

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

**APPLICANT:** David C. Drake

**LOCATION:** Old and Historic Alexandria District  
724 North Washington Street

**ZONE:** CDX/Commercial Downtown Zone (Old Town North)

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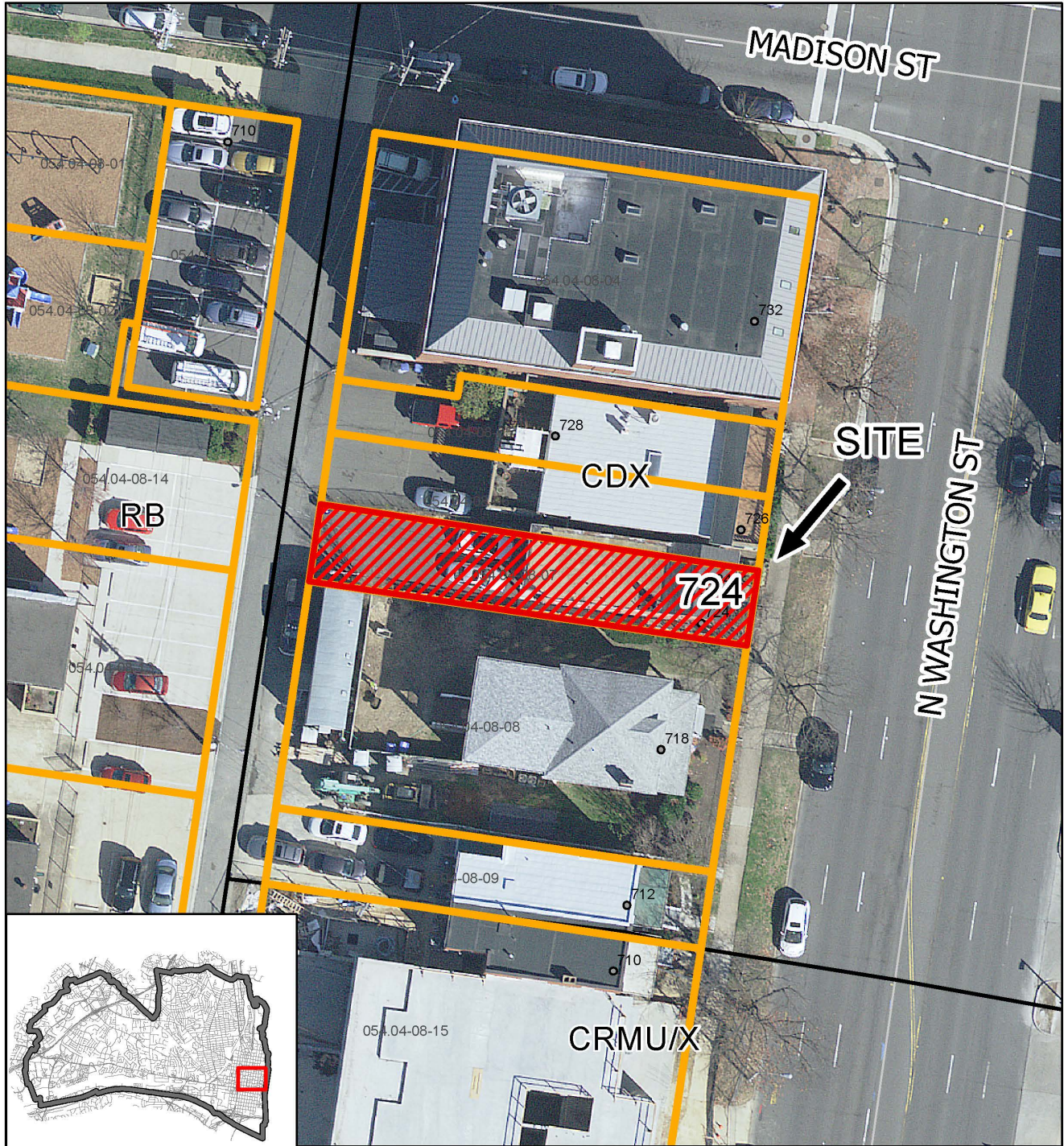
**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations with the following conditions:

1. Work with staff on the final detailing of the trim at the cornice on the west elevation of the addition.
2. Align the two ground floor windows on the south elevation of the addition.
3. Align the sill of the window on the second floor of the south elevation with the sill of the windows on the west elevation.
4. The applicant submit updated window specifications with the building permit to confirm that the proposed windows meet the *Alexandria New and Replacement Window Performance Specifications in the Historic District*.
5. The fiber cement siding is to be painted, with a smooth finish.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2021-00416 & BAR #2021-00417**  
**724 North Washington Street**



0 15 30 60 Feet



**Note:** Staff coupled the applications for a Permit to Demolish (BAR #2022-00417) and Certificate of Appropriateness (BAR #2022-00416) for clarity and brevity. The Permit to Demolish requires a roll call vote.

## I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to build an addition on the west side of the existing structure.

### Permit to Demolish/Capsulate

- Remove existing two story deck on west side of building
- Remove portion of west wall of existing building to allow for construction of proposed addition. Wall demolition area is approximately 445 sf.
- Remove roof of existing rear ell.

### Certificate of Appropriateness

#### *Addition*

The applicant proposes to construct a two story 17' wide by 24'-7" deep, fiber cement clad addition on the west side of the existing structure. The addition will provide two floors of interior living space and will be set back from the west property line by 31'-1 1/2". The roof will be low slope with the high side on the north and the low side on the south side of the addition. The addition will include a parapet wall along the north and west elevations that aligns with the existing brick parapet. On the west elevation, this parapet will be capped with a decorative cornice with brackets. The top of the south wall will feature a simple fascia board that aligns with the existing fascia (Figure 1).



Figure 1: Proposed addition

#### *Alterations*

The roof of the existing ell will be reframed at a more steep angle and will match the slope of the new addition. The existing roof is only partially visible because of the low slope and tall parapet on the north side. The roof is a typical low slope roof and is unremarkable in design or construction.

### Site context

The property is on the west side of North Washington Street between Wythe Street and Madison Street. A public alley runs immediately to the west of the property and will be the place from which the proposed addition will be most visible. A combination of grade change and neighboring buildings will limit the view of the addition from North Washington Street but it will be clearly visible from the alley (Figure 2).



Figure 2: View of subject property from public alley

## **II. HISTORY**

The building currently at 724 North Washington Street was built in 1962. The meeting minutes from the February 14, 1962 BAR hearing include the approval of an application for the construction of a new structure on the site. Permit #7554 was issued on February 28, 1962 for this construction. Permit # 18221 from 1962 was issued for a modification to the porch and refers to the building as “Under Construction.”

Based on Sanborn Insurance Maps there appears to have been a previous structure on this site with a masonry 2 story main block and rear ell with a frame side porch on the south side of the ell. The configuration of this structure is similar to, but clearly different from, the structure currently in place. This structure appears on the 1912 map, the first map to include this portion of the city and, with the exception of the construction of outbuildings, remained in that configuration until the 1959 map. BLD 404 was issued for this property in 1929 for “Porch Work.” Based on the documentation of the approval and construction of the current building in 1962, it appears that the previous structure was demolished sometime between 1959 and 1962 although staff has not located a permit to demolish for this previous structure.

The construction of a replacement porch on the west elevation of the structure was approved in 2011 (BAR 2011-00068). This porch appears to be the one being proposed for demolition in the current proposal.

*Previous BAR Approvals*

September 1962 – Signage  
BAR 2002-00288 – Signage  
BAR 2011-00068 – Repair/replacement of rear porch  
BAR 2017-00163 – Roof replacement

**III. ANALYSIS**

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The select portions of the building proposed for demolition are not themselves of unusual or uncommon design.

According to documentary evidence and site observation, the two-story porch on the west side of the building was constructed in 2011 and replaced a similar deck in the same location. The existing deck includes simple wood columns with a simple cornice and vertical picket railings. These elements are not particularly unique in design or construction and given their age could easily be reproduced.

The construction of the proposed addition will require the demolition of the west wall of the existing structure. It appears from documentary evidence that there was always some type of deck on this elevation that at least partially obscured the building façade. As such, the design for the façade is utilitarian in nature and clearly intended to be a secondary design feature. The two ground floor doors are raised panel and their spacing appears to be driven by interior conditions rather than an exterior composition. The door and window on the second floor align with features below but these are also simple in design and construction. The design for the west façade of the building is clearly not critical to the design of the overall structure and since none of the building components are particularly unique, staff supports the proposed demolition.

The applicant is proposing to demolish the existing low slope roof on the ell of the structure in order to rebuild it at a different slope that will align with the slope of the addition. Staff is often concerned about the removal of an existing roof form because that form can be a character defining feature in its own right. In this case, the direction and configuration of the sloped roof will remain the same, the slope will just become steeper. The building also features a tall parapet at the north, high side, of the existing roof which conceals the roof slope from view from this side. The applicant is proposing to keep this parapet and include one of a matching height on the addition that will further obscure any view of the roof. As the roofing material itself is not unique, the roof configuration is being minimally changed, and the roof form does not contribute to the overall design for the building, staff supports the proposed demolition.

### Certificate of Appropriateness

#### *Addition*

The *Design Guidelines* note that “The design of an addition should respect the heritage of the historic building to which it is attached as well as adjacent buildings. The Boards generally prefer addition designs that are respectful of the existing structure, and which seek to be background statements or which echo the design elements of the existing structure.” The *Guidelines* further state that “An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past. To create a differentiation between the existing building and an addition, different traditional materials can be utilized. For example, a wood addition would be appropriate for an existing brick residential structure.”

As the subject property fronts onto Washington Street, additional standards are to be considered for the design of additions, the additional standards relevant to the proposed project include the following:

- Construction shall be compatible with and similar to the traditional building character, particularly including mass, scale, design, and style, found on Washington Street on commercial or residential buildings of historical architectural merit.
- Elements of design consistent with historic buildings which are found on the street shall be emphasized.
- New buildings and additions to existing buildings shall not, by their style, size, location or other characteristics, detract from, overwhelm, or otherwise intrude upon historic buildings which are found on the street.
- The design of new buildings and addition to existing buildings shall be complementary to historic buildings which are found on the street.
- The massing of new buildings or additions to existing buildings adjacent to historic buildings which are found on the street shall closely reflect and be proportional to the massing of the adjacent historic buildings.
- New or untried approaches to design which result in new buildings or additions to existing buildings that have no historic basis in Alexandria or that are not consistent with an historic style in scale, massing and detailing, are not appropriate.
- Construction shall reflect the traditional fenestration patterns found within the Old and Historic Alexandria District. Traditional solid-void relationships exhibited within the district's streetscapes (i.e. ratio of window and door openings to solid wall) shall be used in building facades, including first floor facades.
- Construction shall display a level of ornamentation, detail, and use of quality materials consistent with buildings having historic architectural merit found within the district...

The applicant is proposing to build a two-story addition on the west side of the existing structure. The addition will be set back from the north face of the existing building by 4" and set back from the south face by 8". The 8" setback will create a 3'-0" wide space from the property line and will allow for the inclusion of windows in this elevation. The addition will be clad in fiber cement siding with Boral trim, differentiating the addition from the existing brick structure. At the north elevation, the addition will include a parapet clad in siding to match the height of the existing brick parapet. This parapet will continue around the west elevation where it will be capped with a cornice featuring decorative brackets. Due to the proximity to the north property line, there will be no fenestration on the north elevation. The west elevation includes a ground floor paneled door with a wood and glass door above. Two six over six double hung windows are located to the south of the second-floor door. The south elevation includes two double wood and glass doors and a six over six double hung window on the second floor and two six over six double hung windows on the first floor with the westernmost window offset vertically (Figure 3).





**Figure 3: Proposed west and south elevations**

Staff is supportive of the proposed addition and finds that the massing, architectural character and use of materials is consistent with the overall *Design Guidelines* and those specifically regarding projects that front on to Washington Street. By stepping in from the face of the existing building on both the north and south sides this clearly reads as an addition to the original building. This step also creates an inside corner to allow for a change in material from the existing brick to the fiber cement siding proposed for the addition. The use of this siding clearly identifies the addition as modern and secondary to the original structure. In this way it successfully becomes a “background statement” that is “distinguishable from the original structure.”

Staff finds that the continuation of the existing parapet on the north and west elevations is an effective way to conceal the roof slope and carry the proportions of the existing building into the addition. The proportions of the detailing for the proposed cornice on the west elevation is somewhat awkward and out of scale with the remainder of the elevation. Staff recommends that the applicant work with staff on the design and detailing of this feature to make it more compatible with the existing building.

The presence of an interior stair in the southwest corner of the addition is causing the first and second floor windows on the west side of the south elevation to not be aligned with other adjacent windows. At the second floor, the windowsill does not align with the adjacent windows on the west elevation. At the first floor, the window is larger and not aligned with the other double hung window on the east side of the south elevation. These misalignments make for an unbalanced composition that is not compatible with the more rigid composition of elevations on historic buildings. Staff recommends that the applicant work with staff to resolve these alignments.

Staff finds that the proposed design is consistent with the *Design Guidelines*, creating an addition that is clearly distinguishable from the original building while being compatible with it and other surrounding historic structures. Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness for the proposed addition with the following conditions.

1. Work with staff on the final detailing of the trim at the cornice on the west elevation of the addition.
2. Align the two ground floor windows on the south elevation of the addition.
3. Align the sill of the window on the second floor of the south elevation with the sill of the windows on the west elevation.
4. The applicant submit updated window specifications with the building permit to confirm that the proposed windows meet the *Alexandria New and Replacement Window Performance Specifications in the Historic District*.
5. The fiber cement siding is to be painted, with a smooth finish.

**STAFF**

Bill Conkey, AIA, Historic Preservation Architect, Planning & Zoning  
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Code Administration**

C-1 A building permit and plan review are required prior to the start of construction.

**Transportation and Environmental Services**

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec. 5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

#### **Alexandria Archaeology**

- R-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities
- R-2 The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities
- F-1 Quartermaster's maps of the Union Army occupation of Alexandria during the Civil War indicate that a 60 ft. by 264 ft. cattle yard enclosure with feeding racks once was located on what is now 724 N. Washington Street. Later, according to the G.M. Hopkins Insurance Atlas, by 1877 the property belonged to John W. Green and stood empty. By the early twentieth century a dwelling had been built on the property. It is possible that portions of deep features (such as wells or basement foundations) could remain intact. If

present, these could provide insight into military activities and residential life in early twentieth-century Alexandria.

**V. ATTACHMENTS**

*1 – Application Materials*

*2 – Supplemental Materials*



ADDRESS OF PROJECT: 724 N. WASHINGTON ST.  
 DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building  
 TAX MAP AND PARCEL: 054.04-08-07 ZONING: CDX

## APPLICATION FOR: (Please check all that apply)

- ☒ CERTIFICATE OF APPROPRIATENESS
- ☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
 (Required if more than 25 square feet of a structure is to be demolished/impacted)
- ☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
 CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- ☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
 (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: DAVID C. DRAKE

Address: 724 N. WASHINGTON ST.

City: ALEXANDRIA State: VA Zip: 22314

Phone: 202-271-6282 E-mail: DC.DRAKE.LAW@GMAIL.COM

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ \_\_\_\_\_

Name: KIM A. BEASLEY

Phone: 703-965-7390

E-mail: rkteckim@aol.com

## Legal Property Owner:

Name: DAVID C. DRAKE

Address: 724 N. WASHINGTON ST.

City: ALEXANDRIA State: VA Zip: 22314

Phone: 202-271-6282 E-mail: DC.DRAKE.LAW@GMAIL.COM

- ☐ Yes ☒ No Is there an historic preservation easement on this property?  
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☒ No Is there a homeowner's association for this property?  
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- |   |   |   |                                   |
|---|---|---|-----------------------------------|
| <input type="checkbox"/> NEW CONSTRUCTION   |   |   |                                   |
| <input type="checkbox"/> EXTERIOR ALTERATION: <i>Please check all that apply.</i> |   |   |                                   |
| <input type="checkbox"/> awning   | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors  | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting   | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____  |   |   |                                   |
| <input checked="" type="checkbox"/> ADDITION                                      |   |   |                                   |
| <input checked="" type="checkbox"/> DEMOLITION/ENCAPSULATION                      |   |   |                                   |
| <input type="checkbox"/> SIGNAGE  |   |   |                                   |

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Demolish existing rear Balcony structure (not part of existing house). The new two-story addition will also require demolition of the rear masonry wall, while retaining the associated footing below. The rear addition will align with the existing North masonry wall, and set 4" off the property line to allow for a 24" footing flush with the North property line. The addition will be 17' wide, ensuring that the new addition on the South side is greater than 3' from the South property line. The length of the addition will be 24' - 7" towards the West property line along the public alley. The West face of the new addition will be 31' - 1 1/2" from the rear property line. **(continued below)**

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- |                          |                          |   |
|--------------------------|--------------------------|---|
| N/A                      |                          |   |
| <input type="checkbox"/> | <input type="checkbox"/> | Survey plat showing the extent of the proposed demolition/encapsulation.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. |
| <input type="checkbox"/> | <input type="checkbox"/> | Description of the reason for demolition/encapsulation.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.    |

The South side of the new addition, located not less than 3'-0" from the property line, will allow for windows with natural ventilation capability and visual interest. Double hung Andersen clad windows will be compatible with existing windows. The new addition will have a framed parapet wall which will align with the existing brick parapet. The existing roof slopes towards the south side of the house and has a gutter system to drain rainwater. The new roof system will have a slightly steeper roof slope that will allow for supply and return ductwork serving existing and new 2<sup>nd</sup> Floor rooms. The existing sloped roof will be similarly modified to allow for extended ductwork to existing spaces. New exterior walls will be clad with Hardi-Plank Siding with white trim work using Boral, a paintable poly ash product.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☒ Photograph of building showing existing conditions
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.


The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature \_\_\_\_\_

Printed Name: \_\_\_\_\_

Date: \_\_\_\_\_

  
K. A. BEASLEY  
3/7/22



# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. DAVID C. DRAKE	724 N. WASHINGTON ST. ALEXANDRIA VA 22314	100%
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 724 N. WASHINGTON STREET (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. DAVID C. DRAKE	724 N. WASHINGTON ST. ALEXANDRIA VA 22314	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. NONE	N/A	N/A
2.		
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

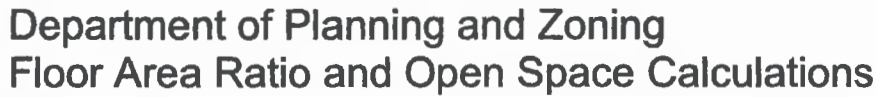
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7/21/2021 David C. Drake

Date

Printed Name

Signature



3 | 5 | 22.

# EXACTA

## VIRGINIA SURVEYORS

LB # 0407005689  
www.exactaVA.com • P 703.258.0630 • F 703.258.0361  
5494 RODRIGUEZ LANE, HAYMARKET, VA 20189



PROPERTY ADDRESS: 724 N WASHINGTON STREET ALEXANDRIA, VIRGINIA 22314

SURVEY NUMBER: VA1603.3644

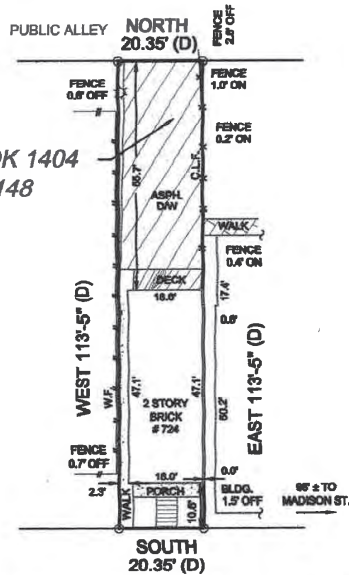
FIELD WORK DATE: 3/28/2016

REVISION HISTORY: (REV.0 3/29/2016)

VA1603.3644  
LOCATION DRAWING  
724 N WASHINGTON STREET  
THE CITY OF ALEXANDRIA, VIRGINIA  
03-28-2016 SCALE 1"=30'



DEED BOOK 1404  
PAGE 148



NORTH WASHINGTON STREET

GRAPHIC SCALE (In Feet)  
1 inch = 30' ft.

POINTS OF INTEREST:  
NONE VISIBLE

POWERED BY:

surveystars

www.surveystars.com

CLIENT NUMBER: 16-323

DATE: 3/29/2016

BUYER: DAVID DRAKE

SELLER: SAUNDERS, ETAL

CERTIFIED TO: DAVID DRAKE; ATLANTIC TITLE

ORDERED BY:

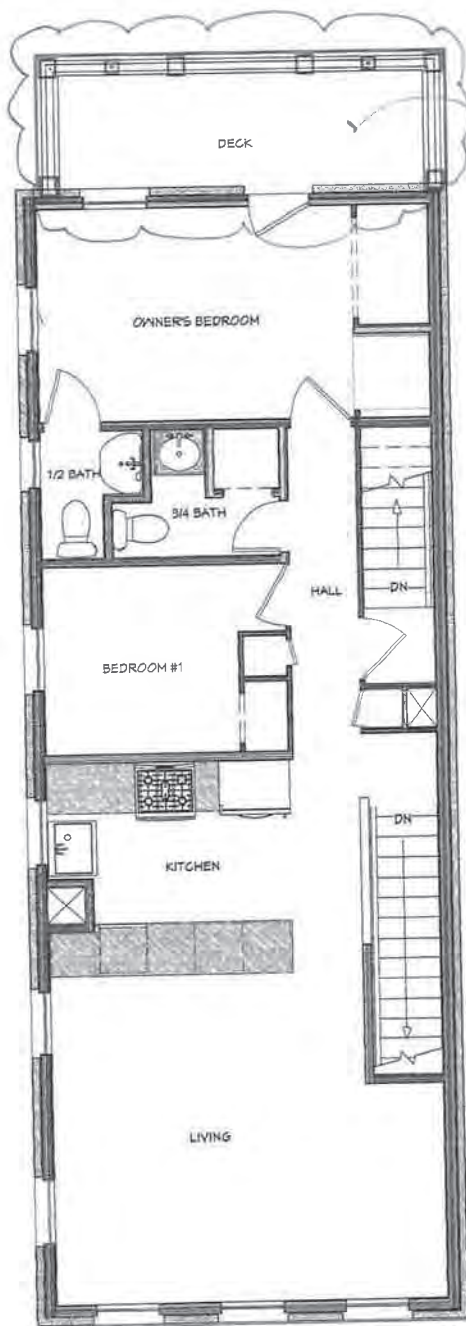


THE MAP OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER THE SUPERVISION AND DIRECTION OF A VIRGINIA LICENSED SURVEYOR AND SAID SURVEY MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS SET FORTH BY THE VIRGINIA BOARD OF PROFESSIONAL LAND SURVEYORS.

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

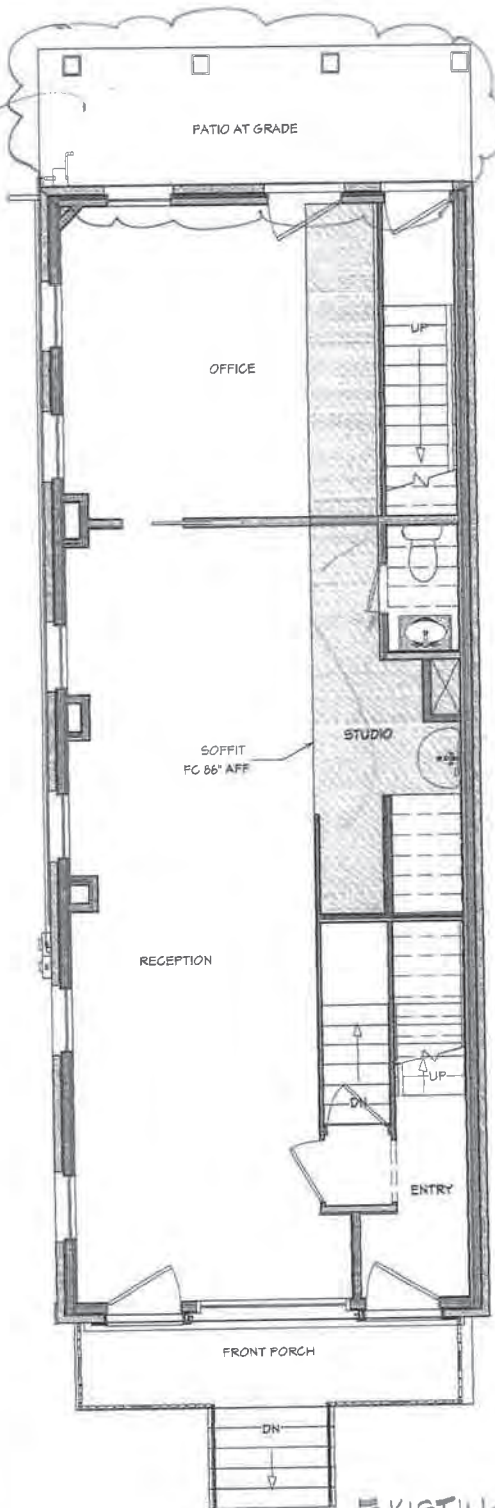
This document is not valid without all pages.



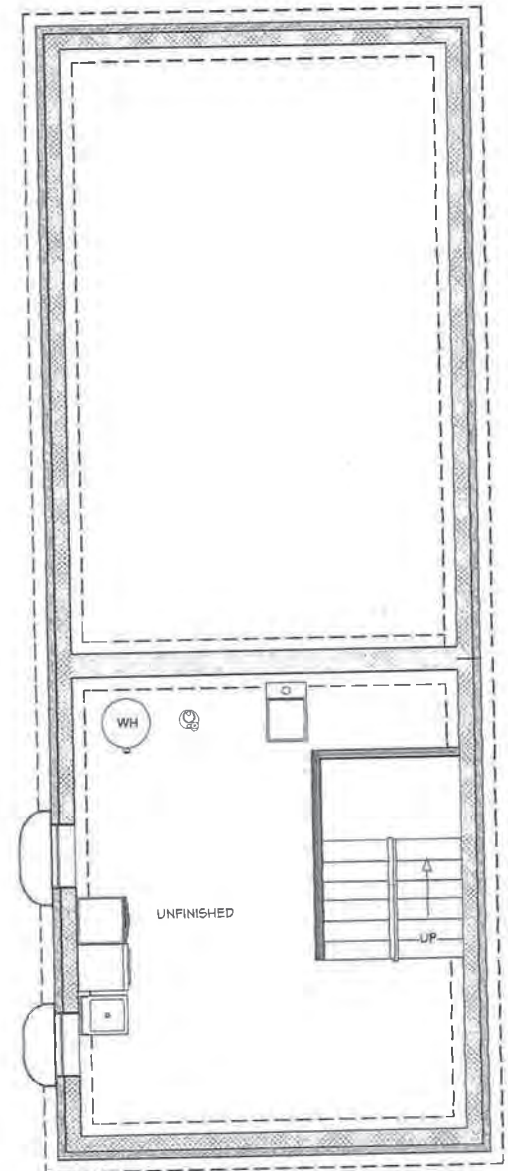


**2ND FLOOR PLAN**  
 EXISTING SCALE 1/8"=1'

TO BE  
 DEMOLISHED

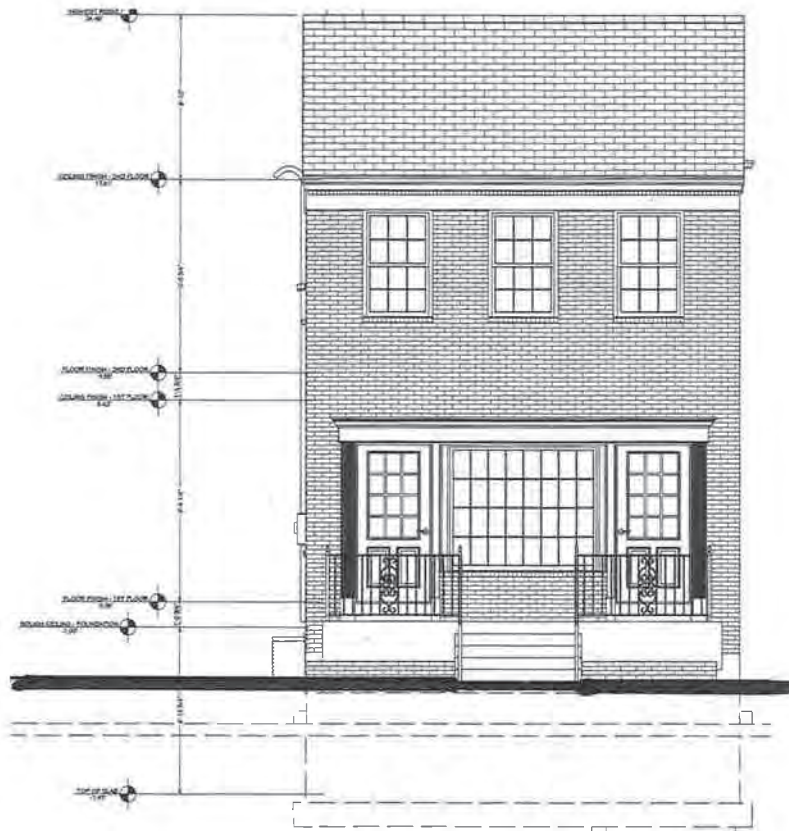


**1ST FLOOR PLAN**  
 EXISTING

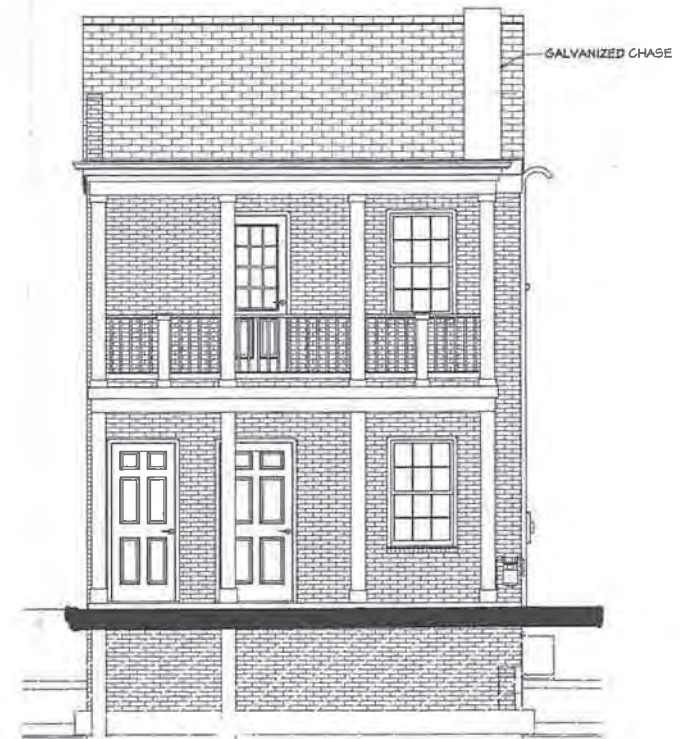


**BASEMENT FLOOR PLAN**  
 EXISTING SCALE 1/8"=1'  
 724 NORTH WASHINGTON STREET  
 ALEXANDRIA VA 22314





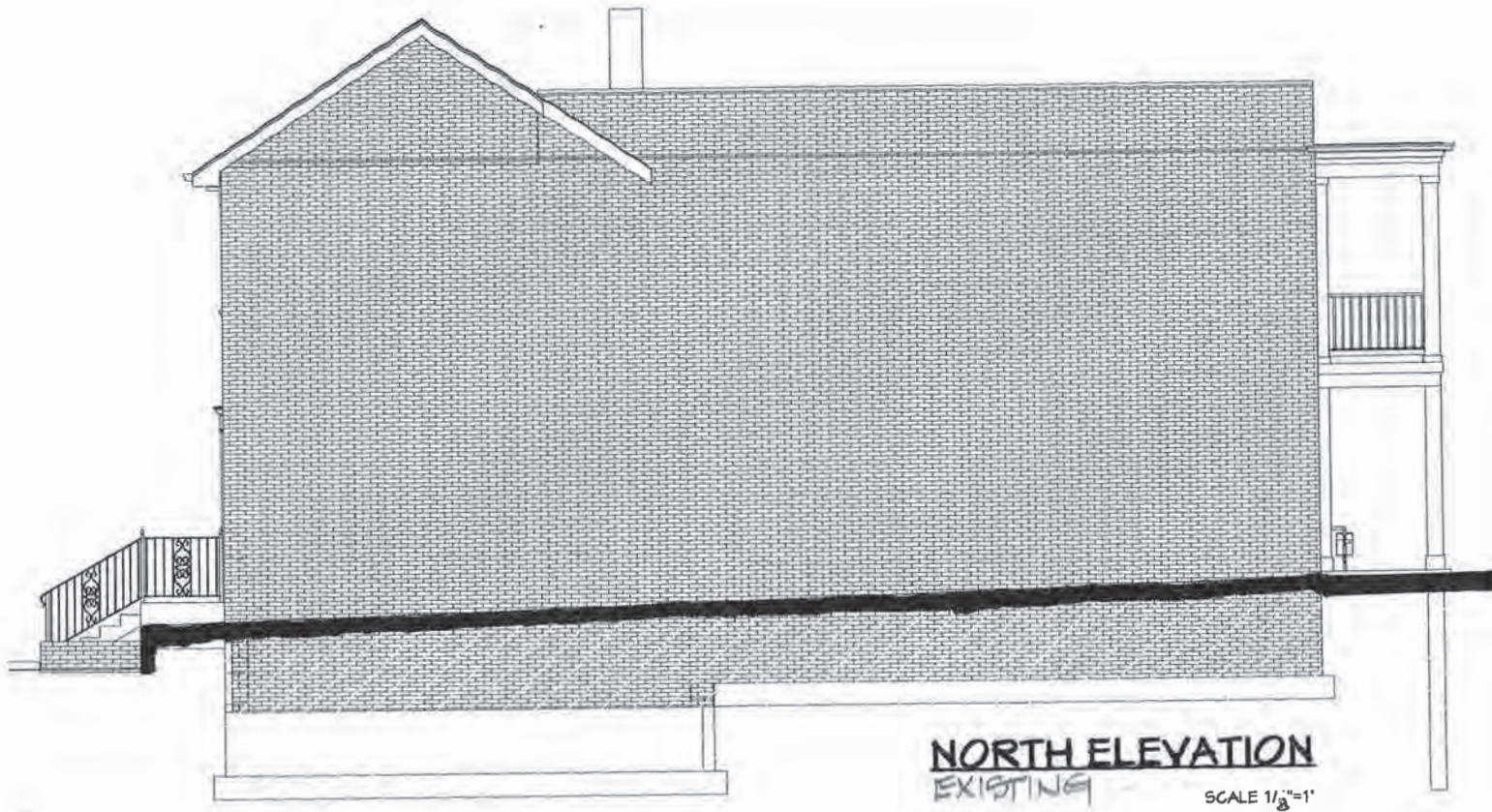
**EAST ELEVATION**  
EXISTING  $\frac{1}{8}" = 1'-0"$



**WEST ELEVATION**  
EXISTING  $\frac{1}{8}" = 1'-0"$

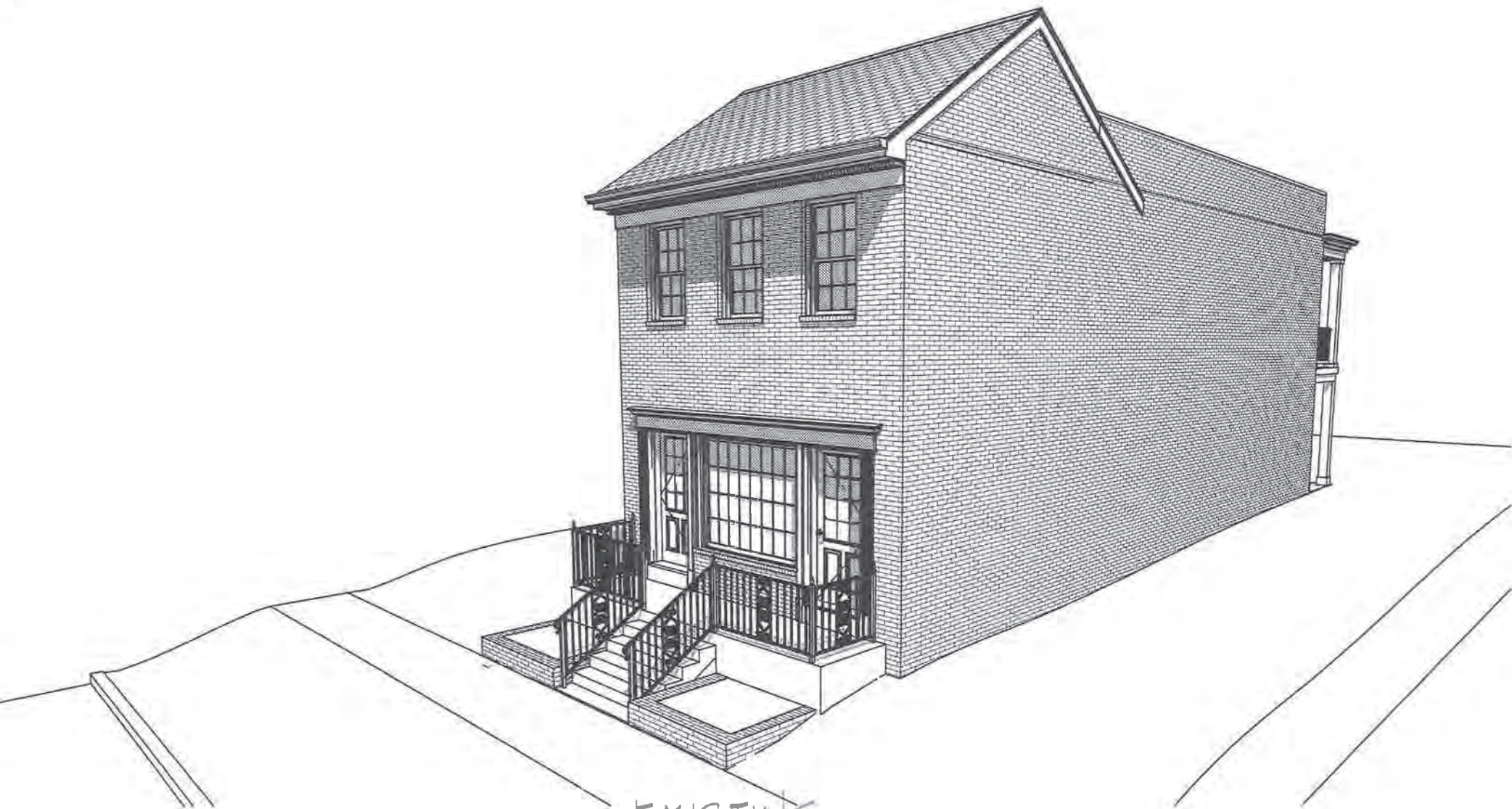
724 NORTH WASHINGTON STREET  
ALEXANDRIA VA 22314





724 NORTH WASHINGTON STREET  
ALEXANDRIA VA 22314

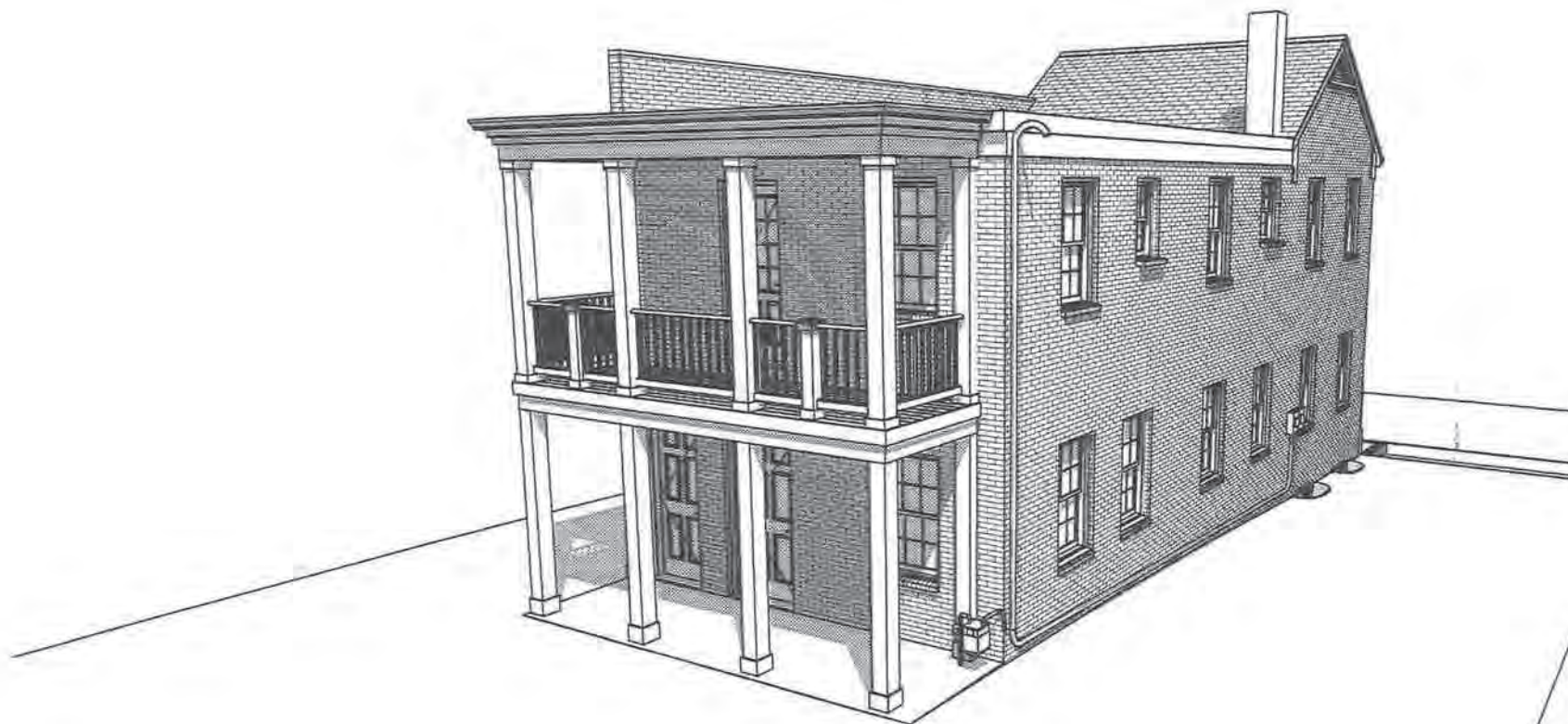




EXISTING

724 NORTH WASHINGTON STREET  
ALEXANDRIA VA 22314

NORTH - EAST



EXISTING  
724 NORTH WASHINGTON STREET  
ALEXANDRIA VA 22314  
SOUTH-WEST





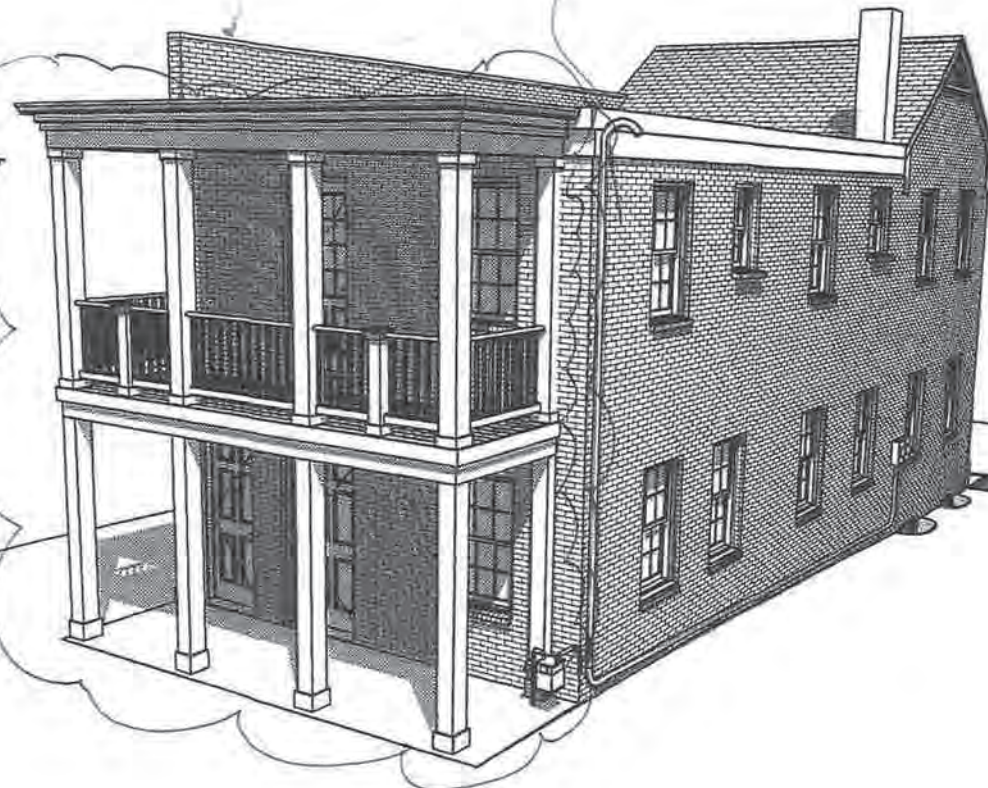
EXISTING  
724 NORTH WASHINGTON STREET  
ALEXANDRIA VA 22314  
SOUTH-EAST



RETAIN / PRESERVE  
BRICK PARAPET

DEMOLISH FLAT ROOF  
STRUCTURE & FACIA BO.

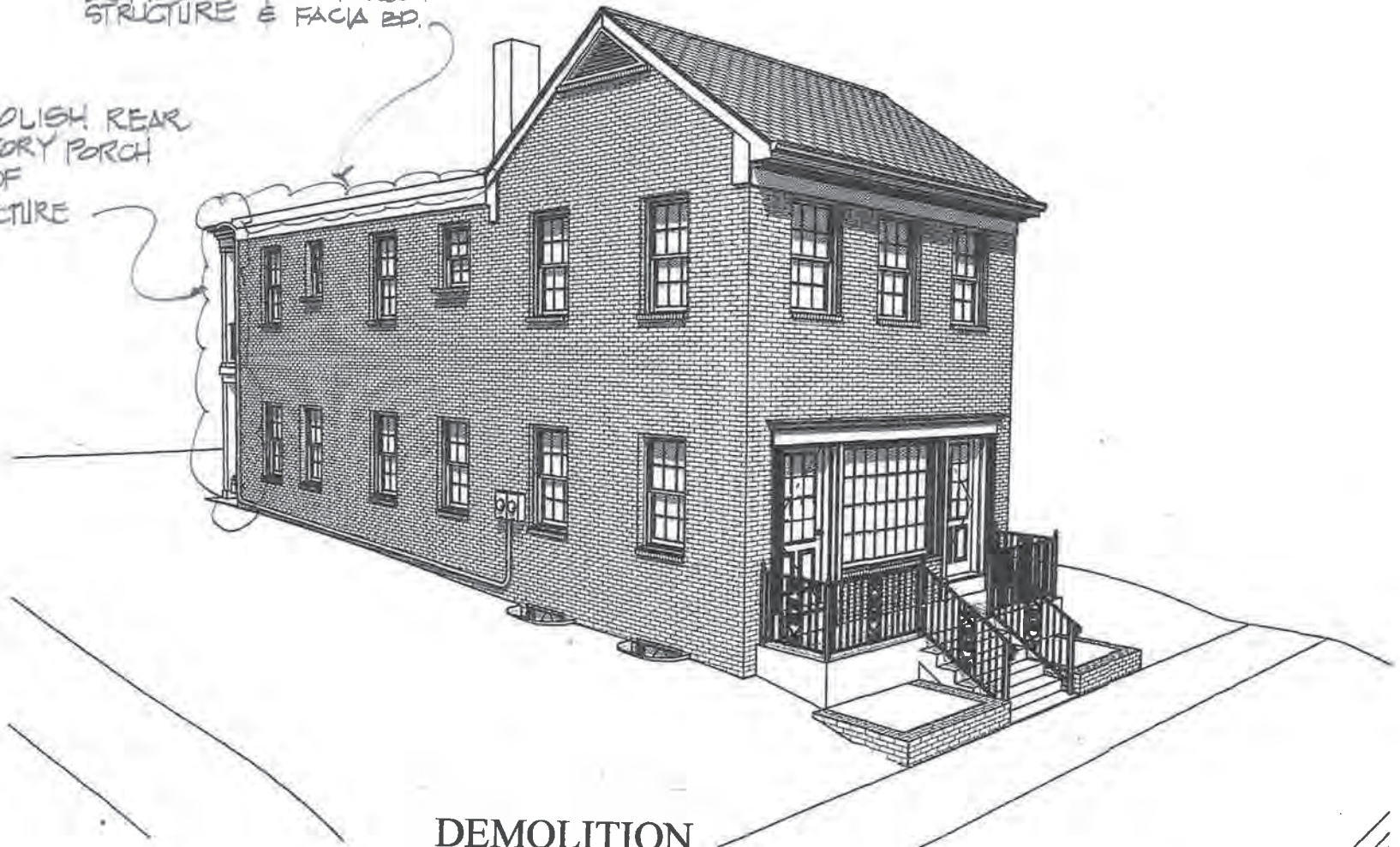
DEMOLISH REAR  
2-STORY PORCH &  
REAR MASONRY  
WALL



DEMOLITION  
724 NORTH WASHINGTON STREET  
ALEXANDRIA VA 22314  
SOUTH-WEST

DEMOLISH FLAT ROOF  
STRUCTURE & FACIA BP.

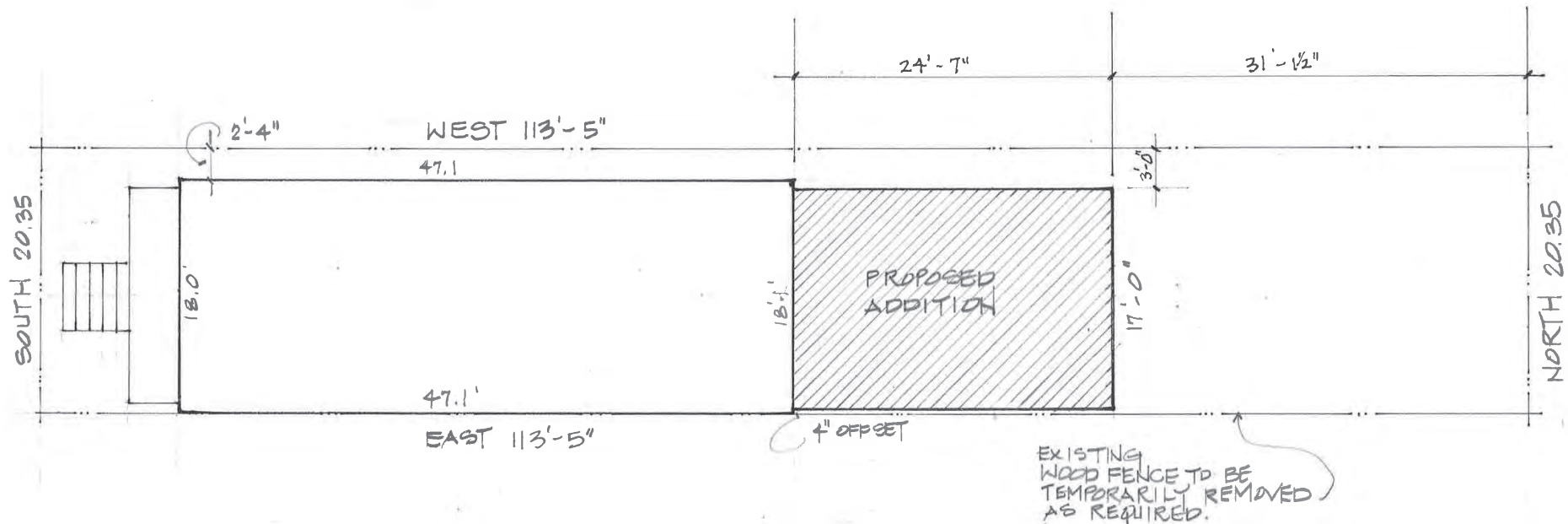
DEMOLISH REAR  
2-STORY PORCH  
& ROOF  
STRUCTURE



## DEMOLITION

724 NORTH WASHINGTON STREET  
ALEXANDRIA VA 22314

SOUTH-EAST



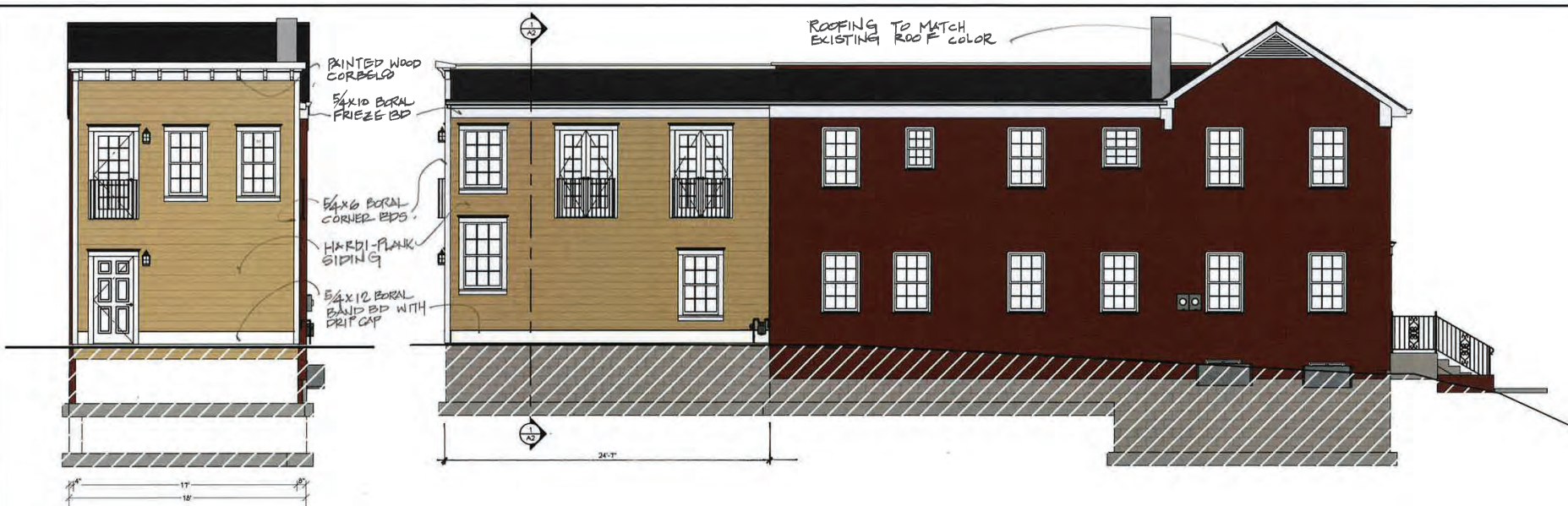
## SITE PLAN

1/8" = 1'-0"

724 N. WASHINGTON ST.  
ALEXANDRIA, VA  
22314

**Beasley Architectural Group, LLC**  
7045 Bay Front Drive, Annapolis, Maryland 21403



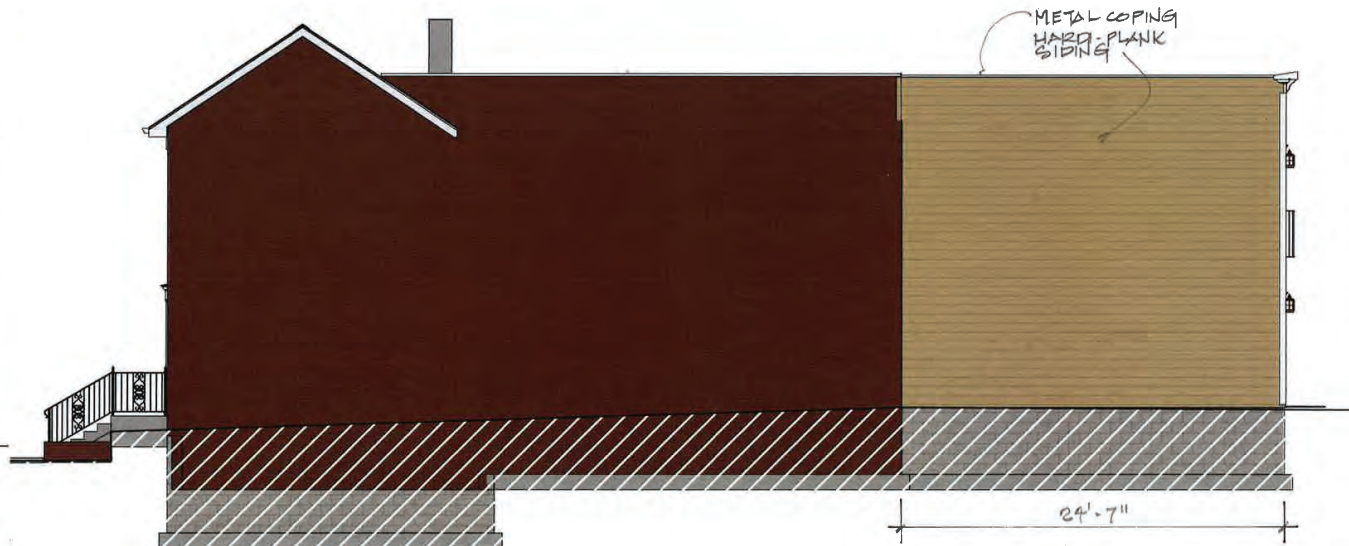


PROPOSED WEST ELEVATION  
 $\frac{1}{8}" = 1'-0"$

PROPOSED SOUTH ELEVATION  
 $\frac{1}{8}" = 1'-0"$



PROPOSED EAST ELEVATION  
 $\frac{1}{8}" = 1'-0"$  UNCHANGED



PROPOSED NORTH ELEVATION  $\frac{1}{8}" = 1'-0"$

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3D VIEWS ARE NOT TO SCALE AND MAY NOT REFLECT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. RENDER VIEWS ARE REPRESENTATIONS OF WHAT THE VIEW COULD LOOK LIKE, NOT WHAT IT WILL LOOK LIKE. 2D VIEWS ALWAYS SUPERCEDE 3D VIEWS.

DRAKE  
 124 NORTH WASHINGTON  
 ALEXANDRIA, VA

BEASLEY ARCHITECTURAL GROUP, LLC  
 ARCHITECTURE & CONSULTING  
 1008 BAY FRONT FOR ANNAPOLIS MD 21403  
 BEASLEYARCH@GMAIL.COM

DRAWINGS PROVIDED BY:  
 ANTHONY HATES  
 14320 MADRIGAL DR  
 WOODBRIDGE VA 22193  
 757-288-9185  
 VA CLASS B CBC RBC 2705101864

ELEVATION

DATE:  
 3/6/2022

SCALE:  
 $\frac{1}{8}" = 1'-0"$

SHEET #:

A1





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DRAKE  
1724 NORTH WASHINGTON  
ALEXANDRIA, VA

BEASLEY ARCHITECTURAL GROUP, LLC  
ARCHITECTURE & CONSULTING  
7045 BAY FRONT DRIVE ANNAPOLIS MD 21403  
RENDERING@AOL.COM

DRAWINGS PROVIDED BY:  
ANTHONY HAYES  
14320 MADRIGAL DR  
WOODBRIDGE VA 22193  
757-268-9785  
VA CLASS B CBC RBC 2705101869

OVERVIEWS

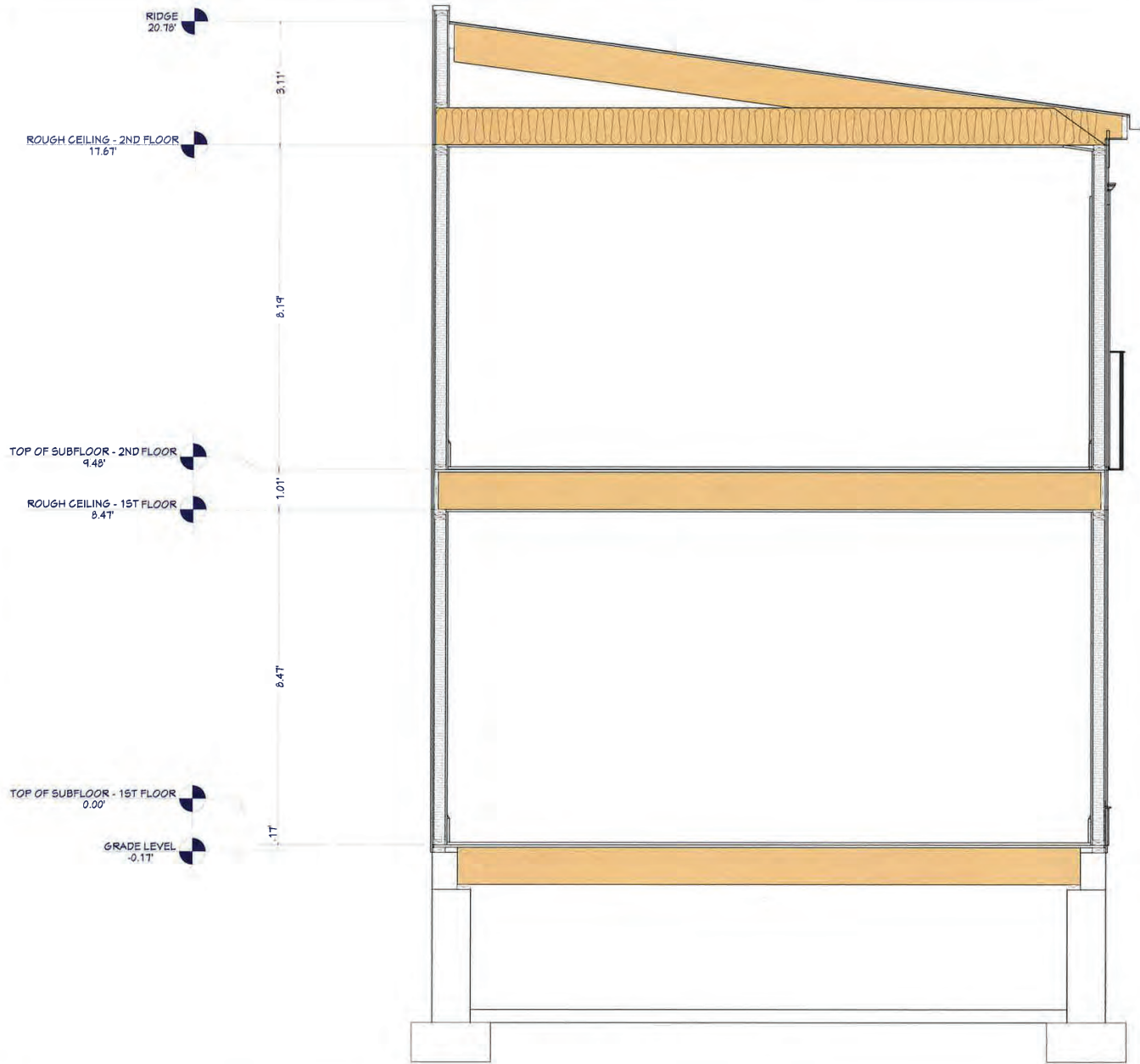
DATE:  
3/16/2022

SCALE:

SHEET #:

A3





1  
A2 SECTION  
SCALE 3/8"=1'

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DRAKE  
724 NORTH WASHINGTON  
ALEXANDRIA, VA

BEASLEY ARCHITECTURAL GROUP, LLC  
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1009 BAYVIEW AVENUE, SUITE 21403  
ANNAPOLIS, MD 21403  
PROJECT@BAGL.COM

DRAWINGS PROVIDED BY:  
ANTHONY HAYES  
14320 MADRIGAL DR  
WOODBRIDGE, VA 22193  
757-288-9785  
VA CLASS B CBC RBC 2705101869

ELEVATION/  
SECTIONS

DATE:  
3/6/2022  
SCALE:  
3/8" = 1'0"  
SHEET #:

A2

