

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

**APPLICANT:** Daniel and Carolyn McCormack, and Kathryn McCormack Akacem

**LOCATION:** Old and Historic Alexandria District  
210 Green Street

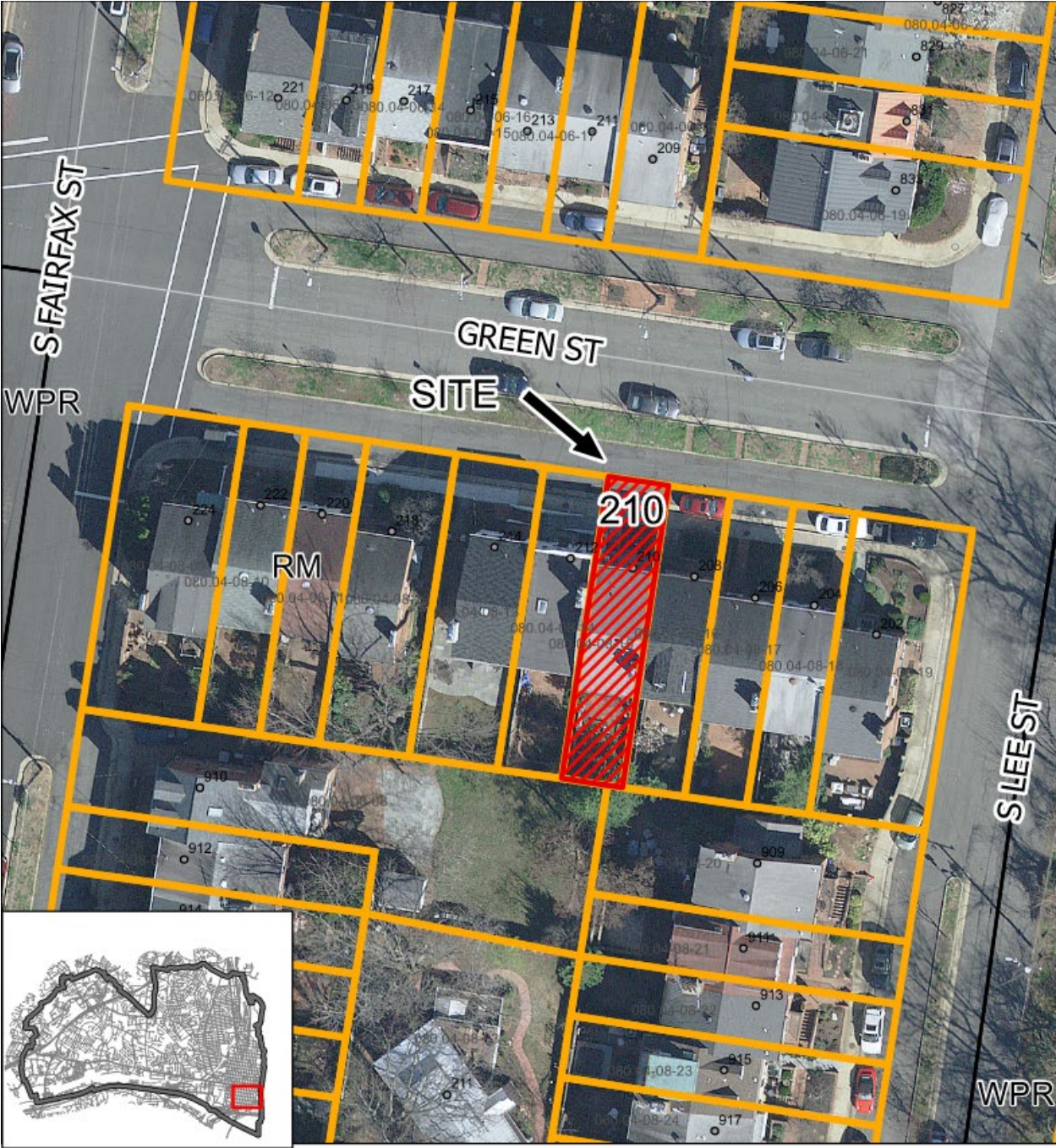
**ZONE:** RM/Residential Townhouse Zone

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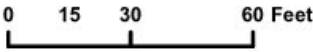
**STAFF RECOMMENDATION:** Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness, as submitted.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2021-00665 & BAR #2021-00666**  
**210 Green Street**



## **I. APPLICANT'S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct a rear deck at 210 Green Street.

### **Permit to Demolish/Capsulate**

The applicant requests a Permit to Demolish to remove the existing 8-foot by 12-foot metal deck, preserving an eight-foot section of the railing to be reused as a guard rail in front of the existing rear picture-style window.

### **Certificate of Appropriateness**

The proposed new deck will measure 16 feet wide by 12 feet deep and span nearly the width of the first-floor rear elevation, over the full height basement below. The deck will have Trex decking, or a similar material, and a white composite railing.

### **Site Context**

Visibility of the deck will be limited to views between townhouses on South Lee Street, around the corner from the subject property.

## **II. HISTORY**

The two-story, two-bay brick townhouse with a raised basement was constructed in **ca. 1960** as part of the Yates Garden subdivision in a vernacular, Colonial Revival design vocabulary. Yates Garden was developed by Edward Carr beginning in 1939; however, complete build out of the subdivision was not completed until the early 1960s.

Staff could not locate any prior BAR approvals for the subject property.

## **III. ANALYSIS**

### **Permit to Demolish/Capsulate**

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

<b>Standard</b>	<b>Description of Standard</b>	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No

(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

Staff does not believe that the proposed demolition meets any of the criteria above. The deck was part of the original construction from the 1960s and is in poor condition. The demolition does not remove any character-defining features of uncommon design or historic merit, does not compromise the integrity of historic areas of the district, and will not be a detriment to the public interest. Therefore, staff supports the application for a Permit to Demolish/Capsulate, as submitted.

#### Certificate of Appropriateness

This building is one of a collection of mid-to-late-20<sup>th</sup> century townhouses with vaguely Colonial Revival architectural characteristics. While the 1993 *Design Guidelines* discourage the use of materials other than wood or metal for decks, the use of high-quality composite materials for new features and additions, such as decks, has been approved by the BAR as preservation philosophy has evolved. The use of modern materials on historic building is seen as a way to differentiate new construction from historic feature. Further, from a distance of over 80 feet, the material used in the construction of the deck will not be perceived. Staff recommends approval of the application as submitted.

#### **STAFF**

Stephanie Sample, Historic Preservation Planner, Planning & Zoning  
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

F-1 The proposed new rear deck complies with zoning.

**Code Administration**

F-1 A building permit and plan review are required

**Transportation and Environmental Services**

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

**COMMENTS:**

This parcel and building is partially located in the AE Zone on the FEMA Flood Insurance Rate Map (FIRM) panel number 5155190041E dated June 16, 2011 and may be Substantial Improvement, based on application documents showing the extent and scope of renovation. Substantial Improvement is any improvement(s) totaling in cost 50% or more than the value of the building (2020 assessed value = \$297,260). As such, this building permit may be subject to floodplain ordinance regulations including but not limited to: (T&ES)

1. Affidavit of Improvement Costs. Forms and instructions provided by City.
2. Plan for development/building permit:  
Section 6-305 (D) All applications for new construction or substantial improvement within any floodplain district, and all building permits issued for the floodplain shall incorporate the following information:
  - (1)The base flood elevation at the site;
  - (2)The elevation of the lowest floor (including basement);
  - (3)For structures to be floodproofed (nonresidential only), the elevation to which the structure will be floodproofed; and,
  - (4)Topographic information showing existing and proposed ground elevations.
3. Proposed improvement requirements:

Section 6-306 (H) No building permit for the substantial improvement of an existing residential building shall be issued unless the building has the lowest floor (including the basement) elevated at least one foot above the base flood elevation.

4. Elevation Certificate, certified by appropriate party and submitted to Floodplain Administrator and Building Official, prior to issuance of Certificate of Occupancy.
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

- F-1 No archaeological oversight necessary for this undertaking

**V. ATTACHMENTS**

- 1 – Application Materials*  
*2 – Supplemental Materials*



ADDRESS OF PROJECT: 210 GREEN STREET ALEXANDRIADISTRICT: ☒ Old & Historic Alexandria ☐ Parker - Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 080.04-08-15 ZONING: RM  
LOT 18 BIKES YATES GARDEN

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)☒ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)Name: DANIEL MCCORMACKAddress: 210 GREEN STREETCity: ALEXANDRIA State: VA Zip: 22314Phone: 804 514 8130 E-mail: DMCCORMACK@ROCKETMAIL.COMAuthorized Agent (if applicable): ☐ Attorney ☐ Architect ☐ \_\_\_\_\_

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

Legal Property Owner: DANIEL MCCORMACK KATHRYN MCCORMACK AKACENName: CAROLYN MCCORMACKAddress: 210 GREEN STREET ALEXANDRIACity: ALEXANDRIA State: VA Zip: 22314Phone: 804 514 8130 E-mail: DMCCORMACK@ROCKETMAIL.COM\*

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

\* CAROLYN MCCORMACK@YAHOO.COM  
MCCORMACK K@YAHOO.COM

BAR Application  
210 Green Street

210 Green Street is owned 99% by Carolyn T McCormack and Daniel M McCormack as tenants by the entirety with the right of survivorship, and 1% by Kathryn McCormack Akacem.

This is an application for approval to remove an existing metal deck from the rear of 210 Green Street and replace it with a new deck.

210 Green Street is a townhouse with English basement. Looking from Green Street, there are a few steps off the sidewalk down to a basement exterior front door. The basement has a rear exterior door that provides access to the backyard, which has a 17'x12' brick patio adjacent to the rear wall of the townhouse. The back yard is enclosed by a fence. There is no access to the backyard except by the basement rear door. Two exterior HVAC units sit on the Lee Street side of the brick patio, the first being 24" from the townhouse's rear wall and the side yard fence.

There are two floors above the basement - first and second. The second floor has bedrooms. The kitchen and living room are on the first floor with the kitchen near Green Street and the living room being near the backyard. The first floor has a front exterior door that provides access to and from Green Street and a rear exterior door, located at the rear Fairfax Street side of the first floor. This door provides access to an existing 8'x12' metal deck with a metal platform as decking and metal railings. The metal deck is original to the townhouse and needs repair. The platform of the metal deck sits 9' above the brick patio. At the rear of the first floor, there is also a large picture window looking out and over the backyard and brick patio below.

The attached plat shows the location of the existing metal deck - "balc" and brick patio at the basement level. The picture window at the rear of the first floor would be located above the description "balc" on the plat. No part of the picture window is within the metal deck.

I ask permission to take down the metal deck, saving the 8' section of the railing, and replace the metal deck with a new 16'x12' deck, which will be built to Alexandria's building code.

The decking of the new deck will be 9' above the brick patio and one 16' run will be centered and attached to the brick wall at the rear of the townhouse. The brick wall is a block and brick structure. The new deck will extend 12' out into the backyard and will not have stairs to the backyard. Access to the new deck will be from the exterior door at the rear of the first floor. The existing porch light will remain. The picture window will view the new deck. The saved 8' section of the metal railing will be painted white, attached to the rear of the townhouse at both exterior sides of the picture window and used as a "guard" railing.

The new deck will be supported by 6"x6" treated posts set in concrete footings and cantilevered 18" off the rear 16' run of the deck. The deck's surface, like the metal deck, will sit 9' above the brick patio and will be composite - synthetic - 16' 5/4" grey deck boards. The railings will also be composite and white. White synthetic fascia boards will trim the exterior of the deck below the deck surface. The deck will have 192 square feet of area.

The intent is to use Trex brand decking sourced from TW Perry in Springfield. Availability is often an issue. Any substitute due to unavailability will meet code and be the same or similar color and style.

I've provided pictures of an existing deck off the rear of 222 Green. The new deck will be similar in appearance. The view of the new deck from Lee and Fairfax Street will be a view of the railings due to backyard fences and elevation.



**NATURE OF PROPOSED WORK:** Please check all that apply

- ☒ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: Please check all that apply.
- |                                   |  |   |                                   |
|-----------------------------------|--|---|-----------------------------------|
| <input type="checkbox"/> awning   | <input type="checkbox"/> fence, gate or garden wall    | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors    | <input type="checkbox"/> windows                       | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis               | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other    | REMOVE EXISTING 8'x4' DECK & REPLACE WITH 18'x12' DECK |   |                                   |
- ☐ ADDITION SYNTHETIC GREY DECKING AND WHITE RAILINGS
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** Please describe the proposed work in detail (Additional pages may be attached).

REMOVE EXISTING 8'x4' METAL DECK ON PEARLY ABOVE BRICK PATIO OUTSIDE WALKOUT BASEMENT DOOR. REPLACE WITH 18'x12' DECK (9' ABOVE BRICK PATIO) DECK TO HAVE SYNTHETIC GREY DECKING AND WHITE SYNTHETIC RAILINGS. NO STAIRS TO BACKYARD. ACCESS FROM EXISTING EXTERIOR DOOR TO REAR OF HOUSE. PORCH LIGHT TO REMAIN. BUILT PER CODE. SIMILAR IN APPEARANCE TO DECK ON REAR OF 222 BROWN STREET. EXISTING LARGE PICTURE WINDOW ON REAR MAIN FLOOR TO REMAIN. A PORTION OF EXISTING BLACK METAL RAILING ON 8'x4' METAL DECK WILL BE ATTACHED TO REAR OF TOWNHOUSE TO CREATE SAFETY RAILING FOR PICTURE WINDOW WHICH WILL LOOK OUT TO NEW DECK. LIKE EXISTING METAL DECK. NEW DECK WILL BE VISIBLE FROM A PORTION OF LEE AND FAIRFAX SOUTH OF GREEN (MAINLY RAILINGS VISIBLE)

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- ☒ N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☒ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☐ ☒ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.) \*
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Date: \_\_\_\_\_

12/15/2021DANIEL M. McORMACK

\* How much?  
How PAY?

Name	Address	Percent of Ownership
1. DANIEL M McORMACK	210 GREEN ST ALEXANDRIA VA	} 99% TBE
2. CAROLYN T McORMACK	"	
3. KATHRYN McORMACK AKCOM	"	1%

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 210 GREEN STREET (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. DANIEL M McORMACK	210 GREEN STREET ALEXANDRIA VA 22314	} Joint Tenants by the ENTIRETIES with SURVIVORSHIP 99%
2. CAROLYN T McORMACK	"	
3. KATHRYN McORMACK AKCOM	210 GREEN STREET ALEXANDRIA VA 22314	1%

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 210 GREEN STREET (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. DANIEL M. M'CORMACK	210 GREEN STREET ALEXANDRIA VA 22314	Joint Tenants by the ENTIRETIES with SURVIVORSHIP 99%
2. CAROLYN T. M'CORMACK	"	
3. KATHRYN M. M'CORMACK-KACOM	210 GREEN STREET ALEXANDRIA VA 22314	1%

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

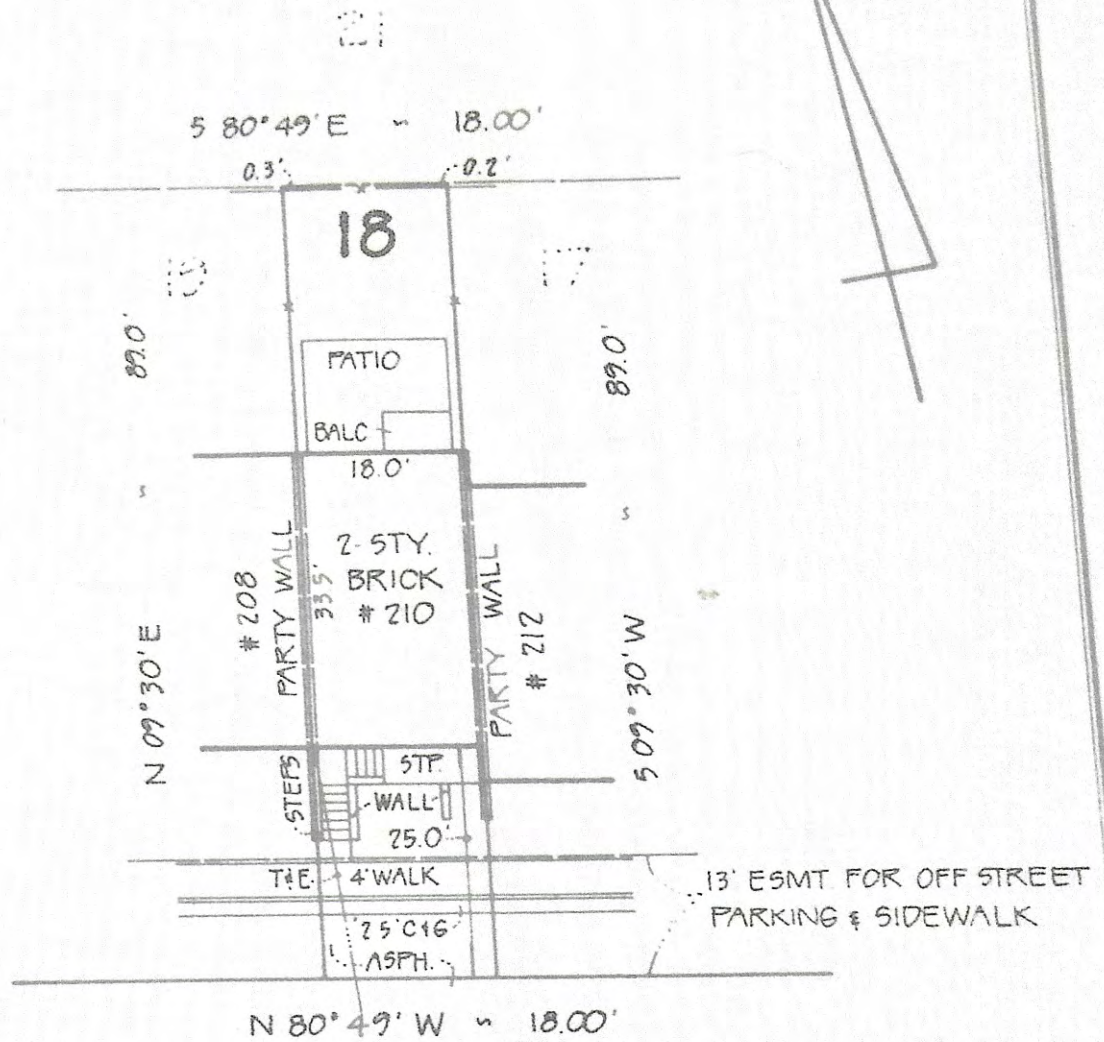
**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12/14/2021      DANIEL M'CORMACK      [Signature]  
 Date                      Printed Name                      Signature



NOTE: FENCES ARE FRAME.



GREEN STREET  
66' R/W

FLAT  
SHOWING HOUSE LOCATION ON  
LOT 18 BLK 8  
YATES GARDENS

Deck AREA  
192 SQ FT



66' R/W

FLAT

SHOWING HOUSE LOCATION ON

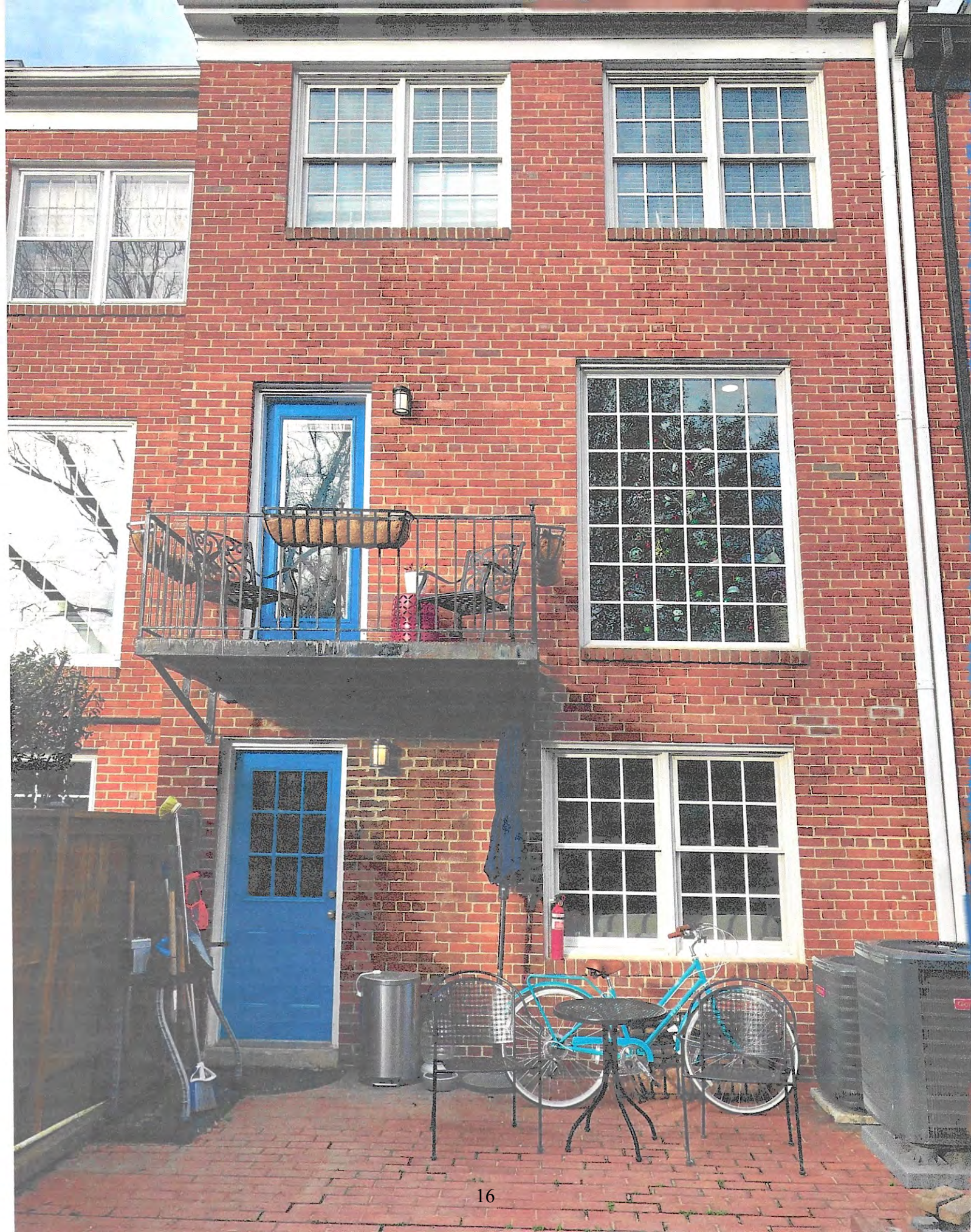
LOT 18

BLK 8

YATES

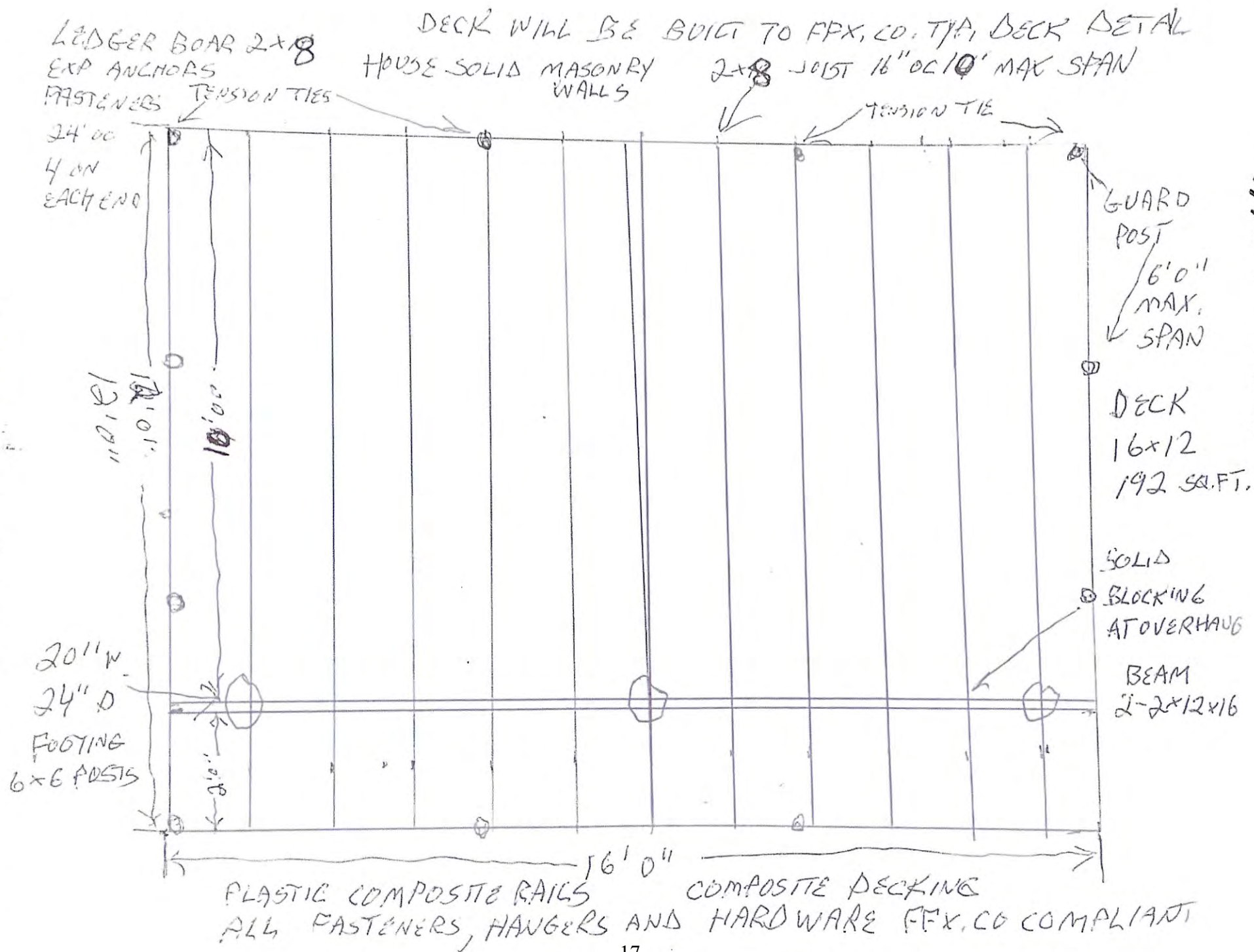
# GARDENS

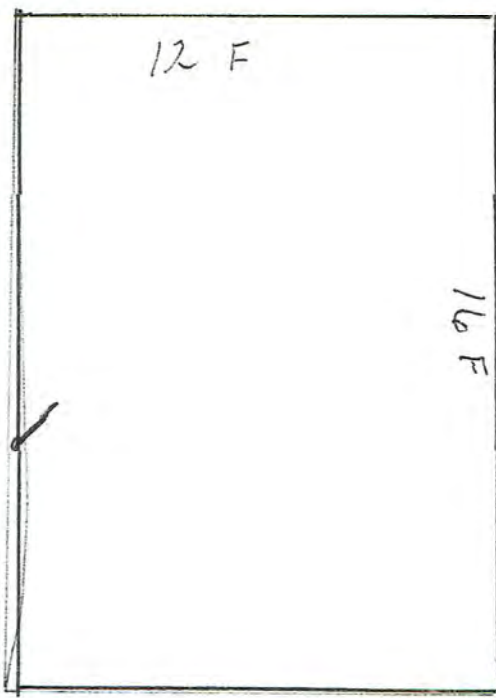




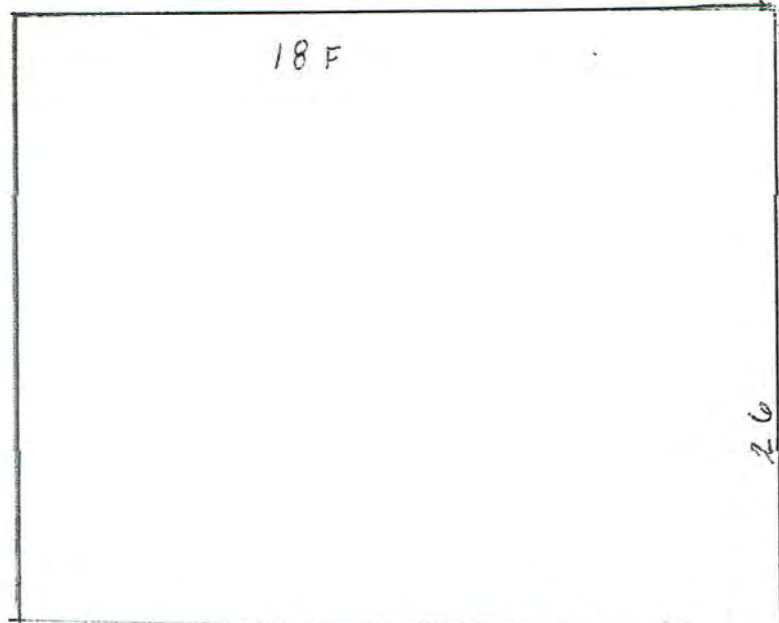


# MATERIALS



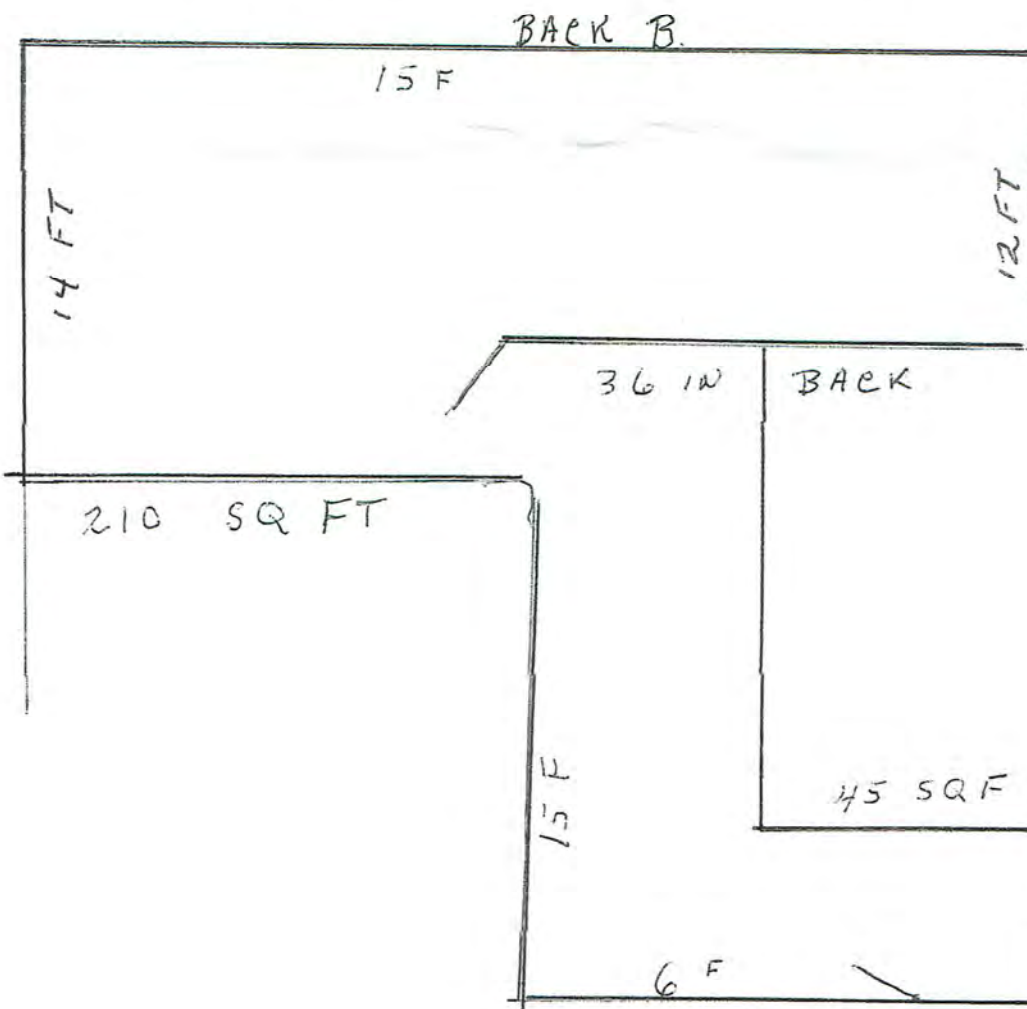
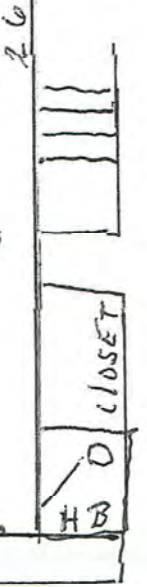


FRONT B. 192 SQ



L.R. 460 SQ FT  
900 TOTAL

46 IN





14 ~~2x8x12~~ NO. 2

3 ~~2x8x16~~ NO. 1

2 2x12x16 NO. 1

2 2x6x16

5 4x4x8 NO. 1

3 6x6x12 NO. 2.

3 - 2x4x16 NO. 1.

6 BAG CONCRETE

27 16 FT DECKING

10 POST SLEEVE

3 6 FT RAILS KITS

6 4 FT RAILS KITS

10 POST CAPS

4 DT1

10 FT 1

2 2x10 HANGEN HANGER.

11 2x10 HANGERS

13 HURRICANE CLIPS

6 7" 1/2 CAR. BOLTS

20 6" 1/2 CAR. BOLTS

28 CAR. BOLT WASHERS

28 WASHERS 100 NAILS

28 NUTS

HANGER SCREWS

HANGER NAILS

3" SCREWS

16 EXP ANCHORS 5/8

SILICON?

DECKING CLIPS

REG  
10 2x4x10 SPF  
TEMP BRACING



210 GREEN VIEW FROM LEE

Like this  
WINDOW

EXISTING RAILING  
to be used AS SAFETY  
GUARD ON WINDOW

EXISTING  
METAL DECK

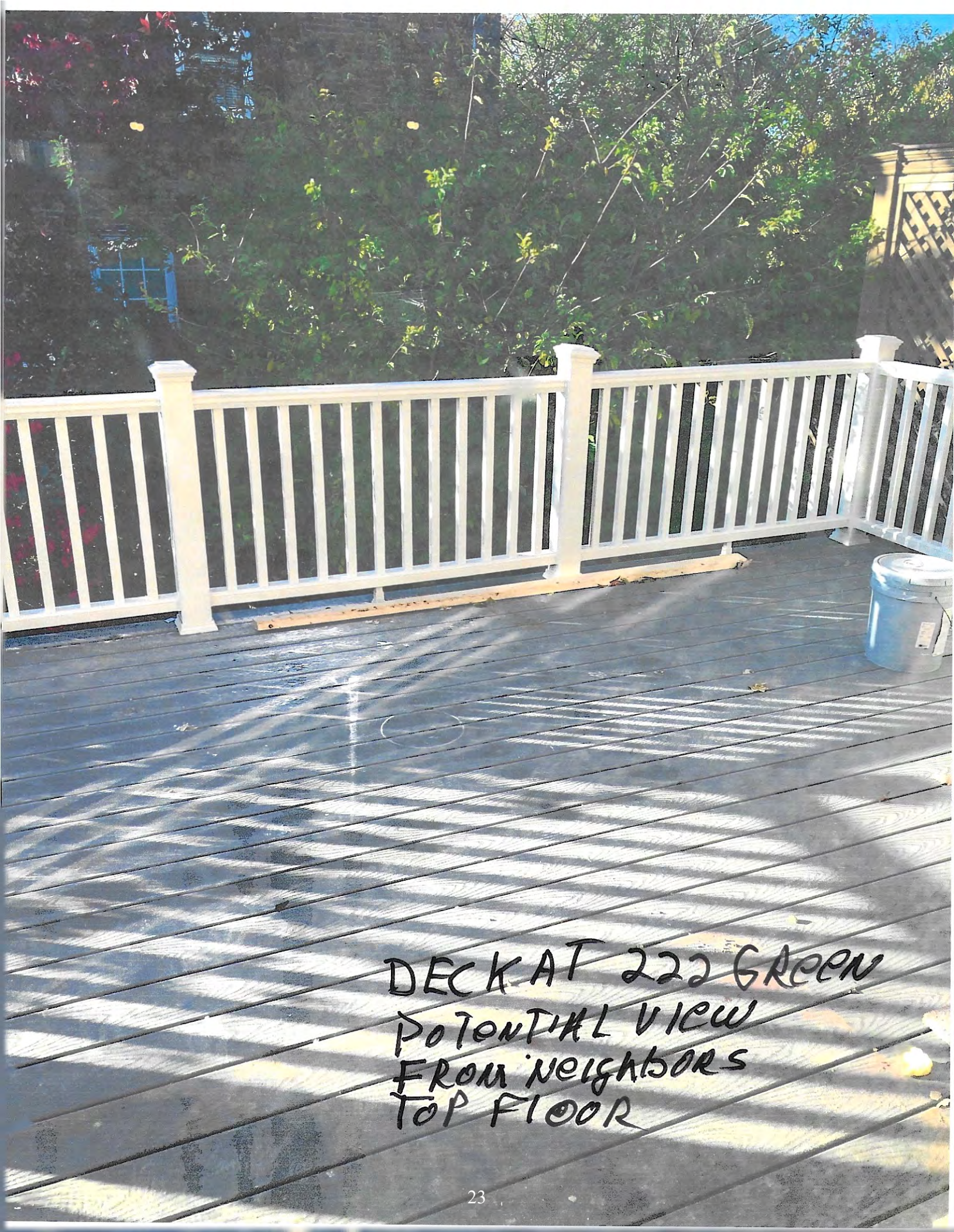


VIEW OF 222 GREEN  
REPRESENTS POTENTIAL/LIKELY  
VIEW (SIMILAR) OF NEW DECK AT  
210 GREEN - REAR FENCES PERMIT  
MAINLY VIEW OF RAILINGS










DECK AT 222 GREEN  
POTENTIAL VIEW  
FROM NEIGHBORS  
TOP FLOOR





2226 DECK - FENCING SIMILAR  
TO EXISTING FENCING  
AT 200 GREEN

FENCING BLOCKS VIEW OF  
BASE AREA



222 GREEN EXAMPLE OF  
CONSTRUCTION AND IMPACT ON  
BUILDING + YARD - REAR BASEMENT  
LEVEL OF 222 GREEN IS SIMILAR  
TO 210 GREEN





