

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Clare and Jen Little

LOCATION: Old and Historic Alexandria District
709 South Lee Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial), Certificate of Appropriateness with the condition that the new window on the main block be made of wood and comply with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2022-00007 & BAR #2022-00008
709 South Lee Street



0 15 30 60 Feet

Note: Staff coupled the applications for a Permit to Demolish (BAR #2022-00008) and Certificate of Appropriateness (BAR #2022-00007) for clarity and brevity. The Permit to Demolish requires a roll call vote.

UPDATE

The applicant came before the Board on July 1, 2020, for the demolition of the existing rear additions' roofs and walls to accommodate a second story addition at the rear, the project was then approved. However, the approval has expired as per Section 10-106 (B) of the zoning ordinance.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct a rear second and third stories addition, at 709 South Lee Street.

Permit to Demolish/Capsulate

The applicant proposes to remove the roofs of the existing two-story and one-story ells and a portion of the main building roof at the rear. Demolition includes approximately 250 square feet of the rear second story ell west and south walls, and 60 square feet on the first floor. A new window opening is also being proposed on the first floor of the existing ell brick addition. The proposed addition is functionally not visible from any public way. Furthermore, approximately 20 square feet of wall on the main block, south elevation, will also be demolished to accommodate a new window on the second story, west side (visible from the public way).

Addition (functionally not visible from any public way)

The existing approximately 29' x 10' rear ell footprint will not change. The applicant proposes to demolish the existing second story ell addition and build a new second and third story addition over the existing one-story ell addition. The existing brick walls on the first floor will be kept and the portion to be rebuilt, between the main building and the one-story addition, will be finished with salvaged brick to match the existing. The second and third floor addition will bump approximately 1 foot out from the first-floor existing walls on the south elevation and will be clad with smooth Hardie Lap siding with exposure to match the main building. The addition roof will be standing seam to match the main building and the windows will have a colonial grid configuration also to match the existing. The project calls for the construction of a second and third story addition over the existing one-story addition at the rear. The addition's south elevation wall will be recessed from the main building south elevation wall, therefore, not visible from a public way (Figure 1).

Alterations (visible from a public way)

The project calls to extend the existing rear masonry chimney and install a new six-over-six, double-hung window on the second story of the main block, west side.

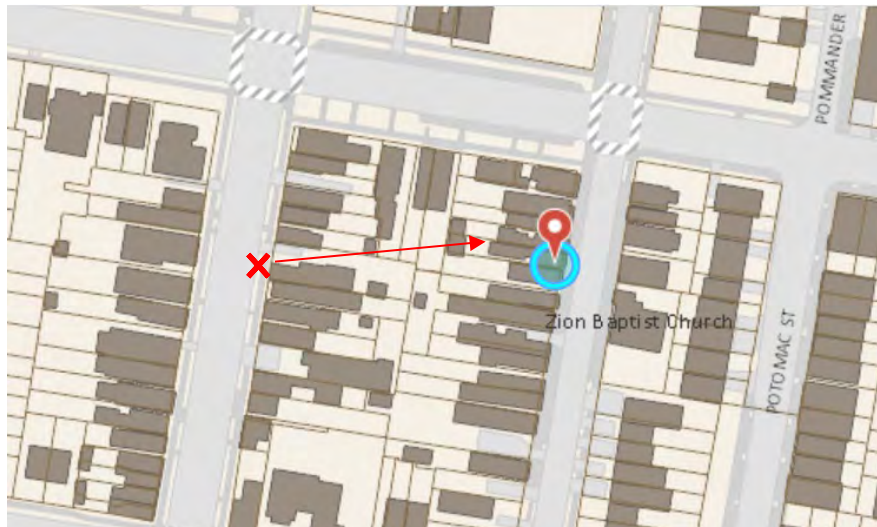


Existing ell addition's
roof eaves. The ell's
south elevation wall
is not visible.

Figure 1 - view from South Lee Street sidewalk

Site context

The property sits on the west side of the 700 block of South Lee Street. There is no alley or vacant lot adjacent to the property. However, the rear of the house is minimally visible from South Fairfax Street, from a certain angle, see map below and Figure 2.



The map above shows the only angle from South Fairfax Street from where the rear of the subject property is minimally visible from a public way, approximately 200 feet away. Therefore, staff determined that the rear of the property is functionally not visible, hence not under the BAR purview.



Figure 2 - Visibility from South Fairfax Street

II. HISTORY

This semi-detached, two bay, two-story, frame Colonial Revival dwelling was built **ca. 1902** when it first appears in the Sanborn Fire Insurance Map. The house features a side gable metal roof, six-over-six windows with operable shutters on the second story, a six-over-nine light configuration window on the street level, a six-panel front door with a transom and a classical door surround with pilasters. The Sanborn map of 1907 shows the two-story and one-story ell additions at the rear.

Previous BAR Approvals

A new rear addition was approved by the BAR in 1978.

May 11, 2010 – approval for a gas lantern (BAR2010-00110)

April 1, 2015 – approval for roof replacement (BAR2015-00084)

September 19, 2019 – approval for door replacement (BAR2019-0395)

July 1, 2020 – approval for demolition, approval expired (BAR2020-00249)

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met in this case and the Permit to Demolish/Capsulate should be granted. The building is considered an Early (built

before 1934) structure in the Old and Historic Alexandria District, however, most of historic fabric to be demolished is limited to the rear elevations and will not compromise the integrity of the main block. The materials and workmanship of the affected portions could be reproduced easily today.

Certificate of Appropriateness

According to the *Design Guidelines*, “As a general rule, the Boards favor contextual background buildings which allow historic structure to maintain the primary visual importance.” Furthermore, “It is not the intention of the Boards to dilute design creativity in residential additions. Rather, the Boards seek to promote compatible development that is, at once, both responsible to the needs and tastes of the late 20th century while being compatible with the historic character of the districts.”

Staff has no objection to the construction of a second and third stories addition above the existing one-story portion of the existing rear ell. The addition will be functionally not visible from the public way and will not detract from the historic character of the main historic building or the historic district. Furthermore, the Board routinely approves changes on the rear elevations of historic buildings to accommodate a more modern and functional interior layout as tastes and technology evolve. The existing rear elevations do not exhibit a high level of design or architectural detail as well. However, the proposed new window on the main historic block will be visible from South Lee Street and must follow the window policy, which requires that new or replacement windows on portions of the building built prior 1934 be made of wood in addition to comply with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*.

With the conditions above, staff recommends approval of the project.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 The property is currently deficient in open space. It provides 337 square feet of open space and is required to provide 519 square feet. The relocation of the existing air conditioning unit will slightly increase open space to roughly 345 square feet.

F-2 The property is a 14.83-wide lot of record in the RM zone and has no required side yard setbacks.

F-2 The proposed rear addition complies with zoning.

Code Administration

C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition if a separate demolition permit is required. (T&ES)
- R-2 The applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 No archaeological oversight will be necessary for this undertaking.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: 709 S LEE STDISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 081.03-01-07ZONING: RMAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*Name: Clare and Jen LittleAddress: 709 S Lee StCity: Alexandria State: VA Zip: _____Phone: _____ E-mail: clare.little1@verizon.netAuthorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____Name: Kurt WestPhone: 202-957-0933E-mail: kurt@westworkshop.com

Legal Property Owner:

Name: Clare and Jen LittleAddress: 709 S Lee StCity: Alexandria State: VA Zip: _____

Phone: _____ E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

DEMOLITION SCOPE TO INCLUDE THE REMOVAL OF AN EXISTING ROOF, WINDOWS, SIDING AND SELECTIVE MASONRY REMOVAL. NO DEMOLITION IS VIEWABLE FROM A RIGHT-OF-WAY.

NEW WORK TO SCOPE TO INCLUDE A SECOND FLOOR AND THIRD REAR ADDITION WITH NEW WINDOWS, METAL ROOFING, LAP SIDING AND MASONRY VENEER TO MATCH EXISTING.

A PREVIOUS CERTIFICATE TO DEMOLISH AND CERTIFICATE OF APPROPRIATENESS WAS APPROVED BY THE BOARD OF ARCHITECTURAL REVIEW JULY 2020. (SEE BAR #2020-00249) FOR A SIMILAR PROJECT. THIS APPLICATION IS FOR A LARGER DEMOLITION AND A LARGER BUILDING ADDITION THAN THE PREVIOUS APPLICATION.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ N/A
- ☒
☒
☒
☒
☐

☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ Description of the reason for demolition/encapsulation.
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: Kurt West

Date: 2022-01-06





Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. 709 S Lee St RM
Street Address Zone

A2. 1,483.00 x 1.50 = 2,224.50
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement		Basement**		B1. 1,743.00 Sq. Ft.
First Floor	695.00	Stairways**	56.00	Existing Gross Floor Area*
Second Floor	508.00	Mechanical**		B2. 586.00 Sq. Ft.
Third Floor		Attic less than 7'***	300.00	Allowable Floor Exclusions**
Attic	360.00	Porches**		B3. 1,157.00 Sq. Ft.
Porches		Balcony/Deck**		Existing Floor Area Minus Exclusions
Balcony/Deck		Lavatory***	50.00	(subtract B2 from B1)
Lavatory***		Other**		
Other**	180.00	Other**	180.00	
B1. Total Gross	1,743.00	B2. Total Exclusions	586.00	

Comments for Existing Gross Floor Area

We are excluding the carriage house (180sf) in

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement		Basement**		C1. 1,070.00 Sq. Ft.
First Floor		Stairways**	95.00	Proposed Gross Floor Area*
Second Floor	250.00	Mechanical**		C2. 240.00 Sq. Ft.
Third Floor	700.00	Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		C3. 830.00 Sq. Ft.
Porches		Balcony/Deck**	95.00	Proposed Floor Area Minus Exclusions
Balcony/Deck	120.00	Lavatory***	50.00	(subtract C2 from C1)
Lavatory***		Other**		
Other		Other**		
C1. Total Gross	1,070.00	C2. Total Exclusions	240.00	

D. Total Floor Area

D1. 1,987.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 2,224.50 Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. 337.00 Sq. Ft.
Existing Open Space

E2. 337.00 Sq. Ft.
Required Open Space

E3. 337.00 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: **2022-01-06**

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Clare Little	709 S Lee St	100
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Clare Little	709 S Lee St	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
N/A		
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the b
the information provided above is true and correct.

JAN 6, 2022

Date

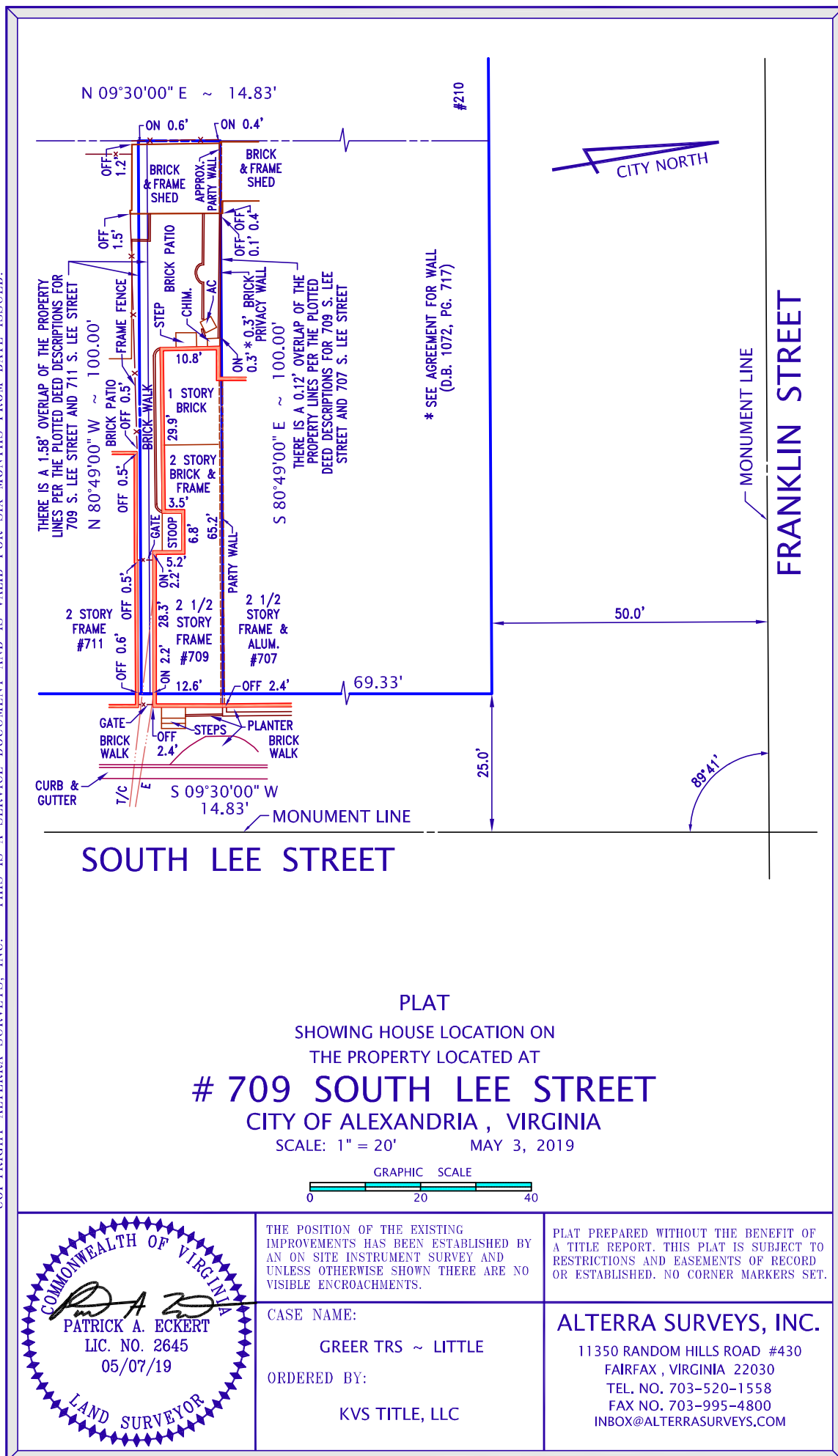
Kurt West

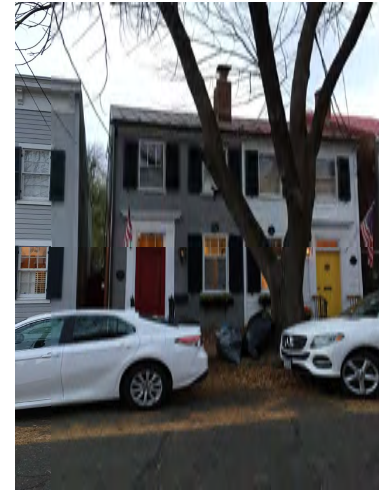
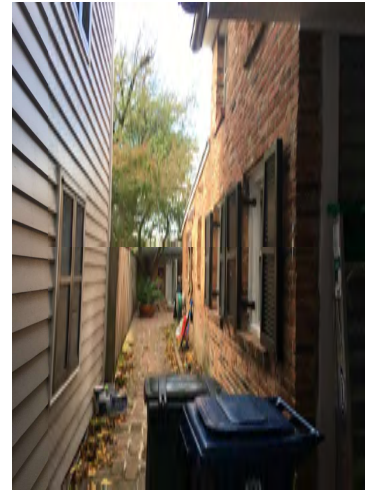
Printed Name

Signature



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KURT WEST, MBA
P: 202-667-0389
P: 919-447-0769
E: KURT@WESTWORKSHOP.COM

NO. 1, MD. = 95137
VA. 1, MD. = 640107003
DC. 1, MD. = AAC293704

LITTLE RESIDENCE ADDITION & ALTERATION

709 S. LEE ST.
ALEXANDRIA, VA 22314

DATE	DESCRIPTION
2022-01-03	BAR APPLICATION

REVISION:		
DATE	DESCRIPTION	NO.

EXISTING EXTERIOR PHOTOS

SHEET: _____

G002

NOT ALL EXISTING DEVICES ARE SHOWN, REFER TO ELEC AND MECH DWGS FOR BALANCE OF INFORMATION. PATCH ORYDWAY, REMOVE DEVICES ARE REMOVED.

1. TO BE REMOVED, DETACH FROM EXISTING CONSTRUCTION, REMOVED AS PART OF THE DEMOLITION WORK UNDER CONTRACT SHALL BE REUSED OR ORDERED TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL, UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEVICES AND THE DISPOSITION OF OPERATIONS.

2. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF ALL CONSTRUCTIONS AND EQUIPMENT SPECIFICALLY AS EXISTING TO REMAIN

3. WHEN DIRECTED TO REMOVE EXISTING MATERIAL, REMOVE ALL ITEMS ON, INCLUDING BUT NOT LIMITED TO, REBAR, FORMWORK, BRACING, AND PREPARE REPAIRS FOR EXISTING WORK FOR NEW REPAIRS, ALL ITEMS NOTED TO BE RUDE ARE TO BE STORED AND RETURNED TO THE ITEM OR TO THE CONTRACTOR FOR REUSE OR DISPOSAL. THE CONTRACTOR PROVIDES ALLOWANCE TO REPAIR, REPAIR ITEMS ARE NECESSARY

4. E.C. TO COORDINATE EXISTING OF EXISTING WORK WITH NEW WORK, ALL EXISTING MATERIALS TO BE REMOVED, DETACH FROM EXISTING CONSTRUCTION, REMOVED AS PART OF THE DEMOLITION WORK UNDER CONTRACT SHALL BE REUSED OR ORDERED TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL, UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEVICES AND THE DISPOSITION OF OPERATIONS.

5. EXISTING ITEMS DESTROYED OR DAMAGED BY THE CONTRACTOR DURING COURSE OF WORK TO BE RECONSTRUCTED TO ORIGINAL CONDITION AND WORKMANLIKE MANNER.

6. TO BE REMOVED, DETACH FROM EXISTING CONSTRUCTION, REMOVED AS PART OF THE DEMOLITION WORK UNDER CONTRACT SHALL BE REUSED OR ORDERED TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL, UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEVICES AND THE DISPOSITION OF OPERATIONS.

7. TO BE REMOVED, DETACH FROM EXISTING CONSTRUCTION, REMOVED AS PART OF THE WASTE-OFF, DEDICATE CARE AND USE METHOD OF DEMOLITION WHICH WILL NOT BE REUSED, DETACH FROM EXISTING CONSTRUCTION, REMOVED AS PART OF THE DEMOLITION WORK UNDER CONTRACT SHALL BE REUSED OR ORDERED TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL, UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEVICES AND THE DISPOSITION OF OPERATIONS.

8. TO BE REMOVED AND SALVAGED FOR REUSE, DETACH FROM EXISTING CONSTRUCTION AND DELIVER TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL, UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEVICES AND THE DISPOSITION OF OPERATIONS.

9. TO BE REMOVED AND SALVAGED FOR REUSE, DETACH FROM EXISTING CONSTRUCTION AND DELIVER TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL, UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEVICES AND THE DISPOSITION OF OPERATIONS.

10. REMOVE EXISTING FLOORING AND WALLS, AND PREPARE SUBGRADE SURFACE TO BE RECONSTRUCTED TO ORIGINAL CONDITION AND WORKMANLIKE MANNER.

11. REFER TO MECH DRAWINGS FOR MECH DEMOLITION SCAL

12. ALL SCAL REPAIRS SHOULD BE MARKED ON THE EXISTING SLAB. CONTRACTOR SHALL REPAIR NEW

- [illegible]

- [illegible]

[illegible]

	EXISTING CONSTRUCTION TO REMAIN
	REMOVE WALL OR PORTION OF WALL
	REMOVE WINDOW SASH, FRAME, AND TRIM
	REMOVE DOOR, FRAME, AND HARDWARE (OPEN)
	REMOVE FLOOR OR ROOF CONSTRUCTION, INCLUDING SLAB AND JOISTS (EXPOSE)



2 | DEMOLITION PLAN - SECOND FLOOR

1 | DEMOLITION PLAN - FIRST FLOOR

PROJECT NO.
2153A

LITTLE RESIDENCE ADDITION & ALTERATION

709 S. LEE ST.
ALEXANDRIA, VA 22314

ISSUE:	
DATE	DESCRIPTION
2020-05-01	RAD APPS INSTALL

REVISION:		
DATE	DESCRIPTION	NO.

SHEET TITLE:
DEMOLITION FLOOR PLANS

SHEET:
AD101

GENERAL DEMOLITION NOTES

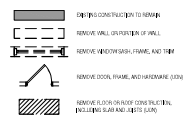
- NOT ALL EXISTING DEVICES ARE SHOWN. REFER TO ELEC AND MECH DWGS FOR BALANCE OF INFORMATION. PATCH DRYWALL WHERE DEVICES ARE REMOVED.
- ALL MATERIALS, FIXTURES AND EQUIPMENT (INCLUDING LIGHT FIXTURES) REMOVED AS PART OF THE DEMOLITION WORK UNDER CONTRACT SHALL BE REUSED OR ORDERED TO THE OWNERS REPRESENTATIVE PRIOR TO DISPOSAL. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE CAUSED BY ADJACENT FACILITIES IN DEMOLITION OPERATIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF ALL CONSTRUCTION AND EQUIPMENT SCHEDULED OR EXISTING TO REMAIN.
- WHERE DIRECTED TO REMOVE EXISTING PARTITION, REMOVE ALL ITEMS ON WALL, INCLUDING POWER AND SIGNAL TO NEAREST JUNCTION BOX (E.G. TO REPAIR), PREPARE REMAINING SURFACES FOR NEW FINISHES. ALL ITEMS NOTED TO REUSE ARE TO BE STORED AND PROTECTED ON SITE. ALL ITEMS TO BE IN GOOD WORKING ORDER PRIOR TO INSTALLATION. PROVIDE ALLOWANCE TO REPAIR / REPLACE ITEMS AS NECESSARY.
- E.G. TO COORDINATE EXTENT OF DEMOLITION WORK WITH NEW WORK, ALL EXISTING BLINDS / WINDOW COVERINGS TO REMAIN. EXISTING BLINDS SHALL BE WRAPPED IN PLASTIC AND PROTECTED DURING DURATION OF CONSTRUCTION ACTIVITIES.
- ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER. ANY EXISTING FINISHES DISTURBED OR DAMAGED BY THE CONTRACTOR DURING COURSE OF WORK SHALL BE REPAIRED TO MATCH EXISTING IN KIND AND FINISH.
- TO BE REMOVED - DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THE WASTE OFF-SITE. EXERCISE CARE AND USE METHODS OF DEMOLITION WHICH WILL NOT DAMAGE EXISTING ADJACENT OR SUPPORTING CONSTRUCTION WHICH IS TO REMAIN.
- TO BE REMOVED AND STORED - DETACH ITEMS FROM EXISTING CONSTRUCTION AND DELIVER THEM TO A STORAGE LOCATION ON THE CONSTRUCTION SITE AS DESIGNATED BY THE OWNER.
- TO BE REMOVED AND SALVAGED FOR FUTURE REINSTALLATION - DETACH ITEMS FROM EXISTING CONSTRUCTION. PREPARE ITEMS FOR REUSE. STORE IN SECURE AND DRY ENVIRONMENT, AND REINSTALL WHERE INDICATED ON PROPOSED WORK PLANS.
- UNLESS OTHERWISE NOTED, REMOVE EXISTING FLOORING AND WALLS, AND PREPARE SUBFLOOR SURFACE TO RECEIVE NEW SCHEDULED FINISH.
- REFER TO MEP DRAWINGS FOR MEP DEMOLITION SCOPE.
- ALL LEAD RESULTS SHOULD BE MARKED ON THE EXISTING SLAB. CONTRACTOR SHALL REVIEW AND DETERMINE THE BEST LOCATION FOR CORE DRILLS REQUIRED.
- ALL DEMOLITION WORK TO BE COORDINATED WITH THE OWNER, PROPERTY MANAGEMENT AND TENANTS SO AS NOT TO DISRUPT BUILDING OPERATIONS. USE FREIGHT ELEVATOR ONLY FOR CONVEYANCE OF MATERIALS.
- PROTECT ALL SERVICES DURING DEMOLITION AND CONSTRUCTION. CLEAN UPON COMPLETION OF CONSTRUCTION.
- ERECT AND MAINTAIN BARRICADES AND TEMPORARY LIGHTING AS REQUIRED BY APPLICABLE REGULATORY AGENCIES TO PROTECT OCCUPANTS OF BUILDING AND WORKERS, MAINTAIN ACCESS EGRESS AS REQUIRED.
- COORDINATE ORCHARD / REMOVAL OF DEBRIS FROM SITE WITH OWNER, DUMPSTER TO BE FURNISHED BY E.G. AND LOCATED BY LANDLORD AND PROPERTY MANAGEMENTS DIRECTION. VERIFY CLEARANCES. PROVIDE PLANKS TO ENCLOSURE OF FREIGHT ELEVATOR DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL VERIFY FIELD-CORRECTOR AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- CEASE OPERATIONS AND NOTIFY BUILDING IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE COMPROMISED. TAKE PRECAUTIONS TO PROPERTY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED. DO NOT REMOVE ANY EXISTING RE-PROOFING.
- SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION AND DETERMINE WHETHER ANY COMPRESSOR REPRESENTANT LINES ARE PRESENT THAT MUST BE PROPERLY SHUT DOWN PRIOR TO DEMOLITION.
- PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENT.
- DEMOLISH IF AND ONLY IF AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. INCLUDING WORK REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. MAINTAIN A CLEAR WORK AREA AND ACCESS TO OTHER AT ALL TIMES.
- PERFORM DEMOLITION IN ACCORDANCE TO APPLICABLE AUTHORITIES HAVING JURISDICTION.
- REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.
- ALL MATERIALS TO BE REMOVED AND REUSED SHALL BE TAKEN DOWN WITH CARE AND STORED IN A SECURE PLACE. ANY ITEMS DAMAGED ARE TO BE REPLACED TO MATCH EXISTING.
- NO STRUCTURAL ITEMS SHALL BE REMOVED U.O.N.

- CUT AND FIT COMPONENTS FOR ALTERATIONS OF EXISTING WORK AND INSTALLATION OF NEW WORK, PATCH, SPACKLE, AND SAND ALL WALLS REMAINING ADJACENT TO DEMOLITION AS NECESSARY TO MATCH ADJACENT MATERIALS AND FINISHES.
- UNLESS OTHERWISE NOTED, CONTRACTOR SHALL INCLUDE BUT NOT NECESSARILY BE LIMITED TO THE FOLLOWING ITEMS NOT INDICATED ON THE PLAN BUT INCLUDED IN SCOPE: GYPSPAN DRYWALL PARTITIONS AND CURBING, ACoustICAL CEILING & TRIM, CHAIRS, ALL FINISHES SUCH AS CARPET, VINYL, COMPOSITE TILE, RESILIENT BASE, REMOVED RESIDUE AND ADHESIVES, ALL HOLLOW METAL DOORS & FRAMES, ALUMINUM DOORS & FRAMES, WOOD DOORS & FRAMES, GLASS DOORS, DOOR & FRAME HARDWARE, GLAZING, ROUGH AND FINISH CARPENTRY, FINISH WORK, FURNITURE, CASEWORK, BRASS, ALL ELECTRICAL PARTITIONS TO BE REMOVED.
- CONTRACTOR SHALL REPAIR ALL SURFACES AND MAKE READY FOR NEW FINISHES AS REQUIRED DUE TO DEMOLITION.
- PROVIDE TEMPORARY EXTERIOR SAFETY RAILS AS REQUIRED AT ALL FLOOR OPENINGS OR CHANGES OF ELEVATION GREATER THAN 2'-0".
- SECURE ALL PRODUCTS TO REMAIN IN PLACE WITH POSITIVE ANCHORAGE DEVICES. SALVAGE ARE EXTINGUISHERS, CANNISTERS, EXIT LIGHTS, STORAGE LIGHTS, EMERGENCY LIGHTS, EMERGENCY LIGHTS, SMOKE DETECTORS AND BATTERY PACKS FOR REUSE WHERE INDICATED. SEE DISBURSING DRAWINGS.
- ALL ADJACENT AREAS AFFECTED BY DEMOLITION/RECONSTRUCTION SHALL RECEIVE FINISHES WHICH MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: CEILING (SUSPENDED ACoustICAL TILES OR GYPSUM BOARD), PAINT, WALL COVERINGS, RESILIENT AND WOOD BASE, CARPET AND ARCHITECTURAL WOODWORK.
- REMOVE ALL RECEPTABLES, FINISH, COVER PLATES, AND A BOXES UNLESS INDICATED TO REMAIN ON RECEPTACLE PLAN. EXISTING RECEPTABLES, FINISH, COVER PLATES AND A BOXES NOT SHOWN ON DEMOLITION PLAN SHALL BE REMOVED AND INCLUDED IN BASE PRICE. REPAIR ALL AFFECTED SURFACES.
- REMOVE EXISTING FIRE-LIFE-SAFETY DEVICES AS APPROPRIATE. SEE MEP NOTES.

DEMOLITION KEYNOTES

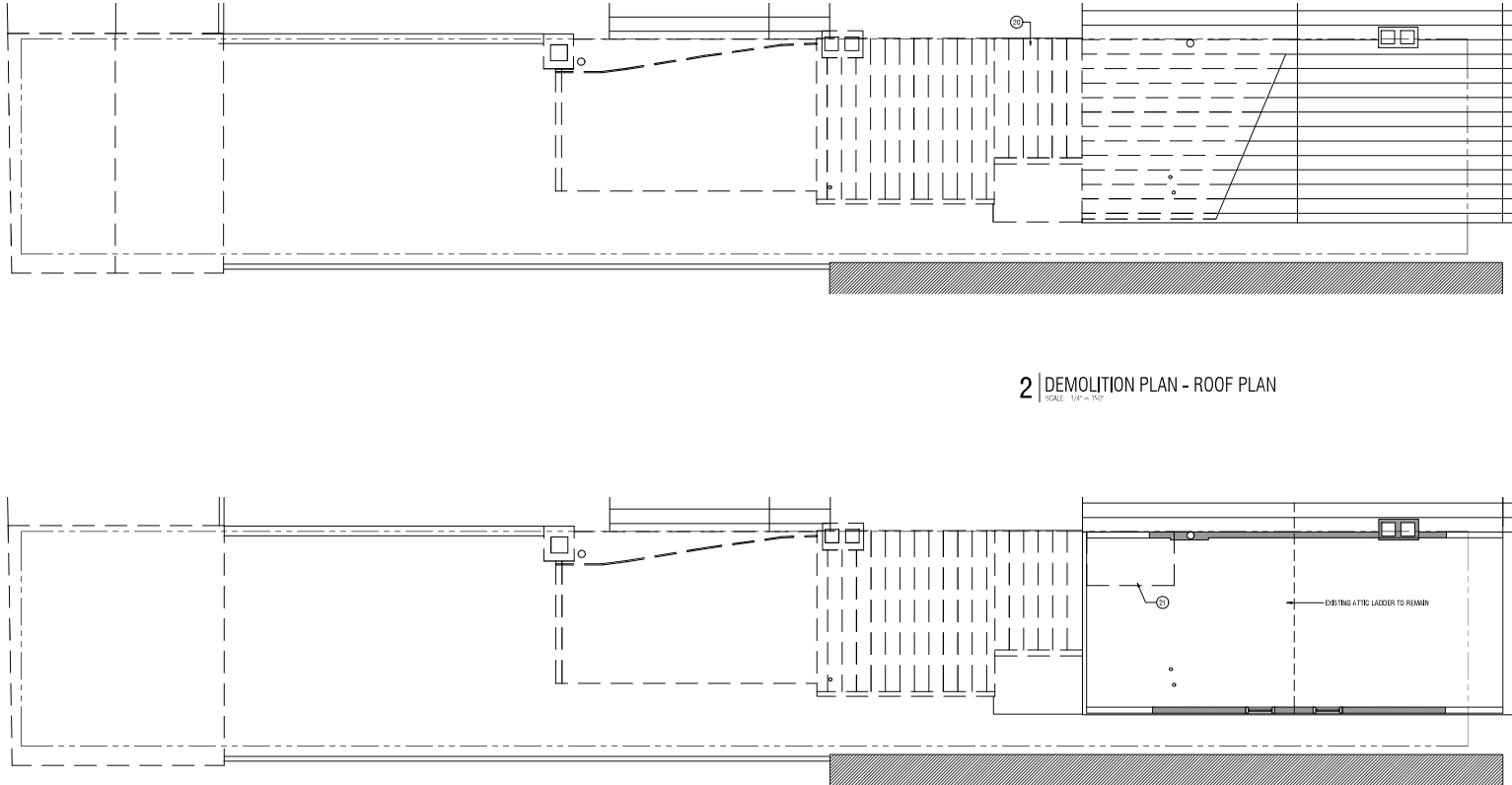
- EXISTING MECH STACK TO BE REMOVED. DUCT TO BE RECONSTRUCTED.
- EXISTING ROOFING AND ROOF FRAMING TO BE REMOVED. COORDINATE SCOPE W/ NEW WORK PLANS.
- EXISTING WINDOWS TO BE REMOVED IN THEIR ENTIRETY.
- PORTION OF MASONRY TO BE REMOVED. SEE ELEVATIONS.
- CASINGWORK TO BE REMOVED IN ITS ENTIRETY.
- WASHER DRYER TO BE RELOCATED. STORE FOR FUTURE USE.
- EXISTING FLOOR TO BE REMOVED.
- EXISTING POWER AND OR DRAIN LINES TO BE RELOCATED. E.G. TO VP.
- TOP OF EXISTING MASONRY CHIMNEY TO BE REMOVED FOR FUTURE EXPANSION. SEE ELEVATIONS.
- EXISTING MAIN TO BE REMOVED.
- EXISTING COPPER DOWNSPOUT AND GUTTER TO BE REMOVED IN THEIR ENTIRETY.
- EXISTING BENCH TO BE REMOVED AS SHOWN.
- PORTION OF EXISTING WALL TO BE REMOVED AS SHOWN.
- EXISTING TANKLESS WATER HEATER TO BE REMOVED.
- EXISTING DOOR AND FRAME TO BE REMOVED IN THEIR ENTIRETY.
- EXISTING OUTDOOR SLAB TO BE REMOVED.
- PORTION OF EXISTING EXTERIOR WALL TO BE REMOVED AS SHOWN.
- EXISTING COMPRESSOR TO BE RELOCATED.
- PORTION OF EXISTING ROOF TO BE REMOVED AS SHOWN.
- PORTION OF EXISTING ROOF FRAMING TO BE MAINTAINED AND REPLACE ROOFING.
- TO VERIFY EXISTENT WORK BEGINS.
- EXISTING ROOF CONSTRUCTION TO BE REMOVED AS SHOWN, COORDINATE W/ NEW WORK PLANS.
- PORTION OF ATTIC FLOOR FRAMING TO BE REMOVED FOR FUTURE STAIR.

GRAPHICS LEGEND



2 | DEMOLITION PLAN - ROOF PLAN

SCALE: 1/8" = 1'-0"



1 | DEMOLITION PLAN - ATTIC

SCALE: 1/8" = 1'-0"



401 WEST 4th
F. DUMAS
P. DUMAS
S. DUMAS
S. DUMAS
S. DUMAS

PROJECT NO.
2153A

LITTLE RESIDENCE
ADDITION & ALTERATION

709 S. LEE ST.
ALEXANDRIA, VA 22314

ISSUE:		
DATE	DESCRIPTION	
2024-01-03	ISSUE NO. 1	
REVISION:		
DATE	DESCRIPTION	NO.

SHEET TITLE:
DEMOLITION FLOOR PLANS

SHEET:
AD102

FLOOR PLAN GENERAL NOTES

- [illegible]

GRAPHICS LEGEND

-  EXISTING CONSTRUCTION
 CONSTRUCTION TO BE REMOVED
 NEW GYP. BOARD PARTITIONING
 NEW FACE BRICK WALL
 NEW CONCR. WALL
 EXISTING DOOR / NEW DOOR



PROJECT NO.
2153A

LITTLE RESIDENCE ADDITION & ALTERATION

709 S. LEE ST.
ALEXANDRIA, VA 22314

ISSUE

DATE	DESCRIPTION
2022-06-23	840,000,000

REVERSE

DATE	DESCRIPTION	NO.
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SHEET TITLE

PROPOSED FLOOR PLANS:

SHEET

A101



2 SECOND FLOOR PLAN

1 | FIRST FLOOR PLAN

- [illegible]

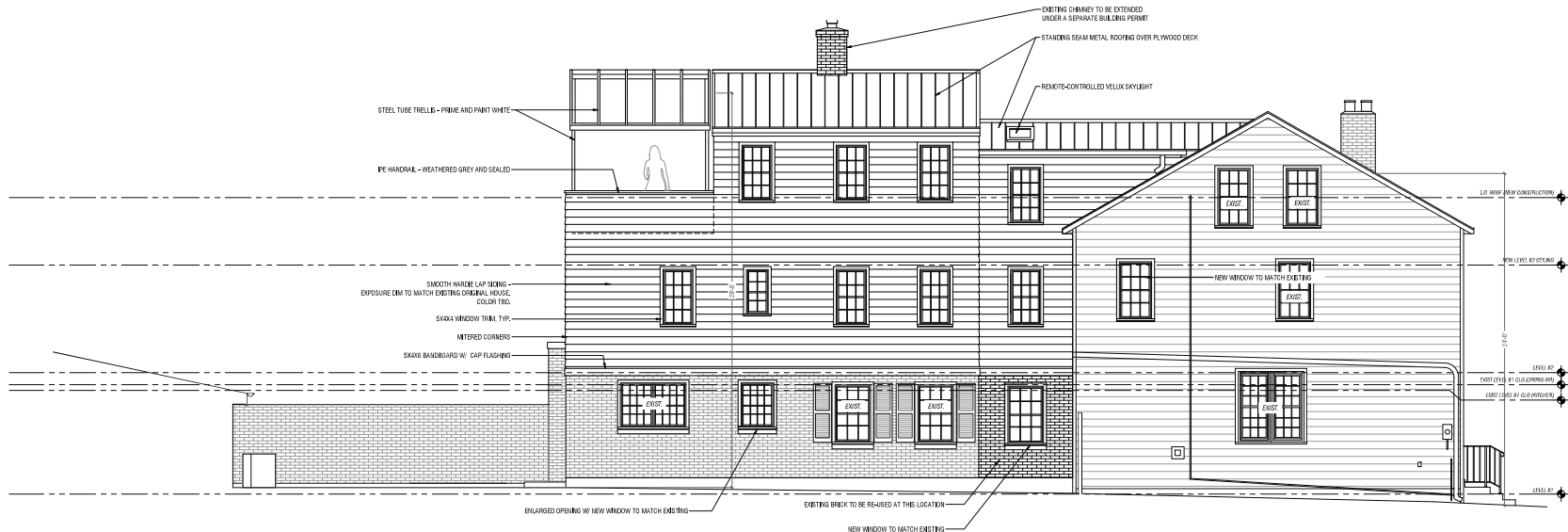
GRAPHICS LEGEND

-  EXISTING CONSTRUCTION
 CONSTRUCTION TO BE REMOVED
 NEW GYS. BOARD PARTITIONING
 NEW FACE BRICK WALL
 NEW CMU WALL
 EXISTING DOOR / NEW DOOR

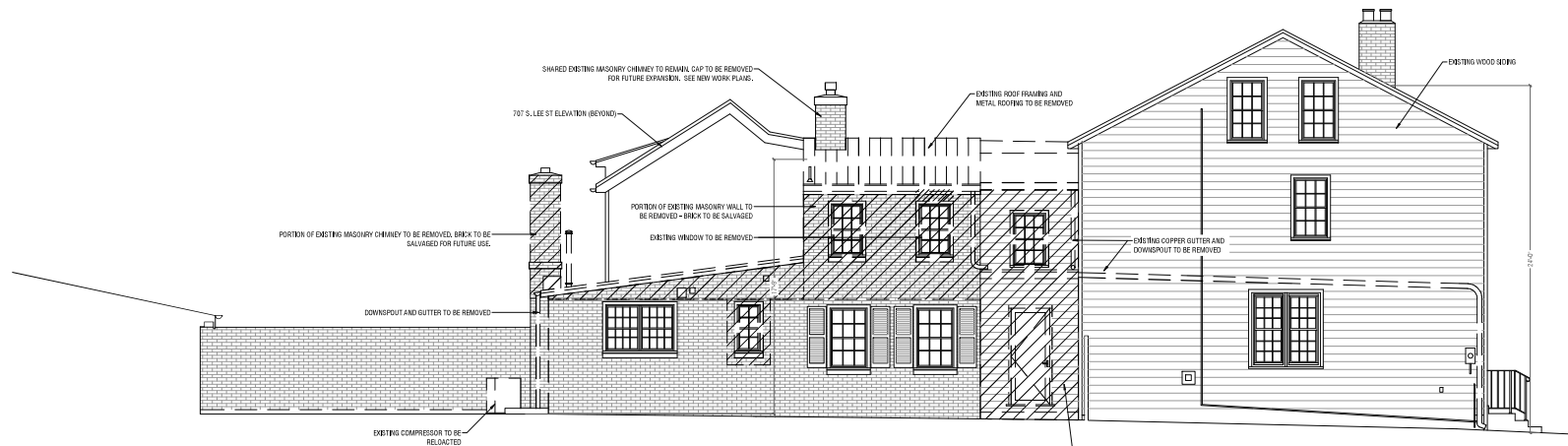


1 | ATTIC FLOOR PLAN





2 | SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



1 | SOUTH ELEVATION - EXISTING / DEMO
SCALE: 1/4" = 1'-0"



KURT WEST, AIA
P. JAMES LAM
P. BRAD SHAFER
P. KYLE WEST
SCALE: 1/4" = 1'-0"
DATE: 11/11/2021
PROJECT: 2153A

PROJECT NO.
2153A

LITTLE RESIDENCE
ADDITION & ALTERATION
709 S. LEE ST.
ALEXANDRIA, VA 22314

ISSUE:	
DATE	DESCRIPTION
2022-01-03	ISSUED FOR PERMIT

SHEET TITLE:
EXISTING AND PROPOSED ELEVATIONS

SHEET:
A201

NEXT GENERATION ULTIMATE DOUBLE HUNG

THE NEXT CHAPTER IN OUR STORY OF INNOVATION

Introducing the Next Generation Ultimate Double Hung Window from Marvin®. A classic, reinvented. With its innovative keeperless hardware system, multi-point locking system, lockable vent mode and other performance and aesthetic-enhancing improvements, this window seamlessly combines state-of-the-art technology with Marvin's legendary craftsmanship, without sacrificing the traditional double hung look. It's our most revolutionary window yet.

MARVIN WINDOWS
ALUMINUM CLAD
LOW E2



KEEPERLESS

HARDWARE SYSTEM

An industry first. We've eliminated the upper-sash keeper in favor of a more modern, streamlined system that controls all aspects of the double hung window's operation.

MULTI-POINT

LOCKING SYSTEM

This revolutionary multi-point system locks directly into the jambs of the window.

AUTO-LOCKING SYSTEM

The first system of its kind that automatically locks when the window is closed. An audible "click" tells you the window is locked. You'll never again forget to lock the windows.

VENT MODE

This innovative feature, which you'll only find on the Next Generation Ultimate Double Hung, allows you to lock the window with four inches of clearance.

PRIMED FOR PAINT

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.

HARDIE LAP SIDING WITH
MITERED CORNERS



AVAILABLE SIZES

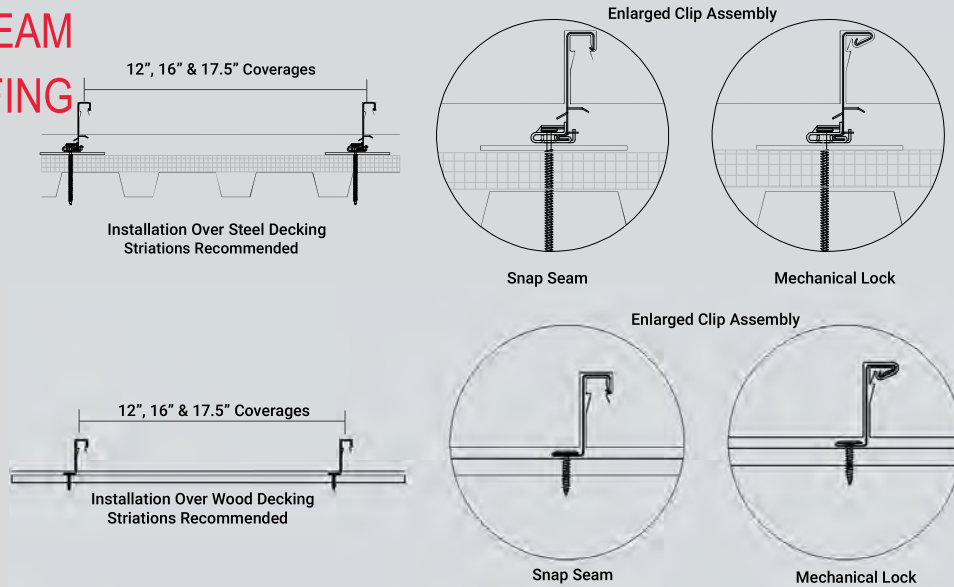
THICKNESS:	0.312"	
LENGTH:	144" boards	
WIDTHS:	6.25"	8.25"
EXPOSURES:	5"	7"
	12"	5.25"
	10.75"	4"
	7.25"	9.25"
	6"	8"

Warranty Information >

[Request a Quote >](#)

[Request a Sample >](#)

STANDING SEAM METAL ROOFING



Panel Overlap Detail Snap Seam Option



- 1. Clip System:** Fixed or Floating clip systems available
- 2. Substrate:** Can be used over open framing with a max span width of 60". Plywood substrate material shown.
- 3. Underlayment:** High Temp Ice & Water
- 4. Clip Relief**

Roof Coverage 12", 16" & 17.5"

Panel Gauges 22*, 24*

Fastener Options Concealed Clip System

Panel Length Up To 40' Shop Production
100'+ Run Onsite

Rib Height 2"

Roof Slope Minimum 3:12 in Snap Seam
Minimum 1/2:12 in Mechanical Seam
w/ Hot Melt Seam Mastic

Wind Uplift Rating ASTM E-1592 & UL580

Air Leakage ASTM E-1680

Water Penetration ASTM E-1646

Water Penetration under Static Water Pressure Head ASTM E-2140

Warranty Based on Paint System

* Grade 50

Version 1.1, 8/2020



Vented/Non-Vented Ridge Cap



Hip Ridge



W Valley



Transition - High to Low



Transition - Low to High



Open Prow Gable



Mini Gable



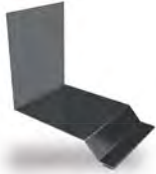
Eave



Style D Trim



Mini Top Cap



Sidewall



Endwall



Fascia



Offset Cleat



Z Metal



Rake Slide



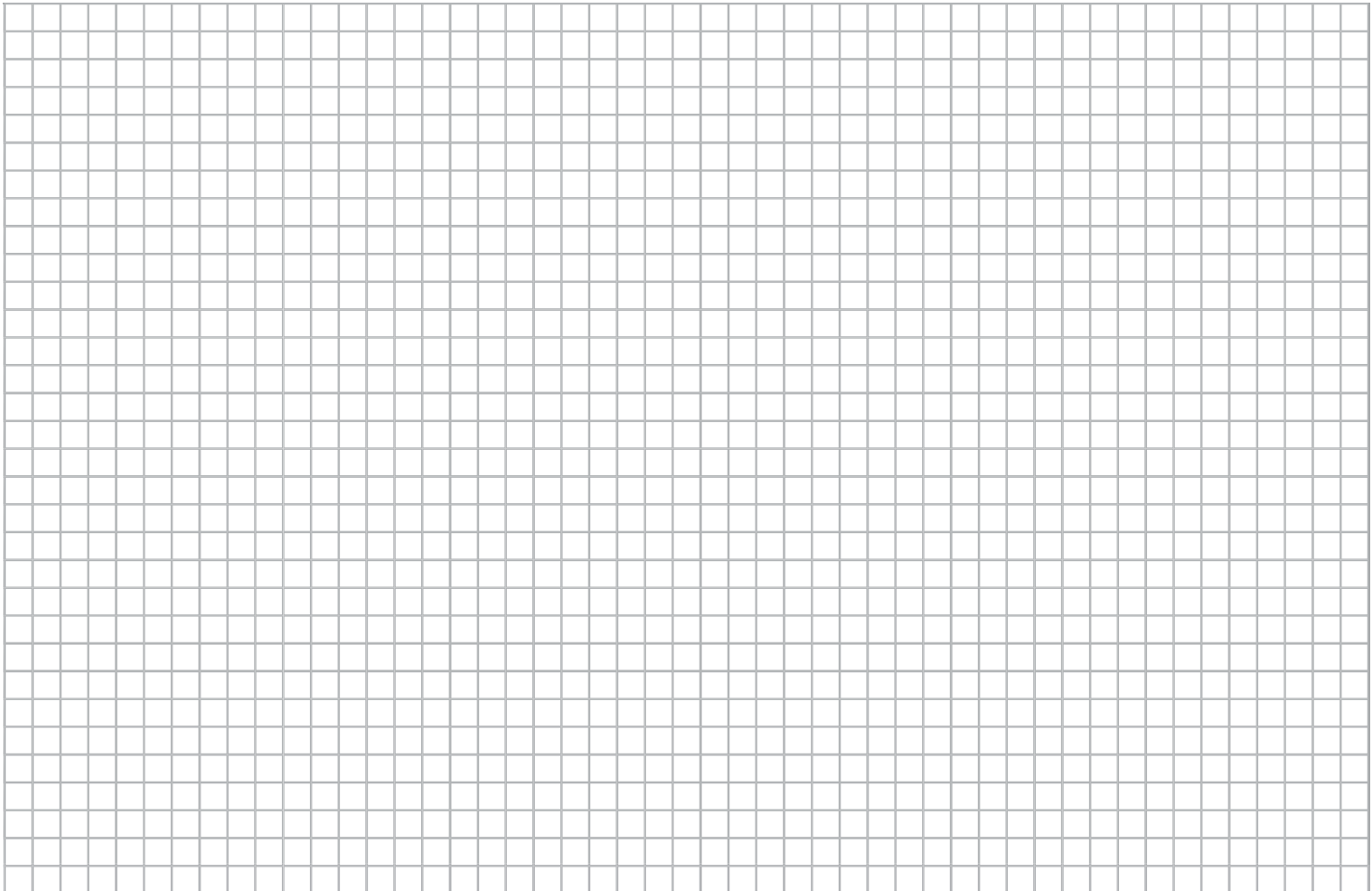
Vented Ridge Air Dam



Gutter Eave Trim



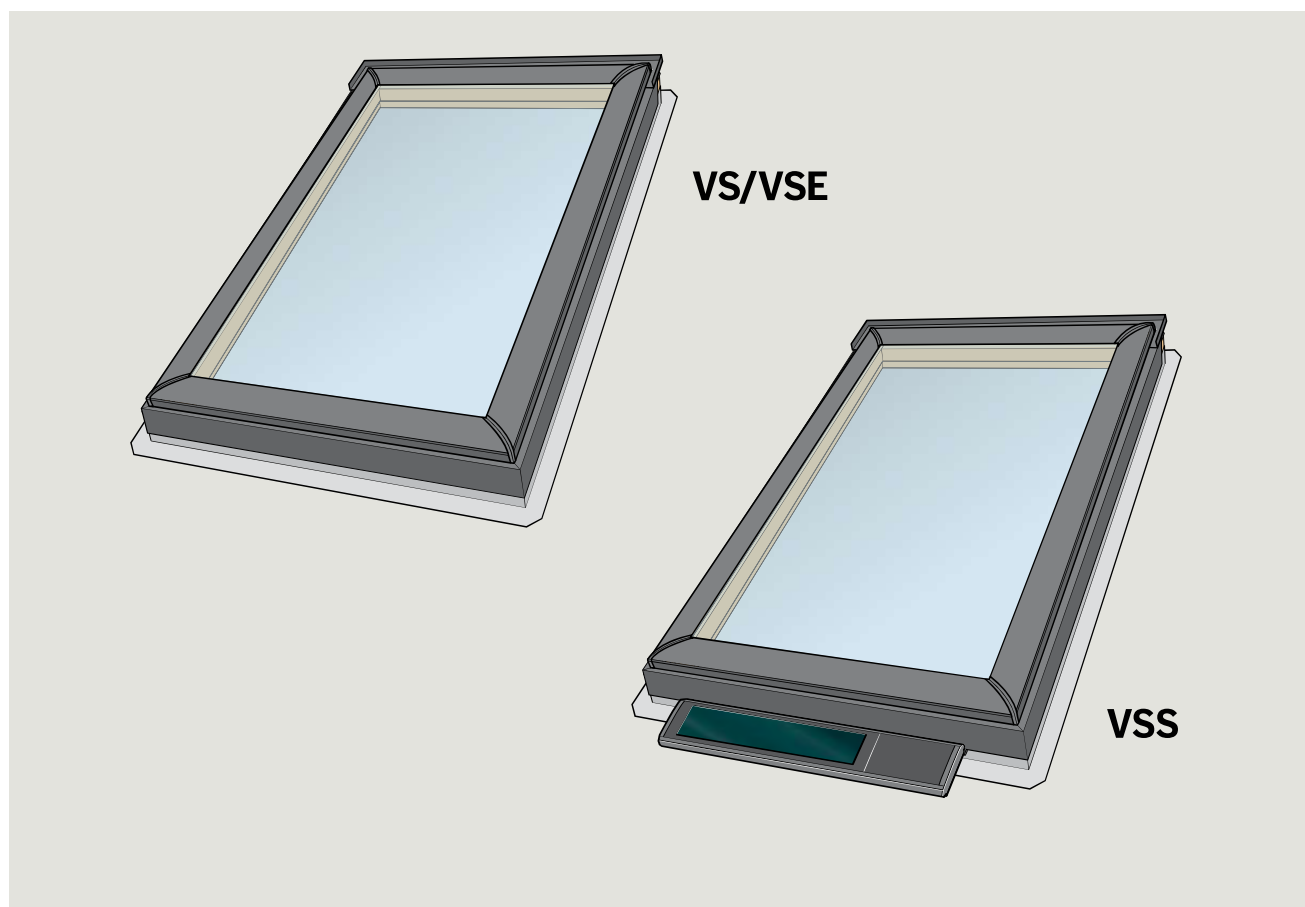
Gutter Strap



VELUX® VS

VELUX INTEGRA® VSE

VELUX INTEGRA® Solar VSS



ENGLISH: VS, VSE and VSS Deck Mounted Ventilated Skylight Installation Instructions

ESPAÑOL: Instrucciones de instalación para tragaluz de ventilación VS, VSE y VSS montado sobre tablero

FRANÇAIS: Instructions d'installation du puits de lumière ouvrant VS, VSE et VSS avec cadre intégré



VAS 454249-2017-11