

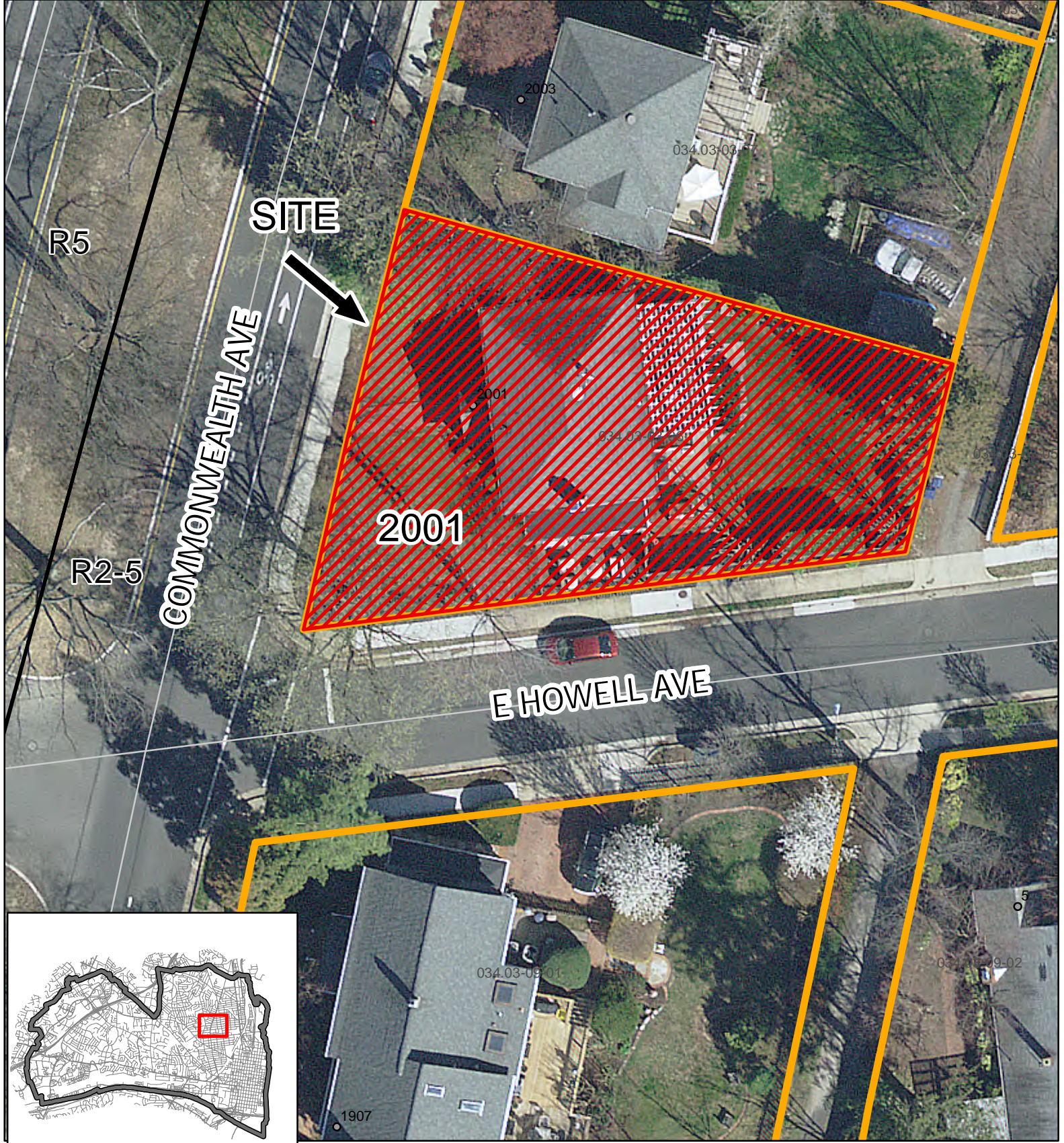
ADDRESS: 2001 COMMONWEALTH AVENUE
ZONE: R-2-5, SINGLE AND TWO-FAMILY ZONE
APPLICANT: LAURA CAMPBELL, ARCHITECT

ISSUE: Special exception to increase the roof height in the required side yard.

CODE SECTION	SUBJECT	CODE REQMT	APPLICANT PROPOSES	REQUESTED EXCEPTION
3-506(A)(2)	Side Yard (North)	7.00 ft.*	5.30 ft.	1.70 ft.

The staff **recommends approval** of the requested special exception because the request meets the criteria for a special exception.

If the Board decides to grant the requested special exception it is subject to compliance with all applicable code requirements, ordinances, and recommended conditions found in the department comments. The applicant must submit the following prior to the release of a Certificate of Occupancy: (1) a survey plat prepared by a licensed surveyor confirming building footprint, setbacks, (2) lots will need to be consolidated prior to Wall Check Survey. The special exception must also be recorded with the deed of the property in the City’s Land Records Office prior to the release of the building permit.



BZA #2021-00021
2001 Commonwealth Avenue



I. Issue

The applicant proposes to change the roof pitch which increases the height in the required north side yard at 2001 Commonwealth Avenue.

II. Background

The subject property is one corner lot of record that consists of two lots of record (72 and 73) with 83.66 feet of frontage facing Commonwealth Avenue, a lot frontage of 117.00 feet facing East Howell Avenue; a lot width of 75.57 feet facing Commonwealth Avenue and a lot width of 119.13 feet facing East Howell Avenue and a lot area of 6,694 square feet.



Figure 1: Subject Property

The property has an unusual shape with the secondary front yard facing East Howell Avenue (south) angling to the east side property line. The property is developed with a two- story detached single-family dwelling. The dwelling is located 20.01 feet from the front property line facing Commonwealth Avenue and 19.40 feet from the front facing East Howell Avenue, 5.30 feet from the north side property line and 52.26 feet from the east property line.

The following table provides zoning analysis of the subject property:

<i>Zone</i>	<i>Required/Permitted</i>	<i>Existing</i>	<i>Proposed</i>
Lot Area	6,500 sq. ft.	6,694 sq. ft.	6,694 sq. ft.
Lot Frontage (west)	40.00 ft	83.66 ft.	83.66 ft.
Lot Frontage (south)	40.00 ft	117.00 ft.	117.00 ft.
Front Yard setback (west)	Between the range established by contextual block face or 20 ft	20.10 ft.	20.10 ft.
Front Yard setback (south)	Between the range established by contextual block face or 20 ft	19.40 ft.	19.40 ft.
Side Yard (north)	7.00 ft.	5.30 ft.	5.30 ft.
Side Yard (east)	7.00 ft.	52.26 ft.	44.60 ft.*
Floor Area Ratio (FAR)	3012.3 (.45)	1837.00 ft.	2269.00 ft.

* From proposed addition

III. Description

The applicant proposes to increase the roof pitch to accommodate a new attic space with dormers above the existing second floor.

The building height of the dwelling with the proposed increased roof pitch and added dormers measures 27.83 feet measure from average pre-construction grade to the midpoint of the dormer.

The height of the new roof at the existing non-complying wall is located 5.30 feet from the north property line and will increase by 3.19 inches in height from the original roof line to a height of 19.58 feet. Based on a setback ratio of 1:3 requires a 7.00 feet side yard setback is required. The applicant requests a special exception of 1.70 feet to construct the new roof with a slightly higher pitch 5.30 feet from the north property line.

The height at the point of the eaves will not change from the old to the new roof. However, due to the steeper pitch the roof, the height increases within the required yard, in line with the north side wall which establishes the noncomplying plane. Therefore, a special exception is required to increase the height of the roof in the required north side yard.

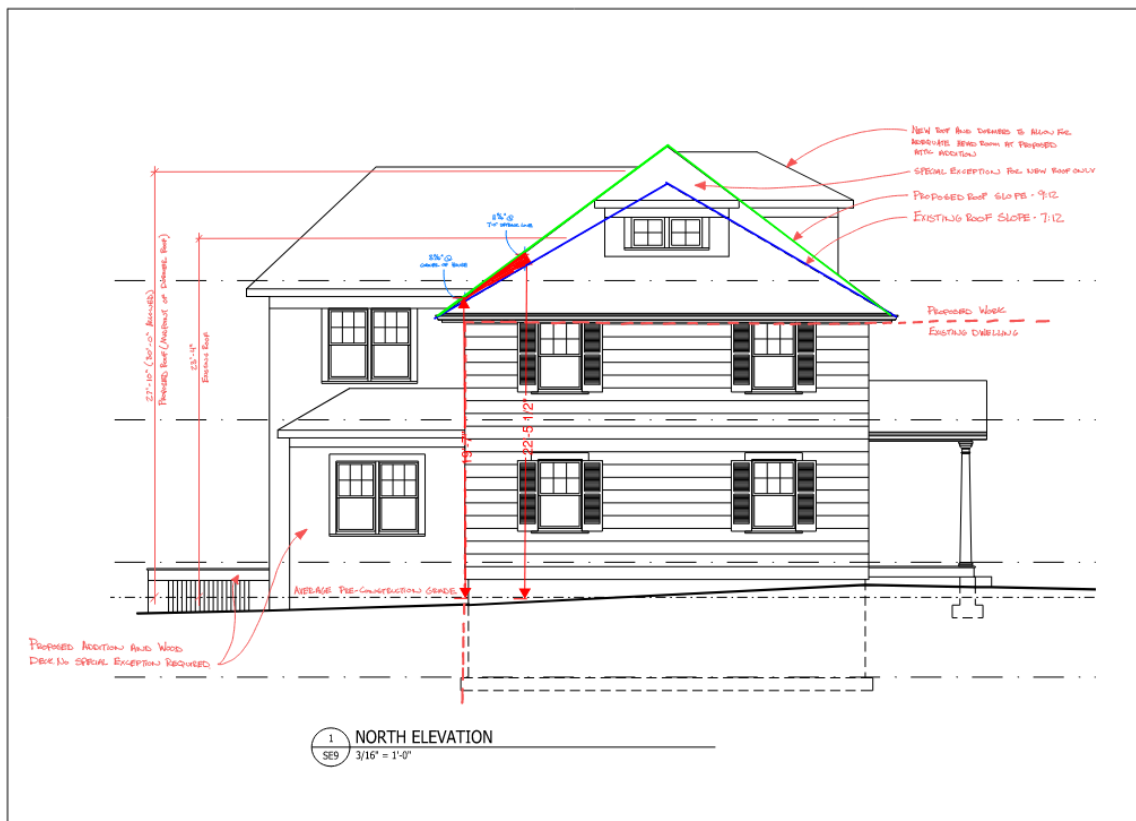


Figure 2: North Elevation

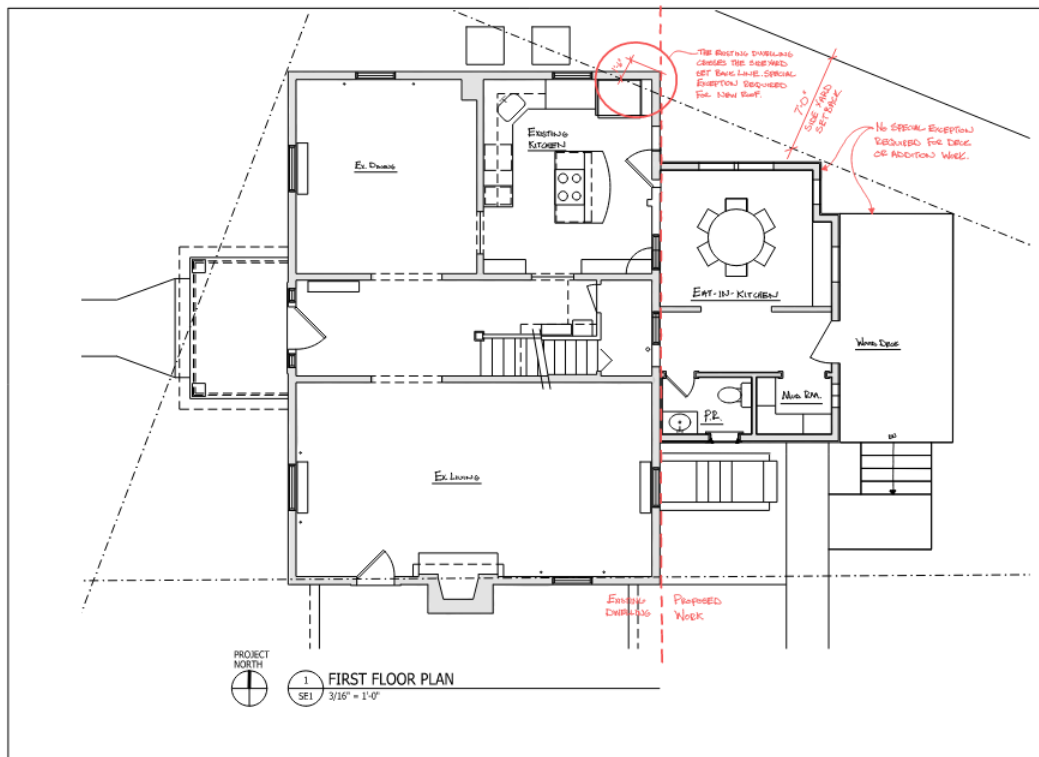


Figure 3: Portion of Wall in Required Side Yard

The applicant is also proposing a two-story addition to the rear of the existing structure that will meet the front setback along East Howell Street and the north side yard requirement. That addition is in compliance and is not in the scope or approval for this Special Exception.

Upon completion of the work, the proposed renovations will continue to comply with the floor area requirements. (Refer to floor area calculations.)

There have been no variances or special exceptions previously granted for the subject property.

IV. Master Plan/Zoning

The subject property is zoned R-2-5 and has been so zoned since adoption of the Third Revised Zoning Map in 1951 and is identified in the Potomac West Area Plan.

V. Requested Special Exception: 3-506(A)(2) Side Yard (North)

The applicant requests a special exception of 1.70 feet from the required 7.00 foot side yard based on a building height of 19.58 feet to increase the roof pitch and height 5.30 feet from the north side property line.

VI. Noncomplying Structure

The existing lot at 2001 Commonwealth Avenue is developed with a noncomplying structure with respect to:

	<u>Required</u>	<u>Provided</u>	<u>Noncompliance</u>
Side Yard (north)	7.00 feet *	5.30 feet	1.70 feet

*Based on height of 19.43 feet and R-2-5 zone setback to height ratio of 1:3.

VII. Special Exceptions Standards

To grant a special exception, the Board of Zoning Appeals must find that the strict application of the zoning ordinance creates an unreasonable burden on the use and enjoyment of the property. Section 11-1304 of the zoning ordinance lists standards that an applicant must address and that the Board believes exists and thus warrants granting a special exception of the zoning regulations.

- 1) Whether approval of the special exception will be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

The new roof will have a pitch that will accommodate two dormer additions that will be setback from the wall edge in compliance with setbacks. The eave at the northwest portion of the house will be in line where the current eave is located; however, because the change in pitch for a new higher roof, the applicant is required to seek relief. The requested height increase is so modest in nature that it is unlikely to result in a noticeable increase to the bulk or mass facing the north side property line. The slight increase in roof pitch will not be detrimental to the public welfare, the neighborhood or any adjacent properties.

- 2) Whether approval of the special exception will impair an adequate supply of light and air to the adjacent property, or cause or substantially increase traffic congestion or increase the danger of fire or the spread of fire or endanger the public safety.

The new roof would slightly increase the height an existing non-complying wall. The proposed dormers will set back in compliance with zoning. The new roof would not likely impair the supply of light and air as the proposed increase in height is so small and it is a hipped roof so that the height will be moved away from the most affected neighbor to the north. There would be no expected impacts to traffic or public safety.

- 3) Whether approval of the special exception will alter the essential character of the area or zone.

The special exception will not alter the character of the area or the zone. There is various style of homes in the area with varying height. Most houses nearby were originally constructed as two-story single-family dwellings. The modest

proposed roofline height increase would be very similar in design to the dwellings existing form. Further, because of the proposed location, on the side of the existing dwelling, the addition would have a limited impact on the character of the surrounding area.

- 4) Whether the proposal will be compatible with the development in the surrounding neighborhood.

The proposed construction would be compatible with the development in the surrounding neighborhood in the terms of lot development patterns and the scale of dwellings. The proposal would continue to comply with the front yard setbacks along both Commonwealth and East Howell Avenues.

- 5) Whether the proposed development represents the only reasonable means and location on the lot to accommodate the proposed structure given the natural constraints of the lot or the existing development of the lot.

The subject property's unique lot shape, the restrictive front yards of a corner lot and the position of the house on the existing lot located within the required side property line make additions to the home difficult. The applicant has designed a project that almost completely complies with the zoning requirements, only the new increase roof pitch that will accommodate an attic dormer requires relief from the setback. The proposed roof height increase would be in-line with the existing noncomplying north side wall of the house and represents the most reasonable location for a new roof.

VIII. Staff Conclusion

Neighborhood Impact

The properties along Commonwealth Avenue and East Howell and in the surrounding neighborhood consist primarily of two-story single-family dwellings. The addition would be compatible with the mass and height of other dwellings in the area.

Light and Air

The change to the roof pitch increases the roof height in the north side, but due to the modest nature of the change it is unlikely to result in a noticeable increase to the bulk and mass along the north property line. It is unlikely that the increased roof pitch will negatively impact the supply of light and air to adjacent property to the north.

Lot Constraints

The shape of the lot, that angles along the front property line facing East Howell Avenue towards the east side yard and the placement of the house on the lot within the required north side property line make expansions to the dwelling difficult. The request the applicants are making is not to change the

existing wall but to slightly increase the height of the exiting roof. The new roof will have the same height measurement at the eaves as the existing roof; however, the pitch change will increase the height of the roof in the required side yard in line with a noncomplying wall in keeping with the configuration of the existing house.

Staff Conclusion

As outlined above, staff believes the request meets the criteria for a special exception and **recommends approval.**

Staff

Marlo Ford, AICO, Urban Planner, marlo.ford@alexandriava.gov

Mary Christesen, Zoning Manager, mary.christesen@alexandriava.gov

Tony LaColla, AICP, Division Chief, tony.lacolla@alexandriava.gov

DEPARTMENTAL COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

* The applicant is advised that if the variance is approved the following additional comments apply.

Transportation and Environmental Services:

CONDITIONS

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

FINDINGS:

- F-1 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Code Administration:

- C-1 A building permit and plan review are required prior to the start of construction.

Recreation (Arborist):

- F-1 Roof addition will not impact City owned trees.

Historic Alexandria (Archaeology):

- F-1 No archaeological oversight necessary for this undertaking.

Other Requirements Brought to the Applicant's Attention:

- F-1 Applicant will need to consolidate lots prior to Wall Check Survey Approval.



APPLICATION BOARD OF ZONING APPEALS

SPECIAL EXCEPTION FOR ADDITIONS

Section of zoning ordinance from which request for special exception is made:
12-102(B)

PART A

1. Applicant: ☐ Owner ☐ Contract Purchaser ☒ Agent

Name Laura Campbell

Address 109 Harvard St, Alexandria, VA 22314

Daytime Phone 703.328.6815

Email Address Laura@convenearchitecture.com

2. Property Location 2001 Commonwealth Ave. Alexandria, VA 22301

3. Assessment Map # 034.03 Block 03 Lot 06 Zone R 2-5

4. Legal Property Owner Name Rebecca and Raphael Carland

Address 2001 Commonwealth Ave. Alexandria, VA 22301

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Laura Campbell	109 Havard St. Alexandria, VA 22314	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2001 Commonwealth Ave. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Rebecca and Raphael Carland	2001 Commonwealth Ave. Alexandria, VA 22302	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here.](#)

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Laura Campbell	None	None
2. Rebecca and Raphael Carland	None	None
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12/17/21 LAURA CAMPBELL
Date Printed Name


Signature

5. Describe request briefly:

Rebuild the existing roof with a steeper slope to accommodate an attic addition. A portion of the existing house and roof sits beyond the side yard setback line, requiring a special exception for the demolition of the existing roof and construction of the new roof.

6. If the property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

☒ Yes — Provide proof of current City business license.

☐ No — Said agent shall be required to obtain a business prior to filing application.

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

LAURA CAMPBELL
Print Name

703.328.6815
Telephone


Signature

12/17/2021
Date

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.



2021 City of Alexandria Business License

Finance Department, Revenue Administration Division, City of Alexandria
301 King Street, Room 1700, Alexandria, VA 22314
Phone: 703.746.4800 <http://www.alexandriava.gov/>

License Number: 150021-2021
Account Number: 150021
Tax Period: 2021
Business Name: Convene Architecture, PLLC
Trade Name: Convene Architecture, PLLC
Business Location: 109 HARVARD ST
Alexandria, VA 22314

Convene Architecture, PLLC
109 Harvard St
Alexandria, VA 22314

License Classification(s):
Professional Occupations/Businesses
9-071-004
Architect

March 3, 2021

Dear Taxpayer:

This is your 2021 City of Alexandria Business License. The bottom portion of this page is perforated to allow you to tear off and post the business license in your establishment.

If you paid for your business license via check, please be aware that if your check is not honored by your financial institution, this business license shall be invalid.

As with all taxes, our goal is to administer Business License taxes fairly and in accordance with Commonwealth and Locality code. Our staff strives to provide professional assistance and quality customer service. Your satisfaction is important to us and your comments are always welcome.

If you have any questions regarding this letter, please visit <http://www.alexandriava.gov/> or contact my office via phone at 703.746.4800.

Finance Department, Revenue Administration Division, City of Alexandria

Keep this letter for your records.

City of Alexandria Business License

Revenue Administration Division, City of Alexandria, 301 King Street, Room 1700, Alexandria, VA 22314



This license has been issued by the Revenue Administration Division of the City of Alexandria and is granted to:

Convene Architecture, PLLC
109 HARVARD ST
Alexandria, VA 22314

License Number: 150021-2021
Account Number: 150021
Tax Period: 2021
Business Name: Convene Architecture, PLLC
Trade Name: Convene Architecture, PLLC
Business Location: 109 HARVARD ST
Alexandria, VA 22314
License Classification(s): Professional Occupations/Businesses
9-071-004
Architect

NOTE TO APPLICANT: Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).

PART B (SECTION 11-1304)

APPLICANT MUST EXPLAIN THE FOLLOWING:

(Please use additional pages where necessary.)

- 1. Explain how the special exception for the proposed addition, if granted, meets the applicant's needs.**

Rebuild the existing roof with a steeper slope to accommodate an attic addition. A portion of the existing house and roof sits beyond the side yard setback line, requiring a special exception for the demolition of the existing roof and construction of the new roof.

- 2. Explain if the special exception, if granted, will harm adjoining properties or impact the neighborhood in any way.**

This will not harm adjoining properties as the change in roof height is minimal, with less than 2.5 feet increase at the ridge, and less than 6" increase at the eave.

- 3. Explain how the proposed addition will affect the light and air to any**

This will not affect the light and air to any adjacent property in any way.

4. Explain how the proposed addition is compatible with other properties in the neighborhood and the character of the neighborhood as a whole.

The existing home will remain much the same from the front yard (Commonwealth Ave.) with the addition of two dormers at the main roof. The design and materiality of the new roof and dormers are consistent with the style of the existing house, which has existed in the neighborhood for 100+ years.

5. How is the proposed construction similar to other buildings in the immediate area?

The construction of the new roof will be of similar materials as the existing roof (dark shingles, profiled gutters, and wood eaves) and surrounding properties.

6. Explain how this plan represents the only reasonable location on the lot to

The addition requiring the special exception is located within the footprint of the existing house, which sits beyond the 7'-0" side yard setback line.

7. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.

The owners plan to share plans of the addition to the surrounding property owners. No neighbors have objected to this addition to date. No neighbors have written a letter of support to date.



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 2001 Commonwealth Ave.

Street Address

R-2-5

Zone

A2. 6,694 sq.ft.

Total Lot Area

x 0.45

Floor Area Ratio Allowed by Zone

= 3,012 sq.ft.

Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement 930

First Floor 959

Second Floor 959

Third Floor

Attic 959

Porches 230

Balcony/Deck 336

Garage

Other***

Allowable Exclusions**

Basement** 930

Stairways** 81

Mechanical**

Attic less than 7'*** 959

Porches** 230

Balcony/Deck** 336

Garage**

Other***

Other***

B1. 4,373

Sq. Ft.

B2. 2,536

Sq. Ft.

B3. 1,837

Sq. Ft.

Existing Floor Area Minus Exclusions

(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. **Total Gross**

4,373

B2. **Total Exclusions**

2,536

C. Proposed Gross Floor Area

Proposed Gross Area

Basement

First Floor 248

Second Floor 207

Third Floor

Attic 364

Porches

Balcony/Deck 234

Garage

Other***

Allowable Exclusions**

Basement**

Stairways** 71

Mechanical**

Attic less than 7'*** 316

Porches**

Balcony/Deck** 234

Garage**

Other***

Other***

C1. 1,053

Sq. Ft.

C2. 621

Sq. Ft.

C3. 432

Sq. Ft.

Proposed Floor Area Minus Exclusions

(subtract C2 from C1)

C1. **Total Gross**

1,053

C2. **Total Exclusions**

621

D. Total Floor Area

D1. 2,269 Sq. Ft.

Total Floor Area (add B3 and C3)

D2. 3,012 Sq. Ft.

Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Existing Open Space

Sq. Ft.

E2. Required Open Space

Sq. Ft.

E3. Proposed Open Space

Sq. Ft.

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

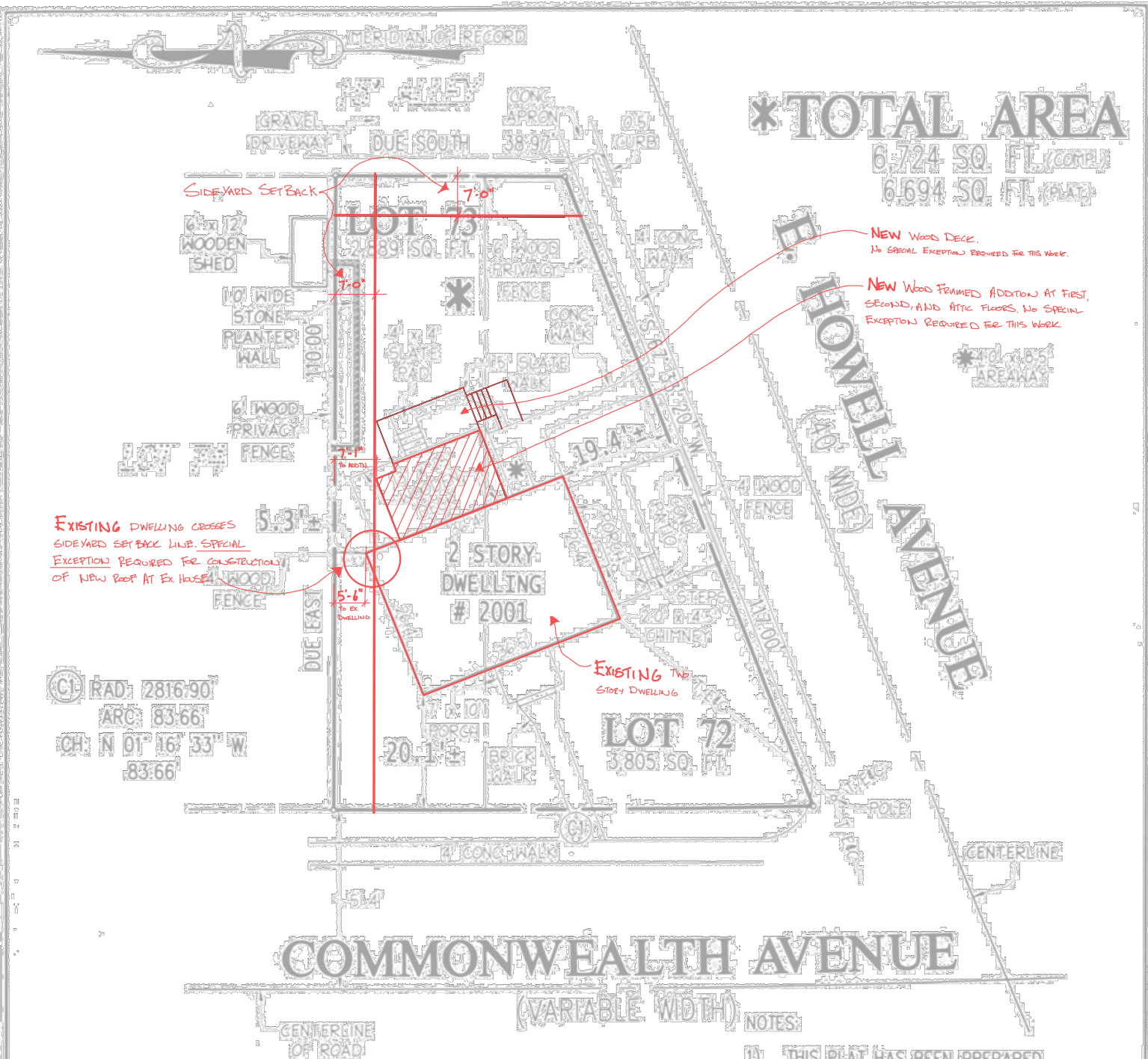
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

[Handwritten Signature]

Date:

12/17/21



***TOTAL AREA**
6,724 SQ. FT. (COMPL.)
6,694 SQ. FT. (PLAT.)

EXISTING DWELLING CROSSES
SIDEYARD SETBACK LINE. SPECIAL
EXCEPTION REQUIRED FOR CONSTRUCTION
OF NEW ROOF AT EX. HOUSE.

NEW WOOD DECK.
NO SPECIAL EXCEPTION REQUIRED FOR THIS WORK.

NEW WOOD FRAMED ADDITION AT FIRST,
SECOND, AND ATTIC FLOORS. NO SPECIAL
EXCEPTION REQUIRED FOR THIS WORK.

EXISTING TWO
STORY DWELLING

Ⓒ RAD: 2816.90'
ARC: 83.66'
CH: N 01° 16' 33" W
83.66'

COMMONWEALTH AVENUE
(VARIABLE WIDTH)

NOTES:

- 1) THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT THEREFORE NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
- 2) THE LOT SHOWN HEREON APPEARS TO BE IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEMA MAP # 5155190029E EFFECTIVE DATE: JUNE 16, 2011.
- 3) THIS SURVEY WAS NOT PREPARED FOR CONSTRUCTION PURPOSES, (INCLUDING FENCES).
- 4) LOCATION OF FENCES (IF ANY) ARE APPROXIMATE AND DO NOT CERTIFY TO OWNERSHIP.
- 5) THE PROPERTY SHOWN ON THIS PLAT IS LOCATED ON MAP=BLOCK=LOT # 034-03-03-06.
- 6) PROPERTY CORNERS NOT SET PER WAIVER REQUEST.
- 7) EASEMENTS, B.R.L.S. & MERIDIAN, IF SHOWN HEREON, ARE AS DELINEATED ON PLAT RECORDED IN DEED BOOK 131, PAGE 156 (UNLESS NOTED OTHERWISE).

LEGEND:

- IP-F DENOTES IRON PIPE FOUND
- X- DENOTES FENCE LINE
- TE&C DENOTES OVERHEAD TELEPHONE, ELECTRIC, AND CABLE LINES



HOUSE LOCATION SURVEY
LOTS 72 & 73
SECTION 2
DEL RAY
CITY OF ALEXANDRIA, VIRGINIA

RGS # 60449ARL

CARLAND / FISHER

B.W. SMITH AND ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYING
MANASSAS, VIRGINIA (703) 368-5866 T(800) 682-0996

FIELD CREW: D. CONRAD

JOB # 20112978

DET: M.K.S. CHK: T.J.F. NO TITLE REPORT FURNISHED SCALE: 1" = 25' DATE: 10/5/11

Special Exception Drawings of
The Carland Residence

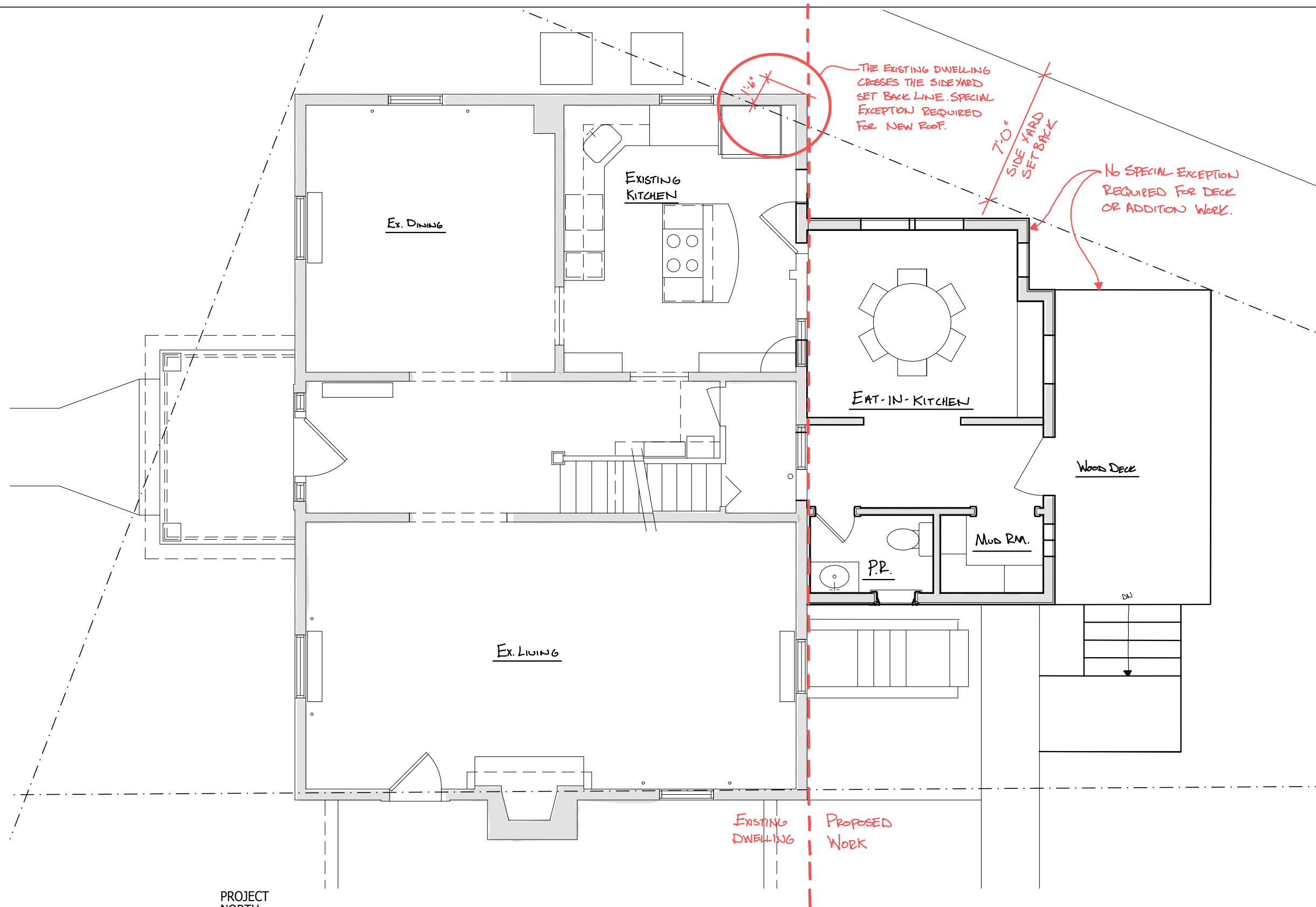
2001 Commonwealth Avenue
Alexandria, VA 22301

issued: SE date: 12/17/2021

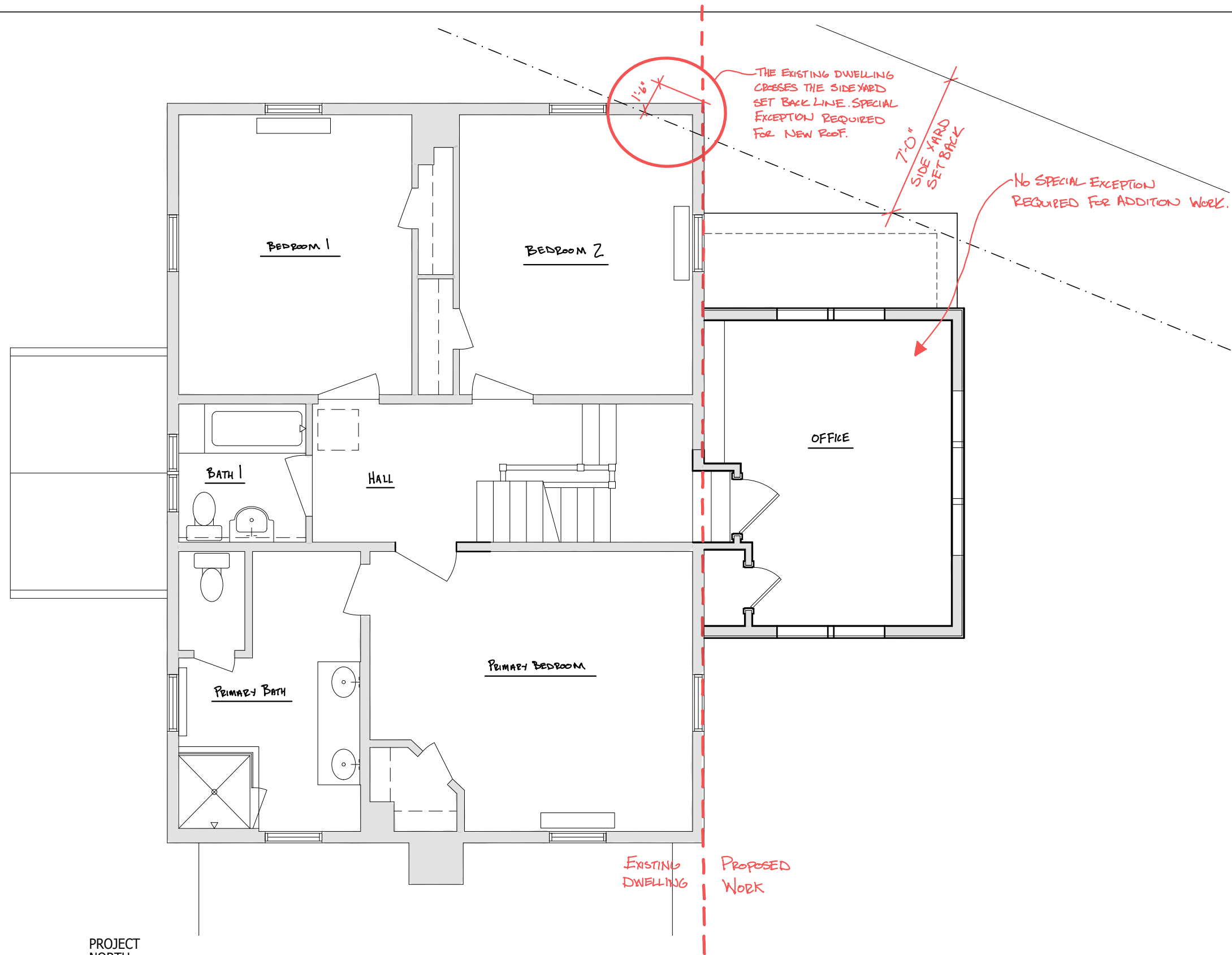
REV. 1 - 01.03.2022

SE1

FLOOR PLANS



1 **FIRST FLOOR PLAN**
SE1 3/16" = 1'-0"



1 SECOND FLOOR PLAN
SE2 3/16" = 1'-0"

Special Exception Drawings of
The Carland Residence

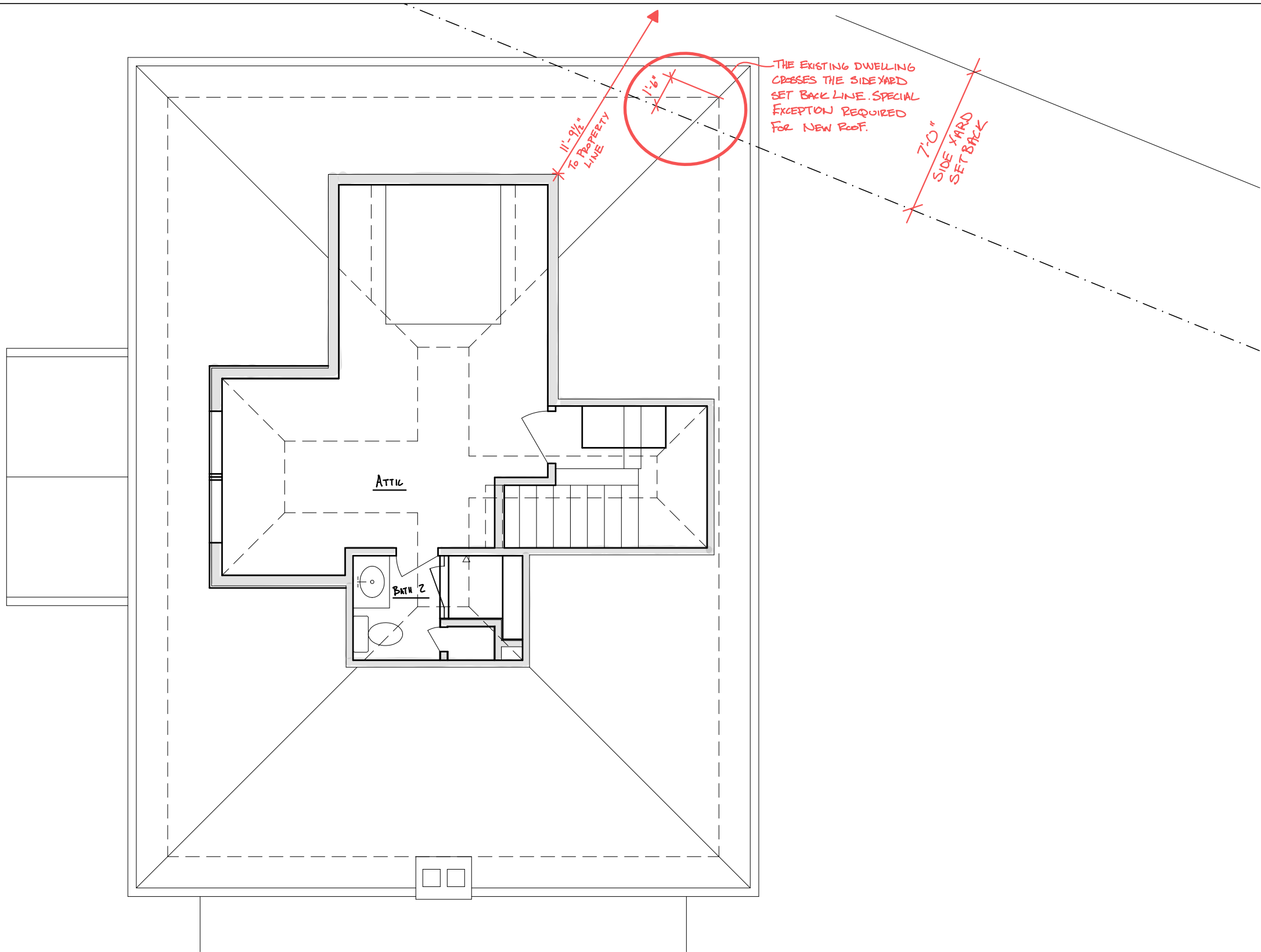
2001 Commonwealth Avenue
Alexandria, VA 22301

issued:	date:
SE	12/17/2021

REV. 1 - 01.03.2022

SE2

FLOOR PLANS



1
SE3

ATTIC FLOOR PLAN

3/16" = 1'-0"

Special Exception Drawings of

The Carland Residence

2001 Commonwealth Avenue
Alexandria, VA 22301

issued:	date:
SE	12/17/2021

REV. 1 - 01.03.2022

SE3

FLOOR PLANS

Special Exception Drawings of
The Carland Residence

2001 Commonwealth Avenue
Alexandria, VA 22301

issued:	date:
SE	12/17/2021

REV. 1 - 01.03.2022

SE4

3D VIEW



1 VIEW FROM NORTHEAST
SE4 NOT TO SCALE

Special Exception Drawings of
The Carland Residence

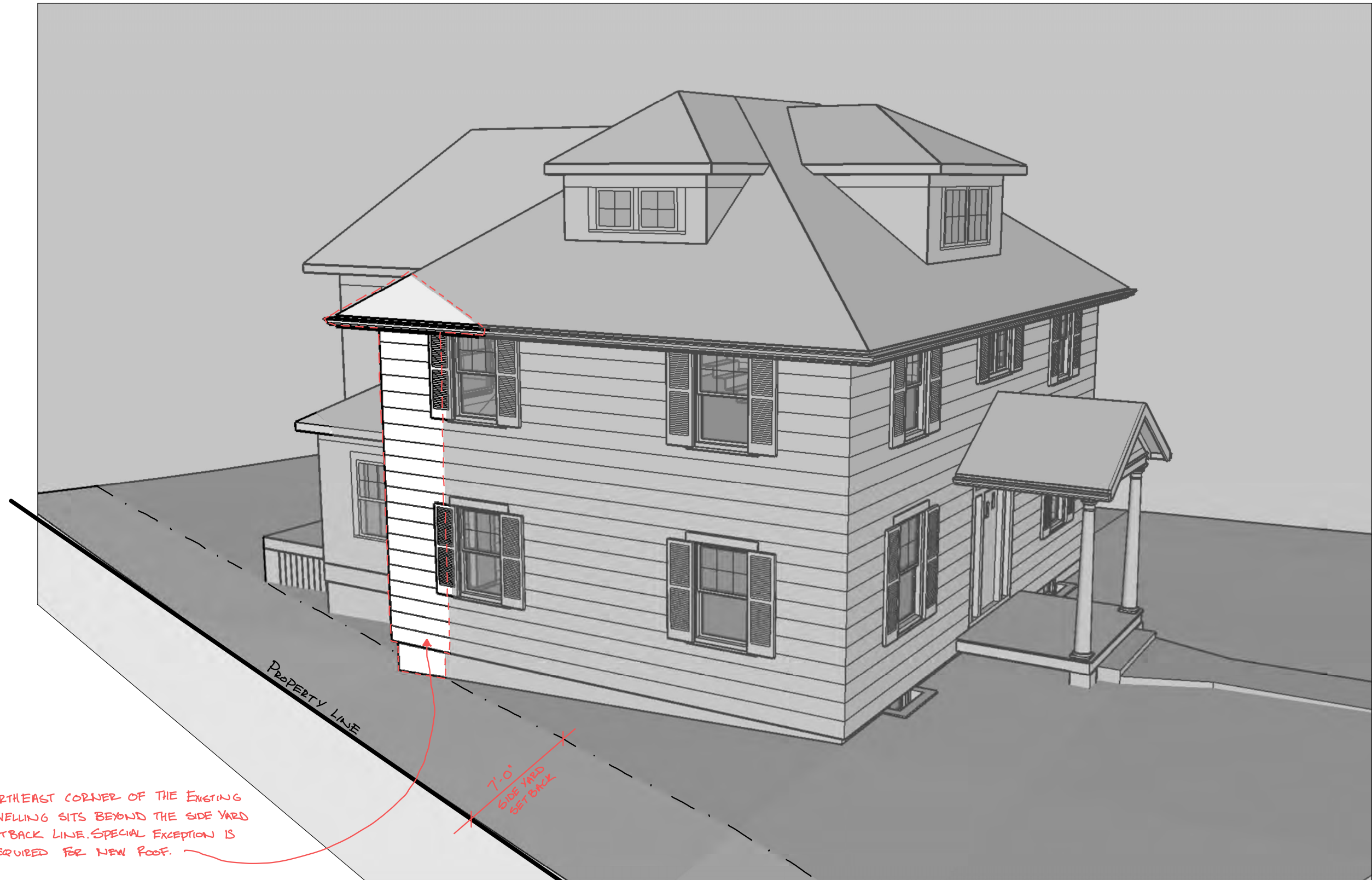
2001 Commonwealth Avenue
Alexandria, VA 22301

issued:	date:
SE	12/17/2021

REV. 1 - 01.03.2022

SE5

3D VIEW



NORTHEAST CORNER OF THE EXISTING
DWELLING SITS BEYOND THE SIDE YARD
SETBACK LINE. SPECIAL EXCEPTION IS
REQUIRED FOR NEW ROOF.

1 VIEW FROM NORTHWEST
SE5 NOT TO SCALE

Special Exception Drawings of
The Carland Residence

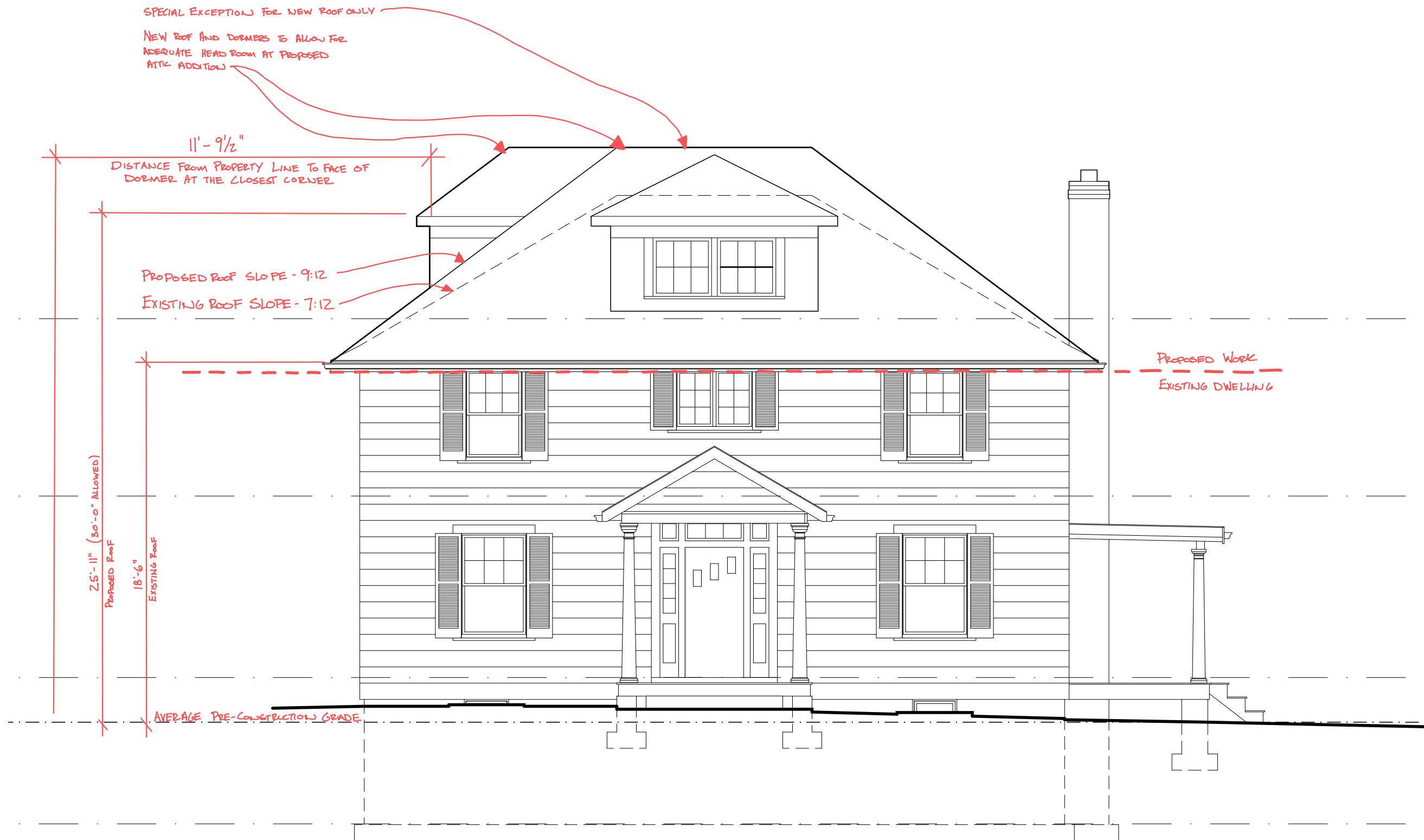
2001 Commonwealth Avenue
Alexandria, VA 22301

issued: SE date: 12/17/2021

REV. 1 - 01.03.2022

SE6

WEST ELEVATION



1 WEST ELEVATION
SE6 3/16" = 1'-0"

Special Exception Drawings of
The Carland Residence

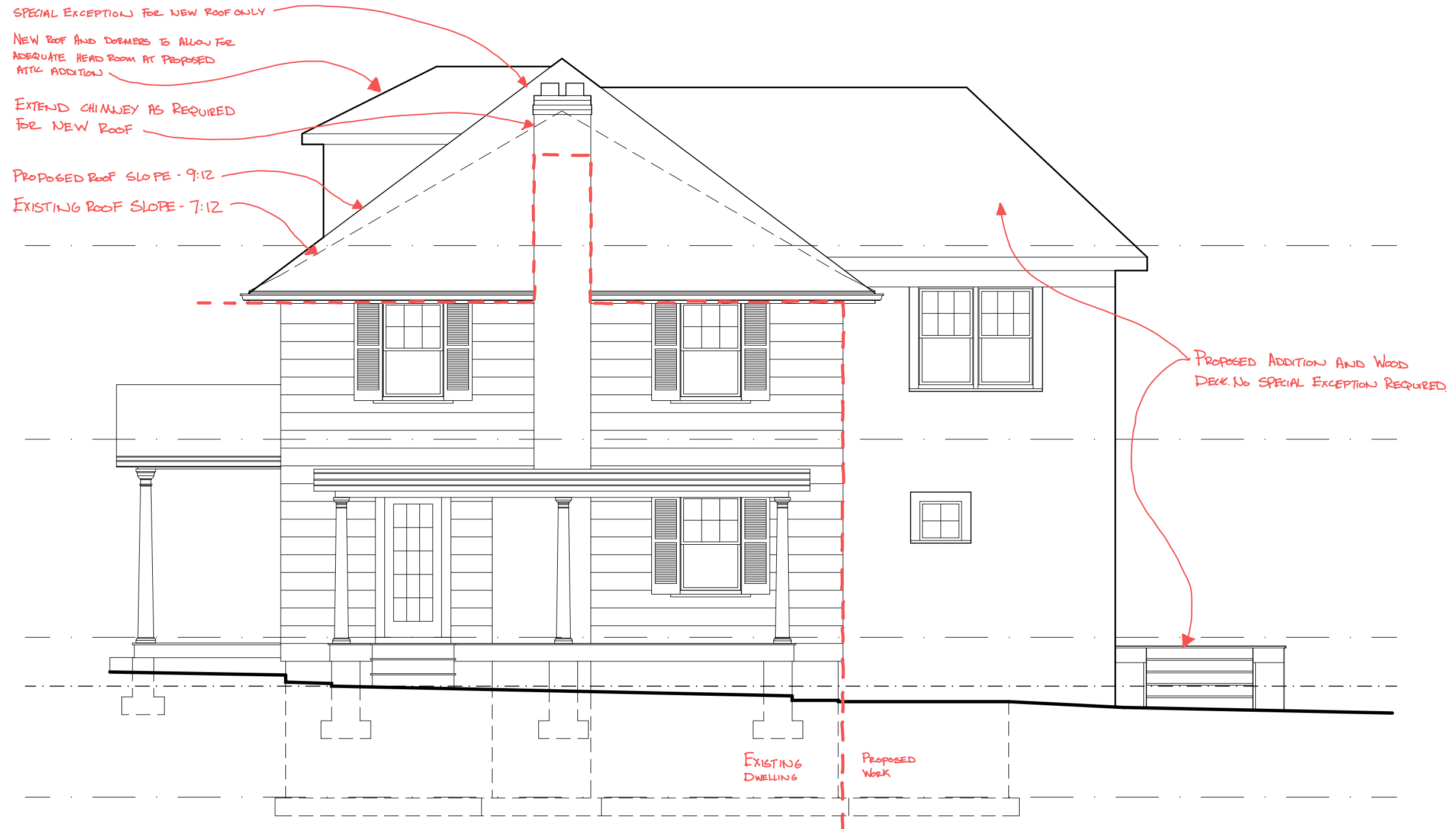
2001 Commonwealth Avenue
Alexandria, VA 22301

issued: SE date: 12/17/2021

REV. 1 - 01.03.2022

SE7

SOUTH ELEVATION



1 SOUTH ELEVATION
SE7 3/16" = 1'-0"

Special Exception Drawings of
The Carland Residence

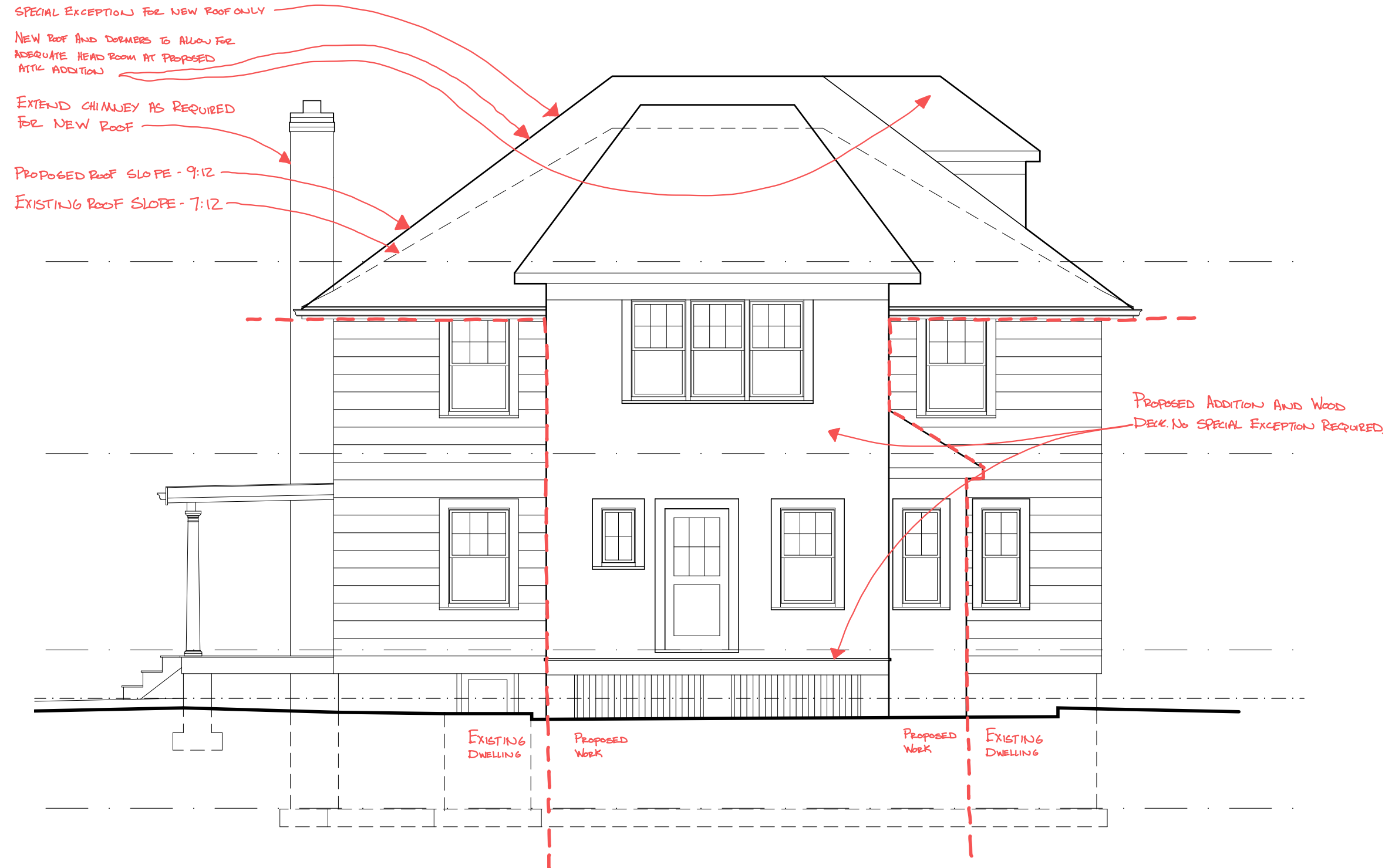
2001 Commonwealth Avenue
Alexandria, VA 22301

issued: SE date: 12/17/2021

REV. 1 - 01.03.2022

SE8

EAST ELEVATION



1 EAST ELEVATION
SE8 3/16" = 1'-0"

Special Exception Drawings of
The Carland Residence

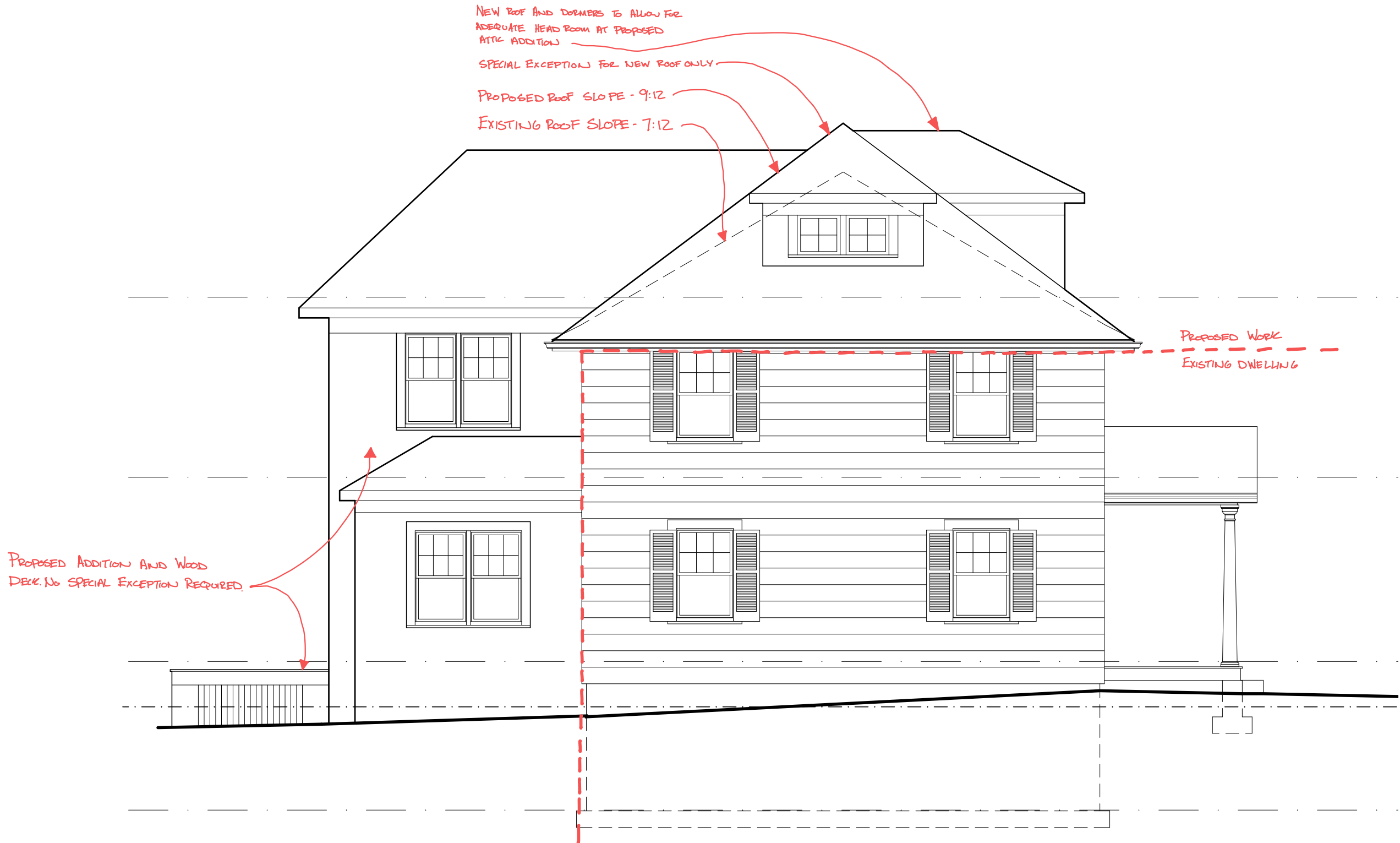
2001 Commonwealth Avenue
Alexandria, VA 22301

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SE9

NORTH ELEVATION



1 NORTH ELEVATION
SE9 3/16" = 1'-0"



1 WEST ELEVATION (COMMONWEALTH AVENUE)
SE10 NOT TO SCALE



2 SOUTH ELEVATION (E. HOWELL AVENUE)
SE10 NOT TO SCALE



3 EAST ELEVATION (SIDE YARD)
SE10 NOT TO SCALE



4 NORTH ELEVATION (SIDE YARD)
SE10 NOT TO SCALE

Special Exception Drawings of
The Carland Residence

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REV. 1 - 01.03.2022

SE10

IMAGES