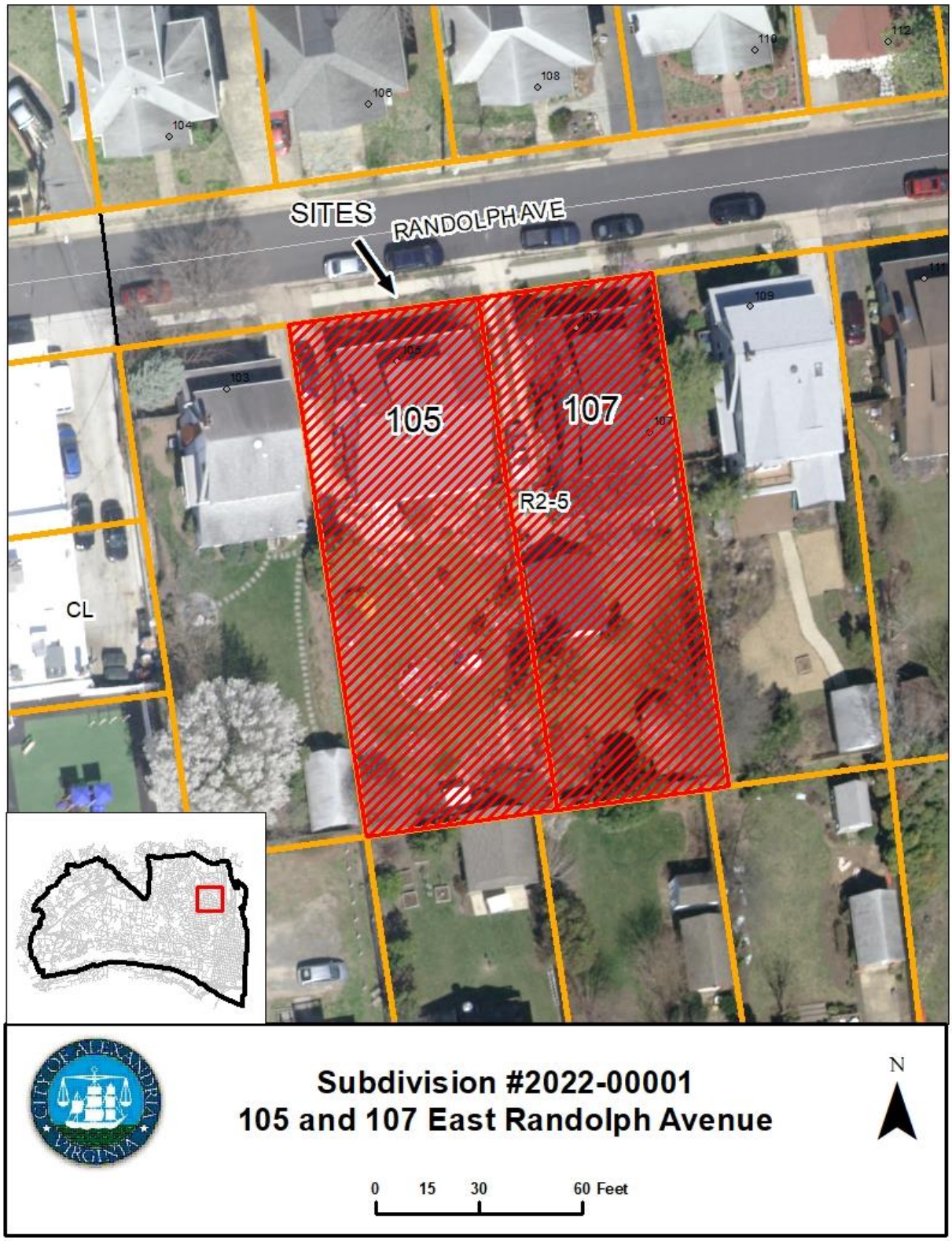
DOCKET ITEM #7
Subdivision #2022-00001
105 and 107 E. Randolph Avenue

Application	General Data	
Request: Public Hearing and consideration of a request for a Subdivision, to re-subdivide two existing lots into two new lots of record	**Planning Commission Hearing:**	April 7, 2022
	Approved Plat must be Recorded by:	October 7, 2023
Address: 105 and 107 E. Randolph Avenue	**Zone:**	R-2-5/ Single and Two-Family Residential
Applicant: Christopher Alan Hutchison and Elena Caudle Hutchison, represented by Duncan W. Blair, attorney	**Small Area Plan:**	Potomac West/ Mount Vernon Avenue Business Area Plan

Staff Recommendation: DENIAL. If Planning Commission approves the request, it is subject to compliance with all applicable codes, ordinances and the recommended conditions found in Section III of this report.
Staff Reviewers: Ashley Labadie, AICP, ashley.labadie@alexandriava.gov Ann Horowitz, ann.horowitz@alexandriava.gov



PROJECT LOCATION MAP

I. DISCUSSION

REQUEST

The applicant, Christopher Alan Hutchison and Elena Caudle Hutchison, represented by Duncan W. Blair, requests to re-subdivide two existing lots of record into two new lots of record.

SITE DESCRIPTION

The subject site at 105 and 107 E. Randolph Avenue are two existing lots of record, Lots PT 30/ PT 25 and 502 (Figure 1).

The 7,500 Sq. Ft. **Lot PT 30/PT 25** is rectangularly shaped with frontage on E. Randolph Avenue. The property is the site of a one-a-half story single-family home with detached garage. The bungalow style home was originally built in 1930 and is considered a contributing structure within the Town of Potomac National Register Historic District. The home endured interior fire damage in June 2021 and is currently unoccupied.

The 8,250 Sq. Ft. **Lot 502** is rectangularly shaped with frontage on E. Randolph Avenue. The property is the site of a recently renovated two-story single-family home with detached garage. The bungalow style home was originally built in 1930 and is considered a contributing structure within the Town of Potomac National Register Historic District. In 2020, building permits were approved for an interior remodel of the existing dwelling with second story and rear additions and a new free standing single-car garage.

Immediately surrounding the subject site along E. Randolph Avenue are single-family homes. However, to the east along Mt. Vernon Avenue and south along Stewart Avenue are properties developed with commercial, mixed-use, and multi-family buildings.

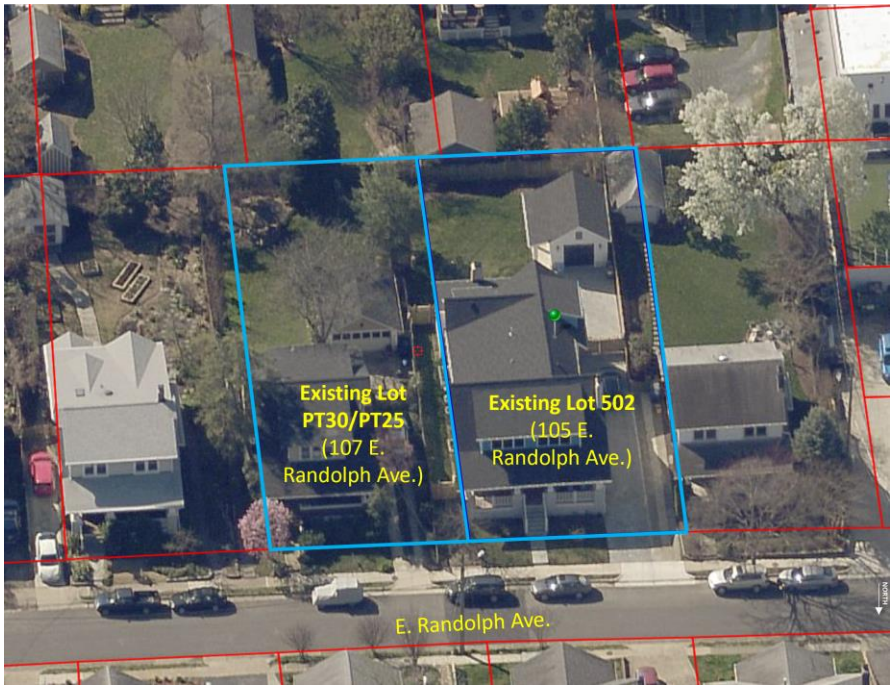


Figure 1 – Subject Site

SUBDIVISION BACKGROUND

Located within the historic Town of Potomac, between the Del Ray and St. Elmo neighborhoods where the St. Asaph Track resided, is the original Mount Vernon Subdivision (Figure 2). The subject sites were first recorded as part of the Mount Vernon subdivision platted in 1921 (Figure 3) and were annexed into the City of Alexandria, along with the Town of Potomac, in 1930. The Mount Vernon Subdivision was originally platted into mostly rectangle shaped lots, including 50-foot wide by 110-118-foot-long lots oriented toward Mount Vernon and mostly 47-56-foot wide by 110-150-foot-long lots oriented towards east-west running streets perpendicular to Mount Vernon. Parcels have remained in this general configuration over the decades with mostly commercial or mixed-use development on lots oriented toward Mount Vernon Avenue and residential development on lots oriented towards the perpendicular streets. On the original Mount Vernon subdivision, the subject site consisted of parcels 20, 25, and part of 30.

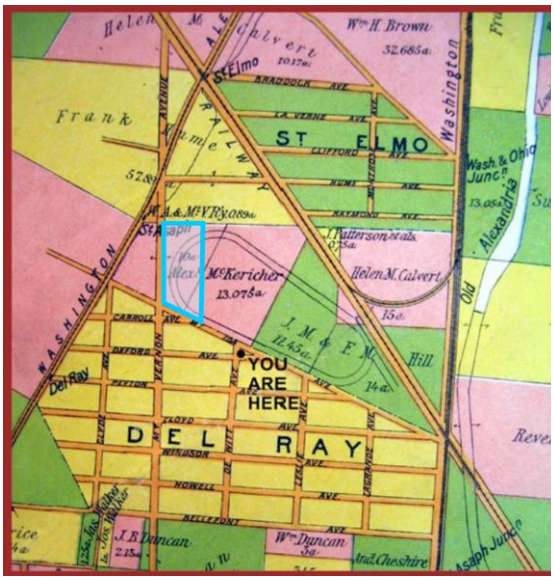


Figure 2 – 1900 Virginia Title Map showing the Mount Vernon Subdivision in blue.

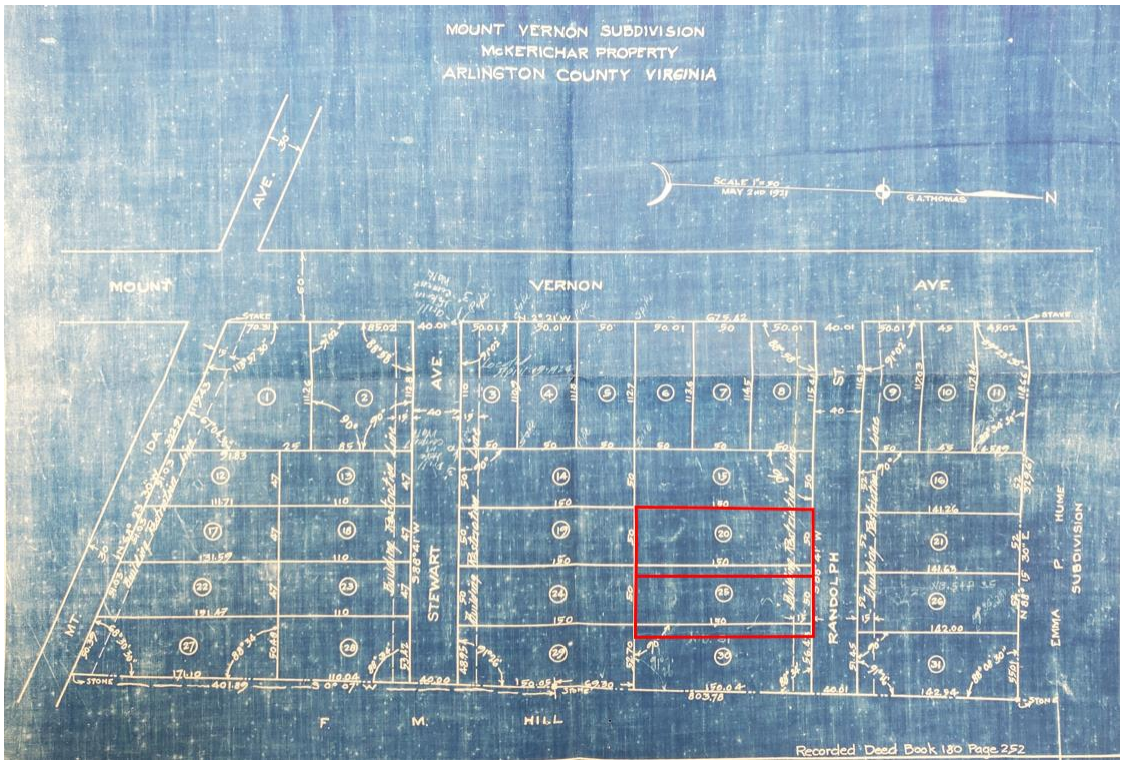


Figure 3 – Original Subdivision of 1921 with Existing Lots in red.

City of Alexandria land records indicate that prior to the late 1970's, parcel 20 and five feet of parcel 25 were sold together as a 55-foot lot (105 E. Randolph Ave.), and the remaining 45 feet of parcel 25 and five feet of parcel 30 were sold together as a 50-foot lot (107 E. Randolph Ave.) resulting in a five-foot offset from the parcels directly to the south along Stewart Avenue. In 2019, current owners of 105 E. Randolph Ave. recorded a deed of consolidation making parcel 20 and part of parcel 25 a new lot of record, Existing Lot 502.

PROPOSAL

The applicant requests approval to re-subdivide Existing Lots PT 30/PT 25 and 502, into two new lots of record, as illustrated in Figures 4a and 4b. The proposed new subdivision line shared between the two existing lots would jog east 17 feet for 34 feet along the rear of the properties, creating two new L-shaped lots of record. Proposed Lot 602 is anticipated to be redeveloped with a new single-family dwelling after the demolition of the existing single-family dwelling, subject to the R2-5 zone requirements, due to the extensive interior fire damage. Proposed Lot 601 is proposed in this configuration as the existing dwelling and freestanding garage would remain and the remaining area would be intended for use as outdoor space, with the potential for a pool area.

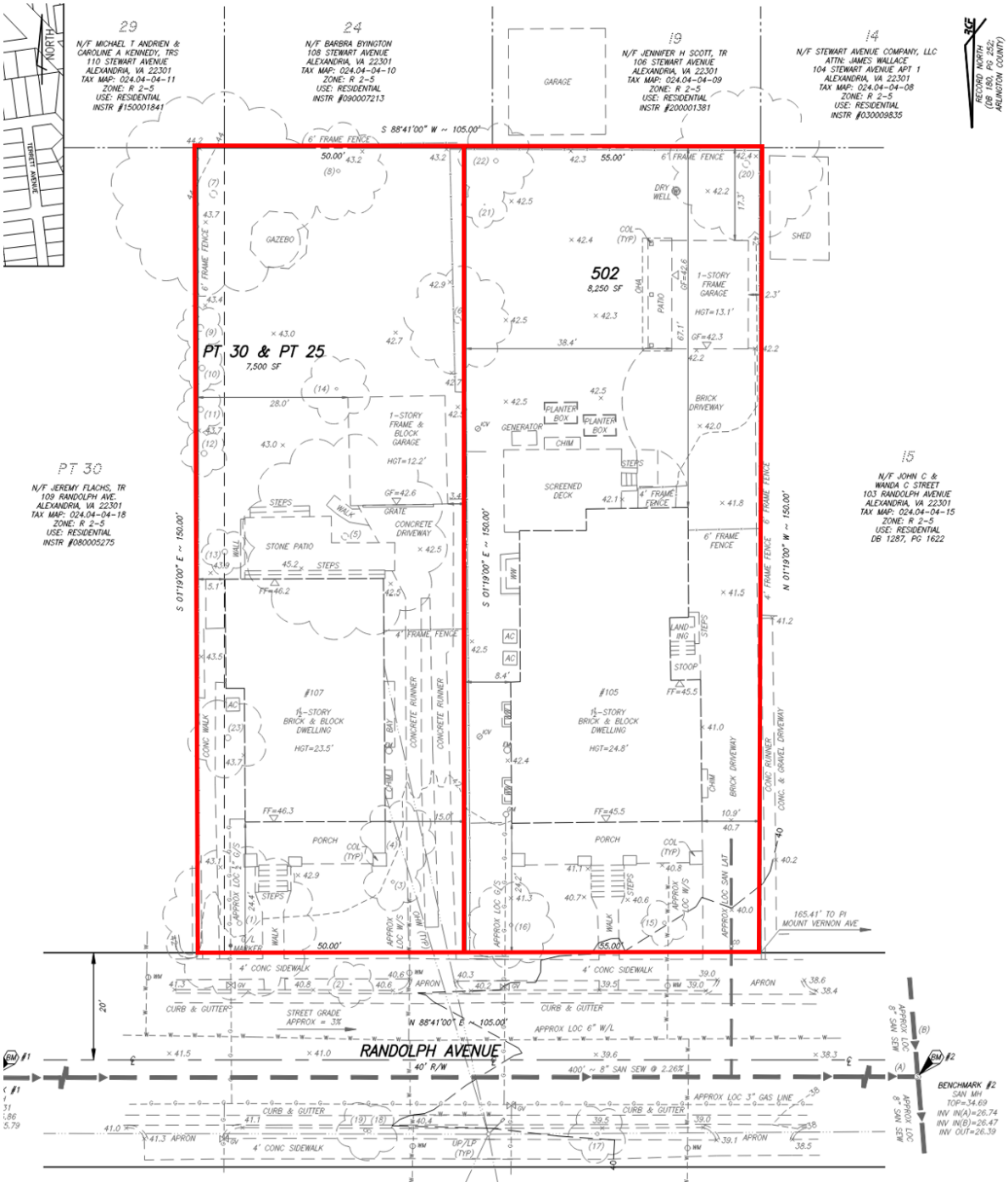


Figure 4a – Existing Lot Configuration for Lots PT 30/PT 25 and 502

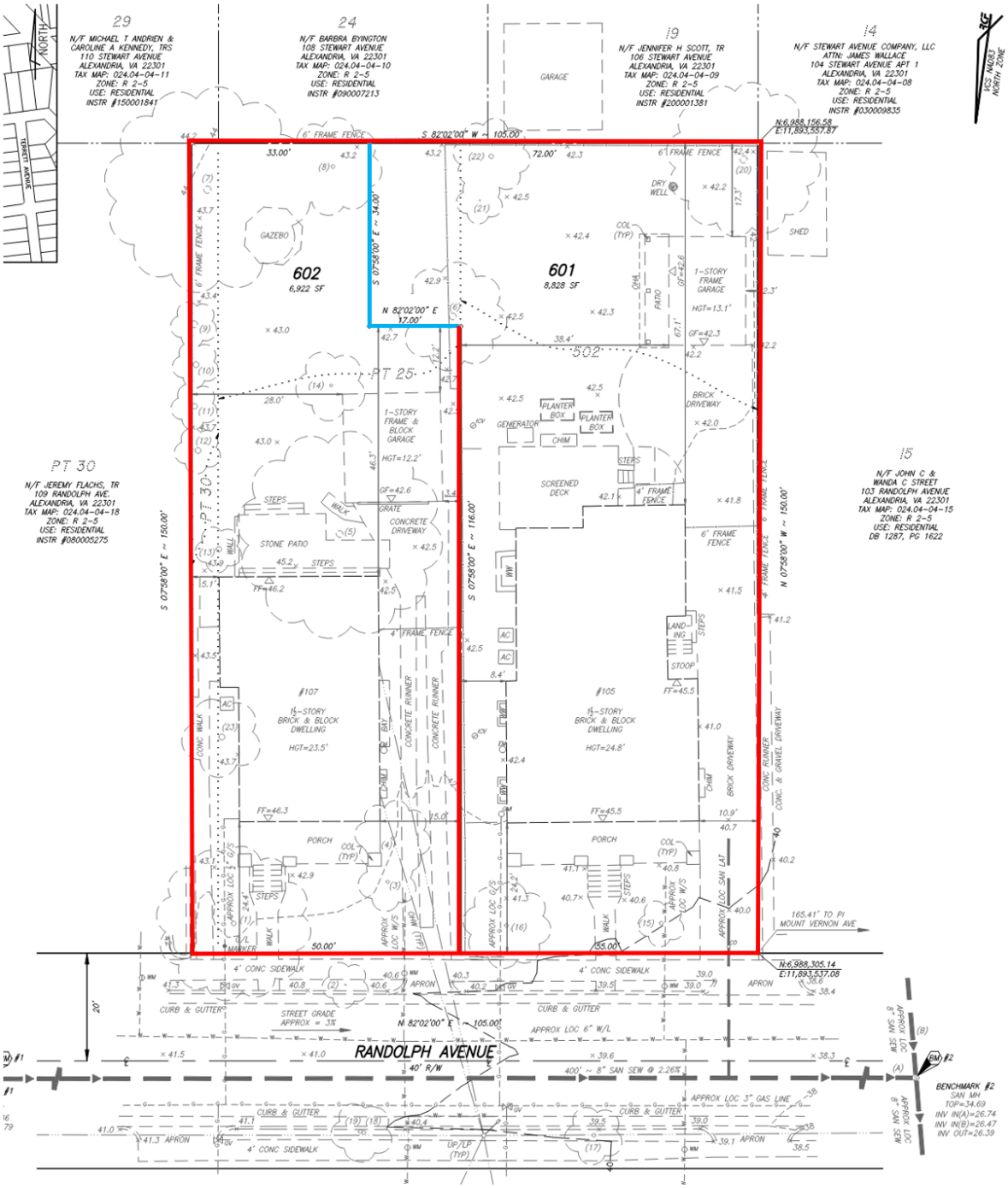


Figure 4b – Preliminary Plat of Subdivision. Existing lot lines to remain shown in red; proposed new lot line shown in blue.

ZONING & MASTER PLAN DESIGNATION

The lots of record are located in the R2-5 Zone. The proposed re-subdivision would result in Proposed Lots 601 and 602 complying with the zoning requirements. The existing dwelling at 107

E. Randolph Avenue does not currently comply with the east side yard requirement of the R2-5 zone, and the existing freestanding garage does not comply with the west side yard requirement of the R2-5 zone. Variations have not been requested with this subdivision request because the existing dwelling and freestanding garage are intended to be demolished.

Table 1 –R2-5 Zone Requirements (for Single-family Dwellings)

	Existing		**Requirements**	**Proposed**	
	Lot PT 30 & PT 25 (107 E. Randolph Avenue)	**Lot 502 (105 E. Randolph Avenue)**		**Lot 602 (107 E. Randolph Avenue)**	**Lot 601 (105 E. Randolph Avenue)**
Lot Size	7,500 sf	8,250 sf	Min. 5,000 sf	6,922 sf	8,828 sf
Lot Width	50 ft	55 ft	50 ft	50 ft	55 ft
Lot Frontage	50 ft	55 ft	40 ft	50 ft	55 ft
Front Yard	24.4 ft	24.2 ft	16.2 ft – 25.1 ft (Between the range of the contextual block face)	16.2 ft – 25.1 ft	24.2 ft
Side Yard	Main Building: 5.1 ft (east) 15 ft (west) Garage: 28 ft (east) 3.4 ft (west)	Main Building: 8.5 ft (east) 10.9 ft (west) Garage: 38.4 ft (east) 2.3 ft (west)	Main Building: Two side yards at 1:3 ratio; min. 7 ft Garage: Permitted within side yard if meeting requirements of Sec. 7-2501	Would comply with future redevelopment	Main Building: 8.5 ft (east) 10.9 ft (west) Garage: 38.4 ft (east) 2.3 ft (west)
Rear Yard	80.5 ft (Main Building) 46.25 ft (Garage)	67.1 ft (Main Building) 56.2 ft (Porch) 17.3 ft (Garage)	Main Building: 1:1 ratio; min. 7 ft Garage: Permitted within rear yard if meeting requirements of Sec. 7-2501		67.1 ft (Main Building) 56.2 ft (Porch) 17.3 ft (Garage)
Floor Area Ratio (FAR)	Approx. 0.27	0.43	Max. 0.45		0.40
Building Height	23.4 ft (Main Building) 12.2 ft (Garage)	25.8 ft (Main Building) 13.1 ft (Garage)	Max. 30 ft		25.8 ft (Main Building) 13.1 ft (Garage)

Note: Items highlighted in red indicate an existing noncompliance with the R2-5 Zone.

The lots are located within the Potomac West Small Area Plan, which was approved by City Council in 1992, as well as the Mount Vernon Avenue Business Overlay Plan, adopted by City Council in 2005.

SUBDIVISION STANDARDS

Zoning Ordinance Section 11-1701 states the purpose of the subdivision regulations is "to provide for the orderly division of land for development or transfer of ownership and for an accurate system of recording land division and ownership."

Further, Section 11-1708(A) sets out the following standards for the approval of preliminary subdivision plats:

> An applicant for preliminary plat approval shall demonstrate to the satisfaction of the commission that:
> (1) The applicable factors of Section 11-1710 have been appropriately considered in the plat;
> (2) The subdivision will not adversely affect the public health, safety and welfare; and
> (3) The application complies with all provisions of this ordinance and all applicable laws.

Several additional sections of the Zoning Ordinance establish the standards for subdivisions:

- Sections 11-1706 and 11-1709 address technical subdivision requirements;
- Section 11-1710(C) requires that the subdivision conform to the City Master Plan;
- Section 11-1710(D) requires that all lots meet zone requirements;
- Sections 1710(A) and (E) through (R) contain infrastructure requirements; and
- Section 1710(B) states that the subdivided lots "shall be of substantially the same character as to suitability for residential use and structures, lot areas, orientation, street frontage, alignment to streets and restrictions as other land in the subdivision, particularly with respect to similarly situated lots within the adjoining portions of the original subdivision." Subdivision plat documents or land in the same general location and zone with similar features may be used to determine neighborhood character.

II. STAFF ANALYSIS

Staff recommends denial of the subdivision request for the creation of two new lots of record, Proposed Lots 601 and 602 at 105 and 107 E. Randolph Avenue, because the proposal for a property line change between the two existing lots would not meet all of the zoning subdivision standards listed above. While the proposal would meet the requirements of Sections 1710(A) and (E) through (R) as well as Sections 11-1706 and 11-1709 addressing technical subdivision requirements and Section 11-1710(D) for single-family dwellings in the R2-5 Zone, the proposal does not meet the criteria of Section 1710(B) as the proposed new lots would not be of substantially the same character as other similarly situated lots in the original subdivision. Moreover, the proposal must also conform to the City Master Plan, per Section 11-1710(C). While the proposed lots are anticipated to remain as residential use, a recommendation of the Potomac West Small Area Plan (Plan), the Plan also "recognizes the unique character of the Town of Potomac" and expresses the community's "wishes to preserve the character of the neighborhoods." Because the proposed subdivision would result in lots that would not be of substantially the same character as other similarly situated lots, the proposal would arguably not be preserving character of the neighborhoods and, therefore, unable to conform to Section 11-1710(C). Because compliance with all, not some, of these criteria is required to approve a requested subdivision, staff believes requirements of Section 11-1708(A) for considerations of overall preliminary plat approval are inadequately satisfied.

AREA OF COMPARISON AND SIMILARLY SITUATED LOTS FOR LOT CHARACTER ASSESSMENT

Subdivision analysis requires an assessment for lot compatibility of the proposed lots with similarly situated lots within the original subdivision. The subject property contains lots within the original Mount Vernon Subdivision of 1921, the boundaries of which are outlined in blue in Figure 5. Due to its small size, the area of comparison extends the entire original subdivision. With the exception of lots along Mt. Ida Avenue, lots within the area of comparison consist of two general configurations: rectangularly shaped east/west oriented lots fronting Mount Vernon Avenue that are zoned Commercial Low (CL) and rectangularly shaped north/south oriented lots fronting residentially-scaled streets that terminate at Mount Vernon Avenue that are zoned R2-5. The proposed lots' configurations and character are compared with similarly situated lots as portrayed in Figure 6.

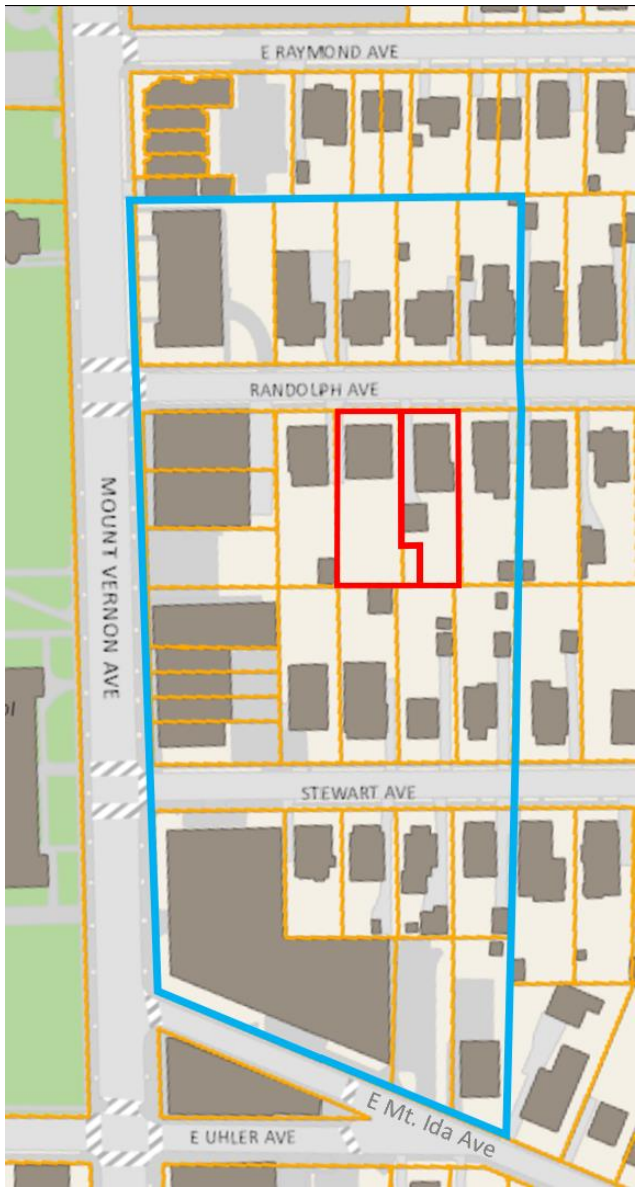


Figure 5: Proposed new lots outlined in red and area of comparison outlined in blue.

LOT ANALYSIS FOR LOT CHARACTER ASSESSMENT

The lot analysis reveals that the proposal to re-subdivide Existing Lots PT 30/PT 25 and 502 would result in a configuration that is incompatible with other interior, similarly situated lots. A visual analysis clearly indicates there is an orderly pattern of north/south oriented rectangular lots with no midpoint deviations along shared side lot lines. Also, while both lots would continue as residential use, proposed lot 602 would not function similarly to surrounding lots as the rear yard for more than a third of the lot would be shifted toward the front of the lot 34 feet. Furthermore, while proposed lot 601 would maintain a 55-foot lot width and frontage, a dimension already larger than all other similarly situated lots, it would also increase in lot area from 8,250 square feet to 8,828 square feet, compounding its position as the largest lot within similarly situated lots. While seemingly minor, the proposed subdivision would interrupt the longstanding shared rectangular form and exacerbate incompatibility in terms of lot function and size among similarly situated lots. The resulting dissimilar conditions would compromise integrity of the collective lot form, enable a disorderly subdivision of lots, and, therefore, create an incompliance with Section 1710(B).

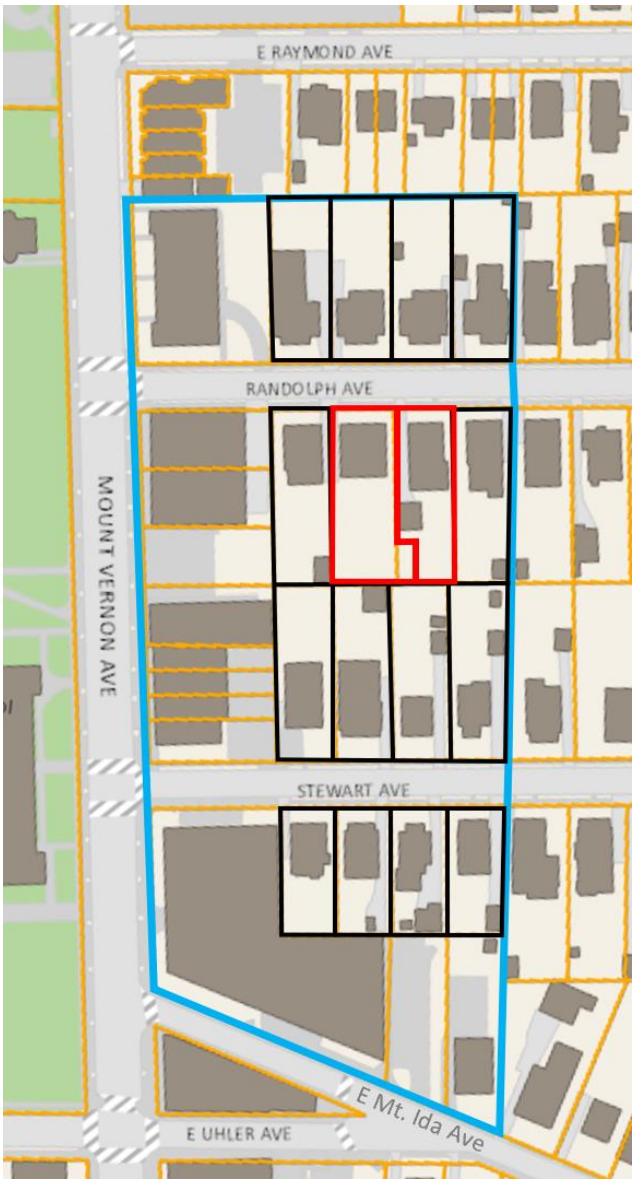


Figure 6: Proposed new lots outlined in red, area of comparison outlined in blue, and similarly situated lots outlined in black.

COMMUNITY ENGAGEMENT

The applicant met with the Del Ray Citizens' Association (DRCA) Land Use Committee on March 8, 2022, to discuss the proposal and answer questions. The DRCA subsequently provided a letter stating they do not support the proposal due to the resulting L-shaped lots as they would be out of character with historic lot layouts of the Mount Vernon Subdivision. The DRCA letter dated March 16, 2022, has been provided as part of the docket materials.

CONCLUSION

Because the proposed subdivision does not result in lots that are substantially the same character as the area of comparison and are not in conformance with the goals of the master plan, as stipulated in the Zoning Ordinance, staff recommends the denial of the request. However, if Planning Commission moves to approve the request, staff recommends the subdivision is subject to the conditions contained in Section III of this report. Condition #2 is recommended to ensure future compliance with the zoning ordinance upon redevelopment. Regarding tree preservation, a White Oak and Service Berry were recently planted to fulfill the 25 percent tree canopy coverage requirement, per the approved 2020 grading plan for 105 E. Randolph Avenue. Removal of these trees would result in a violation of the 25 percent tree canopy coverage. Therefore, staff recommends Condition #3, which requires the applicant to maintain the existing tree canopy at the time of preliminary plat approval or provide the required tree canopy at the time of the future grading plan or building permit, whichever is greater, for Proposed Lot 601. In addition, staff recommends Condition #4, which requires the applicant to maintain the existing tree canopy at Proposed Lot 602 (107 E. Randolph Avenue) at the time of preliminary plat approval or provide the required tree canopy at the time of the future grading plan, whichever is greater.

III. RECOMMENDED CONDITIONS

Staff recommends **denial.** Should Planning Commission approve this request, it shall be subject to compliance with all applicable codes and ordinances, and the following conditions:

1. The final subdivision plat shall comply with the requirements of Section 11-1700 of the Zoning Ordinance. (P&Z)

2. The existing dwelling and freestanding garage on Lot 602 shall be demolished prior to submittal of the final plat. (P&Z)

3. Lot 601 shall maintain the percent tree canopy coverage at the time of preliminary plat approval, or canopy coverage required by ordinance at the time of grading plan or building permit submittal, whichever is greater. (P&Z)

4. Lot 602 shall maintain the percent tree canopy coverage at the time of preliminary plat approval, or canopy coverage required by ordinance at the time of grading plan submittal, whichever is greater. (P&Z)

5. The applicant shall provide the following on the final plat:
    a. Remove the 'public bonds approved' approval block and replace with the following: (T&ES)

APPROVED
SUBDIVISION CASE NO. _____
DEPARTMENT OF PLANNING & ZONING
_____ DIRECTOR _____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
_____ DIRECTOR _____ DATE
_____ CHAIRMAN, PLANNING COMMISSION _____ DATE

    b. In all references to the existing subdivision name for 'Mount Vernon', include complete subdivision name per Arlington County DB 180 PG 252: Mount Vernon Subdivision, McKerichar's Property. (T&ES)

    c. Include new subdivision lot numbers, new subdivision name, existing subdivision numbers and corresponding subdivision names in the new subdivision title. (T&ES)

    Example format is as follows:

Plat showing

Lots 601-602

Insert new subdivision name here. It's largely up to the owners, but one suggestion is: Hutchison's Addition to Mount Vernon

Being a subdivision of

Lot 502

Instrument #190015750

And

Part of Lot 25 and Part of Lot 30

Mount Vernon Subdivision, McKerichar's Property

DB 180, PG. 252

STAFF: Tony LaColla, AICP, Division Chief, Land Use Services (LUS), Department of Planning and Zoning
Ann Horowitz, Principal Planner, LUS, Department of Planning and Zoning
Ashley Labadie, AICP, Urban Planner, LUS, Department of Planning and Zoning

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Staff Note: This plat will expire 18 months from the date of approval (October 7, 2023) unless recorded sooner.

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

F-1 DROW, Transportation Planning and Traffic Engineering have no comments.

R-1 Please the 'public bonds approved' approval block and replace with the following: (T&ES)

APPROVED
SUBDIVISION CASE NO. _____
DEPARTMENT OF PLANNING & ZONING
_____ DIRECTOR _____ DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
_____ DIRECTOR _____ DATE
_____ CHAIRMAN, PLANNING COMMISSION _____ DATE

R-2 In all references to the existing subdivision name for 'Mount Vernon', please include complete subdivision name per Arlington County DB 180 PG 252: Mount Vernon Subdivision, McKerichar's Property. (Survey)

R-3 Please include new subdivision lot numbers, new subdivision name, existing subdivision numbers and corresponding subdivision names in the new subdivision title. (Survey)

Example format is as follows:

Plat showing

Lots 601-602

Insert new subdivision name here. It's largely up to the owners, but one suggestion is: Hutchison's Addition to Mount Vernon

Being a subdivision of

Lot 502

Instrument #190015750

And

Part of Lot 25 and Part of Lot 30

Mount Vernon Subdivision, McKerichar's Property

DB 180, PG. 252

Code Enforcement:

F-1 A permit to demolish and construct will be required at a later date.

Recreation, Parks and Cultural Activities:

No comments received.

Police Department:

No comments received.

Fire Department:

No comments or concerns.

APPLICATION

SUBDIVISION OF PROPERTY

SUB # _____

PROPERTY LOCATION: 105 & 107 East Randolph Avenue, Alexandria, Virginia 22301

TAX MAP REFERENCE: 24.04 04 16 & **ZONE:** R-2-5

APPLICANT:

Name: Christopher Alan Hutchison and Elena Caudle Hutchison

Address: 105 East Randolph Avenue, Alexandria, Virginia 22301

PROPERTY OWNER:

Name: Christopher Alan Hutchison and Elena Caudle Hutchison

Address: 105 East Randolph Avenue, Alexandria, Virginia 22301

SUBDIVISION DESCRIPTION Request for approval of a plat of resubdivision to adjust the boundaries between two R-2-5 zone complying lots into two new R-2-5 complying lots. The new resubdivided lots are substantially of the same character as to suitability for residential use and structures, lot areas, ~~orientation, street frontage, alignment to streets and restrictions of the original Mount Vernon subdivision of the McKerichar Property.~~

☑ **THE UNDERSIGNED**, hereby applies for Subdivision in accordance with the provisions of Section 11-1700 of the Zoning Ordinance of the City of Alexandria, Virginia.

☑ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

☑ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☑ **THE UNDERSIGNED**,also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Duncan W. Blair, Attorney/Agent

Print Name of Applicant or Agent

Duncan W. Blair

Signature

524 King Street

Mailing/Street Address

703 836-1000 703 549-3335

Telephone # Fax #

Alexandria, Virginia 22314

City and State Zip Code

dblair@landcarroll.com

Email address

1 13 22

Date

ALL APPLICANTS MUST COMPLETE THIS FORM.

The applicant is: ***(check one)***

☑ the Owner ☐ Contract Purchaser ☐ Lessee or ☐ Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than three percent. Christopher Alan Hutchison and Elena Caudle Hutchison are the only people or entity having an interest in the applicant.

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

☑ **Yes.** Provide proof of current City business license.

☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Christopher Alan Hutchison	105 E Randolph Ave., Alex. VA.	100%
2. Elena Caudle Hutchison	105 E Randolph Ave., Alex. VA.	100%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 105 & 107 East Randolph Ave, Alexandria, Virginia (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Christopher Alan Hutchison	105 E Randolph Ave., Alex. VA	100%
2. Elena Caudle Hutchison	105 E Randolph Ave., Alex. VA	100%
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, click here.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Christopher Alan Hutchison	NONE	
2. Elena Caudle Hutchison	NONE	
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1 13 22	Duncan W. Blair, Attorney/Agent	Duncan W Blair
Date	Printed Name	Signature

WAIVER OF RIGHT TO AUTOMATIC APPROVAL

SUBMITTED TO
THE DEPARTMENT OF PLANNING & ZONING
CITY OF ALEXANDRIA, VIRGINIA

PROJECT NAME: 105 & 107 E. Randolph Ave.

PROJECT ADDRESS: 105 & 107 E. Randolph Ave.

DESCRIPTION OF REQUEST: Approval of a plat of resubdivision.

THE UNDERSIGNED, hereby waives the right to the 45 day automatic approval provision of Section 11-1708 (B)(2) of the Zoning Ordinance of the City of Alexandria, Virginia, for the application stated above. This waiver is limited to the number of days between the filing date of 1 13 22 and the hearing date of 4 7 22 that are in excess of 45 days.

Date: 1 13 22

Updated 1 31 22

☐ Applicant

☐ Agent

Signature: Duncan W. Blair

Printed Name: Duncan W. Blair, Attorney/Agent

2022 City of Alexandria Business License

Finance Department, Revenue Administration Division, City of Alexandria
301 King Street, Room 1700, Alexandria, VA 22314
Phone: 703.746.4800 http://www.alexandriava.gov/

License Number: 110827-2022
Account Number: 110827
Tax Period: 2022
Business Name: Land, Carroll & Blair PC
Trade Name: Land, Carroll & Blair PC
Business Location: 524 KING ST
Alexandria, VA 22314

LAND, CARROLL & BLAIR PC
524 KING ST
Alexandria, VA 22314-3104

License Classification(s):

Professional Occupations/Businesses
9-071-007
Attorney-At-Law

January 19, 2022

Dear Taxpayer:

This is your 2022 City of Alexandria Business License. The bottom portion of this page is perforated to allow you to tear off and post the business license in your establishment.

If you paid for your business license via check, please be aware that if your check is not honored by your financial institution, this business license shall be invalid.

As with all taxes, our goal is to administer Business License taxes fairly and in accordance with Commonwealth and Locality code. Our staff strives to provide professional assistance and quality customer service. Your satisfaction is important to us and your comments are always welcome.

If you have any questions regarding this letter, please visit http://www.alexandriava.gov/ or contact my office via phone at 703.746.4800.

Finance Department, Revenue Administration Division, City of Alexandria

Keep this letter for your records.

City of Alexandria Business License

Revenue Administration Division, City of Alexandria, 301 King Street, Room 1700, Alexandria, VA 22314

License Number: 110827-2022
Account Number: 110827
Tax Period: 2022
Business Name: Land, Carroll & Blair PC
Trade Name: Land, Carroll & Blair PC
Business Location: 524 KING ST
Alexandria, VA 22314

This license has been issued by the Revenue Administration Division of the City of Alexandria and is granted to:

Land, Carroll & Blair PC
524 KING ST
Alexandria, VA 22314

License Classification(s): Professional Occupations/Businesses
9-071-007
Attorney-At-Law

Front Setback and Threshold Data

#105 & 107 E RANDOLPH AVENUE (RCF #21-223)

105 (Existing setback from property line = 24.2' , Existing Threshold Height = 4.5')

107 (Existing setback from property line = 24.4' , Existing Threshold Height = 3.3')

Setback Data	
E RANDOLPH AVENUE	Setback From Property Line
103 E RANDOLPH AVENUE	25.1'
104 E RANDOLPH AVENUE	17.1'
106 E RANDOLPH AVENUE	17.3'
108 E RANDOLPH AVENUE	17.2'
109 E RANDOLPH AVENUE	22.6'
110 E RANDOLPH AVENUE	16.2'
	BETWEEN 16.2' AND 25.1'

Threshold Data	
Address #	Distance Ground to 1st Floor
103 E RANDOLPH AVENUE	4.1'
104 E RANDOLPH AVENUE	3.4'
106 E RANDOLPH AVENUE	3.7'
108 E RANDOLPH AVENUE	3.2'
109 E RANDOLPH AVENUE	2.5'
110 E RANDOLPH AVENUE	2.4'
	MAXIMUM THRESHOLD HEIGHT 4.1'

RCFIELDS & ASSOCIATES
INCORPORATED
ENGINEERING • LAND SURVEYING • PLANNING

700 S. WASHINGTON ST
SUITE 220
ALEXANDRIA, VA 22314
(703) 549-6422
www.rcfassoc.com

February 4, 2022

Samantha Lockwood
Department of Planning and Zoning
301 King Street, Room 2100
Alexandria, VA 22314
samantha.lockwood@alexandria.gov

Re: Case: Subdivision #2022-00001
Address: 105 and 107 East Randolph Avenue
Submission Reference

COMMENT RESPONSE LETTER

The following is in response to the list of comments and recommendations made on the most recent review of the above referenced plan per your letter dated January 26, 2022, and subsequent correspondence with City staff.

Comment 1: Pages three, five, and six of the subdivision application are missing the signature of the applicant or authorized agent. Please provide a complete application with the next submission.

Response: *Signatures of the authorized agent have been included in the resubmittal.*

Comment 2: Please provide a reason for the subdivision request and whether any improvements and/or redevelopment is anticipated.

Response: *Response from Chris and Elena Hutchison – Owners of 105 & 107 E. Randolph Avenue:*

Last June, our former neighbor at 107 E. Randolph had a fire in her basement that resulted in substantial damage to the existing structure, though thankfully no injuries. Unfortunately, the home is uninhabitable as a result and requires substantial remediation and repairs before anyone could live in it again. The fire gutted the basement and smoke and water damage affected the entire structure. The home itself was already older and in need of substantial repairs/renovation before the

fire. There is significant deferred maintenance throughout, including to the foundation. Practically, it is not economical to simply make repairs, so we anticipate all structures will need to be replaced with new construction before anyone lives there again. Also, the existing garage is in disrepair and oddly positioned/oversized for the property, so we expect it would need to be demolished and replaced as well.

We purchased the 107 property with the intention of either (1) pursuing a complete renovation project ourselves or (2) selling the property as-is to a subsequent buyer who would agree to preserve the character of the home (1920s Craftsman bungalow style with a wide front porch and dormer windows on the 2nd floor facing the street) in a replacement build. There are currently five homes in a row on our side of the street in this style, including our home at 105 E Randolph. When we embarked on our own renovation at 105 E Randolph in 2019-2020, it was critical to us to preserve the look and feel of the home from the street for the same reason.

Our other consideration for purchasing the property was a desire to explore a boundary adjustment in the far corner of the two back yards to add a small amount of space to our lot at 105 E Randolph (we are proposing a 578 sq ft addition). The added space would be additional area for outdoor fun for our daughter, dog, and friends/family. Eventually, we would hope to consider adding a pool across the back of the lot (subject to code requirements). Adding the space would allow us to do that while still preserving yard space for grass/gardening/etc. However, we have not pursued any design/plans or commitment for a pool at this time and appreciate that any future pool addition would be subject to additional permitting requirements. Also, we note that our renovations at 105 E Randolph are completed (we moved in over a year ago now), and we have no intention of adding additional living space.

Following the subdivision (if approved), the remainder of the 107 lot would exceed 6900 sq ft, leaving a well above-average lot size for the area and sufficient space for any renovation/restoration of the home for eventual (re)occupancy. We would also note that the subdivision would have the effect of lowering the FAR limits on the 107 lot for the anticipated renovation. Practically, the subdivision will be invisible from the street (the boundary change is 115 ft+ from the street and behind fences and structures).

Comment 3: Please reorient the preliminary plat to show true north and adjust the proposed lot numbers accordingly.

Response: *The plat is oriented to the true north or Virginia Coordinate System, North Zone and referenced in the notes and on the actual north arrow.*

The lot numbers were adjusted and are now in the 600's.

Comment 4: Please provide an existing conditions plat with associated property dimensions and information.

Response: *A plan sheet 2 was added to show the existing conditions with property dimensions and information.*

Comment 5: Please provide separate lot areas for each existing and proposed lot.

Response: *The lot areas for the existing lots are shown on the existing conditions plan, sheet 2. The lot areas for the proposed lots are shown on the preliminary subdivision plat, sheet 1.*

Comment 6: Please provide the lot dimensions of the existing lots.

Response: *The lot dimensions of the existing lots are shown on the existing conditions plan, sheet 2.*

Comment 7: To ensure compliance with the R-2-5 zone, please provide the following in accordance with Section 3-500:

a. The front yards of dwellings within the contextual block face.

Response: *A contextual block face study is provided with this submission as a separate document.*

b. The height of all existing structures on the existing/proposed lots.

Response: *The height of all existing structures on the existing/proposed lots is shown on both sheets 1 and 2.*

c. FAR worksheet for both proposed lots.

Response: *See Grading Plan GRD 2020-400005 for FAR for the house on 105 E Randolph Avenue. There is no proposed house for 107 E Randolph Avenue yet. See Response to Comment 2 above for related discussion*

Comment 8: Please indicate the species of major trees and shrubs. Staff also recommends providing the condition of each tree and shrub.

Response: *All tree species have been added to the preliminary subdivision plat.*

Comment 9: Staff recommends moving the proposed subdivision line away from existing trees. Please indicate if any trees are slated for removal.

Response: *To accommodate staff's recommendation, we have moved the proposed subdivision line further away from existing trees, including tree "6" as identified by staff.*

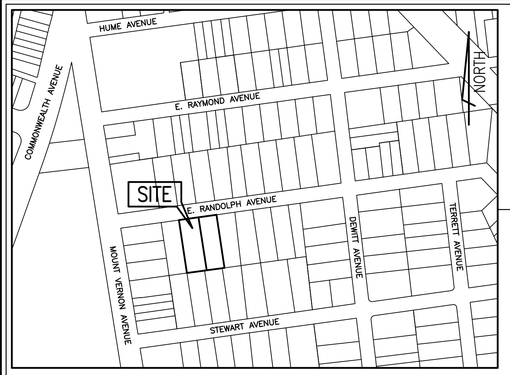
Comment 10: Provide dimensions from the buildings to the nearest lot lines on all sides of the structures.

Response: *Dimensions from the nearest lot lines on all sides of the structures have been provided.*

Please do not hesitate to contact us if you or any member of your Staff has any questions or comments.

Respectfully,
R.C. FIELDS & ASSOCIATES, INC.

Wim De Sutter, LS
Survey Manager



VICINITY MAP
SCALE 1" = 200'

EXISTING TREE TABLE:

1)	10"	ALDER
2)	3"	ASH
3)	7"	HOLLY
4)	7"	ASH
5)	15'	HICKORY
6)	15"	AMERICAN HOLLY
7)	16"	OAK
8)	8"	EVERGREEN
9)	15"	CREPE MYRTLE
10)	13"	CREPE MYRTLE
11)	12"	CREPE MYRTLE
12)	13"	CREPE MYRTLE
13)	12"	BIRCH
14)	6"	HOLLY
15)	8"	SERVICEBERRY
16)	8"	EASTERN REDBUD
17)	8"	CREPE MYRTLE
18)	8"	BIRCH
19)	8"	BIRCH
20)	16"	CREPE MYRTLE
21)	2"	SERVICEBERRY
22)	10"	WHITE OAK
23)	13"	EVERGREEN

NOTE: TREE COVER CALCULATIONS FOR THE PROPOSED LOT WILL BE PROVIDED WITH THE GRADING PLAN.

TEXT LEGEND:

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DB = DEED BOOK
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E = EAST
FF = FINISH FLOOR
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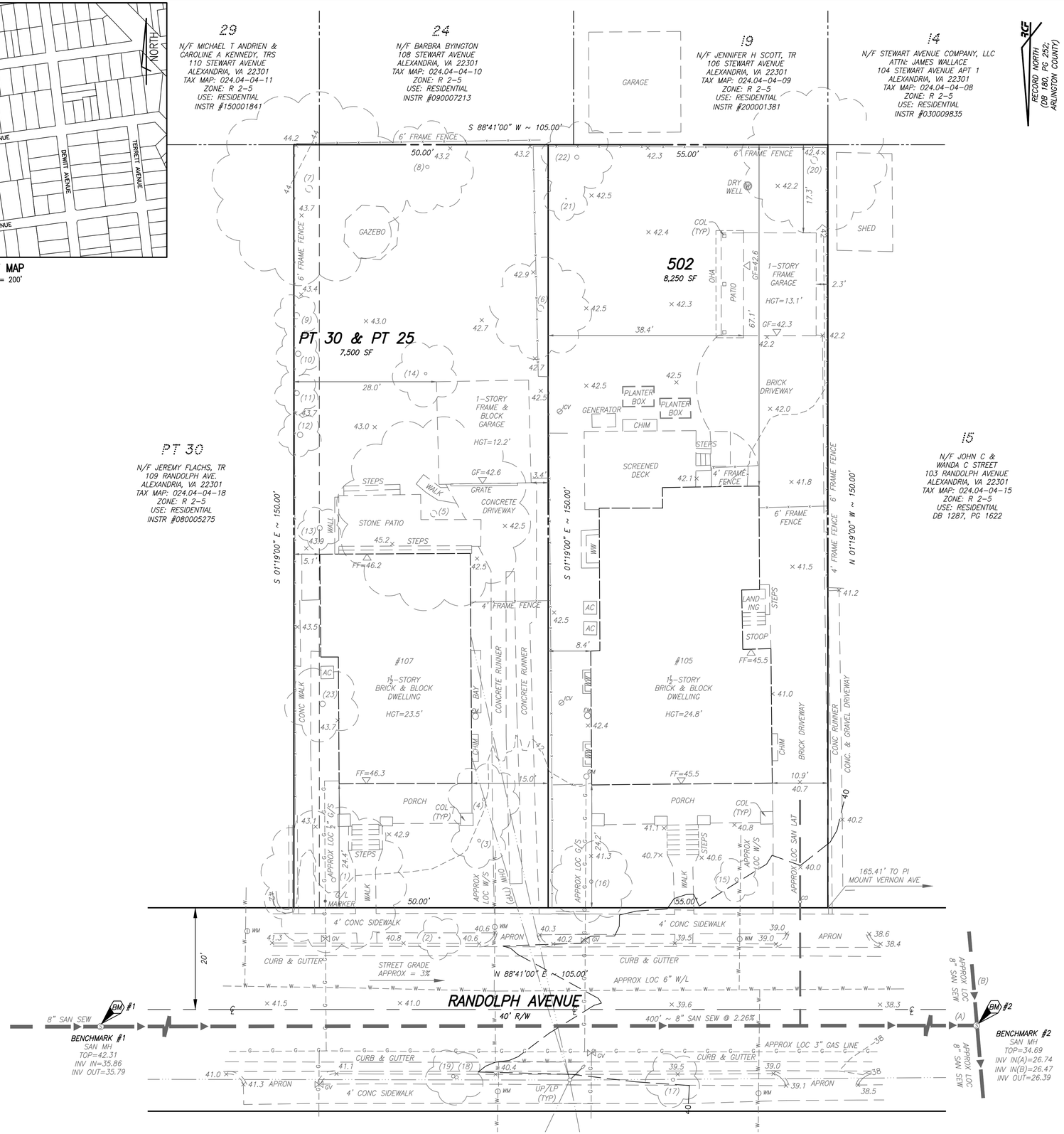

GENERAL NOTES:

1. TAX MAP: 024.04-04-52 (105 RANDOLPH AVENUE)
   024.04-04-17 (107 RANDOLPH AVENUE)
2. ZONE: R 2-5
   OWNER CHRISTOPHER A & ELENA C HUTCHISON
   105 EAST RANDOLPH AVENUE
   ALEXANDRIA, VA 22301
   INSTR #190008819 (105 RANDOLPH AVENUE)
   INSTR #210020924 (107 RANDOLPH AVENUE)
3. TOPOGRAPHIC SURVEY WAS FIELD RUN BY THIS FIRM. VERTICAL DATUM = NAVD '88 PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK OF LEICA SMARTNET.
4. TITLE REPORT FURNISHED BY AMARISEARCH, INC., FILE NO. OT-21-8240 DATED AUGUST 15, 2021 AND IS RELIED UPON AS ACCURATE BY THE SURVEYOR.
5. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
6. TOTAL SITE AREA = 15,750 S.F. OR 0.3616 AC.
7. THESE LOTS SHALL UTILIZE THE PUBLIC SANITARY SEWER AND WATER ADJACENT TO THE PROPERTY.
8. THIS LOT IS IN OTHER AREAS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FIRM FLOOD INSURANCE RATE MAP #5155190033E.
9. THERE ARE NO KNOWN GRAVE SITES OR OBJECTS MARKING A PLACE OF BURIAL ON THIS SITE.
10. THIS SITE CONTAINS NO KNOWN CONTAMINATED SOILS, TOXIC OR HAZARDOUS MATERIALS, UNDERGROUND STORAGE TANKS OR AREAS WITH THE POTENTIAL TO GENERATE COMBUSTIBLE GASES AND IS NOT KNOWN TO BE WITHIN 1,000 FEET OF A FORMER SANITARY LANDFILL, DUMP OR DISPOSAL AREA.
11. STORMWATER MANAGEMENT AND RUNOFF FROM THIS PROPOSED LOT WILL BE PROVIDED TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES. THERE ARE NO CHANGES IN DRAINAGE PATTERNS PROPOSED WITH THIS PLAT.
12. THERE ARE NO FLOODPLAINS OR RESOURCE PROTECTION AREAS (RPA) LOCATED ON THIS PROPERTY.

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COMMONWEALTH OF VIRGINIA
Wim J. De Sutter
Lic. No. 3462
FEBRUARY 1, 2022
LAND SURVEYOR

EXISTING CONDITIONS PLAN

SHOWING EAST 45' OF LOT 25, WEST 5' OF LOT 30 & LOT 502

MOUNT VERNON

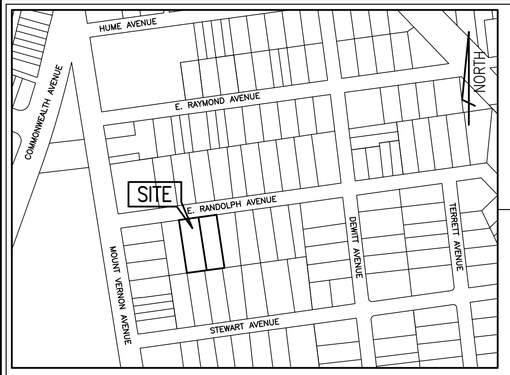
DEED BOOK 180, PAGE 252 (ARLINGTON COUNTY) & INSTRUMENT #190015575 (CITY OF ALEXANDRIA)
(105 & 107 RANDOLPH AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

DRAWN: AA
SCALE: 1" = 10'
DATE: 2/1/2021

SHEET 2 OF 2
FILE: 21-223

J:\2021\21223\DWG\SURVEY\21223 - PRELIMINARY SUBDIVISION 2nd SUBMISSION_recover.dwg
Thu, Feb 03 2022 - 11:52:02am



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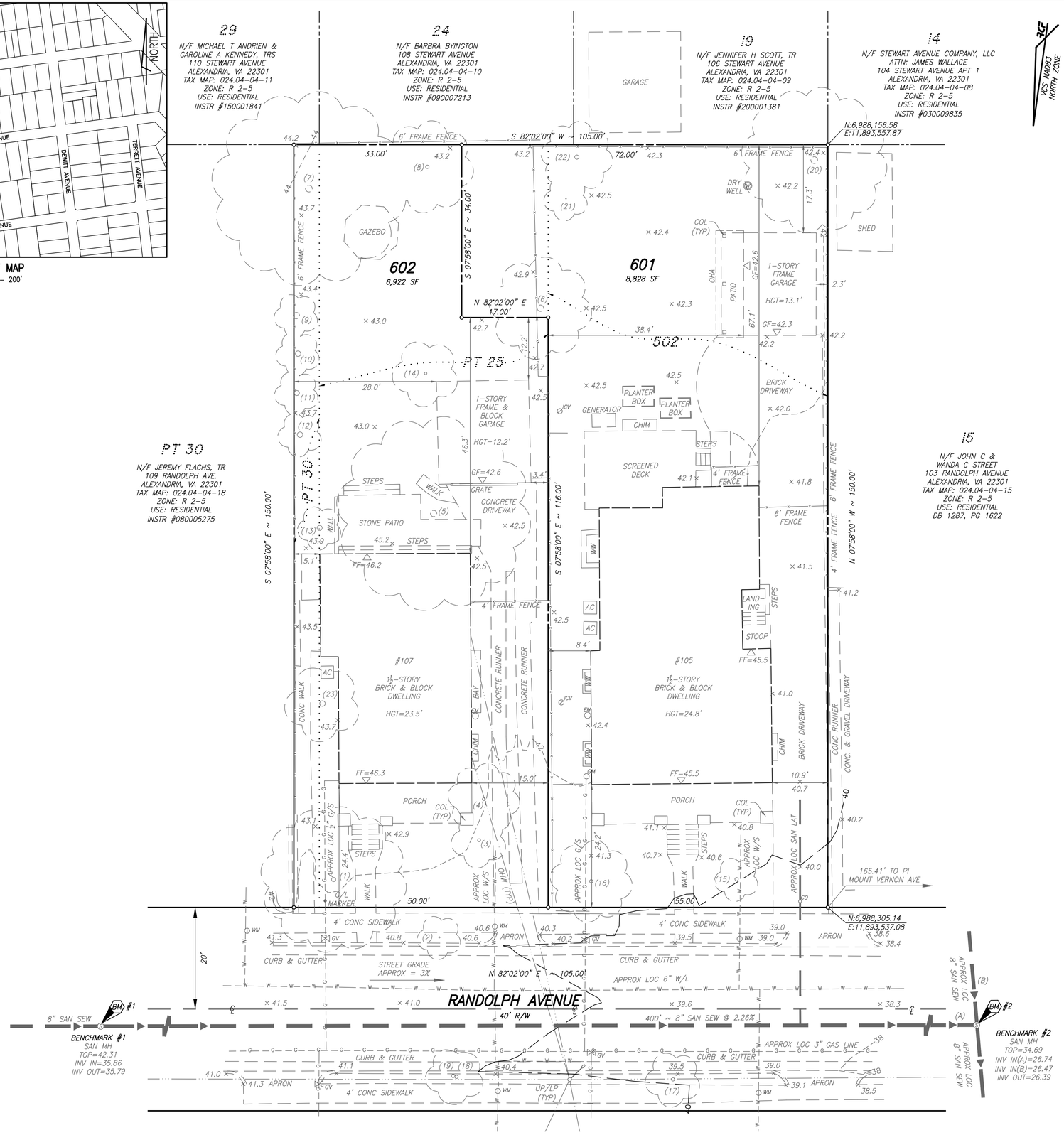

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4. THE PLAT OF THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 (VCS 1983), NORTH ZONE, US SURVEY FOOT UNITS AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY THAT TIES THIS BOUNDARY TO THE RTK NETWORK OF LEICA SMARTNET.
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LOT TABULATION

TOTAL SITE AREA	15,750 SQ. FT. OR 0.3616 AC.
EXISTING NUMBER OF LOTS	2
PROPOSED NUMBER OF LOTS	2
MIN. LOT AREA REQUIRED	5,000 SQ. FT. OR 0.1148 AC.
MIN. LOT AREA PROPOSED	6,922 SQ. FT. OR 0.1589 AC.
MINIMUM LOT WIDTH REQUIRED	50'
LOT WIDTH PROVIDED (LOT 601)	50.00'
(LOT 602)	55.00'
MINIMUM LOT FRONTAGE REQUIRED	40'
LOT FRONTAGE PROVIDED (LOT 601)	50.00'
(LOT 602)	55.00'

SURVEYOR'S CERTIFICATE

I, WIM DE SUTTER, HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY DELINEATED BY THIS PLAT, AND THAT IT IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT IT IS A SUBDIVISION OF THE LAND CONVEYED TO CHRISTOPHER A & ELENA C HUTSHISON, DATED JULY 2, 2019 & AUGUST 31, 2021 AND RECORDED AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA AT INSTRUMENT #190008819 & #210020924, RESPECTIVELY, AND IS WITHIN THOSE BOUNDARIES; AND THAT ALL REQUIRED MONUMENTS HAVE BEEN INSTALLED WHERE INDICATED EXCEPT THOSE THAT WILL BE INSTALLED AT A LATER DATE BUT BEFORE THE COMPLETION OF THE PROJECT. IRON PIPES MARKED THUS —O— WILL BE SET AS INDICATED. GIVEN UNDER MY HAND THIS 1ST DAY OF FEBRUARY, 2022.

APPROVED
CITY PLANNING COMMISSION
ALEXANDRIA, VA

CHAIRMAN

DATE DIRECTOR OF PLANNING

PUBLIC IMPROVEMENT BOND(S) APPROVED

DATE DIRECTOR T.&E.S.

RCFIELDS & ASSOCIATES, INC.
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COMMONWEALTH OF VIRGINIA
Wim J. De Sutter
Lic. No. 3462
FEBRUARY 1, 2022
LAND SURVEYOR

PRELIMINARY PLAT

SHOWING RESUBDIVISION OF EAST 45' OF LOT 25, WEST 5' OF LOT 30 & LOT 502

MOUNT VERNON

DEED BOOK 180, PAGE 252 (ARLINGTON COUNTY) & INSTRUMENT #190015575 (CITY OF ALEXANDRIA) (105 & 107 RANDOLPH AVENUE)

CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

DRAWN: AA
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SHEET 1 OF 2

FILE: 21-223

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Thu, Feb 03 2022 - 11:51:39am

DEL RAY CITIZENS ASSOCIATION

WWW.delraycitizens.org P.O. Box 2233, Alexandria, VA 22301

March 16, 2022

Karl W. Moritz, Director,
Department of Planning and Zoning
City of Alexandria
City Hall, Room 2100
Alexandria, VA 22314

RE: #SUB2022-0001
105 &107 East Randolph Ave

On March 9, 2022 the Del Ray Citizens Association (DRCA) voted to not support the subdivision of 105 &107 East Randolph Ave because it does not meet Section 11-1710.(B).(1). of the Subdivision requirements of the Zoning Code.

At the March 8, 2022 Land Use Committee meeting, the proposed subdivision was reviewed with the applicant, his land-use attorney, city staff and interested neighbors. During the meeting the original Mt. Vernon Subdivision from 1921 was presented by city staff, which indicated rectilinear lot layouts typical of Del Ray. Although the lot lines have been adjusted over time, the lots have remained rectilinear and no L-shaped lots have been created. The proposed subdivision is not of the same character as the historic lot layouts and thus does not comply with the Zoning Code.

The city should be doing what it can to support the Town of Potomac Historic District that is protected by the zoning code and not allow precedents to be set for proposals that do not comply with it.

Sincerely,

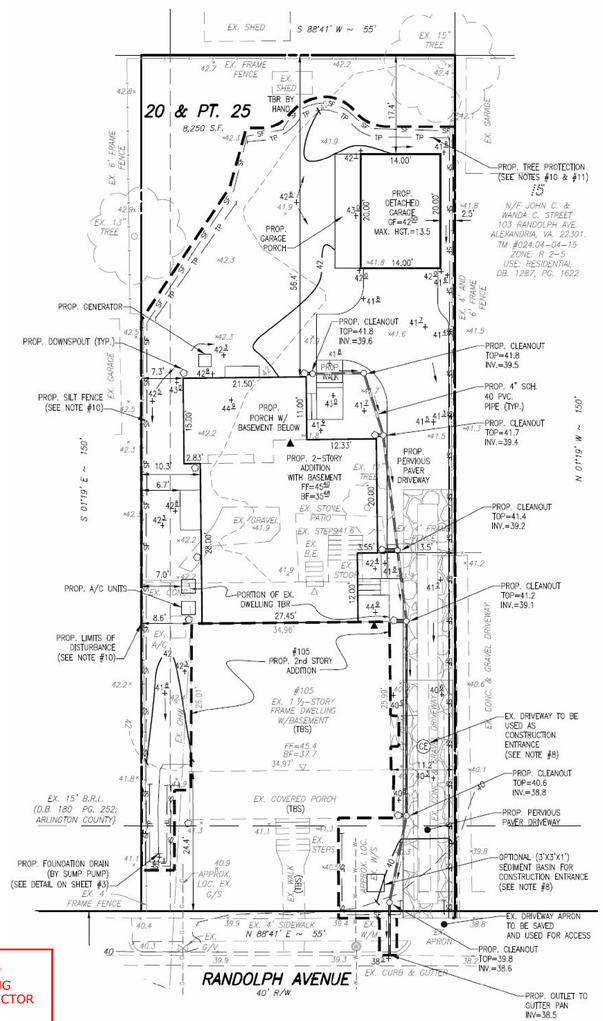
Kristine Hesse,
Lisa Lettieri, Co-chairs
Land Use Committee

Tim Laderach, President
Del Ray Citizens Association

Cc: Ashley Labadie, P & Z Staff Reviewer
Chris Hutchison, Applicant
Duncan Blair, Land Carroll & Blair PC

ADDITION TO SINGLE-FAMILY RESIDENCE

105 E. Randolph Avenue
Alexandria, VA 22301



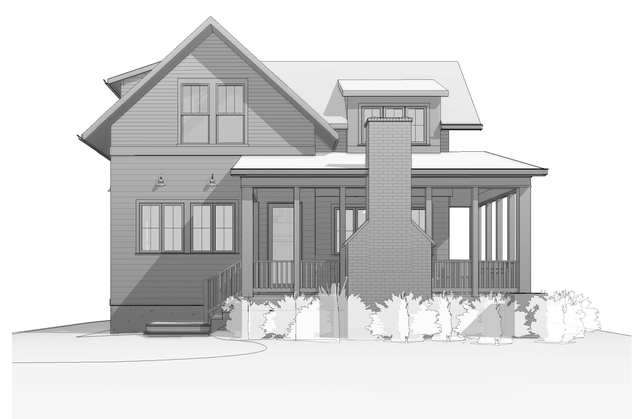
ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY - REFER TO APPROVED GRADING PLAN BY R.C. FIELDS FOR CONSTRUCTION.

Construction Authorized
Code Administration
Alexandria, VA
Subject to Field Inspection
These documents appear to comply with applicable codes
Reviewed by. Charles Cooper

APPROVED
PLANNING & ZONING
KARL W. MORITZ, DIRECTOR

DATE: 01/31/2020
STAFF: shaun.smith

3D RENDERING - STREET VIEW



3D RENDERING - REAR ELEVATION VIEW

LIST OF DRAWINGS

0-C	COVER & SITE PLAN
0-D1	DEMOLITION PLANS
0-D2	DEMOLITION PLANS
A1	LOWER LEVEL PLAN
A2	MAIN FLOOR PLAN
A3	UPPER FLOOR PLAN
A4	ROOF PLAN
A5	ELEVATIONS
A6	ELEVATIONS
A7	BUILDING SECTIONS
A8	BUILDING SECTIONS
A9	DETACHED GARAGE
E1	ELECTRICAL PLANS
S1	STRUCTURAL NOTES
S2	FOUNDATION PLAN
S3	MAIN FLOOR FRAMING PLAN
S4	UPPER LEVEL FRAMING PLAN
S5	ROOF FRAMING PLAN
S6	WALL BRACING PLANS
S7	WALL BRACING DETAILS
S8	DETAILS

ZONING CODE:

JURISDICTION:	CITY OF ALEXANDRIA
LOT:	20
SUBDIVISION:	DEL RAY
ZONING:	R-2-5
LOT SIZE:	8,250 SF
FLOOR AREA RATIO:	.45 MAX
BUILDING HEIGHT:	30'
SETBACKS:	
FRONT:	BLOCKFACE AVERAGE/EXISTING
SIDE:	RATIO OF 1:3, MINIMUM OF 7'
REAR:	RATIO OF 1:1, MIMIMUM OF 7'

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review. Planning and Zoning approval of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.

MJW DESIGNS, LLC
Designer - Maria Wright
443.994.8777
maria@fitzharrisdesigns.com

KNF Engineering
Structural Engineer
Kyle N. Franzen
703.946.3188
kyle@knfeng.com

WINDMILL HILL

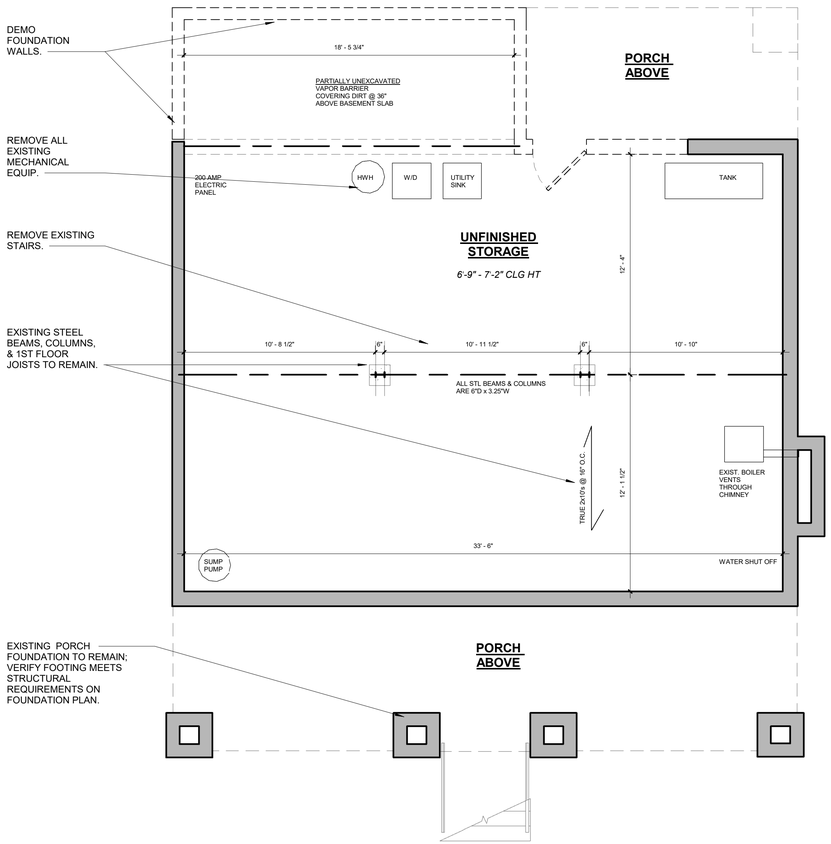
WINDMILL HILL HOMES
105 E. Randolph Ave.
Alexandria, VA 22301

ISSUE:
PERMIT

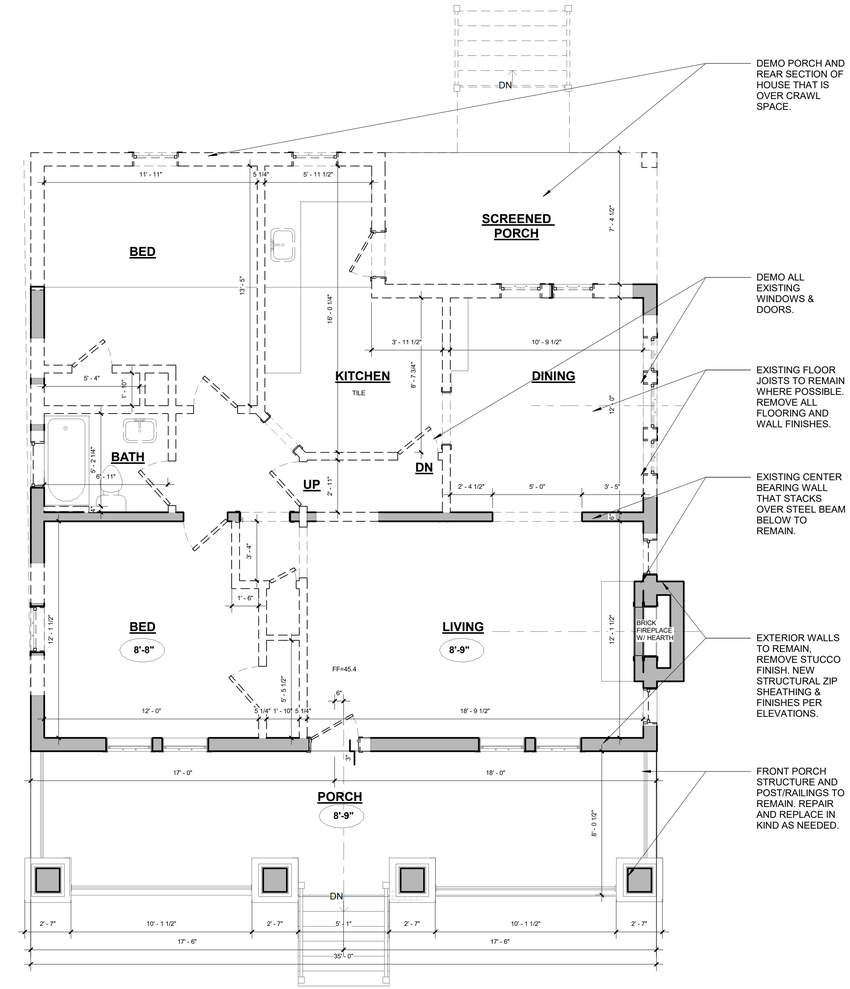
DATE:
2019.12.10

Cover

0-C



1 LOWER LEVEL
1/4" = 1'-0"



2 MAIN LEVEL
1/4" = 1'-0"

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maria@fitzharrisdesigns.com

KNF Engineering

Structural Engineer
Kyle N. Franzen
703.946.3188
kyle@knfeng.com

WINDMILL HILL

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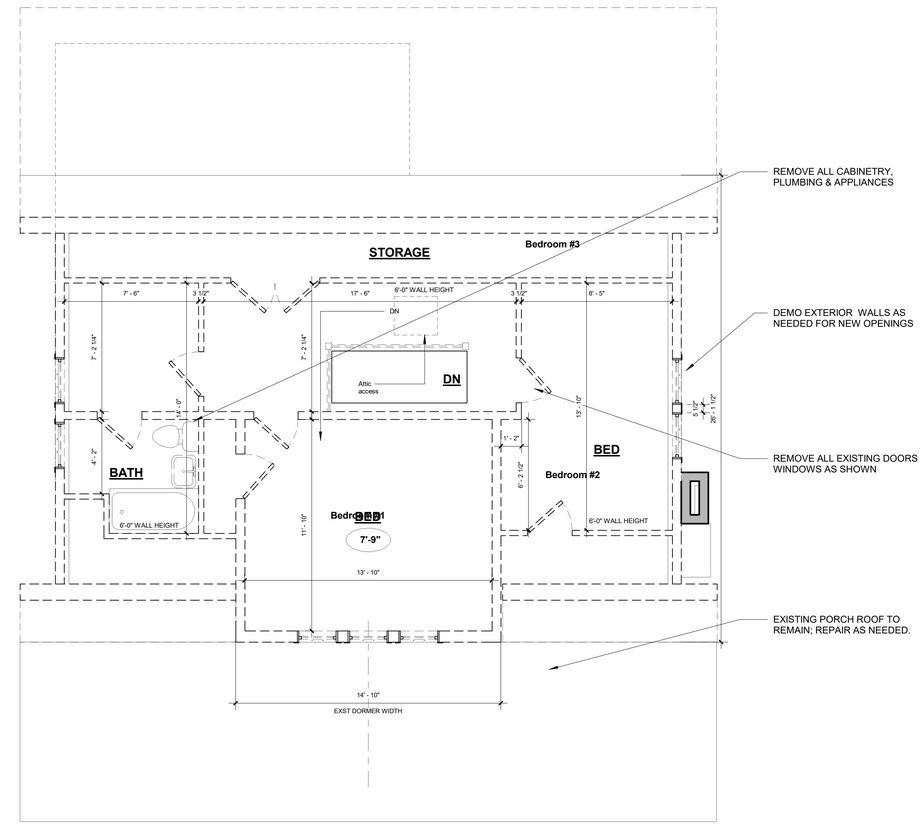
PERMIT

DATE:
2019.12.10

DEMOLITION PLANS

0-D1

2 EXISTING ELEVATION - FRONT
1/4" = 1'-0"



1 UPPER LEVEL
1/4" = 1'-0"

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MJW DESIGNS, LLC

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DEMOLITION PLANS

0-D2

NOTES TO DIMENSIONS:

1. Contractor to thoroughly review dimensions so as to understand critical relationships and alignments prior to proceeding with all construction.

2. Interior dimensions are to face of stud.

3. Exterior dimensions are to outside of stud and outside of foundation wall (foundation or masonry).

4. Written dimensions rule. Do not scale plans.

NOTES TO WINDOW & DOOR SUPPLIER:

1. Window and door sizes called are generic. A 24x52 window means a unit that has 24" wide and 52" tall frame dimensions. A 36x84 door means a unit that has 36" wide and 84" tall door slab dimensions.

2. Window supplier is to supply architect with final window takeoff for review prior to placing order with manufacturer.

3. Window supplier is solely responsible for providing rough openings to contractor.

4. Window supplier is responsible for verifying window brand meets egress requirements. Contact architect if window size changes.

WINDOW FALL PROTECTION

R312.2 Window fall protection. Window fall protection shall be provided in accordance with sections R312.2.1 and R312.2.2.

R312.2.1 Window sills.
In dwelling units, where the lowest part of the opening of an operable window is located more than 72 inches (1829 mm) above the finished grade or surface below, the lowest part of the window opening shall be a minimum of 36 inches (914 mm) above the finished floor of the room in which the window is located.
Operable sections of windows shall not permit openings that allow passage of a 4-inch diameter (102 mm) sphere where such openings are located within 36 inches (914 mm) of the finished floor.

Exceptions:
1. Windows with openings that will not allow a 4-inch diameter (102 mm) sphere to
pass through the opening when the window is in its largest opened position.

2. Openings that are provided with window fall prevention devices that comply with
ASTM F 2090.

3. Windows that are provided with window opening control devices that comply with
section R312.2.2.

4. Replacement windows.

R312.2.2 Window opening control devices.
Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the minimum net clear opening area of the window unit to less than the area required by section R310.1.1.

INSULATION SUMMARY (CLIMATE ZONE 4):

1. PROVIDE INSULATION (BATT, SPRAY FOAM OR RIGID) AT EXTERIOR PERIMETER ENVELOPE TO MEET OR EXCEED R-VALUES LISTED BELOW:

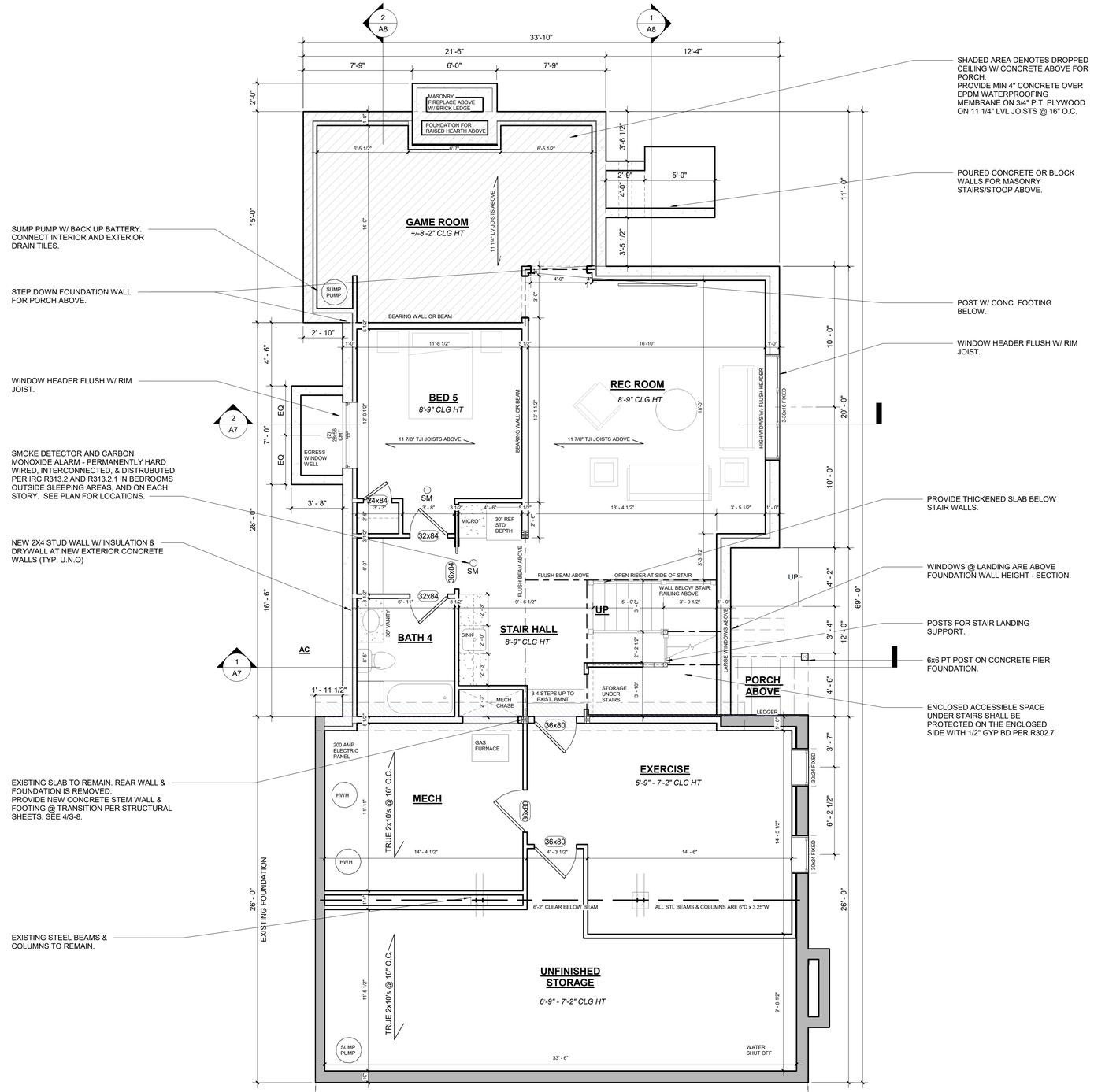
R-38 FOR ROOF W/ 13" CAVITY
R-38C FOR ROOF W/ 10-1/4" CAVITY
R-15 FOR CAVITY OF EXTERIOR 2x4 WALLS
R-19 FOR CAVITY OF EXTERIOR 2x6 WALLS
R-38 FOR FLOORS OVER UNCONDITIONED AIR
R-11 UNFACED FOR UNFINISHED INTERIOR WALLS
R-30 AT BAND JOIST
R-13 FOR STUD CAVITY AT BASEMENT WALL
R-10 RIGID CONTINUOUS W/ TAPED JOINTS AT EXTERIOR FOUNDATION
R-10 RIGID AT SLABS ON GRADE IN CONDITIONED SPACES; INSULATE FROM TOP OF SLAB DOWNWARD TO 24" BELOW GRADE AND INWARD 24" FROM PERIMETER OF SLAB.

2. FENESTRATION U-FACTOR = 0.35

3. SKYLIGHT U-FACTOR = 0.55

4. GLAZED FENESTRATION SHGC = 0.40

**BUILDING TO MEET OR EXCEED THE REQUIREMENTS OF TABLE E02.1.1 OF THE 2015 VIRGINIA ENERGY CODE.



LOWER LEVEL PLAN

EXISTING TO BE REMODELED = 915 SF
NEW FINISHED = 1200 SF
TOTAL = 2115 SF

1 LOWER LEVEL PROPOSED
1/4" = 1'-0"

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LOWER FLOOR PLAN

A1

GENERAL STAIR REQUIREMENTS:

1. R311.7.1 - New stairways are 3'-0" wide minimum, see plans. Handrails may project 4.5".

2. R311.7.2 - Headroom 6'-8" min vertically from nosing. Landings at top and bottom 36" min and not less than stair width. Landing is not required at top of interior flight of stairs, provided a door does not swing over the stairs per R311.7.5.

3. R311.7.4 - Treads are 10" deep minimum between vertical planes and equal or not to exceed 3/8" variance. Riser height 8 1/4" max, and equal or not to exceed 3/8" variance. Risers shall be solid or not exceed 4" diameter opening; nosings between 3/4" to 1 1/4" projection, 9/16" max radius, not beveled per R311.7.4.3.

4. R311.7.5 - Landings at top and bottom 36" min and not less than stair width. Landing is not required at top of interior flight of stairs, provided a door does not swing over the stairs. 12" max height between floors/landings.

5. R3117.7 - Handrails shall be on one side of stair with 4 or more risers. Handrails shall be 35" high above tread nosing, continuous except at newel post turn, 1 1/2" clear from wall, graspable 1 1/4" to 2" diameter or shaped per r311.7.7.3. Handrails shall not project more than 4.5" into stair width per 311.7.1

6. R312 - Guard rails shall be located when walking surface is 30" above adjacent surface within 36". Guards shall be 36" high minimum and spaced equally so 4" sphere channot pass. New post required if guard spans more than 6'/

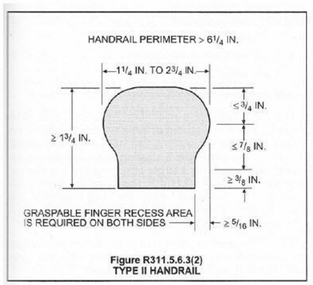
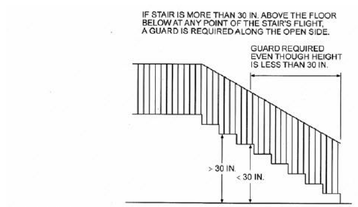
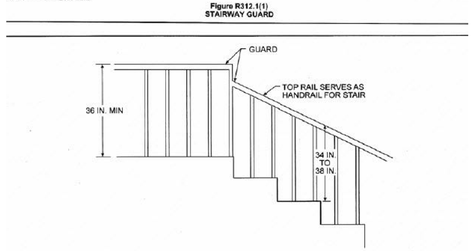


Figure R311.5.6.3(2)
TYPE II HANDRAIL



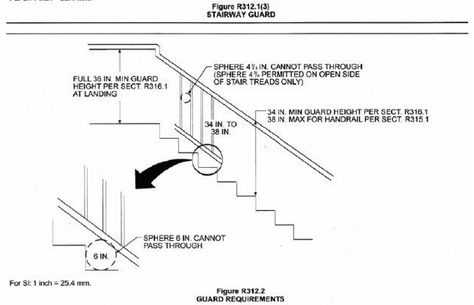
For SI: 1 inch = 25.4 mm.

Figure R312.1(1)
STAIRWAY GUARD



For SI: 1 inch = 25.4 mm.

Figure R312.1(3)
STAIRWAY GUARD



For SI: 1 inch = 25.4 mm.

Figure R312.2
GUARD REQUIREMENTS

MAINTAIN 2" CLEARANCE OF ALL COMBUSTIBLE MATERIALS @ MASONRY FIREPLACE.

6x6 P.T. POSTS W/ PVC TRIM WRAP FOR 10"x10" FINISHED DIMENSIONS.

PORCH FLOOR W/ FINISHED SPACE BELOW - LVL JOISTS W/ 3/4" P.T. PLYWOOD SHEATHING UNDER WATERPROOF MEMBRANE, MIN 4" CONCRETE TOPPING W/ FLAGSTONE FINISH.

REINFORCED CANTILEVER JOISTS ABOVE PER FRAMING PLANS. PAD DOWN CEILING ON EITHER SIDE OF BUMP OUT.

FRENCH CASEMENT WINDOWS TO OPEN KITCHEN TO PORCH.

DROPPED BEAM PER STRUCTURAL. PAD OUT AND WRAP INTERIOR W/ WOOD. NO CASING

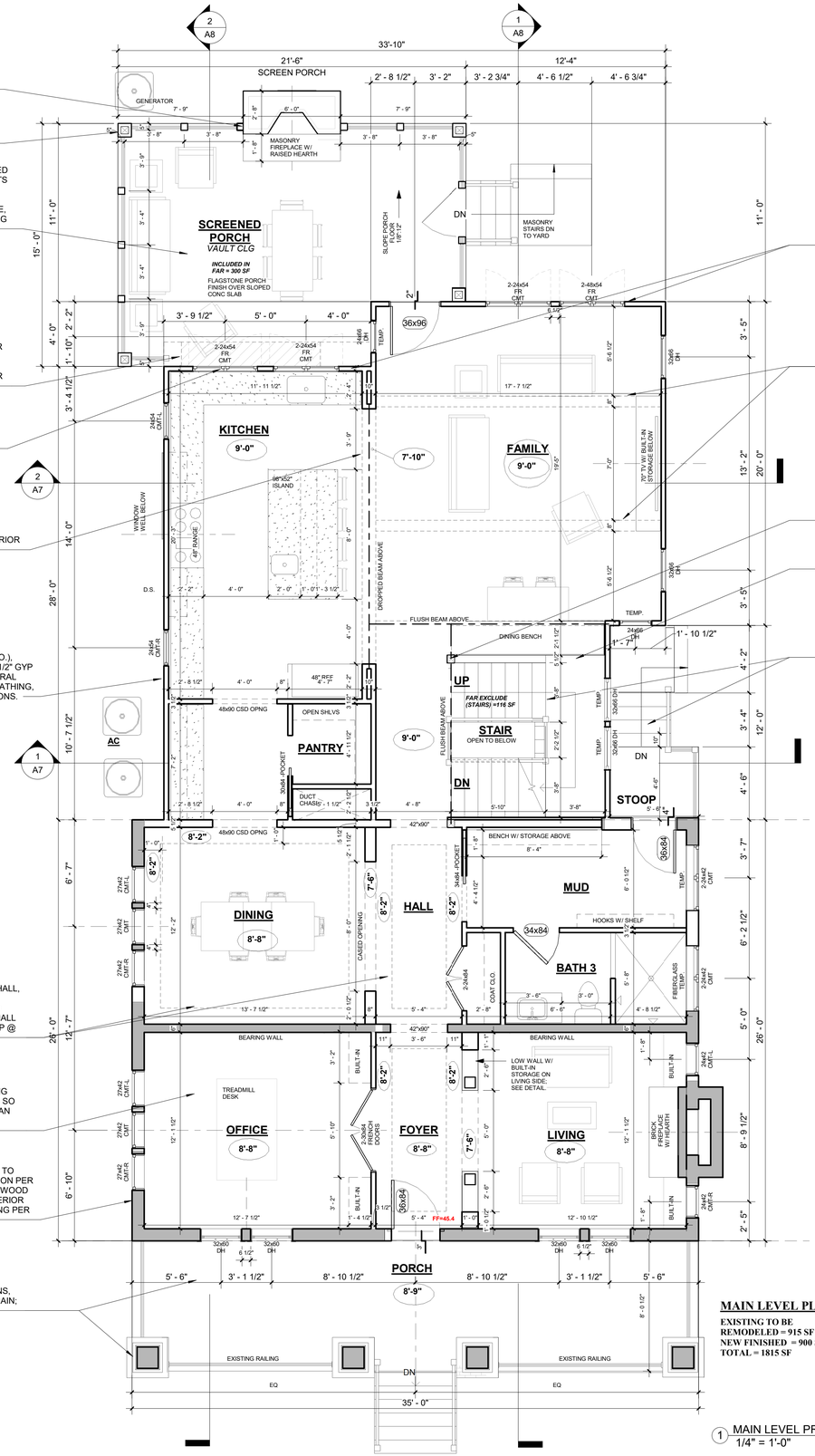
2x4 WOOD FRAMING (U.N.O.), INSULATION PER CHART, 1/2" GYP BD, 7/16" WOOD STRUCTURAL PANEL EXTERIOR ZIP SHEATHING, AND SIDING PER ELEVATIONS.

TRAY CEILING IN FOYER, HALL, AND DINING; FRAME PERIMETER DOWN 6" ADD MODERN FARMHOUSE SMALL CROWN TWPERRY MF03SP @ INTERIOR TRAY.

ADD BLOCKING @ EXISTING JOISTS & NEW SUBFLOOR SO THAT WOOD FLOORING CAN RUN FRONT TO BACK TO MATCH ADDITION.

EXISTING FRAMED WALLS TO REMAIN (U.N.O.), INSULATION PER CHART, 1/2" GYP BD, 7/16" WOOD STRUCTURAL PANEL EXTERIOR ZIP SHEATHING, AND SIDING PER ELEVATIONS.

EXISTING PORCH COLUMNS, RAILINGS & ROOF TO REMAIN; REPAIR AS NEEDED.



PORTAL FRAME DETAIL @ REAR WALLS. SEE WALL BRACING.

WOOD WRAPPED BEAMS

STRUCTURAL POST TO SUPPORT STAIR OPENING ABOVE.

STAIR LANDING SITS ON LOW WALL.

R311.7 AND R312 CODE COMPLAINT WOOD STAIR, RAIL AND NEWEL POST.

**SEE GENERAL STAIR REQUIREMENTS SHEET A2

MAIN LEVEL PLAN

EXISTING TO BE REMODELED = 915 SF
NEW FINISHED = 900 SF
TOTAL = 1815 SF

1 MAIN LEVEL PROPOSED
1/4" = 1'-0"

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review Board. Issuance of a building permit does not constitute of any changes, additions or amendments to such plans unless they are specifically identified by the applicant and approved by staff.

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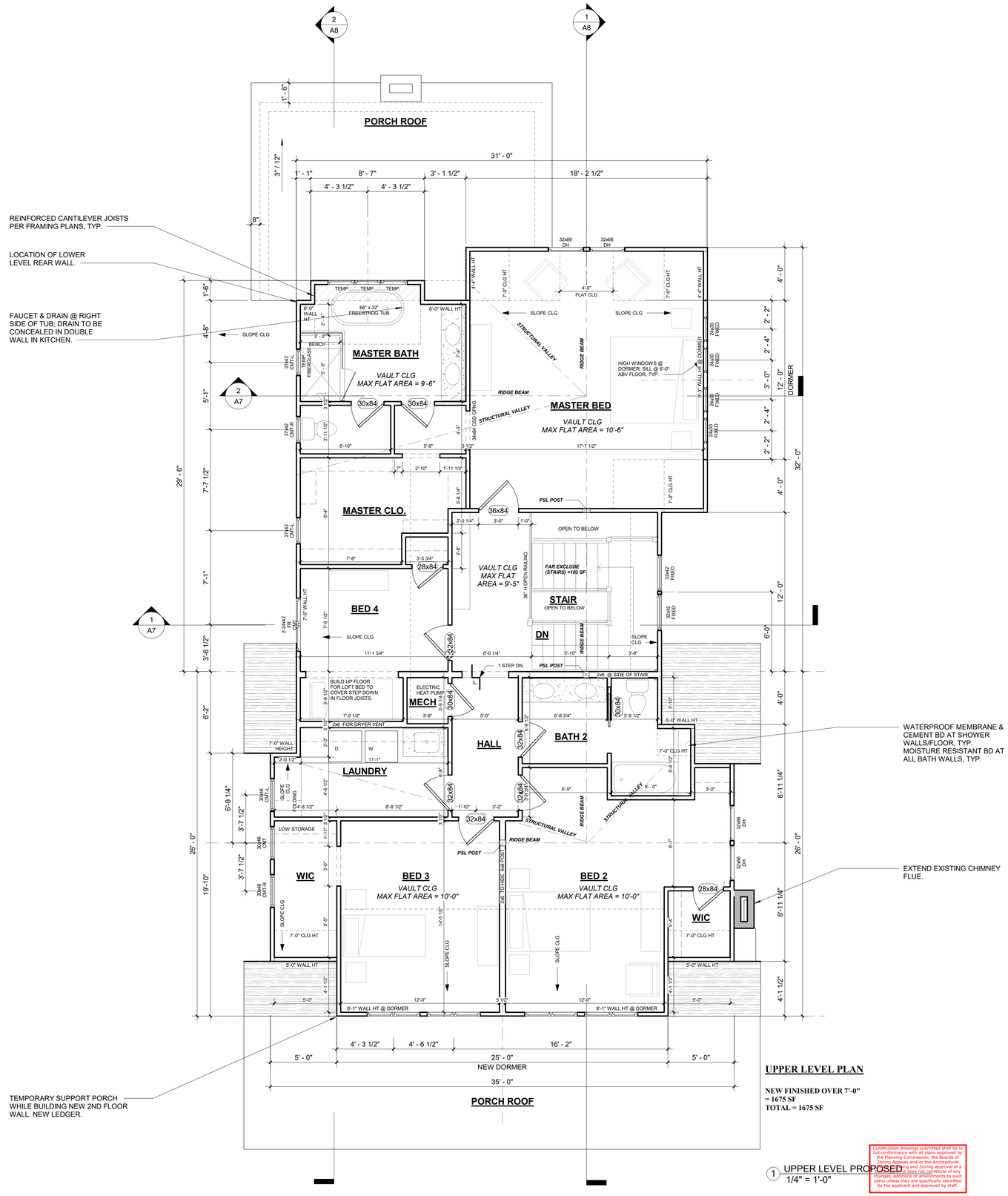
MAIN FLOOR PLAN

A2



UPPER LEVEL PLAN

NEW FINISHED OVER 7'-0"
= 1675 SF
TOTAL = 1675 SF

1 UPPER LEVEL PROPOSED
1/4" = 1'-0"

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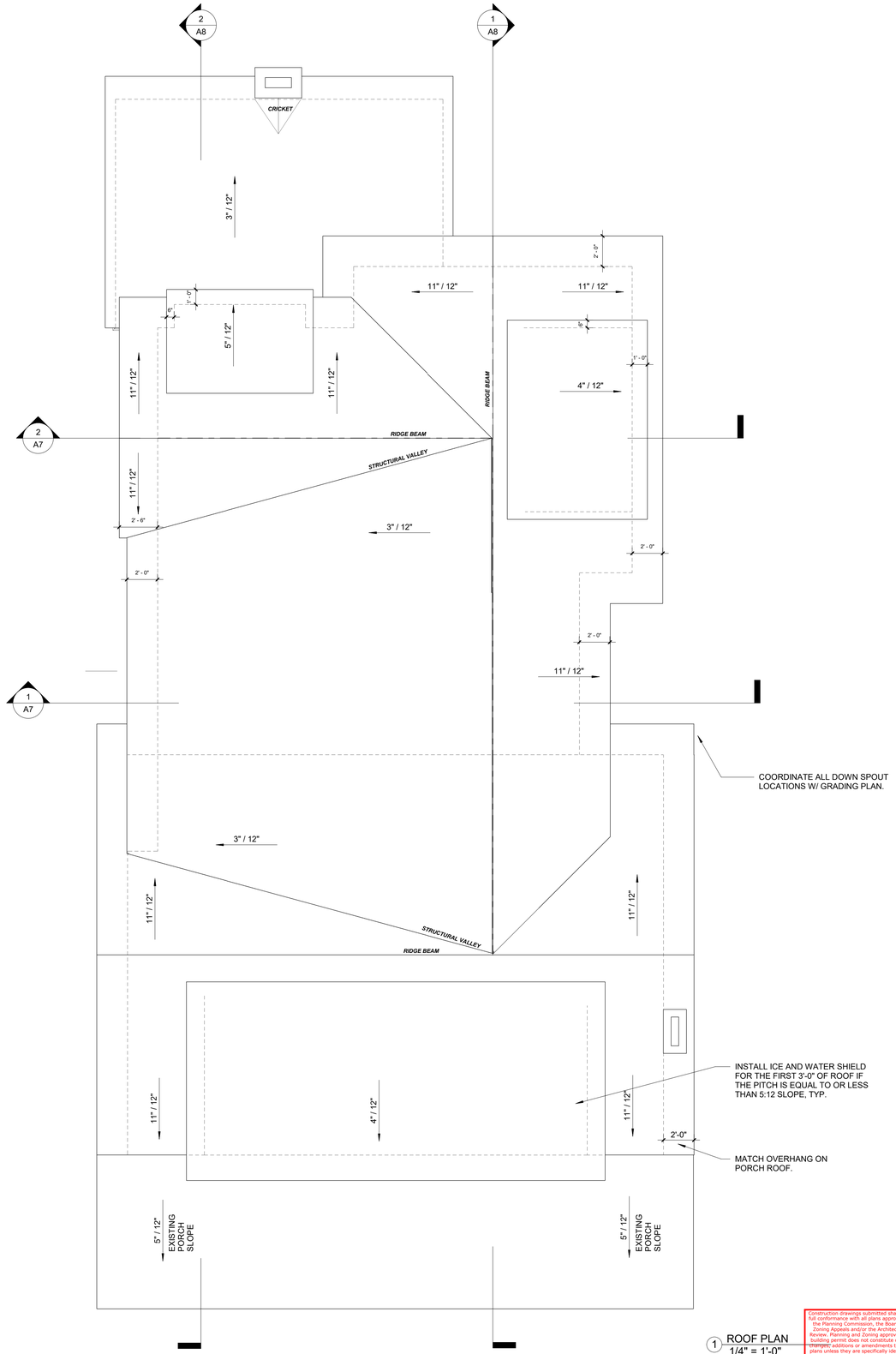
UPPER FLOOR PLAN

A3



1 ROOF PLAN
1/4" = 1'-0"

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ROOF PLAN

A4

EXTEND EXISTING BRICK CHIMNEY ABOVE NEW RIDGE HEIGHT.

ARCHITECTURAL GRADE ASPHALT SHINGLE ROOF TO BE SELECTED BY OWNER - TYPICAL FOR ALL NEW AND EXISTING ROOFS.

5/4x6 FASCIA BD W/ K-STYLE ALUMINUM GUTTER; DOWNSPOUTS LOCATED PER GRADING PLAN.

NEW CLAD WOOD WINDOWS, TYP.

WINDOWS WITH 5/4x4 SYNTHETIC TRIM BOARDS, EXTENDED 2" THICK SLOPING SUB SILL, AND 5/4x6 HEAD TRIM.- TYPICAL ALL WINDOWS.

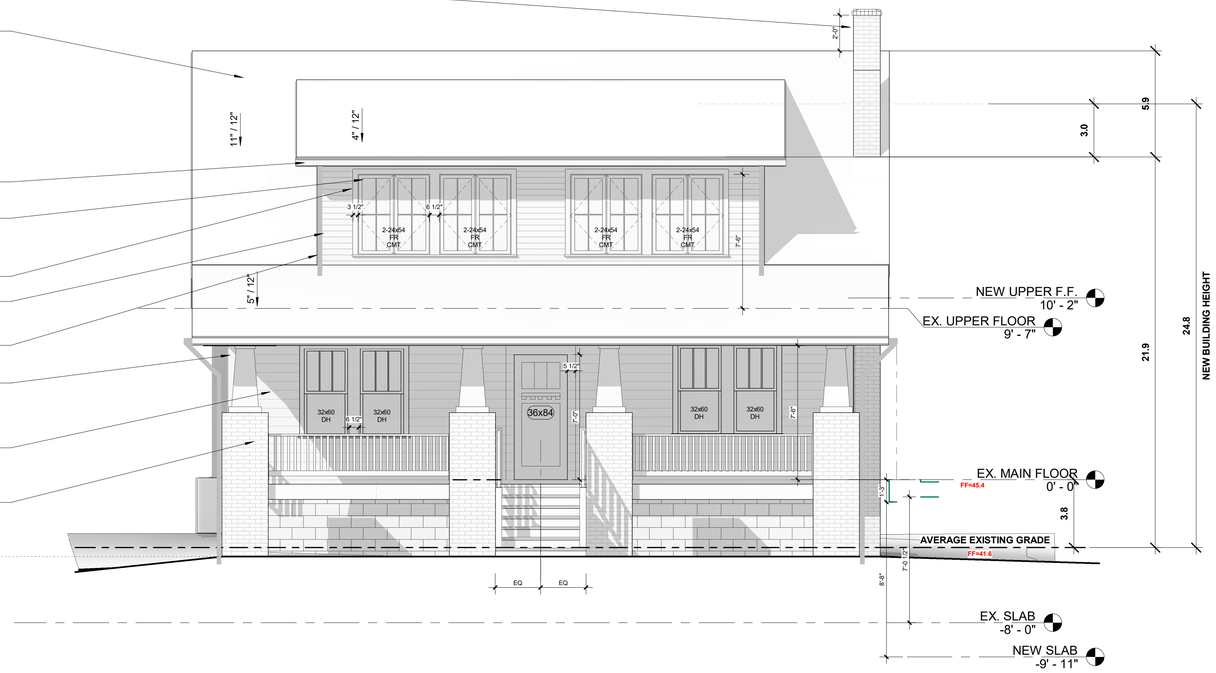
SMOOTH FIBER CEMENT SIDING W/ 4" EXPOSURE.

PROVIDE CONCEALED STEP FLASHING @ ALL ROOF/WALL INTERSECTIONS.

5/4x6 CORNER BOARDS

SMOOTH FIBER CEMENT SIDING W/ 6" EXPOSURE @ AREAS BELOW BAND BOARD OR FRONT PORCH. REMOVE ALL EXISTING STUCCO.

EXISTING PORCH COLUMNS, PIER BASES, & RAILING TO REMAIN.



1 NEW ELEVATION - FRONT
1/4" = 1'-0"

2 NEW ELEVATION - DRIVEWAY SIDE
1/4" = 1'-0"

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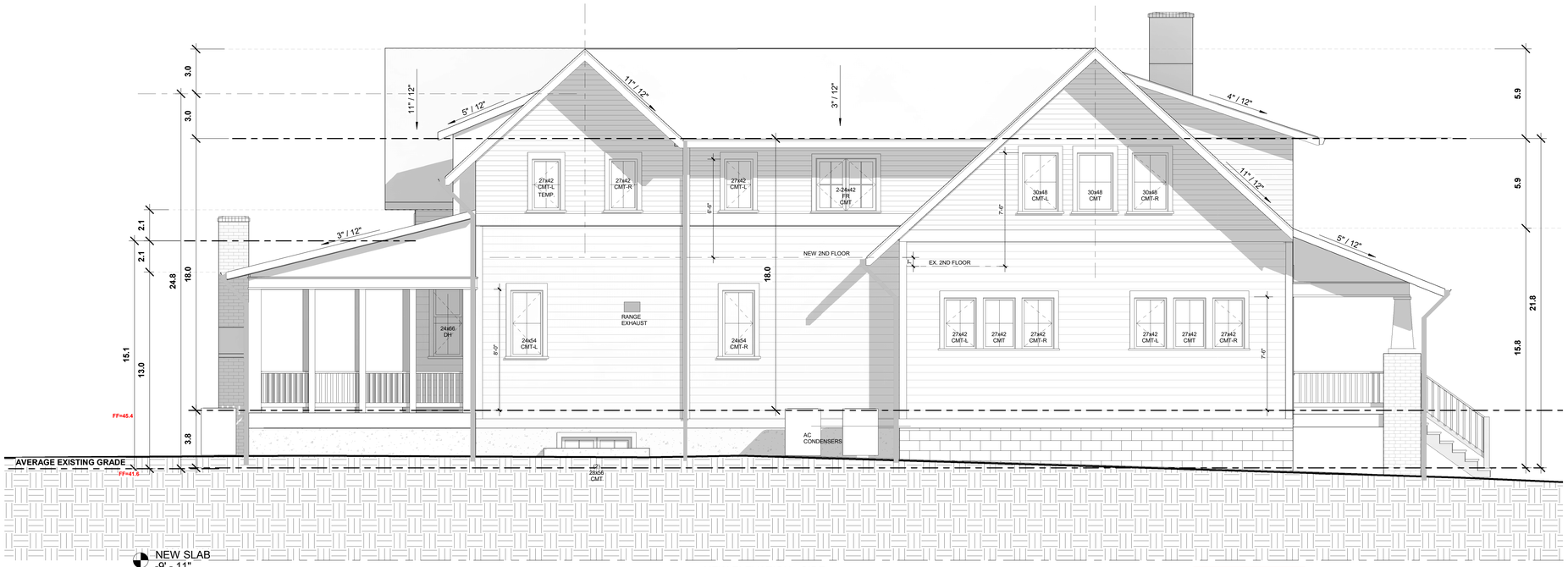
ELEVATIONS

A5

1 NEW ELEVATION - REAR
1/4" = 1'-0"



2 NEW ELEVATION - SIDE
1/4" = 1'-0"

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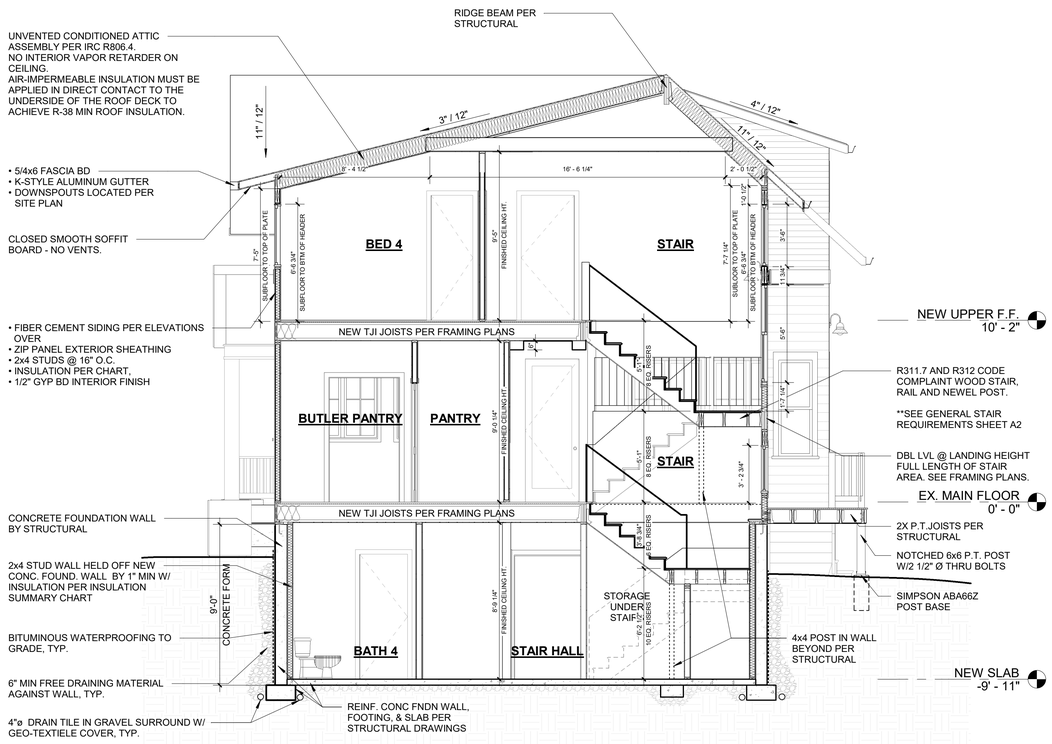
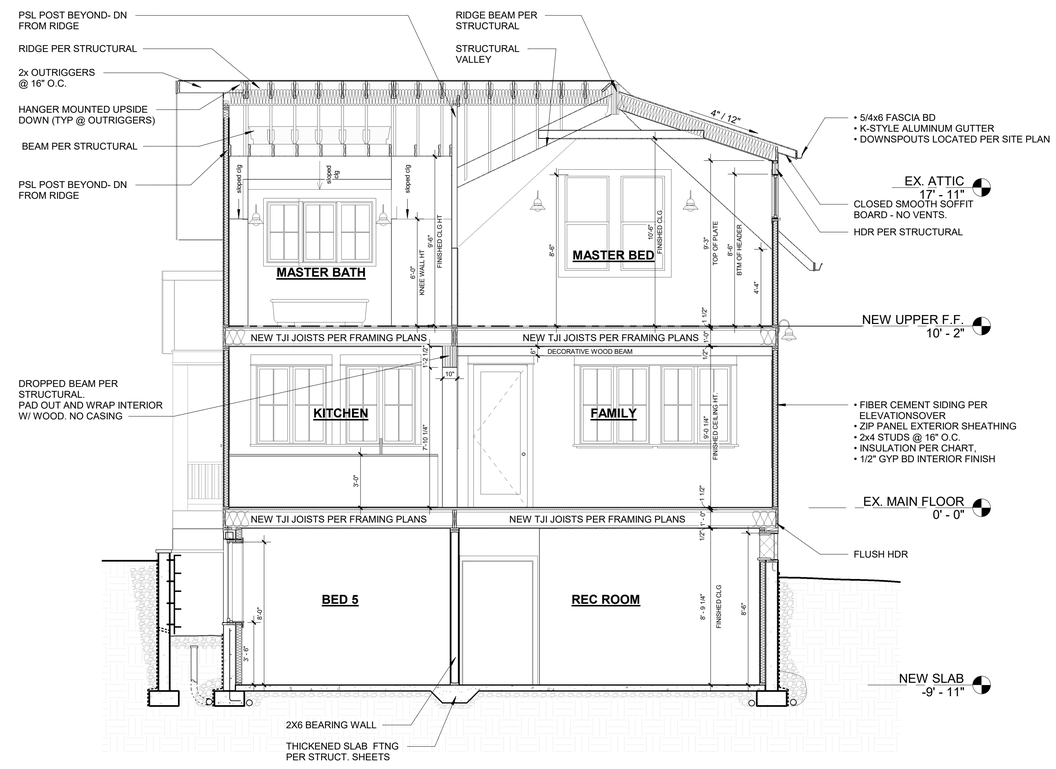
ELEVATIONS

A6



1 SECTION THROUGH STAIRS
1/4" = 1'-0"



2 CROSS SECTION THROUGH KITCHEN
1/4" = 1'-0"

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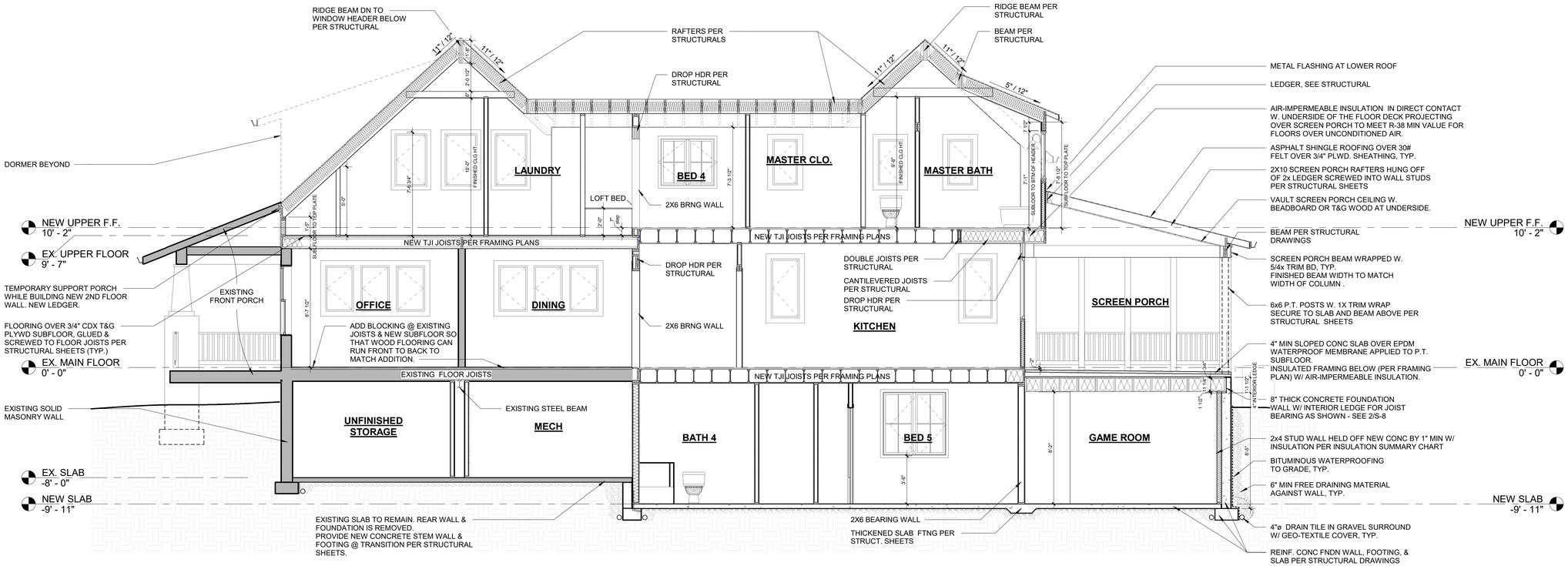
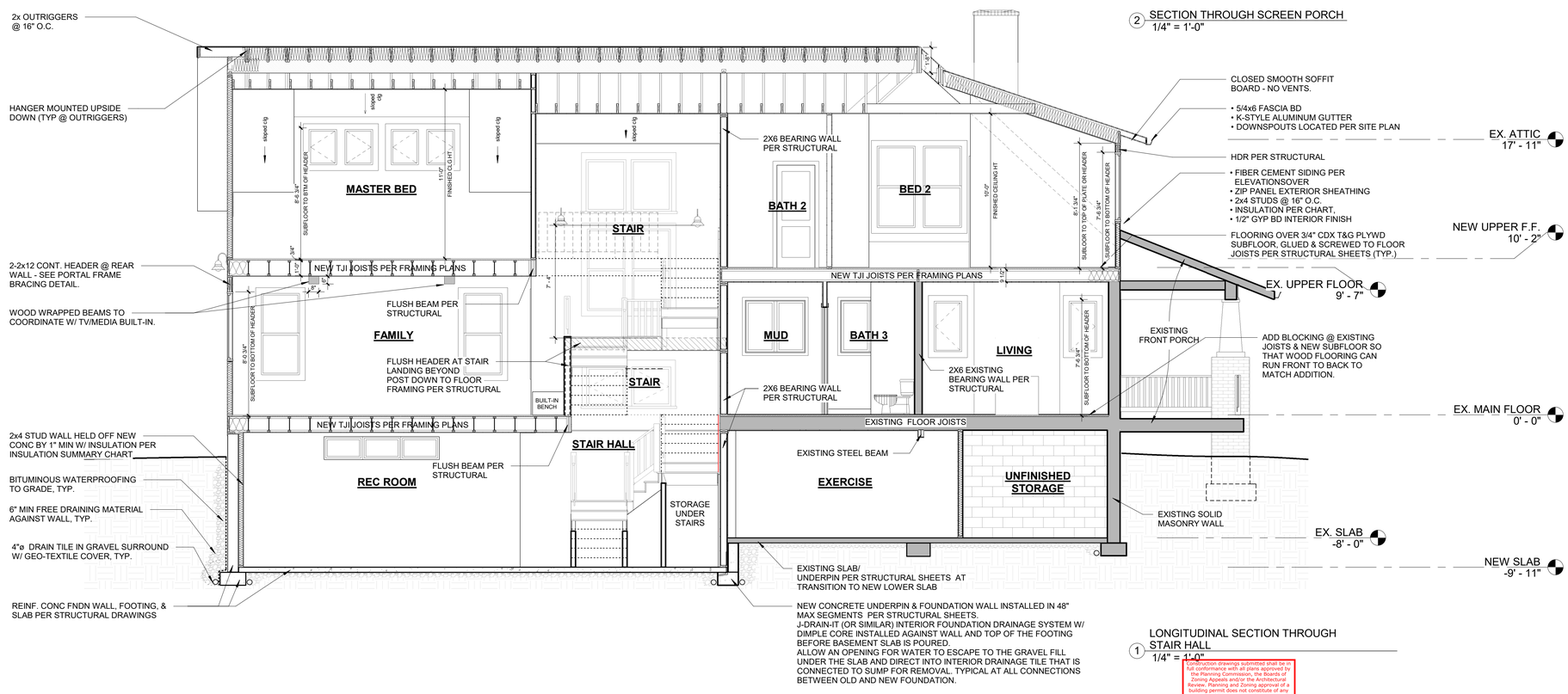
BUILDING SECTIONS

A7



2 SECTION THROUGH SCREEN PORCH
1/4" = 1'-0"



1 LONGITUDINAL SECTION THROUGH STAIR HALL
1/4" = 1'-0"

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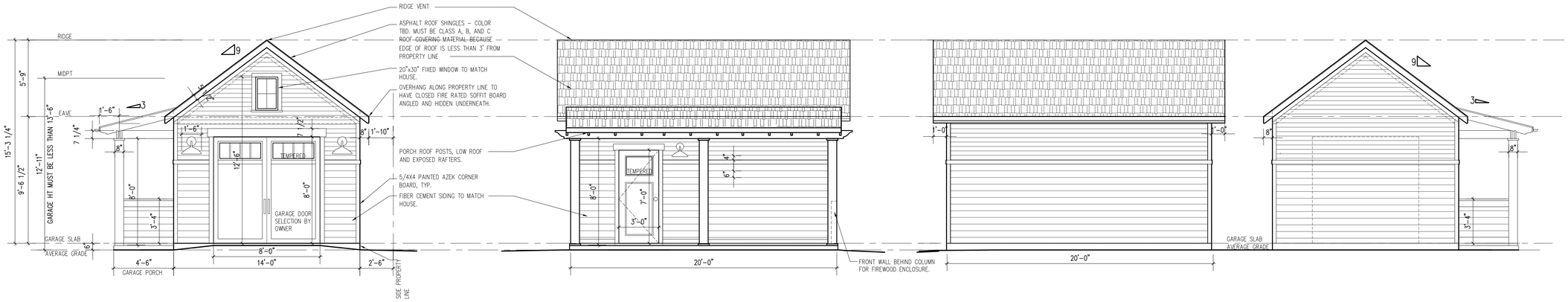
BUILDING SECTIONS

A8



NORTH (FRONT) ELEVATION

EAST (SIDE) ELEVATION

WEST (SIDE) ELEVATION

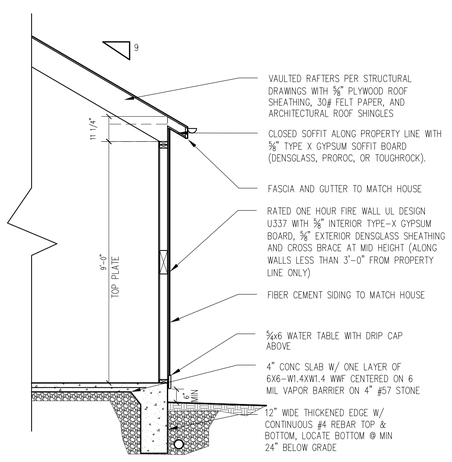
SOUTH (REAR) ELEVATION

SUBJECT TO FIELD INSPECTIONS

GARAGE ELEVATIONS

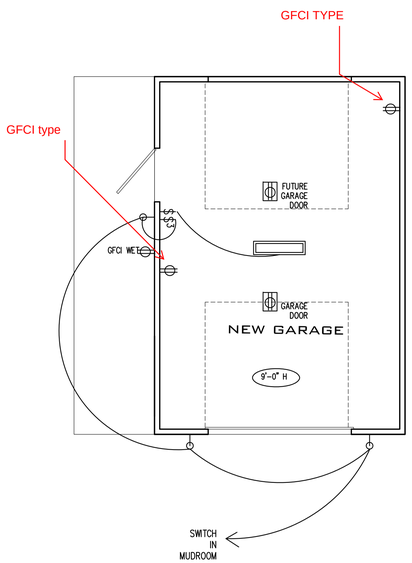
Scale: 1/4" = 1'-0"

CONSTRUCTION AUTHORIZED
CODE ADMINISTRATION
ALEXANDRIA VIRGINIA
01/30/2020
THESE DOCUMENTS APPEAR TO COMPLY WITH APPLICABLE CODES AND REGULATIONS
BY SHAHADAT SUHRAWARDY



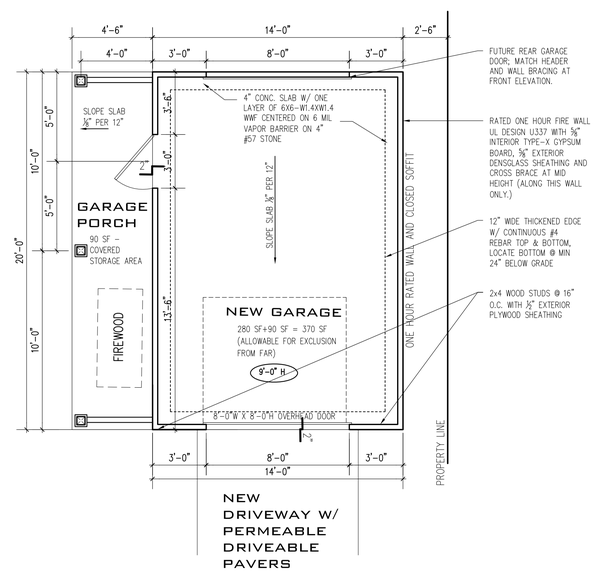
GARAGE SECTION

Scale: 3/8" = 1'-0"



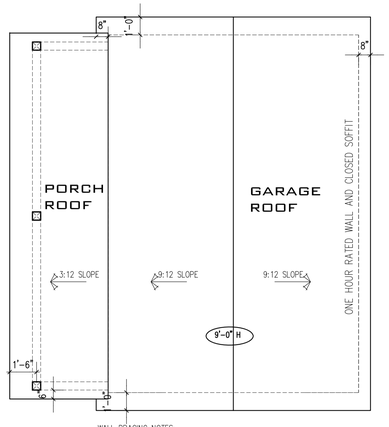
GARAGE POWER & LIGHTING

Scale: 1/4" = 1'-0"



GARAGE PLAN

Scale: 1/4" = 1'-0"



WALL BRACING NOTES:
CS-WSP = CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS
GB = GYPSUM BOARD SHEATHED WALL PANEL

ALL WOOD STRUCTURAL PANELS TO BE ½" NOMINAL PLYWOOD OR OSB ATTACHED TO WOOD STUDS W/ 8d NAILS @ 6"/12" O.C. EDGE/FIELD.

GARAGE ROOF PLAN

Scale: 1/4" = 1'-0"

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Issue:
PERMIT

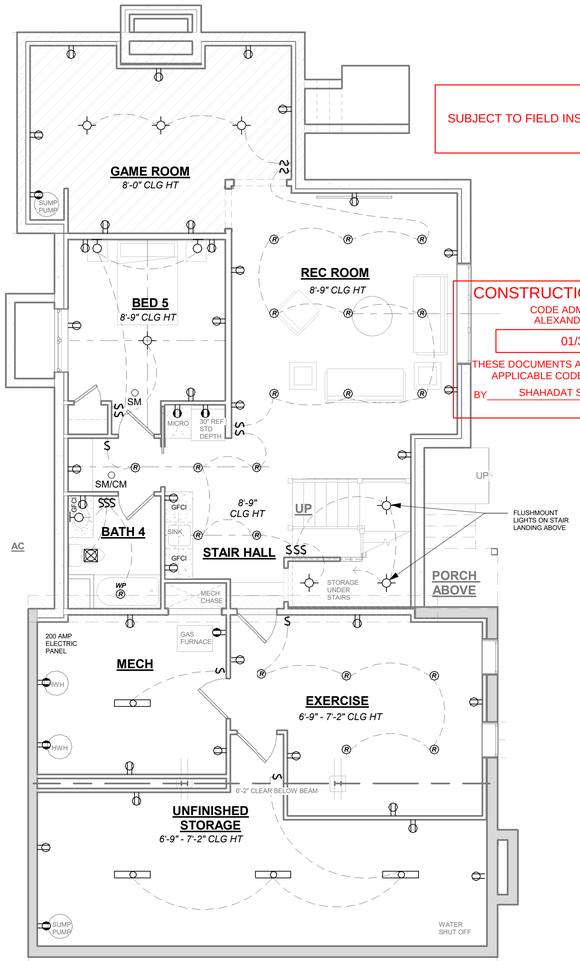
Date:
2019.11.15

DETACHED GARAGE

A9

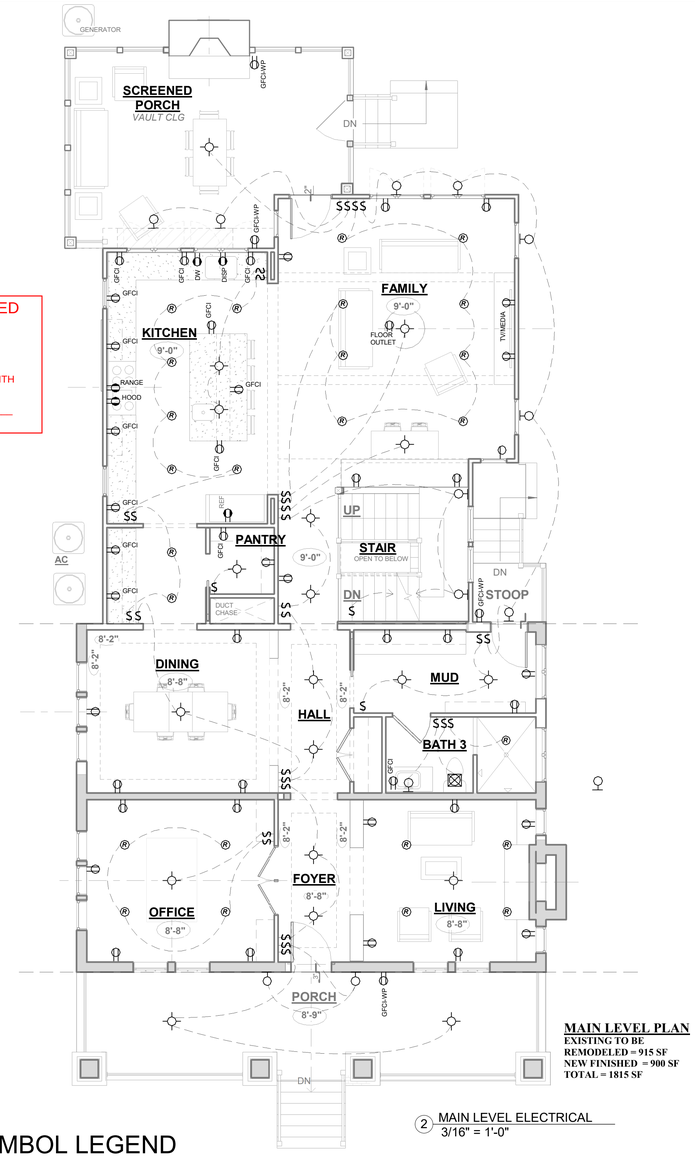
SUBJECT TO FIELD INSPECTIONS

CONSTRUCTION AUTHORIZED
CODE ADMINISTRATION
ALEXANDRIA VIRGINIA
01/30/2020
THESE DOCUMENTS APPEAR TO COMPLY WITH APPLICABLE CODES AND REGULATIONS
BY SHAHADAT SUHRAWARDY



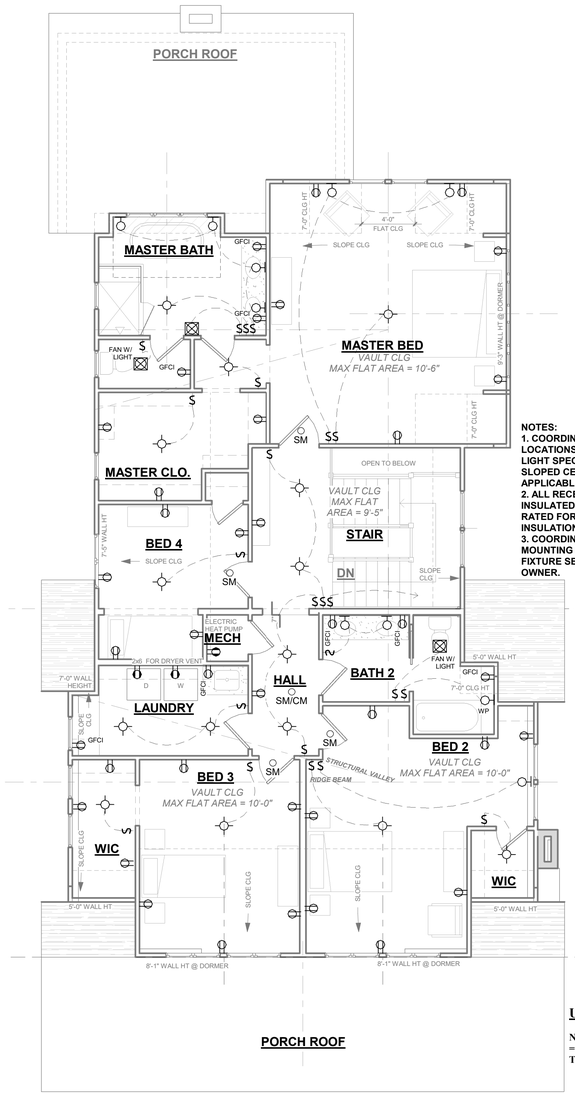
LOWER LEVEL PLAN
EXISTING TO BE REMODELED = 915 SF
NEW FINISHED = 1200 SF
TOTAL = 2115 SF

1 LOWER LEVEL ELECTRICAL
3/16" = 1'-0"



MAIN LEVEL PLAN
EXISTING TO BE REMODELED = 915 SF
NEW FINISHED = 900 SF
TOTAL = 1815 SF

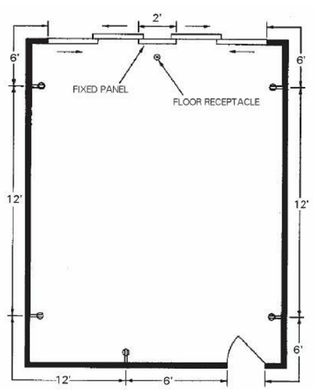
2 MAIN LEVEL ELECTRICAL
3/16" = 1'-0"



UPPER LEVEL PLAN
NEW FINISHED OVER 7'-0" = 1675 SF
TOTAL = 1675 SF

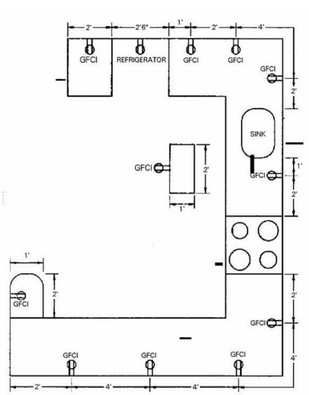
3 UPPER LEVEL ELECTRICAL
3/16" = 1'-0"

NOTES:
1. COORDINATE LIGHTING LOCATIONS AND RECESSED LIGHT SPECIFICATIONS W/ SLOPED CEILINGS WHERE APPLICABLE.
2. ALL RECESSED LIGHTS IN INSULATED AREAS TO BE IC RATED FOR CONTACT WITH INSULATION.
3. COORDINATE SCONCE MOUNTING HEIGHT W/ LIGHT FIXTURE SELECTION AND OWNER.



1 foot = 304.8 mm.

FIGURE E3901.2
GENERAL USE RECEPTACLE DISTRIBUTION



For SI: 1 foot = 304.8 mm.

FIGURE E3901.4
COUNTERTOP RECEPTACLES

SYMBOL LEGEND

SYMBOL	
R	RECESS LIGHT - 5" OR 6 3/4" DIA. W/ LED BULB
WP R	RECESS LIGHT - RATED FOR WET LOCATION W/ LED BULB
IC R	RECESS LIGHT - RATED FOR INSULATION CONTACT W/ LED BULB
	WALL MOUNTED FIXTURE - VERIFY HT IN FIELD
	EXHAUST FAN W/ LED LIGHT
	CEILING MOUNTED FIXTURE - INCLUDES PENDANTS & CEILING FANS
	CEILING MOUNT FLUORESCENT OR GLASS GLOBE ENCLOSED FIXTURE RATED FOR CLOSETS
SD	SMOKE DETECTORS- HARDWIRED, INTERCONNECTED, & DISTRIBUTED PER IRC R314.
CM	CARBON MONOXIDE PER IRC R315. ALARMS TO MEET REQUIREMENTS OF R315.3.
	POWER RECEPTACLE - CONVENIENCE
	POWER RECEPTACLE - APPLIANCE
GFCI	POWER RECEPTACLE - GFCI RATED FOR WET ENVIRONMENT (WP = WATERPROOF OUTLET)
	POWER RECEPTACLE - FLOOR MOUNTED OUTLET

ELECTRICAL NOTES:

1. FIXTURE CALLS ARE GENERIC. LIGHT TO BE CENTERED IN LOCAL AREA, UNLESS OTHERWISE NOTED. LIGHTING FIXTURES SHALL COMPLY WITH SECTION N1104 OF VRC 2015. AT LEAST 50% OF PERMANENTLY INSTALLED LIGHTING FIXTURES MUST BE COMPACT FLUORESCENT LAMPS OR OTHER HIGH-EFFICACY LAMPS.

2. LIGHT SWITCH MOUNTED AT 40" TO CENTERLINE A.F.F, TYP.

3. PROVIDE PERMANENTLY WIRED SMOKE ALARMS PER IRC R314 IN BEDROOMS, OUTSIDE SLEEPING AREAS, ONE ON EACH STORY.

4. PROVIDE APPROVED CARBON MONOXIDE ALARMS PER R315, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED.

5. LOCATION AND NUMBER OF RECEPTACLES INSTALLED PER E3901 OF VRC 20015. GENERAL USE CONVENIENCE RECEPTACLES TO BE PROVIDED ON ALL WALLS MORE THAN 24" IN LENGTH AND AT LEAST EVERY 12'. SEE FIGURE E3901.2.

6. PROVIDE TAMPER RESISTANT RECEPTACLES AS PER SECTION E4002.14 OF VRC 2015. IN AREA SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT. EXCEPTION: RECEPTACLES LOCATED MORE THAN 5.5' ABOVE THE FLOOR, PART OF A LUMINAIRE OR APPLIANCE, OR WHERE SUCH RECEPTACLES ARE LOCATED IN SPACES DEDICATED FOR THE APPLIANCES SERVED AND, UNDER CONDITIONS OF NORMAL USE THE APPLIANCES ARE NOT EASILY MOVED FROM ONE PLACE TO ANOTHER.

7. PROVIDE ARC FAULT CIRCUIT PROTECTION (AFCI) AS PER SECTION E3902.12 OF VRC 2015. ALL BRANCH CIRCUITS THAT SUPPLY 20-VOLT, SINGLE PHASE, 12-AMPERE AND 20-AMPERE OUTLETS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY A CONBMINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVDIE PROTECTION OF THE BRANCH CIRCUIT.

8. BATHROOM AND KITCHEN TO HAVE GFCI RECEPTACLES, SEPARATE 20 AMP CIRCUIT, AND GROUNDED SWITCHES. KITCHEN COUNTER RECEPTACLES SHALL BE MOUNTED HORIZONTALLY AND LOCATED SO NO SPACE IS MORE THAN 24" FROM RECEPTACLE AND TYPICALLY 12" FROM FIXED APPLIANCES. SEE FIGURE E3901.4.

9. EXTERIOR WALL BY ALL EXTERIOR DOORS TO HAVE GFCI WEATHER PROOF RECEPTACLE, SEPARATE 20AMP CIRCUIT, GROUNDED SWITCH, AND EXTERIOR GRADE LIGHT (MINIMUM). OUTDOOR OUTLETS TO MEET REQUIREMENTS OF E3901.7.

Construction drawings submitted shall be in compliance with the requirements of the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review Board as shown on plans as identified by the applicant and approved by staff.

MJW DESIGNS, LLC
Designer - Maria Wright
443.994.8777
maria@fitzharrisdesigns.com

KNF Engineering
Structural Engineer
Kyle N. Franzen
703.946.3188
kyle@knfeng.com

WINDMILL HILL

WINDMILL HILL HOMES
105 E. Randolph Ave.
Alexandria, VA 22301

ISSUE:
PERMIT

DATE:
2019.12.10

ELECTRICAL PLAN

E1

Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations for
Single and Two-Family Residential Outside Historic Districts

Construction drawings submitted shall be in full conformance with all plans approved by the Planning Commission, the Boards of Zoning Appeals and/or the Architectural Review Boards and Zoning approval of a building permit does not constitute of any deviation or amendments to such plans unless they are specifically identified by the applicant and approved by staff.

A

A. Property Information

A1. 105 E Randolph Avenue — Street Address
R-2-5 — Zone

A2. 8,250.00 — Total Lot Area
x 0.45 — Floor Area Ratio Allowed by Zone
= 3,712.50 — Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**	
Basement	914.40	Basement**	914.40
First Floor	914.40	Stairways**	0.00
Second Floor	0.00	Mechanical**	0.00
Third Floor	0.00	Attic less than 7'**	0.00
Attic	0.00	Porches**	280.00
Porches	280.00	Balcony/Deck**	0.00
Balcony/Deck	0.00	Garage**	0.00
Garage	0.00	Other***	0.00
Other***	0.00	Other***	0.00
B1. Total Gross	2,108.80	**B2. Total Exclusions**	1,194.40

B1. 2,108.80 Sq. Ft. — Existing Gross Floor Area*

B2. 1,194.40 Sq. Ft. — Allowable Floor Exclusions**

B3. 914.40 Sq. Ft. — Existing Floor Area Minus Exclusions *(subtract B2 from B1)*

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**	
Basement	1,196.00	Basement**	1,196.00
First Floor	896.00	Stairways**	220.00
Second Floor	1,675.00	Mechanical**	0.00
Third Floor	0.00	Attic less than 7'**	0.00
Attic	0.00	Porches**	0.00
Porches	300.00	Balcony/Deck**	0.00
Balcony/Deck	0.00	Garage**	0.00
Garage	280.00	Other***	280.00
Other***	0.00	Other***	0.00
C1. Total Gross	4,347.00	**C2. Total Exclusions**	1,696.00

C1. 4,347.00 Sq. Ft. — Proposed Gross Floor Area*

C2. 1,696.00 Sq. Ft. — Allowable Floor Exclusions**

C3. 2,651.00 Sq. Ft. — Proposed Floor Area Minus Exclusions *(subtract C2 from C1)*

D. Total Floor Area

D1. 3,565.40 Sq. Ft. — Total Floor Area *(add B3 and C3)*

D2. 3,712.50 Sq. Ft. — Total Floor Area Allowed by Zone *(A2)*

E. Open Space (RA & RB Zones)

E1. Sq. Ft. — Existing Open Space

E2. Sq. Ft. — Required Open Space

E3. Sq. Ft. — Proposed Open Space

Notes

**Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.*

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.*

**** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.*

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Maria Wright Date: 10/2/2019

GRADING PLAN
LOT 20, AND WEST 5 FT OF LOT 25
MOUNT VERNON
(#105 RANDOLPH AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

CONSTRUCTION NOTES:

1. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY ACTION AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUATION OF SERVICE.
2. THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED, IF REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
4. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR CAUSING EXISTING UTILITIES TO BE DISCONNECTED.
6. THE DEVELOPER SHALL PROVIDE OVER-LOT GRADING TO PROVIDE POSITIVE DRAINAGE AND PRECLUDE PONDING OF WATER.
7. ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY AGENT. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OF OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY OF ALEXANDRIA.
8. EXISTING WELLS SHALL BE PERMANENTLY ABANDONED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS.
9. EXISTING SEPTIC FIELDS SHALL BE ABANDONED IN ACCORDANCE WITH VIRGINIA HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS.
10. ALL EXISTING OVER HEAD LINES TO BE UNDERGROUNDED PER TITLE 5, CHAPTER 3 OF THE CITY CODE.
11. PRIOR TO BEGINNING OF CONSTRUCTION, CONTRACTOR SHALL VERIFY FROM THE ARCHITECTURAL DRAWINGS ALL DIMENSIONS, DETAILS, AND TREATMENTS FOR THE PROPOSED BUILDINGS, WALKWAYS, AND OTHER PROPOSED CONSTRUCTION WHERE INDICATED ON THE PLANS.
12. THE CONTRACTOR IS TO VERIFY INVERT, SIZE, AND LOCATION OF BUILDING UTILITY CONNECTIONS WITH THE MECHANICAL PLANS PRIOR PLACEMENT OF UNDERGROUND UTILITIES.
13. EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONTRACTOR.
14. EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.
15. DAMAGE TO ANY EXISTING ENTRANCES, CURB AND GUTTER, PAVEMENT OR OTHER EXISTING STRUCTURES NOT PROPOSED TO BE DISTURBED WITH THIS DEVELOPMENT, WILL BE THE RESPONSIBILITY OF APPLICANT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB.
17. ALL PRIVATE BUILDING CONNECTIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
18. TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. MINOR ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
19. THE DESIGN, CONSTRUCTION, FIELD PRACTICES, AND METHODS SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE CITY OF ALEXANDRIA AND ITS CURRENT ZONING ORDINANCE AND CONSTRUCTION STANDARDS MANUAL. FAILURE TO COMPLY WITH THE CODE, APPLICABLE MANUALS, AND PROVISIONS OF THE CONSTRUCTION AND ESCROW AGREEMENTS OR THE PERMITS SHALL BE DEEMED A VIOLATION.
20. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER/DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY ORDINANCE ENACTED BY THE CITY OF ALEXANDRIA.
21. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THAT ANY EXISTING LANDSCAPING WHICH IS TO BE RELOCATED ON THE SITE WILL BE CAREFULLY STORED IN A DESIGNATED AREA BEFORE BEING REPLANTED. COORDINATION WITH THE OWNER FOR MUTUALLY AGREEABLE STORAGE LOCATIONS FOR LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT MATERIAL THAT DOES NOT SURVIVE STORAGE AND REPLANTING.
22. CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.
23. NO EVIDENCE OF GRAVES OR BURIAL SITES HAS BEEN FOUND ON THIS PROPERTY.

ENVIRONMENTAL SITE ASSESSMENT:

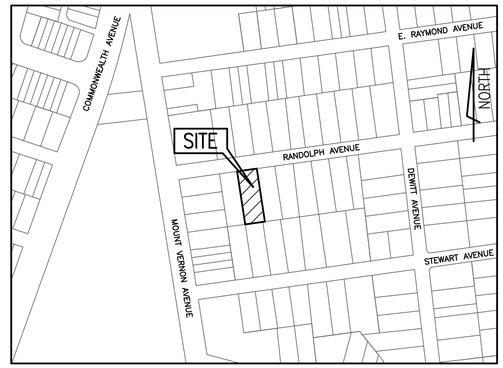
THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT TO PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINERS REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.

ALL WELLS INCLUDING MONITORING WELLS MUST BE CLOSED IN ACCORDANCE WITH WELL REGULATIONS. COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4996.

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
MONDAY THROUGH FRIDAY FROM 7am TO 6pm AND
SATURDAYS FROM 9am TO 6pm.
NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.
PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
MONDAY THROUGH FRIDAY FROM 9am TO 6pm AND
SATURDAYS FROM 10am TO 4pm.

TOPOGRAPHY NOTE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF ROBERTO TORRES, LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON MAY 17 2019; AND THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.



VICINITY MAP
SCALE 1" = 200'

INDEX TO PLAN:

COVER SHEET 1
GRADING PLAN 2
E&S CONTROL NARRATIVE AND DETAILS 3
STORMWATER CALCS & OUTFALL ANALYSIS 4
PRE AND POST DRAINAGE DIVIDES 5
EXISTING TREE & VEGETATION SURVEY 6
TREE AND VEGETATION PROTECTION DETAILS 7
LANDSCAPE PLAN 8
STANDARD CITY NOTES 9

PROJECT NARRATIVE:

THIS PLAN PROPOSES THE CONSTRUCTION OF A 2-STORY ADDITION WITH BASEMENT AND A 2ND STORY TO AN EXISTING SINGLE-FAMILY DWELLING WITH A BASEMENT, DRIVEWAY, DETACHED 1-STORY GARAGE, PORCH AND WALKWAY. THIS 8,250 S.F. OR 0.1893 AC SITE IS LOCATED IN THE R 2-5 ZONE AND IS SERVED BY PUBLIC SEWER AND WATER. NO RESOURCE PROTECTION AREAS (RPA) OR FLOODPLAINS ARE ON THIS SITE. PART OF THE EXISTING DWELLING AND OTHER IMPROVEMENTS ON THE SITE ARE TO BE REMOVED. A DEMOLITION PERMIT WILL BE OBTAINED FOR THE PORTION OF THE EXISTING DWELLING & IMPROVEMENTS TO BE REMOVED ON THIS SITE.

GENERAL NOTES:

1. TAX MAP: #024.04-04-16
2. ZONE: R 2-5

   SETBACKS: F = REFER TO THE ZONING CRITERIA STUDY ON SHEET 4, 20 FOOT MINIMUM
   S = 1/3 BUILDING HEIGHT, 7 FOOT MINIMUM
   R = 1/1 BUILDING HEIGHT, 7 FOOT MINIMUM
   (SEE SETBACK REQUIREMENT TABLE ON SHEET 2 FOR COMPLIANCE)
3. OWNER: CHRISTOPHER A. & ELENA C. HUTCHISON
   105 EAST RANDOLPH AVENUE
   ALEXANDRIA, VA 22301
   INSTR. # 190008819

   CLIENT: MIKE DAMERON (PHONE # 703-989-7399)
4. TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK OF CARON EAST, INC.
5. A TITLE REPORT WAS NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.
6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
7. TOTAL SITE AREA = 8,250 S.F. OR 0.1893 AC.
8. TOTAL DISTURBED AREA= 5,563 SF OR 0.1277 AC.
9. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE. ALL CONSTRUCTION SHALL CONFORM TO ALEXANDRIA STANDARDS.
10. BUILDING HEIGHT NOT TO EXCEED 30.0' PER ZONING ORDINANCE.
    BUILDING HEIGHT (FROM AVERAGE PRE-CONSTRUCTION GRADE): 24.8'.
    (SEE DETAIL ON SHEET 2)

    SEE ARCHITECTURAL PLANS FOR MORE DETAILS PERTAINING TO BUILDING HEIGHT.
11. THIS LOT IS NOT IN A BONDED SUBDIVISION.
12. ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.
13. TREE PROTECTION WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE DRIP LINE OF THE TREES TO BE SAVED. CONSULT INSPECTOR AT BEGINNING OF CONSTRUCTION. TREE PROTECTION FENCING MUST BE ESTABLISHED AND APPROVED BY THE CITY ARBORIST BEFORE ANY CLEARING OR CONSTRUCTION CAN BE STARTED.
14. A DEMOLITION PERMIT WILL BE REQUIRED AND SHALL BE OBTAINED PRIOR TO ANY DEMOLITION ACTIVITIES.
15. APPLICANT SHALL BE RESPONSIBLE FOR REPAIRS TO THE ADJACENT CURB, GUTTER AND RIGHT-OF-WAY IF DAMAGED DURING CONSTRUCTION ACTIVITY AS DETERMINED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES).
16. A SEPARATE SOIL REPORT & GROUNDWATER DRAINAGE PLAN WILL BE SUBMITTED TO CODE ADMINISTRATION WITH THE BUILDING PERMIT IF DEEMED NECESSARY.
17. THE APPLICANT WILL COMPLY WITH THE CITY OF ALEXANDRIA'S NOISE CONTROL CODE, TITLE 11, CHAPTER 5 WHICH SETS THE MAXIMUM PERMISSIBLE NOISE LEVEL AS MEASURED AT THE PROPERTY LINE. SEE ENVIRONMENTAL SITE ASSESSMENT ON THIS SHEET FOR HOURS.
18. THE APPLICANT WILL COMPLY WITH ARTICLE XIII OF THE CITY'S ZONING ORDINANCE, WHICH INCLUDES REQUIREMENTS FOR STORMWATER POLLUTANT LOAD REDUCTIONS, TREATMENT OF THE WATER QUALITY VOLUME DEFAULT, AND STORMWATER QUALITY MANAGEMENT.
19. ADDRESS SHOULD BE CLEARLY MARKED IN THE FRONT AND BACK OF THE PROPOSED DWELLING FOR EMERGENCY RESPONSE PURPOSES.
20. CONSTRUCTION PERMITS ARE REQUIRED FOR THIS PROJECT. PLANS SHALL ACCOMPANY THE PERMIT APPLICATION THAT FULLY DETAILS THE CONSTRUCTION AS WELL AS LAYOUTS AND SCHEMATICS OF THE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEM.
21. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE PLACED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND/OR THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
22. SOLID WASTE SERVICES TO BE PROVIDED BY THE CITY AND REFUSE/RECYCLING MUST BE PLACED AT CURB FOR PICK-UP.
23. ALL STREET CUT AND PATCH WORK LOCATED IN PUBLIC RIGHT-OF-WAYS, REQUIRED FOR ANY UTILITY INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
24. THIS PROJECT IS LOCATED IN THE FOUR MILE RUN WATERSHED.
25. THE APPLICANT IS TO CONTACT THE CRIME PREVENTION UNIT OF THE ALEXANDRIA POLICE DEPARTMENT AT 703-746-1920 REGARDING SECURITY HARDWARE FOR THE NEW HOME. THIS IS TO BE COMPLETED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
26. ANY WORK WITHIN THE RIGHT-OF-WAY REQUIRES A SEPARATE PERMIT FOR T&ES.
27. BEFORE A BUILDING PERMIT CAN BE ISSUED ON ANY PROPOSED ALTERATIONS, A CERTIFICATION IS REQUIRED FROM THE OWNER OR HIS/HER AGENT STATING THE BUILDING HAS BEEN INSPECTED BY A LICENSED ASBESTOS INSPECTOR FOR THE PRESENCE OF ASBESTOS.
28. ZONING WILL REQUIRE A SURVEY PLAT CONFIRMING THE BUILDING FOOTPRINT, SETBACKS AND HEIGHT ARE IN COMPLIANCE WITH REGULATIONS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY.
29. ZONING WILL REQUIRE A CERTIFICATION OF FLOOR AREA CALCULATION FROM A LICENSED ARCHITECT OR ENGINEER AFTER CONSTRUCTION AND PRIOR TO RELEASE OF A CERTIFICATE OF OCCUPANCY.
30. A CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY.
31. A WALL LOCATION PLAT PREPARED BY A LAND SURVEYOR IS REQUIRED PRIOR TO OCCUPANCY.
32. IN THE EVENT, THE PROPOSED ROOF DRAINAGE SYSTEM AND/OR SUMP PUMP DISCHARGE, AND FOUNDATION DRAIN SYSTEMS AND/OR GRADING ADVERSELY IMPACTS AND/OR CREATES A NUISANCE ON PUBLIC RIGHT OF WAY OR PRIVATE PROPERTIES THEN THE APPLICANT AND/OR OWNER SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL IMPROVEMENTS TO THE ROOF DRAINAGE AND/OR SUMP PUMP DISCHARGE AND FOUNDATION DRAIN SYSTEMS AND/OR GRADIG TO THE SATISFACTION OF THE DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.

RELEASED
TRANSPORTATION &
ENVIRONMENTAL SERVICES
BRIAN DOFFLEMYER
DEVELOPMENT REVIEW MANAGER
DATE: 01/03/2020
STAFF: Felicia.Lowe

PLAN NUMBER GRD2020-00005
APPROVED DATE 01/03/2020
Director of Transportation and Environmental Services

EXISTING CONDITIONS SURVEY NOTES:

1. UTILITY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

2. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR/ENGINEER SHOULD DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS TO VERIFY EXACT LOCATION.

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LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

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RC FIELDS & ASSOCIATES, INC.
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(703) 549-6422

COMMONWEALTH OF VIRGINIA
ALEX HOLLEMAN
Lic. No. 054281
DECEMBER 23, 2019
PROFESSIONAL ENGINEER

GRADING PLAN
LOT 20 & WEST 5 FT OF LOT 25
MOUNT VERNON
DEED BOOK 180, PAGE 252 (ARLINGTON COUNTY RECORDS)
(105 RANDOLPH AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
11/26/19	PER CITY COMMENTS
12/23/19	PER CITY COMMENTS

DESIGN: DM
CHECKED: RAW
SCALE: 1"=200'
DATE: OCTOBER 2019

COVER SHEET

SHEET 1 OF 9
FILE: 19-111

J:\2019\19111\DWG\REL\19111-GP (comments).dwg
Fri, Dec 20 2019 - 4:35:21pm

KEY DESCRIPTIONS
VIRGINIA UNIFORM CODING SYSTEM

(SF) —SF——SF——SF— SILT FENCE STD. & SPEC. 3.05

(TP) —TP——TP——TP— TREE PROTECTION STD. & SPEC. 3.38

(CE) (CE) CONSTRUCTION ENTRANCE STD. & SPEC. 3.02

CIVIL LEGEND:

ITEM	EXISTING	PROPOSED
CURB & GUTTER		
CONC. WALK	WALK	WALK
FIRE HYDRANT		
STRUCTURES		
WATER MAINS		
GAS MAINS		
TELEPHONE LINES		
STORM SEWER	D	D
SANITARY SEWER	S	S
PAVING		
FENCES		
POWER LINES		
SPOT ELEVATIONS	+124.5	+ 124.5
CONTOURS	124	124
BUILDING ENTRANCES		
UTILITY POLE		
LIGHT POLE		
LIMITS OF DISTURBANCE		

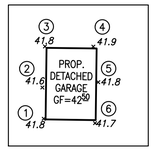
TEXT LEGEND:

°=DEGREES
'=MINUTES (OR FEET)
"=SECONDS (OR INCHES)
%=PERCENT
SQ.FT.=SQUARE FEET
#=NUMBER
@=AT
lbs.=POUNDS
A=ARC
AC.=ACRE
AD=AREA DRAIN
ADA=AMERICANS WITH DISABILITIES ACT
B.C.=BACK OF CURB
BF=BASEMENT FLOOR
BLDG.=BUILDING
BOL.=BOLLARD
CATV=CABLE UTILITY
CL=CLASS
CLEAR=CLEARANCE
CMP=CORRUGATED METAL PIPE
C.I.=CURB INLET
C.O.=CLEAN OUT
C&G=CURB & GUTTER
D.S.=DOWNSPOUT
DSUP=DEVELOPMENT SPECIAL USE PLAN
DU=DWELLING UNIT
E=EAST
FDC=FIRE DEPT. CONNECTION
FF=FINISH FLOOR
FH=FIRE HYDRANT
FT.=FEET
GL=GROUND LIGHT
G/V=GAS VALVE
G/M=GAS METER
G.I.=GRATE INLET
H.C.=HEADER CURB
HDCP.=HANDICAP
HDPE=HIGH DENSITY POLYETHYLENE
HPS=HIGH PRESSURE SODIUM
IPF=IRON PIPE FOUND
INV.=INVERT
L=LUMENS
LOC.=LOCATION
LP=LIGHT POLE
MAX.=MAXIMUM
MH=MANHOLE
MIN.=MINIMUM
MPH=MILES PER HOUR
MW=MONITORING WELL
N=NORTH
OHW=OVERHEAD WIRE
PF=PLANTER BOX FILTER
PN=PANEL
PP=POWER POLE
PVC=POLYVINYL CHLORIDE
R=RADIUS
RCP=RE-ENFORCED CONCRETE PIPE
RELOC.=RELOCATED
RET.=RETAINING
RESID.=RESIDENTIAL
R/W=RIGHT-OF-WAY
S=SOUTH
SAN.=SANITARY SEWER
SQ.FT.=SQUARE FEET
STM.=STORM SEWER
STR.=STRUCTURE
TBR=TO BE REMOVED
TBS=TO BE SAVED
TW=TOP OF WALL
TRAF.SIG.=TRAFFIC SIGNAL
TYP=TYPICAL
VCS=VIRGINIA COORDINATE SYSTEM
W=WATT
W=WEST
W.S.E.=WATER SURFACE
W/V=WATER VALVE
W/M=WATER METER
W.W.=WINDOW WELL

LEGEND

LIMITS OF DISTURBANCE
PROPOSED DOWNSPOUT LOCATIONS
DRAINAGE PATH
EXISTING GRADE 64.3
PROPOSED GRADE 63.4
TO BE REMOVED TBR
TO BE SAVED TBS

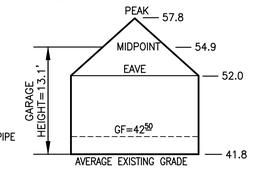
SPOTS	EXISTING - ELEVATION
1	41.8
2	41.6
3	41.8
4	41.9
5	41.8
6	41.7
SUM	250.6
AVERAGE	41.8

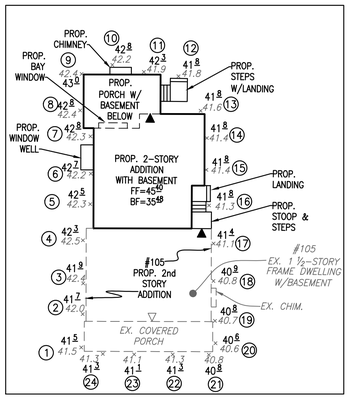


AVERAGE GRADE (DETACHED GARAGE)

(SCALE: 1" = 20')

GRAPHIC SCALE 0' 20' 40' 1" = 20'





AVERAGE GRADE & DWELLING DETAIL

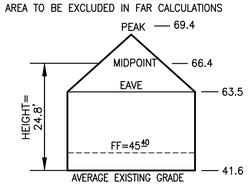
(SCALE: 1" = 20')

GRAPHIC SCALE 0' 20' 40' 1" = 20'

SPOTS	EXISTING - ELEVATION	POST-ELEVATION
1	41.5	41.5
2	42.0	41.7
3	42.4	41.9
4	42.5	42.3
5	42.3	42.5
6	42.2	42.7
7	42.3	42.8
8	42.4	42.8
9	42.4	43.0
10	42.2	42.8
11	41.9	42.3
12	41.8	41.8
13	41.6	41.8
14	41.4	41.8
15	41.4	41.8
16	41.3	41.8
17	41.1	41.4
18	40.8	40.9
19	40.7	40.8
20	40.6	40.6
21	40.8	40.8
22	41.3	41.3
23	41.1	41.1
24	41.3	41.3
SUM	999.3	1003.5
AVERAGE	41.6	41.8

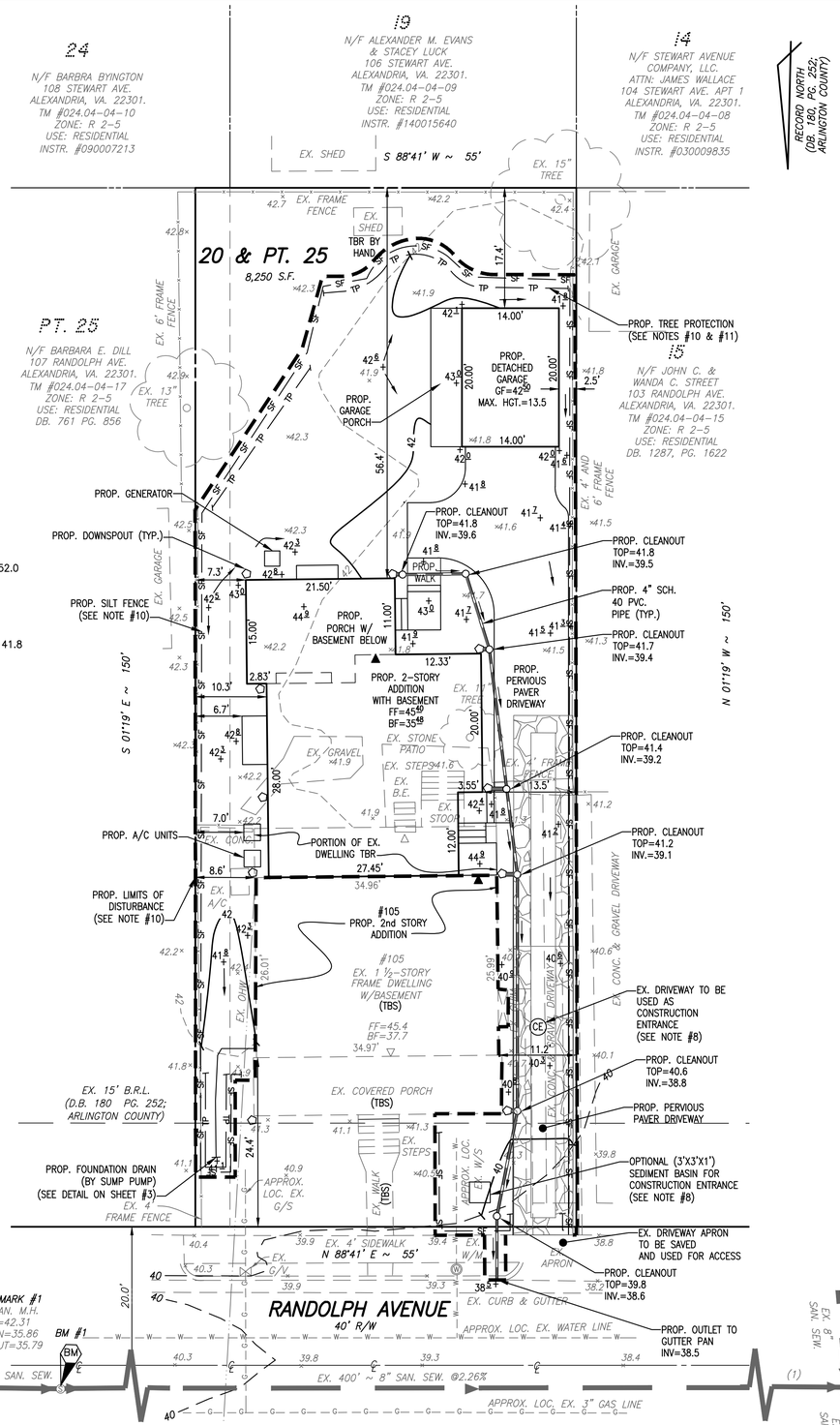
*DISTANCE FROM FF TO AEG AND AFG LOWER THAN 4'. BASEMENT AREA TO BE EXCLUDED IN FAR CALCULATIONS

DWELLING HEIGHT CALCULATION				
AVERAGE EX. GRADE	ROOF EAVE ELEVATIONS	PEAK ROOF (HIGHEST RIDGE) ELEVATION	ROOF MIDPOINT (ROOF HEIGHT) ELEVATION	PROPOSED DWELLING HEIGHT
41.6	63.4	69.4	66.4	24.8



CONSTRUCTION ENTRANCE:

WASH WATER WILL BE OBTAINED FROM THE EXISTING WATER SERVICE. THE WASH WATER WILL BE FILTERED THROUGH THE PROVIDED SILT FENCE AND SETTLING BASIN TO ENSURE THAT NO SEDIMENT LADEN RUNOFF IS ALLOWED TO FLOW ONTO THE ADJACENT PROPERTIES. SETTLING BASIN IS TO BE INSTALLED ONLY IF THE INSPECTOR DEEMS IT NECESSARY.



GRAPHIC SCALE 0' 10' 20' 1" = 10'

YARD PARKING REQUIREMENTS

REQUIRED YARD AREA	YARD AREA (SQ. FT.)	PARKING AREA (SQ. FT.)	ALLOWABLE RATIO	PARKING RATIO PROPOSED
FRONT YARD (RANDOLPH AVE.)	893	132	50%	16%
SIDE YARD (SOUTH) **	N/A	N/A	N/A	N/A

*NO PROPOSED PARKING IN ANY OTHER REQUIRED YARDS
**DETACHED REAR GARAGE PROVIDED

GENERAL NOTES:

1. TAX MAP: #024.04-04-16
2. ZONE: R 2-5
   SETBACKS: F = REFER TO THE ZONING CRITERIA STUDY ON SHEET 4, 20 FOOT MINIMUM
   S = 1/3 BUILDING HEIGHT, 7 FOOT MINIMUM
   R = 1/1 BUILDING HEIGHT, 7 FOOT MINIMUM
   (SEE SETBACK REQUIREMENT TABLE THIS SHEET)
3. TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK OF CARON EAST, INC.
4. A TITLE REPORT WAS NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.
5. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
6. TOTAL SITE AREA = 8,250 S.F. OR 0.1893 AC.
7. EXISTING IMPERVIOUS AREA = 2,360 SF OR 0.0542 AC. (31.7%)
   EXISTING IMPERVIOUS AREA (TBR) = 1,066 SF OR 0.0245 AC.
   PROPOSED IMPERVIOUS AREA = 1,514 SF OR 0.0348 AC.
   TOTAL PROPOSED IMPERVIOUS AREA = 2,808 SF OR 0.0645 AC. (37.9%)
   TOTAL DISTURBED AREA = 5,563 SF OR 0.1277 AC.
8. ALL CONSTRUCTION VEHICLES SHALL LEAVE THE SITE VIA THE CONSTRUCTION ENTRANCE SHOWN ON THIS SHEET. WATER PROVIDED BY THE CONTRACTOR WILL BE USED TO CLEAN ALL VEHICLES PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY. A SEDIMENT BASIN TO BE USED FOR CONSTRUCTION ENTRANCE WASH WATER SHALL BE INSTALLED IF THE INSPECTOR DEEMS IT NECESSARY. EXISTING DRIVEWAY TO BE USED AS CONSTRUCTION ENTRANCE. CONSULT INSPECTOR FOR SPECIFIC CONCERNS.
9. THE PROPOSED DWELLING SHALL UTILIZE THE EXISTING DOMESTIC WATER SERVICE AND SANITARY LATERAL IF DEEMED ADEQUATE BASED ON A FIELD INSPECTION DURING CONSTRUCTION. THE CONTRACTOR IS INSTRUCTED TO LOCATE THE EXISTING SANITARY LATERAL AND WATER SERVICE PRIOR TO BEGINNING CONSTRUCTION AND REPORT ANY IRREGULARITIES TO RC FIELDS AND ASSOCIATES. BASED ON AVAILABLE INFORMATION, THE BASEMENT MAY NOT BE SEWERED BY GRAVITY.
10. FOR CLARITY PURPOSES, SILT FENCE, TREE PROTECTION AND THE PROPOSED LIMITS OF DISTURBANCE ARE SHOWN SEPARATELY ON THIS PLAN. IN THE FIELD, TREE PROTECTION AND SILT FENCE WILL BE PLACED ALONG THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN.
11. TREE PROTECTION WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE DRIP LINE OF THE TREES TO BE SAVED. CONSULT INSPECTOR AT BEGINNING OF CONSTRUCTION. TREE PROTECTION FENCING MUST BE ESTABLISHED AND APPROVED BY THE CITY ARBORIST BEFORE ANY CLEARING OR CONSTRUCTION CAN BE STARTED.
12. PART OF THE EXISTING ON SITE IMPROVEMENTS ARE TO BE REMOVED. ONE TREE IS TO BE REMOVED FROM THIS SITE. SEE THE ARBORIST REPORT ON SHEETS 6-7. A DEMOLITION PERMIT WILL BE REQUIRED AND SHALL BE OBTAINED PRIOR TO ANY DEMOLITION ACTIVITIES.
13. FINAL GRADES TO BE PER PLAN AND APPROVED BY CITY INSPECTOR.
14. THE SITE INSPECTOR MAY REQUEST ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES BASED ON SITE CONDITIONS.
15. IN THE EVENT OF A DISPUTE ON FINISHED GRADE, CONTRACTOR WILL PROVIDE SPOT ELEVATIONS AS REQUESTED BY CITY INSPECTOR.

ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF HISTORIC OR PREHISTORIC ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY WILL RESULT IN PROJECT DELAYS.

FURTHERMORE, ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

DOWNSPOUT NOTE:

THERE ARE CURRENTLY NO STORM SEWERS OR STRUCTURES SUITABLE TO TIE A ROOF DRAIN SYSTEM INTO. THE CLOSEST STRUCTURE IS NEAR THE CORNER OF RANDOLPH AVENUE AND MOUNT VERNON AVENUE (APPROX. 160' FROM THE PROPERTY), FOR THIS REASON, SOME OF THE DOWNSPOUTS FROM THE DWELLING WILL BE PIPED TO SPLASH BLOCKS AND ALLOWED TO DISCHARGE TO GRADE, BEFORE LEAVING THE SITE IN A SHEET FLOW MANNER. THE REMAINING DOWNSPOUTS ARE TO BE PIPED TO THE EXISTING CURB AND GUTTER IN THE RANDOLPH AVENUE RIGHT-OF-WAY (SEE ROOF DRAIN NETWORK ON THIS SHEET).

SETBACK REQUIREMENTS FOR DWELLING

BUILDING SIDE	AVERAGE EX. GRADE	BUILDING HEIGHT	ZONING SETBACK	SETBACK REQUIRED	SETBACK PROVIDED
FRONT (RANDOLPH AVENUE)	N/A	N/A	N/A	22.8'-29.9'*	24.4'
SIDE (2nd STORY ADDITION)-(EAST)	42.2'	21.2'	1:3, MIN. 7'	7.1'	8.6'
SIDE (PORCH)-(EAST)	42.2'	14.4'	1:3, MIN. 7'	7.0'	7.3'
SIDE (2nd STORY ADDITION)-(WEST)	41.1'	24.3'	1:3, MIN. 7'	8.1'	11.2'
REAR (PORCH)-(SOUTH)	42.0'	12.5'	1:1, MIN. 7'	12.5'	56.4'

* SETBACK RANGE FROM BLOCK FACE STUDY MIN. HOUSE #107, MAX. HOUSE #108 (SEE SHEET 4)

LIMITS OF DISTURBANCE:

THE LIMITS OF DISTURBANCE AS SHOWN ON THIS PLAN ARE THE ULTIMATE LIMITS FOR THE PROJECT. THE CONTRACTOR MUST APPLY SEPARATELY TO THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES) FOR ANY WORK, INCLUDING THE PLACEMENT OF CONSTRUCTION FENCING, WITHIN THE PUBLIC RIGHT OF WAY. THE CITY WILL NOT ALLOW INCLUSION OF ANY PORTION OF THE PUBLIC RIGHT OF WAY, INCLUDING SIDEWALKS, INTO THE PROJECT AREA FOR THE PROJECT DURATION. WORK AND ASSOCIATED CLOSURES IN THE PUBLIC RIGHT OF WAY WILL BE PERMITTED SEPARATELY ON AN AS NEEDED BASIS BY T&ES.

PLAN NUMBER GRD2020-00005
APPROVED DATE 01/03/2020
Director of Transportation and Environmental Services

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COMMONWEALTH OF VIRGINIA
ALEX HOLLEMAN
Lic. No. 054281
DECEMBER 23, 2019
PROFESSIONAL ENGINEER

GRADING PLAN
LOT 20 & WEST 5 FT OF LOT 25
MOUNT VERNON
DEED BOOK 180, PAGE 252 (ARLINGTON COUNTY RECORDS)
(105 RANDOLPH AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
11/26/19	PER CITY COMMENTS
12/23/19	PER CITY COMMENTS

DESIGN: DM
CHECKED: RAW
SCALE: AS NOTED
DATE: OCTOBER 2019

GRADING PLAN

SHEET 2 OF 9
FILE: 19-111

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Fri, Dec 20 2019 - 4:35:30pm

FAR SHEET:

Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations for
Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1.	105 E Randolph Avenue Street Address			R-2-5 Zone	
A2.	8,250.00 Total Lot Area	x	0.45 Floor Area Ratio Allowed by Zone	=	3,712.50 Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**				
Basement	914.40	Basement**	914.40	B1.	2,108.80	Sq. Ft. Existing Gross Floor Area*
First Floor	914.40	Stairways**	0.00	B2.	1,194.40	Sq. Ft. Allowable Floor Exclusions**
Second Floor	0.00	Mechanical**	0.00	B3.	914.40	Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	0.00	Attic less than 7'**	0.00			
Attic	0.00	Porches**	280.00			
Porches	280.00	Balcony/Deck**	0.00			
Balcony/Deck	0.00	Garage**	0.00			
Garage	0.00	Other***	0.00			
Other***	0.00	Other***	0.00			
B1. Total Gross	2,108.80	B2. Total Exclusions	1,194.40			

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**				
Basement	1,196.00	Basement**	1,196.00	C1.	4,347.00	Sq. Ft. Proposed Gross Floor Area*
First Floor	896.00	Stairways**	220.00	C2.	1,696.00	Sq. Ft. Allowable Floor Exclusions**
Second Floor	1,675.00	Mechanical**	0.00	C3.	2,651.00	Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	0.00	Attic less than 7'**	0.00			
Attic	0.00	Porches**	0.00			
Porches	300.00	Balcony/Deck**	0.00			
Balcony/Deck	0.00	Garage**	0.00			
Garage	280.00	Other***	280.00			
Other***	0.00	Other***	0.00			
C1. Total Gross	4,347.00	C2. Total Exclusions	1,696.00			

D. Total Floor Area

D1.	3,565.40	Sq. Ft. Total Floor Area (add B3 and C3)
D2.	3,712.50	Sq. Ft. Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1.		Sq. Ft. Existing Open Space
E2.		Sq. Ft. Required Open Space
E3.		Sq. Ft. Proposed Open Space

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

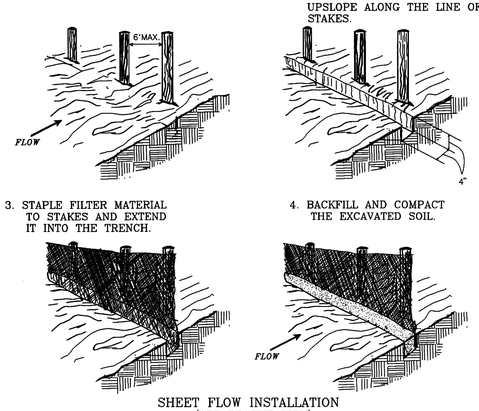
*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

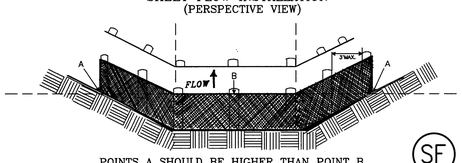
Signature: Maria Wright Date: 10/2/2019

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

1. SET THE STAKES.
2. EXCAVATE A 4"X 4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.
3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



SHEET FLOW INSTALLATION
(PERSPECTIVE VIEW)

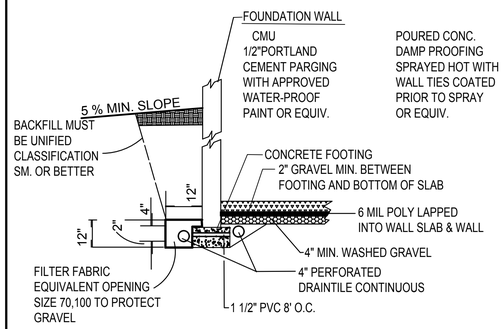


POINTS A SHOULD BE HIGHER THAN POINT B.

DRAINAGEWAY INSTALLATION
(FRONT ELEVATION)

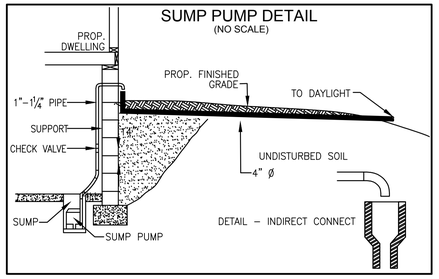
SF

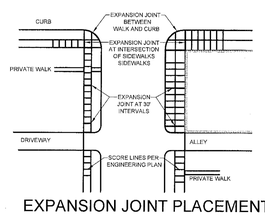
TYPICAL FOUNDATION DRAIN
(NO SCALE)



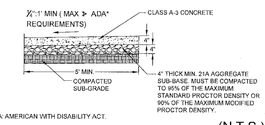
1. OBJECTIVE: TO REDUCE THE RISK OF WET BASEMENTS AND RELIEVE PRESSURE FROM SUBSURFACE WATER ON THE FOUNDATION.
2. METHOD DISCHARGE FOUNDATION DRAIN TO DAYLIGHT BY GRAVITY WHERE POSSIBLE. DISCHARGE BY MECHANICAL MEANS IS ACCEPTABLE ONLY WHEN GRAVITY DISCHARGE IS NOT POSSIBLE.
3. FOUNDATION DRAIN TO DISCHARGE TO ROOF DRAIN NETWORK

SUMP PUMP DETAIL
(NO SCALE)





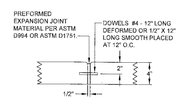
EXPANSION JOINT PLACEMENT



*ADA: AMERICAN WITH DISABILITY ACT.

SIDEWALK SECTION

(N.T.S.)



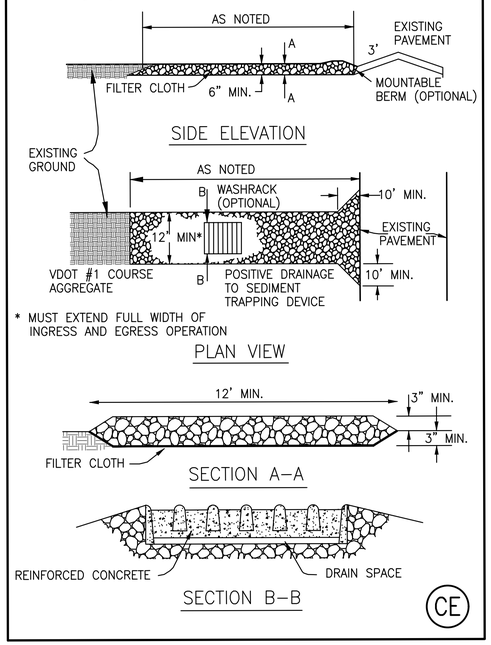
EXPANSION JOINT

NOTES:

1. SCORING OF CONCRETE SLAB SHALL BE SAW CUT NOT MORE THAN 3/16" IN WIDTH AND NOT MORE THAN ¼" DEEP.
2. THE EXPANSION JOINTS SHALL BE ½" WIDE AND SHALL BE THE FULL THICKNESS OF THE CONCRETE SLAB, AND SHALL BE OF PRE-FORMED EXPANSION JOINT MATERIAL CONFORMING TO THE REQUIREMENTS OF ASTM D994 ASPHALT OR ASTM D1751 FIBRE. EXPANSION MATERIAL SHALL BE SECURED IN A MANNER THAT WILL PREVENT MOVEMENT OR DISPLACEMENT OF CONCRETE DURING PLACEMENT.
3. THE EXPANSION JOINTS SHALL BE PLACED PERPENDICULAR TO CONCRETE CURB AT A DISTANCE OF 30' OR COINCIDING WITH THE SCORING.
4. DOWELS SHALL BE PLACED AT THE END OF A SIDEWALK PLACEMENT, AT INTERRUPTIONS FOR A DRIVEWAY, OR IF SIDEWALK SLABS ARE POURED AT DIFFERENT TIMES.
5. SAWING OF JOINTS SHALL BE CONDUCTED AS SOON AS THE CONDITION OF THE CONCRETE PERMITS AND BEFORE ANY RANDOM CRACKING APPEARS.
6. ALL STRUCTURAL ITEMS TO CONFORM TO THE LATEST EDITION OF UNIFORM STATEWIDE BUILDING CODE (USBC) REQUIREMENTS.
7. PRIOR TO CONSTRUCTION, ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED STRUCTURAL AND/OR GEOTECHNICAL ENGINEER, AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.

STANDARD CONCRETE SIDEWALK			DATE
	DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		CSSW-1
APPROVED	DATE	ALEXANDRIA VIRGINIA	PAGE 41

STONE CONSTRUCTION ENTRANCE



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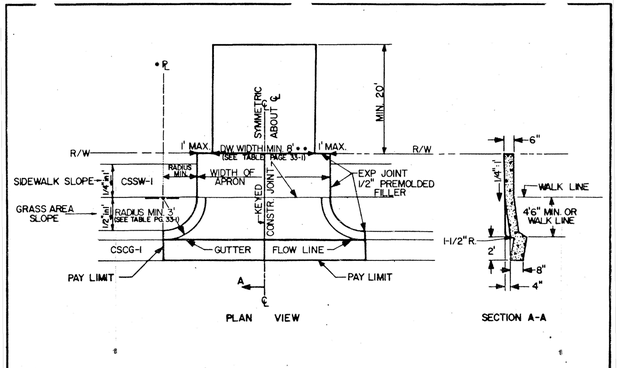

NOTES: 1. DEPRESS SLAB 1-1/2" AT ℄, AND BLEND INTO FLOW LINE.
2. PAY QUANTITIES SQ. YD. COMPLETE.
3. CLASS "A3" CONCRETE
4. PROVIDE INTERMEDIATE CONTRACTION JOINTS AT 1/4 OF ENTRANCE WIDTH, IF ENTRANCE EXCEEDS 12'.

REVISIONS:	
TRANSPORTATION & ENVIRONMENTAL SERVICES DEPARTMENT ALEXANDRIA VIRGINIA	ENTRANCE RESIDENTIAL RAMP
CSER-1	PAGE 33

EROSION / SEDIMENT CONTROL NARRATIVE:

PROJECT DESCRIPTION:

THIS PLAN PROPOSES THE CONSTRUCTION OF A 2–STORY ADDITION WITH BASEMENT AND A 2ND STORY ADDITION TO AN EXISTING SINGLE–FAMILY DWELLING WITH A BASEMENT, DRIVEWAY, DETACHED 1–STORY GARAGE, PORCH AND WALKWAY. THIS 8,250 S.F. OR 0.1893 AC SITE IS LOCATED IN THE R 2–5 ZONE AND IS SERVED BY PUBLIC SEWER AND WATER. NO RESOURCE PROTECTION AREAS (RPA) OR FLOODPLAINS ARE ON THIS SITE. PART OF THE EXISTING DWELLING AND IMPROVEMENTS ON THE SITE ARE TO BE REMOVED. A DEMOLITION PERMIT WILL BE OBTAINED FOR THE PORTION OF THE EXISTING DWELLING & IMPROVEMENTS TO BE REMOVED ON THIS SITE.

EXISTING CONDITIONS:

THE SITE IS CURRENTLY OCCUPIED BY A 1 ½–STORY DWELLING, COVERED PORCH, SHED, GRAVEL PATIO AND CONCRETE RUNNERS. THE MAJORITY OF THE EXISTING DWELLING IS TO BE SAVED, ALONG WITH THE FRONT WALKWAY.

CRITICAL AREAS:

CRITICAL AREAS ON–SITE INCLUDE THE GRADING AROUND THE LIMITS OF CLEARING ALONG THE PROPERTY LINES, THE AREAS AROUND TREES THAT ARE TO BE SAVED, AND WORK WITHIN THE RIGHT OF WAY FOR THE INSTALLATION OF THE DRIVEWAY AND INSTALLATION OF UTILITIES, IF NECESSARY.

EROSION CONTROL PROGRAM:

SITE CLEARING AND LAND DISTURBANCE IS TO BE KEPT TO A MINIMUM. SILT FENCE IS TO PERIMETER THE LOWER PORTION OF THE DISTURBED AREA. TEMPORARY SEEDING AND MULCHING ARE TO BE APPLIED TO ANY AREA ON–SITE NOT CONTINUOUSLY WORKED FOR 7 DAYS AFTER CLEARING AND ROUGH GRADING.

SEDIMENT CONTROL PRACTICES:

1. INSTALL PROPOSED CONSTRUCTION ENTRANCE, ALL VEHICLES ARE TO BE CLEANED PRIOR TO ENTERING THE RIGHT–OF–WAY. WATER PROVIDED BY THE EXISTING WATER SERVICE WILL BE USED TO CLEAN VEHICLES ENTERING THE RIGHT–OF–WAY.
2. INSTALL SILT FENCE & TREE PROTECTION WHERE APPLICABLE.
3. WHEN PERIMETER CONTROLS ARE IN PLACE CLEARING MAY BE DONE. DUE TO THE SMALL SIZE OF AREA BEING DISTURBED, SEDIMENTS FROM DISTURBANCE WILL BE CONTAINED WITHIN THE SITE.
4. ONCE UTILITIES CONNECTIONS ARE INSTALLED, GRADING IS PERFORMED.
5. FOR TEMPORARY VEGETATIVE STABILIZATION OF ALL DENUDED AREAS. SEE NOTE REFERENCING EROSION CONTROL PROGRAM.
6. AFTER CONSTRUCTION OPERATIONS HAVE ENDED AND ALL DISTURBED AREAS HAVE BEEN STABILIZED, ALL CONTROLS SHALL BE REMOVED AND THE GROUND PERMANENTLY STABILIZED WITH VEGETATION AS APPROVED BY THE CITY OF ALEXANDRIA INSPECTOR.

MAINTENANCE PROGRAM:

THE SITE SUPERINTENDENT OR HIS/HER REPRESENTATIVE, SHALL MAKE A VISUAL INSPECTION OF ALL MECHANICAL CONTROLS AND NEWLY STABILIZED AREAS (I.E. SEEDED AND MULCHED AND/OR SODDED AREAS) ON A DAILY BASIS; ESPECIALLY AFTER A HEAVY RAINFALL EVENT TO ENSURE THAT ALL CONTROLS ARE MAINTAINED AND PROPERLY FUNCTIONING. ANY DAMAGED CONTROLS SHALL BE REPAIRED PRIOR TO THE END OF THE WORK DAY INCLUDING RE–SEEDING AND MULCHING OR RE–SODDING IF NECESSARY.

ADJACENT PROPERTIES:

THIS PROPERTY IS BOUNDED TO THE WEST, EAST, AND SOUTH BY RESIDENTIAL PROPERTIES, TO THE NORTH IS RANDOLPH AVENUE, WITH 40' RIGHT–OF–WAY.

OFF–SITE AREAS:

OFF–SITE WORK FOR THE PROJECT INCLUDES THE CONSTRUCTION OF THE DRIVEWAY AND DISCHARGE OF DOWNSPOUTS WITHIN THE RANDOLPH AVENUE RIGHT OF WAY,

EROSION AND SEDIMENT CONTROL MEASURES:

DENUDED AREAS ARE TO BE KEPT TO A MINIMUM. ALL E/S MEASURES AND CONTROLS ARE TO CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK AND THE CITY OF ALEXANDRIA. THE DEMOLITION SHALL UTILIZE THE EXISTING ENTRANCE AS A CONSTRUCTION ENTRANCE.

PERMANENT STABILIZATION:

ALL AREA THAT ARE DENUDED BY THIS PLAN SHALL BE COMPLETELY STABILIZED AT THE END OF CONSTRUCTION. A PERMANENT GROUND COVER OF GRASS SHALL BE ESTABLISHED ON ALL AREAS THAT ARE NOT PAVED OR BUILD UPON. GRASS COVER MAY BE APPLIED EITHER BY SEEDING WITH MULCH OR BY APPLYING SOD. REFER TO SEEDING SCHEDULE AND SPECIFICATIONS FOR APPROPRIATE SEED MIXTURES, APPLICATION RATES AND DATES FOR PLANTING.

CONTAMINATED SOILS:

THIS SITE IS NOT KNOWN TO CONTAIN ANY CONTAMINATED SOILS.

STORMWATER RUNOFF CONSIDERATIONS: (BMP STRATEGIES)

PERIMETER BMP STRATEGIES WILL INCLUDE SILT FENCE, TREE PROTECTION, AND A CONSTRUCTION ENTRANCE. THE PROPOSED DEVELOPMENT WILL HONOR ALL NATURAL DRAINAGE DIVIDES.

GRADING NOTES TO CONTRACTOR:

1. SITE WORK CONTRACTOR TO FIELD CHECK FINAL GRADING TO ENSURE THE DEVELOPMENT IS GRADED IN ACCORDANCE WITH THE APPROVED SITE DEVELOPMENT/GRADING PLAN.
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE ACROSS ALL SURFACES TO PRECLUDE THE PONDING OF WATER, EITHER IN YARDS OR ON PAVED SURFACES. THIS DOES NOT APPLY TO PONDING ASSOCIATED WITH STORMWATER MANAGEMENT FACILITIES.
3. A SMOOTH GRADE SHALL BE MAINTAINED ACROSS ALL PAVEMENT SURFACES TO PRECLUDE THE FORMING OF FALSE GUTTERS AND / OR THE PONDING OF ANY WATER IN THE ROADWAY. FINISHED PAVING SURFACES SHALL BE FLUSH WITH ABUTTING SURFACES AT THE SAME ELEVATION (i.e. GUTTERS, SIDEWALKS, APRONS, ETC.).
4. THE SUB–BASE OF ALL PARKING AREAS AND TRAVEL LANES ON SITE SHALL BE PROOF ROLLED PRIOR TO THE PLACEMENT OF ANY PAVING MATERIALS TO IDENTIFY ANY AREAS OF INADEQUATE OR STRUCTURALLY UNSATISFACTORY MATERIAL THAT MUST BE UNDERCUT.
5. ANY PROPOSED STRUCTURAL FILL MATERIALS MUST HAVE APPROVAL OF THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT AND COMPACTION. FILL MATERIALS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS SPECIFICATIONS AND UNDER HIS/HER GUIDANCE.

PLAN NUMBER	GRD2020-00005
APPROVED DATE	01/03/2020

Director of Transportation and Environmental Services

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1–800–552–7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

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RC FIELDS & ASSOCIATES, INC.
ENGINEERING • LAND SURVEYING • PLANNING
700 S. Washington Street, Suite 220
Alexandria, Virginia 22314
www.rcfassoc.com
(703) 549-6422

COMMONWEALTH OF VIRGINIA
ALEX HOLLEMAN
Lic. No. 054281
DECEMBER 23, 2019
PROFESSIONAL ENGINEER

GRADING PLAN
LOT 20 & WEST 5 FT OF LOT 25
MOUNT VERNON
DEED BOOK 180, PAGE 252 (ARLINGTON COUNTY RECORDS)
(105 RANDOLPH AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
11/26/19	PER CITY COMMENTS
12/23/19	PER CITY COMMENTS

DESIGN: DM
CHECKED: RAW
SCALE: AS NOTED
DATE: OCTOBER 2019

E&S CONTROL NARRATIVE AND DETAILS

SHEET 3 OF 9

FILE: 19–111

i:\2019\19111\DWG\EGA\19111-GP (comments).dwg
Fri, Dec 20 2019 - 4:35:48pm

WQIF REQUEST LETTER:

RC FIELDS & ASSOCIATES INCORPORATED
ENGINEERING • LAND SURVEYING • PLANNING
700 S. WASHINGTON ST
SUITE 220
ALEXANDRIA, VA 22314
(703) 549-6422
www.rcfassoc.com

September 23, 2019

Ms. Melanie Mason
Water Quality Compliance Specialist
Transportation & Environmental Services Management
301 King Street, Room 3000
Alexandria, VA 22314

RE: Lot 20 & west 5 ft of lot 25, Mount Vernon
(105 Randolph Avenue)

Dear Ms. Mason,

On behalf of the property owners, Christopher A. and Elena C. Hutchison, we are requesting to provide a monetary contribution to the Alexandria Water Quality Improvement Fund for the project's entire Water Quality Volume.

105 Randolph Avenue		
Total Proposed Onsite Impervious Area	2,808	Square Feet
Onsite Impervious Area Treated	0	Square Feet
Onsite Impervious Area Treated (Percentage of Total Imperviousness Area)	0.0%	
Onsite Impervious Area Untreated	2,808	Square Feet
Onsite Impervious Area Untreated (Percentage of Total Imperviousness Area)	100.0%	

In regards to the onsite impervious area left untreated we are providing the following method (provided to us by OEQ) for the required contribution to the Alexandria Water Quality Improvement Fund for your approval:

Determining water quality improvement fund fee:
2,808 square feet x $2.00 / square foot = $5,616

Once approved I will include this request letter along with your approval letter as part of the grading plan for this project that will be submitted to the City of Alexandria for review and approval.

Thank you for your attention to this matter.

Respectfully,
R.C. FIELDS & ASSOCIATES, INC.
Daniel Mogollon
Civil Engineer

DETENTION WAIVER REQUEST LETTER:

RC FIELDS & ASSOCIATES INCORPORATED
ENGINEERING • LAND SURVEYING • PLANNING
700 S. WASHINGTON ST
SUITE 220
ALEXANDRIA, VA 22314
(703) 549-6422
www.rcfassoc.com

November 26, 2019

Mr. Brian Dofflemyer, P.E., Development Review Manager
Development and Right of Way Services
Department of Transportation & Environmental Services
301 King Street, Room 4130
Alexandria, VA 22314-3211

Re: Lot 20 & West 5 ft of Lot 25, Mount Vernon
105 Randolph Avenue
Stormwater Detention Waiver

Dear Mr. Dofflemyer,

On behalf of our client, we hereby request a waiver of the detention requirements for the above referenced project. We believe a waiver of the detention requirements can be justified on this site pursuant City of Alexandria Zoning Ordinance sections 13-109(F)(1)(a)(i), 13-109(F)(2)(a)(iv) and 13-109(F)(3).

The project proposes the construction of a two-story addition with basement, a second story addition to an existing dwelling, pervious driveway, detached one-story garage, porch and walkway. These improvements increase the impervious area by 0.0102 acre and the post-development peak flow for the 10-year storm event by 0.15 cfs.

Upon investigation, there are no storm structures within 100 feet of the site, limiting our ability to connect a detention facility to an existing stormwater system. Furthermore, the site is flat, restricting our ability to daylight an on-site underground storm water detention structure. Lastly, since this project proposes an addition, the first floor elevation is constrained by the existing condition. The grade cannot be raised within 2 feet of the existing first floor elevation, preventing the generation of adequate fall needed to daylight on-site.

As a drainage remediation for the flow increase, the roof runoff will be piped to the existing curb and gutter along Randolph Avenue, decreasing the amount of runoff being directed to adjacent properties from the pre-development condition. This will help reduce erosion, sedimentation and localized flooding down grade on neighboring properties.

The Randolph Avenue curb and gutter will convey the runoff to the City of Alexandria Storm Sewer System, eventually outfalling to Four Mile Run. Since the subject parcel is a minor contributor to the overall drainage area, we believe the flow increase will not cause any adverse effects in the Storm Sewer System and per ZO 13-109(F)(3), no further controls are required.

Due to absence of storm structures within 100 feet of the site, the flat nature of the site, the inability to raise the grade around the portion of the dwelling to be saved, and the decrease in the post-development runoff directed to adjacent properties, we believe a waiver of the detention requirements can be justified.

If you have any questions or require any additional information please do not hesitate to contact this office at your convenience. We appreciate your consideration of this request.

Respectfully submitted,
R.C. Fields & Associates, Inc.
Daniel Mogollon
Civil Engineer

STORMWATER RUNOFF INFO:

(2 AND 10 YEAR STORMS, T_C = 5 MIN.)

I. TOTAL SITE AREA = 8,250 SQ. FT. OF 0.1893 ACRES
EXISTING IMPERVIOUS AREA = 2,360 SQ.FT. OR 0.0542 ACRES
PROPOSED IMPERVIOUS AREA = 2,808 SQ. FT. OR 0.0645 ACRES
PROPOSED PERVIOUS DRIVEWAY = 1,177 SQ. FT. OR 0.0270 ACRES
INTENSITY OF THE 1-YEAR STROM = 3.20 IN/HR
INTENSITY OF THE 2-YEAR STORM = 6.20 IN/HR
INTENSITY OF THE 10-YEAR STORM = 9.00 IN/HR

RATIONAL METHOD:
II. WEIGHTED C-NUMBER (C) CALCULATIONS:
C PRE-DEVELOPMENT = [(0.9)(0.0542)+(0.3)(0.1351)]/0.1893 = 0.47
C POST-DEVELOPMENT = [(0.9)(0.0645)+(0.7)(0.0270)+(0.3)(0.0978)]/0.1893 = 0.56

III. PEAK DISCHARGES: (Tc = 5 MINS.)
PEAK Q= C*I*A

PRE DEVELOPMENT:
PRE-DEVELOPMENT PEAK DISCHARGE Q(1) = (0.47)(3.20)(0.1893) = 0.28 CFS
PRE-DEVELOPMENT PEAK DISCHARGE: Q(2) = (0.47)(6.20)(0.1893) = 0.55 CFS
PRE-DEVELOPMENT PEAK DISCHARGE: Q(10) = (0.47)(9.00)(0.1893) = 0.80 CFS

POST DEVELOPMENT:
POST-DEVELOPMENT PEAK DISCHARGE: Q(1) = (0.56)(3.20)(0.1893) = 0.34 CFS
POST-DEVELOPMENT PEAK DISCHARGE: Q(2) = (0.56)(6.20)(0.1893) = 0.66 CFS
POST-DEVELOPMENT PEAK DISCHARGE: Q(10) = (0.56)(9.00)(0.1893) = 0.95 CFS

IV. POST DEVELOPMENT INCREASES:
Q(1) INCREASE = 0.06 CFS
Q(2) INCREASE = 0.11 CFS
Q(10) INCREASE = 0.15 CFS

PROJECT DESCRIPTION

DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
SITE AREA	0.0645 AC	0.1248 AC	0.1893 AC.
ON-SITE TREATED	0.0000 AC	0.0000	0.0000 AC
OFF-SITE TREATED	0.0000	0.0000	0.0000
TOTAL TREATED	0.0000 AC	0.0000	0.0000 AC
ON-SITE IMPERVIOUS AREAS DISCONNECTED BY A VEGETATIVE FILTER	0.0000	0.0000	0.0000
TOTAL TREATED OR DISCONNECTED			0.0000 AC

WATER QUALITY DEFAULT VOLUME:

PROPOSED IMPERVIOUS AREA: 2,808 SQ. FT OR 0.0645 AC
TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.0645 AC= 117.1 CU. FT.

IMPERVIOUS AREA TREATED = 0.0000 AC X 1,815= 0 CU. FT.
IMPERVIOUS AREA NOT TREATED= 0.0645 AC

TOTAL WQV TREATED: NO
DETENTION ON SITE: NO
PROJECT IS WITHIN WHICH WATERSHED? FOUR MILE RUN
PROJECT DISCHARGES TO WHICH BODY OF WATER? POTOMAC RIVER

WATER TREATMENT ON-SITE			
BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
–	0.0000	0.0000	–

DETENTION WAIVER APPROVAL LETTER:

DEPARTMENT OF TRANSPORTATION
AND ENVIRONMENTAL SERVICES
Room 4130 - City Hall
Alexandria, Virginia 22314
703-746-4064
alexandriava.gov

December 16, 2019

Daniel Mogollon
RC Fields & Associates, Inc.
700 S. Washington St
Alexandria, VA 22314

Re: Stormwater Detention Waiver Request
105 Randolph Avenue
GRD2020-00005

Dear Mr. Mogollon:

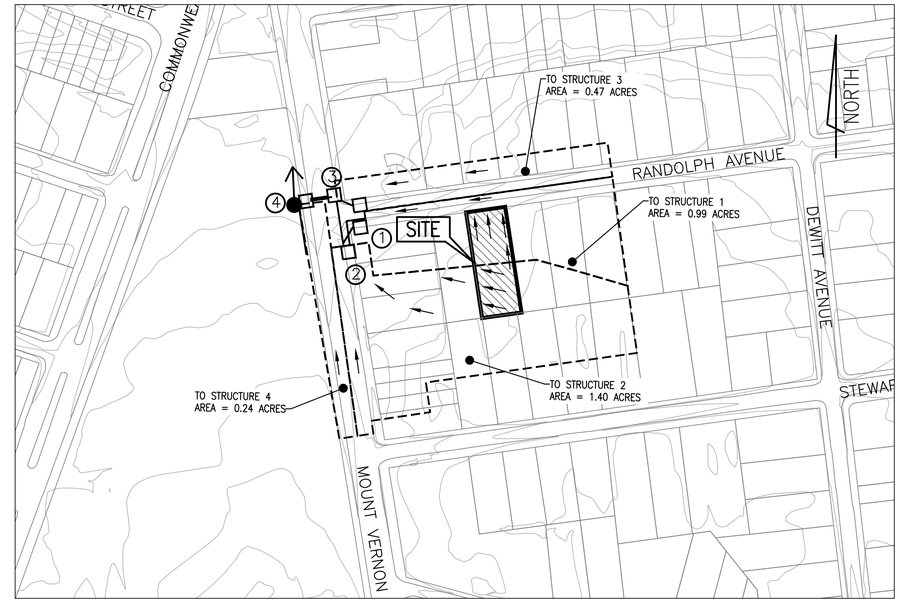
This is regarding your letter, dated November 20, 2019 requesting a waiver from the detention requirements of Article XIII of the City of Alexandria Ordinance. The staff has reviewed your request under the circumstances presented and agrees to grant your request in accordance with the AZO Article XIII, Sections 13-109(F)(1)(a)(i), 13-109(F)(2)(a)(iv), and 13-109(F)3. Please be advised that the applicant for this project is required to adhere to the Erosion and Sediment Control Regulations of the City of Alexandria and the State of Virginia. In addition, if the City of Alexandria receives complaints, then the applicant shall provide additional improvements in accordance with the "Mitigation/Nuisance Note" shown on the approved grading plan.

Reference to this approval letter must be added to the project plans.

Sincerely,

William J. Skrabak
Acting Deputy Director, Development and Right of Way
Department of Transportation and Environmental Services

CC: Brian Dofflemyer, P.E., Development Review Manager
CC: Alex Boulden, P.E., Development Review Engineer



STORM WATER OUTFALL MAP:

LEGEND:
= DIRECTION OF FLOW
= STORM PIPE
= CURB INLET
= MANHOLE

GRAPHIC SCALE
100 0 50 100 200
(1 INCH = 100 FEET)

STRUCTURE FROM	TO	INC. DRAINAGE AREA (AC)	ACCUM. DRAINAGE AREA (AC)	C NUMBER (C)	RAINFALL INTENSITY (IN/HR)	T_C (MINUTES)	INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	"n"	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)
1	2	0.99	0.99	0.42	9.00	5	3.74	**3.74**	12	6.0%	0.015	**7.58**	9.68	25.2	33.52	32.00	1.52
2	3	1.40	2.39	0.42	9.00	5	5.29	**9.03**	12	3.72%	0.015	**5.96**	7.61	63.9	32.00	29.62	2.38
3	4	0.71	3.10	0.42	9.00	5	2.68	**11.72**	15	3.9%	0.015	**11.05**	9.03	42.9	29.07	27.40	1.67

STORMWATER OUTFALL NARRATIVE:

THE PROPOSED PLAN ADHERES TO NATURAL DRAINAGE PATTERNS AND RUNOFF GENERALLY DRAINS IN A NORTHWESTERLY DIRECTION. A PORTION OF THE RUNOFF GENERATED FROM THIS SITE IS BEING DIRECTED IN A NORTHERLY DIRECTION TO THE CURB AND GUTTER WITHIN THE RANDOLPH AVENUE RIGHT-OF-WAY, VIA UNCONCENTRATED SHEET FLOW. THE REMAINDER OF THE ROOF RUNOFF IS CONVEYED THROUGH STORM PIPES THAT DISCHARGE IN THE EXISTING CURB AND GUTTER ALONG RANDOLPH AVENUE. THENCE, THE RUNOFF IS CONVEYED IN A WESTERLY DIRECTION UNTIL IT ENTERS A CURB INLET IN THE INTERSECTION OF MOUNT VERNON AVENUE AND RANDOLPH (STRUCTURE #1), ENTERING THE CITY OF ALEXANDRIA STORM SEWER SYSTEM. THE RUNOFF REMAINS IN THE CITY OF ALEXANDRIA STORM SEWER SYSTEM, BEING CONVEYED IN A NORTHWESTERLY DIRECTION, EVENTUALLY OUTFALLING TO FOUR MILE RUN.

THE OTHER PORTION OF THE RUNOFF GENERATED BY THIS PROJECT IS DIRECTED IN A NORTHWESTERLY DIRECTION IN AN UNCONCENTRATED SHEET FLOW MANNER THROUGH ADJACENT PROPERTIES, UNTIL IT ENTERS THE CURB AND GUTTER WITHIN THE MOUNT VERNON AVENUE RIGHT-OF-WAY WHERE IT ENTERS THE CITY OF ALEXANDRIA SEWER SYSTEM THROUGH A CURB INLET (STRUCTURE #2), JOINING THE OTHER FLOW REGIME, AND EVENTUALLY OUTFALLING TO FOUR MILE RUN. THIS PROJECT PROPOSES A MINOR INCREASE IN PEAK FLOW RUNOFF; HOWEVER, THERE WILL BE NO INCREASE IN RUNOFF BEING DIRECTED TO ADJACENT PROPERTIES (SEE CALCULATIONS ON SHEET 5).

PIPE CAPACITY CALCULATIONS WERE CONDUCTED ON THE FIRST THREE RUNS OF PIPE, THROUGH WHICH THE RUNOFF IS CONVEYED. THE CAPACITY CALCULATIONS SHOWN ON THIS SHEET INDICATES THAT THE PIPES FROM STRUCTURES #2 TO #3 AND #3 TO #4 ARE SURCHARGED; HOWEVER, THE SUBJECT PARCEL IS A MINOR CONTRIBUTOR TO THE OVERALL DRAINAGE AREA AND THERE ARE NO KNOWN DRAINAGE ISSUES IN THE AREA. DRAINAGE AREAS, INVERTS, AND LENGTHS OF THE PIPES WERE OBTAINED FROM ALEXANDRIA GIS MAPPING.

THE PLAN FOLLOWS NATURAL RUNOFF PATTERNS ON THE EXISTING SITE, AND THERE ARE NO KNOWN DRAINAGE ISSUES. THE PLAN INCREASES THE AMOUNT OF IMPERVIOUS COVER ON THE SITE, RESULTING IN A SMALL INCREASE OF THE PEAK RUNOFF FOR A 10 YEAR STORM EVENT; HOWEVER, THERE IS NO INCREASE IN RUNOFF BEING DIRECTED TO ADJACENT PROPERTIES DUE TO GRADING ON SITE. IT IS THE PROFESSIONAL OPINION OF THIS FIRM THAT, BECAUSE THE SUBJECT PARCEL IS A MINOR CONTRIBUTOR TO THE EXISTING DRAINAGE AREA, ALL OF THE FLOW LEAVING THE SITE IS SHEET FLOW, THE OVERALL INCREASE IN RUNOFF IS VERY MINOR, AND THERE IS NO INCREASE IN RUNOFF TO ADJACENT PROPERTIES (SEE SHEET 5), THE OUTFALL IS ADEQUATE.

STORMWATER NARRATIVE:

THIS 0.1893 AC SITE IS LOCATED IN THE R 2-5 ZONE AND IS SERVED BY PUBLIC SEWER AND WATER. NO RESOURCE PROTECTION AREA (RPA) OR FLOODPLAIN IS ON THIS SITE. PART OF THE EXISTING IMPROVEMENTS WILL BE REMOVED. THIS PLAN PROPOSES THE CONSTRUCTION OF A 2-STORY ADDITION WITH A BASEMENT, AND A 2ND STORY ADDITION TO AN EXISTING SINGLE-FAMILY DWELLING, AS WELL AS THE CONSTRUCTION OF A SCREENED PORCH WITH BASEMENT, A DETACHED GARAGE, PERVIOUS DRIVEWAY, AND WALKWAY WHICH WILL RESULT IN A TOTAL OF 0.0645 AC OF IMPERVIOUS AREA ON THIS 0.1893 ACRE SITE (34.0% IMPERVIOUS COVER).

THE APPLICANT WILL MAKE A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND FOR THAT PORTION OF THE WATER QUALITY VOLUME NOT BEING TREATED ON-SITE. THIS PROJECT WILL NOT CHANGE THE CURRENT DRAINAGE PATTERNS FOR THIS SITE (SEE STORMWATER OUTFALL NARRATIVE). CURRENTLY, THERE ARE NO NOTED DRAINAGE ISSUES WITHIN THE IMMEDIATE PROJECT AREA. THERE IS AN INCREASE (0.15 CFS) IN PEAK RUNOFF FROM THE PRE-CONSTRUCTION TEN YEAR STORM EVENT. THE PEAK RATE OF RUNOFF IS 0.95 CFS AND IT IS THE BELIEF OF THIS FIRM THAT NO ADVERSE IMPACTS WILL OCCUR ON ANY DOWNSTREAM PROPERTIES OR RESOURCES AS A RESULT OF THIS PROJECT.

ZONING CRITERIA STUDY

BASED ON A FIELD STUDY OF FIVE EXISTING DWELLINGS AROUND THE PROPERTY SHARING FRONTAGE WITH RANDOLPH AVENUE, THE SETBACK RANGE FROM THE PROPERTY LINE ON RANDOLPH AVENUE IS:

22.8' (FROM 107 RANDOLPH AVENUE) – 29.9' (FROM 108 RANDOLPH AVENUE)
FRONT SETBACK PROVIDED FOR SECOND STORY ADDITION: 24.4' (TO MATCH EXISTING SETBACK FOR THE FIRST STORY)

MAXIMUM THRESHOLD ALLOWED: N/A (EXISTING THRESHOLD TO REMAIN) ADDITION THRESHOLD TO MATCH EXISTING.

DWELLING HEIGHT ALLOWED: 30.0' (ZONING ORDINANCE)
DWELLING HEIGHT PROPOSED: 24.8' (FROM AVG. EXISTING GRADE: 41.6)

Front Setback Data #105 RANDOLPH AVE. (RCF #19-111)		
Setback Data		
RANDOLPH AVENUE	Setback From Property Line	
103 Randolph Av.	24.7	
105 Randolph Av.	24.4	
107 Randolph Av.	22.8	
104 Randolph Av.	28.3	
106 Randolph Av.	27.4	
108 Randolph Av.	29.9	USE BETWEEN 22.8' AND 29.9'

PLAN NUMBER GRD2020-00005
APPROVED DATE 01/03/2020
Director of Transportation and Environmental Services

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EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

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RC FIELDS & ASSOCIATES, INC.
ENGINEERING • LAND SURVEYING • PLANNING
700 S. Washington Street, Suite 220
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www.rcfassoc.com
(703) 549-6422

COMMONWEALTH OF VIRGINIA
ALEX HOLLEMAN
Lic. No. 054281
DECEMBER 23, 2019
PROFESSIONAL ENGINEER

GRADING PLAN
LOT 20 & WEST 5 FT OF LOT 25
MOUNT VERNON
DEED BOOK 180, PAGE 252 (ARLINGTON COUNTY RECORDS)
(105 RANDOLPH AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

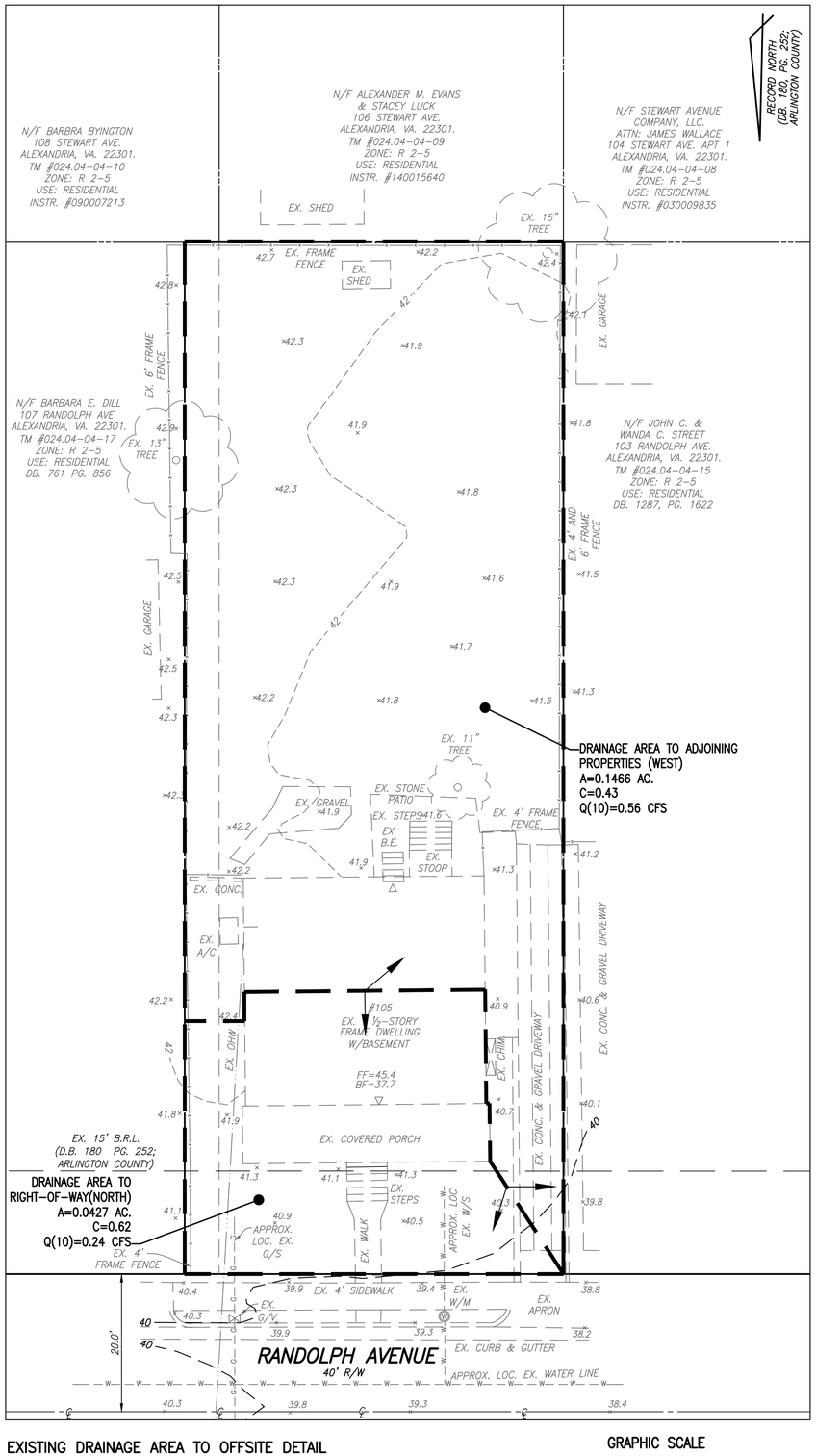
DATE	REVISION
11/26/19	PER CITY COMMENTS
12/23/19	PER CITY COMMENTS

DESIGN: DM
CHECKED: RAW
SCALE: 1"=100'
DATE: OCTOBER 2019

STORMWATER CALCS & OUTFALL ANALYSIS

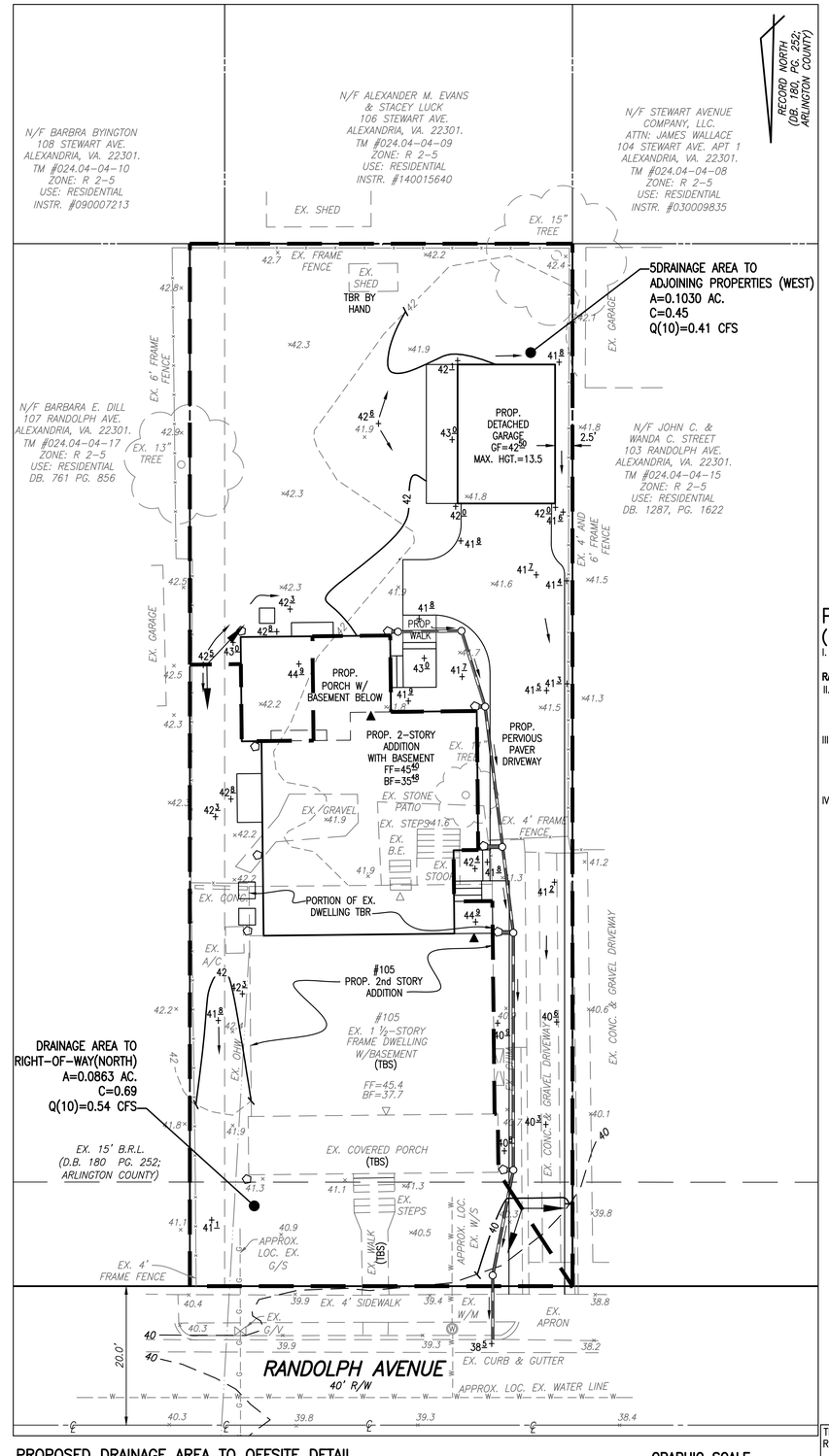
SHEET 4 OF 9
FILE: 19-111

J:\2019\19111\DWG\DEL\19111-GP (comments).dwg
Fri, Dec 20 2019 - 4:56:32pm



EXISTING DRAINAGE AREA TO OFFSITE DETAIL
SCALE: 1"=10'

GRAPHIC SCALE
0' 10' 20'
1" = 10'



PROPOSED DRAINAGE AREA TO OFFSITE DETAIL
SCALE: 1"=10'

GRAPHIC SCALE
0' 10' 20'
1" = 10'

EXISTING STORMWATER RUNOFF CALCULATIONS:
(10 YEAR STORMS, T_c = 5 MIN.)

I. TOTAL SITE AREA = 8,250 SQ. FT. OF 0.1893 ACRES
INTENSITY OF THE 10-YEAR STORM = 9.00 IN/HR

RATIONAL METHOD:

II. WEIGHTED C-NUMBER (C) CALCULATIONS:
C PRE-DEVELOPMENT (TO ADJACENT PROPERTIES) = [(0.9)(0.0312)+(0.3)(0.1154)]/0.1466 = 0.43
C PRE-DEVELOPMENT (TO RIGHT-OF-WAY)= [(0.9)(0.0230)+(0.3)(0.0197)]/0.0427 = 0.62

III. PEAK DISCHARGES: (Tc = 5 MINS.)
PEAK Q= C*I*A
PRE DEVELOPMENT:
PRE-DEVELOPMENT PEAK DISCHARGE: Q(10)(TO ADJACENT PROPERTIES) = (0.43)(9.00)(0.1466) = 0.56 CFS
PRE-DEVELOPMENT PEAK DISCHARGE: Q(10)(TO RIGHT-OF-WAY) = (0.62)(9.00)(0.0427) = 0.24 CFS

PROPOSED STORMWATER RUNOFF CALCULATIONS:
(10 YEAR STORMS, T_c = 5 MIN.)

I. TOTAL SITE AREA = 8,250 SQ. FT. OF 0.1893 ACRES
INTENSITY OF THE 10-YEAR STORM = 9.00 IN/HR

RATIONAL METHOD:

II. WEIGHTED C-NUMBER (C) CALCULATIONS:
C POST-DEVELOPMENT (TO ADJACENT PROPERTIES) = [(0.9)(0.0100)+(0.7)(0.0250)+(0.3)(0.0680)]/0.1030 = 0.45
C POST-DEVELOPMENT (TO RIGHT OF WAY) = [(0.9)(0.0545)+(0.7)(0.0020)+(0.3)(0.0298)]/0.0863 = 0.69

III. PEAK DISCHARGES: (Tc = 5 MINS.)
PEAK Q= C*I*A
POST-DEVELOPMENT PEAK DISCHARGE: Q(10)(TO ADJACENT PROPERTIES) = (0.45)(9.00)(0.1030) = 0.41 CFS
POST-DEVELOPMENT PEAK DISCHARGE: Q(10)(TO RIGHT OF WAY) = (0.69)(9.00)(0.0863) = 0.54 CFS

IV. CHANGES IN DIRECTION OF RUNOFF:
DECREASE IN RUNOFF TO ADJACENT PROPERTIES: 0.15 CFS
INCREASE IN RUNOFF TO RIGHT OF WAY: 0.30 CFS

PLAN NUMBER GRD2020-00005
APPROVED DATE 01/03/2020
Director of Transportation and Environmental Services

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GRADING PLAN
LOT 20 & WEST 5 FT OF LOT 25
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(105 RANDOLPH AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
11/26/19	PER CITY COMMENTS
12/23/19	PER CITY COMMENTS

DESIGN: DM
CHECKED: RAW
SCALE: 1"=10'
DATE: OCTOBER 2019

PRE AND POST DRAINAGE DIVIDES

SHEET 5 OF 9
FILE: 19-111

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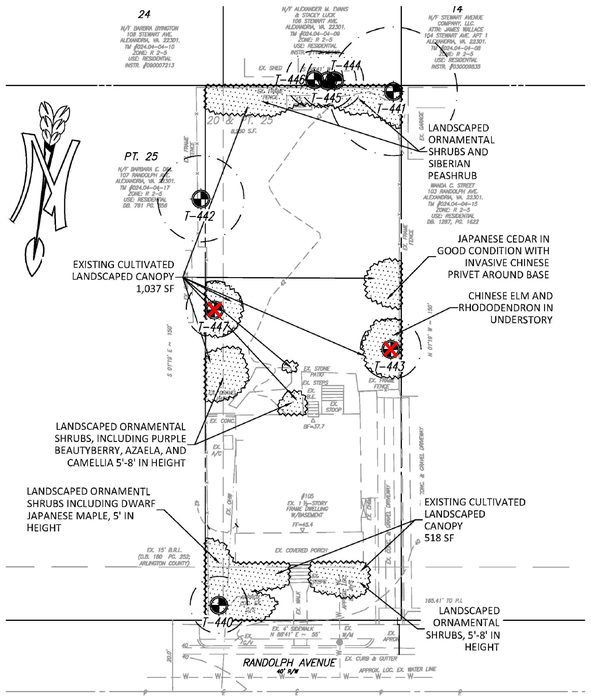
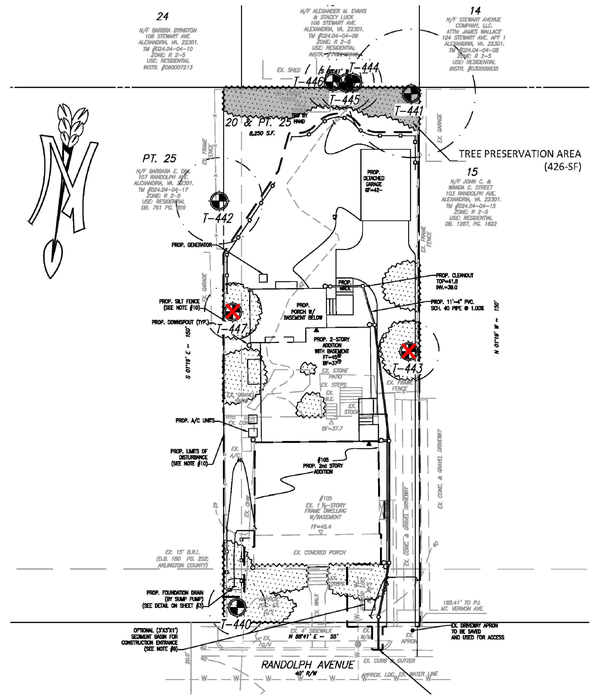
Fri, Dec 20 2019 - 4:36:15pm

EXISTING TREE AND VEGETATION SURVEY



PROPOSED TREE AND VEGETATION PROTECTION SURVEY



LEGEND

- TREELINE
- EXISTING CULTIVATED LANDSCAPE (1,555-SF)
- TREE PRESERVATION AREA (CULTIVATED LANDSCAPE) (426 SF)
- CRITICAL ROOT ZONE (CRZ)
- TREE LOCATION (T-37)
- TREE TO BE REMOVED (TBR) (T-37)
- TREE PROTECTION FENCING

Tree Number	Common Name	Scientific Name	Size (dia. @ 54-in. above grade)	Critical Root Zone (feet)	Condition Rating %	Likelihood of Survival of Construction	Remove?	Offsite or Shared	Notes & Recommendations
440	Eastern Redbud	*Cercis canadensis*	5.8	8.0	66%	Medium	**SAVE**		Girdled roots, improperly pruned, some dead limbs, shallow roots. Apply 3"-4" of hardwood mulch at base.
441	Crepe Myrtle	*Lagerstroemia spp.*	18.0	18.0	91%	Medium	**SAVE**		Small cavity in limb.
442	American Holly	*Ilex opaca*	12.1	12.1	75%	High		Offsite	Shallow roots, growing against fence, some broken limbs/dead limbs.
443	English Holly	*Ilex aquifolium*	8.5	8.5	75%	Very Low	TBR		Covered in vines, some dead limbs.
444	Arborvitae	*Thuja*	4.0	8.0	100%	High		Offsite	
445	Arborvitae	*Thuja*	4.0	8.0	100%	High		Offsite	
446	Arborvitae	*Thuja*	4.0	8.0	100%	High		Offsite	
447	Eastern Redcedar	*Juniperus virginiana*	3.0	8.0	100%	Very Low	TBR		

NOTES:
1. SHARED/OFFSITE TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.
2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.
3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS AND TREE LOCATIONS ARE APPROXIMATE.
4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF THE CITY.

NOTES:
1. THE PROPERTY DELINEATED HEREON IS LOCATED AT 105 RANDOLPH AVENUE.
2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY R.C. FIELDS & ASSOCIATES, INC., 2019.
3. PROPOSED DEVELOPMENT PLAN BY R.C. FIELDS & ASSOCIATES, INC., 2019.
4. TREE EVALUATIONS AND COMPUTATIONS BY TNT ENVIRONMENTAL, INC., SEPTEMBER 2019. (MS. SOPHIE SWARTZENDRUBER, CERTIFICATION #: MA-6053A).
5. CRZ MEASUREMENTS IN RADIUS PER THE CITY OF ALEXANDRIA DETAIL.
6. TOTAL CANOPY COVER: 1,555 SQUARE FEET (SF).
7. TOTAL SITE AREA: 8,250 SF.
8. PERCENT OF SITE COVERED: 18.8%
9. PERCENT COVER REQUIRED BY ZONING: 25%
10. QUALIFYING CANOPY TO BE PRESERVED: 426 SF x 1.0 CANOPY MULTIPLIER = 426 SF (5.2%)
11. MINIMUM CANOPY AREA TO BE PLANTED TO MEET REQUIREMENT: 1,637 SF (19.8%)

PLAN NUMBER GRD2020-00005
APPROVED DATE 01/03/2020
Director of Transportation and Environmental Services

CERTIFIED ARBORIST ISA
Avinash M. Sareen
Certified Arborist
Certification # MA-4727A

TNT ENVIRONMENTAL
13996 Parkeast Circle, Suite 101
Chantilly, VA 20151
PH: 703-466-5123 WWW.TNTENVIRONMENTALINC.COM

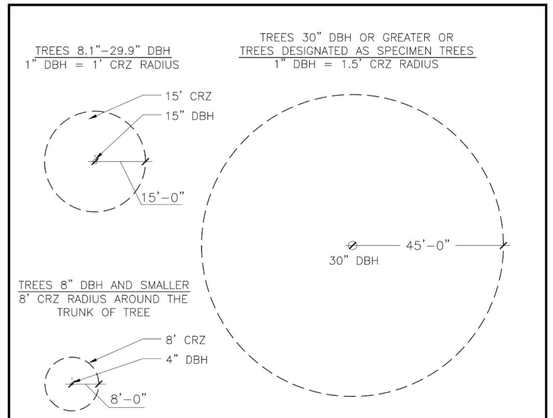
105 RANDOLPH AVENUE
CITY OF ALEXANDRIA, VA

TREE AND VEGETATION SURVEY & PROTECTION PLAN

REVISIONS

DATE	COMMENTS

SHEET 6 OF 9
SCALE: 1" – 20'
PROJECT DATE: 10/1/19
DRAFT: MMS
CHECK: AMS
FILE NUMBER: 1733



NOTES:

1. GRAPHICALLY, THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED AS A CIRCULAR REGION MEASURED OUTWARD FROM A TREE TRUNK REPRESENTING THE AREA OF ROOTS THAT MUST BE MAINTAINED OR PROTECTED FOR THE TREE'S SURVIVAL.
2. PLOT ACCURATE TRUNK LOCATIONS OF ALL TREES GREATER THAN 2" DIAMETER AT 54" ABOVE GRADE AND/OR TREE STANDS WITHIN DEVELOPMENT AREAS ON ALL PLANS FOR THE PROJECT AND DELINEATE THEIR ESTIMATED CRITICAL ROOT ZONE.
3. PLOT ACCURATE TRUNK LOCATIONS OF OFFSITE TREES WHICH WILL HAVE THEIR CRZ AFFECTED BY DEVELOPMENT AND DELINEATE THEIR ESTIMATED CRITICAL ROOT ZONE.

A TREE PROTECTION DETAIL FOR DETERMINING CRITICAL ROOT ZONE
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS
CITY OF ALEXANDRIA, VIRGINIA

NOTE:
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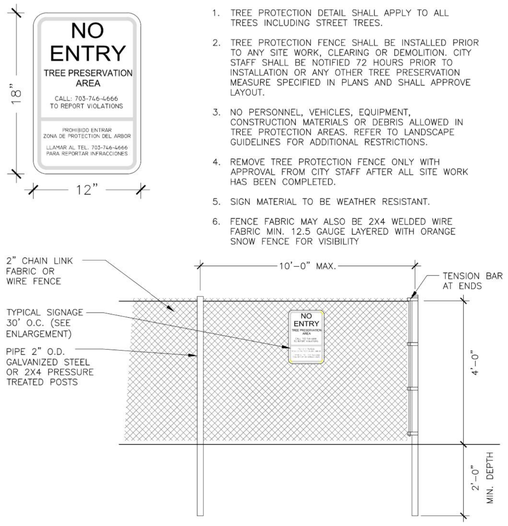
Source: CITY OF ALEXANDRIA
Approved by: COA
Date drawn: 01/01/19
CRITICAL ROOT ZONE
1 OF 1
LD 013



NOTES

1. TREE PROTECTION DETAIL SHALL APPLY TO ALL TREES INCLUDING STREET TREES.
2. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION. CITY STAFF SHALL BE NOTIFIED 72 HOURS PRIOR TO INSTALLATION OR ANY OTHER TREE PRESERVATION MEASURE SPECIFIED IN PLANS AND SHALL APPROVE LAYOUT.
3. NO PERSONNEL, VEHICLES, EQUIPMENT, CONSTRUCTION MATERIALS OR DEBRIS ALLOWED IN TREE PROTECTION AREAS. REFER TO LANDSCAPE GUIDELINES FOR ADDITIONAL RESTRICTIONS.
4. REMOVE TREE PROTECTION FENCE ONLY WITH APPROVAL FROM CITY STAFF AFTER ALL SITE WORK HAS BEEN COMPLETED.
5. SIGN MATERIAL TO BE WEATHER RESISTANT.
6. FENCE FABRIC MAY ALSO BE 2X4 WELDED WIRE FABRIC MIN. 12.5 GAUGE LAYERED WITH ORANGE SNOW FENCE FOR VISIBILITY

A TREE PROTECTION FENCE
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS
CITY OF ALEXANDRIA, VIRGINIA

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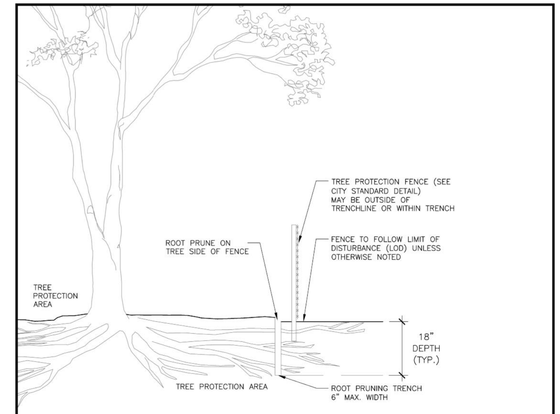
Source: CITY OF ALEXANDRIA
Approved by: COA
Date drawn: 01/01/19
TREE PROTECTION FENCE
1 OF 1
LD 014



NOTES

1. ROOT PRUNING SHALL BE DONE WITH TRENCHER OR VIBRATORYPLOW TO DEPTH OF 18". ROOTS OVER 1.5" IN DIAMETER SHALL HAVE A CLEAN CUT MADE BY A CLEAN SAW ON THE SURFACE OF THE ROOT, WHICH IS STILL ATTACHED TO THE TREE. DO NOT BREAK OR CHOP. DO NOT PAINT THE CUT ROOT END. IF EXCAVATION IS FOR INSTALLATION OF UNDERGROUND UTILITIES, LEAVE THE ROOT INTACT AND THREAD THE LINES UNDERNEATH.
2. ROOT PRUNING SHALL TAKE PLACE PRIOR TO ANY CLEARING AND GRADING. EXACT LOCATION OF TREE PROTECTION AREAS SHALL BE STAKED OR FLAGGED PRIOR TO TRENCHING AND SHALL BE APPROVED BY CITY STAFF.
3. ROOT PRUNING SHALL BE CONDUCTED WITH THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. CERTIFICATION SHALL BE PROVIDED TO THE CITY UPON COMPLETION.
4. BACKFILL THE ROOT–PRUNING TRENCH WITH APPROVED LOOSE TOPSOIL MIX AND TOP WITH 3–4" BARK MULCH AND MARK LOCATION FOR FUTURE REFERENCE. SILT FENCE MAY BE INSTALLED IN TRENCH PRIOR TO BACKFILLING AS LONG AS THE TRENCH IS NOT OPEN FOR LONGER THAN 48 HOURS WITHOUT WATERING.
5. ROOT PRUNING WORK SHALL NOT BE DONE WHEN MORE THAN THE TOP 1 INCH OF SOIL IS FROZEN. ROOT PRUNING SHALL NOT BE UNDERTAKEN WHEN THE SOIL IS WET AND CONDITIONS ARE MUDDY.
6. CITY OF ALEXANDRIA STAFF SHALL BE NOTIFIED 72 HOURS PRIOR TO TRENCHING AND WHEN ALL ROOT PRUNING AND TREE PROTECTION FENCE INSTALLATION IS COMPLETE.

A ROOT PRUNING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS
CITY OF ALEXANDRIA, VIRGINIA

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Source: CITY OF ALEXANDRIA
Approved by: COA
Date drawn: 01/01/19
ROOT PRUNING
1 OF 1
LD 015

INVASIVE SPECIES CONTROL NARRATIVE:

1. ANY APPLICATION OF ENVIRONMENTALLY SENSITIVE APPROVED HERBICIDES SHALL BE APPLIED BY A VIRGINIA CERTIFIED APPLICATOR OR REGISTERED TECHNICIAN.

2. GARLIC MUSTARD: SMALL INFESTATIONS SHOULD BE REMOVED BY HANDTO MINIMIZE DISTURBANCE. LARGE INFESTATIONS MAY BE REMOVED BY HAND OR MOWN DOWN WITH A WEED WHACKER. MANUAL REMOVAL OR CUTTING SHOULD TAKE PLACE WHILE PLANTS ARE FLOWERING, BEFORE THEY SET SEED. FOR EXTENSIVE INFESTATIONS, AN APPLICATION OF ENVIRONMENTALLY SENSITIVE APPROVED HERBICIDES MAY ALSO BE APPLIED BY A VIRGINIA CERTIFIED APPLICATOR OR REGISTERED TECHNICIAN IN EARLY SPRING OR LATE FALL TO AVOID NON-TARGET SPECIES.

3. COMMON PERIWINKLE: SHALL BE REMOVED BY HAND TO MINIMIZE SITE DISTURBANCE. RUNNER ROOTS MAY BE RAISED WITH A RAKE AND THE PLANTS MOWED DOWN OR PULLED BY HAND. ALTERNATIEVLY, THE PLANTS MAY BE CUT IN THE SPRING AND A GLYPHOSATE HERBICIDE APPLIED TO THE REGROWTH BY A CERTIFIED APPLICATOR.

4. INVASIVE SPECIES CONTROL SHALL COMMENCE WITH E&S PHASE I AND BE CONDUCTED UNTIL THE PLANTS NOTED ABOVE ARE NO LONGER IN ABUNDANCE OR UNTIL BOND RELEASE, WHICHEVER IS LATER.

TREE PRESERVATION AREA NOTES FOR CONSTRUCTION ACTIVITY AND MAINTENANCE:

AREAS DESIGNATED FOR PROTECTION AND/OR PRESERVATION OF VEGETATION SHALL NOT BE ENTERED OR UTILIZED (APPROVED MAINTENANCE PROCEDURES AND WATERING EXCEPTED) THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. PROHIBITED ITEMS/ ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO:

I. MODIFYING SITE TOPOGRAPHY IN A MANNER THAT DIRECTLY OR INDIRECTLY ALTERS EXISTING SITE DRAINAGE WITHIN PROTECTION ZONE INCLUDING TRENCHING OR GRADING OPERATIONS AND PLACING, STORING OR STOCKPILING SOIL OR CONSTRUCTION RELATED SUPPLIES.

II. FELLING AND STORING VEGETATION.

III. INCINERATING MATERIALS WITHIN OR IN CLOSE PROXIMITY.

IV. OPERATING MACHINERY OR EQUIPMENT, INCLUDING VEHICLE/EQUIPMENT PARKING OR STORAGE.

V. TEMPORARY OR PERMANENT UTILITY CONSTRUCTION, PAVING OR IMPERVIOUS SURFACE INSTALLATION.

VI. DISPOSAL OF DEBRIS OR CHEMICALS.

VII. TEMPORARY FACILITIES OR OCCUPATION BY WORK FORCE.

VIII. STORAGE OF CONSTRUCTION MATERIALS OR WASTE.

PLAN NUMBER GRD2020-00005
APPROVED DATE 01/03/2020
Director of Transportation and Environmental Services

CERTIFIED ARBORIST ISA
Vinash M. Sareen
Certified Arborist
Certification # MA-4727A

ENVIRONMENTAL
13996 Parkeast Circle, Suite 101
Chantilly, VA 20151
PH: 703-466-5123 WWW.TNTENVIRONMENTALINC.COM

105 RANDOLPH AVENUE
CITY OF ALEXANDRIA, VA

TREE AND VEGETATION PROTECTION DETAILS

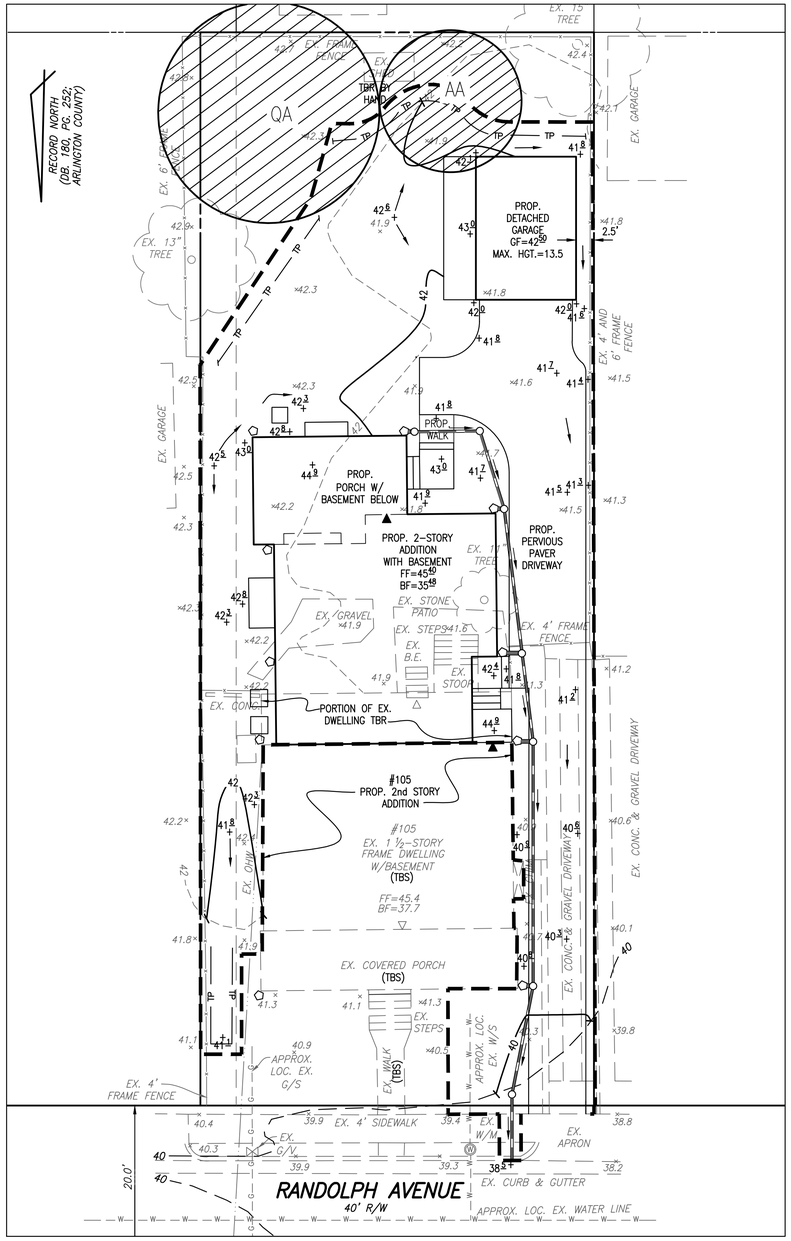
REVISIONS

DATE	COMMENTS

SHEET 7 OF 9

SCALE: NTS
PROJECT DATE: 10/1/19
DRAFT: MMS
CHECK: AMS
FILE NUMBER: 1733

LANDSCAPE PLAN



GRAPHIC SCALE
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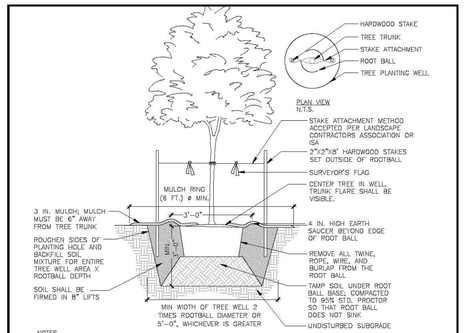
1" = 10'



NOTES

1. AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT PRUNE INTO OLD WOOD ON EVERGREENS.
2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES
4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
5. TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED.
6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.
7. STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUM AFTER STAKING.
8. INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION. ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED TOPSOIL / BACKFILL MIXTURE.
9. CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF.

A DECIDUOUS TREE PLANTING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS
CITY OF ALEXANDRIA, VIRGINIA

NOTE:
THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENTED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

Source: CITY OF ALEXANDRIA
Approved for: COA
I OF I
DECIDUOUS TREE PLANTING
Date drawn: 01/01/19
LD 001

CROWN COVER TABULATIONS	
TOTAL SITE AREA (SF)	8,250
25% CROWN COVER REQUIRED (SF)	2,063
EXISTING CROWN COVER (SF)	1,555
REMOVED CROWN COVER (SF)	1129
PRESERVED CROWN COVER (SF)	
Crown Cover from Preserved Trees	426
Crown Cover from Preserved Shrubs	0
PROPOSED CROWN COVER (SF)	
Crown Cover from Proposed Trees	1,750
Crown Cover from Proposed Shrubs	
TOTAL CROWN COVER PROVIDED (%)	26.4%
TOTAL CROWN COVER PROVIDED (SF)	2,176

NATIVE PLANT TABULATIONS

PLANT TYPE	QUANTITY	NATIVE TYPE	MARCH 2, 2019 – JANUARY 1, 2020 REQUIRED %	PROVIDED QTY.	PROVIDED %	JANUARY 2, 2020 – JANUARY 1, 2024 REQUIRED %	PROVIDED QTY.	PROVIDED %	BEGINNING JANUARY 2, 2024 REQUIRED %	PROVIDED QTY.	PROVIDED %
Urban Trees	0	Regional/Local	10%			15%			20%		
		Total Natives	25%			25%			50%		
Standard Trees	2	Regional/Local	15%	2	100.0%	25%			40%		
		Total Natives	40%	2	100.0%	60%			80%		
Evergreen Shrubs		Regional/Local	5%			8%			10%		
		Total Natives	20%			30%			40%		
Deciduous Shrubs		Regional/Local	10%			15%			20%		
		Total Natives	40%			60%			80%		
Groundcovers		Regional/Local	5%			10%			10%		
		Total Natives	10%			20%			20%		
Perennials, Ferns, Ornamental Grasses		Regional/Local	10%			15%			25% (perennials) 30% (ferns & grasses)		
		Total Natives	25%			40%			60% (perennials) 80% (ferns & grasses)		
Vines		Total Natives	80%			100%			100%		

TOTALS

TOTAL PLANTS SPECIFIED	TOTAL SUM OF REGIONAL/LOCAL NATIVE PLANTS	TOTAL SUM OF NATIVE PLANTS
2	2	2
	100.0%	100.0%

A) STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANS REQUIRING APPROVAL:

THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES:

1) THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.

2) THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.

3) THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN.

4) ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.

5) INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.

6) IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.

7) SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.

8) MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.

B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:

IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSUP PROJECTS:

1) THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.

2) THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.

3) THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.

9) AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

A STANDARD LANDSCAPE PLAN NOTES
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS
CITY OF ALEXANDRIA, VIRGINIA

NOTE:
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Source: CITY OF ALEXANDRIA
Approved for: COA
I OF I
STANDARD LANDSCAPE PLAN NOTES
Date drawn: 01/01/19
LD 016

COMMONWEALTH OF VIRGINIA
DANIEL C. ROBBY
Lic. No. 1325
OCTOBER 15, 2019
LANDSCAPE ARCHITECT

BIODIVERSITY TABULATIONS

TREES (URBAN AND STANDARD)
TOTAL NUMBER OF TREES PROPOSED: 2

GENUS	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED	SPECIES	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED
Quercus	1	33%	50%	Alba	1	33%	35%
Cercis	1	33%	50%	Canadensis	1	33%	35%
Amelanchier	1	33%	50%	Arborea	1	33%	35%

	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	CALIPER/HEIGHT		CCA PER TREE (SF)	TOTAL CROWN COVER (SF)
STANDARD TREES	QA	1	Quercus	alba		White oak	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader	1,250	1,250
	AA	1	Amelanchier	Arborea		Downy Serviceberry	1.5"-1.75"cal/6-10 ft. ht.	B&B; symmetrical, single leader	500	500
	TOTAL	2							STANDARD TREE CCA:	1,750

PLAN NUMBER GRD2020-00005
APPROVED DATE 01/03/2020
Director of Transportation and Environmental Services

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

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R.C. FIELDS & ASSOCIATES, INC.
ENGINEERING • LAND SURVEYING • PLANNING
700 S. Washington Street, Suite 220 www.rcfassoc.com
Alexandria, Virginia 22314 (703) 549-6422

DESIGN BY OTHERS
COMMONWEALTH OF VIRGINIA
ALEX HOLLEMAN
Lic. No. 054281
DECEMBER 23, 2019
PROFESSIONAL ENGINEER
DESIGN BY OTHERS

GRADING PLAN
LOT 20 & WEST 5 FT OF LOT 25
MOUNT VERNON
DEED BOOK 180, PAGE 252 (ARLINGTON COUNTY RECORDS)
(105 RANDOLPH AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
11/26/19	PER CITY COMMENTS
12/23/19	PER CITY COMMENTS

DESIGN: DM
CHECKED: RAW
SCALE: 1"=10'
DATE: OCTOBER 2019

LANDSCAPE PLAN

SHEET 8 OF 9
FILE: 19-111

J:\2019\19111\DWG\DELIA\19111-GP (comments).dwg
Fri, Dec 20 2019 - 4:37:13pm

UTILITY WORKS:

UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS DESCRIBED IN SECTION 4VAC50-30-40 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND ADDITIONAL APPLICABLE PRACTICES FOLLOWED BY THE CITY OF ALEXANDRIA:

1. ALL PRIVATE UTILITIES SHALL BE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS UNLESS THE UTILITY OWNERS HAVE FRANCHISE AGREEMENT WITH THE CITY OF ALEXANDRIA; HOWEVER, NO ELECTRIC TRANSFORMERS AND SWITCH GEARS / CONTROL BOXES SHALL BE PLACED IN THE PUBLIC RIGHT OF WAY.
2. ALL THE EXISTING AND PROPOSED PUBLIC AND PRIVATE UTILITIES AND EASEMENTS SHALL BE SHOWN AND A DESCRIPTIVE NARRATION OF VARIOUS UTILITIES SHALL BE PROVIDED ON THE PLAN.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONNECTION AND/OR CONSTRUCTION.
4. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
5. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
6. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
7. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ACCORDANCE WITH THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
8. SHOULD UTILITY CONSTRUCTION BE PERFORMED AFTER COMPLETING EARTHWORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACHIEVING 98 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1551) COMPACTION IN ALL TRENCH BACKFILL.
9. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS, VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
10. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION, AS DETERMINED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, CITY OF ALEXANDRIA.
12. GRADING CAN BE PERFORMED ON INSTALLATION OF UTILITIES.
13. ALL UTILITIES SUCH AS ELECTRICAL LINES, GAS PIPES, COMMUNICATION CABLES, INCLUDING WATER AND SEWER LATERALS ON PUBLIC AND PRIVATE PROPERTY IN THE CITY OF ALEXANDRIA SHALL BE PROVIDED WITH MINIMUM 3" WIDE 5 MIL OVERALL THICKNESS DETECTABLE UNDERGROUND WARNING TAPE (DUWT). THE DUWT SHALL BE INSTALLED AT DEPTHS OF 12" TO 18" FOR DUWT WIDTHS OF 3" AND 24" FOR WIDTHS OF 6" SO AS TO MAKE UNDERGROUND INSTALLATIONS EASY TO FIND USING A NON-FERROUS LOCATOR. THE DUWT SHALL BE WITH ALUMINUM BACKING OR SOLID ALUMINUM CORE LAMINATED WITH A PROTECTIVE CLEAR FILM ON BOTH SIDES, SEALING AND PROTECTING THE GRAPHICS FROM UNDERGROUND MOISTURE, ACIDS, ALKALIS, AND OTHER SOIL SUBSTANCES. ALL DUWT TAPES SHALL BE PRINTED IN BLACK INK ON AMERICAN PUBLIC WORKS ASSOCIATION (APWA) APPROVED COLORS TO MEET OR EXCEED INDUSTRY STANDARDS.

COLOR	CODES
RED	CAUTION BURIED ELECTRIC POWER LINES, CABLES, CONDUITS, AND LIGHTING CABLES
YELLOW	CAUTION GAS, OIL STEAM, PETROLEUM, OR GASEOUS MATERIALS
ORANGE	CAUTION COMMUNICATIONS, ALARM OR SIGNAL LINES, CABLES, OR CONDUITS
BLUE	CAUTION POTABLE WATER
PURPLE	CAUTION RECLAIMED WATER, IRRIGATION AND SLURRY LINES
GREEN	CAUTION SEWER, DRAIN LINES, AND FORCE MAIN

TREE NOTIFICATION LETTERS

TNT ENVIRONMENTAL

October 1, 2019

Mr. Alexander Evans and Ms. Stacey Luck
106 Stewart Avenue
Alexandria, VA 22301

TNT Project #: 1733

Reference: Adjacent Neighbor Notification Letter – 105 Randolph Avenue, City of Alexandria, Virginia

To Mr. Evans and Ms. Luck:

In general accordance with the City of Alexandria regulations and on behalf of the property owner at 105 Randolph Avenue and their civil engineer, R.C. Fields & Associates, we are writing this letter to notify you that due to the proposed development at 105 Randolph Avenue, some of the root system of your trees located along your shared boundary with this property may be impacted.

A TNT Environmental, Inc. (TNT) Certified Arborist conducted a visual evaluation of trees near the proposed development and has included those with critical root zones that extend onto 105 Randolph Avenue on the attached tree preservation plan. Based on the condition rating and size of your trees and their proximity to the proposed limits of disturbance associated with the project at 105 Randolph Avenue, your trees have a fair likelihood of survival post-construction.

The development will utilize tree protection fencing to protect offsite trees located near the proposed limits of disturbance. The project is scheduled to start construction in December and last for approximately 8-12 months.

If you have any questions, please feel free to reach out to TNT at (703) 466-5123.

Sincerely,
TNT ENVIRONMENTAL, INC.

Meggan Sellers
Environmental Scientist
Meggan@TNTenvironmentalinc.com

Avi M. Sareen, PWS, PWD, ISA-CA
Principal/President
Avi@TNTenvironmentalinc.com

13898 Parkeast Circle, Suite 101, Chantilly, Virginia 20151
703-466-5123 TNTenvironmentalinc.com

TNT ENVIRONMENTAL

October 1, 2019

Ms. Barbara Dill
107 Randolph Avenue
Alexandria, VA 22301

TNT Project #: 1733

Reference: Adjacent Neighbor Notification Letter – 105 Randolph Avenue, City of Alexandria, Virginia

To Ms. Dill,

In general accordance with the City of Alexandria regulations and on behalf of the property owner at 105 Randolph Avenue and their civil engineer, R.C. Fields & Associates, we are writing this letter to notify you that due to the proposed development at 105 Randolph Avenue, some of the root system of your trees located along your shared boundary with this property may be impacted.

A TNT Environmental, Inc. (TNT) Certified Arborist conducted a visual evaluation of trees near the proposed development and has included those with critical root zones that extend onto 105 Randolph Avenue on the attached tree preservation plan. Based on the condition rating and size of your trees and their proximity to the proposed limits of disturbance associated with the project at 105 Randolph Avenue, your trees have a fair likelihood of survival post-construction.

The development will utilize tree protection fencing to protect offsite trees located near the proposed limits of disturbance. The project is scheduled to start construction in December and last for approximately 8-12 months.

If you have any questions, please feel free to reach out to TNT at (703) 466-5123.

Sincerely,
TNT ENVIRONMENTAL, INC.

Meggan Sellers
Environmental Scientist
Meggan@TNTenvironmentalinc.com

Avi M. Sareen, PWS, PWD, ISA-CA
Principal/President
Avi@TNTenvironmentalinc.com

13898 Parkeast Circle, Suite 101, Chantilly, Virginia 20151
703-466-5123 TNTenvironmentalinc.com

WQIF APPROVAL LETTER:

DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES
Infrastructure and Environmental Quality
P.O. Box 178 – City Hall
Alexandria, Virginia 22313
www.alexandriava.gov

10/31/2019

RC Fields & Associates Inc
Attn: Daniel Mogollon
730 S. Washington St.
Alexandria, Virginia 22314

RE: 2403 Terrett Avenue
GRD2020-00006

Dear Daniel Mogollon:

This is in regard to your letter dated October 14, 2019 requesting to meet the Alexandria Water Quality Volume Default (WQVD) in a Resource Management Area per Article XIII, Section 13-109(E)(6) by treating 0 percent of the WQVD in the project area(s) through stormwater quality controls (structural BMPs) and by participating in the City's Water Quality Improvement Fund (WQIF). You have requested to pay a fee in lieu of providing an onsite BMP as outlined in Article XIII, Section 13-110(A)(2). You have agreed to provide a monetary contribution of $4832.00 (24166square feet impervious surface x $2/square foot) to the Alexandria WQIF. This represents 100 percent of the overall WQVD left untreated.

Your request has been approved. The procedure now is to scan your request letter onto your final plan on a sheet that is labeled Stormwater Facility BMP Details or something similar. Your final plan will be eligible for approval when you have paid the fee ($4832.00). The approval of the plan (with your request therein) will act as the approval of your request.

Sincerely,

Melanie Mason
Principal Planner
T&ES Stormwater Management

TREE NOTIFICATION RECEIPTS

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT
Domestic Mail Only
For delivery information, visit our website at www.usps.com®.
OFFICIAL USE
Certified Mail Fee $
Extra Services & Fees (check box, add fee as appropriate)
Return Receipt (hardcopy) $
Return Receipt (electronic) $
Certified Mail Restricted Delivery $
Adult Signature Required $
Adult Signature Restricted Delivery $
Postage $
Total Postage and Fees $
Sent To: Alexander Evans and Mrs Stacey Luck
Street and Apt. No., or PO Box No.: 106 Stewart Ave
City, State, ZIP+4®: Alexandria VA 22301
Postmark Here
PS Form 3800, April 2015 PSN 7530-02-000-5047 See Reverse for Instructions

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT
Domestic Mail Only
For delivery information, visit our website at www.usps.com®.
OFFICIAL USE
Certified Mail Fee $
Extra Services & Fees (check box, add fee as appropriate)
Return Receipt (hardcopy) $
Return Receipt (electronic) $
Certified Mail Restricted Delivery $
Adult Signature Required $
Adult Signature Restricted Delivery $
Postage $
Total Postage and Fees $
Sent To: Ms Barbara Dill
Street and Apt. No., or PO Box No.: 107 Randolph Ave
City, State, ZIP+4®: Alexandria VA 22301
Postmark Here
PS Form 3800, April 2015 PSN 7530-02-000-5047 See Reverse for Instructions

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. AN EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES PRIOR TO ANY LAND DISTURBING ACTIVITY GREATER THAN 2,500 SQUARE FEET.
2. THE DEVELOPER AND CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM. AN EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED WITH THESE FINAL PLANS FOR APPROVAL BY T&ES FOR REFERENCE BY THE EROSION AND SEDIMENT CONTROL PERMIT. ALL EROSION / SEDIMENT CONTROL MEASURES WILL CONFORM TO THE CURRENT STANDARDS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA EROSIONS AND SEDIMENT CONTROL HANDBOOK (VESCH).
3. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
4. T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. CERTIFIED RESPONSIBLE LAND DISTURBER (CRLD) IS REQUIRED TO ATTEND PRE-CONSTRUCTION MEETING.
5. ALL EROSION AND SEDIMENT CONTROL MEASURE ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.
6. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
7. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS, THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY OF ALEXANDRIA.
8. ALL DISTURBED AREAS OF THE SITE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.
9. ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOOS AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.
10. AN EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED BY THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES PRIOR TO ANY LAND DISTURBING ACTIVITY GREATER THAN 2,500 SQUARE FEET.
11. THE DEVELOPER AND CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM. AN EROSION AND SEDIMENT CONTROL PLAN IS INCLUDED WITH THESE FINAL PLANS FOR APPROVAL BY T&ES FOR REFERENCE BY THE EROSION AND SEDIMENT CONTROL PERMIT. ALL EROSION / SEDIMENT CONTROL MEASURES WILL CONFORM TO THE CURRENT STANDARDS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA EROSIONS AND SEDIMENT CONTROL HANDBOOK (VESCH).
12. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) AND VIRGINIA REGULATIONS §4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
13. T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. CERTIFIED RESPONSIBLE LAND DISTURBER (CRLD) IS REQUIRED TO ATTEND PRE-CONSTRUCTION MEETING.
14. ALL EROSION AND SEDIMENT CONTROL MEASURE ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.
15. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
16. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS, THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY OF ALEXANDRIA.
17. ALL DISTURBED AREAS OF THE SITE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.
18. ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOOS AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.

DEMOLITION NOTES:

1. NO DEMOLITION CAN BEGIN UNTIL ALL EROSION AND SEDIMENT CONTROLS ARE IN PLACE, AND IS APPROVED BY AN EROSIONS AND SEDIMENT CONTROL INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES (T&ES).
2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED, TO ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
5. DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
6. PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
7. PRIOR TO COMMENCING NEW WORK, THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING ADJACENT AREAS. ALL ADJACENT AREAS DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE CITY OF ALEXANDRIA.
8. THE CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS AS PER THE REQUIREMENTS OF VIRGINIA DEPARTMENT OF TRANSPORTATION.
9. THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
10. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

RODENT ABATEMENT NOTE:

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION THAT WILL OUTLINE WHAT STEPS HAVE AND WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTROR CAN CONTACT THE ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION AT 703-746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION. PLEASE BE ADVISED ONCE ANY DEMOLITION HAS BEEN COMPLETED ANY ABOVE GROUND BAIT BOXES MUST BE RELOCATED TO WITHIN 50 FEET OF A STRUCTURE IN KEEPING WITH EPA REGULATIONS. IF THIS IS NOT POSSIBLE, THEY SHALL BE REMOVED AND REGULAR INSPECTIONS OF THE SITE CONDUCTED BY A VIRGINIA LICENSED PEST EXTERMINATOR TO ENSURE THE SITE REMAINS RODENT FREE.

GRASS SPECIFICATIONS:

GRASS MAY BE ESTABLISHED VIA SOD OR OVERSEEDING WITH STRAW MULCH. SOD SHOULD BE LOCALLY GROWN AND RECENTLY CUT TO ENSURE SURVIVAL (INSTALLED WITHIN 36 HOURS OF HARVEST). A TEST OF THE TOPSOIL SHALL BE PERFORMED PRIOR TO SEED OR SOD OPERATIONS TO ENSURE IT IS ADEQUATE TO SUPPORT SEED GERMINATION AND GRASS GROWTH. ANY SOIL CONDITIONERS OR FERTILIZERS REQUIRED WILL BE APPLIED PRIOR TO BEGINNING VEGETATIVE COVER OPERATIONS. A KENTUCKY 31, KENTUCKY BLUEGRASS OR TURF-TYPE TALL FESCUE SHALL BE UTILIZED. IF GRASS IS ESTABLISHED BY SEEDING THE RATE OF APPLICATION WILL BE 200-250 POUNDS PER ACRE. STRAW MULCH WILL BE APPLIED TO THE OVERSEEDED AREA AT A RATE OF 1 1/2 -2 TONS PER ACRE. MULCH MAY BE SPREAD WITH A MULCH BLOWER OR BY HAND.

THE NEWLY SEEDED OR SODDED AREAS SHALL BE SUPPLIED WITH ADEQUATE MOISTURE TO GERMINATE AND/OR ESTABLISH ITSELF INTO THE TOPSOIL BED. WATER APPLICATION SHOULD BE CAREFULLY CONTROLLED TO PREVENT EXCESSIVE RUNOFF.

SEQUENCE OF CONSTRUCTION:

1. INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS AND STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THIS PLAN.
2. INSTALL INLET PROTECTION AT EXISTING STORM DRAIN INLETS AS NECESSARY AND AS SHOWN ON THIS PLAN.
3. CONDUCT DEMOLITION AND CONSTRUCTION ACTIVITIES ACCORDING TO THE APPLICABLE PLANS.
4. AS CONTRIBUTORY DRAINAGE AREAS ARE STABILIZED AND WITH THE PERMISSION OF THE EROSION AND SEDIMENT CONTROL INSPECTOR, REMOVE INDIVIDUAL EROSION AND SEDIMENT CONTROL PRACTICES.
5. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL PRACTICES AS NECESSARY AND AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
6. UPON COMPLETION OF DEMOLITION, CONSTRUCTION AND LAND DISTURBING ACTIVITIES AND WITH THE APPROVAL OF THE EROSION AND SEDIMENT CONTROL INSPECTOR; REMOVE ALL REMAINING EROSION AND SEDIMENT CONTROL PRACTICES AND PROVIDE PERMANENT STABILIZATION ACCORDING TO APPROVED METHODS.
7. CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.

SEEDING SCHEDULE: (COASTAL PLAIN REGION)

PRACTICE	SPECIES	RATE	APPLICATION DATES
PERMANENT SEEDING (PS)	KENTUCKY 31 TALL FESCUE KENTUCKY BLUEGRASS TALL FESCUES (IMPROVED)	200-250 lbs./acre (4.5 – 5.5 lbs. per 1,000 sq. ft.	APPLY IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS FOR TIME OF YEAR APPLICABILITY. UTILIZE TEMPORARY SEEDING UNTIL APPROPRIATE TIME TO APPLY PERMANENT SEEDING.

NOTE: REFER TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK FOR OTHER SEED VARIETIES THAT MAY BE APPLICABLE. OTHER SEED VARIETIES AND MIXES MAY BE UTILIZED IF THERE IS A PROBLEM WITH PRODUCT AVAILABILITY. CONTACT THE DESIGN ENGINEER AND/OR THE CITY INSPECTOR FOR THE APPLICABILITY OF OTHER SEED MIXTURES.

TURFGRASS SPECIFICATION NOTES:

TURFGRASS SPECIFICATION (SOD AND SEED) SHALL BE OF SUPERIOR SPECIFICATION AS APPROVED AND CERTIFIED BY THE VIRGINIA DEPARTMENT OF AGRICULTURE, VIRGINIA COOPERATIVE EXTENSION SERVICE AND/OR UNIVERSITY OF MARYLAND.

a. SOD
   i. OF A UNIFORM NON-VARYING DENSITY AND CONTINUOUS TEXTURE QUALITY CAPABLE OF GROWTH AND DEVELOPMENT IMMEDIATELY UPON INSTALLATION.
   ii. SPECIFIED FROM VARIETIES LISTED ON THE CURRENT VIRGINIA TURFGRASS VARIETY RECOMMENDATION FROM THE VIRGINIA COOPERATIVE EXTENSION OR UNIVERSITY OF MARYLAND RECOMMENDED TURFGRASS VARIETIES.
b. SEED
   i. PROCURE FROM NEW OF THE YEAR SEED CROPS, FREE OF FOREIGN MATERIAL OR WEED SEEDS.
   ii. REPLACEMENT OR OVERSEEDING MIXES SHALL MATCH OR COMPLEMENT ORIGINAL INSTALLATION.
   iii. PROVIDE CONTINUOUS UNIFORM AND CONSISTENT COVERAGE
   iv. SHALL BE 'BLUE TAG' CERTIFIED BY THE VIRGINIA CROP IMPROVEMENT ASSOCIATION (VCIA) TO BE FREE OF NOXIOUS WEEDS, NON-TURFGRASS PLANTS, UNSPECIFIED GROWTH, AND SOIL BORNE INSECTS AND DISEASE.
   v. SHALL BE LISTED ON THE CURRENT VIRGINIA TURFGRASS VARIETY RECOMMENDATIONS FROM THE VIRGINIA COOPERATIVE EXTENSION OR THE MARYLAND RECOMMENDED TURFGRASS VARIETIES.

PLAN NUMBER GRD2020-00005
APPROVED DATE 01/03/2020
Director of Transportation and Environmental Services

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EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

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COMMONWEALTH OF VIRGINIA
ALEX HOLLEMAN
Lic. No. 054281
DECEMBER 23, 2019
PROFESSIONAL ENGINEER

GRADING PLAN
LOT 20 & WEST 5 FT OF LOT 25
MOUNT VERNON
DEED BOOK 180, PAGE 252 (ARLINGTON COUNTY RECORDS)
(105 RANDOLPH AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
11/26/19	PER CITY COMMENTS
12/23/19	PER CITY COMMENTS

DESIGN: DM
CHECKED: RAW
SCALE: NO SCALE
DATE: OCTOBER 2019

STANDARD CITY NOTES

SHEET 9 OF 9
FILE: 19-111

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Fri, Dec 20 2019 - 4:37:32pm