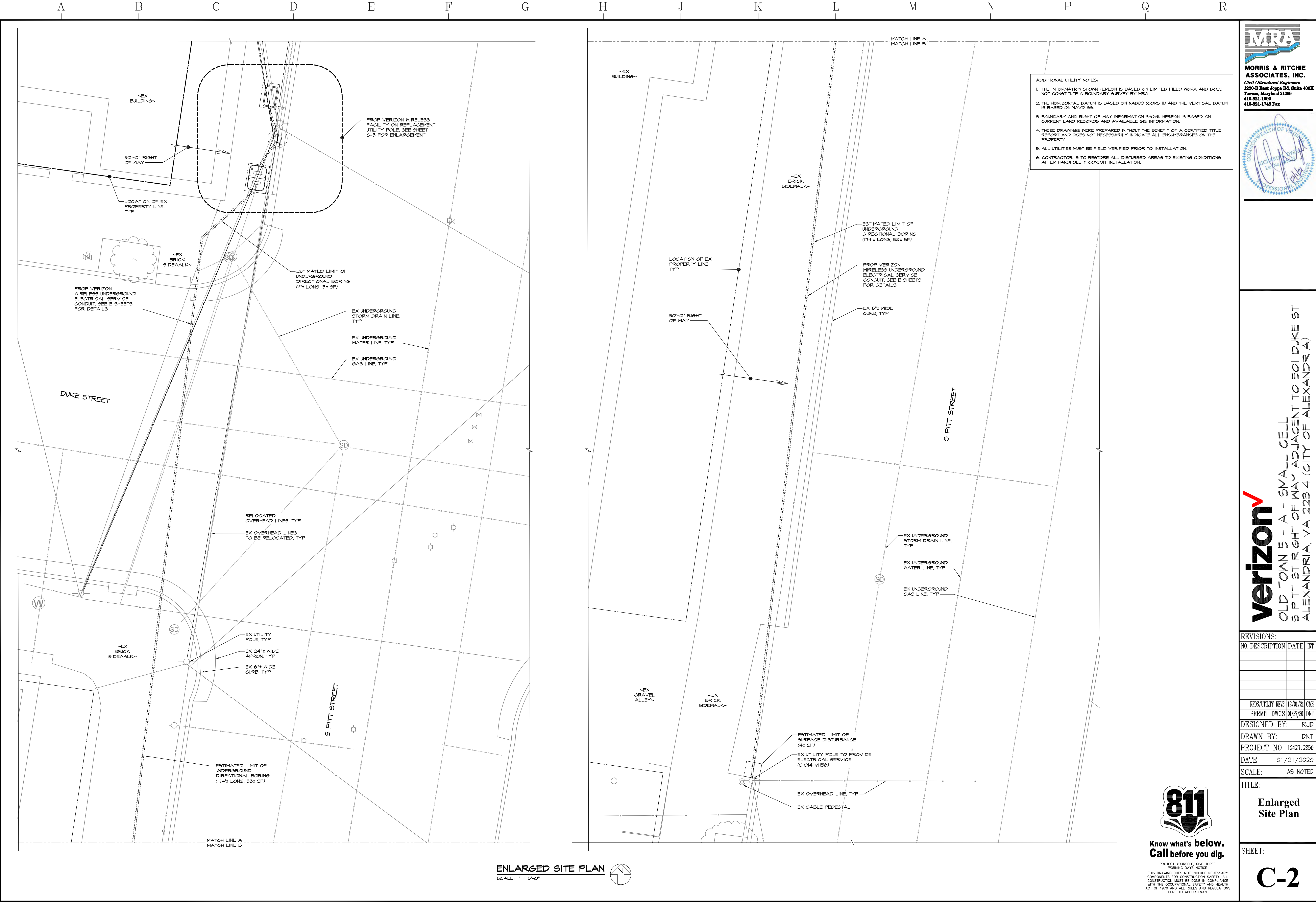
TITLE:	
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TITLE:
SITE LOCATION
AND VICINITY
PLAN, INDEX OF
DRAWINGS, AND
CODE ANALYSIS

SHEET:

CS-1





- ADDITIONAL UTILITY NOTES:
1. THE INFORMATION SHOWN HEREON IS BASED ON LIMITED FIELD WORK AND DOES NOT CONSTITUTE A BOUNDARY SURVEY BY MRA.
 2. THE HORIZONTAL DATUM IS BASED ON NAD83 (GORS 11) AND THE VERTICAL DATUM IS BASED ON NAVD 88.
 3. BOUNDARY AND RIGHT-OF-WAY INFORMATION SHOWN HEREON IS BASED ON CURRENT LAND RECORDS AND AVAILABLE GIS INFORMATION.
 4. THESE DRAWINGS WERE PREPARED WITHOUT THE BENEFIT OF A CERTIFIED TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
 5. ALL UTILITIES MUST BE FIELD VERIFIED PRIOR TO INSTALLATION.
 6. CONTRACTOR IS TO RESTORE ALL DISTURBED AREAS TO EXISTING CONDITIONS AFTER HANDHOLE & CONDUIT INSTALLATION.

MORRIS & RITCHIE ASSOCIATES, INC.
Civil / Structural Engineers
1320-B East Joppa Rd, Suite 400K
Towson, Maryland 21286
410-821-1690
410-821-1748 Fax

OLD TOWN 5 - A - SMALL CELL
S PITT ST RIGHT OF WAY ADJACENT TO 501 DUKE ST
ALEXANDRIA, VA 22314 (CITY OF ALEXANDRIA)

REVISIONS:			
NO.	DESCRIPTION	DATE	INT.

DESIGNED BY: RJD
DRAWN BY: DNT
PROJECT NO: 10427.2856
DATE: 01/21/2020
SCALE: AS NOTED
TITLE: **Enlarged Site Plan**

SHEET: **C-2**

**Know what's below.
Call before you dig.**

PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

ENLARGED SITE PLAN
SCALE: 1" = 5'-0"



TRANSPORTATION MANAGEMENT PLAN

TEMPORARY TRAFFIC CONTROL PLAN NOTES & WORK AREA PROTECTION MANUAL TTC'S

PROJECT INFORMATION

1. THE PROJECT'S TMP PLAN HAS BEEN DESIGNED IN CONFORMANCE WITH TMP TYPE A.
2. WORK ZONE AREAS SHALL BE SETUP AS SHOWN ON TTC'S ON THIS PLAN SHEET. THE WORK ZONE LENGTHS AND WIDTHS MAY VARY BY LOCATION IN ACCORDANCE WITH APPLICABLE TTC.
3. CONSTRUCTION HOURS: 9AM-3:30PM MONDAY-THURSDAY. 9AM-2PM FRIDAY. NO WORK ON NIGHTS, WEEKENDS OR HOLIDAYS. NO LANE CLOSURES WILL BE ALLOWED FROM NOON ON THE DAY BEFORE A HOLIDAY UNTIL NOON ON THE WORKDAY FOLLOWING THE HOLIDAY. HOLIDAYS INCLUDE ALL STATE AND FEDERAL HOLIDAYS.

EXISTING INTERSECTIONS: THE NEAREST INTERSECTIONS ARE DUKE ST AND S PITT ST. ALL EXISTING INTERSECTIONS ARE TO REMAIN OPEN AND FUNCTIONAL DURING CONSTRUCTION.

EXISTING PEDESTRIAN ACCESS POINTS: THERE IS EXISTING SIDEWALK LOCATED WITHIN THE PROJECT LIMITS.

EXISTING BUS STOPS: THERE ARE NO BUS STOPS NEAR THE PROJECT LIMITS.

EXISTING ENTRANCES: THERE ARE EXISTING ENTRANCES WITHIN THE CONSTRUCTION LIMITS.

5. THE TRAFFIC ON THE ROADWAY CONSIST PRIMARILY OF PASSENGER VEHICLES. THE SURROUNDING AREA IS RESIDENTIAL.

6. THE CONTRACTOR SHALL:

DESIGNATE A PERSON ASSIGNED TO THE PROJECT WHO WILL HAVE THE PRIMARY RESPONSIBILITY, WITH SUFFICIENT AUTHORITY, FOR IMPLEMENTING THE TMP/SOC AND OTHER SAFETY AND MOBILITY ASPECTS OF THE PERMITTED WORK. THIS PERSON SHALL COORDINATE WITH THE VDOT INSPECTOR FOR THE DURATION OF CONSTRUCTION.

ENSURE THAT PERSONNEL IMPLEMENTING THE MOT ARE TRAINED IN TRAFFIC CONTROL TO A LEVEL COMMENSURATE WITH THEIR RESPONSIBILITY IN ACCORDANCE WITH VDOT'S WORK ZONE TRAFFIC CONTROL TRAINING GUIDELINES.

INFORM VDOT OF ANY WORK REQUIRING LANE SHIFTS, LANE CLOSURES, AND/OR PHASE CHANGES A MINIMUM OF TWO WORKING DAYS PRIOR TO IMPLEMENTING THIS ACTIVITY

PERFORM REVIEWS OF THE CONSTRUCTION AREA TO ENSURE COMPLIANCE WITH CONTRACT DOCUMENTS AT REGULARLY SCHEDULED INTERVALS AT THE DIRECTION OF VDOT ENGINEERS. CONTRACTOR SHALL MAINTAIN A COPY OF THE TEMPORARY TRAFFIC CONTROL PLAN AT THE WORK SITE AT ALL TIMES.

COORDINATE WITH CITY OF ALEXANDRIA POLICE DEPARTMENT AND CITY OF ALEXANDRIA FIRE/RESCUE DEPARTMENT FOR ANY LANE CLOSURES AND ANY DETOURS OF ANY NATURE, AT NO ADDITIONAL COST TO THE PROJECT.

SCHEDULE ALL PHASES OF CONSTRUCTION IN SUCH A MANNER THAT WATER, SANITARY SEWER, CABLE, FIBER CABLE/OPTIC CABLE, ANY OVERHANGING UTILITIES, AND ANY UNDERGROUND UTILITIES SERVICES WILL NOT BE INTERRUPTED.

7. THIS TMP PLAN IS INTENDED AS A GUIDE. IF THE CONTRACTOR IS TO DEVIATE FROM THE APPROVED TMP, A NEW OR REVISED TMP MUST BE SUBMITTED TO VDOT FOR REVIEW AND APPROVAL.
8. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FOR THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADD ANY ADDITIONAL TEMPORARY MEASURES NECESSARY TO FACILITATE PROPER, POSITIVE DRAINAGE FOR THE DURATION OF CONSTRUCTION.
9. WHERE GROUP 2 CHANNELIZING DEVICES ARE USED TO SEPARATE THE CONSTRUCTION AREA AND TRAFFIC, A MINIMUM CLEAR ZONE AREA SUCH AS DEFINED IN THE VWPM IS TO BE MAINTAINED.
10. CONTRACTOR IS TO COORDINATE WITH VDOT FOR LOCATION(S) OF THE CONSTRUCTION STAGING AREA. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND/OR EASEMENTS AS NECESSARY.
11. IMPLEMENTING THE TRANSPORTATION MANAGEMENT PLAN
DURING THE FIRST DAY OF THE NEW WORK ZONE TRAFFIC PATTERN, THE PROJECT'S MANAGER AND VDOT'S INSPECTOR SHALL INSPECT THE WORK ZONE TO ENSURE COMPLIANCE WITH THE TMP. ON THE THIRD TO FIFTH DAY OF IMPLEMENTATION OF THE TMP'S NEW WORK ZONE TRAFFIC PATTERN THE CONSTRUCTION INSPECTOR SHALL CONDUCT AN ON-SITE REVIEW OF THE WORK ZONE'S PERFORMANCE IN COORDINATION WITH VDOT AND RECOMMEND TO THE CONTRACTOR ANY REQUIRED CHANGES TO THE TMP TO ENHANCE THE WORK ZONE'S SAFETY AND MOBILITY. ALL SUCH CHANGES SHALL BE DOCUMENTED. AN ON-SITE REVIEW OF THE PROJECT'S WORK ZONE TRAFFIC CONTROL BY THE PROJECT MANAGER AND CONTRACTOR SHALL BE CONDUCTED (WITH COORDINATION FROM VDOT) WITHIN 48 HOURS OF ANY FATAL INCIDENT/CRASH WITHIN THE WORK ZONE.

12. PUBLIC COMMUNICATIONS PLAN
THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
A. NOTIFYING THE MANAGER AND VDOT INSPECTOR TWO WEEKS IN ADVANCE OF ANY SCHEDULED WORK PLANS AND TRAFFIC DELAYS.
B. NOTIFYING THE MANAGER, VDOT INSPECTOR, AND CORRESPONDING VDOT ENGINEER OF ANY UNSCHEDULED TRAFFIC DELAYS.

16. TRANSPORTATION OPERATIONS
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND PROVIDING THE FOLLOWING:
A. NOTIFY THE REGIONAL TRANSPORTATION OPERATIONS CENTER (TOC) 1 WEEK IN ADVANCE IN ORDER TO PLAN LANE CLOSURE INFORMATION ON THE 511 SYSTEM AND VA-TRAFFIC.
B. IMMEDIATELY REPORT ANY TRAFFIC INCIDENTS THAT MAY OCCUR IN THE WORK ZONE.
C. NOTIFY THE PROJECT'S VDOT INSPECTOR AND VDOT ENGINEER OF ANY INCIDENTS AND EXPECTED TRAFFIC DELAYS.
D. WITHIN 24 HOURS OF ANY INCIDENTS WITHIN THE CONSTRUCTION WORK ZONE, A REVIEW OF THE TRAFFIC CONTROLS SHALL BE COMPLETED AND NECESSARY ADJUSTMENT MADE TO REDUCE THE FREQUENCY AND SEVERITY OF ANY FUTURE INCIDENTS.

17. CONTACT NUMBERS

PROJECT MANAGER: TBD
CITY INSPECTOR: TBD
EMERGENCY CALL: 911

NON-EMERGENCY NUMBERS:
CITY OF ALEXANDRIA POLICE: 703-746-4444
CITY OF ALEXANDRIA FIRE & RESCUE: 703-777-4357

GENERAL CONSTRUCTION NOTES

NOTE: VWPM VIRGINIA WORK AREA PROTECTION MANUAL (2011) INCLUDING REVISION 2 DATED SEPTEMBER 1, 2019.

1. THE CONTRACTOR SHALL MAKE ANY NECESSARY ADJUSTMENTS DURING BOTH WORK AND NON-WORK HOURS TO ENSURE THE PROTECTION AND SAFETY OF PEDESTRIANS, VEHICULAR TRAFFIC, AND THE GENERAL PUBLIC FROM ANY CONSTRUCTION RELATED ACTIVITY, CONSTRUCTION EQUIPMENT, AND THE CONSTRUCTION SITE ITSELF.

Page 6H-64

September 2019

Typical Traffic Control Lane Closure Operation in an Intersection (Figure TTC-28.2)

NOTES

Guidance:

1. The control of traffic through the intersection in order of preference should be:
 - a. Obtain the services of law enforcement personnel.
 - b. Detour the effective routes to other roads and streets as approved and directed by the District Traffic Engineer.
 - c. Place a state certified flagger on each leg of the intersection controlling a single lane of traffic. Appropriate signing as shown should be used for law enforcement and flagging operations. For detour signs see Figure TTC-34.
2. Sign spacing distance should be 350'-500' where the posted speed limit is 45 mph or less, 500'-800' where the posted speed limit is greater than 45 mph.
3. To maintain efficient traffic flow in a flagging operation on a two-lane roadway the maximum time motorists should be stopped at a flagger station is 8 minutes for high volume roadways (average daily traffic of 500 or more vehicles per day) to a maximum of 12 minutes for low volume roadways (less than 500 vehicles per day). For additional information see Section 6E.07.

Standard:

4. Channelizing device spacing shall be on 20' centers or less.
5. PTRS shall be used as noted in Section 6F.99.

Guidance:

6. If room permits, a shadow vehicle with at least one rotating amber light or high intensity amber flashing or oscillating light should be parked 80'-120' in advance of the first work crew.

Standard:

7. For emergency situations (any non-planned operation) of 30 minutes or less duration, two rotating amber lights or high intensity amber flashing or oscillating lights mounted on the vehicle and visible for 360° shall be required in addition to the channelizing devices shown around the vehicle. Also, vehicle hazard warning signals shall be used.

Guidance:

8. If the work space extends across a crosswalk, the crosswalk should be closed using the information and devices shown in Figure TTC-36.

Support:

9. Turns can be prohibited as required by vehicular traffic conditions. Unless the streets are wide, it might be physically impossible to make certain turns, especially for large vehicles.

1: Revision 1 - 4/1/2015
2: Revision 2 - 9/1/2019

Page 6H-78

September 2019

Typical Traffic Control Sidewalk Closure and Bypass Sidewalk Operation (Figure TTC-35.1)

NOTES

Standard:

1. When crosswalks or other pedestrian facilities are closed or relocated, temporary facilities shall be detectable and shall include accessibility features consistent with the features present in the existing pedestrian facility.

Guidance:

2. Where high speeds are anticipated, a temporary traffic barrier and, if necessary, a crash cushion should be used to separate the temporary sidewalks from vehicular traffic.
3. Audible information devices should be considered where midblock closings and changed crosswalk areas cause inadequate communication to be provided to pedestrians who have visual disabilities.
4. Temporary markings should be considered for operations exceeding three days in duration.

Option:

5. Only the TTC devices related to pedestrians are shown. Other devices, such as lane closure signing or ROAD NARROWS (W5-1) signs, may be used to control vehicular traffic.
6. For nighttime closures, Type A Flashing warning lights may be used on barricades that support signs and close sidewalks.
7. Signs, such as KEEP RIGHT (R4-V7R) and KEEP LEFT (R4-V7L), may be placed along a temporary sidewalk to guide or direct pedestrians.

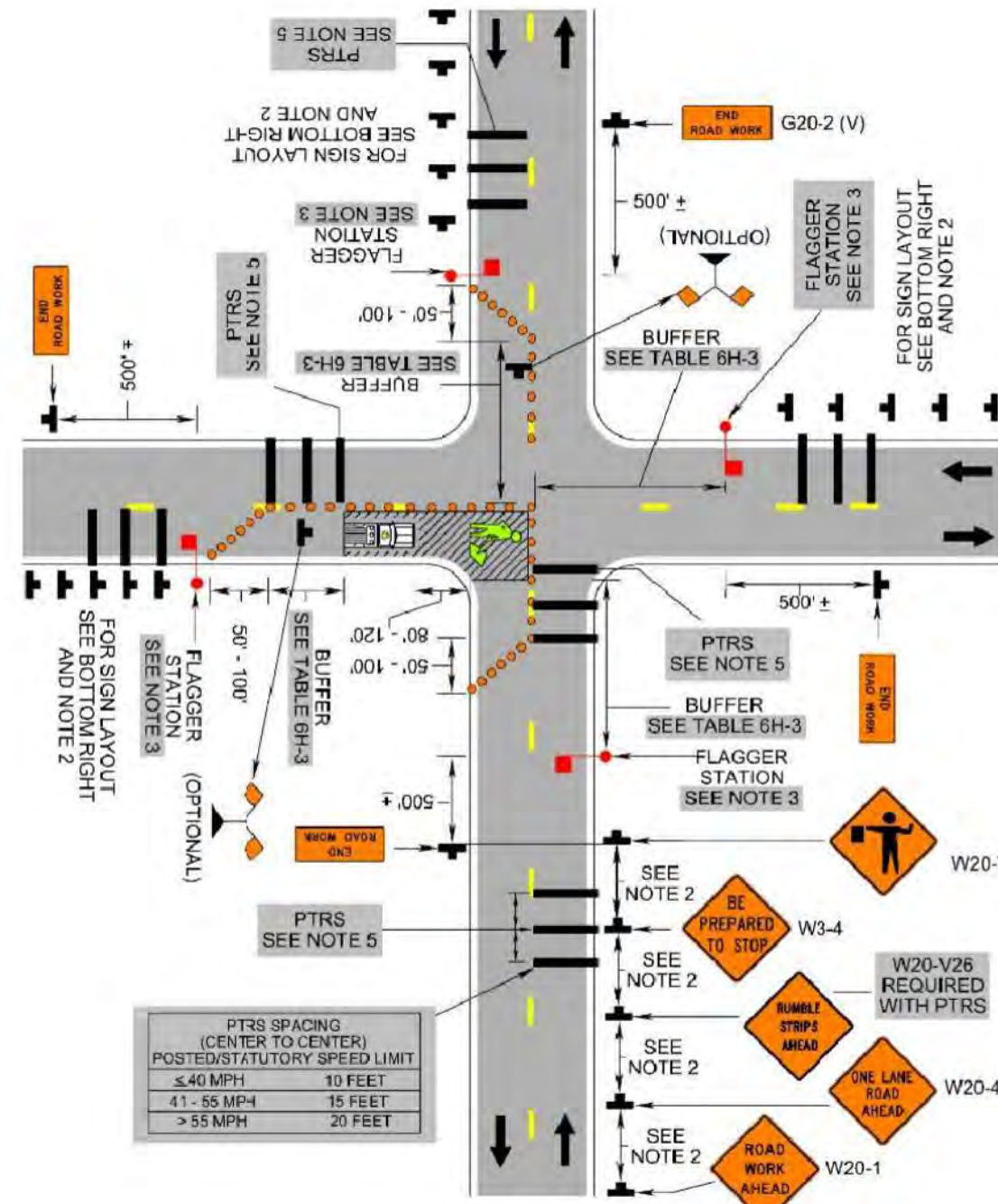
Standard:

8. All sidewalk closures shall be closed with Type 3 Barricades. The SIDEWALK CLOSED (R9-9) sign and the SIDEWALK CROSS HERE (R9-11) sign shall be installed above the Type 3 barricade. The KEEP RIGHT sign can cover the top rail of the Type 3 Barricade.

2: Revision 2 - 9/1/2019

September 2019

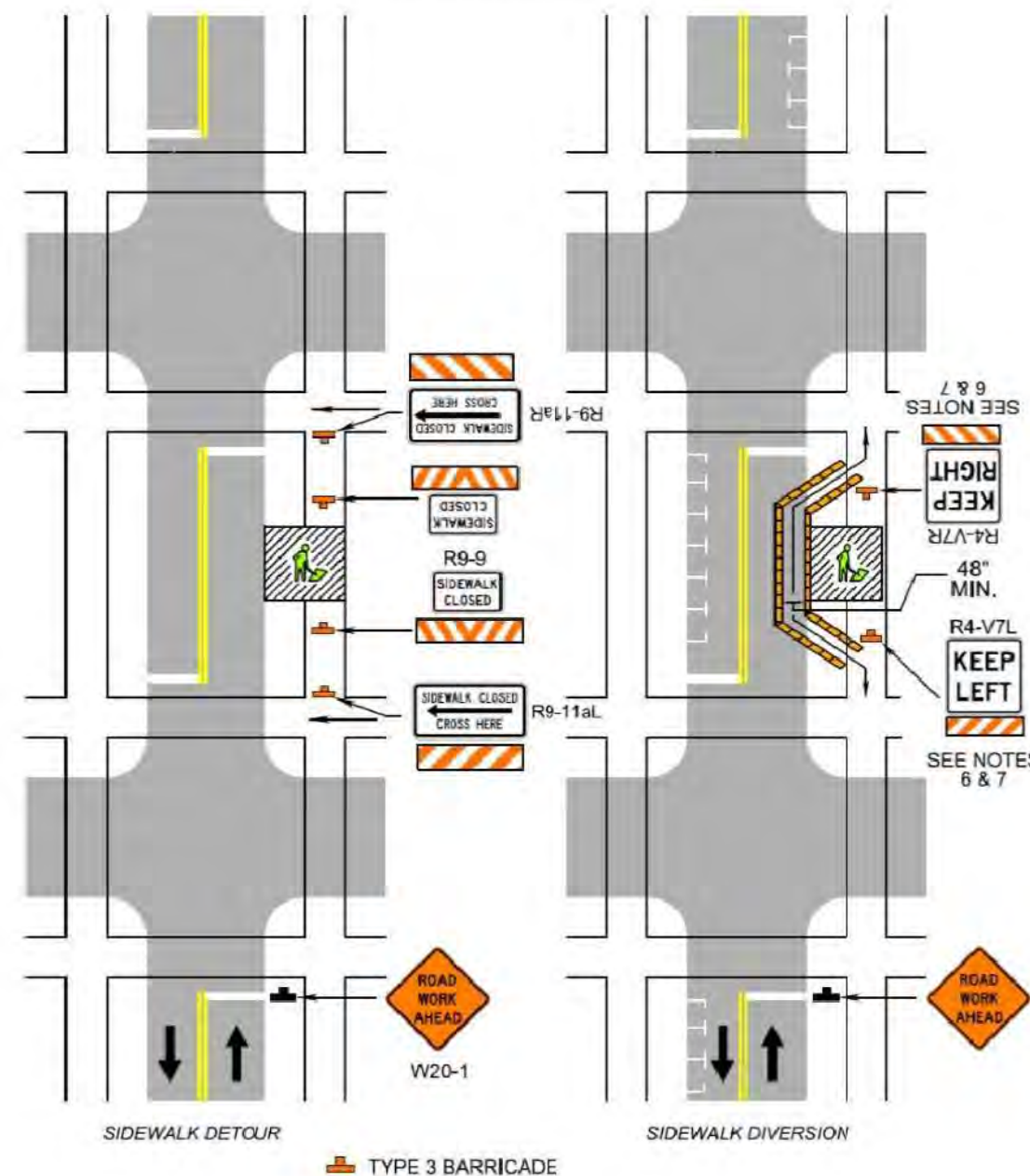
Lane Closure Operation in an Intersection (Figure TTC-28.2)



2: Revision 2 - 9/1/2019

September 2019

Sidewalk Closure and Bypass Sidewalk Operation (Figure TTC-35.1)



TYPE 3 BARRICADE

2: Revision 2 - 9/1/2019



verizon
OLD TOWN 5 - A - SMALL CELL
S PITT ST RIGHT OF WAY ADJACENT TO 501 DUKE ST
ALEXANDRIA, VA 22314 (CITY OF ALEXANDRIA)

REVISIONS:

NO.	DESCRIPTION	DATE	INT.

DESIGNED BY: RJD

DRAWN BY: DNT

PROJECT NO: 10427.2856

DATE: 01/21/2020

SCALE: AS NOTED

TITLE:

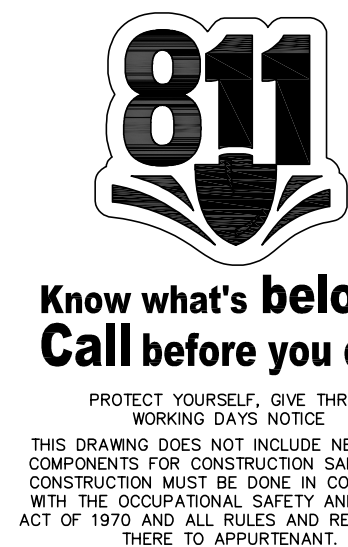
TRANSPORTATION

MANAGEMENT

PLAN NOTES

SHEET:

TMP-1



TRANSPORTATION MANAGEMENT PLAN



**MORRIS & RITCHIE
ASSOCIATES, INC.**
Civil / Structural Engineers
1220-B East Joppa Rd, Suite 400B
Towson, Maryland 21286
410-821-1690
410-821-1746 Fax



COMMONWEALTH OF VIRGINIA
J K Erickson
JON K. ERICKSON
Lic. No. 32355
11/30/2021
PROFESSIONAL ENGINEER

verizon[✓]
OLD TOWN 5 - A - SMALL CELL
S PITT ST RIGHT OF WAY ADJACENT TO 501 DUKE ST
ALEXANDRIA, VA 22314 (CITY OF ALEXANDRIA)

REVISIONS:					
NO.	DESCRIPTION	DATE	INT		
	RPS / UTILITY REVS	11/24/21	CMS		
	PERMIT DWGS	01/27/20	DNT		
DESIGNED BY:		RJD			
DRAWN BY:		DNT			
PROJECT NO: 10427.2856					
DATE:		01/21/2020			
SCALE:		AS NOTED			
TITLE:					
TRANSPORTATION MANAGEMENT PLAN					
SHEET:					

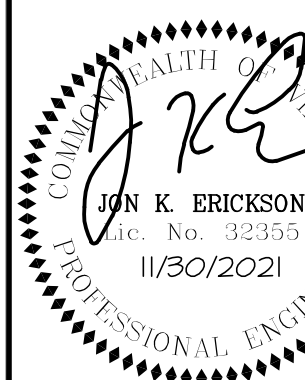
TMP-2



Know what's **below**.
Call before you dig.

PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE
THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE OCCUPATIONAL SAFETY AND HEALTH
ACT OF 1970 AND ALL RULES AND REGULATIONS
THERE TO APPLICANT

TRANSPORTATION MANAGEMENT PLAN



verizon
OLD TOWN 5 - A - SMALL CELL
S PITT ST RIGHT OF WAY ADJACENT TO 501 DUKE ST
ALEXANDRIA, VA 22314 (CITY OF ALEXANDRIA)

REVISONS:			
NO.	DESCRIPTION	DATE	IN
	REDS/UTILITY REVS	11/24/21	CM
	PERMIT DWGS	01/27/20	DN
DESIGNED BY:			RJD
DRAWN BY:			DNT
PROJECT NO: 10421.2856			
DATE:		01/21/2020	
SCALE:		AS NOTED	
TITLE:			

TRANSPORTATION MANAGEMENT PLAN

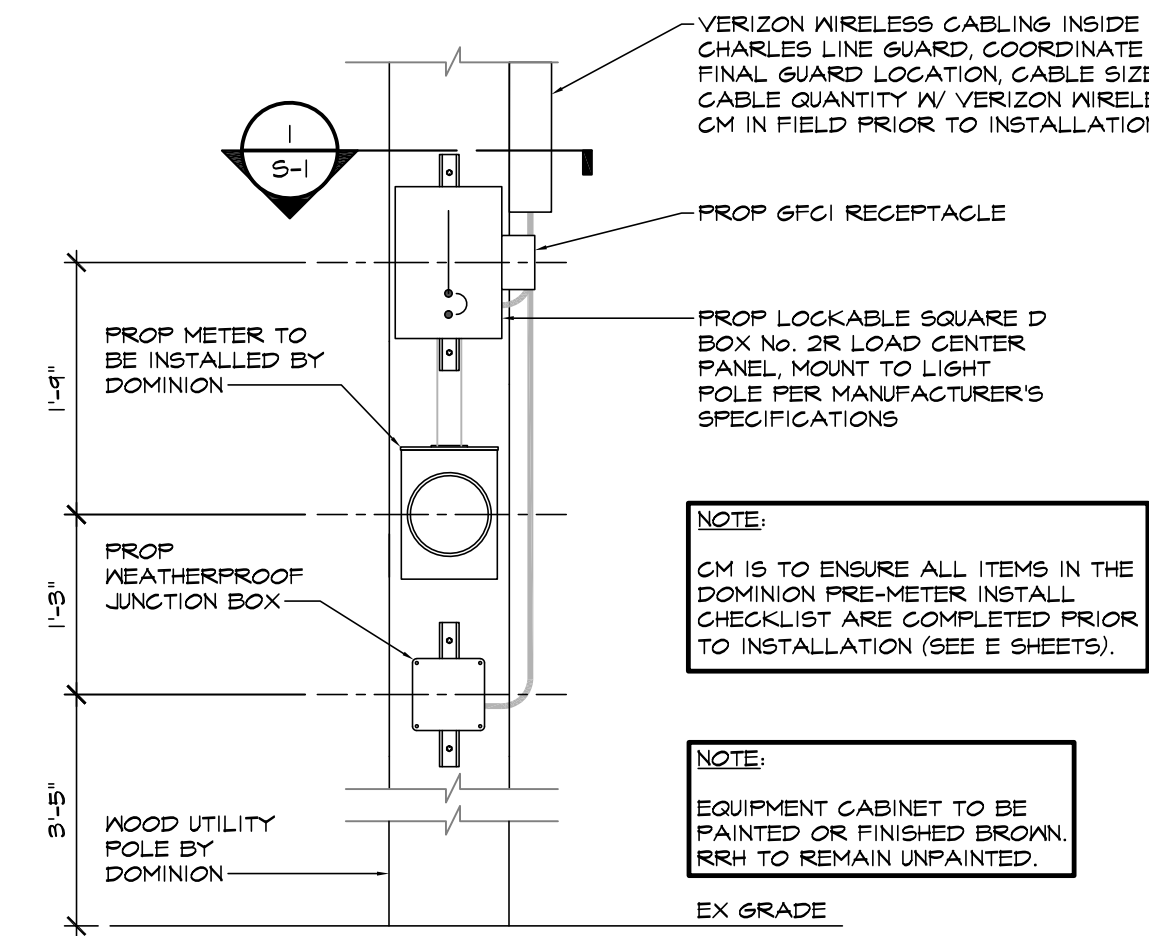
SHEET:
TMP-3



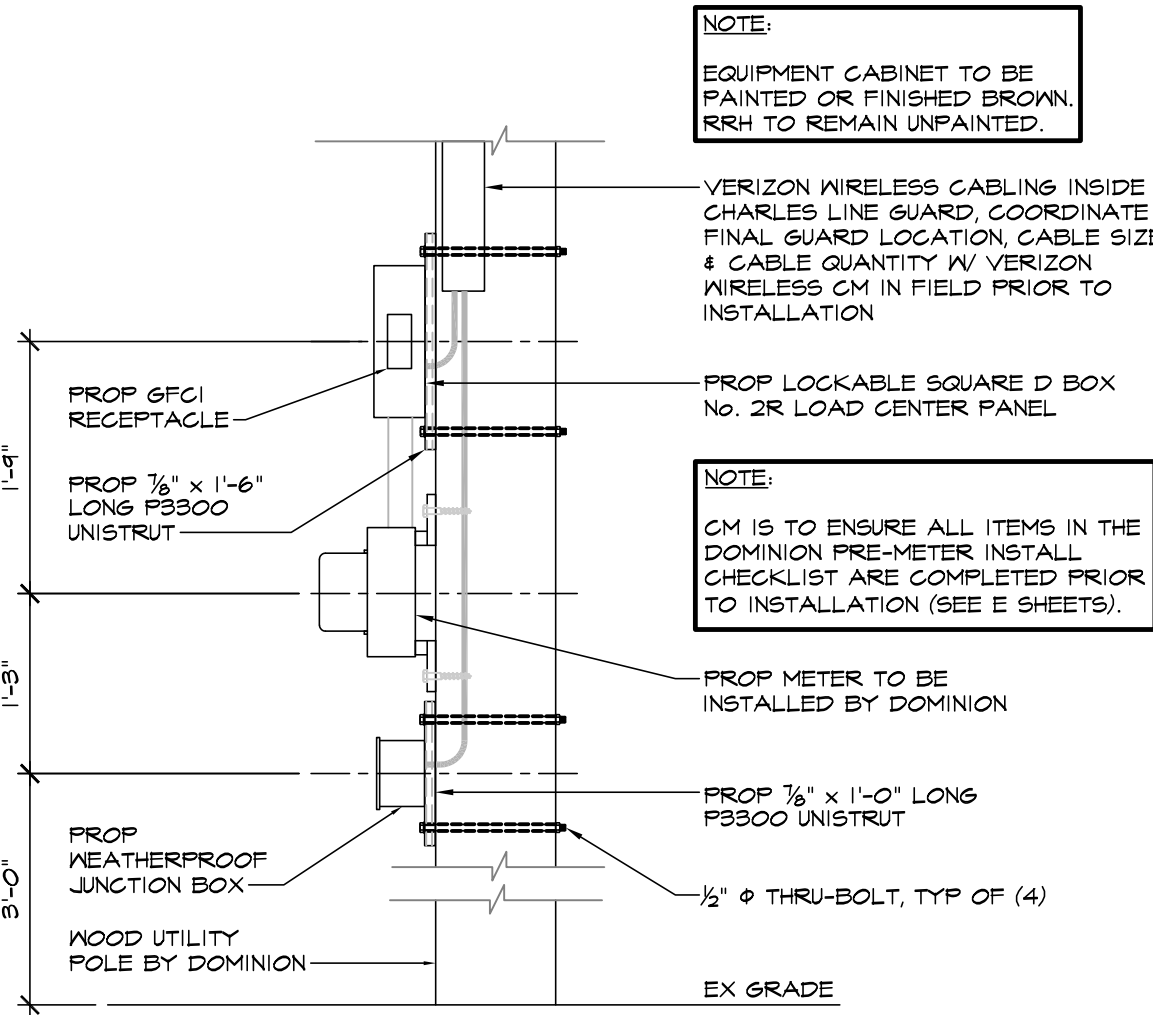
Know what's **below**.
Call before you dig.

PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE
THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE OCCUPATIONAL SAFETY AND HEALTH
ACT OF 1970 AND ALL RULES AND REGULATIONS
THERE TO APPURTENANT.

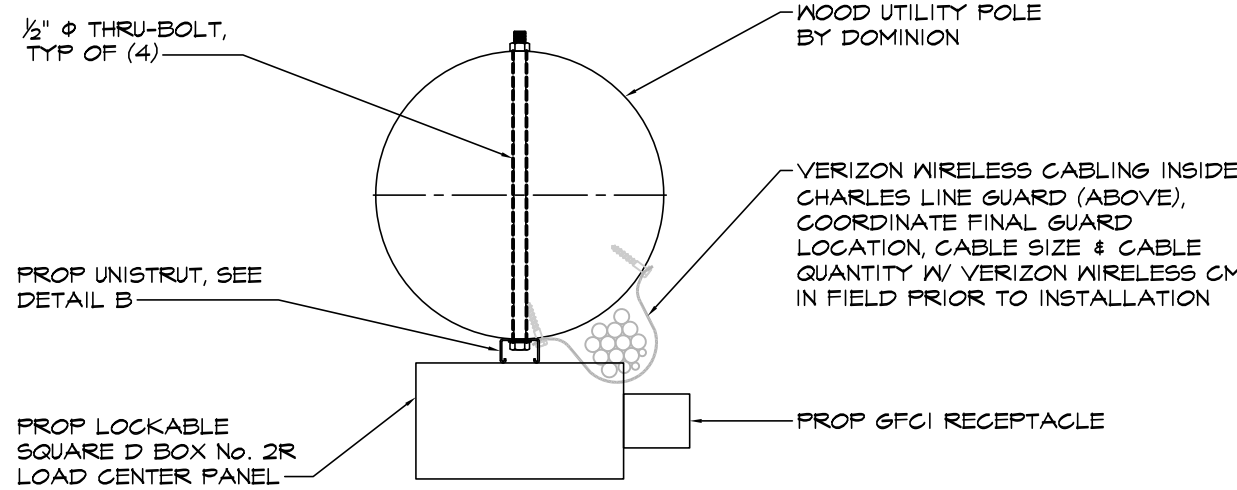
A B C D E F G H I J K L M N O P Q R



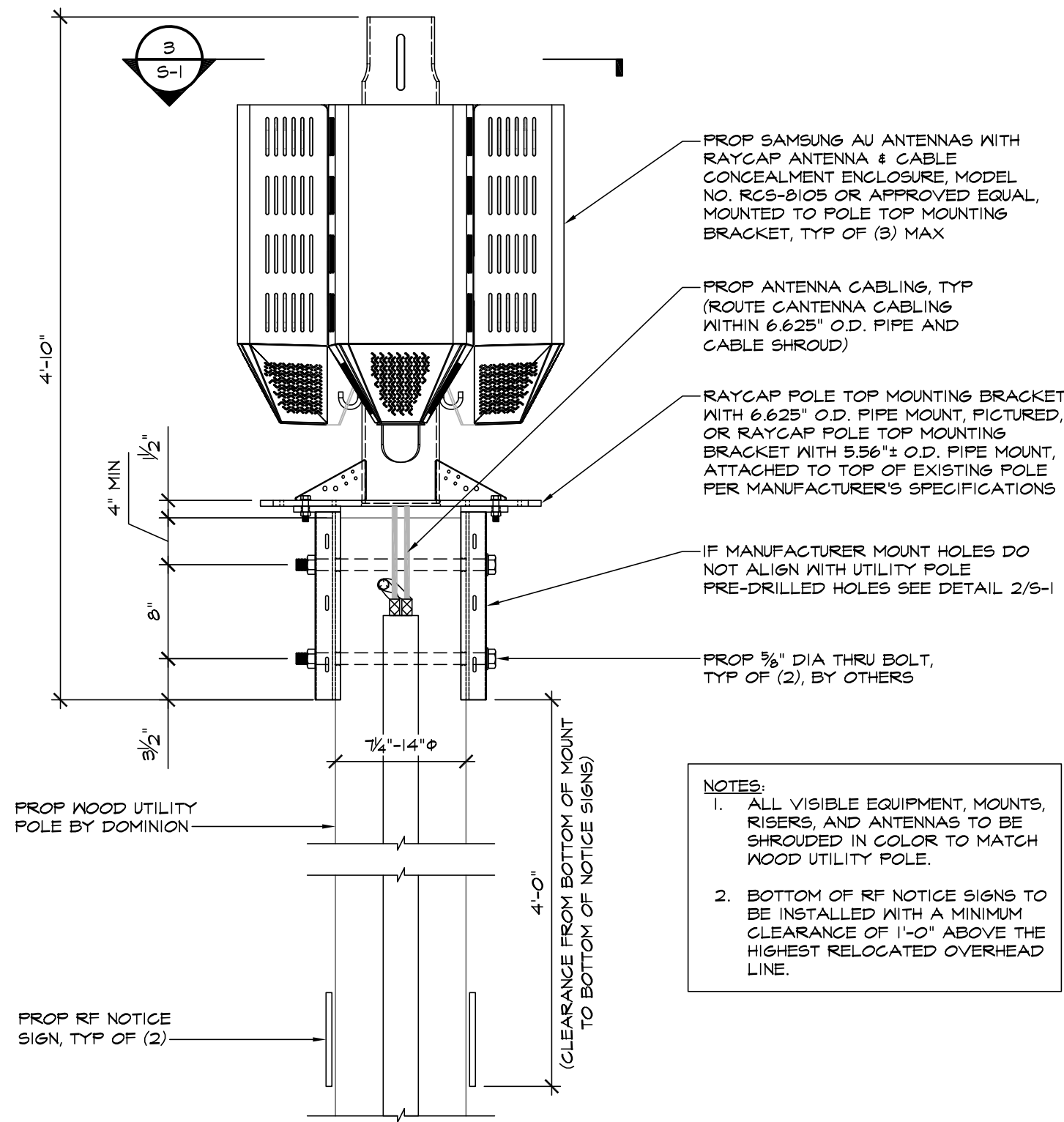
A POLE EQUIPMENT FRONT ELEVATION
SCALE: 3/4" = 1'-0"



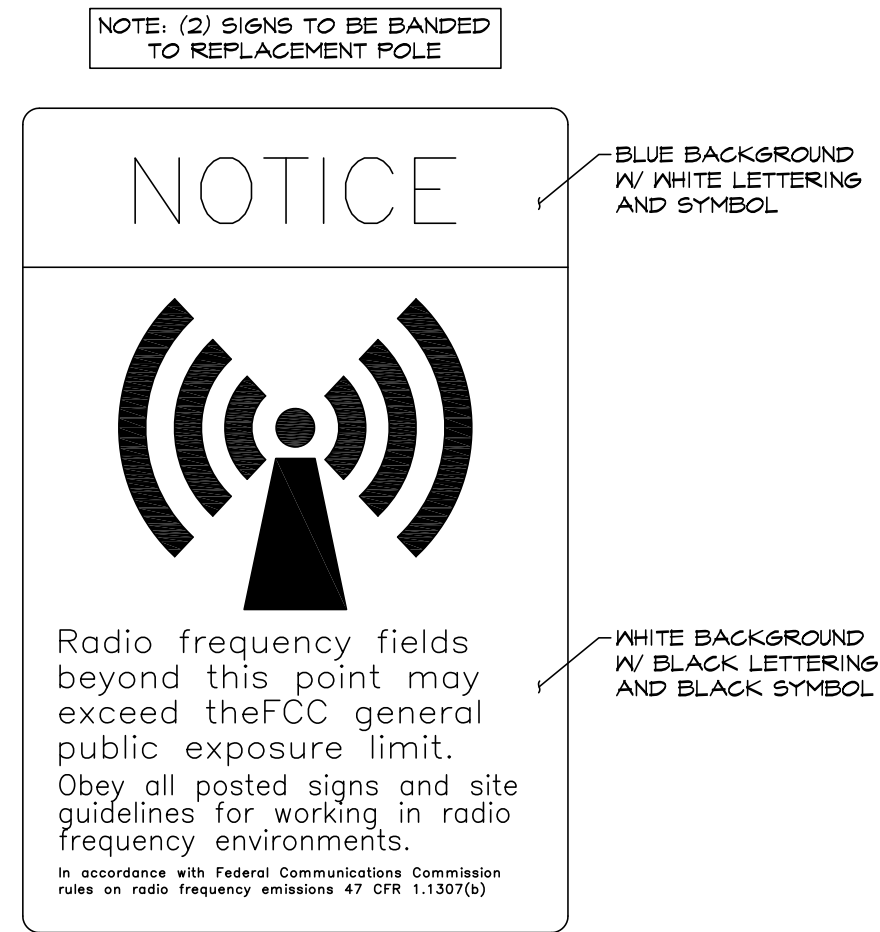
B POLE EQUIPMENT SIDE ELEVATION
SCALE: 3/4" = 1'-0"



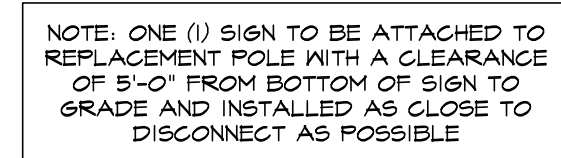
I EQUIPMENT MOUNT
SCALE: 1 1/2" = 1'-0"



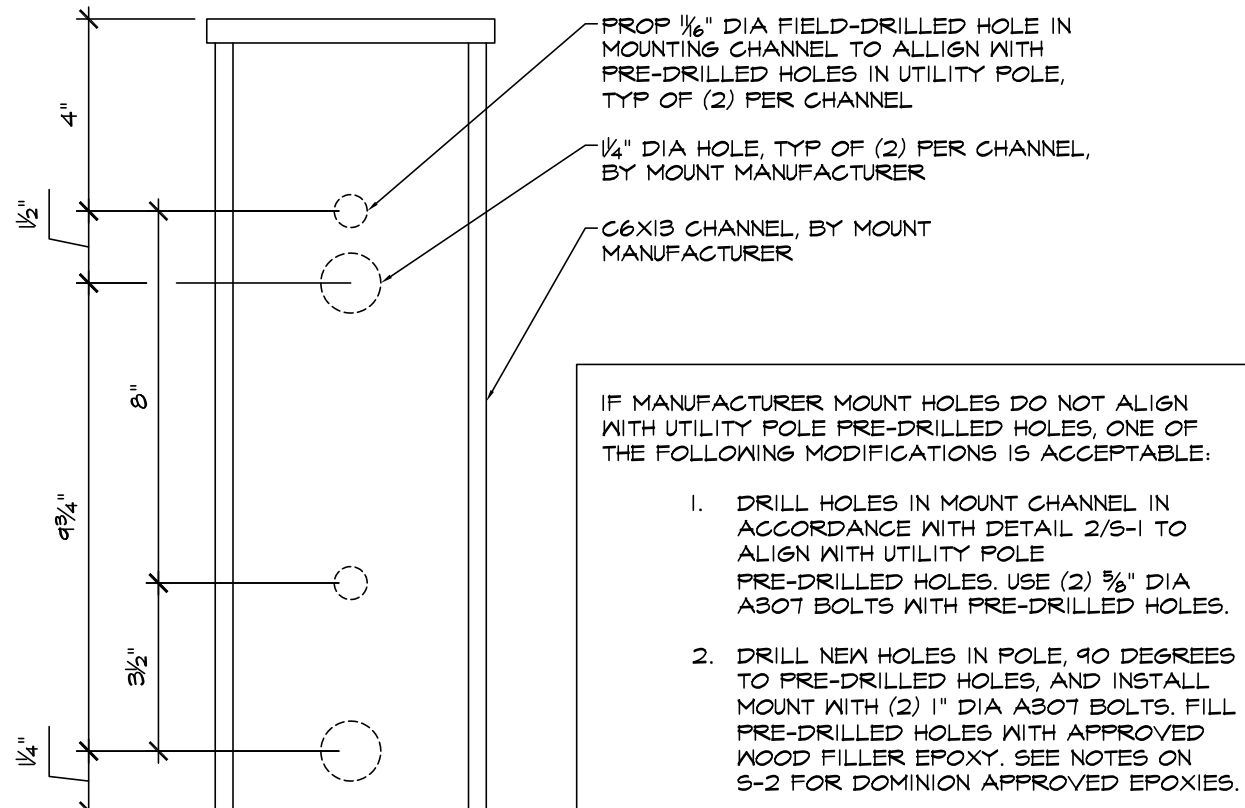
C 56 PANEL ANTENNA MOUNT
SCALE: 1" = 1'-0"



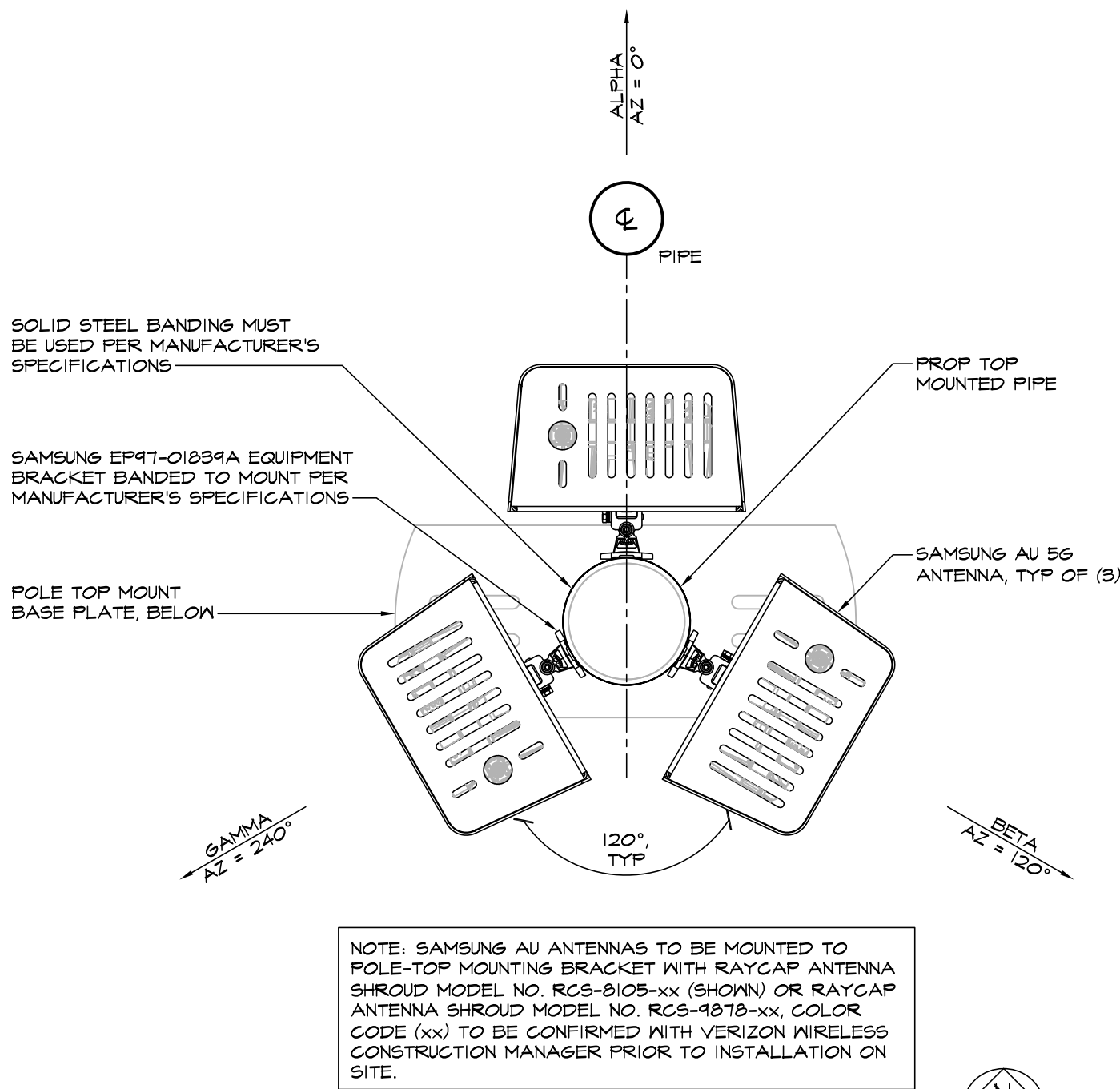
D RF NOTICE SIGN DETAIL
SCALE: 3" = 1'-0"



E INFORMATION SIGN DETAIL
SCALE: 3" = 1'-0"



2 MOUNT MODIFICATION
SCALE: 3" = 1'-0"



3 56 PANEL ANTENNA SECTION
SCALE: 1 1/2" = 1'-0"



**Know what's below.
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verizon
OLD TOWN 5 - A - SMALL CELL
S PITT ST RIGHT OF WAY ADJACENT TO 501 DUKE ST
ALEXANDRIA, VA 22314 (CITY OF ALEXANDRIA)

REVISIONS:			
NO.	DESCRIPTION	DATE	INT.

DESIGNED BY: RJD
DRAWN BY: DNT
PROJECT NO: 10427.2856
DATE: 01/21/2020
SCALE: AS NOTED
TITLE:







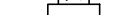


**Structural
Sections &
Details**

SHEET:

S-1

ELECTRICAL SYMBOLS LIST

NOTE: ALL MOUNTING HEIGHTS ARE TO CENTER LINE OF THE
OUTLET BOX UNLESS OTHERWISE INDICATED.

	120/240V, 1 ϕ , LOAD CENTER
	DRAWING NOTE
	ELECTRIC FEEDERS
	TELEPHONE SERVICE
	BRANCH CIRCUIT
	METER
	GROUND CONDUCTOR
	BURIED GROUND ROD
	DESIGNATES FRONT

DOMINION GENERAL NOTES

- ONLY METALLIC ELECTRICAL GRADE CONDUIT OR RISERS CAN BE USED FOR ROUTING OF COMMUNICATION CABLES THROUGH THE SUPPLY SPACE, THE CONDUIT INSTALLATION SHALL NOT OBSTRUCT CLIMBING SPACE OR WORKING SPACE ON POLE AND SHALL NOT OBSTRUCT SUPPLY EQUIPMENT.
- A. REFERENCE NESC 2391B AND 23914A.
2. SERVICE HEAD TO BE INSTALLED 6" ABOVE NEUTRAL. A DRIP LOOP 8" BELOW SERVICE HEAD IS REQUIRED.
3. SERVICE CONDUCTORS TO BE A MINIMUM #12 COPPER.
 - A. NEUTRAL WIRE IS WHITE.
 - B. GROUND WIRE IS GREEN.
 - C. LINE WIRES ARE BLACK AND RED.
4. COMMUNICATION COMPANY TO LEAVE MINIMUM 3'-0" LEADS COILED AND SECURED TO PREVENT ACCIDENTAL CONTACT WITH SECONDARY CONDUCTORS. SERVICE WILL BE CONNECTED BY THE COMPANY IN COMPLIANCE WITH FILED RATE PLAN.
5. SERVICE CONDUCTORS TO BE IN RIGID PVC CONDUIT.
 - A. IN NON-CONTAMINATED AREAS, SERVICE CONDUCTORS ENTER THE TOP CENTER OF THE METER BASE, THE TRANSITION TO METER BASE MAY BE IN LFNC CONDUIT.
 - B. IN CONTAMINATED AREAS, THE SERVICE CONDUCTORS ARE TO ENTER THE BOTTOM SIDE KNOCKOUT WITH A WEATHER PROOF CONNECTION.
6. THE METER BASE IS TO BE MOUNTED 4'-0" TO 6'-0" ABOVE GRADE PROVIDED THAT:
 - A. IT DOES NOT OBSTRUCT A WALKWAY, OTHERWISE 9'-0" OF GROUND CLEARANCE IS REQUIRED.
 - B. THE POLE IS NOT CLIMBABLE AS DEFINED IN NESC 232-2.
7. METER BASE TO BE MOUNTED USING BRACKET FOR ROUND POLE.
8. A POWER DISCONNECT MUST BE INSTALLED. THE DEVICE MUST PROVIDE DISCONNECTING MEANS FOR DE-ENERGIZED POWER TO THE ANTENNA. THE DISCONNECT SHOULD BE A STANDARD NEMA TYPE ENCLOSURE AND IS SUBJECT TO COMPANY APPROVAL. THE DISCONNECT SHALL BE CLEARLY LABELED AS "THE ANTENNA POWER DISCONNECT".
 - A. THE COMPANY MUST HAVE ACCESS TO THE DISCONNECT AT ALL TIME. IF THE DISCONNECT MUST BE LOCKABLE, THE LOCK MUST BE AN EXPENDABLE, TWIST OFF TYPE LOCK.
9. THE DISCONNECT MUST ALSO INCLUDE THE COMMUNICATION COMPANY NAME AND A 24-HOUR CONTACT PHONE NUMBER. THE LABEL SHALL ADHERE TO IEEE C45.2 STANDARDS.
10. ANTENNAS WITH BATTERY BACKUP ARE NOT PERMITTED.
11. A SEPARATE ANTENNA GROUND WIRE AND GROUNDING ELECTRODE IS REQUIRED.
 - A. THIS GROUND SHALL BE BONDED TO THE COMPANY GROUND WIRE (IF AVAILABLE) AT LEAST 6" ABOVE GROUND LEVEL USING #6 COPPER CONDUCTOR.
 - B. CONNECTION TO THE COMPANY'S GROUND ROD OR CONNECTOR IS NOT PERMITTED.
12. BONDS SHALL BE MADE BETWEEN THE GROUND WIRE AND THE EQUIPMENT CABINET (NOT NEUTRAL BUS) OF THE POWER SUPPLY/SWITCH. THESE CONNECTIONS ARE TO AVOID POTENTIAL DIFFERENCES BETWEEN DEVICES ON THE POLE. BOND TO THE POWER SUPPLY/SWITCH SHALL BE EXTERNAL AND VISIBLE FROM THE GROUND.
 - A. WHEN A COMPANY GROUND WIRE EXISTS ON A POLE, THE EQUIPMENT CASE BONDING WIRE NEED EXTEND ONLY FROM THE SWITCH TO THE COMPANY GROUND WIRE.
13. THE INSTALLATION MUST MEET ALL NESC REQUIREMENTS.

ELECTRICAL SPECIFICATIONS

1. SECTION 16010 - BASIC ELECTRICAL REQUIREMENTS

- A. THE WORK INCLUDES FURNISHING AND INSTALLING THE MATERIAL, EQUIPMENT AND SYSTEMS COMPLETE AS SPECIFIED AND/OR INDICATED ON THE DRAWINGS. THE ELECTRICAL INSTALLATIONS, WHEN FINISHED, SHALL BE COMPLETE AND COORDINATED AND READY FOR SATISFACTORY SERVICE.
- B. ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, STATE, BOCA, AND LOCAL ELECTRICAL CODES THAT GOVERN EACH PARTICULAR TRADE AND THE 2017 NATIONAL ELECTRICAL CODE.
- C. THE CONTRACTOR SHALL COORDINATE THE ELECTRICAL EQUIPMENT INSTALLATION WITH ALL TRADES.
- D. THE CONTRACTOR SHALL MAKE APPLICATION AND PAY ALL CHARGES FOR ALL NECESSARY PERMITS, LICENSES, AND INSPECTIONS AS REQUIRED UNDER THE ABOVE CODES. UPON COMPLETION OF THE WORK, THE CUSTOMARY CERTIFICATIONS OF APPROVAL SHALL BE FURNISHED.
- E. NO MATERIALS OR EQUIPMENT SHALL BE USED IN THE WORK UNTIL APPROVED. ALL MATERIALS SHALL BE U.L. LISTED.
- F. THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND SHALL INSPECT THE EXISTING CONDITIONS OF THE SITE. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR COMPLYING WITH THE CONTRACT DOCUMENTS.
- G. THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL INSTALLATIONS. DETAILS OF PROPOSED DISCREPANCIES AND/OR OTHER CHANGES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. REMOVAL OF COMPLETED ITEMS DUE TO IMPROPER FIELD COORDINATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- H. PROVIDE SUFFICIENT ACCESS AND CLEARANCE FOR ALL ITEMS OF EQUIPMENT REQUIRING SERVICING AND MAINTENANCE.
- I. UPON COMPLETION OF THE ELECTRICAL INSTALLATION, THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF PRINTS OF THE ELECTRICAL CONTRACT DRAWINGS WHICH SHALL BE LEGIBLY MARKED IN RED TO SHOW ALL CHANGES AND DEPARTURES OF THE INSTALLATIONS COMPARED WITH THE ORIGINAL DESIGN. THEY SHALL BE SUITABLE FOR USE IN PREPARATION OF RECORD DRAWINGS.
- J. GUARANTEE: ALL NEW ELECTRICAL INSTALLATIONS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DAY OF THE FINAL ACCEPTANCE OF THE WORK OR BENEFICIAL OCCUPANCY OF THE OWNER, WHICHEVER OCCURS FIRST. THE ABOVE SHALL NOT IN ANY MANNER VOID OR ABROGATE EQUIPMENT MANUFACTURER'S GUARANTEE OR WARRANTY. CERTIFICATES OF GUARANTEE SHALL BE DELIVERED TO THE OWNER, UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE ELECTRICAL INSTALLATION REQUIRING REPAIRS. NEW ELECTRICAL PARTS SHALL BE FURNISHED AND INSTALLED PROMPTLY AND AT NO COST TO VERIZON.
- K. SUPPORTS, HANGERS, AND FOUNDATIONS: PROVIDE ALL SUPPORTS, HANGERS, BRACES, ATTACHMENTS, AND FOUNDATIONS REQUIRED FOR THE WORK. SUPPORT AND SET THE WORK IN A THOROUGHLY SUBSTANTIAL AND WORKMANLIKE MANNER WITHOUT PLACING STRAINS ON THE MATERIALS OR EQUIPMENT. SUPPORTS, HANGERS, BRACES AND ATTACHMENTS SHALL BE STANDARD MANUFACTURED ITEMS OR FABRICATED STRUCTURAL STEEL SHAPES.
- L. THERE SHALL BE NO INTERRUPTION OF POWER TO EXISTING ELECTRICAL SYSTEMS WITHOUT PRIOR CONSENT FROM VERIZON. SUCH INTERRUPTIONS SHALL BE KEPT TO A MINIMUM. ANY COST FOR WORK THAT MUST BE DONE ON AN OVERTIME BASIS SHALL BE INCLUDED IN THE BID.
- M. MOUNTING AND SUPPORTING OF ALL EQUIPMENT PROVIDED BY THIS CONTRACTOR SHALL BE COORDINATED WITH VERIZON IN THE FIELD PRIOR TO CONSTRUCTION.

2. SECTION 16050 - BASIC ELECTRICAL MATERIALS & METHODS

A. CONDUIT & BOXES:

1. ALL CONDUIT BELOW GRADE SHALL BE SCHEDULE 40 PVC. ALL CONDUIT ABOVE GRADE SHALL BE NON METALLIC ELECTRIC GRADE.
2. JUNCTION AND PULL BOXES SHALL BE FURNISHED AND INSTALLED AS SHOWN OR WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. SUCH BOXES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. GASKETED COVER PLATES SHALL BE FURNISHED FOR OUTDOOR INSTALLATIONS.
3. ALL BOXES, WHETHER OUTLET, JUNCTION, PULL, OR EQUIPMENT SHALL BE FURNISHED WITH APPROPRIATE COVERS.
4. NO SPECIALIZED BOXES SHALL BE USED.

5. ALL FIELD CUTS OF GALVANIZED ITEMS SHALL BE BRUSHED WITH MARINE GRADE GALVANIZING

6. ALL METALLIC OBJECTS EXPOSED TO WEATHER SHALL BE GALVANIZED

B. WIRES & CABLE:

1. CONDUCTORS, UNLESS OTHERWISE INDICATED, SHALL BE 600 VOLT, TYPE THHN INSULATION FOR INTERIOR AND EXTERIOR USE. CONDUCTORS SHALL BE SOFT DRAWN COPPER OF NOT LESS THAN 98% CONDUCTIVITY. NO ROMEX OR AC (BX) CABLE WILL BE ALLOWED ON THE PROJECT.
2. NO WIRE SMALLER THAN NO. TWELVE (12) AWG SHALL BE USED UNLESS OTHERWISE INDICATED. CONDUCTORS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET AND FROM TERMINAL BOARD TO TERMINAL BOARD. ALL FINAL CONDUCTORS SHALL BE RUN IN RIGID CONDUIT TO ALL JUNCTION BOXES. ALL CONDUCTORS SHALL BE OF THE SIZES AS INDICATED. ALL WIRES NO. EIGHT (8) AWG AND LARGER SHALL BE STRANDED. THE CONTRACTOR SHALL MAKE WIRING CONNECTIONS AND TERMINATIONS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. ALL CABLES SHALL BE AS MANUFACTURED BY PIRELLI, ROYAL, AND TRIANGLE OR EQUIVALENT.
3. ALL WIRING SHALL BE COLOR CODED. MATCH EXISTING SYSTEM COLOR CODING WHERE APPLICABLE.

C. DISCONNECTS:

1. FURNISH AND INSTALL SAFETY SWITCHES WHERE INDICATED AND AS REQUIRED FOR MOTOR OUTLETS OR OTHER EQUIPMENT. SWITCHES SHALL BE OF SIZE, NUMBER OF POLES AND FUSED OR NON-FUSED, AS REQUIRED FOR JOB CONDITIONS AND THE NATIONAL ELECTRICAL CODE.

D. GROUNDING:

1. PROVIDE GROUND FOR ALL RACEWAYS, DEVICES, AND UTILIZATION EQUIPMENT PERMANENTLY AND EFFECTIVELY IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, AS HEREINAFTER SPECIFIED. ALL GROUNDING AND BONDING CONNECTIONS SHALL BE SOLDERLESS.
2. PROVIDE INSULATED GROUNDING CONDUCTORS FOR FEEDER AND BRANCH CIRCUIT WIRES AS CALLED FOR ON THE PLANS, PROVIDE GROUNDING BLOCKS, TERMINALS, ETC., FOR CONNECTION OF GROUND WIRE IN ALL DISTRIBUTION EQUIPMENT.

3. SECTION 16400 - SERVICE & DISTRIBUTION

A. ELECTRICAL SERVICE:

1. ELECTRICAL POWER TO THE NEW EQUIPMENT SHALL BE EXTENDED FROM THE PROPOSED UTILITY METER AND SERVICE ENTRANCE RATED LOAD CENTER MOUNTED ON NEW POLE. LABEL METER WITH "NO. 101565" AND "SERIAL NO. 101565". LABEL PANEL WITH PHENOLIC NAMEPLATE READING "VERTIGO WIRELESS SERVICE DISCONNECT".
- COMMUNICATIONS SERVICE:
1. TELEPHONE SERVICE SHALL BE EXTENDED BY THE TELEPHONE COMPANY. PROVIDE SERVICE CONDUITS, SLEEVES, AND OTHER EQUIPMENT SHOWN ON THE DRAWINGS FOR USE BY THE TELEPHONE COMPANY. ALL CHARGES BY THE UTILITY COMPANY SHALL BE PAID BY THE OWNER.
 2. ALL ELBOWS IN CONDUIT RUNS SHALL BE WIDE SWEEP FIELD BENDS. INSTALL PULL BOXES AS REQUIRED AND USED BY THE TELEPHONE COMPANY AND/OR AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.

DOMINION SPECIFICATIONS

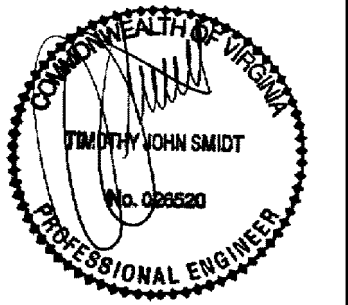
1. RF NOTICE SIGNS MUST BE INSTALLED ON BOTH SIDES OF POLE 4'-0" FROM BOTTOM OF ANTENNA MOUNT WITH A MINIMUM 1'-0" FOOT ABOVE THE UPPERMOST ELECTRIC SUPPLY FACILITIES. THIS SIGN MARKS THE POINT WHERE THE RISE IN ELEVATION FROM THE BOTTOM OF THE ANTENNA MOUNT TO THE UNCONTROLLED GENERAL POPULATION EXPOSURE WORKING ABOVE THIS POINT REQUIRES DE-ENERGIZING THE ANTENNA. THIS SIGN MUST INCLUDE THE STANDARD RF SYMBOL. THE SIGN SHALL BE 60 MIL LEXAN WITH UV INHIBITORS AND SIGNS SHALL ADHERE TO IEEE C45.5 STANDARDS. ONE (1) SIGN TO BE INSTALLED TO DISCONNECT TO DISCONNECT AS POSSIBLE WITH A CLEARANCE OF 5'-0" FROM BOTTOM OF SIGN TO FINISHED GRADE.
2. THE POWER DISCONNECT IS INTEGRAL TO THE LOAD CENTER ASSEMBLY. THIS DEVICE IS PROVIDED FOR DISCONNECTING MEANS FOR DE-ENERGIZING AC POWER TO THE ANTENNA. THE DISCONNECT SHALL BE CLEARLY LABELED AS THE ANTENNA POWER DISCONNECT.
3. AN ADDITIONAL RF LABEL ON THE EQUIPMENT MUST INCLUDE COMMUNICATION COMPANY NAME, AND A 24-HR CONTACT PHONE NUMBER. THE LABEL SHALL ADHERE TO IEEE C45.2 STANDARDS.
4. THE ANTENNA SHALL BE MOUNTED THE GREATER VALUE OF NESC MINIMUM CLEARANCE OR THE MINIMUM CLEARANCE REQUIRED TO MEET OET UNCONTROLLED EXPOSURE GUIDELINES AT A POINT 1'-0" ABOVE THE ELECTRIC FACILITIES. THE ANTENNA INCLUDING ATTACHING HARDWARE SHALL BE MOUNTED A MINIMUM OF 45' ABOVE PRIMARY INSTALLATIONS AND 40' ABOVE SECONDARY INSTALLATIONS. (NESC TABLE 238-1)
5. ONLY NON METALLIC ELECTRIC GRADE CONDUIT OR RISERS CAN BE USED FOR ROUTING THE COMMUNICATION CABLES THROUGH THE SUPPLY SPACE. THE CONDUIT INSTALLATION SHALL NOT OBSTRUCT THE CLEARING SPACE ON THE POLE AT LEAST 6' ABOVE GROUND LEVEL USING A No. 6 GUY EQUIPMENT. (NESC 234B, AND NESC 234HA).
6. THE INSTALLATION MUST MEET ALL NESC REQUIREMENTS.
7. A DOMINION DISTRIBUTION REPRESENTATIVE MUST APPROVE ALL ANTENNA ATTACHMENT POLES. ANTENNAS ARE NOT ALLOWED TO BE FREELY VISITED BY OPERATIONS PERSONNEL. THESE INCLUDE EQUIPMENT POLES SUCH AS REGULATORS, THREE PHASE TRANSFORMER BANKS, THREE PHASE TERMINALS, CAPACITORS, SWITCHES, ETC.
8. INSTALLERS WORKING IN THE AREA OF THE POLE ABOVE THE NORMAL COMMUNICATIONS SPACE MUST MEET OSHA 1910.264 REQUIREMENTS.
9. AN ANTENNA GROUND WIRE AND GROUNDING ELECTRODE IS REQUIRED. THIS GROUND SHALL BE BONDED TO THE COMPANY GROUND WIRE.
10. VERIZON TO LEAVE MINIMUM 3' LEADS COILED AND SECURED TO PREVENT ACCIDENTAL CONTACT WITH SECONDARY CONDUCTORS.
11. SERVICE WILL BE CONNECTED BY VERIZON IN COMPLIANCE WITH FILED RATE PLAN.
12. LINE ARRESTER INSTALLATIONS ARE REQUIRED ON POLES WITH PRIMARY CONDUCTORS.
13. VERIZON'S GROUND MAY NOT BE USED TO SATISFY NEC REQUIREMENTS FOR THE EQUIPMENT BRACKET AC SERVICE GROUND. THE EQUIPMENT AND ITS AC SERVICE GROUND ARE REQUIRED TO BE BONDED TO THE COMPANY GROUND CONDUCTOR ON THE POLE AT LEAST 6' ABOVE GROUND LEVEL USING A No. 6 GUY CONDUCTOR. CONNECTION TO THE COMPANY'S GROUND ROD OR CONNECTOR IS NOT APPROVED.
14. BONDS SHALL BE MADE BETWEEN THE GROUND WIRE AND THE EQUIPMENT CABINET (NOT NEUTRAL BUS) OF THE POWER SUPPLY/SWITCH. THESE CONNECTIONS ARE TO AVOID POTENTIAL DIFFERENCES BETWEEN DEVICES ON THE POLES. BOND TO THE POWER SUPPLY/SWITCH SHALL BE EXTERNAL AND VISIBLE FROM THE GROUND. WHEN A GUY IS USED TO BOND ON THE POLE, THE EQUIPMENT CASE BONDING WIRE NEED EXTEND ONLY FROM THE SWITCH TO THE COMPANY GROUND WIRE.
15. THE METER BASE, EQUIPMENT BRACKET, AND DISCONNECT SHOULD BE MOUNTED PROVIDING DOMINION BLUE BOOK AND NEC CLEARANCE. THEY MAY BE MOUNTED AT OPERATIONAL HEIGHT THAT:
A. THE EQUIPMENT BRACKET DOES NOT OBSTRUCT A WALKWAY OR IS SUBJECT TO VEHICULAR TRAFFIC.
B. THE EQUIPMENT BRACKET CAN NOT BE USED ALONE OR IN CONJUNCTION WITH A FENCE, PEDESTAL, ETC. AS A CLIMBING AID.
17. FOR SAFETY PURPOSES DEVICES WITH LEAD ACID BATTERIES SHALL NOT BE USED.
18. DUE TO OPERATIONAL CONCERNS, SECONDARY POLES OR GUY STUB POLES ARE PREFERRED FOR ANTENNA ATTACHMENTS. PRIMARY POLES SHOULD ONLY BE CONSIDERED WHEN THERE IS NO OTHER SUITABLE POLE IN THE AREA.
19. ONE RADIO CABINET, A SERVICE DISCONNECT AND THE METER BASE MAY BE POLE MOUNTED. ADDITIONAL EQUIPMENT SHALL BE PAD MOUNTED. PAD MOUNTED EQUIPMENT MUST BE LOCATED A MINIMUM OF 10' FROM THE BASE OF THE POLE.

DOMINION CONDUIT SPECIFICATIONS

1. CUSTOMER INSTALLED CONDUITS SHOULD BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES OUTLINED BY DOMINION ENERGY AND LOCAL GOVERNMENT AGENCIES AND CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRIC SAFETY CODE AND APPLICABLE VDOT LAND USE MANUAL.
2. THE CUSTOMER IS RESPONSIBLE FOR INSTALLING THE PROPER DIAMETER SIZE CONDUIT, AT THE SPECIFIED DEPTH AS DETERMINED BY DOMINION ENERGY. IN THE EVENT THAT DOMINION ENERGY FIND THE CUSTOMER INSTALLED CONDUIT UNSUITABLE, IT IS UNDERSTOOD THAT THE CONNECTION OF SERVICE MAY BE DELAYED.
3. ALL CUSTOMER INSTALLED CONDUITS INSTALLED FOR THIS PROJECT ARE TO BE EITHER OF THE OPTIONS SPECIFIED BELOW. THE INSTALLER SHOULD MAINTAIN AS STRAIGHT A PATH AS POSSIBLE WITH NO MORE THAN A TOTAL OF 270 DEGREE BENDS UNLESS SPECIFIED BY DOMINION ENERGY.
 - A. PVC STICK CONDUIT, ELECTRICAL GRADE, GRAY IN COLOR AND MEET THE REQUIREMENTS OF THE NEMA TC2 FOR SCHEDULE 40 OR THICKER. CONDUIT SIZE REFERS TO THE INSIDE DIAMETER.
 - B. HDPE CONDUIT MUST BE ELECTRICAL GRADE, BLACK IN COLOR AND MEET THE REQUIREMENTS OF NEMA TC2 FOR SCHEDULE 40. HDPE CONDUIT IS NOT APPROVED FOR METER RISERS. CONDUIT SIZE REFERS TO THE OUTSIDE DIAMETER.
 - I. HDPE COILABLE CONDUIT WITH TRADE SIZES 2" OR SMALLER SHALL FOLLOW SCHEDULE 40. HDPE COILABLE CONDUIT WITH TRADE SIZES GREATER THAN 2" SHALL USE A STANDARD DIMENSION RATIO (SDR) OF 13.5 OR LESS.
 - II. HDPE STICK CONDUIT WITH TRADE SIZES GREATER THAN 4" SHALL USE A STANDARD DIMENSION RATIO (SDR) OF 13.5 OR LESS.
(DOMINION ENERGY BLUE BOOK, 2011 EDITION, PAGE 17)
4. ALL ROAD CROSSING CONDUITS TO BE INSTALLED AT 36" BELOW GRADE, MEASURED FROM THE TOP OF THE CONDUIT. CONDUIT UNDER ROADWAYS TO BE SCHEDULE 80 PVC.
5. CONDUIT MUST BE INSTALLED WITH A PULL STRING (1000LB TEST NYLON). INDIVIDUAL PULL STRINGS MUST BE SECURELY TIED TOGETHER WHERE THEY MEET. ALL CONDUIT MUST BE CONNECTED (WITH ELBOWS IF APPROPRIATE) AND GLUED. WHEN CONNECTING A 90 DEGREE BEND, USE A 24" RADIUS FOR 2" CONDUIT AND A 36" RADIUS FOR A 4" OR 6" CONDUIT.
6. CONDUIT ENDS NEED TO BE CAPPED AND CLEARLY MARKED ABOVE GROUND. CONDUIT END AT DOMINION TRANSFORMER MAY NOT EXCEED 3'-0" MAXIMUM FROM TRANSFORMER.
7. CUSTOMER INSTALLED DOMINION ISSUED SPLICE BOXES ARE TO BE INSTALLED IN GREEN SPACE IF POSSIBLE AND ARE NOT TO BE INSTALLED IN ROADWAYS OR ANY AREA WITH VEHICLE TRAFFIC. THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO BE FILLED WITH GROUT. DRIVERS ARE TO ENTER THE SPLICE BOX AT OPPOSITE ENDS TO ALLOW FOR PROPER SPACE FOR SPLICING.



TELEVENT ENGINEERING INC.
2216 Commerce Road, Suite 1
Forest Hill, MD 21050
410-692-5816
www.tel-eng.com



12/012021

verizon
OLD TOWN 5 - A - SMALL CELL
S PITT ST RIGHT OF WAY ADJACENT TO 501 DUKE ST, ALEXANDRIA,
CITY OF ALEXANDRIA, VIRGINIA 22314

REVISIONS:

NO.	DESCRIPTION	DATE
	RFD&UTILITY REV'S	12/01/21
	PERMIT DWGS.	01/27/20

LAST REV.:

PROJECT NO: 19154Q

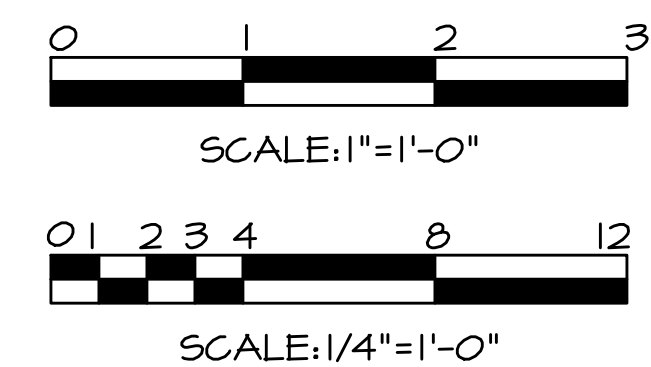
DATE: JANUARY 27, 2020

SCALE: AS NOTED

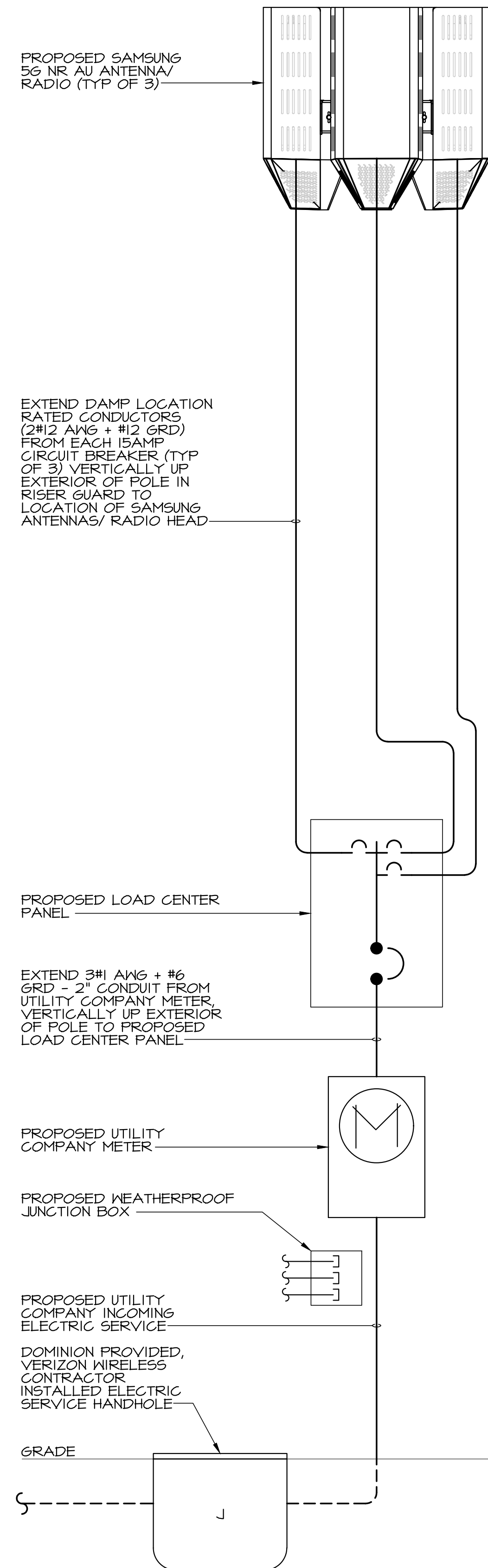
TITLE:
SYMBOLS LIST,
ELECTRICAL
SPECIFICATIONS,
AND DOMINION
SPECIFICATIONS

SHEET:

III-2


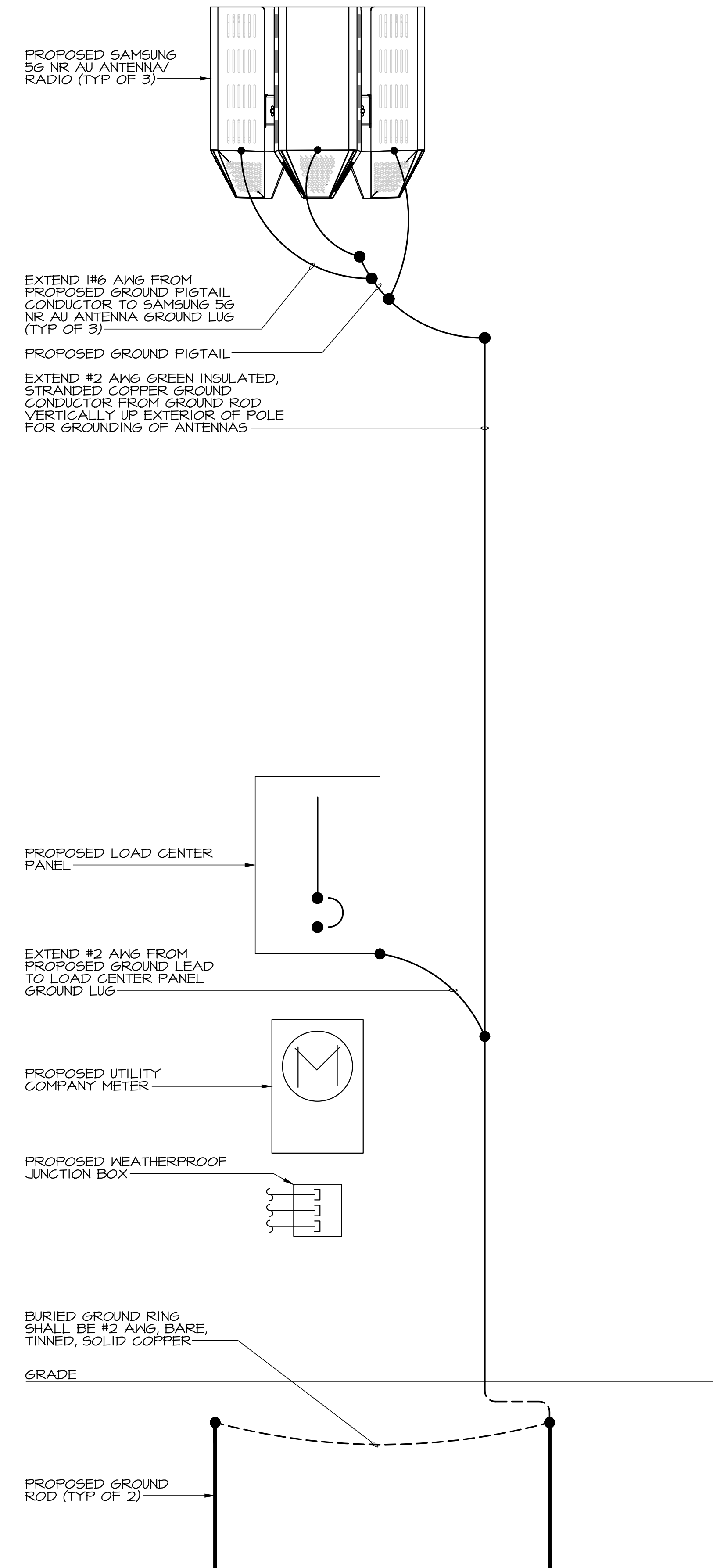
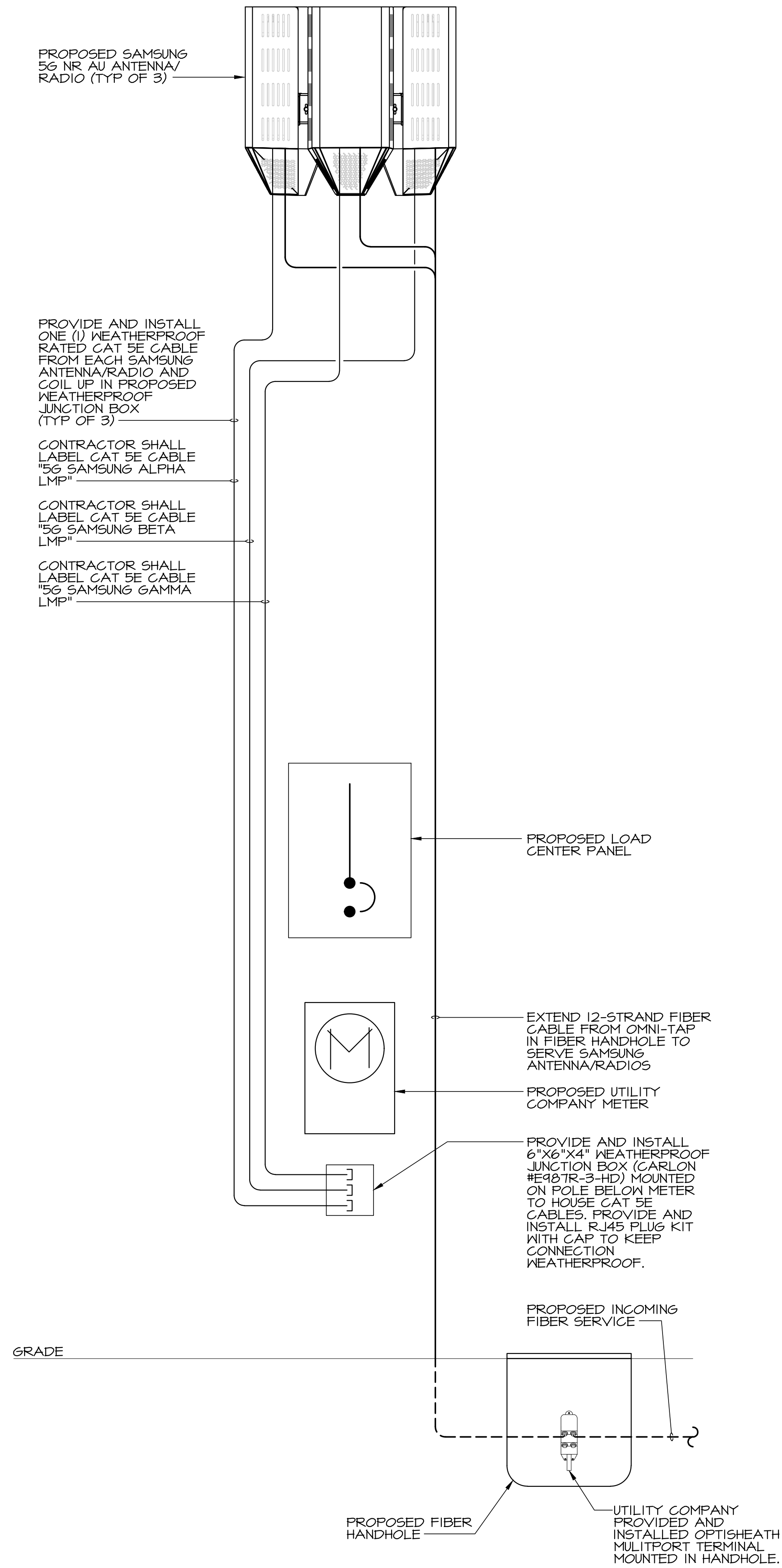






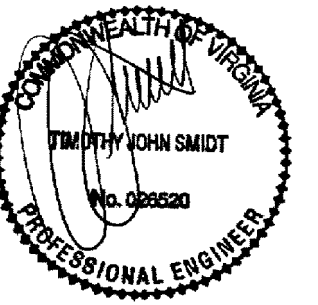
NOTE: CONTRACTOR SHALL REFER TO LATEST EDITION OF VZW
FIBER DESIGN STANDARDS FOR FIBER QUANTITIES, ETC.

STANDARD DETAILS MAY NOT REPRESENT EXACT PULLBOX
LOCATIONS. PLAN SHEETS DICTATE PULLBOX LOCATIONS.



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S PITT ST RIGHT OF WAY ADJACENT TO 501 DUKE ST, ALEXANDRIA,
CITY OF ALEXANDRIA, VIRGINIA 22314

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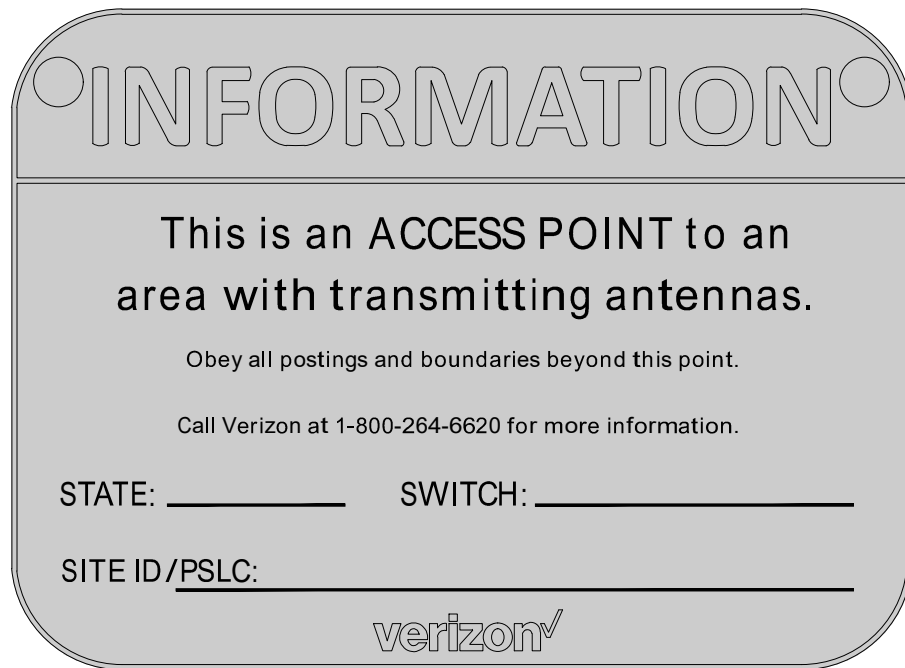
LAST REV.:

DATE: JANUARY 27, 2020

SCALE: AS NOTED

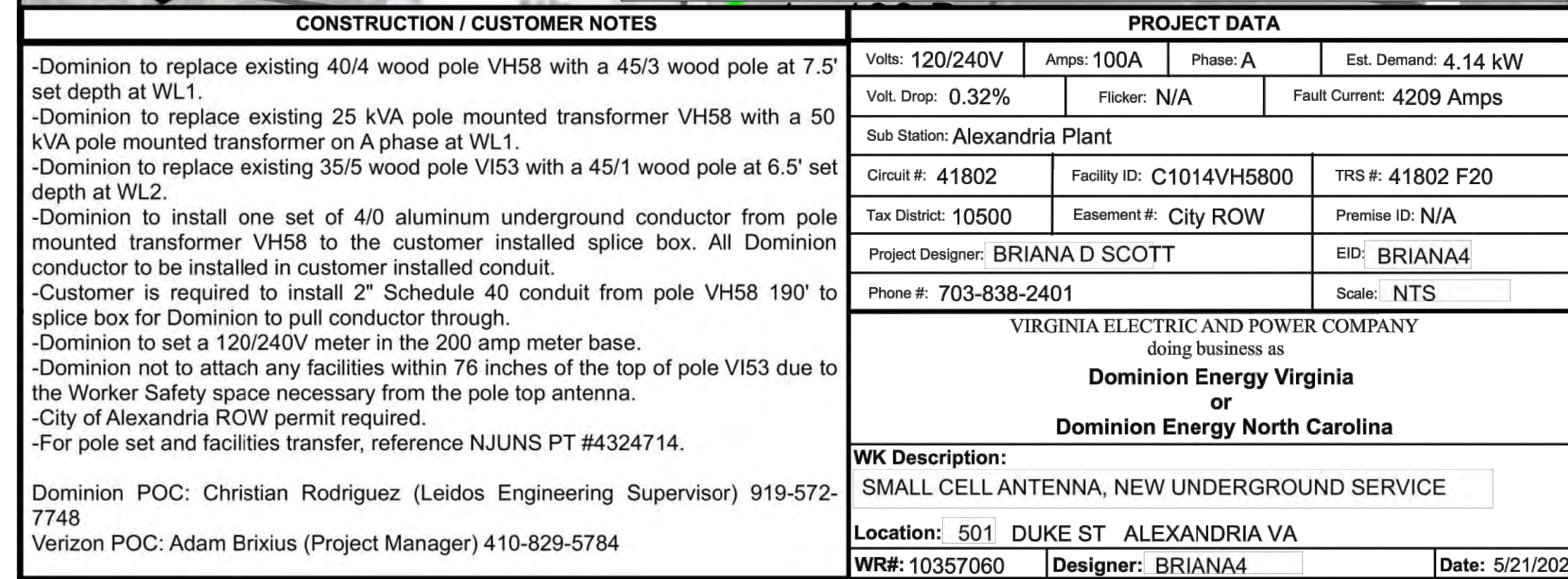
TITLE:
DIAGRAMS

SHEET:



DETAIL - RF SIGNAGE
NO SCALE

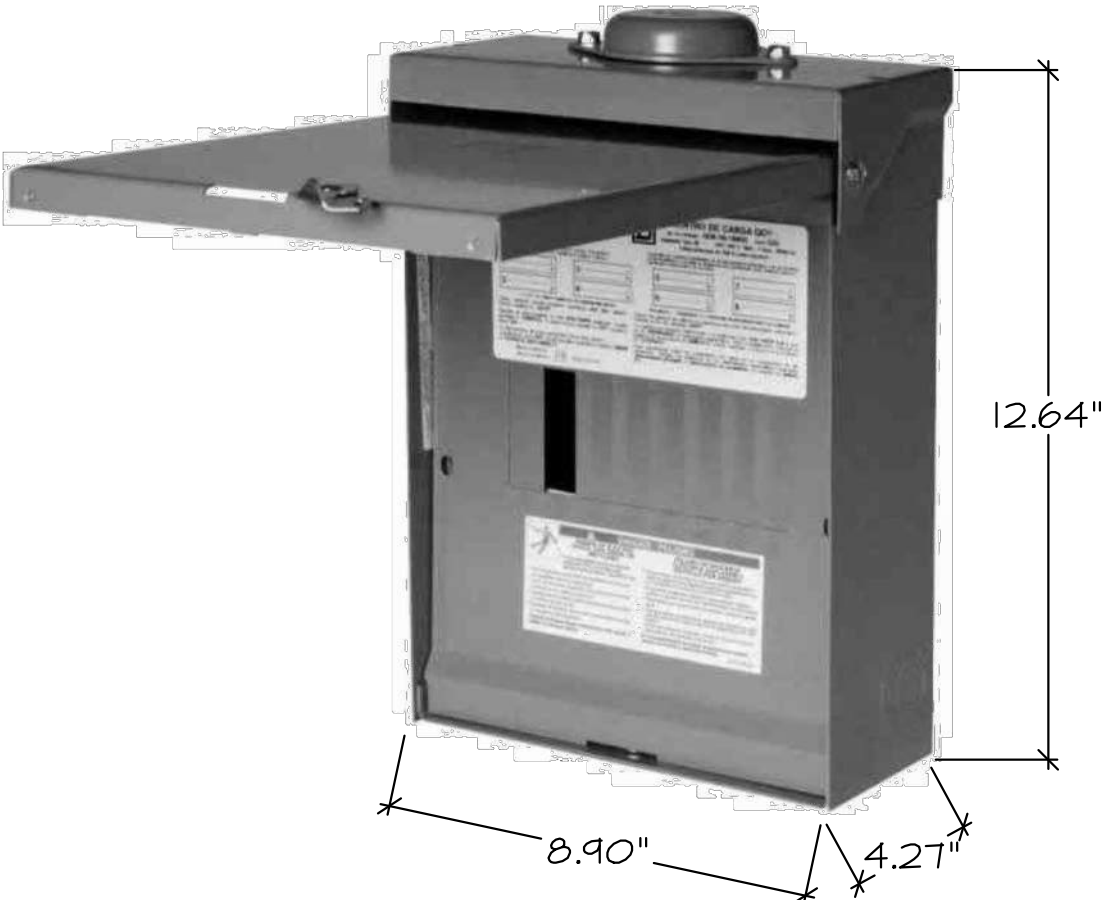
DETAIL - DOMINION CHECKLIST



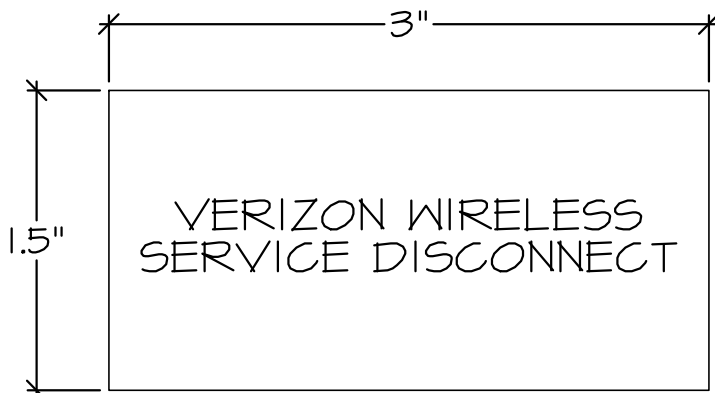
AVAILABLE FAULT CURRENT = 4,209 AMPS

(PROPOSED)									(NEMA 3R)
PANEL "VERIZON WIRELESS"									
120/240 VOLTS 1Ø 3 WIRE 100 AMP MAIN L.O.									
WIRE	1	2	3	4	5	6	7	8	
BREK	40		15	15	15	15	-	-	-
DESCRIPTION									
	MAIN								
	GFCI RECEPTACLE								
	SAMSUNG ANTENNA - ALPHA								
	SAMSUNG ANTENNA - BETA								
	SAMSUNG ANTENNA - GAMMA								
	SPACE								
	SPACE								
	SPACE								
	SPACE								
POWER LOAD: 1.43 KVA x 125% = 1.79 KVA									
= 7.46 AMPS									
@ 120/240V, 1Ø, 3W									

- PANEL SHALL BE LOCKABLE WITH PADLOCK.
- PANEL SHALL BE SERVICE ENTRANCE RATED.
- LOAD CENTER PANEL SHALL BE EQUIPPED WITH A TYPEWRITTEN DIRECTORY, INDICATING PLAINLY WHAT EACH CIRCUIT OF THE PANEL CONTROLS. THIS SCHEDULE SHALL BE PLACED ON FRONT COVER OF PANEL.
- CONTRACTOR SHALL PROVIDE AND INSTALL 15 AMP TANDEM BREAKERS IN SPACES PROVIDED.



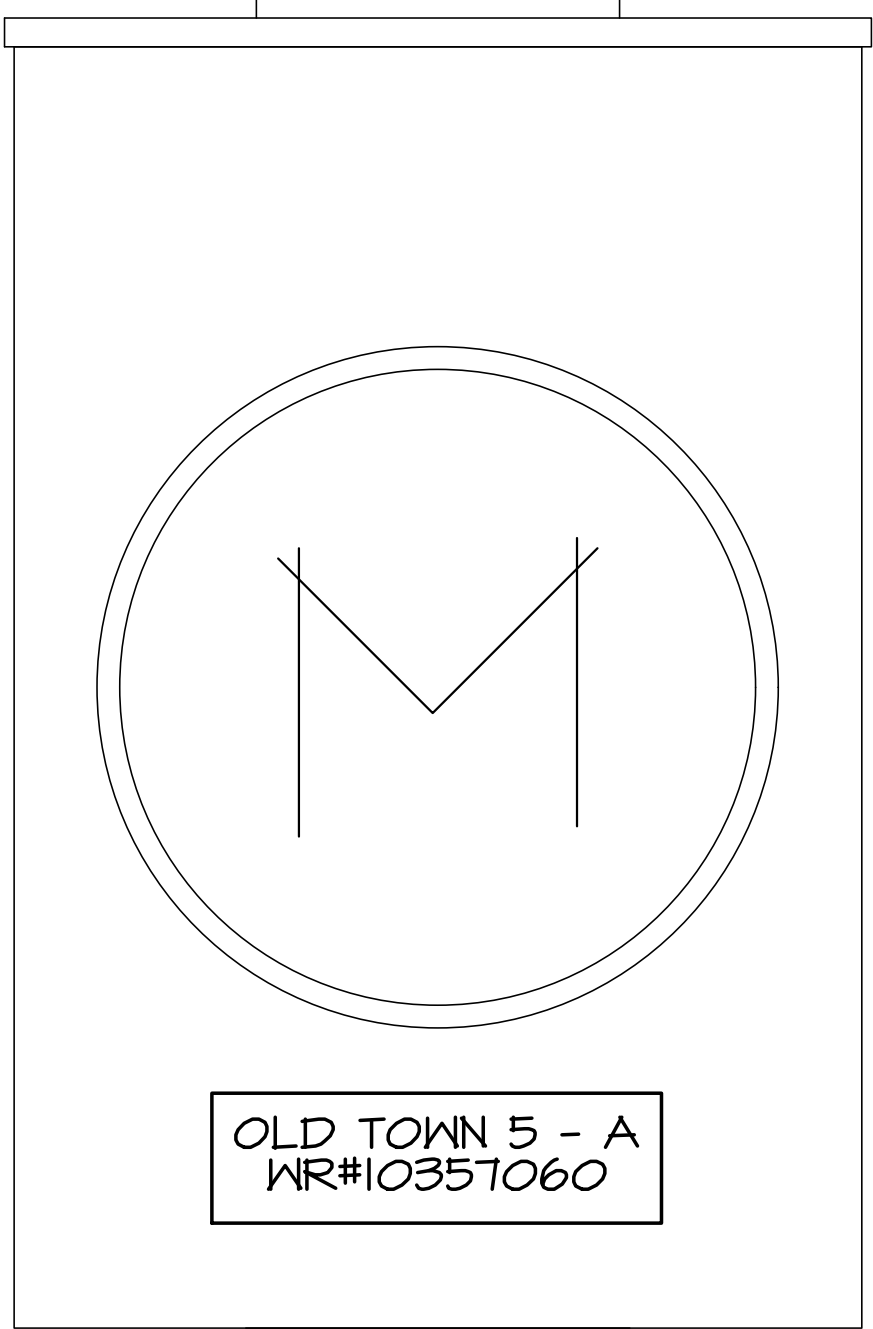
DETAIL - SQUARE-D QOB16L100RB
NOT TO SCALE (OR APPROVED EQUAL)



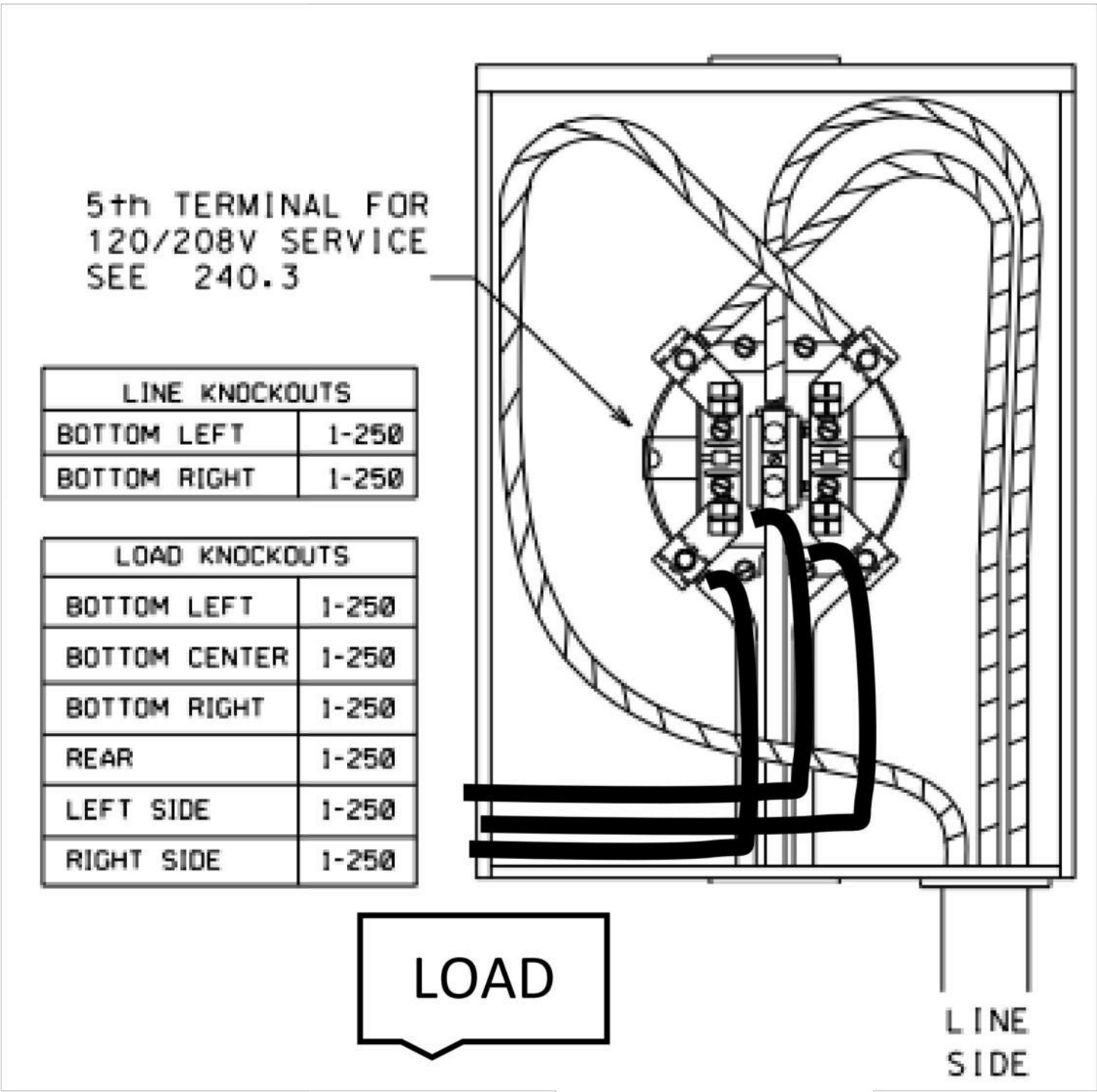
- PHENOLIC NAMEPLATE SHALL HAVE A BLACK BACKGROUND WITH WHITE LETTERING AND BE PERMANENTLY INSTALLED ON FRONT OF COVER.

DETAIL - MAIN OVERCURRENT
DEVICE PLACARD
NOT TO SCALE (DISCONNECTING MEANS)

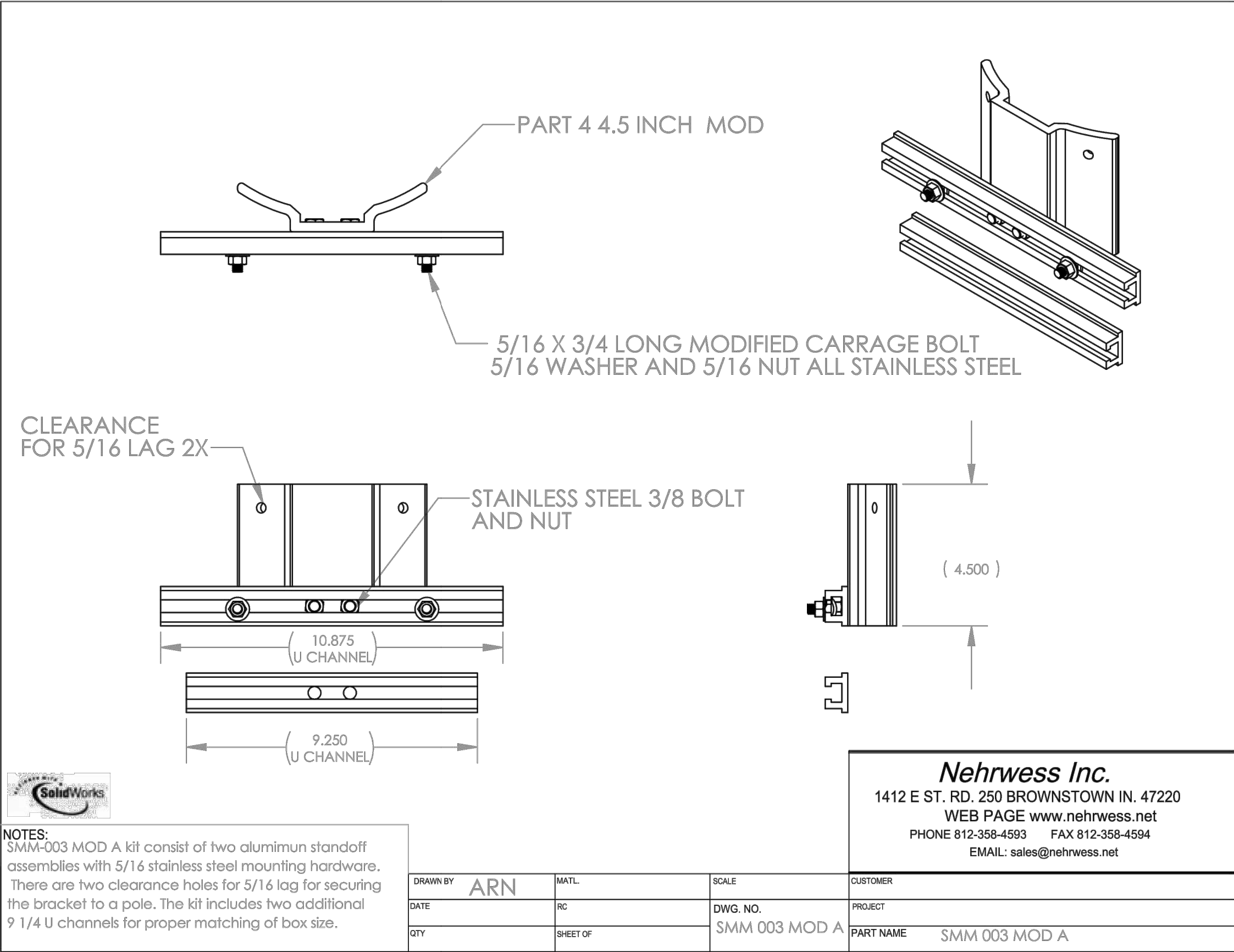
Underground Dominion Feed – ALL AREAS



DETAIL - METER LABEL
NO SCALE



DETAIL - DOMINION METER CONNECTIONS
NO SCALE



DETAIL - METER BRACKET
NO SCALE (WOOD POLES)

NOTE:
CONTRACTOR SHALL USE THE FIRST 150 OLD KITS FOR FOR METER MOUNTING. CONTRACTOR SHALL USE NEW KITS ONCE THE OLD ONES ARE NO LONGER AVAILABLE FOR THE SELF CONTAINED 200 AMP METERBASE. BRACKET SHALL BE MOUNTED TO WOOD POLE WITH 5/16"x2-1/2" GALVANIZED LAG BOLTS.

EQUIPMENT SCHEDULE					
MANUFACTURER	PART #	COMPONENT TYPE	QUANTITY	DIMENSIONS (HxWxD)	WEIGHT
SAMSUNG	ATIK04	ANTENNA/ REMOTE RADIO HEAD	3	16.8"x9.6"x6.9"	32.0 LBS.
SQUARE-D	QOB16L100RB	LOAD CENTER PANEL	1	12.64"x8.90"x4.27"	9.68 LBS.
CARLON	E98TR-3-HD	CAT 5E CABLE JUNCTION BOX	1	6.0"x6.0"x4.0"	3.00 LBS.
DOMINION STANDARD	65.731000	ELECTRIC METER	1	17.0"x11.0"x5.0"	5.25 LBS.
		CONDUIT CABLING	3±	VARIES	20.0 LBS.
				TOTAL WEIGHT:	133.93 LBS.
				TOTAL VOLUME:	2.84 CU.FT.

