

ISSUE: Permit to Demolish/Capsulate (partial), Certificate of Appropriateness for addition and alterations

APPLICANT: Avonlea, LLC

LOCATION: Old and Historic Alexandria District
322 and 324 South Lee Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness with the following condition:

1. Submit final window and door specifications with building permit confirming compliance with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*; and,
2. Include the statements from Alexandria Archaeology, below, in the General Notes of all on all construction documents that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
 - c. The statements in archaeology conditions above marked with an asterisk (“*”) shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

BOARD ACTION January 5, 2022 hearing (draft minutes): Deferred

On a motion by Ms. Roberts and seconded by Mr. Sprinkle, the Board of Architectural Review accepted the request the deferral of BAR #2021-00654 and BAR #2021-00655.

CONDITIONS OF APPROVAL

By unanimous consent, the Board of Architectural Review accepted the request for deferral of BAR #202-00654.

REASON

The Board wanted additional information about the age of the siding and windows on the ell.

SPEAKERS

Patrick Cooke, Architect, representing the applicant.

Gail Rothrock, 209 Duke St., spoke in opposition.

John Richards, 209 Madison St., spoke in opposition.

DISCUSSION

Ms. Irwin asked for clarification on the age of the ell. She supported the design of the porch and stated that since it is new (1999) it should look different. She also noted that some windows may not be in their original position. If/when siding removal determines the original locations of the windows, Ms. Irwin approves moving windows not in their original/historic locations.

Mr. Sprinkle asked for an explanation of proposed window alignment and expressed concern for what the effect of moving the windows might be to the interior of the building. He preferred that the windows remain where they are now. He also asked if there were precedents for the proposed porch design. He didn't think the copper roof and skylights were appropriate.

Mr. Spencer questioned if any of the windows on the 2nd story of the ell are original and requested clarification as to the proposed 63 square feet of demolition.

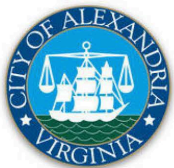
Mr. Adams praised the project architects and advised that the windows and their location should be retained. He likes that the historic siding will be restored and supports changes to the 1999 addition.

Ms. Roberts asked the architect if his applicant would be willing to retain any historic windows and recommended that any historic windows be retained/repaired/reused. She preferred that windows remain in their current locations but agreed with Ms. Irwin that windows found to not be in original/historic locations could be moved. She stated that the interior of the property is not under BAR purview and that any effect the proposed changes may have on the interior should therefore not be taken into consideration.

Ms. Sennott agreed with Ms. Irwin comments and supported the proposed copper roof.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



N

0 15 30 60 Feet

Note: Staff coupled the applications for a Permit to Demolish (BAR2021-00655) and Certificate of Appropriateness (BAR2021-00654) for clarity and brevity. The Permit to Demolish requires a roll call vote.

UPDATE

The applicant met on site with the Preservation Architect and other BAR staff on January 11, 2022 to evaluate the framing of the ell as well as the windows' age and location. The applicant has updated the submission based on those discoveries. Please see Sheet A2-2 of the application.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to expand an existing covered porch and add a new addition, as well as alterations, at 322 and 324 South Lee Street. The alterations include the following:

Demolish/Encapsulation

1. Demolish south elevation covered porch constructed in 1999 (692 sq.ft.)
2. Remove windows and portions of wall on south elevation (166 sq.ft.)
3. Remove existing skylights, chimney, rooftop HVAC units, and portions of roof
4. Remove existing windows and doors, and encapsulate portions of wall on east elevation (230 sq. ft.)

Addition and Alterations

1. Expansion of existing south elevation covered porch with new wood floor, standing seam copper roof, and roof lantern skylight.
2. Install new wood windows and doors in new locations as noted on plans.
3. New lanterns on house south wall at open porch
4. New brick chimney on south elevation
5. New painted wood cornice/parapet on 1999 addition
6. New skylights on middle roofs
7. New infill addition at northeast corner of 1999 addition
8. New one-story bay projection on rear/east elevation with steel doors, wood trim, brackets, and overhang, and flat-seam copper roof
9. New egress window wells on south elevation of rear/east addition

II. HISTORY

According to Ethelyn Cox in her book Historic Alexandria, Virginia Street by Street, A Survey of Early Buildings, the existing structure at 322 South Lee Street was built about **1853** by Frederick Miller. The three-bay, two-story Italianate frame duplex consists of a main block and a two-story ell with a two-story modern (1999) addition at the rear. Staff has never doubted Ms. Cox's work but has found inconsistencies between her 1853 date and Sanborn Fire Insurance Maps. The earliest Sanborn Map for Alexandria, which dates to 1885, does not include street numbers for this

block but does not appear to show a building in this location. It is possible there is a small brick building here, but that would not be the same as the building that is there now. The 1891 Sanborn Map shows the two-story frame building with a non-combustible roof at this location; it is a bakery and confectioner and a twin to the adjacent dwelling at 320 South Lee. Therefore, there is a chance that the building dates to between **1885 and 1891**. Whatever the exact construction date, this is an early building and will be evaluated accordingly. The 1891 map also depicts a side porch on the south elevation where the ell meets the main block of the house.

Permit #229 dated May 22, 1937 indicates that the house's original wood siding was covered with Bricktex in that year. Permit #24645, issued September 14, 1967 approved the installation of redwood siding over that Bricktex. From 1985 to 1999 there was a one-story shed at the rear (east) elevation that replaced a previously existing shed of the same configuration (Building Permit #1521, 3/27/85).

Previous BAR Approvals

BAR2021-00595 – Administrative approval to restore the historic siding under the modern siding on the front and side elevations, install new siding on the rear/east 1999 addition, reroof all existing metal roofs, replace front door in kind, replace non-original windows, replace front light fixture.

BAR97-0259 – Approval of a Permit to Demolish for partial demolition/capsulation.

BAR97-0260 – Approval for a Certificate of Appropriateness for an addition and alterations.

The above two cases approved the construction of the two-story addition at the rear/east end of the house and the open porch on the south elevation. See Figure 1.

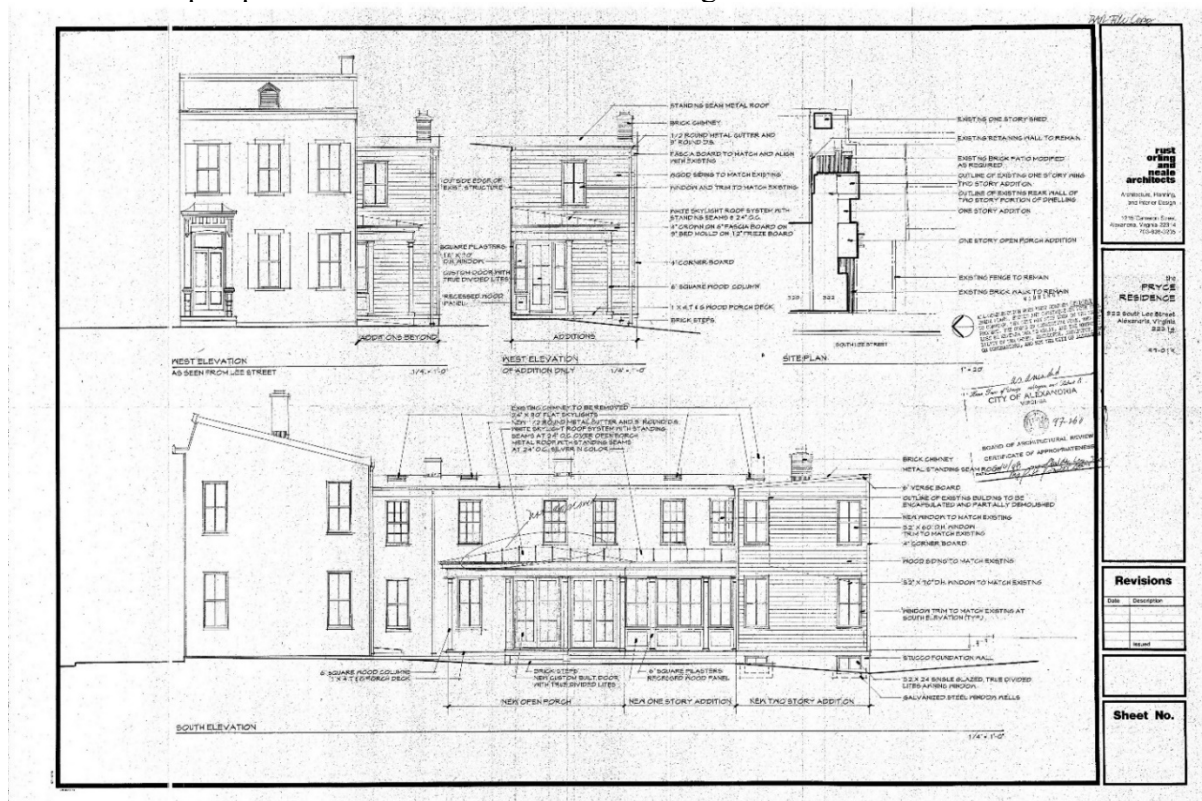


Figure 1: BAR97-0260 plans for south elevation

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The applicant proposes a limited amount of demolition/capsulation to the wall surface on later portions of the building. The standards above relate to the portions of the building proposed for demolition/ capsulation, not the overall building. The materials on this small area of wall and later additions are not of unusual or uncommon design and could be reproduced easily.

Certificate of Appropriateness

South Elevation

The applicant proposes to expand the existing one-story porch westward to meet the main block of the house. The proposal also includes replacing the existing roof, windows, shutters, and paneling under the first-floor windows. The *Design Guidelines* state that porches are important architectural elements and serve as a defining element of an architectural style. The expanded porch is appropriate to the historical style of the structure and does not hide, obscure, or cause the removal of important historic architectural details. In 1997 (BAR97-0260) the BAR found the side porch here to be an appropriate addition to the house. This proposal seeks to modify that previously approved porch. The six second-story windows will be slightly reconfigured. The reconfigured windows will be more equally spaced and better aligned with the expanded porch. The new two-over-two windows are architecturally appropriate for this Italianate style duplex.

On the south elevation of the rear/east 1999 addition, the brick chimney will be replaced, matching the existing brick. The windows on the first and second story of this addition will be replaced in-kind. The cellar egress window openings will be enlarged, and the new cellar windows will be two-over-two egress casement windows.

Sanborn Fire Insurance Maps indicate that the south elevation has been altered numerous times. Additionally, there have been several additions to the rear/east elevation. The 1891 Sanborn shows an open one-story porch at the intersection of the ell and the main block, which would suggest that the applicant's proposal would return the elevation to an earlier form. The 1896 Sanborn shows alterations to that original porch. It is now a two-story porch that does not quite meet the main block; it is pushed back east to about where it is today. The 1902 through 1912 maps depict the porch extending west to the main block again. By 1921, the porch is gone. The 1941 and 1959 maps show a small one-story addition on the south elevation which was in place until the 1999 alterations to the house. The Sanborn maps and the 1999 changes indicate that this elevation has little left of its original materials and integrity. In contrast, 320 South Lee, the twin dwelling adjacent to the north, remained unchanged on all Sanborn maps. Unlike 322 South Lee, it had no rear or side additions over time. See Figure 2 for the north elevation of 320 South Lee, which may indicate the original/historic fenestration of the westernmost part of the south elevation of 322 South Lee, as it is very similar to the pre-1999 appearance of 322 South Lee (Figure 3).



Figure 2 (left): 320 S. Lee north elevation



Figure 3: 322 S. Lee south elevation prior to 1999 alterations

As noted above, staff evaluated the south elevation windows with the applicant's architects, who removed some of the drywall and plaster in order to uncover the construction elements surrounding the windows. Page A2-2 of the applicant's submission provides full details as to exactly what we uncovered during our investigation. Physical evidence indicates that at least three windows on the second floor of the south elevation are not in their original/historic locations and the easternmost window is new. Based on both physical and documentary evidence, staff does not object to the changes proposed for the south elevation.

East Elevation

The *Design Guidelines* state that the stylistic characteristics of additions to residential buildings should reflect the historic architectural styles found within the historic districts. The proposed one-story addition will be 18'-2" wide and incorporate the design vocabulary of the existing structure by using roof and window configurations and material types found on other portions of the structure. Additionally, this addition will be appended to a 1999 building and will not be visible from a public right of way. The applicant also proposes to infill a one-story structure on the north-east corner, which will not be visible from the public right-of-way.

Additionally, the windows on the second story will be replaced. Three of the window locations will be reconfigured. The proposed new locations will better align the windows with the proposed first-story addition.

Roof

The *Design Guidelines* state that the introduction of skylights is a common method to bring more light into the interior of an existing historic structure. The applicant proposes to remove three existing skylights and install four new skylights. The proposed locations are not visible and do not disrupt the visual continuity and profile of the roofline. The existing standing seam copper roof on the northeast corner will be replaced with a new flat seam copper roof.

Summary

Staff does not object to the proposed addition and alterations, finding them architecturally appropriate. When submitting for the building permit, the applicant must submit door and window specifications to confirm that they comply with the window policy.

With the conditions above, staff recommends approval of the project. Staff notes the recommendations of Alexandria Archaeology.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Susan Hellman, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 The proposal crosses the south property line onto the property at 324 S Lee Street. If the lots are consolidated, the proposal will comply with zoning, as it will be under the allowed FAR and will meet setbacks and open space regulations. If the lots are not consolidated, the proposal will not comply with zoning, as it will exceed FAR, will be deficient in open space, and will have construction crossing property lines.

F-2 The applicant owns both 322 and 324 S Lee Street and is in the process of consolidating the lots. Proof of consolidation will be required when submitting for building permit.

Code Administration

C-1 A building permit and plan review are required prior to the start of construction

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

Alexandria Archaeology

- F-1 According to Historic Alexandria, Virginia, Street by Street, by Ethelyn Cox, the house currently on this lot was probably constructed in the early 1850s by Frederick Miller. Miller's heirs held title to the house until the late 1880s. While the ground disturbance associated with this project is relatively minimal, there is a slight possibility for the discovery of archaeological resources that could provide insight into 19th-century domestic activities. To ensure that information about the past is not lost as a result of this project, the following requirements are recommended.
- R*1 The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R*2 The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3 The statements in archaeology conditions above marked with an asterisk ("*") shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheet piling and Shoring) so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

- 1 – *Application Materials*
- 2 – *Supplemental Materials*
- 3 – [*January 5, 2022 – Staff Report with Minutes BAR #2021-00654 & BAR # 2021-00655*](#)

ADDRESS OF PROJECT: 322 and 324 S. Lee Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building
 075.03-05-50/ 075.03-05-51 R-M, Townhouse
 TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
 (Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
 CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
 (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Lisa and Phil Herget

Address: 322 S. Lee Street

City: Alexandria State: VA Zip: 22314

Phone: 703-447-9848 E-mail: lisaherget@me.com

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____
 Name: Neal Thomson Phone: 202-686-6583

E-mail: neal@thomsoncooke.com

Legal Property Owner:

Name: Avonlea LLC

Address: 322 S. Lee Street

City: Alexandria State: VA Zip: 22314

Phone: 703-447-9848 E-mail: lisaherget@me.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☒ doors
☒ lighting
☐ other _____

☐ fence, gate or garden wall
☒ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Expansion of existing South elevation covered porch with new wood floor, standing seam copper roof, and roof lantern skylight. Install new "Tradewood" wood windows and doors in new locations as noted on plans. New "Vaughan" lanterns on house South wall at open porch. New brick chimney on South elevation New painted wood cornice/parapet at addition from 1999. New "Velux" skylights on middle roofs. New infill addition at North-East corner of addition from 1999. New East one-story bay projection with "Wellborn & Wright" steel doors, wood trim, brackets, and overhang, and flat-seam copper roof. New egress window wells on South rear addition.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☒ ☐ Description of the reason for demolition/encapsulation.
☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Description of reason for demolition/encapsulation:

South Elevation -

- The second floor windows in the “EI” are being demolished due to rotting and poor conditions. These windows do not match the original windows on the front of the house (6-over-6 vs 2-over-2), and the Eastern-most window in the “EI” in the center was added during the work done to the house in 1999.
- The second floor window locations are being minimally revised to regularize the South Elevation and respond to the plan changes occurring on the second floor.
- The Existing South 1-story porch is being demolished and re-built to encapsulate the entire South “alcove” in order to regularize the South Elevation and allow for more light into the space with the large roof lantern skylight. The window/door locations on the South wall beyond the porch on the first floor are being revised to correspond with the new porch size and the interior plan modifications.
- A portion of the wall on the first and second floor at the Eastern-most two-story addition from 1999 is being demolished to allow for the new chimney on the exterior of the house. The windows on this wall are being re-centered on the walls in their corresponding rooms due to the chimney revision.

East/West Elevations -

- The windows on the second floor of both the East and West elevation are being revised to correspond to the plan changes.
- The doors on the first floor of the East elevation are being removed and replaced with a new minimal steel door bay projection to allow more light into the space and regularize the wall with the interior plan changes.
- The existing one-story addition/roof on the rear is being removed so that the North-Eastern corner of this space can be infilled in order to regularize the floor plan.

Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible:

South Elevation -

- An alternative solution to replacing and relocating the Second Floor would be to maintain the existing windows in their existing locations. This is not feasible because it would create conflicts with the interior walls in the revised interior plans.
- An alternative solution to replacing the existing 1-story porch would be to maintain the existing size. This is not feasible because it would conflict with the interior walls in the revised interior plans. There would not be a cohesiveness to the entire plan and it would not allow for more light into the space without the new roof-lantern skylight. It is not feasible to maintain the existing door/window locations because it would conflict with the new plan changes and would not allow for a regularization of the first-floor South wall.
- An alternative solution to the demolition of the wall and re-centering of the windows on the Eastern-most two-story addition from 1999 would be to maintain the existing window locations and not install a new chimney. This is not feasible because the existing chimney and fireplace would conflict with the revised interior plans.

East/West Elevations -

- An alternative solution to the window locations being revised on the second floor in both East & West elevations would be to maintain the existing window locations. This is not feasible because it would create conflicts with the interior walls in the revised interior plans.
- The alternative solution to the removal of the doors on the first floor East elevation would be to maintain their existing locations. This is not feasible because it would create conflicts with the interior walls in the revised interior plans and would allow less light into the space.
- The alternative solution to the demolition of the one-story addition/roof on the North East corner is to maintain that as-is. This is not feasible because it would create conflicts with interior walls in the revised interior plan. This would also not allow for the floor plan changes proposed on the first floor with an open kitchen layout into the dining/living area.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*


- ☒ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature:  _____

Printed Name: Neal Thomson

Date: 12/06/2021

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Phil Herget & Lisa Herget	322 S. Lee Street, Alexandria, VA. 22314	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 322 South Lee Street Alexandria, Virginia 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Avonlea LLC, a Virginia limited liability company	322 S. Lee Street, Alexandria, VA. 22314	100%
2. SEE ATTACHED FOR ENTITIES OWNING IN EXCESS OF 3% OF AVONLEA		LLC
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Phil & Lisa Herget	NONE	
2. Phil & Lisa Herget	NONE	
3. 3 % Entities (See Attached)	NONE	

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12/5/21
12/06/2021

Date

Phil Herget
Neal Thomson

Printed Name



R. Philip Herget III

Signature

OWNERSHIP AND DISCLOSURE STATEMENT

Additional Information Entities owning and Interest in excess of 3% of Avonlea LLC

Avonlea LLC Members.

RPH 2012 Family Trust u/a dated December 11, 2012 – 49%

LH 2012 Descendants Trust u/a dated December 11, 2012 – 49%

The Revocable Trust of R. Philip Herget III u/a/d October 4, 1999 – 1%

The Revocable Trust of Anne Shehan Herget u/a/d October 4, 1999 – 1%



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. 322 S. Lee Street RM
 Street Address Zone
 A2. 5,491 x 1.5 = 8,237 S.F.
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	871	Basement**	871	B1. 4,992 <input type="text"/> Sq. Ft.
First Floor	1,978	Stairways**	107	Existing Gross Floor Area*
Second Floor	1,803	Mechanical**	N/A	B2. 1,341 <input type="text"/> Sq. Ft.
Third Floor	N/A	Attic less than 7'***	N/A	Allowable Floor Exclusions**
Attic	N/A	Porches**	167	B3. 3,651 <input type="text"/> Sq. Ft.
Porches	251	Balcony/Deck**	N/A	Existing Floor Area Minus Exclusions
Balcony/Deck	N/A	Lavatory***	196	(subtract B2 from B1)
Lavatory***	Included Above	Other**	65 (Shed)	
Other**	89 (Shed)	Other**	N/A	
B1. <u>Total Gross</u>	4,992 <input type="text"/>	B2. <u>Total Exclusions</u>	1,341 <input type="text"/>	

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	764	Basement**	764	C1. 917 <input type="text"/> Sq. Ft.
First Floor	30	Stairways**	138	Proposed Gross Floor Area*
Second Floor	0	Mechanical**	N/A	C2. 988 <input type="text"/> Sq. Ft.
Third Floor	N/A	Attic less than 7'***	N/A	Allowable Floor Exclusions**
Attic	N/A	Porches**	70	C3. 71 <input type="text"/> Sq. Ft.
Porches	107	Balcony/Deck**	N/A	Proposed Floor Area Minus Exclusions
Balcony/Deck	N/A	Lavatory***	0	(subtract C2 from C1)
Lavatory***	Included Above	Other**	0	
Other	16	Other**	16	
C1. <u>Total Gross</u>	917 <input type="text"/>	C2. <u>Total Exclusions</u>	988 <input type="text"/>	

D. Total Floor Area

D1. 3,580 Sq. Ft.
 Total Floor Area (add B3 and C3)
 D2. 8,237 Sq. Ft.
 Total Floor Area Allowed
 by Zone (A2)

E. Open Space

E1. 3,376 Sq. Ft.
 Existing Open Space
 E2. 1,922 Sq. Ft.
 Required Open Space
 E3. 3,173 Sq. Ft.
 Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

12/06/2021

Signature: _____

Date: _____



FRONT OF HOUSE FROM LEE STREET



SOUTH-WEST CORNER



LOOKING TOWARDS BACK OF HOUSE FROM LEE STREET



SOUTH/SIDE ELEVATION AT FRONT OF HOUSE



EAST FACING WINDOW ON FRONT PORTION OF HOUSE



EXISTING COVERED PORCH ON SOUTH/SIDE ELEVATION



SOUTH/SIDE ELEVATION - MIDDLE OF HOUSE



SOUTH/SIDE ELEVATION ADDITION FROM 1999



EAST/REAR ELEVATION (1999 ADDITION)



INTERIOR OF SOUTH-FACING WINDOW IN MIDDLE OF HOUSE



INTERIOR OF SOUTH-FACING WINDOWS IN MIDDLE OF HOUSE

VAUGHAN



Powis Wall Lantern

Simple clean lines define this lantern. Designed with small spaces in mind, we produce this wall lantern in three finishes, antiqued brass, distressed zinc and bronze, to create three different looks. UL listed for wet locations.

Code	WA0192.BZ
Height	12 inches
Width	7 inches
Depth	5 inches
Finishes	Bronze
Base material	Brass

Proposed Porch Lantern (See South Elevation)

THOMSON & COOKE ARCHITECTS

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322 S Lee Street Alexandria VA 22314

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Photographs

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Alexandria, VA 22314

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PROJECT INFO :

EXPANSION OF EXISTING SOUTH ELEVATION COVERED PORCH WITH NEW WOOD FLOOR, STANDING SEAM COPPER ROOF, AND CONSERVATORY SKYLIGHT BY "TANGLEWOOD CONSERVATORIES". INSTALL NEW "TRADEWOOD" WINDOWS AND DOORS IN NEW LOCATIONS AS NOTED ON PLANS. NEW BRICK CHIMNEY ON SOUTH ELEVATION. NEW PAINTED WOOD CORNICE/ PARAPET AT ADDITION FROM 1999. NEW "VELUX" SKYLIGHTS ON MIDDLE ROOFS. NEW INFILL ADDITION AT NORTH-EAST CORNER OF ADDITION FROM 1999. NEW EAST ONE-STORY BAY PROJECTION WITH WOOD TRIM, BRACKEST, AND OVERHANG, STEEL DOORS, AND FLAT-SEAM COPPER ROOF. NEW EGRESS WINDOW WELLS ON SOUTH REAR ADDITION FROM 1999.

ADDRESS: 322 & 324 S Lee Street
Alexandria, VA 22314

LOCATION: MAP-BLOCK-LOT #: 075.03-05-51/ 075.03-05-50

ZONING: R-M/ Townhouse Zone

SETBACKS: SIDE: ONE 5' MIN., REAR: RATIO 1:2/16' MIN.

LOT AREA: 5,491 SF (2,902 SF + 2,589 SF DOUBLE LOT)

ALLOWED/REQ'D.: PROPOSED:

BUILDING HEIGHT: 35' NO CHANGE TO EXIST.

OPEN/USEABLE SPACE: 35% (1,922 SF) 58% 3,173 SF

FAR: 1.5 (8,237 SF) 0.65 (3,580 SF)

BUILDING AREA:

EXISTING: PROPOSED:

BSMT. FLOOR AREA: 871 SF 1,635 SF

FIRST FLOOR AREA: 1,978 SF 2,008 SF

SECOND FLOOR AREA: 1,803 SF 1,803 SF

ATTIC AREA: 0 SF 0 SF

PORCH AREA: 251 SF 358 SF

ACCESS. BLDG. AREA: (INCL.) 89 SF 89 SF

OTHER: 0 SF 16 SF

EXEMPTIONS PER CODE: -1,341 SF -2,330 SF

TOTAL: 3,651 SF 3,580 SF



Herget Residence
322 & 324 S Lee Street Alexandria VA 22314

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Standard Abbreviations

AC Air Conditioner, (ing. ed.)	DD Drain Drier	GWB Gypsum Wall Board	NC Not in Contract	SM Similar
AB Anchor Bolt	DBL Double	GYP Gypsum	NO Number	SK Addendum Sheet
ABV Above	DEB Demolition	NOM Nominal	SB Specification	SP Stand Pipe
AD Area Drain	DET Detail	HD Head	NTS Not to Scale	SS Stainless Steel
ADJ Adjustable	DIA Diameter	HDW Hardwood	O Over	SQ Square
AFF Above Finish Floor	DIAG Diagonal	HDWR Hardware	OC On Center	ST Street
AGG Aggregate	DIF Diffuser	HGR Hanger	OD Outside Diameter	STD Standard
AHU Air Handling Unit	DIM Dimension	HOR Horizontal	OP Opening	STL Steel
ALUM Aluminum	DISP Dispenser	HR Hour	OPP Opposite	STN Stainless
ANOD Anodized	DI Dead Load	HVAC Heating, Ventilating & A/C	OPR Opening	STOR Storage
ARCH Architectural	DN Down	HWM Hot Water Heater	OPR Opening	STRUT Structural
AUTO Automatic	DS Down Spout	ID Inside Diameter	OPR Opening	SUSP Suspension or Suspended
AVC Average	DW Down	INSUL Insulation/Insulating	OPR Opening	SYST System
BA Bath	EA East	INT Interior	OPR Opening	TBD To Be Determined
BD Board	EJ Expansion Joint	LAM Laminated	OPR Opening	TDR To Be Determined
BEV Bevel (Ed)	EL Elevation	LAV Lavatory	OPR Opening	TDR To Be Determined
BLK Black	ELEC Electrical	LB Pound	OPR Opening	TDR To Be Determined
BMT Basement	ELEV Elevator	LIB Library	OPR Opening	TDR To Be Determined
BOT Bottom	EMER Emergency	LIN Linen Closet	OPR Opening	TDR To Be Determined
BR Bedroom	ENCL Enclosure	LL Live Load	OPR Opening	TDR To Be Determined
BRG Beating	ENG Engineering	LLX Long Leg Horizontal	OPR Opening	TDR To Be Determined
BRK Brick	EQ EQUIP	LP Low Point	OPR Opening	TDR To Be Determined
BRL Building Restriction Line	EQ EQUIP	LV Low Voltage	OPR Opening	TDR To Be Determined
BTW Between	EQ EQUIP	LVL Laminated Veneer Lumber	OPR Opening	TDR To Be Determined
CC Center To Center	EQ EQUIP	LW Light Weight	OPR Opening	TDR To Be Determined
CAB Cabinet	EQ EQUIP	MC Machine Cabinet	OPR Opening	TDR To Be Determined
CEM Cement	EQ EQUIP	MAINT Maintenance	OPR Opening	TDR To Be Determined
CL Cast Iron	EQ EQUIP	MAX Maximum	OPR Opening	TDR To Be Determined
CL Closets	EQ EQUIP	MEMB Membrane	OPR Opening	TDR To Be Determined
CLR Clear (ance)	EQ EQUIP	MEET Metal, Metallic	OPR Opening	TDR To Be Determined
CLD Clear Drain	EQ EQUIP	MIN Minimum	OPR Opening	TDR To Be Determined
COL Column	EQ EQUIP	MISC Miscellaneous	OPR Opening	TDR To Be Determined
CP Coping	EQ EQUIP	ML Mill	OPR Opening	TDR To Be Determined
CT Ceramic Tile	EQ EQUIP	MS Masonry Opening	OPR Opening	TDR To Be Determined
CTR Center	EQ EQUIP	MTD Mounted	OPR Opening	TDR To Be Determined
CTV Cable TV	EQ EQUIP	MTG Mounting	OPR Opening	TDR To Be Determined
CJ Construction Joint	EQ EQUIP	NA Not Applicable	OPR Opening	TDR To Be Determined
CLL Contract Limit Line	EQ EQUIP	NEC Necessary	OPR Opening	TDR To Be Determined
CMU Concrete Masonry Unit	EQ EQUIP	NIC No Head Casting	OPR Opening	TDR To Be Determined
CONC Concrete	EQ EQUIP		OPR Opening	TDR To Be Determined
CONSTR Construction	EQ EQUIP		OPR Opening	TDR To Be Determined
CONT Continuous	EQ EQUIP		OPR Opening	TDR To Be Determined
CONTR Contractor	EQ EQUIP		OPR Opening	TDR To Be Determined
COUN Countersink	EQ EQUIP		OPR Opening	TDR To Be Determined
CTOP Countertop	EQ EQUIP		OPR Opening	TDR To Be Determined
CTSK Countersink	EQ EQUIP		OPR Opening	TDR To Be Determined
CU FT Cubic Feet	EQ EQUIP		OPR Opening	TDR To Be Determined

Surface Materials

Brick - Running	Ceramic Tile - Size Varies
Block - Running	Stone Tile - Size Varies
Parged Concrete	Flagstone - Irregular
Shingles/ Shakes	Flagstone - Rectangular
Metal Roof	Wood Floor/ Siding
Slate Roof	Stone Veneer
Marble/ Granite	

Section Materials

Brick	Earth
Poured Concrete	Steel
CMU	Finish Wood
Rubble Stone	Plywood
Fire Brick	Dimensional Lumber
Finish Stone/ Slate	Wood Blocking

Drawing Symbols

1 A2-3	DRAWING - SHEET
1 A2-1	DRAWING - SHEET
1 A3-1	DRAWING - SHEET
1 A5-1	DRAWING - SHEET
TOP OF PLATE 0'-2 1/2"	Level Elevation: Section/Elevation
8'-0"	Level Elevation: Plan
Revision	
Window	
Door	
Structure Member	
Footings	

Project Team

ARCHITECT
Thomson+Cooke Architects pllc
Neal Thomson, AIA
5155 MacArthur Blvd NW
Washington, DC 20016
202-686-6583
CONTRACTOR

STRUCTURAL ENGINEER

CIVIL ENGINEER

LANDSCAPE ARCHITECT

Drawing List

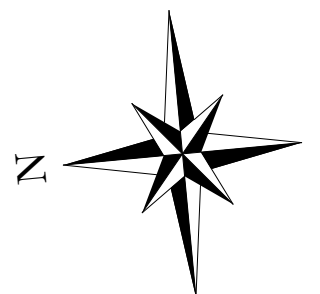
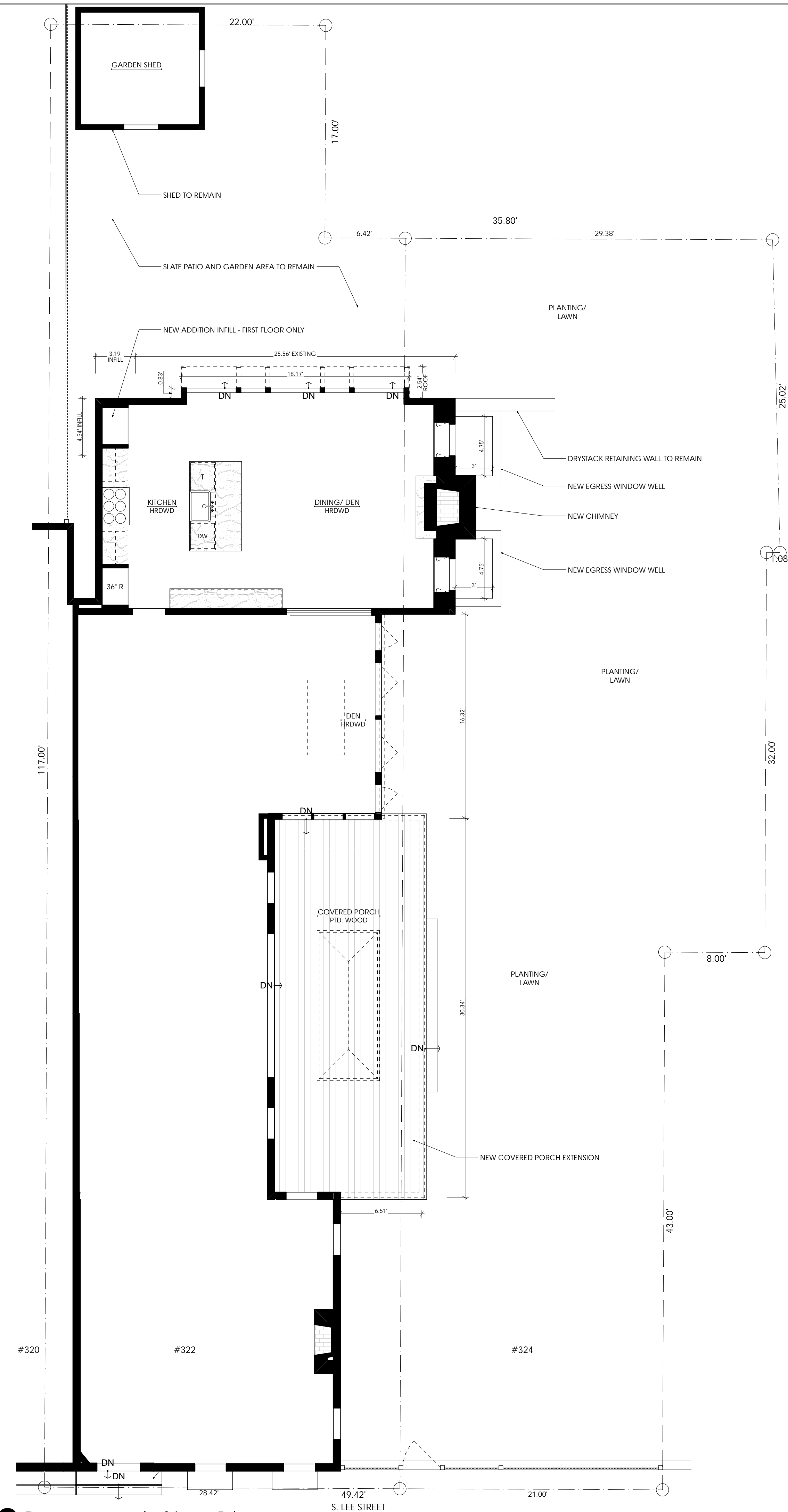
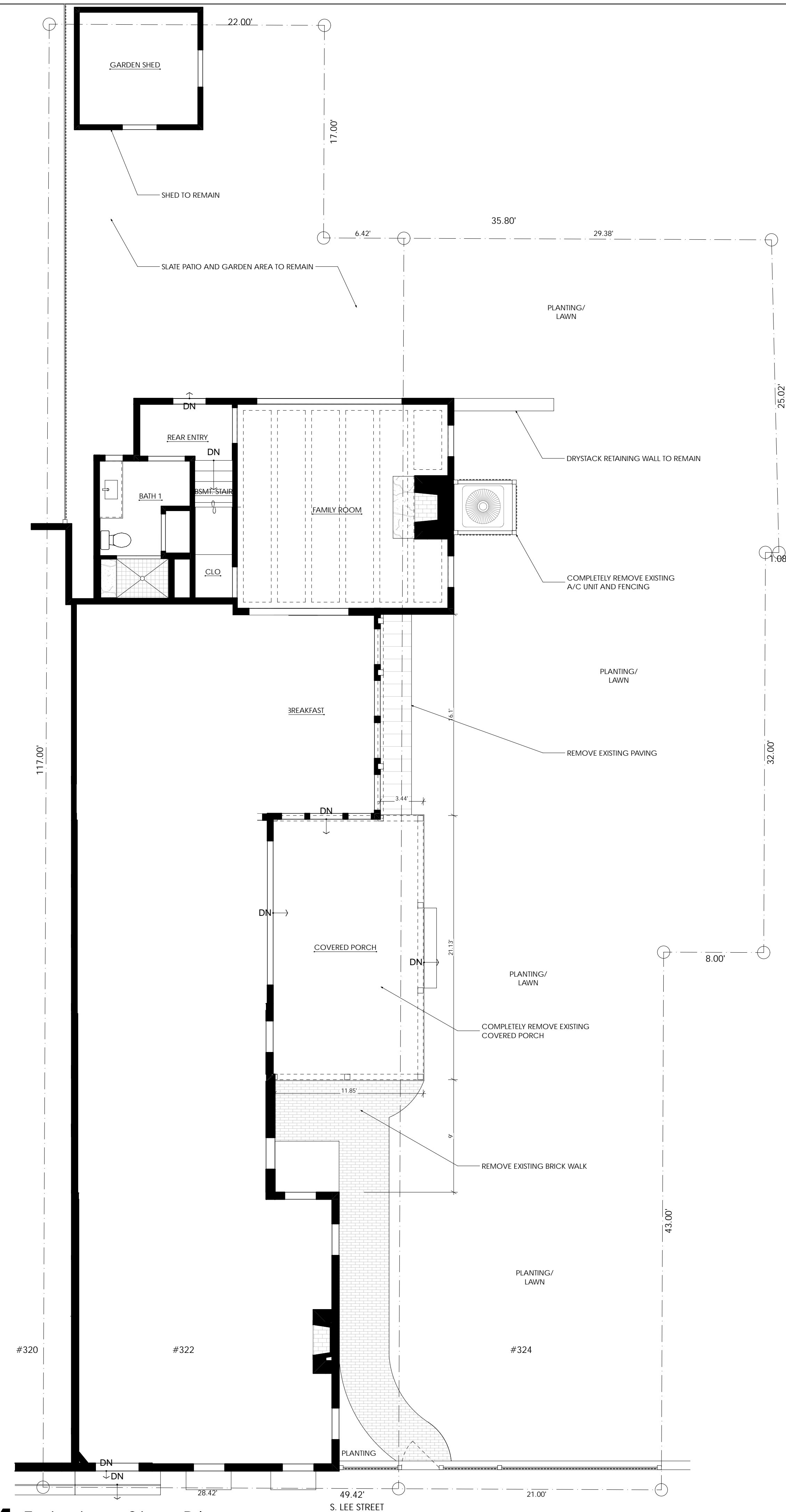
T1 Cover
T2 Site Plan
T3 Window/Door Details
T4 Photographs
T5 Exploratory Demo Photographs
T6 Exploratory Demo Photographs

A1-0 Basement Demolition & Proposed Plans
A1-1 First Floor Demolition & Proposed Plans
A1-3 Roof Demolition & Proposed Plans
A2-1 Existing, Demo, & Proposed Front (West) Elevations
A2-2 Existing Side (South) Elevation
A2-3 Demo & Proposed Side (South) Elevation
A2-4 Existing, Demo, & Proposed Rear (East) Elevations
A2-5 East Elevation - Original Block/ West Elevation - Rear Block

Cover

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T1



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te Plan

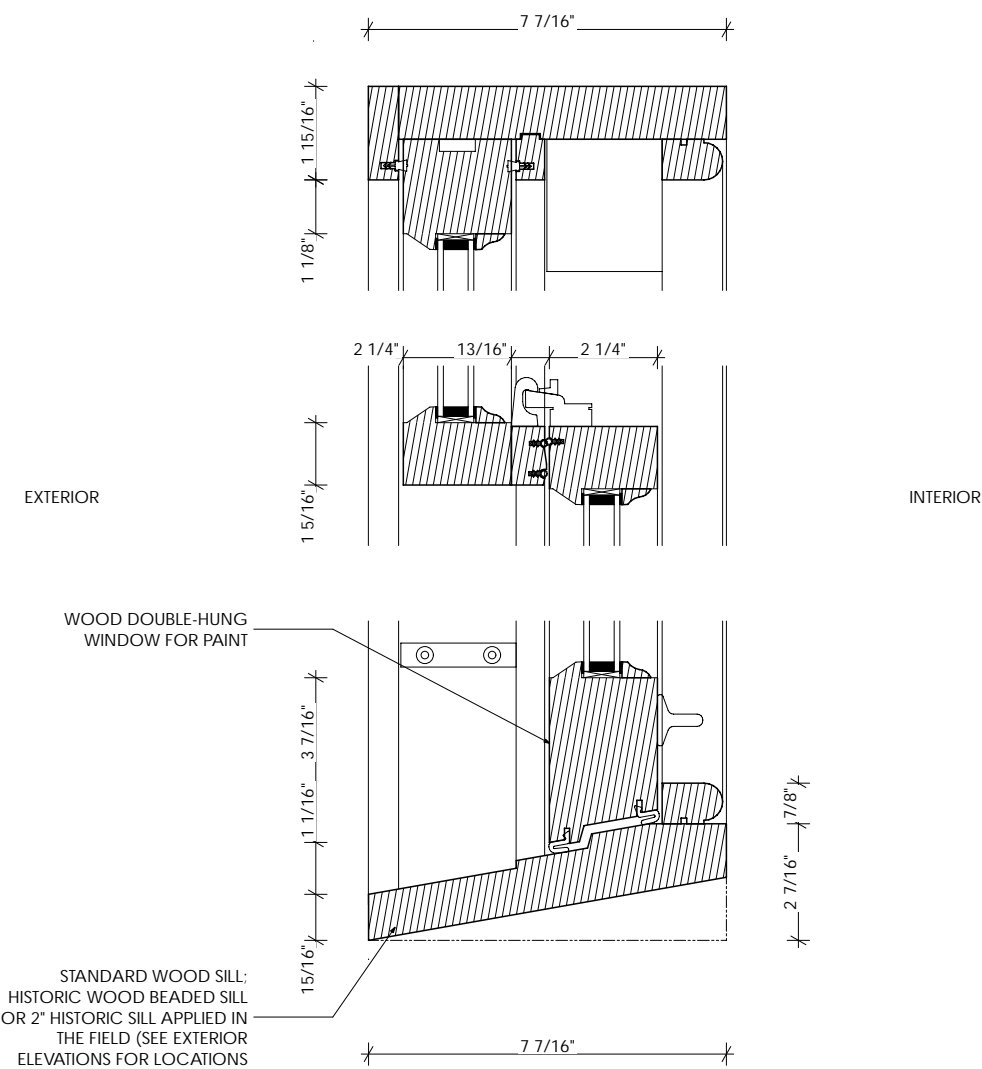
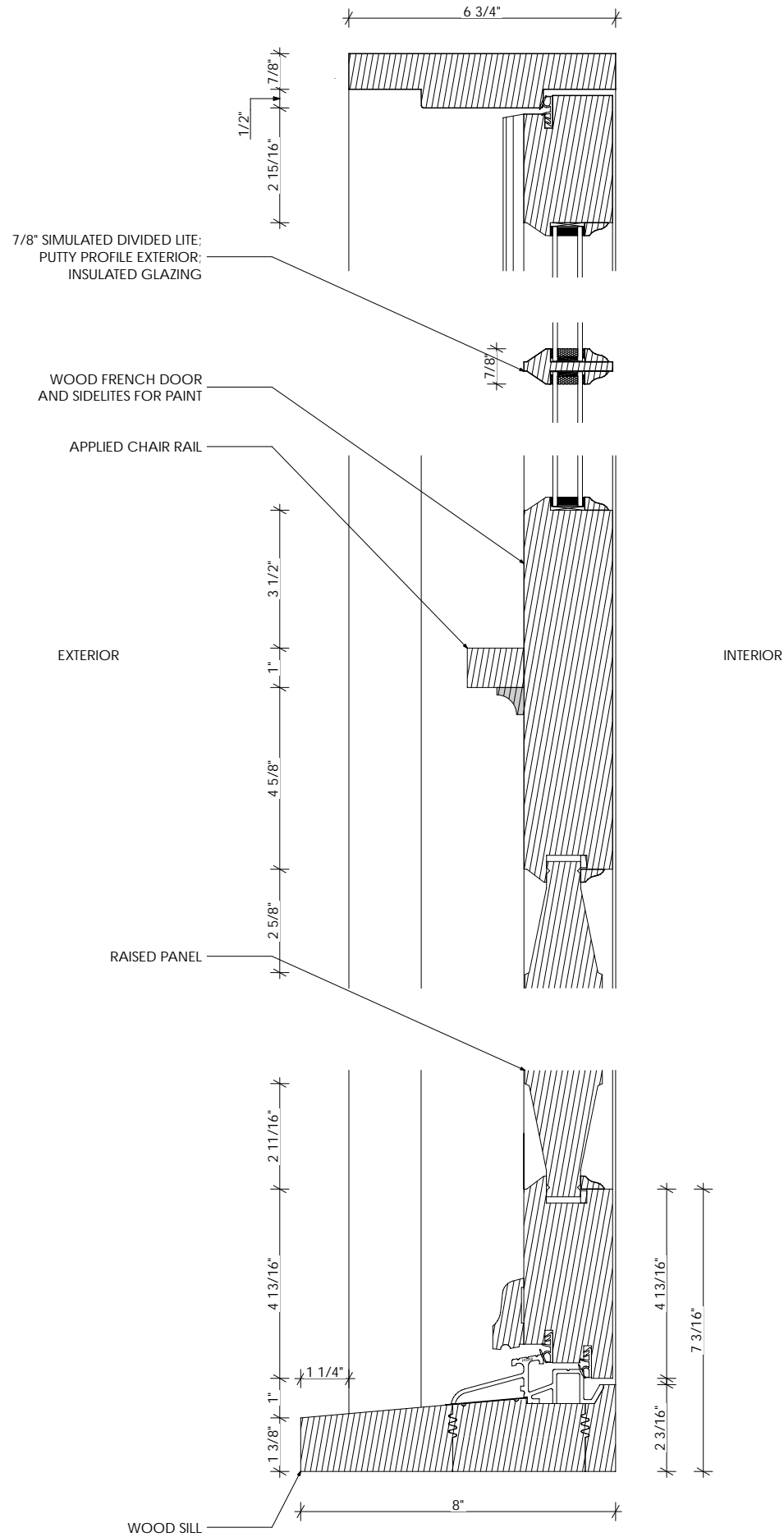
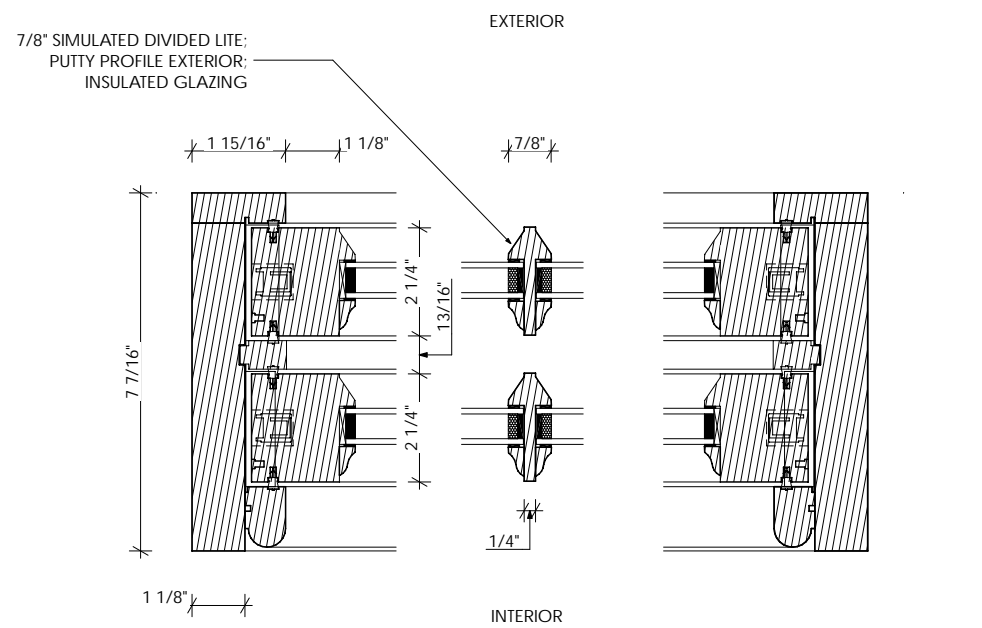
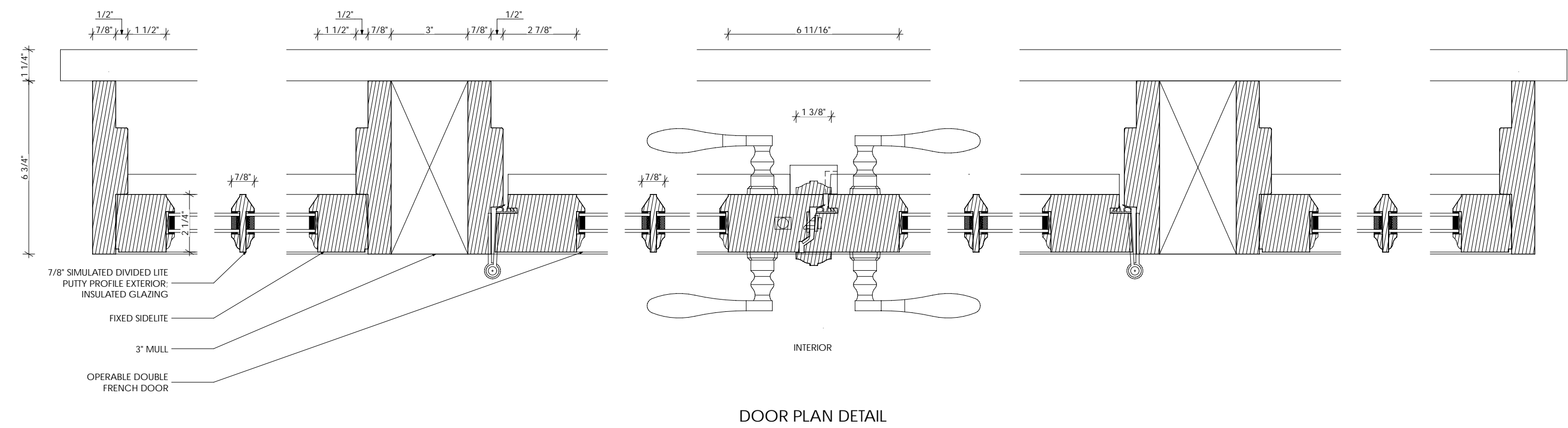
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T2

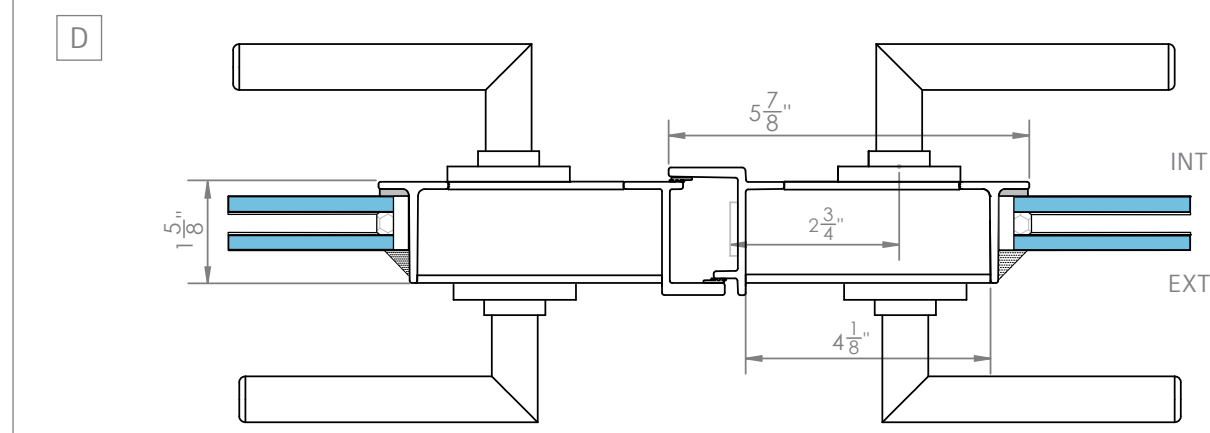
nted: 1/12/22



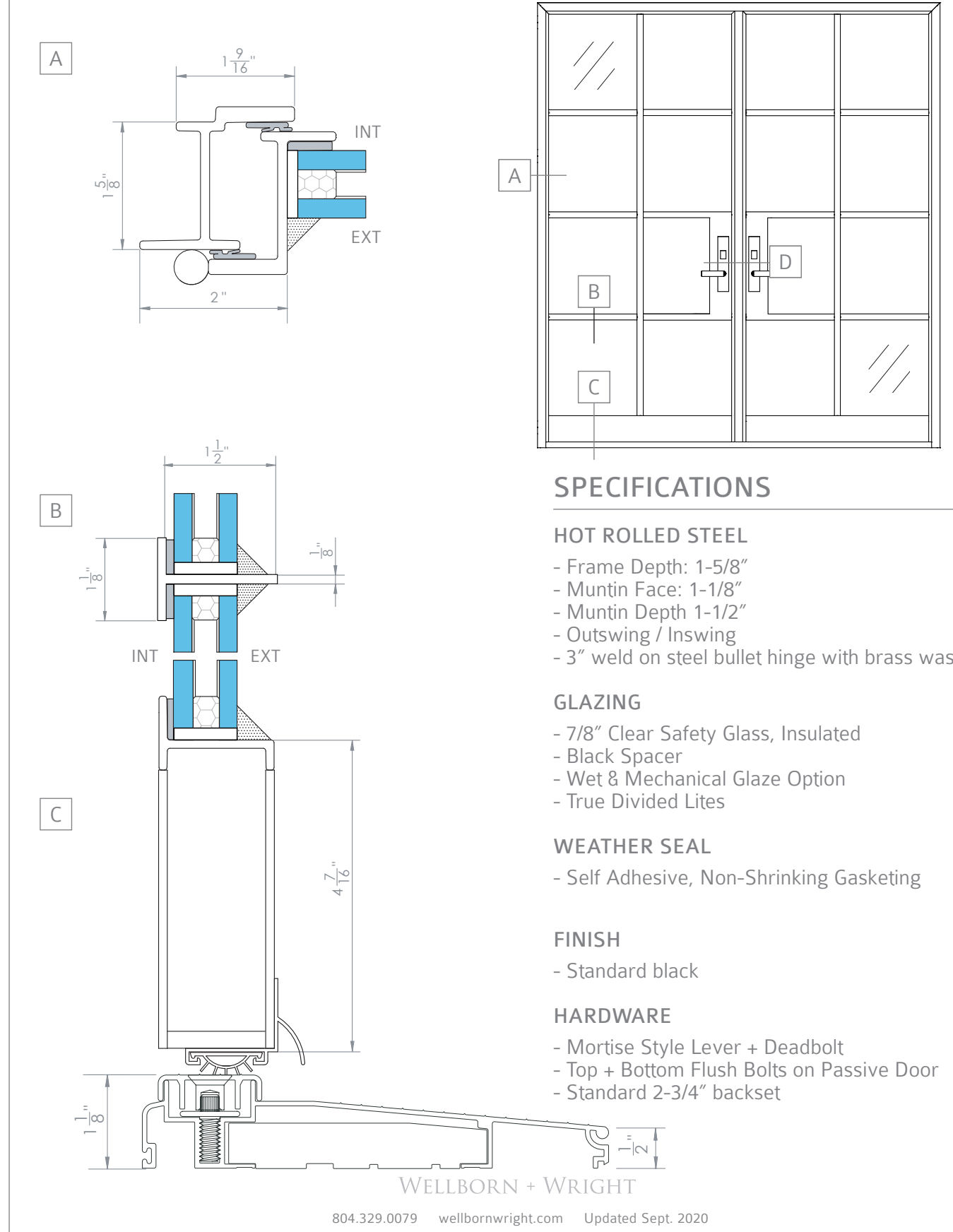
Sample Images of Conservatory Hipped Roof Lantern Skylights



1 Tradewood Double Hung Dets. 2 Tradewood French Door Details



TRADITIONAL SERIES | EXTERIOR DOUBLE DOOR

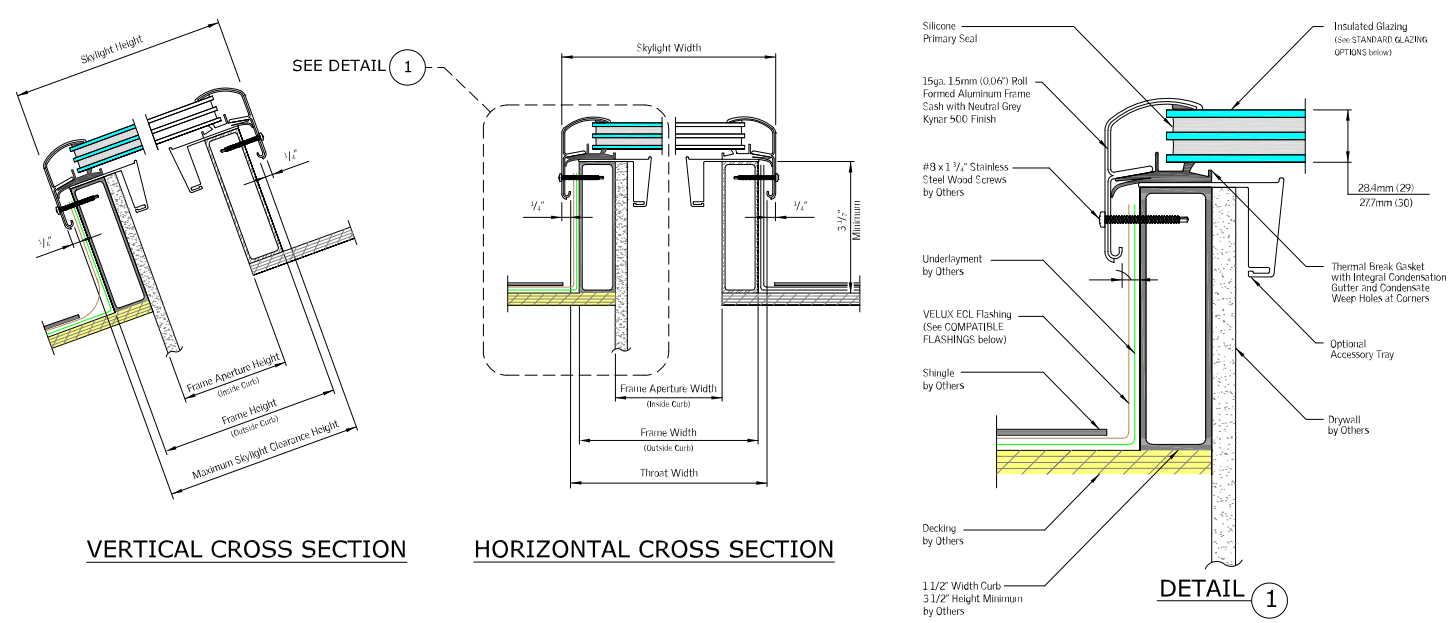


Wellborn & Wright Traditional Series Steel Door Details

FCM

Fixed Curb-Mounted Skylight

VELUX®



- COMPLIANCE AND CERTIFICATIONS
- DBPR Florida
 - IAPMO
 - NFRC, National Fenestration Rating Council
 - Energy Star
 - WDMA, Window & Door Manufacturing Association

Frame Width (WxH)	1430	1446	2222	2230	2234	2246	2270	3030	3046	3055	3434	3446	4622	4646	4672
Frame Height (HxH)	12 1/2	12 1/2	25 1/2	25 1/2	25 1/2	25 1/2	25 1/2	33 1/2	33 1/2	33 1/2	37 1/2	37 1/2	49 1/2	49 1/2	49 1/2
Daylight Area (Sq Feet)	3.07	4.68	3.52	4.76	5.39	7.27	11.01	6.46	9.85	11.76	8.27	11.14	7.27	15.02	23.47

FCM custom sizes available

4 Velux Fixed Curb Mounted Skylight Details

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Window/Door Details	
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T3



FRONT OF HOUSE FROM LEE STREET



SOUTH-WEST CORNER



LOOKING TOWARDS BACK OF HOUSE FROM LEE STREET



SOUTH/SIDE ELEVATION AT FRONT OF HOUSE



EAST FACING WINDOW ON FRONT PORTION OF HOUSE



EXISTING COVERED PORCH ON SOUTH/SIDE ELEVATION



SOUTH/SIDE ELEVATION - MIDDLE OF HOUSE



SOUTH/SIDE ELEVATION ADDITION FROM 1999



EAST/REAR ELEVATION (1999 ADDITION)



INTERIOR OF SOUTH-FACING WINDOW IN MIDDLE OF HOUSE



INTERIOR OF SOUTH-FACING WINDOWS IN MIDDLE OF HOUSE

VAUGHAN



Powis Wall Lantern

Simple clean lines define this lantern. Designed with small spaces in mind, we produce this wall lantern in three finishes, antiqued brass, distressed zinc and bronze, to create three different looks. UL listed for wet locations.

Code	WA0192.BZ
Height	12 inches
Width	7 inches
Depth	5 inches
Finishes	Bronze
Base material	Brass

Proposed Porch Lantern (See South Elevation)

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T4



FIRST FLOOR WINDOW #2 - WINDOW FRAME/WEIGHT POCKET IS SHOWN IN NEW FRAMING



OPENED WALL BETWEEN WINDOWS #1 & #2



TO THE RIGHT OF FIRST FLOOR WINDOW #2 - ORIGINAL SHEATHING IS CUT ALL THE WAY TO THE FLOOR AND NEW FRAMING/SHEATHING BEGINS; NEW PLASTER IS EVIDENT



FIRST FLOOR WINDOW #2 IS SHOWN ON THE EXTERIOR TO THE RIGHT OF THIS PILASTER. THERE IS A PLANE CHANGE IN THE SIDING. THIS IS WHERE THE NEW FRAMING/SHEATHING IS VISIBLE FROM THE INTERIOR

FIRST FLOOR WINDOWS #1 & #2

SEE SHEET A2-2 FOR FURTHER CORRELATION OF WINDOWS



FIRST FLOOR WINDOW #1 SHOWS AN APPARENT ORIGINAL OPENING



FIRST FLOOR WINDOW #1 SHOWS AN APPARENT ORIGINAL OPENING



SECOND FLOOR WINDOW #2 SHOWS AN APPARENT ORIGINAL OPENING; THE NOTCHED HEADER INDICATES A POSSIBLE REPLACEMENT WINDOW AT SOME POINT IN TIME



SECOND FLOOR WINDOW #1 SHOWS AN APPARENT ORIGINAL OPENING; THE NOTCHED HEADER INDICATES A POSSIBLE REPLACEMENT WINDOW AT SOME POINT IN TIME



SECOND FLOOR WINDOW #2 SHOWS AN APPARENT ORIGINAL OPENING



SECOND FLOOR WINDOW #1 SHOWS AN APPARENT ORIGINAL OPENING

SECOND FLOOR WINDOWS #1 & #2

SEE SHEET A2-2 FOR FURTHER CORRELATION OF WINDOWS

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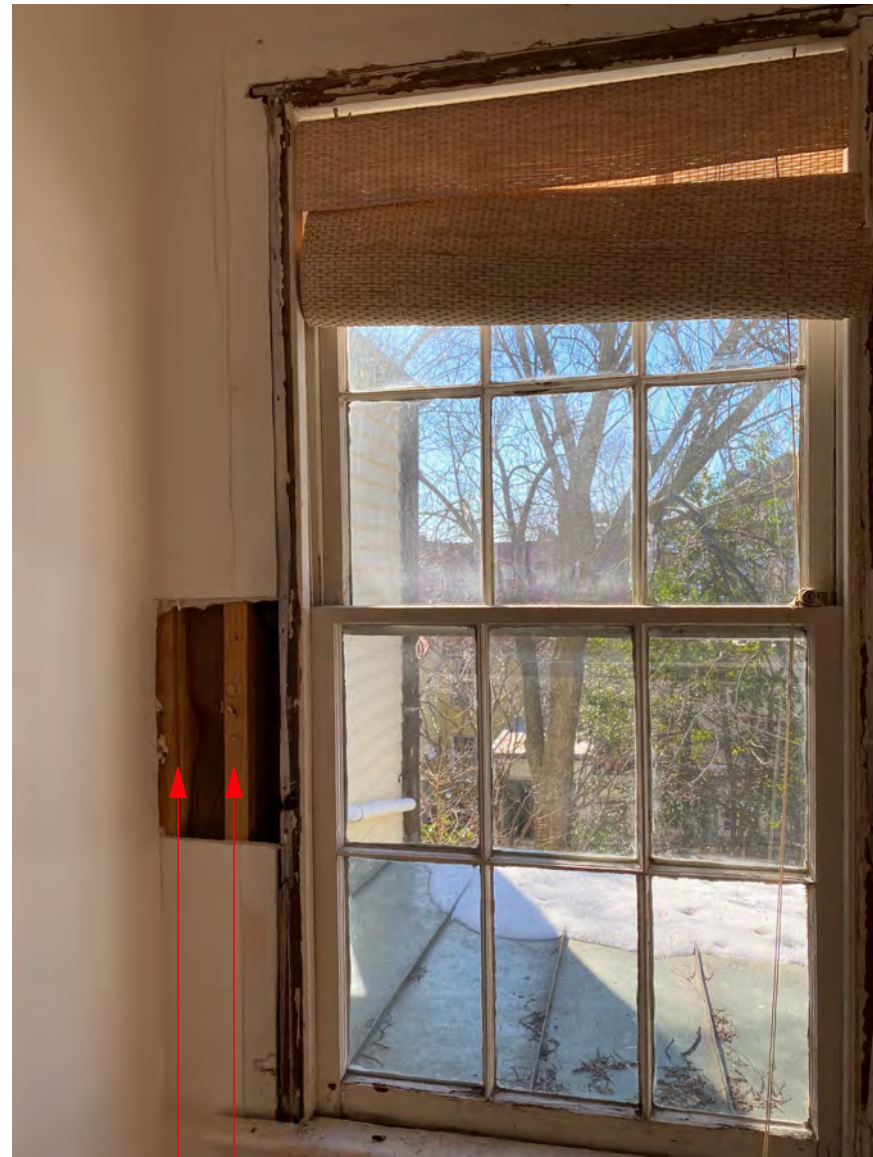
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Exploratory Demo Photographs	
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T5



WINDOW #6 IS IN A NEW OPENING, AS DOCUMENTED IN THE DRAWINGS FROM THE 1999 ADDITION. THE FRAMING TO THE RIGHT OF THE WINDOW IS NEW UP TO WINDOW #5

ALL NEW FRAMING/
WEIGHT POCKET



SECOND FLOOR WINDOWS #5 & #6

SEE SHEET A2-2 FOR FURTHER INFORMATION



WINDOW #5 APPEARS TO BE AN ORIGINAL OPENING, HOWEVER THE BOTTOM SASH (AND POSSIBLY THE UPPER SASH) IS A NEWER REPLACEMENT. THE CORDS IN THE WEIGHT POCKET ARE NEWER, AND THERE ARE TWO WEIGHTS IN THE POCKET



WINDOW #4 APPEARS TO BE AN ORIGINAL OPENING, HOWEVER THE BOTTOM SASH (AND POSSIBLY THE UPPER SASH) IS A NEWER REPLACEMENT. THE CORDS IN THE WEIGHT POCKET ARE NEWER, AND THERE ARE TWO WEIGHTS IN THE POCKET



WINDOW #3 APPEARS TO NOT BE ORIGINAL OR AN ORIGINAL OPENING AS THERE IS NO EVIDENCE OF A WEIGHT POCKET LIKE IN THE OTHER WINDOWS ON THE "ELL"

SECOND FLOOR WINDOWS #3 & #4

SEE SHEET A2-2 FOR FURTHER INFORMATION



ATTACHED NORTHERN NEIGHBOR FACADE

SEE SHEET A2-2 FOR FURTHER CORRELATION OF WINDOWS

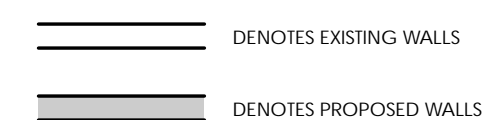
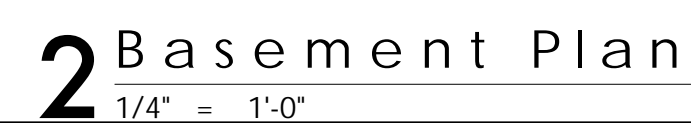
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Exploratory Demo Photographs	
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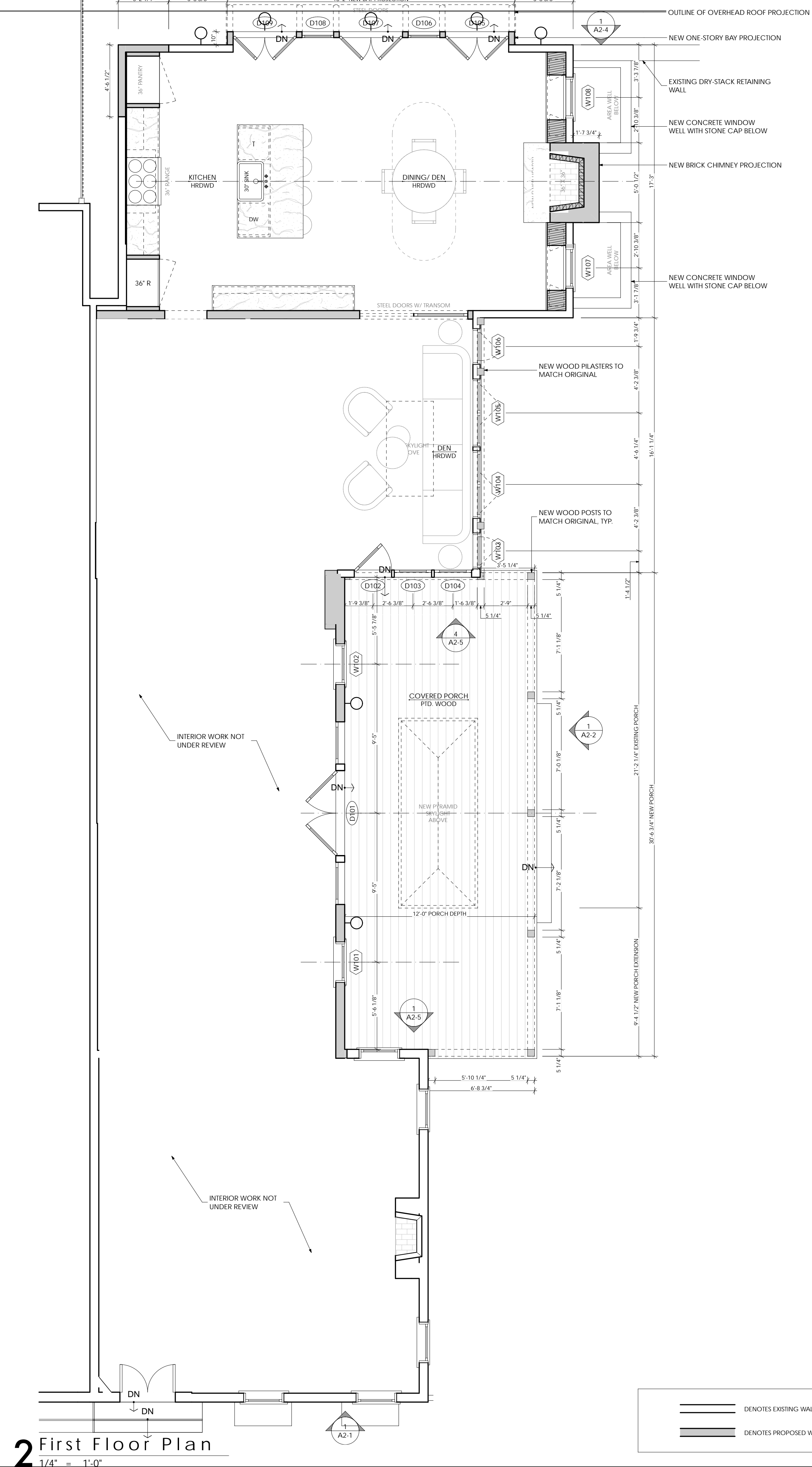
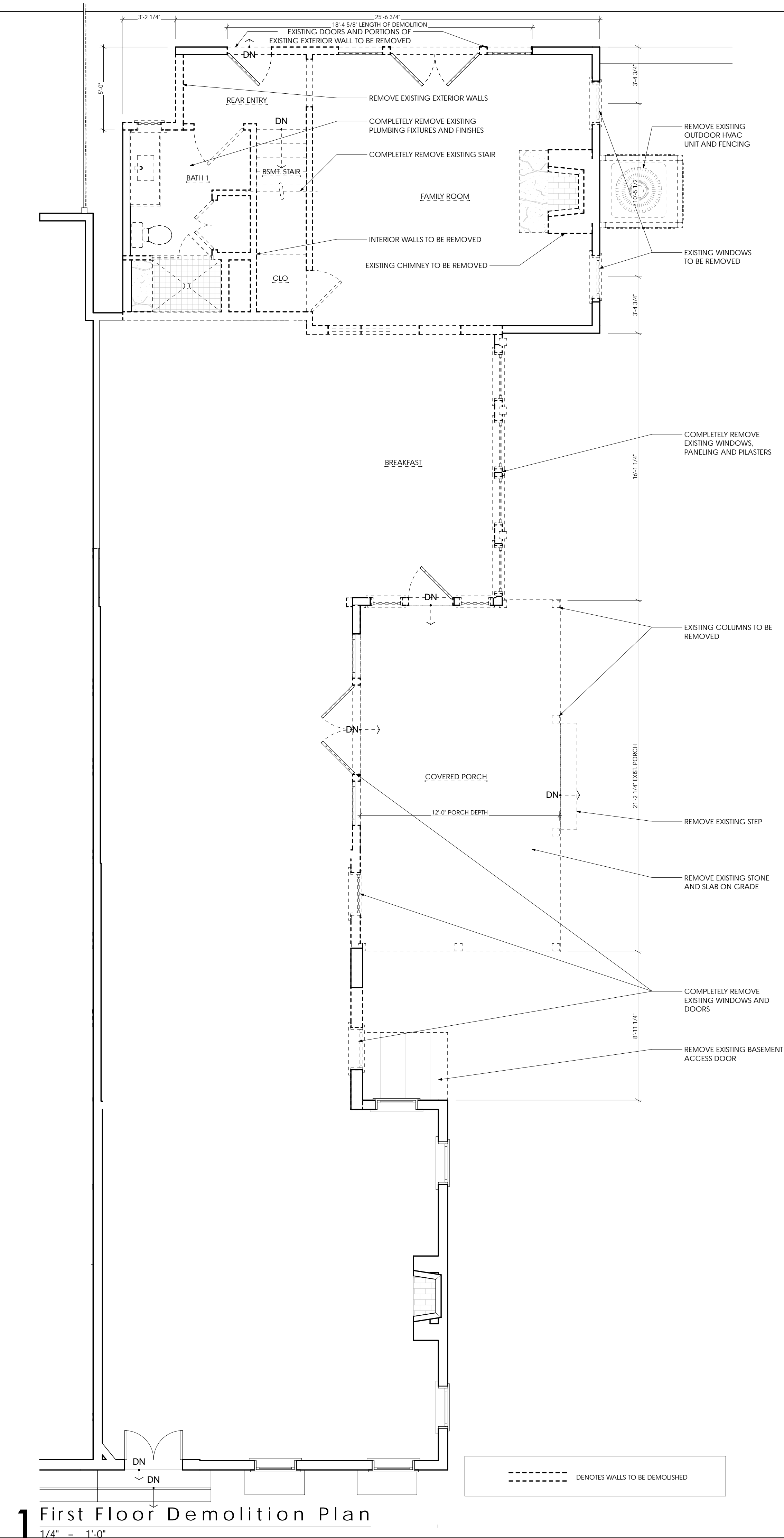
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Basement Demolition & Proposed Plans

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A1-0

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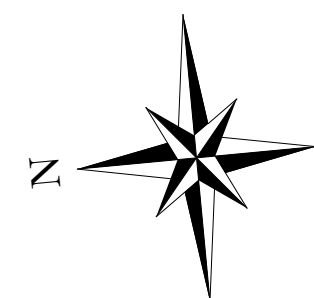
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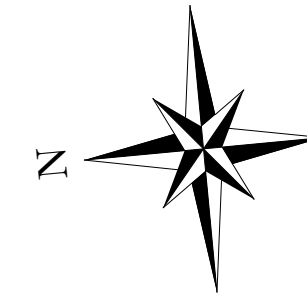
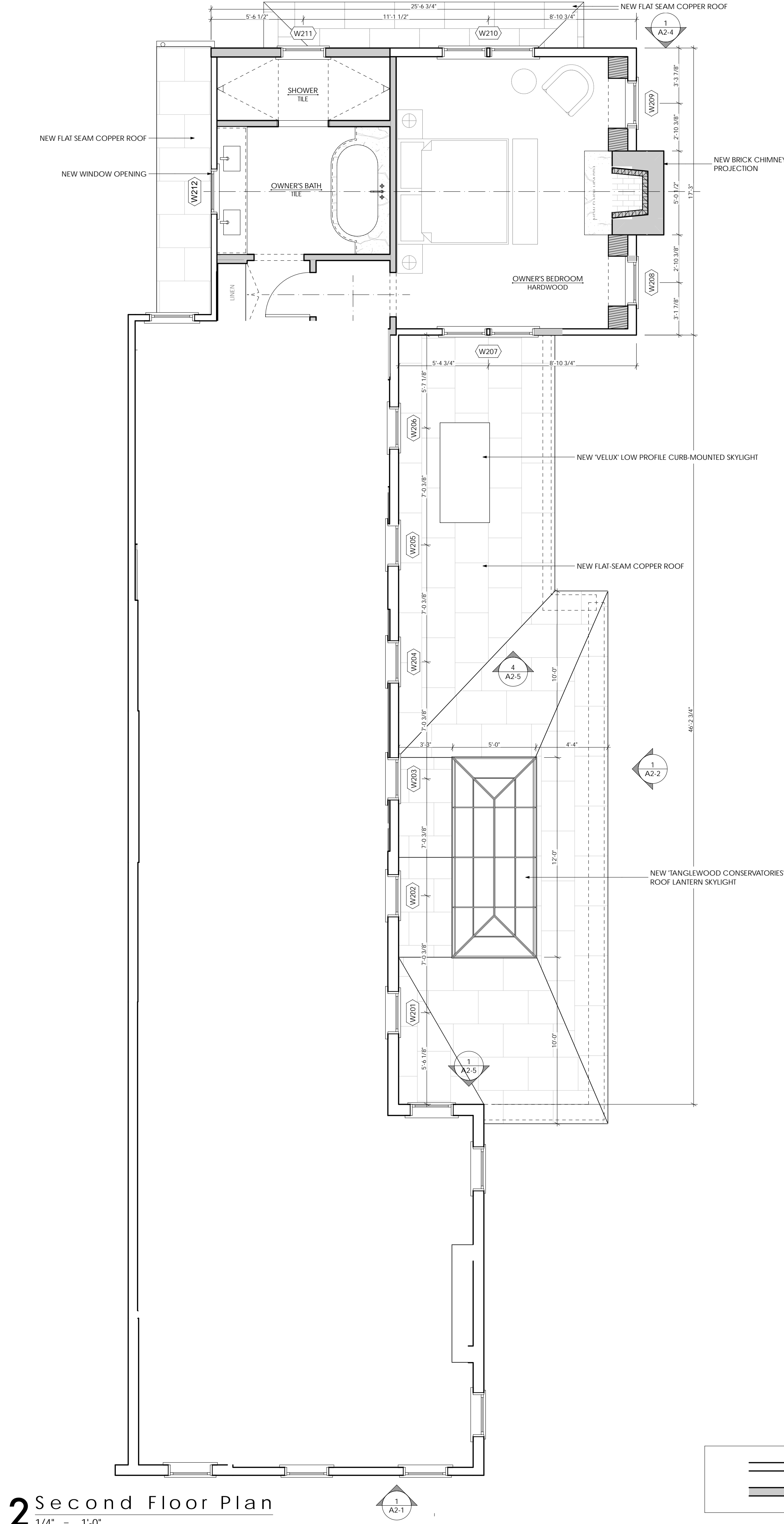
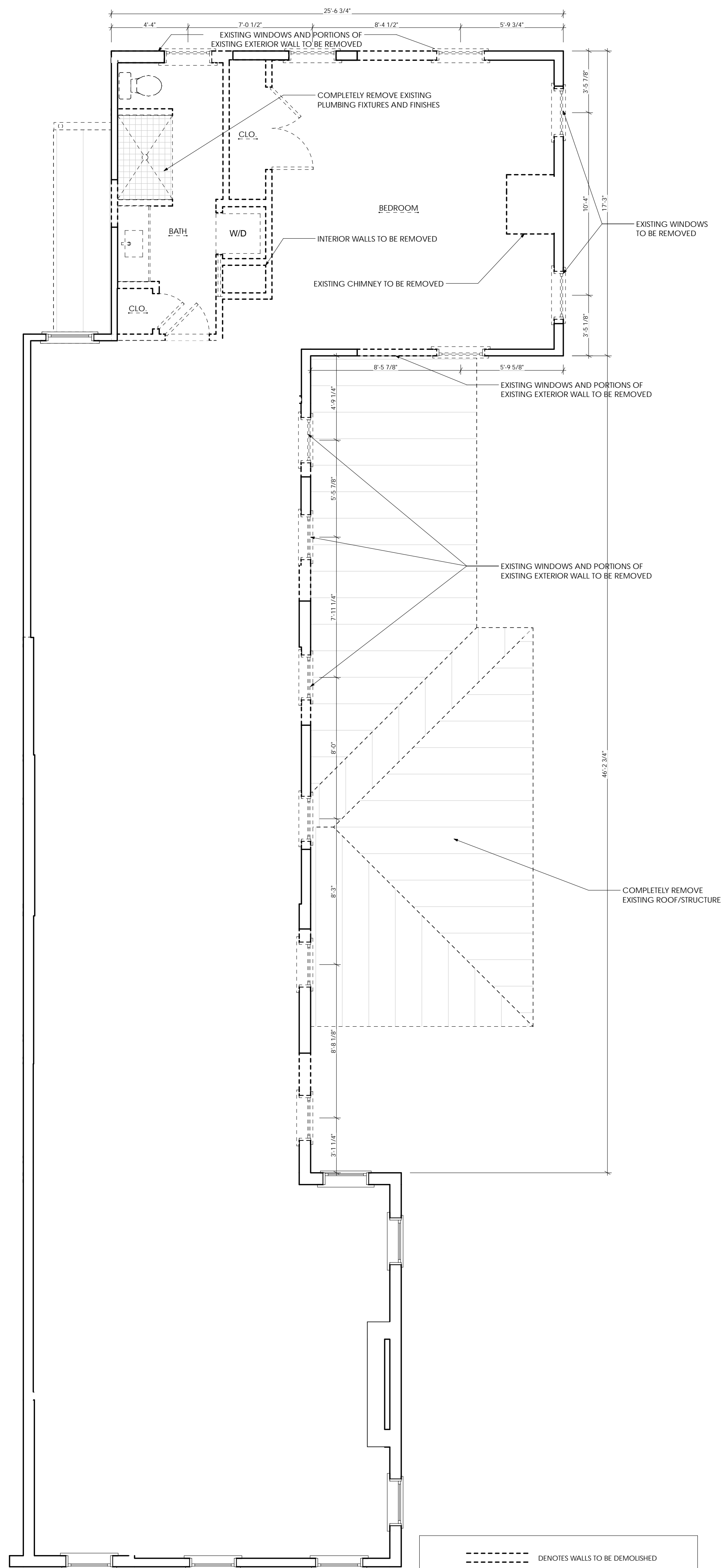
First Floor Demolition & Proposed Plans

08-23-2021	Existing Conditions
09-21-2021	SDI Meeting
09-30-2021	Initial Feedback
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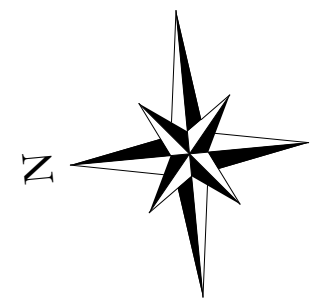
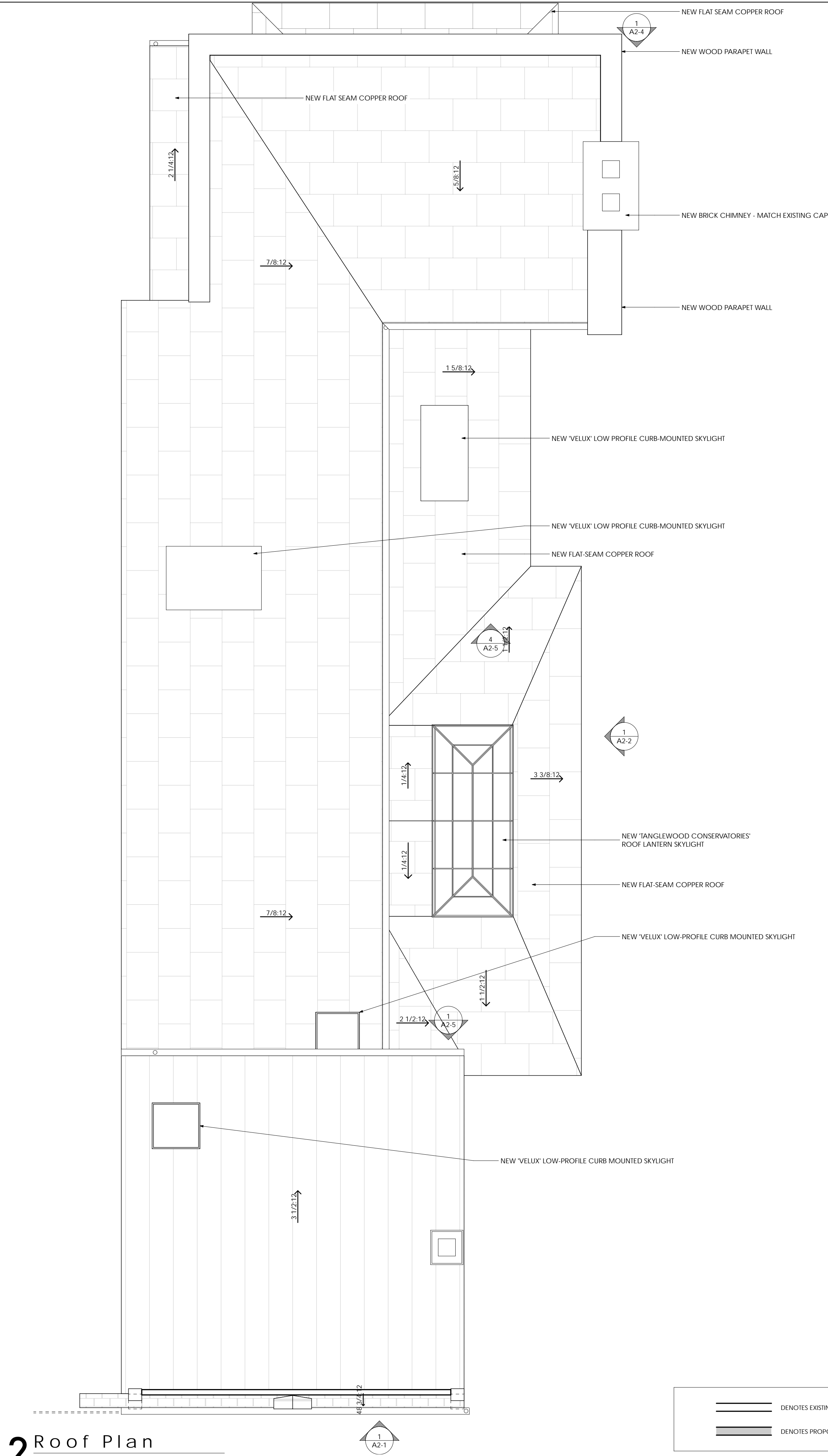
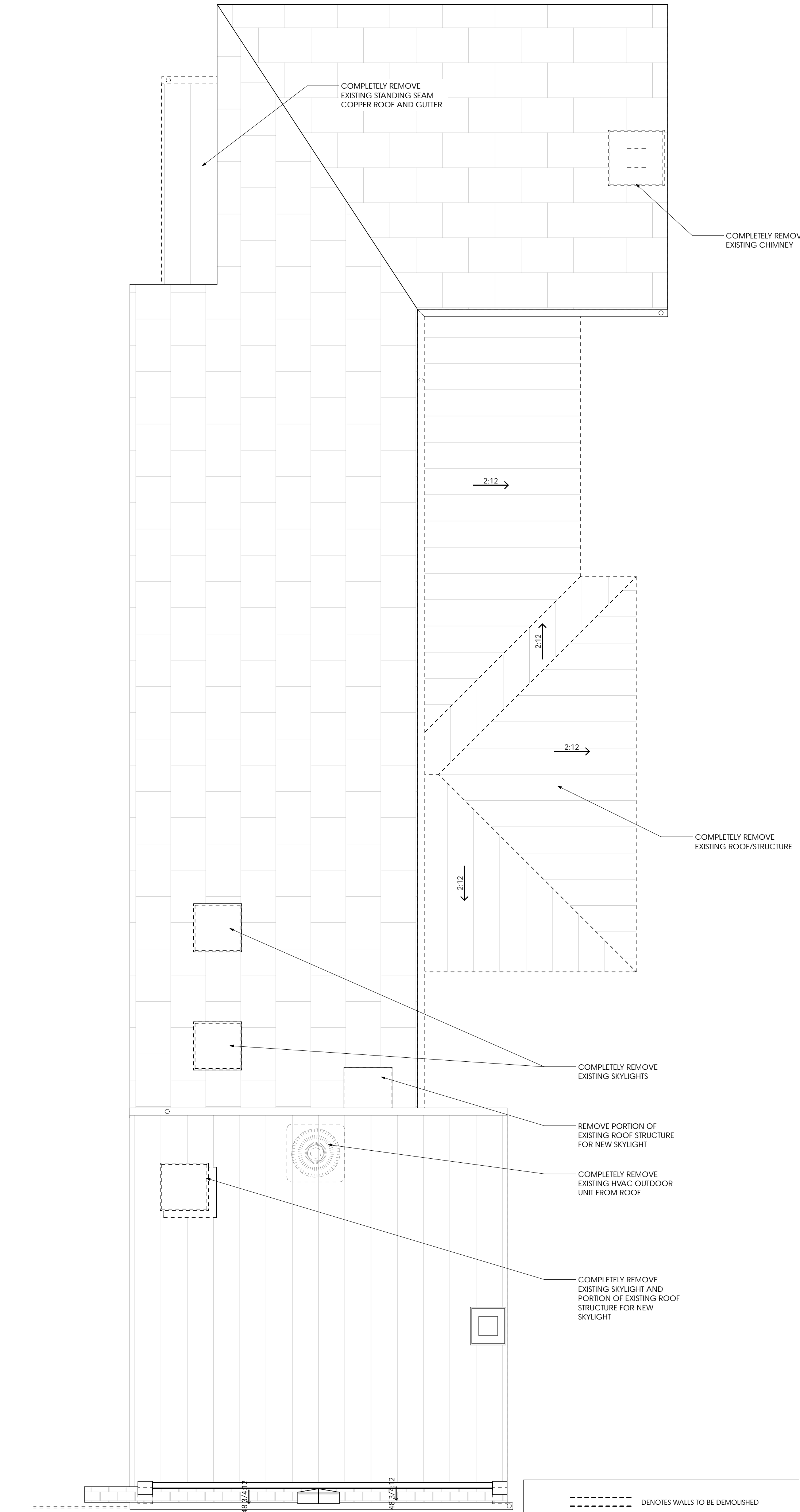
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Second Floor
Demolition &
Proposed Plans

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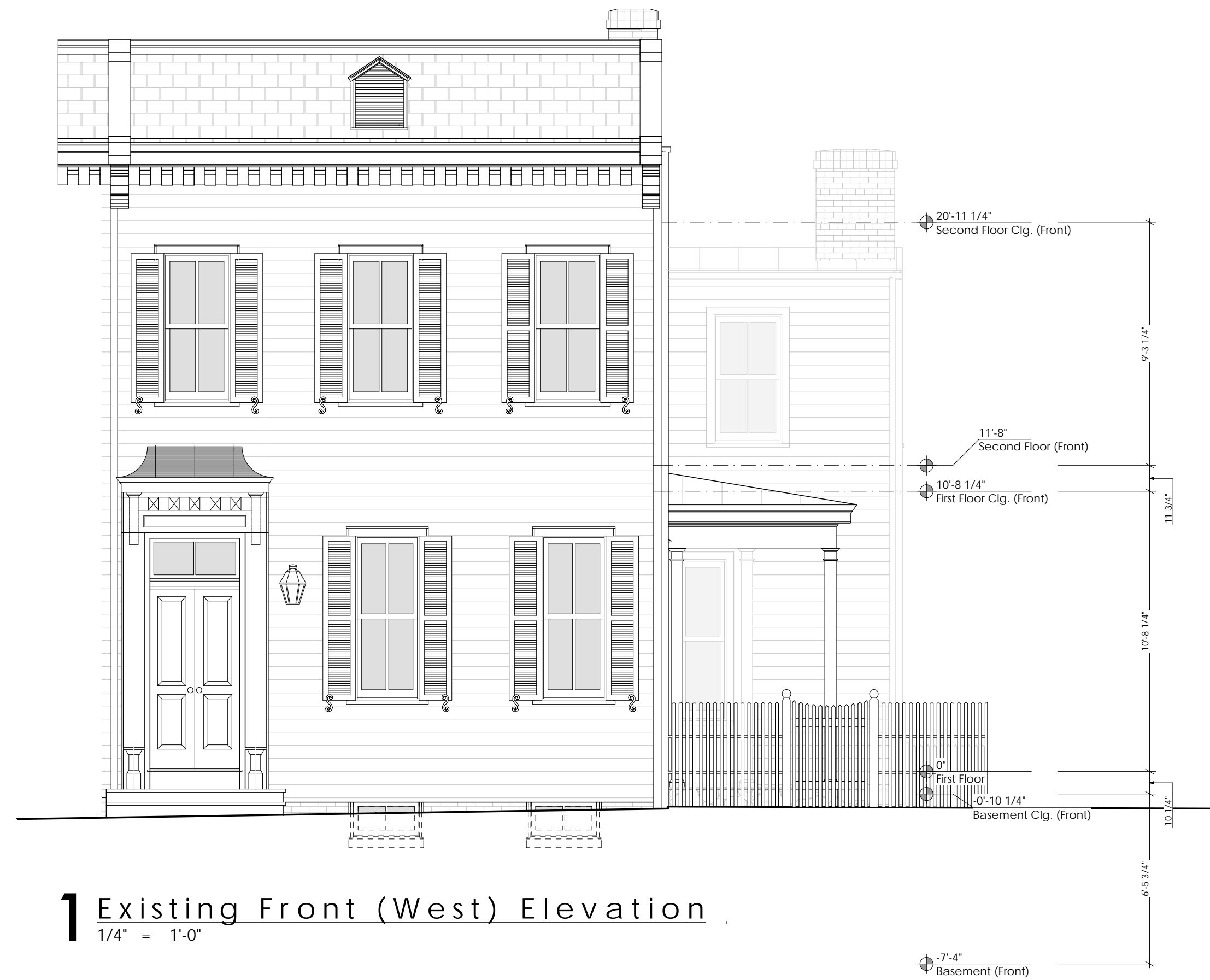
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Roof
Demolition &
Proposed Plans

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A1-3

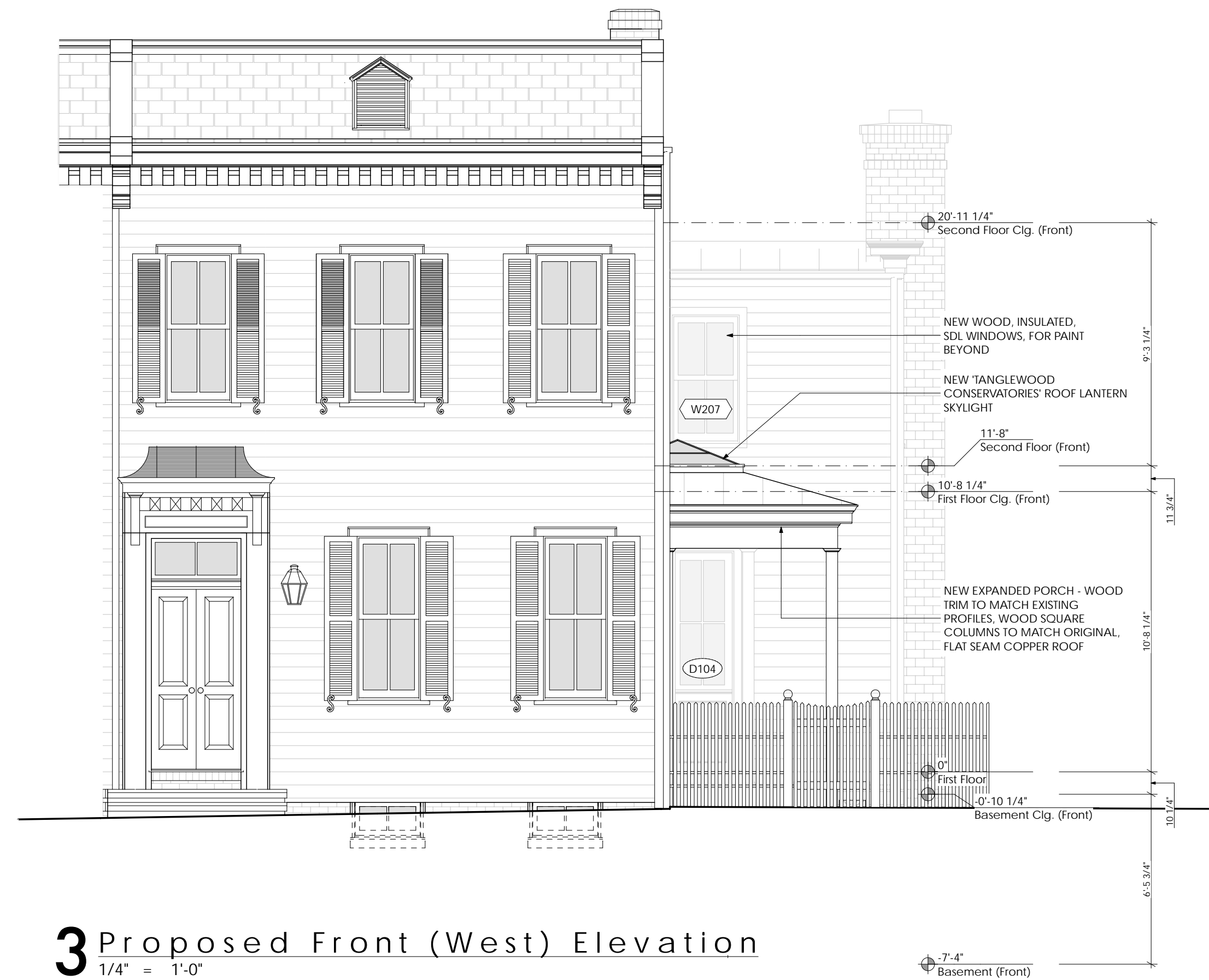
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1 Existing Front (West) Elevation
1/4" = 1'-0"



2 Front (West) Demo Elevation
1/4" = 1'-0"



3 Proposed Front (West) Elevation
1/4" = 1'-0"

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Existing, Demo,
& Proposed
Front (West)
Elevations

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A2-1

08-23-2021	Existing Conditions
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1 Existing Right (South) Elevation
1/4" = 1'-0"



2 PRE-1999 ADDITION LAYOUT AND EXPLORATORY DEMOLITION FINDINGS
1' = 1'-0"



SECOND FLOOR WINDOWS #5 & #6 - DURING 1999 RENOVATION

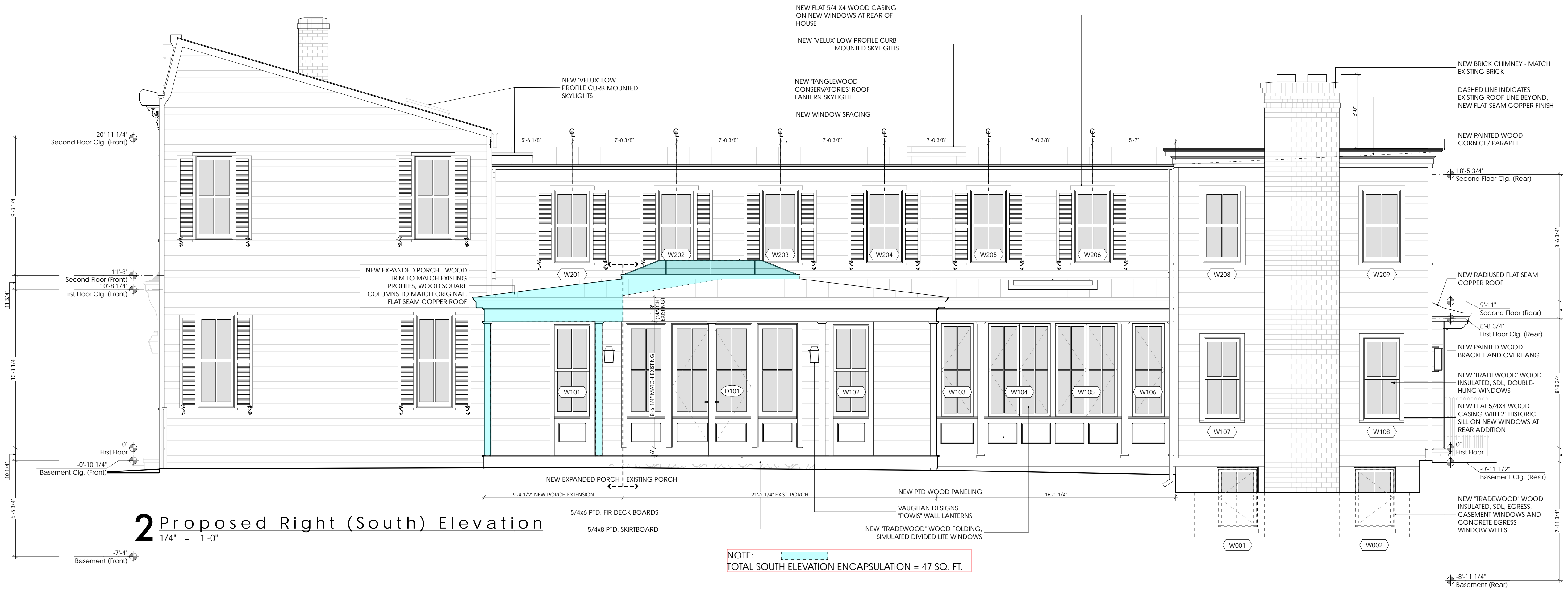
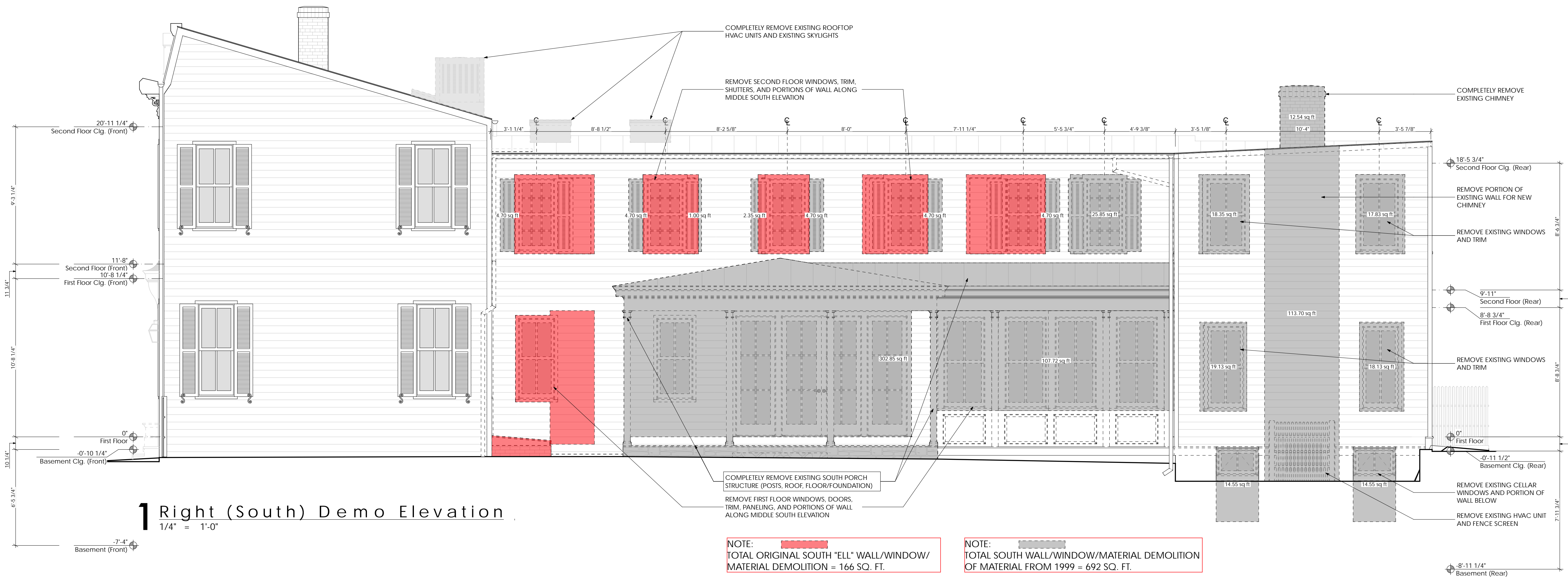


FIRST FLOOR EXISTING CONDITIONS PRE-1999 ADDITION



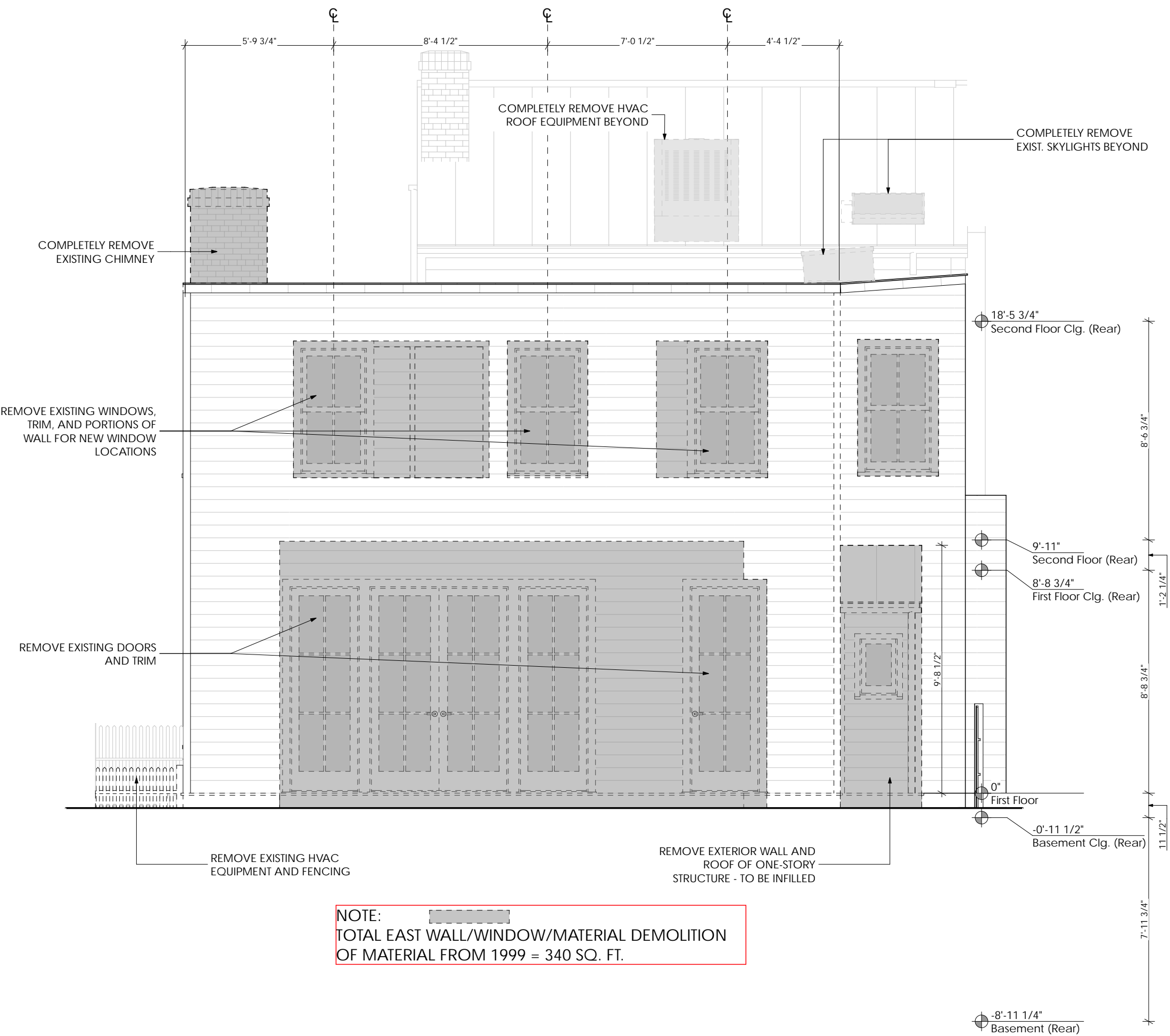
FIRST FLOOR EXISTING CONDITIONS DURING 1999 ADDITION

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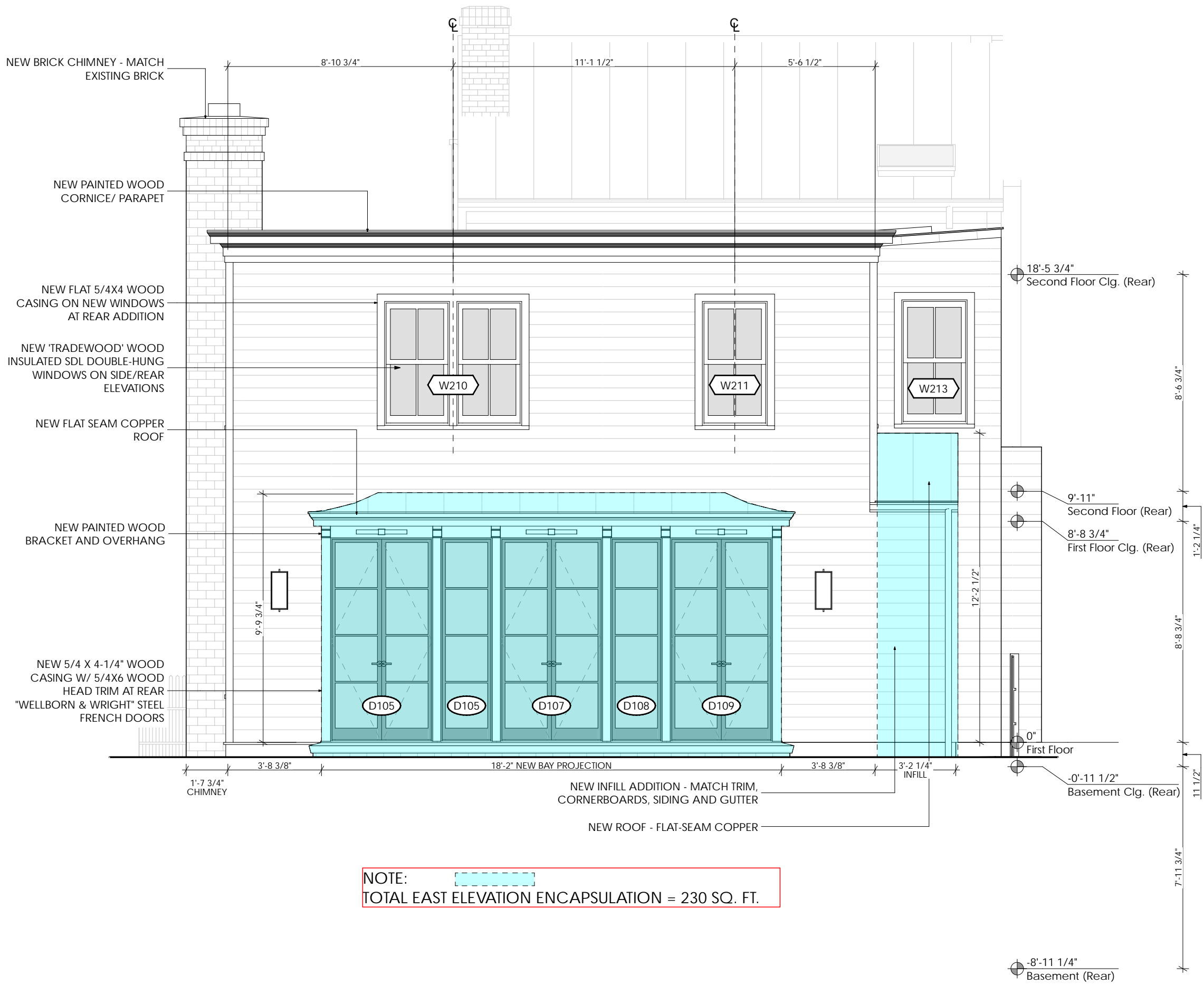




1 Proposed Rear (East) Elevation
1/4" = 1'-0"



2 Proposed Rear (East) Elevation
1/4" = 1'-0"



3 Proposed Rear (East) Elevation
1/4" = 1'-0"

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Existing, Demo, & Proposed Rear (East) Elevations	
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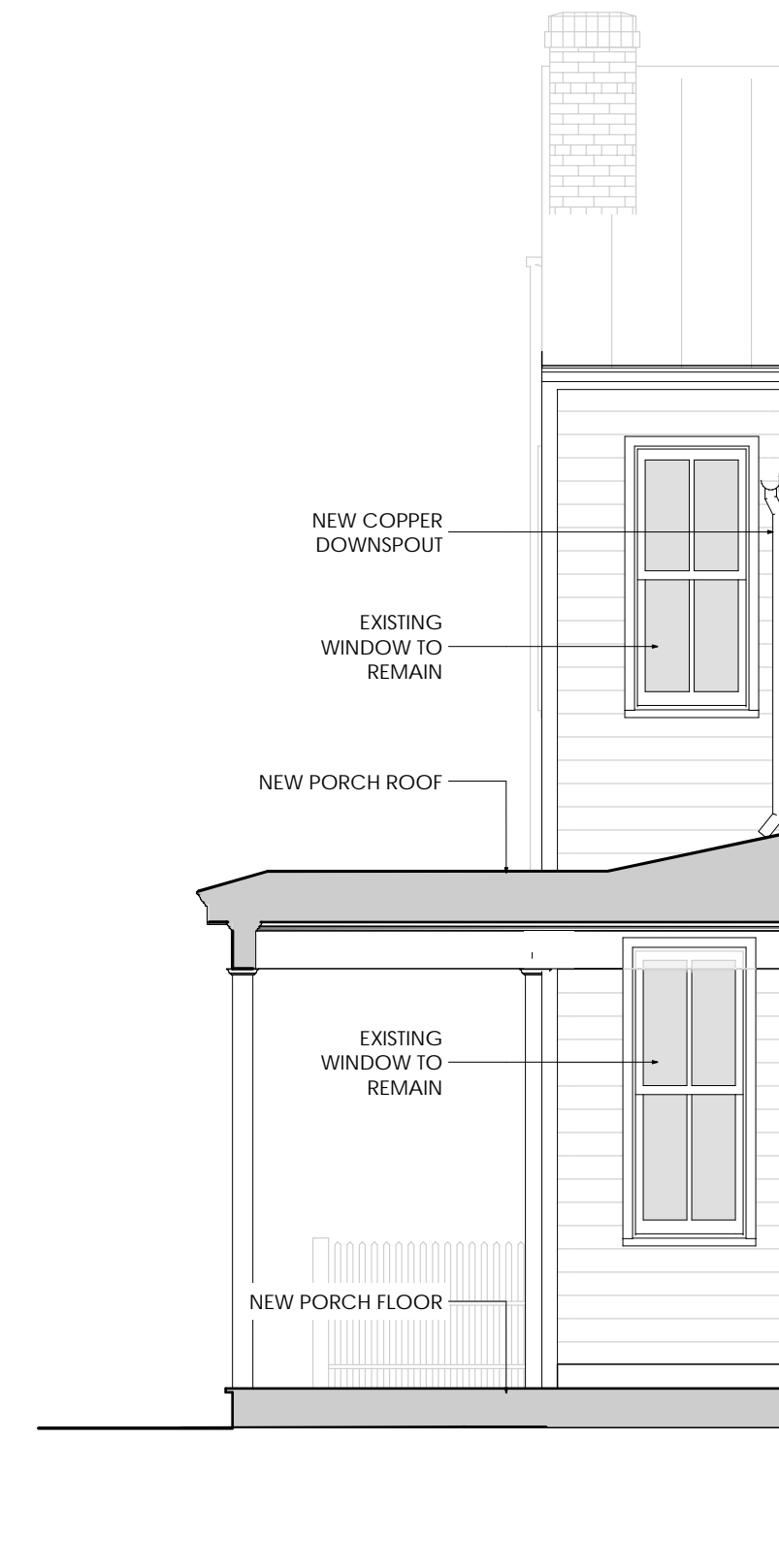
A2-4



1 Existing Rear (East) Elevation of Original Front House Block
1/4" = 1'-0"



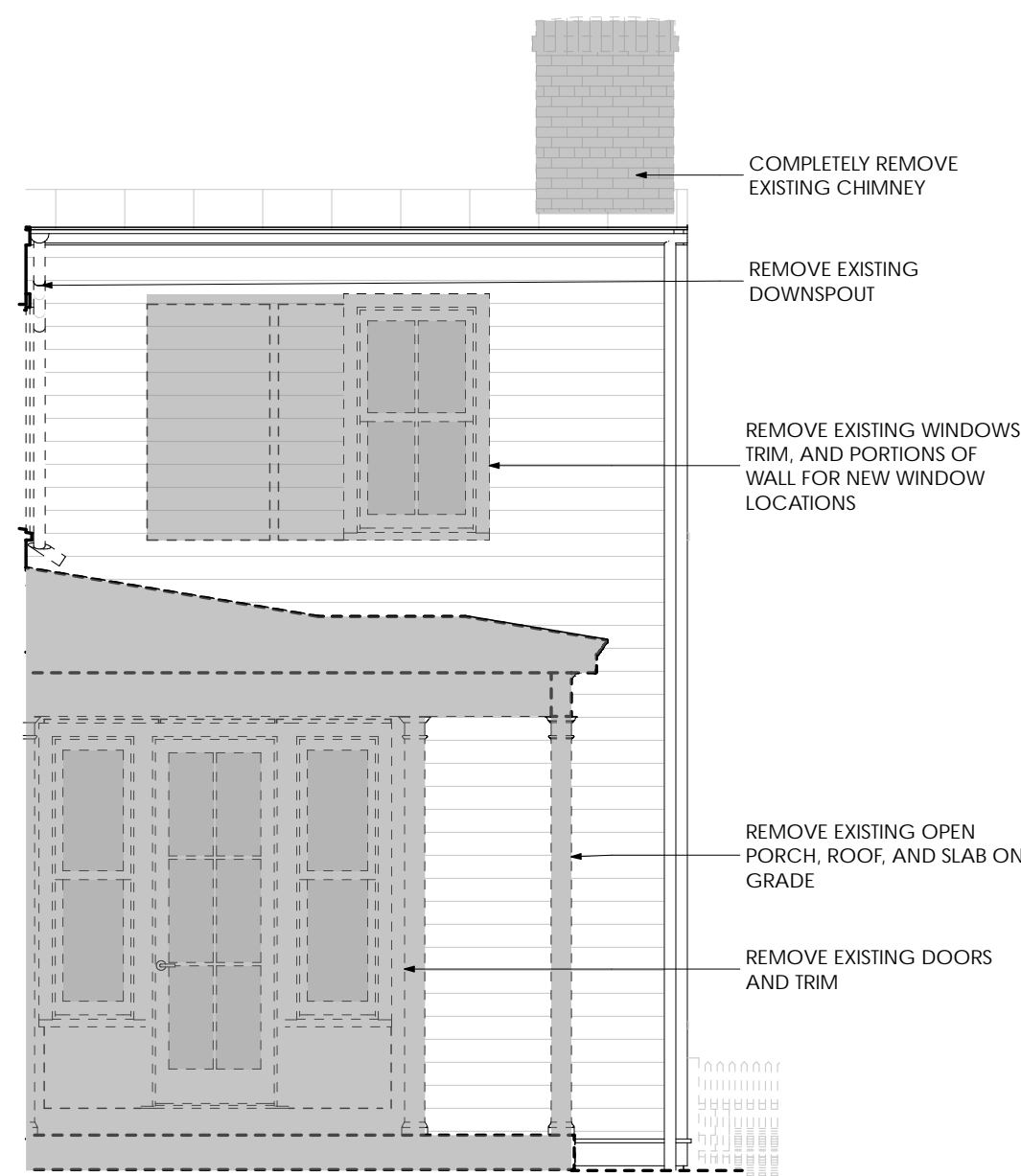
2 Demo Rear (East) Elevation of Original Front House Block
1/4" = 1'-0"



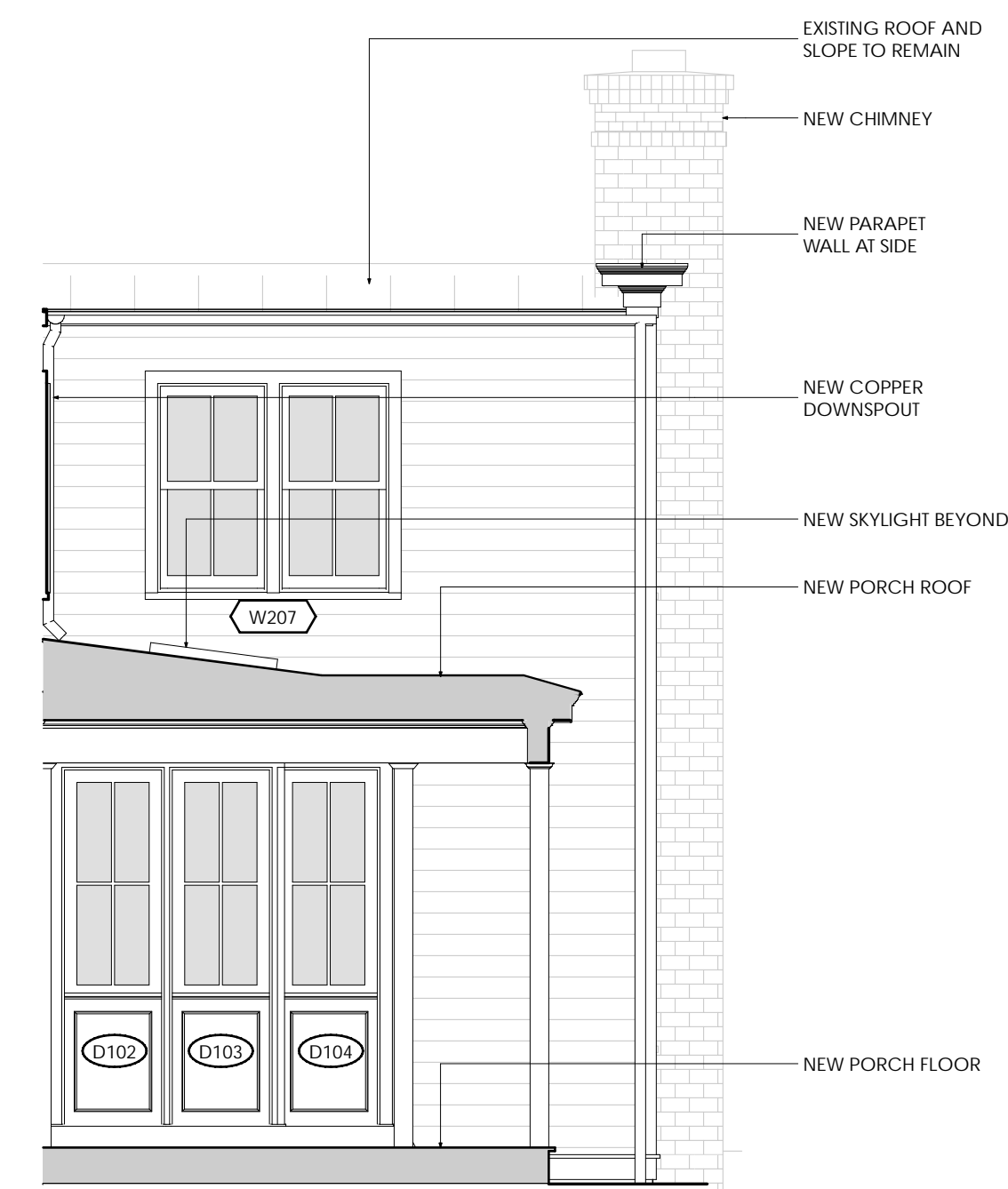
3 Proposed Rear (East) Elevation of Original Front House Block
1/4" = 1'-0"



4 Existing West Elevation Rear Block
1/4" = 1'-0"



5 Demo West Elevation Rear Block
1/4" = 1'-0"



6 Proposed West Elevation Rear Block
1/4" = 1'-0"

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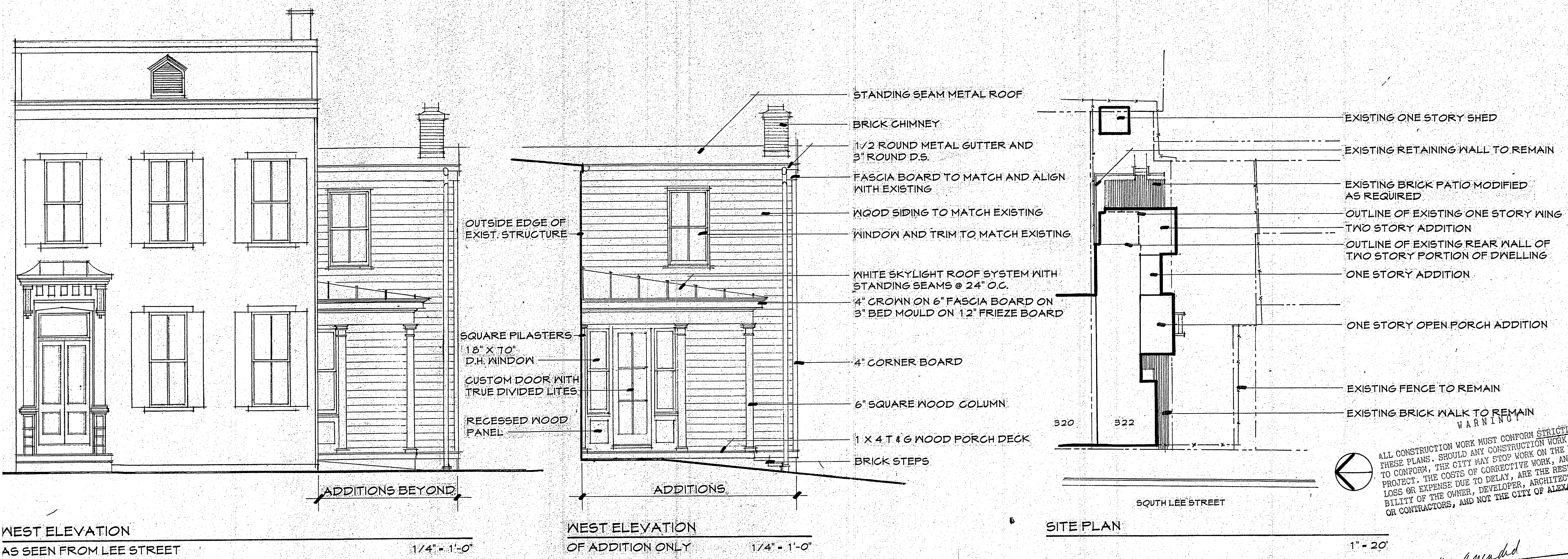
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East Elevation - Original Block/
West Elevation - Rear Block

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A2-5



ALL CONSTRUCTION WORK MUST CONFORM STRICTLY TO THESE PLANS. SHOULD ANY CONSTRUCTION WORK BE ATTEMPTED TO CONFORM, THE CITY MAY STOP WORK ON THE PROJECT. THE COSTS OF CORRECTIVE WORK, AND LOSS OR EXPENSE DUE TO DELAY, ARE THE RESPONSIBILITY OF THE OWNER, DEVELOPER, ARCHITECT, OR CONTRACTORS, AND NOT THE CITY OF ALEXANDRIA.

1" = 20'

U.S. amended

Home Town of George Washington and Robert E.

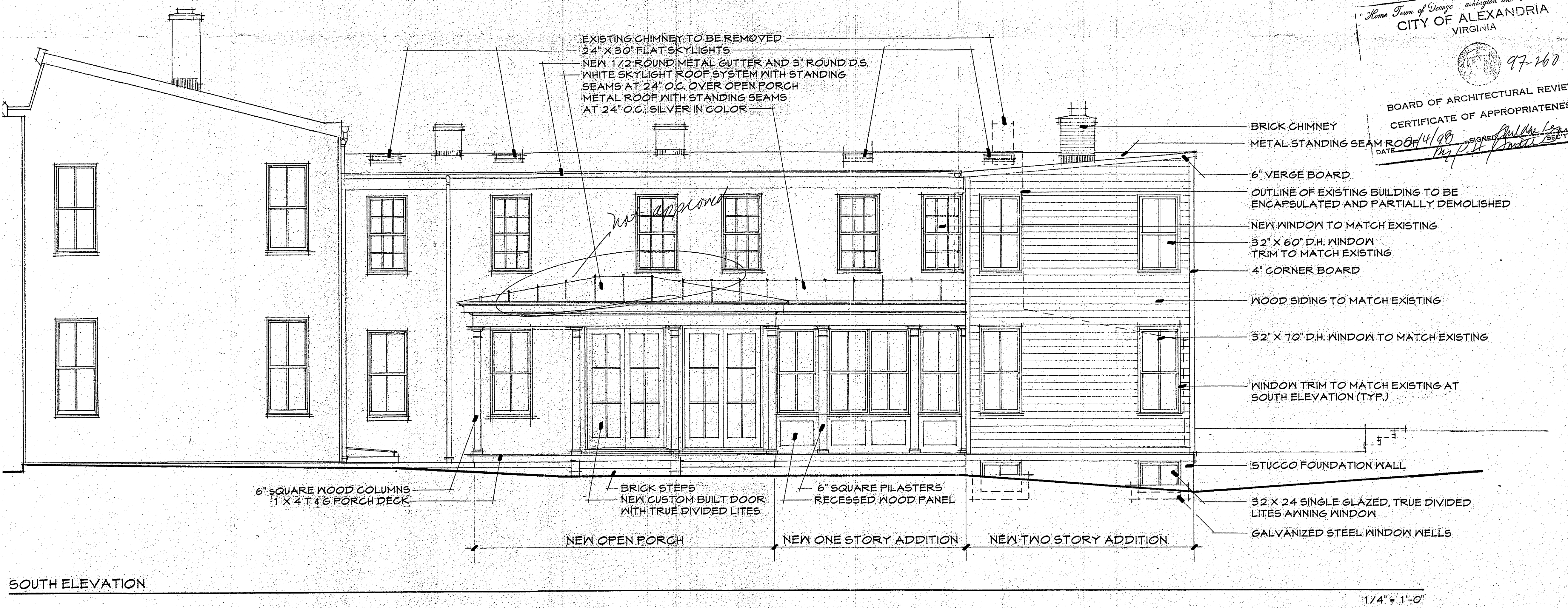
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97-260

BOARD OF ARCHITECTURAL REVIEW
CERTIFICATE OF APPROPRIATENESS

AM ROOM 874/90 SIGNED *M. L. L. L. L.*
DATE *My P. L. L. L. L.* SEC. 17



Revisions

Date	Description
	Issued

Sheet No.