

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Virginia Bennett and Scott Sekerke

LOCATION: Old and Historic Alexandria District
208 South Saint Asaph Street

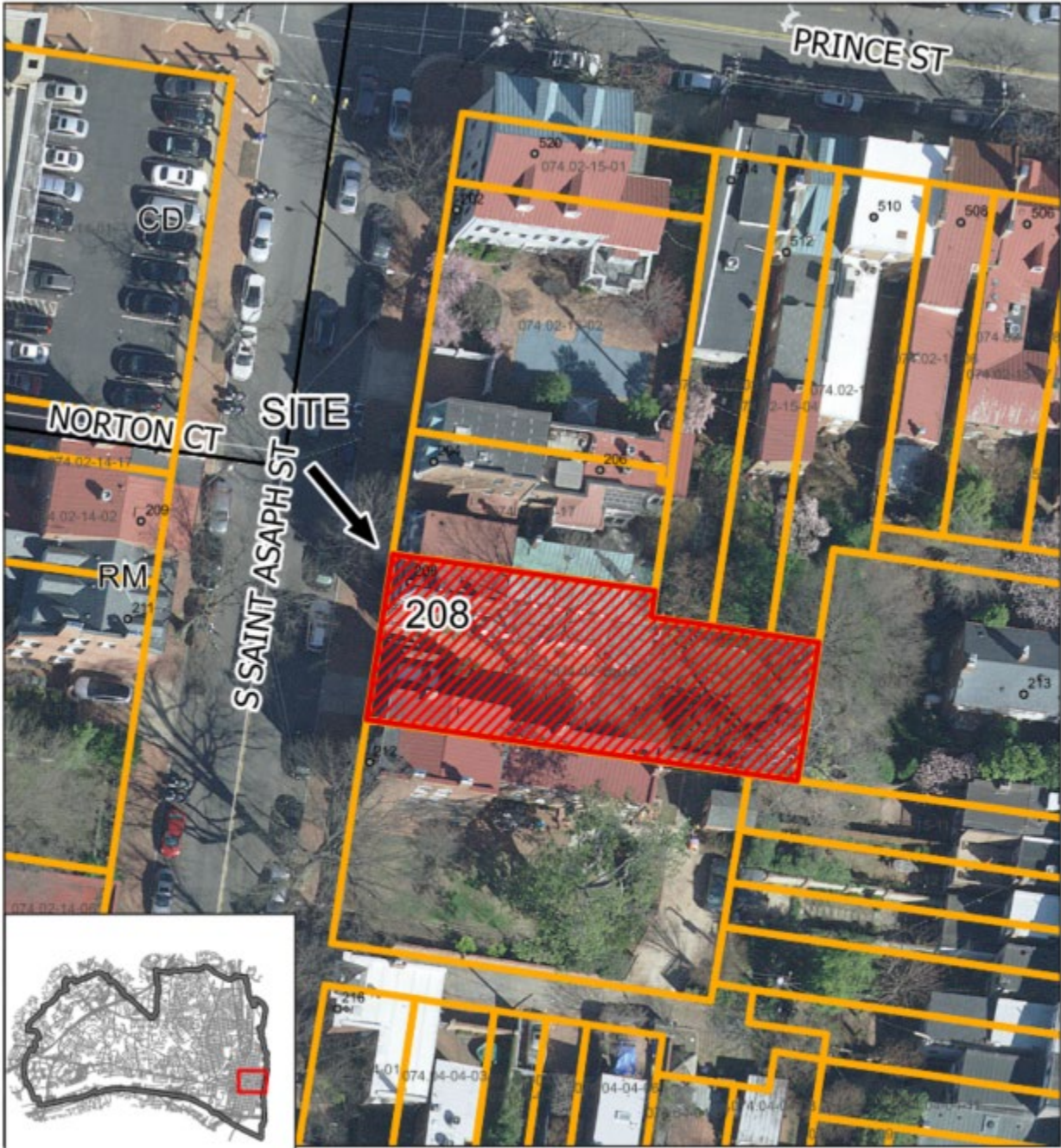
ZONE: RM/Townhouse zone


STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations as submitted.


GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.

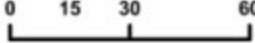




BAR #2022-00003 & BAR #2022-00004
208 South Saint Asaph Street



0 15 30 60 Feet



Note: Staff coupled the applications for a Permit to Demolish (BAR #2022-00004) and Certificate of Appropriateness (BAR #2022-00003) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to make various exterior modifications to the building, including replacing windows on the second floor, the expansion of an existing porch, and the installation of a cupola on an existing one-story section of the building.

Permit to Demolish/Capsulate

- Remove 5 windows on second floor south elevation of ell
- Remove portion of existing roof on single story addition for installation of a cupola.
- Remove 4 wood and glass doors from ground floor porch on south elevation, 3 of the doors to be reused on new porch enclosure.
- Remove existing steps and column at ground floor porch.
- Encapsulate portion of ground floor exterior wall due to enclosure of open porch.

Certificate of Appropriateness

- Enclosure of west end of existing first floor porch on south elevation of the ell. Removed doors to be used to enclose porch with trim to match existing.
- New brick steps leading to west end of enclosed ground floor porch.
- New painted wood cupola with copper standing seam metal roof on east end of single-story addition.

There are a number of proposed modifications to the building that comply with the *BAR Policies for Administrative Review* but are included in this application. These include the following:

- New wood windows to be installed in 5 locations on the second floor of the south elevation of the ell.
- Repair or replacement of existing shutters at second floor south elevation of the ell.

Site Context

The building sits in the center of the east side of the 200 block of South Saint Asaph Street. The front portion of the north elevation and the west elevation are visible from South Saint Asaph Street but there is no work proposed on these elevations. The south elevation of the existing ell, where the proposed modifications are located, is minimally visible from the public right of way because of an existing brick wall and the set back of this elevation from the main block of the house (Figure 1).



Figure 1: View of area of proposed work from South Saint Asaph Street

II. HISTORY

The three story, Second Empire Victorian style brick residence at 208 South Saint Asaph Street was constructed in 1870 by William H. McKnight, according to Historic Alexandria Virginia Street by Street (Cox, p. 161). William H. McKnight was the grandson of William McKnight, who owned one of the town's earliest taverns, on the northwest corner of King and Royal. A two-story brick, flounder style ell in the rear of the house runs along the north property line and appears to be original to the construction of the main house, based on its inclusion on the 1885 Sanborn Insurance map and a comparison of the brick bonding. For a period of time in the twentieth century, the building served as the "Manse for the Second Presbyterian Church."

The existing single-story addition to the south and east sides of the building was approved by the Board on June 16, 1993 (BAR 93-99). The Board approved modifications to the design of this addition on January 19, 1994 (BAR 94-16). The addition was completed in 1994.

Previous BAR Reviews

November 8, 1948 – Request for various improvements around the property including mention of the replacement or repair of several windows.

May 8, 1966 – BAR approved replacement of front steps

BAR 93-99 – BAR approved design for single - story addition to the south and east side of the building.

BAR 94-16 – BAR approved modifications to the design of the single-story addition

BAR 2014-00388 & 2014-00389 – BAR approved modifications to the single-story addition constructed in 1994.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design,	No

	educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	
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The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building.

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The select portions of the building proposed for demolition are not themselves of unusual or uncommon design.

Upon staff inspection, and consistent with issued building permits, the existing windows on the second floor of the south elevation appear to have been replaced in the 20th century. These windows do not contain any cylinder glass and appear to have modern joinery in lieu of the original mortice and tenon with wood peg. There is also evidence of a modern metal spring to assist in opening the windows instead of the pulley system associated with older windows. Staff did identify a window on the east elevation of the building that contains cylinder glass and older joinery techniques. Upon consultation with staff the replacement of this window has been removed from the proposed scope of work.

As noted above, the single-story addition to the ground floor of the south and east elevations was constructed in 1994 and then further modified in 2014 (Figure 2). This includes the exterior doors leading to the covered porch at the west end of the south elevation of the ell. The proposed demolition includes a portion of the roof of this addition, steps and a freestanding column, and the relocation of exterior doors. Since this work is clearly modern in nature, staff has no objection to the proposed modification.

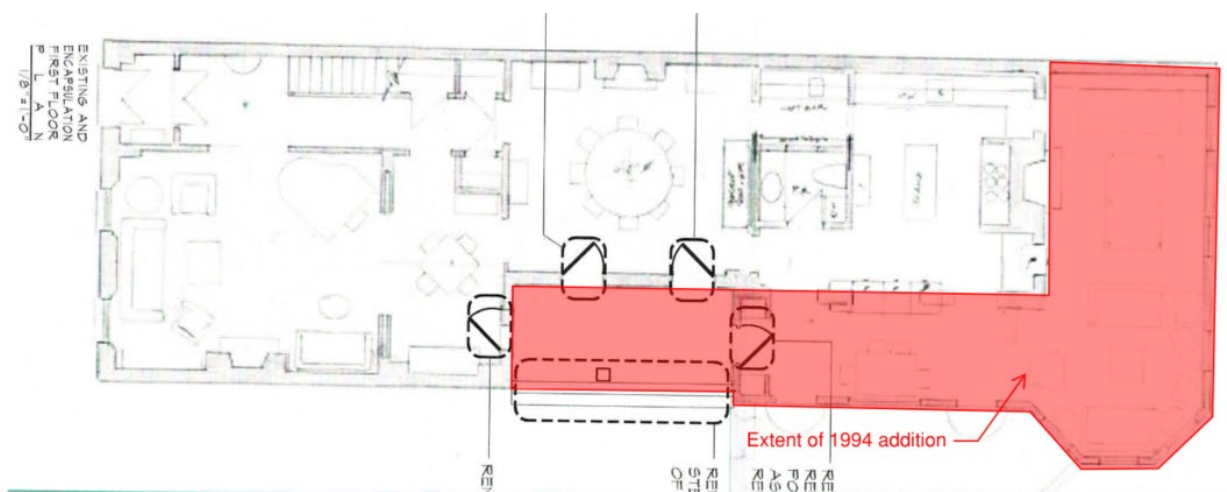


Figure 2: Existing ground floor plan showing extent of 1994 addition

Certificate of Appropriateness

Replacement Windows

The *BAR Policies for Administrative Approval in the Old and Historic Alexandria District* indicates that for “buildings or portions of buildings constructed before 1932 with previously replaced windows... Historically appropriate multi-light sash must be single glazed wood windows on street facing elevations, on non-street facing elevations wood windows may be double-glazed.”

As stated above, staff has performed a visual inspection of the existing second floor windows on the south elevation and has determined that they are not original to the building and were likely installed during one of the 20th century renovations. The presence of float glass, window joinery, and the use of metal springs are all indicative of replacement windows. Per the administrative approval policy, the proposed replacement of these windows and the repair of the existing shutters do not require a full Board review. However, they are being included here for context and a general understanding of the overall scope of work. Staff supports the replacement of the windows and finds that they meet the requirements of the *Alexandria New and Replacement Window Performance Specifications*.

Porch renovation

The existing single story ground floor addition on the south and east elevations of the building was originally built in 1994 with some minor subsequent modifications in 2014. The design for this addition includes a series of tall wood and glass doors centered between decorative pilasters with arched trim heads and wood siding between the pilasters and the doors. An octagonal form is located at the east end of the addition wrapping the corner with the south elevation. At the west end of the elevation, the final two bays of the addition were left open, creating an open porch with wood and glass doors matching those on the elevation providing access from the interior (Figure 3).



Figure 3: Existing single story ground floor addition and porch

The applicant is proposing two modifications to the existing single story ground floor addition. On the west end of the addition, the applicant is proposing to enclose the open porch by relocating the existing wood and glass exterior doors currently providing access to the porch from the interior of the building to the east elevation of the addition to match the other full height doors along this elevation. The relocated doors will be set into an exterior wall matching the design of the existing addition in detailing and in material. These doors will be centered in bays of pilasters with arched heads and wood siding. The pair of doors on the west end of the addition will be operable and will be accessed through the introduction of new brick exterior steps. Another pair of doors will be fixed in place, matching a similar bay further to the east on the addition (Figure 4).

The applicant is also proposing the installation of a cupola on top of the octagonal portion of the addition at the east end of the structure. The cupola will be octagonal in plan to match this portion of the addition and will be built from painted wood trim and copper standing seam roof to match the trim and roof on the existing addition (Figure 4). The cupola is being added to this portion of the addition to bring light into this portion of the home.

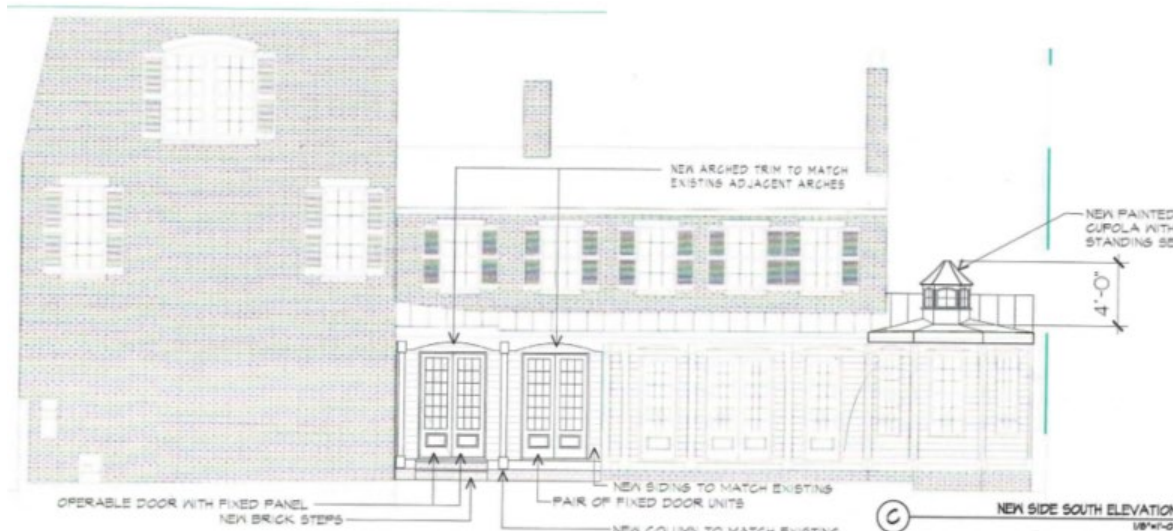


Figure 4: Proposed modifications to existing single story ground floor addition

Staff supports the proposed modifications to the existing addition. The enclosure of the existing porch will result in a consistent elevation, using materials that match the remainder of the addition. Since the wood and glass doors to be relocated were installed at the same time as the other doors at the exterior of the addition, they will match entirely. Along with the enclosure of these two bays using pilasters, arched trim, and wood siding, the addition will appear to have originally been designed with this appearance in mind. The introduction of the cupola to the east end of the addition is a higher style element than typically included in a modest addition. However, in this case, staff supports this element as it is clearly separate from the main body of the historic structure and does not detract from its architectural integrity. It also creates a successful endpoint to the east elevation and reinforces the transition to the east elevation of the building. The existing addition features standing seam copper roofing and painted wood trim. Staff supports the use of these materials on the cupola as well, giving the composition a balanced and consistent impression. Both the enclosure of the open porch and the introduction of the cupola are modifications to an addition constructed in 1994 and modified in 2014. As such, staff finds that the proposed

modifications do not impact historic fabric. The design of the proposed modifications is consistent with the architectural language of the existing addition and staff finds the design to be successful. With these factors, staff supports the proposed modifications and recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations as submitted.

STAFF

Bill Conkey, AIA, Historic Preservation Architect, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Code Administration

C-1 A building permit and plan review are required prior to the start of construction

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan, it is suggested that T&ES be included in the review. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- R-1 No archaeological oversight necessary for this undertaking

V. ATTACHMENTS

- 1 – Application Materials*
- 2 –Supplemental Materials*

BAR Case # 2022-00003 - BAK
2022-00004 - demolition

ADDRESS OF PROJECT: 208 S. St. Asaph St.

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker - Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 074.02-15-16

ZONING: RM

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business (Please provide business name & contact person)

Name: Virginia Bennett; Scott Sekerke

Address: 208 S. St. Asaph St.

City: Alexandria State: VA Zip: 22314

Phone: 703.304.3705 E-mail: vibennett@gmail.com

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ _____

Name: Robert B. Adams AIA

Phone: 703.626-0767

E-mail: bud.adamsarchitects@gmail.com

Legal Property Owner:

Name: Sekerke, Scott / Bennett, Virginia

Address: 208 S. St. Asaph St.

City: Alexandria State: VA Zip: 22314

Phone: 703.304.3705 E-mail: vibennett@gmail.com

- ☒ Yes ☐ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: Please check all that apply

- ☒ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: Please check all that apply.
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

Existing side porch enclosure, encapsulating existing exterior brick walls to remain. Existing doors shall be reused @ new exterior wall. Siding and detailing to match adjacent existing enclosed porch. A new Cupola is added at the existing octagonal bay of the enclosed porch. Replace rear wing second floor windows in same mutin pattern.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: _____, Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
owner shall present @ BAR
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Robert B. AdamsPrinted Name: Robert B. Adams, AIADate: 1-4-22

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Scott Sekerke	208 S. St. Asaph	50%
2. Virginia Bennett	"	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 208 S. St. Asaph (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.	see above	
2.	same	
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.	n/A	
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1-3-22
Date

Robert Ben Hey Adams
Printed Name

RBH
Signature

Note: existing side porch enclosure is already a covered area.



Department of Planning & Zoning
Floor Area Ratio and Open Space Calculations

B

A. Property Information			
A1.	208 S. St. Asaph St.	R-20	RM
Street Address		Zone	
A2.	5,334 sf.	x	1.5
Total Lot Area		Floor Area Ratio Allowed by Zone	
		=	0.00 8,001 sf.
		Maximum Allowable Floor Area	

B. Existing Gross Floor Area			
Existing Gross Area		Allowable Exclusions**	
Basement	(654.73)	Basement**	(654.73)
First Floor *	1,685.54	Stairways**	260.
Second Floor	1,246.73	Mechanical**	107.
Third Floor	654.73	Attic less than 7'***	ENCLOSED
Attic		Porches**	(113.96)
* OPEN (1st FLOOR) PORCHES INCLUDED		Balcony/Deck**	
Balcony/Deck		Lavatory***	180.
Lavatory***		Other**	
Other**		Other**	
B1. Total Gross	0.00 3,587	B2. Total Exclusions	0.00 547.

C. Proposed Gross Floor Area			
Proposed Gross Area		Allowable Exclusions**	
Basement	644	Basement**	(644)
First Floor	1,685.54	Stairways**	260
Second Floor	1,246.73	Mechanical**	107
Third Floor	654.73	Attic less than 7'***	-
Attic	N/A	Porches**	(113.96)
Porches	(113.96)	Balcony/Deck**	-
Balcony/Deck		Lavatory***	180
Lavatory***		Other**	-
Other		Other**	-
C1. Total Gross	0.00 3,587.	C2. Total Exclusions	0.00 547.

D. Total Floor Area		E. Open Space (RA & RB Zones)	
D1.	0.00 6080 Sq. Ft.	E1.	3648.5 Sq. Ft.
Total Floor Area (add B3 and C3)		Existing Open Space	
D2.	0.00 800 Sq. Ft.	E2.	1866.9 Sq. Ft.
Total Floor Area Allowed by Zone (A2)		Required Open Space	
		E3.	3648.5 Sq. Ft.
		Proposed Open Space	

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

Comments for Existing Gross Floor Area
*OPEN PORCH TO BE ENCLOSED = 113.96 SF

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

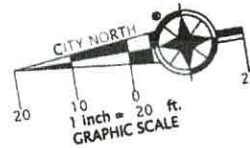
Signature:

Robert M. Mauer

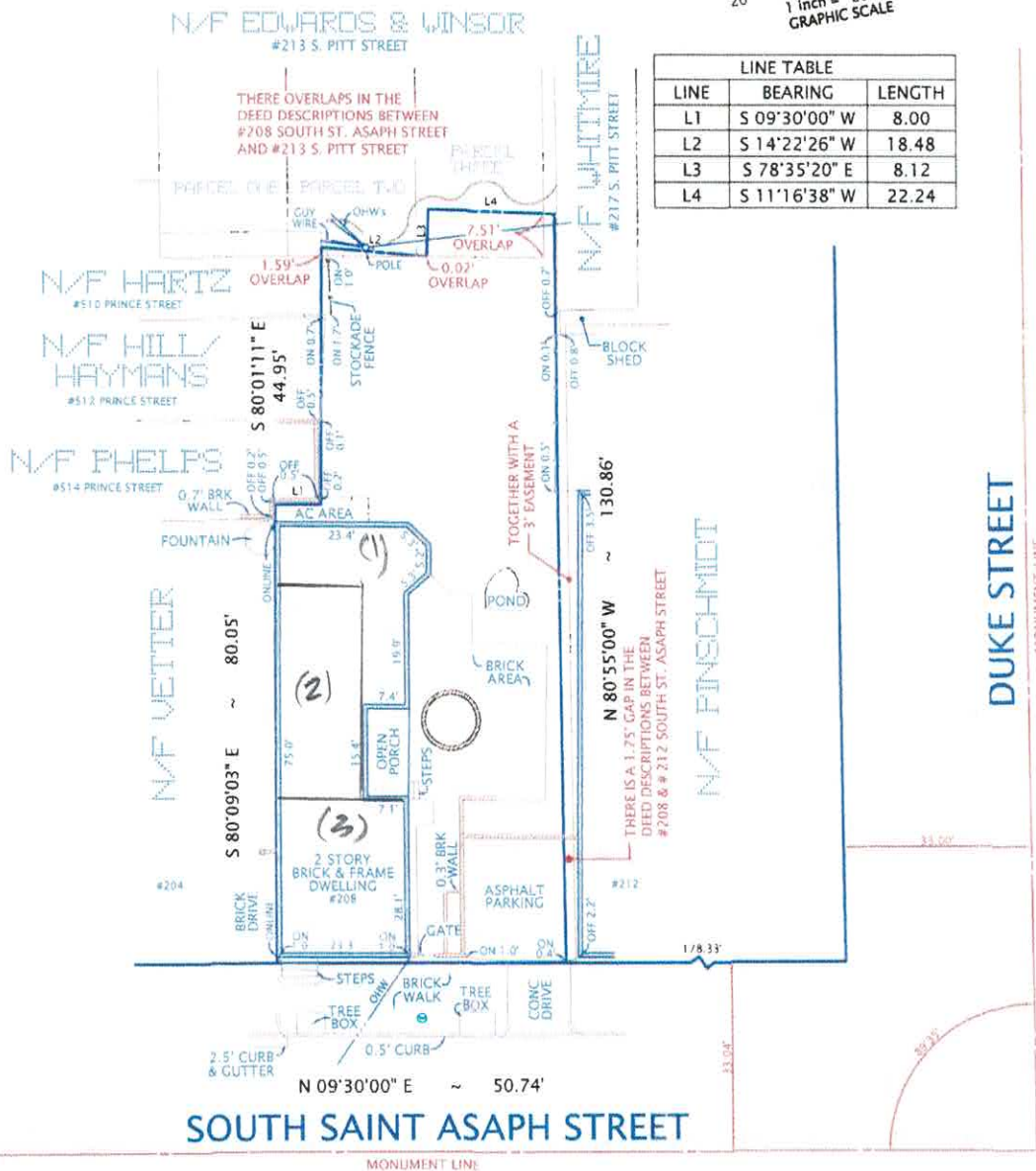
Date:

12-31-21

- NOTES: 1. FENCES ARE FRAME UNLESS NOTED.
2. WALLS ARE 0.7' BRICK UNLESS NOTED.
3. AREA = 6,001 SF



LINE TABLE		
LINE	BEARING	LENGTH
L1	S 09°30'00" W	8.00
L2	S 14°22'26" W	18.48
L3	S 78°35'20" E	8.12
L4	S 11°16'38" W	22.24



PLAT
SHOWING HOUSE LOCATION ON
THE PROPERTY LOCATED AT
#208 SOUTH SAINT ASAPH STREET

(INSTR. #180005302)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' MARCH 26, 2021

NOT TO SCALE

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

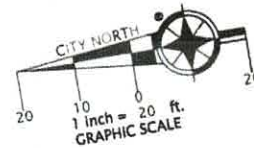
NO CORNER MARKERS SET



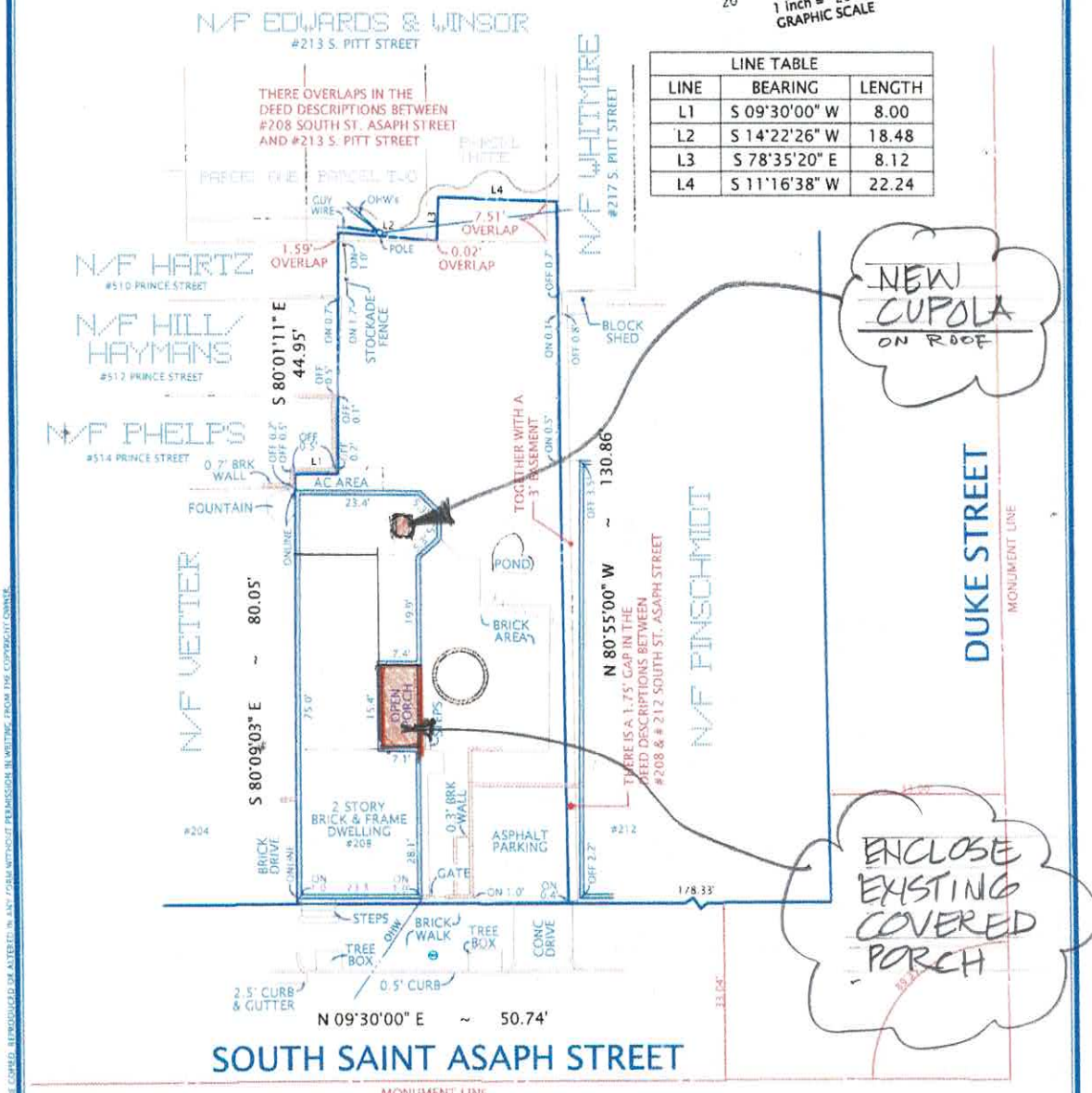
Ordered by:
L & B Land, Carroll & Blair
ATTORNEYS AT LAW EST. 1928
524 King Street
Alexandria, Virginia 22314
Phone: (703) 836-1100

DOMINION Surveyors Inc.®
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

- NOTES: 1. FENCES ARE FRAME UNLESS NOTED.
2. WALLS ARE 0.7' BRICK UNLESS NOTED.
3. AREA = 6,001 SF



LINE TABLE		
LINE	BEARING	LENGTH
L1	S 09°30'00" W	8.00
L2	S 14°22'26" W	18.48
L3	S 78°35'20" E	8.12
L4	S 11°16'38" W	22.24



SOUTH SAINT ASAPH STREET

NOT TO SCALE

PLAT
SHOWING HOUSE LOCATION ON
THE PROPERTY LOCATED AT
#208 SOUTH SAINT ASAPH STREET

(INSTR. #180005302)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' MARCH 26, 2021

<p>I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE</p>	<p>COMMONWEALTH OF VIRGINIA</p> <p>03/26/2021</p> <p>GEORGE M. O'QUINN</p> <p>LICENSE NO. 2069</p> <p>LAND SURVEYOR</p> <p><i>George M. O'Quinn</i></p>	<p>Ordered by:</p> <p>L C & B Land, Carroll & Blair Inc.</p> <p>ATTORNEYS AT LAW, Esq. WTB</p> <p>524 King Street Alexandria, Virginia 22314 Phone: (703) 836-1200</p>
<p>THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.</p> <p>A TITLE REPORT WAS NOT FURNISHED.</p> <p>NO CORNER MARKERS SET</p>	<p>DOMINION Surveyors Inc.®</p> <p>8808-H PEAR TREE VILLAGE COURT ALEXANDRIA, VIRGINIA 22309 703-619-6555 FAX: 703-799-6412</p>	

CASE NAME: ROBERTS - SEKERKE/BENNETT

CASE NO. 20-150

#210310041



REMOVE EXISTING
DOOR TO BE REUSED
IN NEW ENCLOSED
PORCH OPENING TO
REMAIN AS CASED
OPENING SIZE TO
REMAIN UNCHANGED

REMOVE EXISTING
DOOR TO BE REUSED
IN NEW ENCLOSED
PORCH OPENING TO
REMAIN AS CASED
OPENING SIZE TO
REMAIN UNCHANGED

REMOVE EXISTING DOOR TO BE
REUSED IN NEW ENCLOSED
PORCH OPENING TO REMAIN
AS CASED OPENING SIZE TO
REMAIN UNCHANGED

REMOVE EXISTING PORCH,
STEPS AND COLUMN AREA
OF ENCAPSULATION

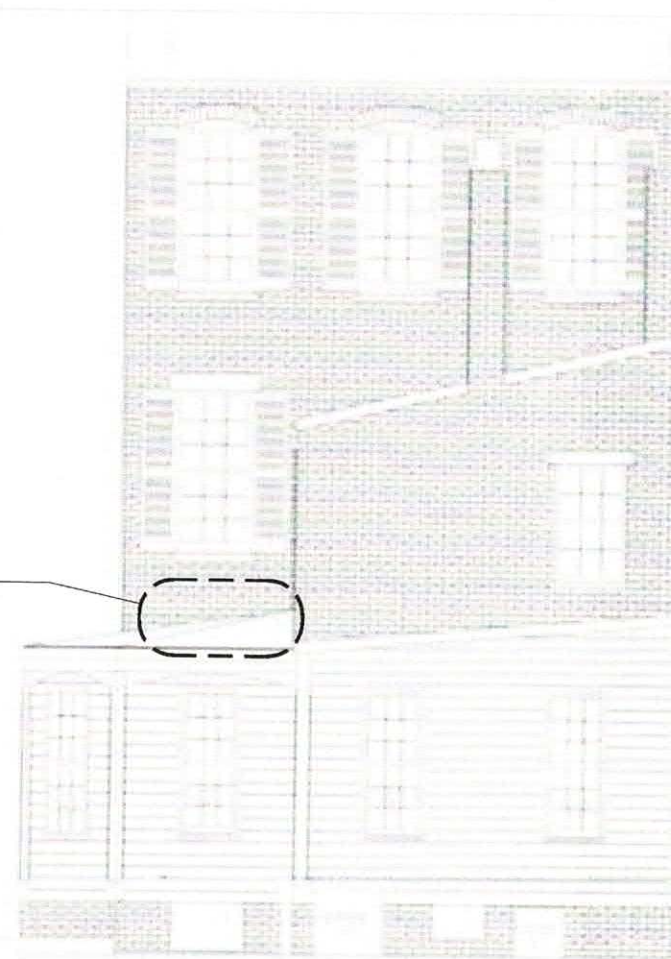
REMOVE DOOR UNIT

REMOVE EXISTING PORTION OF
ROOF FOR INSTALLATION OF
NE CUPOLA

EXISTING AND
ENCAPSULATION
FIRST FLOOR
P L A N
1/8"=1'-0"

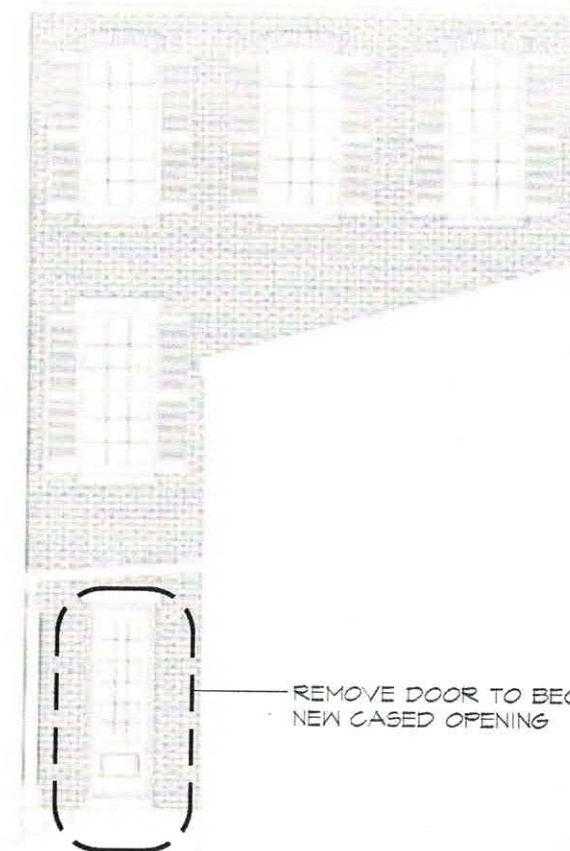
EXISTING AND
ENCAPSULATION
SECOND FLOOR
P L A N
1/8"=1'-0"

REMOVE PORTION OF EXISTING ROOF
TO ACCOMMODATE NEW CUPOLA



(A) EXISTING REAR EAST ELEVATION
1/8"=1'-0"

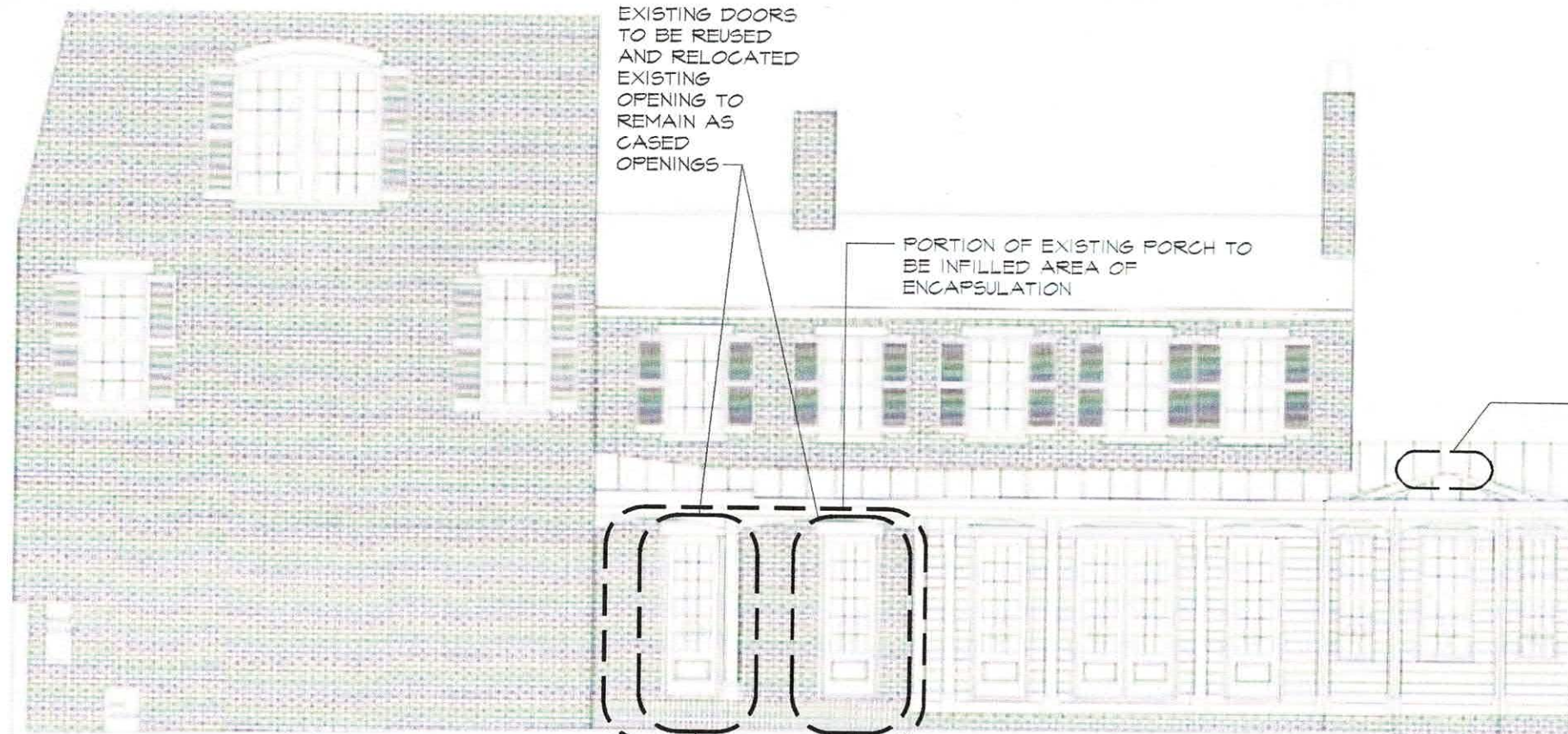
REMOVE DOOR TO BECOME
NEW CASED OPENING



(B) EXISTING REAR EAST ELEVATION/SECTION
1/8"=1'-0"

EXISTING DOORS
TO BE REUSED
AND RELOCATED
EXISTING
OPENING TO
REMAIN AS
CASED
OPENINGS

PORTION OF EXISTING PORCH TO
BE INFILLED AREA OF
ENCAPSULATION

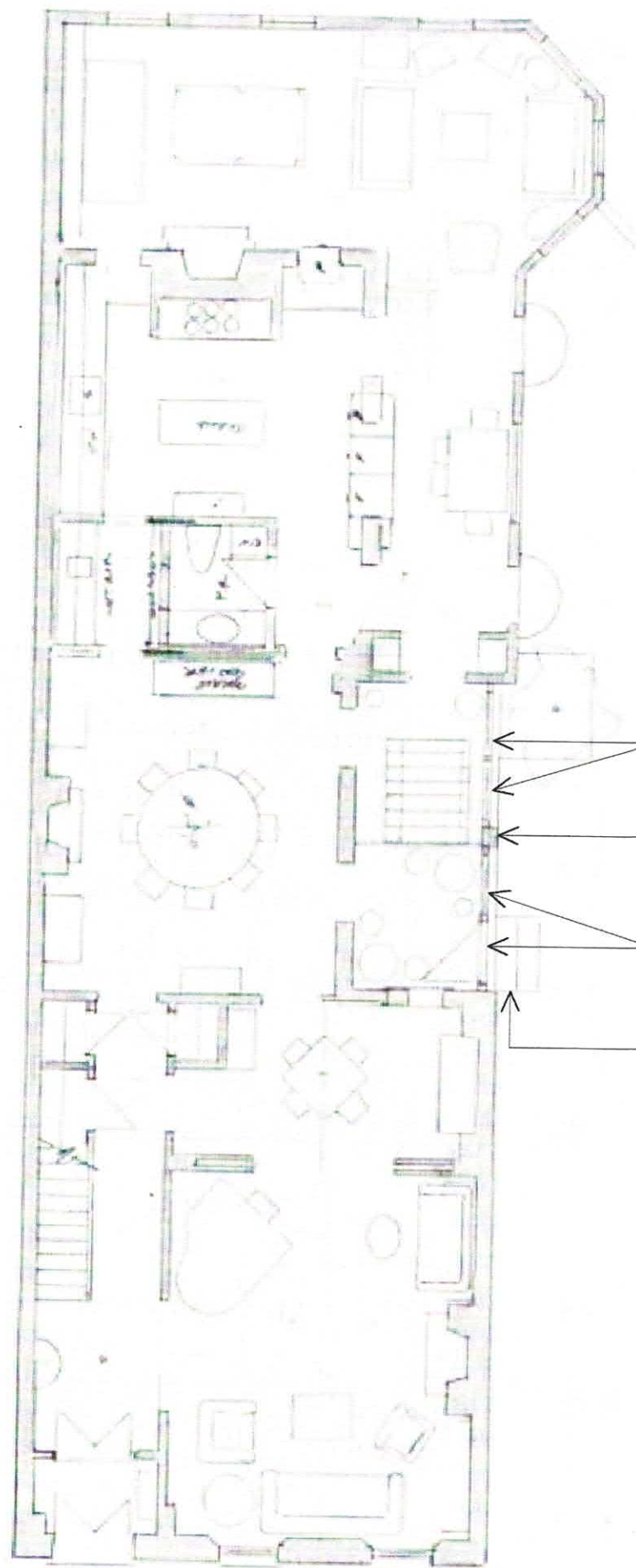


REMOVE PORTION OF EXISTING ROOF
TO ACCOMMODATE NEW CUPOLA

REMOVE PORCH COLUMN
REMOVE DOOR UNIT
REMOVE STEPS

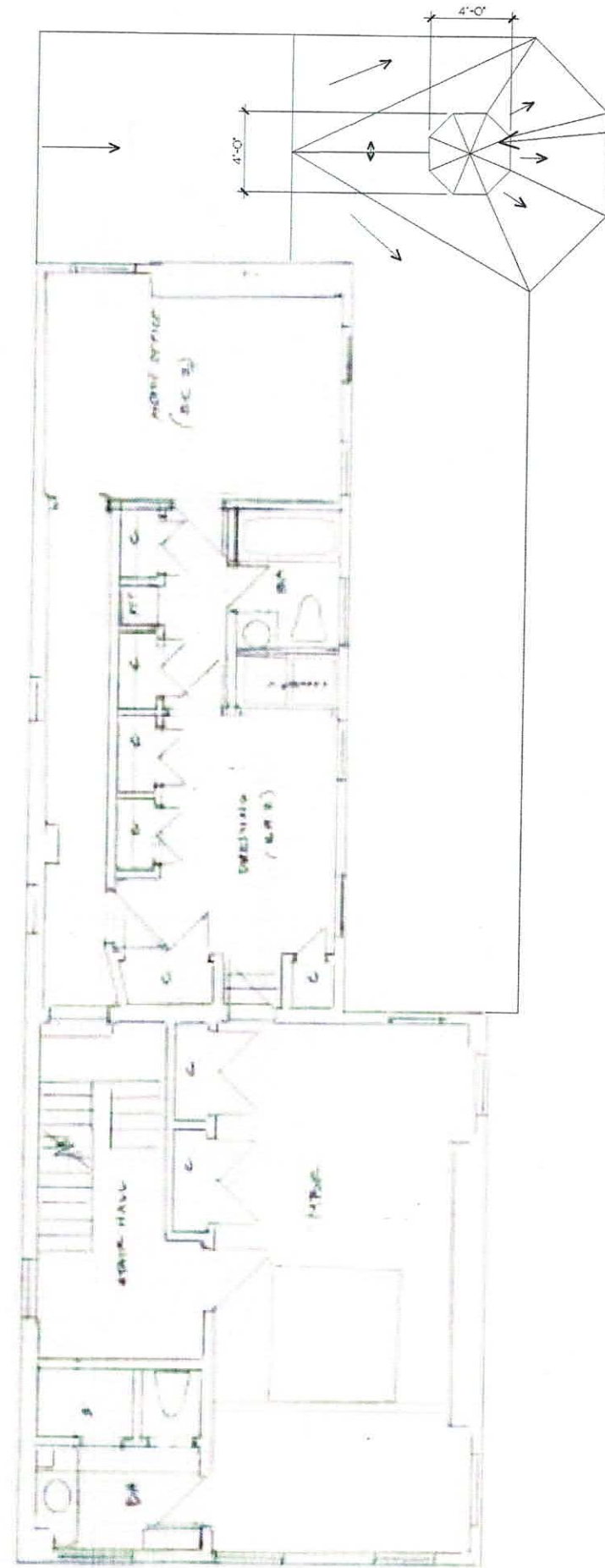
REMOVE DOOR UNIT

(C) EXISTING SIDE SOUTH ELEVATION
1/8"=1'-0"



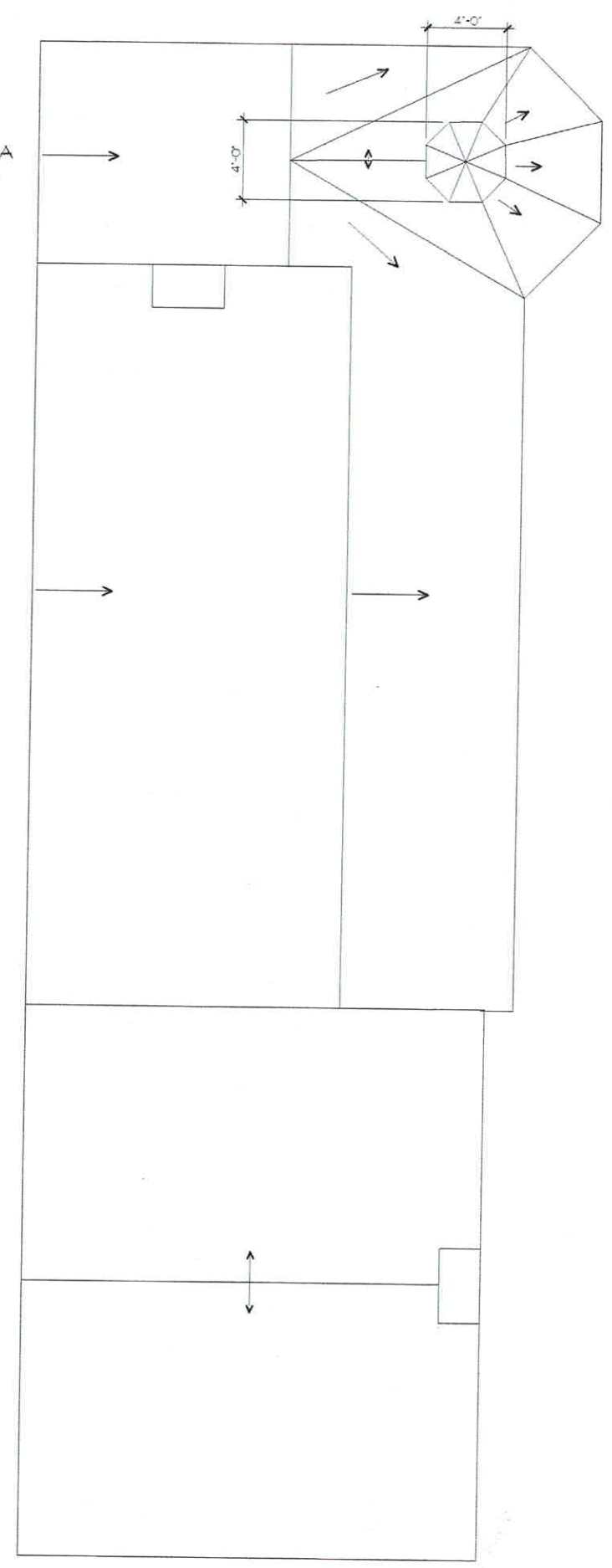
N E W
FIRST FLOOR
P L A N
1/8" = 1'-0"

- PAIR OF REINSTALLED EXISTING FIXED DOOR UNITS
- NEW COLUMN PROFILE TO MATCH EXISTING COLUMN TO BE CENTERED IN NEW SPACE
- REINSTALLED EXISTING FIXED DOOR UNIT AND OPERABLE UNIT
- NEW BRICK STEPS



N E W
SECOND FLOOR
P L A N
1/8" = 1'-0"

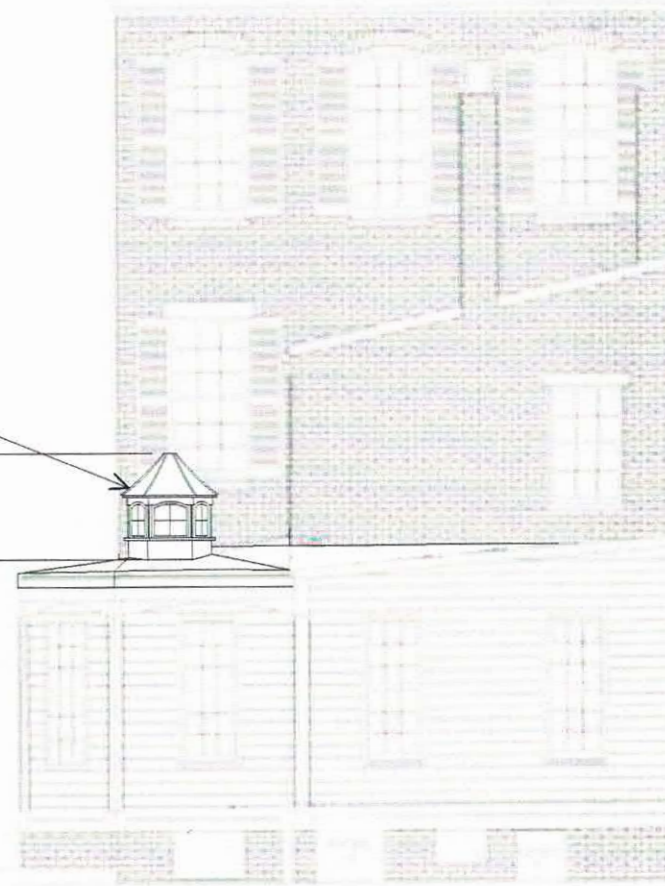
NEW PAINTED WOOD CUPOLA WITH COPPER STANDING SEAM METAL ROOF



N E W
THIRD FLOOR
P L A N
1/8" = 1'-0"

NEW PAINTED WOOD
CUPOLA WITH COPPER
STANDING SEAM ROOF

4'-0"

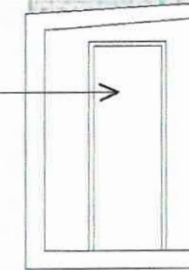


A

NEW REAR EAST ELEVATION

1/8"=1'-0"

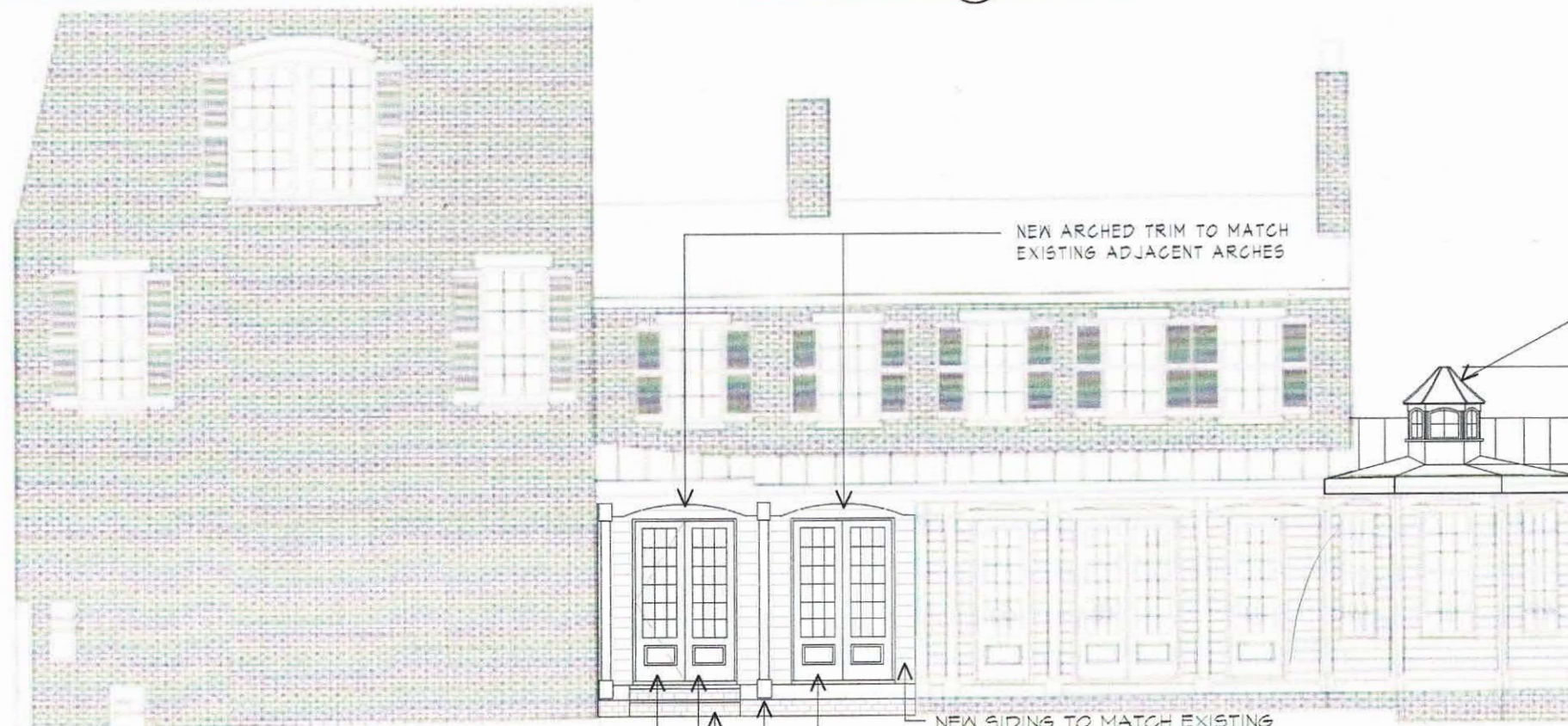
CASED OPENING
AT DOOR
REMOVAL AT
INTERIOR



B

NEW REAR EAST ELEVATION/SECTION

1/8"=1'-0"



NEW ARCHED TRIM TO MATCH
EXISTING ADJACENT ARCHES

NEW PAINTED WOOD
CUPOLA WITH COPPER
STANDING SEAM ROOF

4'-0"

OPERABLE DOOR WITH FIXED PANEL
NEW BRICK STEPS

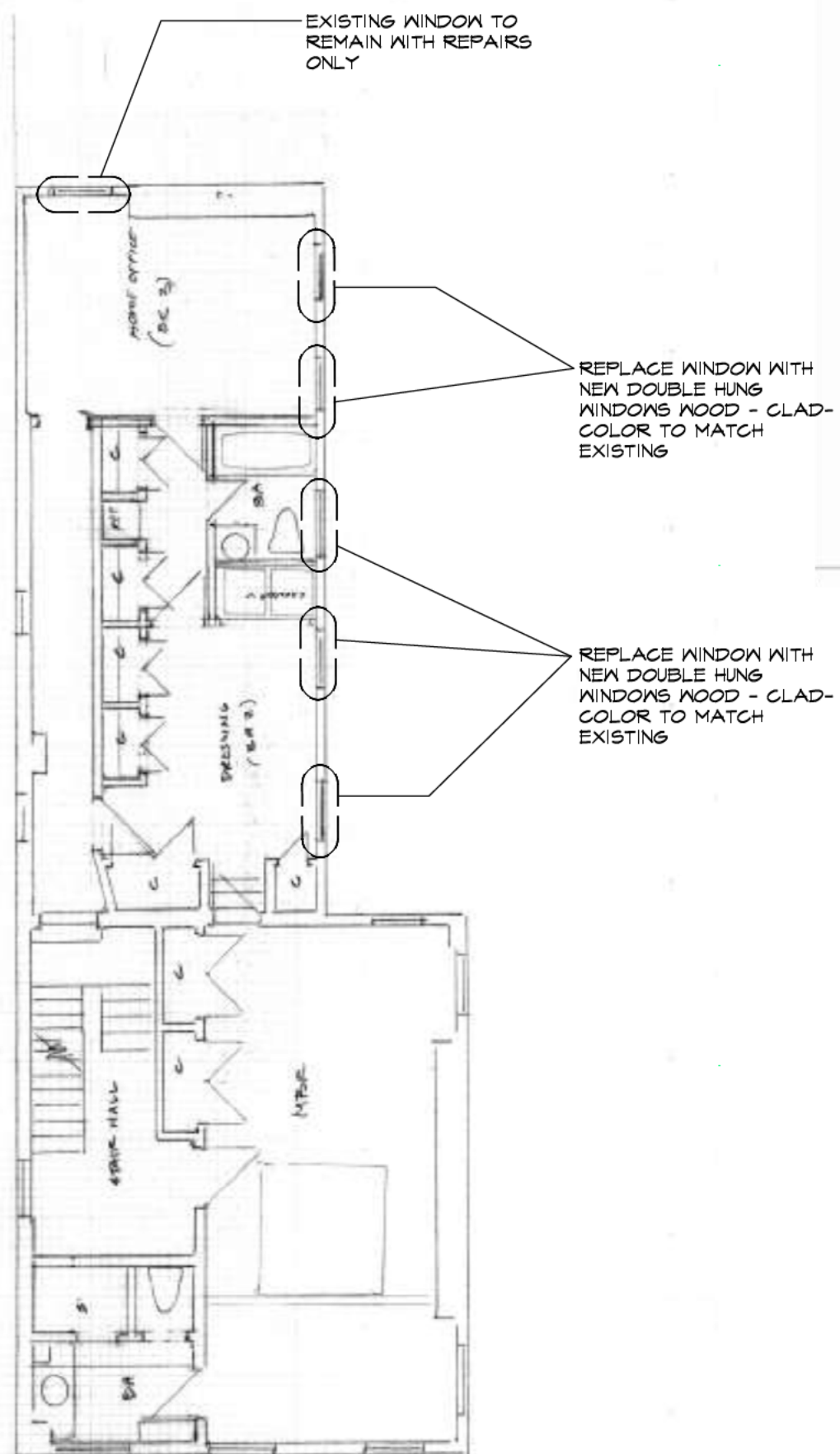
NEW SIDING TO MATCH EXISTING
PAIR OF FIXED DOOR UNITS

NEW COLUMN TO MATCH EXISTING

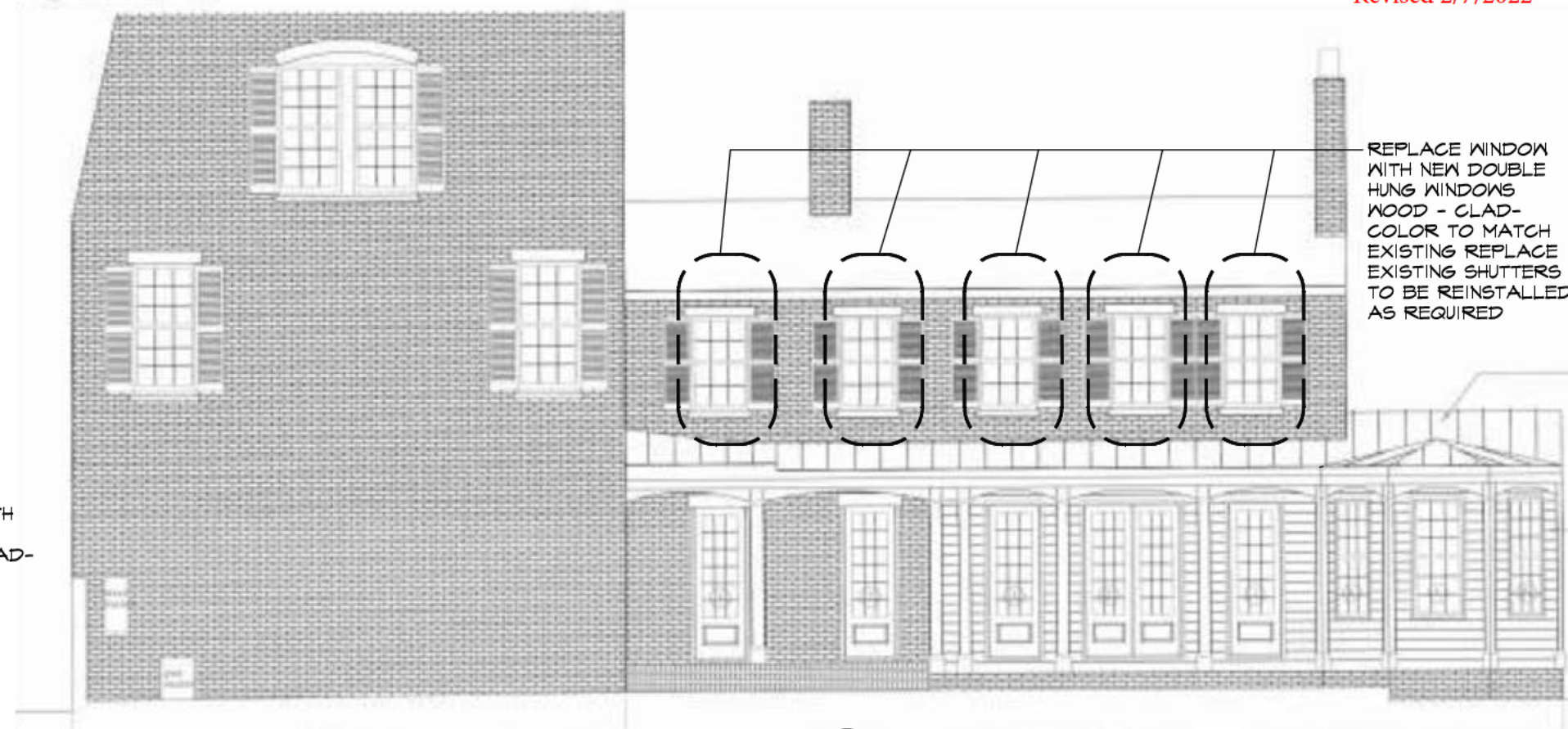
C

NEW SIDE SOUTH ELEVATION

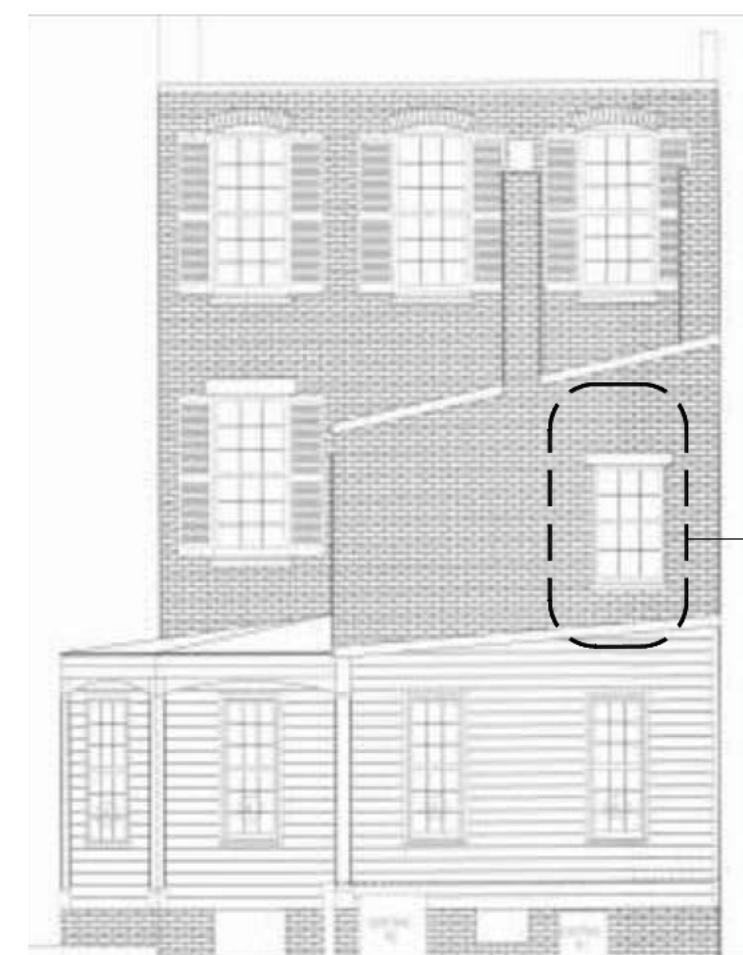
1/8"=1'-0"



(A) EXISTING/NEW SECOND FLOOR PLAN
1/8"=1'-0"



C EXISTING/NEW SIDE SOUTH ELEVATION
1/8"=1'-0"



(B) EXISTING/NEW REAR EAST ELEVATION 1/8"=1'-0"



South elevation
open porch to be enclosed. Existing openings shall
remain as cased openings.



South elevation,
octagonal bay to have octagonal cupola on roof
porch enclosure (at left) shall have matching
siding, pilasters, segmented arches as existing



East elevation,
octagonal bay to have octagonal cupola on roof.

BENNETT SECKERKE RESIDENCE
208 S. ST. ASAPH STREET
ALEXANDRIA VIRGINIA

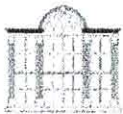


ROBERT BENTLEY ADAMS, AIA
510 S. Fairfax St., Alexandria, VA 22314
Bud.adamsarchitects@gmail.com









Green Mountain Window and Door Co.

Milestone Double Hung v2.2

Product Information

Unit Specifications	1.2
NFRC & Design Pressure Information	1.3 & 1.4
Egress & Clear Opening Information	1.5
Measurement Conversions	1.6

Elevations & Sections

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Elevations: Picture Window	1.9
Elevations: Double Hung Transom & Cottage Units	1.10
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Section Details: Picture Window	1.12
Section Details: Double Hung Transom	1.13
Section Details: Divided Lite Options	1.14
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Elevations: 5/8" Standard Divided Lite Patterns	1.16
Elevations: 7/8" Standard Divided Lite Patterns	1.18

Angle Bay Assemblies

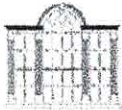
Section Details	1.20
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NOTE:

All specifications and data are subject to change without notice.

Allow 1/16" tolerance on all measurements.

Some options and accessories are not covered in this manual. Contact your Green Mountain Representative for further assistance



Green Mountain Window and Door Co.

Unit Specifications

Frame:

- Pine wood interior and exterior standard. Options include South American Mahogany, Philippine Mahogany (Marenti), Douglas Fir, Western Red Cedar, Teak, or other. Optional species can be specified for specific parts only (sill, sill nose, casing, etc.)
- Frame width: 4 9/16"
- Frame thickness: 5/8"
- Sill: 14 degree bevel, 1" standard sill nose. Optional 2" "historic" sill nose
- Pine exterior parts are dipped in a water repellent preservative.

Sash:

- Pine wood interior and exterior standard. Options include South American Mahogany, Philippine Mahogany (Marenti), Douglas Fir, Western Red Cedar, Teak, or other.
- Check rail thickness: 1 5/8"
- Stile and top & bottom rail thickness: 1 1/4"
- Operating sash tilt in for easy cleaning. The top sash of reverse cottage windows can not be tilted in.
- Pine exterior parts are dipped in a water repellent preservative.

Interior and exterior finish:

- Bare wood interior white primed exterior standard
- Pre-finished exterior options. See your Green Mountain Window Representative for colors and availability.

Hardware:

- Standard sash lock and keeper: Truth cam lock in Bronze. Option finish: white.
- Upgraded sash lock and keeper: Colonial cam lock in Oil Rubbed Bronze, Nickel, Polished Chrome or Brass. Arts & Crafts pivot lock available in Brass only.
- Sash lift: Truth sash lift in Bronze. Option: finish to match lock choice.
- Balance system: block and tackle balance

Weatherstrip:

- Foam filled bulb on weatherstrip on top rail, bottom rail, and side jambs. Jamb weatherstrip is light beige.
- Leaf weatherstrip on head parting stop.

Jamb extension:

- Applied jamb extension available to match virtually any wall thickness
- Standard thickness: 21/32"

Insect Screens:

- Aluminum framed full screen with charcoal fiberglass mesh screening standard. Optional surround colors: Dark Bronze, Tan or Green. Optional mesh: charcoal aluminum, bright aluminum, or Gore Enlighten high visibility.
- Optional wood screen: full or half screens with charcoal fiberglass mesh screening. Species and finish to match window. Optional mesh: charcoal aluminum, bright aluminum, bright bronze, or Gore Enlighten high visibility.

Glass:

- Double strength glass sealed with Gray Duraseal warm edge spacer. Standard overall glass thickness on wood exterior units is 1/2" with wood exterior glazing bead. Optional 11/16" glass thickness with white vinyl exterior glazing bead.
- Glazing method: silicone wet seal interior and exterior
- Glazing types: single glass, insulating glass
- Option for black Duraseal warm edge spacer
- Standard insulating glass options include: (see NFRC ratings for performance comparison)
 - 1/2" regular insulating glass
 - 1/2" Low E with Argon gas fill
 - 1/2" Low E with Krypton gas fill
 - 11/16" regular insulating glass (white vinyl glazing bead on exterior)
 - 11/16" Low E with Argon (white vinyl glazing bead on exterior)
- Other glass options: tempered, laminated, obscure, mouth blown restoration (wavy), tinted, UL rated, any specified

Optional Divided Lites:

- Options include: 5/8" white flat airspace grille, 5/8" white profiled airspace grille, 7/8" removable stick grille (interior only), 7/8" removable full surround grille (interior only), 5/8" true divided lite (single glass only), 5/8" simulated divided lite (SDL) with or without spacer bar, 7/8" SDL with or without a spacer and 1 1/4" SDL with or without a spacer bar. Gray SDL spacer is standard with gray SDL tape. Optional black spacer and tape is used when black glass spacer option is chosen.
- See "section details: divided lites for muntin profiles" for standard cuts. Custom configurations are available

Green Mountain Window Company
 92 Park Street
 Rutland, VT 05701
 Phone: (802) 747-6915
 Fax: (802) 747-7864



Quote
 Quo #: 039542

Route: NONE
 Page: 1 of 1

Quote: 01/03/22
 Scheduled To Ship
 By Date: 01/04/22
 Printed
 Date: 01/03/22
 Time: 02:04 PM

To: ZZZMD
 MISC RETAIL - MD

00000

Ship To:
 SUNBRITE WINDOWS
 ALEXANDRIA VA

FOB: DLVD	Entd By: Dave	Via: OUR TRUCK	Contact: OLD TOWN
Type: WHSE	In: 03 / Out: 03	Terms: In Advance	Your Order:

Customer Instructions

Line #	Item Number	Description	Quantity	U/M	List / Discount	Net Extended
0001.00	*039542001.00	DH Mile-1w Tip to Tip (T2T) = 37" x 57". Custom 28 7/8 x 23. Pine, Primed Exterior, Beige Weatherstrip, Primed Interior, 2" Brickmold Casing, 1/2" Glass, Wood Glazing Bead, Low-E w/ Argon, 4 9/16 Jamb, Lacquered Brass Lock, White Tilt Latch, 6/6, 5/8" SDL w/ Gray Pencil Bar, Historic Sill Nose Screen White	5.00 5.00	EA EA		
0002.00	*039542002.00	DH Mile-1w T2T = 37" x 57" Custom 28 7/8 x 23. Pine, Primed Exterior, Beige Weatherstrip, Primed Interior, 2" Brickmold Casing, Tempered Glass, 1/2" Glass, Wood Glazing Bead, Low-E w/ Argon, 4 9/16 Jamb, Lacquered Brass Lock, White Tilt Latch, 5/8" SDL - with Spacer, 6/6, Historic Sill Nose Screen 30x24 Standard	1.00 1.00	EA EA		

100019736

Bennett - 208 S. St. Asaph St
Easements
000184

DEED OF EASEMENT

This Deed of Easement is made and entered into this 4 day of Oct., 2010, by and between RICHARDSON FAMILY, LLC, a Virginia limited liability company (hereinafter referred to as "Richardson"), Grantor and Grantee for indexing purposes; and JOHN M. CAMP, III and Carolyn T. CAMP, husband and wife (hereinafter collectively referred to as "Camp"), Grantor and Grantee for indexing purposes.

WITNESSETH:

WHEREAS, Richardson is the owner of certain real property located in the City of Alexandria, Virginia, commonly referred to as 212 South St. Asaph Street (more fully described in the complete legal description attached hereto as Exhibit A) and hereinafter referred to as the "Richardson Property;" and

WHEREAS, Camp is the owner of certain real property located in the City of Alexandria, Virginia, commonly referred to as 208 South St. Asaph Street (more fully described in the complete legal description attached hereto as Exhibit A) and hereinafter referred to as the "Camp Property," which property adjoins the Richardson property immediately to the north; and

WHEREAS, the parties and their predecessors in title have for many years engaged in an informal arrangement by which owners of the Camp property used both as an extension of the Camp garden area and as part of the Camp concrete off-parking apron, with entry point from South St. Asaph Street, for parking of vehicles, both of which encroaches upon the Richardson property for a depth of approximately three (3) feet along the northerly edge of the Richardson property; and

WHEREAS, the parties desire to memorialize their heretofore informal agreements and provide that current Camp Garden area extension and parking encroachment be made permanent by recordation of an easement in the land records; and

WHEREAS, the parties desire to set forth their agreements with respect to access over the Camp Property for purposes of conducting necessary repairs to the Richardson Property;

NOW THEREFORE, in consideration of the sum of Ten Dollars and other good and valuable consideration, receipt and sufficiency of which is hereby acknowledged, the parties hereto, intending to be legally bound, do hereby covenant and agree as follows:

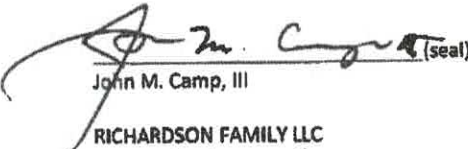
1. Richardson hereby grants and conveys unto Camp a perpetual, exclusive easement along the northerly side of the Richardson property, beginning at the northwesterly corner, three (3) feet in width by the length of the Richardson property. This easement shall be for the sole and exclusive use by owners or occupants of the Camp property for: (1) vehicle parking (without intensification of the existing parking pattern); (2) "T" attachment of the parking apron back brick wall to the Richardson Property house; and (3) gardening and landscaping.
2. Nothing contained in the grant of this easement shall be construed to allow owners or occupants of the Camp property to attach any improvement of any kind onto any building, wall, fence, or other improvement of the Richardson property.

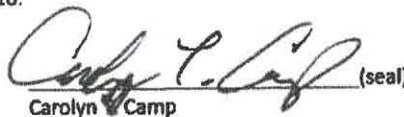
Return to: Mark S. Allen, 111 Oronoco St., Alexandria, VA 22314
Tax parcel Nos. 11972000 and 11971500 No title insurance

Consideration: -0-


3. Camp hereby grants and conveys unto Richardson a perpetual, exclusive easement on and over the garden area of the Camp property for the express purpose of maintenance on the North side of the building on the Richardson property. In connection with such maintenance, Richardson may erect onto the Camp Property ladders, scaffolding, or such other equipment as may be necessary to perform required maintenance. Richardson shall return the Camp property to the same physical condition it was in prior to the exercise of this easement right for maintenance, and shall reimburse Camp for any damage to garden plantings, walls, parking surface, or other improvement.
4. Camp shall be given 24 hours advance notice of any use of this easement by Richardson. In addition, and prior to any entry onto the Camp property for maintenance purposes, Camp shall be provided by Richardson with evidence of liability insurance, in an amount reasonably acceptable to Camp, naming Camp as an additional insured party.
5. This easement shall be recorded among the land records of the City of Alexandria, Virginia, and shall run with the land and be binding upon the parties hereto and their respective heirs, assigns, and successors in interest.

Executed this 4 day of Oct, 2010.

 (seal)
John M. Camp, III

 (seal)
Carolyn T. Camp

RICHARDSON FAMILY LLC

By: 
Robert C. Richardson, IV
General Manager, RICHARDSON FAMILY LLC

Commonwealth of Virginia) ss:
City of Alexandria)

The foregoing instrument was acknowledged before me this 4 day of October, 2010, by John M. Camp, III, Carolyn T. Camp and Robert C. on behalf of Richardson, IV Family LLC.

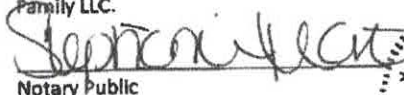

Notary Public
My commission expires:



Exhibit A - Legal Descriptions

208 South St. Asaph Street:

Premises known as 208 South St. Asaph Street, Alexandria, Virginia and being more particularly described by metes and bounds description and survey as provided by Alexandria Surveys dated July 12, 2005:

Beginning on the east side of South Saint Asaph Street at the center of the square between Prince and Duke Streets and being 178.33 feet north of Duke Street; thence running north on Duke Street N 09 degrees 30'00" E 50.74 feet to a corner common to the property located at 204 South Saint Asaph Street; thence departing South Saint Asaph Street S 80 degrees 09' 03" E. 80.05 feet to a corner common to the property located at 514 Prince Street; thence running with a line common to 514 Prince Street S 09 degrees 30'00 W. 8.00 feet to a corner common to 514 Prince Street; thence running a line common to 514 Prince Street, in part, and continuing with the southerly line of the properties located at 512 and 510 Prince Street S. 80 degrees 01' 11" E. 44.95 feet to a point; thence running the following three courses and distances, described in prior deeds for the property herein conveyed as along a board fence; S 14 degrees 22' 26 W 18.48 feet (previously recorded erroneously as 18.40 feet), thence S 78 degrees 35' 20" E 8.12 feet, thence S 11 degrees 16' 36" W 22.24 feet to a point; thence running west parallel to Duke Street N 80 degrees 55' 00" W 130.86 feet to the place of beginning, containing 6,001 square feet of land.

212 South St. Asaph St.:

Beginning on the east side of St. Asaph Street, on the North side of a ten foot alley, 110 feet north from Duke Street and running thence north with St. Asaph Street 66 feet 7 inches; thence East, parallel with said alley, 111 feet 8 inches; thence south, parallel to St. Asaph Street, 66 feet 7 inches to said alley, thence West, with said alley 111 feet 8 inches to the point of beginning, with the right to use said alley as appurtenant thereto.

INSTRUMENT #100019736
RECORDED IN THE CLERK'S OFFICE OF
ALEXANDRIA ON
NOVEMBER 4, 2010 AT 01:37PM

EDWARD SEMONIAN, CLERK
RECORDED BY: SPT