ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and an addition

APPLICANT: David L. Charney

LOCATION: Old and Historic Alexandria District
414 North Union Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION
Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and an addition with the condition that the applicant select Option A for the north elevation windows.

BOARD ACTION: Deferred at March 17, 2021 hearing
By unanimous consent, the Board of Architectural Review accepted the request for deferral of BAR #2021-00004 and BAR #2021-00005.

REASON
The Board felt that the design needed more refinement, especially in regards to the third-floor dormer and penthouse.

SPEAKERS
Steve Kulinski, project architect, represented the applicant, gave a brief presentation, and was available to answer questions.

R.L. Sheedy, 1311 Prince Street, spoke on behalf of the Historic Alexandria Foundation. She supported the comments and letter provided by Al Cox and felt that the case should be deferred to allow the architect to create a more coherent design. She also noted that the Board should reconsider roof decks in general and come up with a set policy.

DISCUSSION
Mr. Adams liked the style and the details but felt that the top window was too big and the roof deck railing should be pushed back.

Ms. Sennott thought that the applicant answered the Board's comments from the previous hearing, noting that the latest design is more balanced and symmetrical. She also indicated that the top floor dormer is still a bit too large.

Mr. Spencer liked the project but felt that the top dormer still appears a bit top heavy.

Ms. Irwin noted that the top window looks overbearing and too heavy. She did like the changes to the rooftop elements and windows.

Mr. Sprinkle thought that the new design should be more respectful to the original 1970s design.

Ms. Neihardt opposed the top dormer, saying that it looks like a shed dormer. She felt that the penthouse is too much and out of character of the neighborhood.

Ms. Roberts also felt that the top dormer is too heavy and out of context, recommending that it be scaled back.

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of appropriateness for alterations and addition, as submitted.

BOARD ACTION: Deferred for Restudy at February 3, 2021 BAR hearing

On a motion by Ms. Irwin, and seconded by Ms. Neihardt, the Board of Architectural Review voted to defer BAR #2021-00004 and BAR #2021-00005, for a restudy. The motion carried on a vote of 6-0.

CONDITIONS OF APPROVAL

N/A

SPEAKERS

Mr. Steve Kulinski, project architect, represented the applicant and answered questions. He advised the Board that the current owner is the original owner, having purchased the property in 1974. The proposed alterations will help him to age in place, transition into retirement, and better utilize the house.

DISCUSSION

Mr. Adams felt that the third-story dormer on the primary/east elevation looks too massive and disrupts the solid/void pattern of the blockface.

Ms. Irwin noted that this dormer glass is taller and bigger than the windows below, therefore creating a heavy feel to the top of the house.

Ms. Sennott felt that the windows look narrow. Mr. Kulinski explained that they are the same size as the existing openings, but the lack of shutters makes them appear smaller.

Ms. Irwin likes the casement windows and the overall direction of the design. However, she felt that the front dormer does not relate to the other windows on the house.

Ms. Sennott felt that the metal cladding of the dormer makes it look off-center and out of alignment. Ms. Irwin agreed that it looks unbalanced.

Mr. Adams' primary concern was the size of the dormer glass; he had no issue with how the dormer relates to what is below. The design is otherwise well done.

Ms. Roberts said the design needs refinement and a better understanding as to how it fits into the neighborhood. She suggested adding divided lites to the dormer.

Ms. Irwin disagreed on the need for divided lites. She was more concerned with the alignment, feeling that if the dormer is better aligned, it may not look so heavy.

Ms. Neihardt asked if the dormer could be pushed back, made to disappear more.

Mr. Adams agreed that recessing the top could help. He liked the second-floor bay and recommended that the architect repeat that bay on the top floor to provide a level of harmony.

GENERAL NOTES TO THE APPLICANT

1. APPEAL OF DECISION: In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.

2. COMPLIANCE WITH BAR POLICIES: All materials must comply with the BAR's adopted policies unless otherwise specifically approved.

3. BUILDING PERMITS: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.

4. ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH: Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.

5. EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

6. HISTORIC PROPERTY TAX CREDITS: Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.

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BAR #2021-00004 & BAR #2021-00005
414 North Union Street
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Note: Staff coupled the applications for a Permit to Demolish (BAR #2021-00004) and Certificate of Appropriateness (BAR #2021-00005) for clarity and brevity. The Permit to Demolish requires a roll call vote.

UPDATE
The applicant engaged another architect who created a substantially different proposal.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a roof terrace with cable railing and an associated copper-clad elevator and stair enclosure, and alterations, at 414 North Union Street.

Permit to Demolish/Capsulate

- Enlarge openings on rear/west elevation, requiring the demolition/encapsulation of approximately 185 square feet of masonry, including encapsulation for an elevator
- Create new openings for six windows on side/north elevation, requiring the removal of either 96 or 108 square feet of masonry, depending upon which option is selected
- Enlarge existing openings and create new openings for bay windows on the primary/east elevation, requiring the removal of approximately 59 square feet of masonry
- Remove asphalt shingle mansard roof and replace with metal roofing
- Remove and replace soffits
- Remove (3) dormers on the primary/east elevation and one on the rear/west elevation

Certificate of Appropriateness

Addition

- Roof terrace and associated copper-clad elevator and stair enclosure. The roof terrace will be surrounded by cable railing and will include a painted wood HVAC screen.

Alterations

- Replace all windows and exterior doors
- Extend chimney
- Relocate and replace gutters and downspouts

Site context

The property faces Founders Park across North Union to the east. A 1018 square foot City-owned parklet is immediately behind the property to the west, as is a public alley that runs from the south end of the parklet west to North Lee Street. A building located at 413 North Lee Street, behind the subject property, blocks any view of the property from North Lee Street. See Figures 1 & 2.

Figure 1: View of site from North Lee Street; subject property hidden behind building in foreground.

Figure 2: Aerial view of block; subject property marked by red arrow.

II. HISTORY

The three-story, three-bay townhouse at 414 N. Union Street is one of a group of 86 brick townhouses bounded by North Union, North Lee, Queen, and Oronoco streets which were approved by City Council in 1968 (Special Use Permit #1084) and constructed in 1971. This particular townhome was built in **1974**. This area was not included in the Old and Historic Alexandria District until June of 1984.

Previous BAR Approvals

BAR2017-00431: Staff administrative approval for a roof replacement, November 16. 2017.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

Staff does not believe that the proposed demolition meets any of the criteria above, as the structure was constructed in the early 1970s and has not achieved historic significance in its own right through time or as the work of a nationally recognized architect. The townhouse is typical of the multitude of perfectly functional, vernacular garage townhouses constructed in Alexandria in the mid-to-late 20th century when railroad tracks still ran down Union Street, Founders Park was

envisioned to be mid-rise office buildings visually isolating this development from the river, and much of the waterfront was still noxious industrial uses. The demolition does not remove any character-defining features of uncommon design or historic merit, does not compromise the integrity of historic areas of the district, and will not be a detriment to the public interest. Additionally, all masonry removed as part of the project will be salvaged and reused to the extent possible. Therefore, staff supports the application for a Permit to Demolish/Capsulate, as submitted.

Certificate of Appropriateness

The proposed additions and alterations to this town house will completely alter its exterior appearance. Staff therefore finds that the BAR's *Design Guidelines* chapter on New Residential Construction provides the most relevant guidance related to the overall design. It notes that "New and untried approaches to common design problems should not be rejected out of hand simply because they appear to be outside the common practices outlined in the guidelines." This section also indicates that different areas of the City will require different interpretations of appropriate construction and alterations, specifically noting that "the design approach for residential additions for late-18th and early-19th century buildings on Royal Street will be different than for 20th century urban rowhouses on Oronoco Street."

This dwelling is part of a larger development where the BAR has approved substantial alterations and redesigns to most of the townhouses since this development was added to the historic district in 1984, 10 years after its construction. These townhouses are an architectural product of their time and location and lack historic significance or architectural distinction. They have a vaguely Colonial Revival architectural character with the street level devoted to multiple curb cuts, large garage doors and randomly placed fenestration. Bay windows were subsequently added, and over-scaled dormer windows have been applied to false side-gables, and mansard roofs have been converted to habitable space. In cases such as this, where there is no historic context to protect, the BAR has given applicants a good deal of latitude to alter the original architectural style and to accommodate personal taste and changing lifestyles.

Addition
The Board has approved several roof decks in this community. On the 400 block of North Union Street alone, at least six houses have roof decks: 101 Princess and 402, 408, 416, 420, and 424 North Union. The aerial view in Figure 2 shows these six roof decks and Figure 3 shows 416, 420, and 424 North Union as seen from Founders Park. As shown in Figure 4, the proposed roof deck at 414 North Union will barely be visible from a public right of way. The stair enclosure, elevator, and HVAC screening will not be visible at all from a head-on view but the elevator and stair enclosure may be slightly visible from an oblique view from north of the subject property. The proposed change to the roof shape will further mask the roof deck while also providing a better look to the building overall. The metal cable railings of the proposed roof at 414 North Union will be minimally visible from the ground and will fit in with the overall design vocabulary of the home and various other homes in the community. The copper cladding for the elevator and stair enclosure will also fit into the community while fulfilling the *Design Guideline* that "An addition to a historic building should be clearly distinguishable from the original structure." While this is not a historic building, it is appropriate that these new elements not be confused with the original design. In summary, this is an appropriate addition for this building and this community.

Figure 3: Roof decks on 416, 420, and 424 North Union as seen from Founders Park

Figure 4: Sightlines from Founders Park

Alterations

Most of the proposed alterations involve replacing all windows and doors. All proposed windows and doors comply with BAR guidelines and specifications. Aging gutters and downspouts will be replaced and relocated to better serve their purpose, and the chimney will be extended slightly as required for safety reasons. As noted above, this is a 1974 building surrounded by other buildings of the same era, many of which have undergone similar BAR-approved renovations.

East elevation:

The applicant proposes replacing all windows and doors on this elevation. The new design is balanced, symmetrical, and in scale with the streetscape. See Figure 5. The mansard roof will be

altered to allow for additional living space on the third floor. The changed roofline will be composed of pre-finished metal roofing, pre-finished metal dormers with cable railings, and terrace doors with sidelights and metal cable railing. The bay windows on the two levels below the new dormers include terrace doors with sidelights and tempered glass railings. New metal and glass garage doors will complement the new windows. The BAR approved similar bay windows and garage doors at 100 Quay (BAR2014-00032 & 00033, approved March 5, 2014), Figure 6.

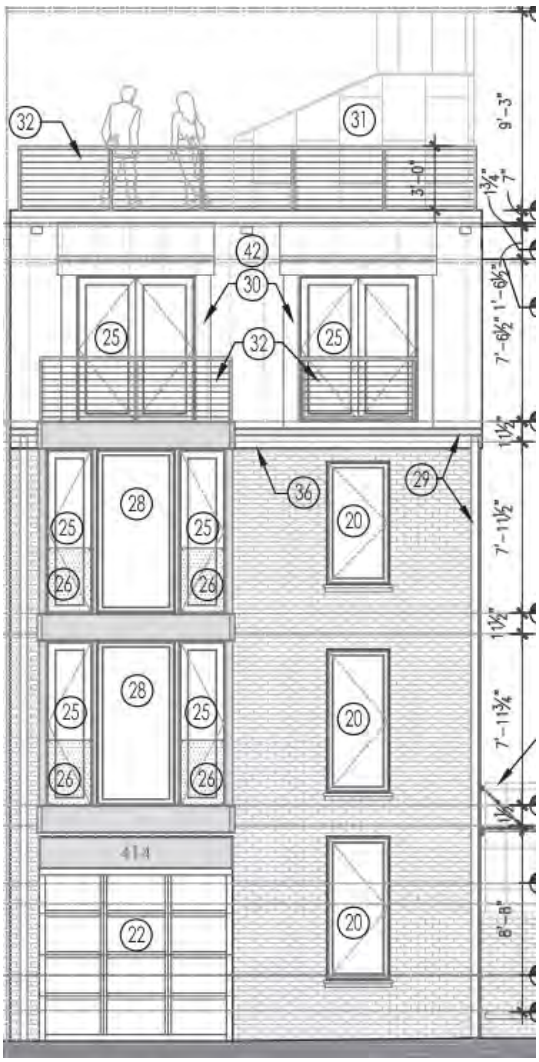

Figure 5: Proposed east elevation

Figure 6: 100 Quay Street

North elevation:
The applicant proposes replacing the existing pediment over the entry door with a brick jack arch matching the door surround. A new metal and glass canopy with LED downlighting will be added above the door. This type of canopy has been approved by the BAR in this community in the past, most recently for 105 Queen Street (BAR2021-00457, approved 12/15/21). In that case, the BAR specifically recommended that the applicant replace the door entablature with a metal and glass canopy. The applicant also proposes adding six windows to this elevation, providing two options for the BAR's consideration. Both options provide a degree of symmetry that is missing from the current design. In Option A (Figure 7), the central vertical line of windows has distinct separations,

with masonry bands separating them. Option B (Figure 8) links the windows, creating a single long bay. In staff opinion, Option A appears more symmetrical and balanced than Option B, and therefore recommends Option A.

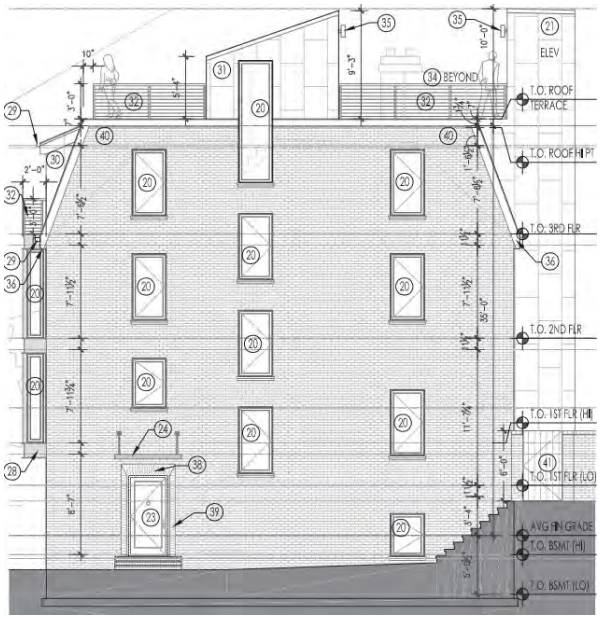

Figure 7: Option A, north elevation

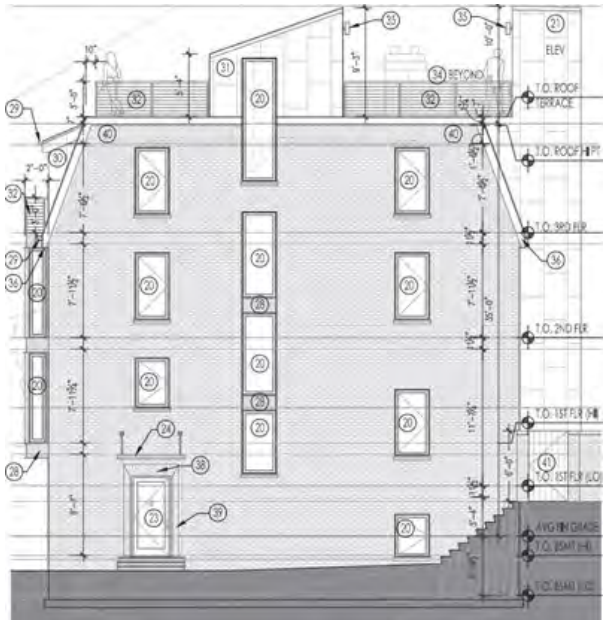

Figure 8: Option B, north elevation

West elevation:

The applicant proposes adding two triple windows, new terrace doors, and a new masonry step to this elevation. As noted above, a copper clad elevator will be added to the north corner of the house, providing access to the proposed roof deck. The existing wood fence, which is in poor condition, will be replaced with a brick wall with a wood gate. Staff supports these alterations, finding them to be an improvement over the existing rear elevation. See Figure 9 for the proposed elevation and Figure 10 for the existing.

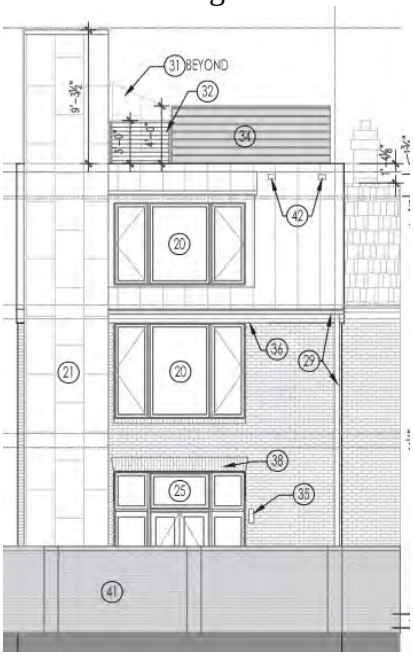

Figure 9: Proposed west elevation

Figure 10: Existing west elevation

In summary, when the Old and Historic Alexandria District was established in 1946, 28 years before this townhouse was constructed, it was not created to freeze Alexandria at a specific point in time, the way Colonial Williamsburg is often described, but to prevent the demolition of identified historic resources and ensure that infill was compatible with nearby buildings of historic merit. The BAR's Standards and criteria in the Zoning Ordinance (Section 10-105), as well as the BAR's adopted policies and *Design Guidelines*, recognize that the historic fabric of Old Town may be modified, altered, and expanded to accommodate contemporary needs and to allow all buildings to continue to be used and cherished. These modifications will allow the applicant, who has owned this property for 47 years, to remain at home and age in place.

Staff therefore recommends approval of the project with the recommendation that the applicant select Option A for the north elevation.

STAFF
Susan Hellman, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 The property received variance BZA1084 in 1968 which limited the FAR to 1.17, for a total of 2,435 square feet. Due to changes in the ways FAR and exclusions are calculated, the building currently exceeds the originally approved FAR. While the building is over the allowed FAR stated in the BZA case, the applicant may make modifications and additions as long as they do not exceed the existing floor area.

C-2 Per §6-403(B), stairs, elevators, roof decks and guardrails may all be erected as part of the main building to their required heights.

C-3 Per §6-403(B)(2), the Board of Architectural Review may waive or modify the screening requirement for rooftop appurtenances.

F-1 The proposed new stair tower, elevator shaft, elevator penthouse, roof deck, guardrails, and renovations all comply with zoning.

Code Administration
No comments received.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 Previously reviewed under BAR2017-00431. (T&ES)

F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

COMMENTS:

This parcel and building is partially located in the AE Zone on the FEMA Flood Insurance Rate Map (FIRM) panel number 5155190041E dated June 16, 2011 and may be Substantial Improvement, based on application documents showing the extent and scope of renovation. Substantial Improvement is any improvement(s) totaling in cost 50% or more than the value of the building (2020 assessed value = $488,417). As such, this building permit may be subject to floodplain ordinance regulations including but not limited to: (T&ES)

1. Affidavit of Improvement Costs. Forms and instructions provided by City.

2. Plan for development/building permit:
Section 6-305 (D) All applications for new construction or substantial improvement within any floodplain district, and all building permits issued for the floodplain shall incorporate the following information:
(1)The base flood elevation at the site;
(2)The elevation of the lowest floor (including basement);
(3)For structures to be floodproofed (nonresidential only), the elevation to which the structure will be floodproofed; and,
(4)Topographic information showing existing and proposed ground elevations.

3. Proposed improvement requirements:
Section 6-306 (H) No building permit for the substantial improvement of an existing residential building shall be issued unless the building has the lowest floor (including the basement) elevated at least one foot above the base flood elevation.

4. Elevation Certificate, certified by appropriate party and submitted to Floodplain Administrator and Building Official, prior to issuance of Certificate of Occupancy.

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 No archaeological oversight will be necessary for this undertaking.

V. ATTACHMENTS

1 – Application Materials
2 – Supplemental Materials
3 – March 17, 2021 – Staff Report with Minutes BAR #2021-00004 & BAR #2021-00005

BAR Case # _____

ADDRESS OF PROJECT: 414 North Union Street, Alexandria, VA 22314

DISTRICT: ☒ **Old & Historic Alexandria** ☐ **Parker – Gray** ☐ **100 Year Old Building**

TAX MAP AND PARCEL: 065.03-04-22 **ZONING:** RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: David Charney

Address: 414 North Union Street

City: Alexandria State: VA Zip: 22314

Phone: 703-395-5454 E-mail : dlc43@his.com

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: Karen Conkey Phone: 703-589-4550

E-mail: kconkey@conkeyarchitects.com

Legal Property Owner:

Name: David Charney

Address: 414 North Union Street

City: Alexandria State: VA Zip: 22314

Phone: 703-395-5454 E-mail: dlc43@his.com

☐ **Yes** ☒ **No** Is there an historic preservation easement on this property?
☐ **Yes** ☐ **No** If yes, has the easement holder agreed to the proposed alterations?
☐ **Yes** ☒ **No** Is there a homeowner's association for this property?
☐ **Yes** ☐ **No** If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

BAR Case # _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- [ ] NEW CONSTRUCTION
- [x] EXTERIOR ALTERATION: *Please check all that apply.*
  - [ ] awning
  - [x] fence, gate or garden wall
  - [x] HVAC equipment
  - [ ] shutters
  - [x] doors
  - [x] windows
  - [ ] siding
  - [ ] shed
  - [ ] lighting
  - [ ] pergola/trellis
  - [ ] painting unpainted masonry
  - [x] other Roof terrace
- [x] ADDITION
- [x] DEMOLITION/ENCAPSULATION
- [ ] SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

The applicant proposes the following exterior modifications to 414 North Union Street. Replace all windows and exterior doors, adding several windows on the side façade for balance. Enlarge the openings on the rear façade and add a bay window with balcony above to the front façade. Change the existing mansard roof line to allow for additional living space on the 3rd floor and add a copper clad elevator to the rear of the home.

The applicant also proposes to add a roof terrace above the home with an interior stair structure accessing the terrace. The materials at the roof terrace will be painted pressure treated lumber, composite decking for the flooring, copper cladding at the stair enclosure and a visually minimal cable railing at the perimeter. All proposed new doors and windows will meet the established design guidelines.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

	N/A	
[ ]	[x]	Survey plat showing the extent of the proposed demolition/encapsulation.
[x]	[ ]	Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
[x]	[ ]	Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
[x]	[ ]	Description of the reason for demolition/encapsulation.
[ ]	[x]	Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR Case # _____

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

	N/A	
x	☐	Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
x	☐	FAR & Open Space calculation form.
x	☐	Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
x	☐	Existing elevations must be scaled and include dimensions.
x	☐	Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
x	☐	Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
x	☐	Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
☐	■	For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

	N/A	
☐	■	Linear feet of building: Front:_____Secondary front (if corner lot):_____.
☐	■	Square feet of existing signs to remain:_____.
☐	■	Photograph of building showing existing conditions.
☐	■	Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
☐	■	Location of sign (show exact location on building including the height above sidewalk).
☐	■	Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
☐	■	Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

	N/A	
x	☐	Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
x	☐	Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
x	☐	Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
x	☐	An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
☐	■	Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR Case # _____

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- [x] I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- [x] I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- [x] I, the applicant, or an authorized representative will be present at the public hearing.
- [x] I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: Karen Conkey

Date: 12/20/2021

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. David Charney	414 North Union Street	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 414 North Union Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1 David Charney	414 North Union Street	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Karen Conkey	spouse	William Conkey
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12/20/2021	Karen Conkey	
Date	Printed Name	Signature

Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 414 North Union Street, Alexandria, VA 22314
Street Address

RM
Zone

A2. 2,082.00 (reduced by easement) x 1.17 (reduced by variance) = 2,435.94 (reduced by variance to 2,420 SF)

Total Lot Area | Floor Area Ratio Allowed by Zone | Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**	
Basement	886.00	Basement**	423.00
First Floor	886.00	Stairways**	315.00
Second Floor	878.00	Mechanical**	28.00
Third Floor	878.00	Attic less than 7'**	79.00
Attic		Porches**	
Porches		Balcony/Deck**	
Balcony/Deck		Lavatory***	169.00
Lavatory***		Other**	
Other**		Other**	
B1. Total Gross	3,528.00	**B2. Total Exclusions**	1,014.00

B1. 3,528.00 Sq. Ft.
Existing Gross Floor Area*

B2. 1,014.00 Sq. Ft.
Allowable Floor Exclusions**

B3. 2,514.00 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**	
Basement	41.00	Basement**	31.00
First Floor	41.00	ELEVATOR/ Stairways**	320.00
Second Floor	49.00	Mechanical**	49.00
Third Floor	95.00	Attic less than 7'**	
Attic		Porches**	14.00
Porches CANOPY	14.00	CANOPY Balcony/Deck**	
Balcony/Deck		Lavatory***	
Lavatory***		Other**	
Other ROOF	114.00	Other**	
C1. Total Gross	354.00	**C2. Total Exclusions**	414.00

C1. 354.00 Sq. Ft.
Proposed Gross Floor Area*

C2. 414.00 Sq. Ft.
Allowable Floor Exclusions**

C3. -60.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

D. Total Floor Area

D1. 2,454.00 Sq. Ft.
Total Floor Area *(add B3 and C3)*

D2. 2,435.94 Sq. Ft.
Total Floor Area Allowed by Zone *(A2)*
(reduced by variance to 2,420 SF)

E. Open Space (RA & RB Zones)

E1. 1,054.00 Sq. Ft.
Existing Open Space

E2. 729.00 Sq. Ft.
Required Open Space

E3. 1,023.00 Sq. Ft.
Proposed Open Space

Notes

**Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.*

*** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.*

****Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.*

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: 12/20/2021

414 North Union Street, Alexandria, VA 22314

PHOTO OF EXISTING FRONT ELEVATION

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CLIENT:
David Charney
414 North Union Street
Alexandria, VA 22314

20 DECEMBER 2021

ARCHITECT:
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alexandria, va 22314
703 . 589 . 4550
info@conkeyarchitects.com
Conkey | architects

BAR SUBMISSION

ASK 1.1A

NOT FOR CONSTRUCTION

414 North Union Street, Alexandria, VA 22314

PHOTO OF EXISTING NORTH SIDE ELEVATION

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ASK 1.1B

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PHOTO OF EXISTING REAR ELEVATION

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ASK 1.1C

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ADJACENT OFFICE BUILDING | ALLEY /OPEN SPACE | 416 N UNION ST | 414 N UNION ST | 412 N UNION ST

VIEW FROM REAR ALLEY / OPEN SPACE

412 N UNION ST | 414 N UNION ST | 416 N UNION ST

VIEW FROM FOUNDERS PARK

OFFICE BUILDING IN FOREGROUND

414 N UNION ST | 412 N UNION ST

VIEW FROM REAR ALLEY

414 North Union Street, Alexandria, VA 22314

PHOTO OF EXISTING CONDITIONS

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ASK 1.1D

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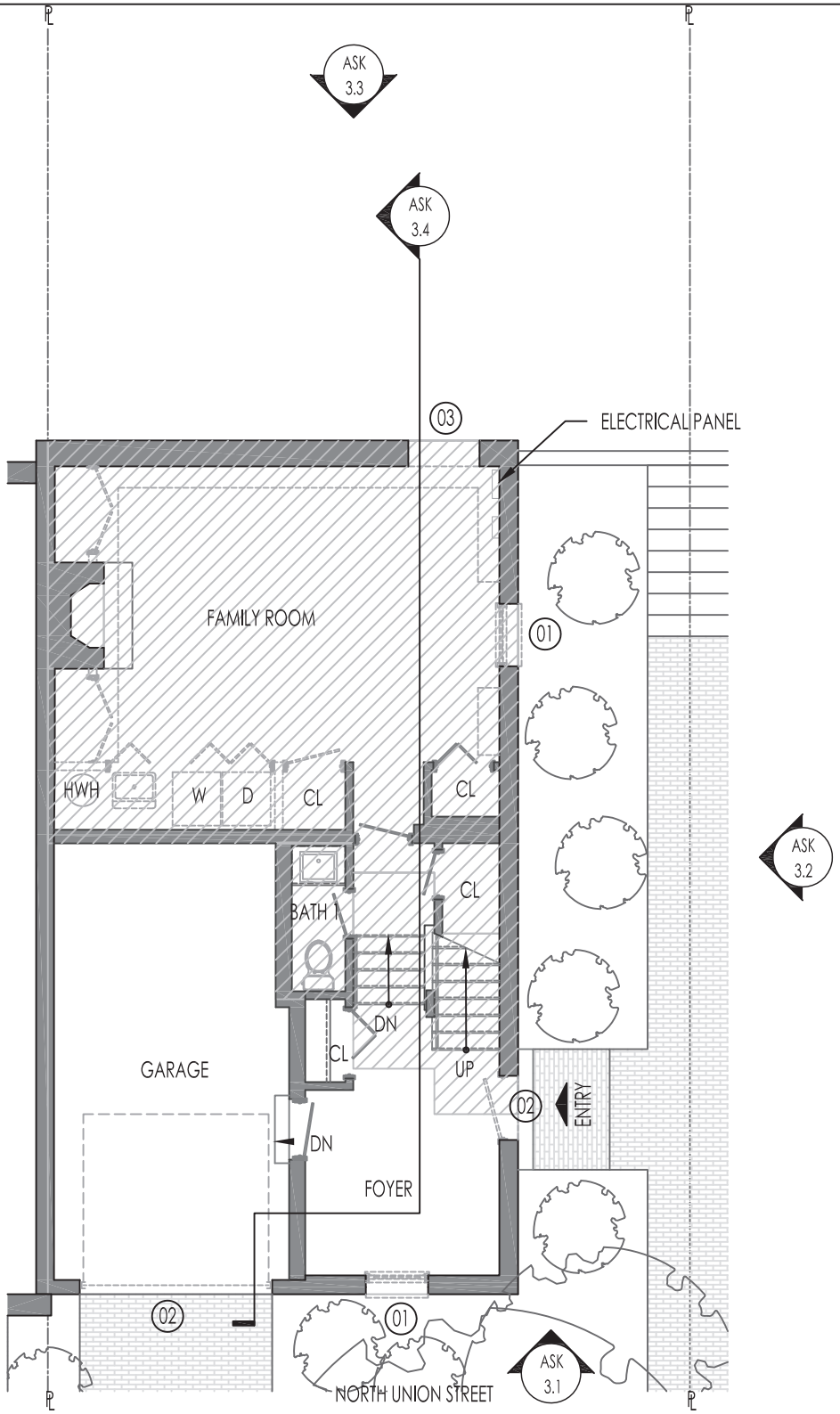

DEMOLITION NOTES

01 REPLACE WINDOW
02 REPLACE DOOR(S)
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04 ASPHALT SHINGLE / MEMBRANE ROOF TO BE REMOVED/ REPLACED
05 GUTTER & DOWNSPOUT TO BE REPLACED / RELOCATED
06 MASONRY SILL TO BE REMOVED
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10 SOFFIT TO BE REPLACED
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EXISTING AREA DEDUCTED
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NEW AREA
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EXISTING OPEN SPACE
PROPOSED OPEN SPACE

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EXISTING BASEMENT PLAN SHOWING PROPOSED DEMOLITION

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Alexandria, VA 22314

N

0' 1' 2' 4' 8'
SCALE: 1/8" = 1'-0"

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ASK 2.0

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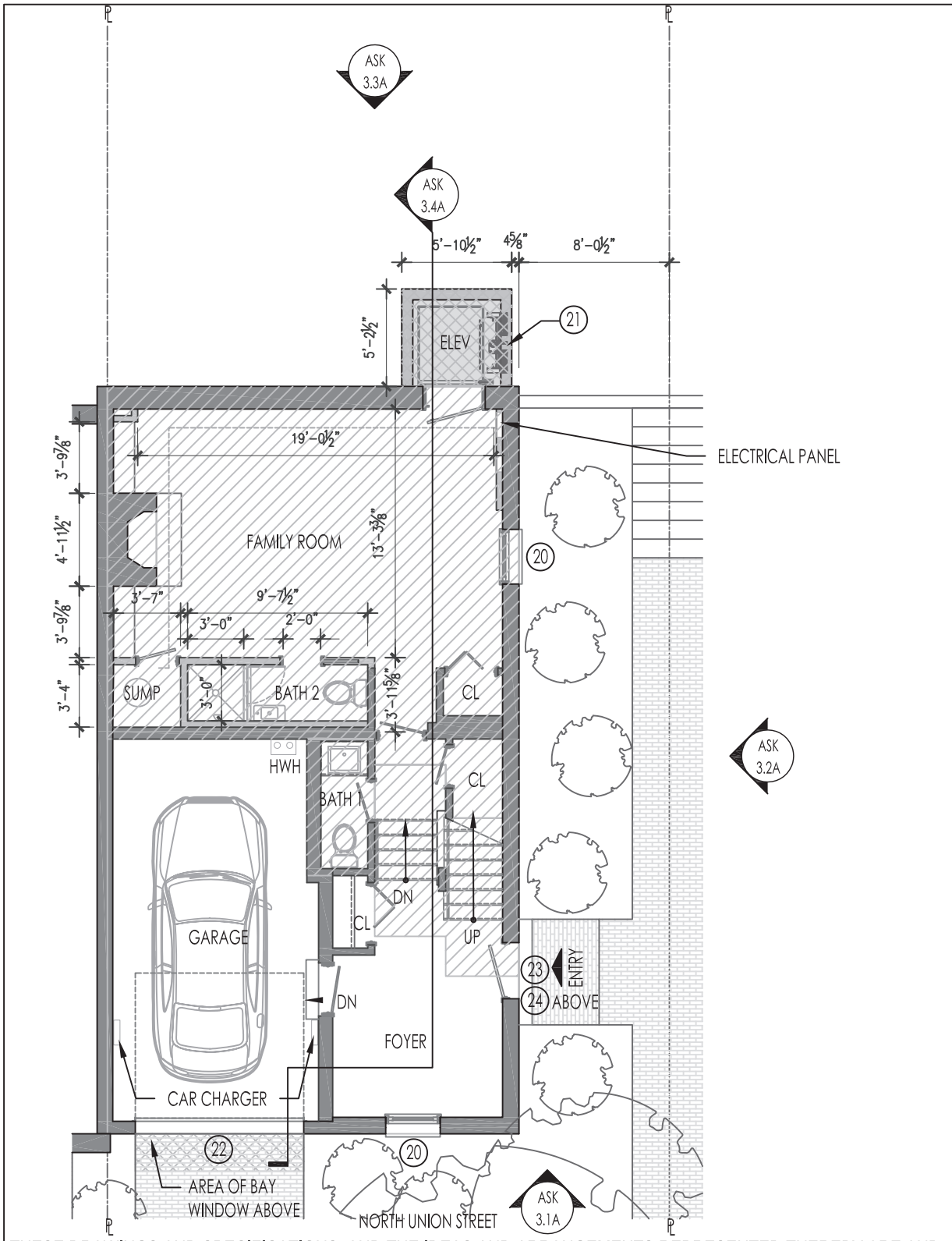

NEW WORK NOTES

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21 COPPER CLAD ELEVATOR
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23 PTD WD ENTRY DOOR
24 PTD MTL & GLASS CANOPY W/ LED DOWN LIGHTING
25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS / TRANSOMS AS APPL
26 TEMP GLASS RAILING
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PROPOSED BASEMENT PLAN

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SCALE: 1/8" = 1'-0"

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ASK 2.0A

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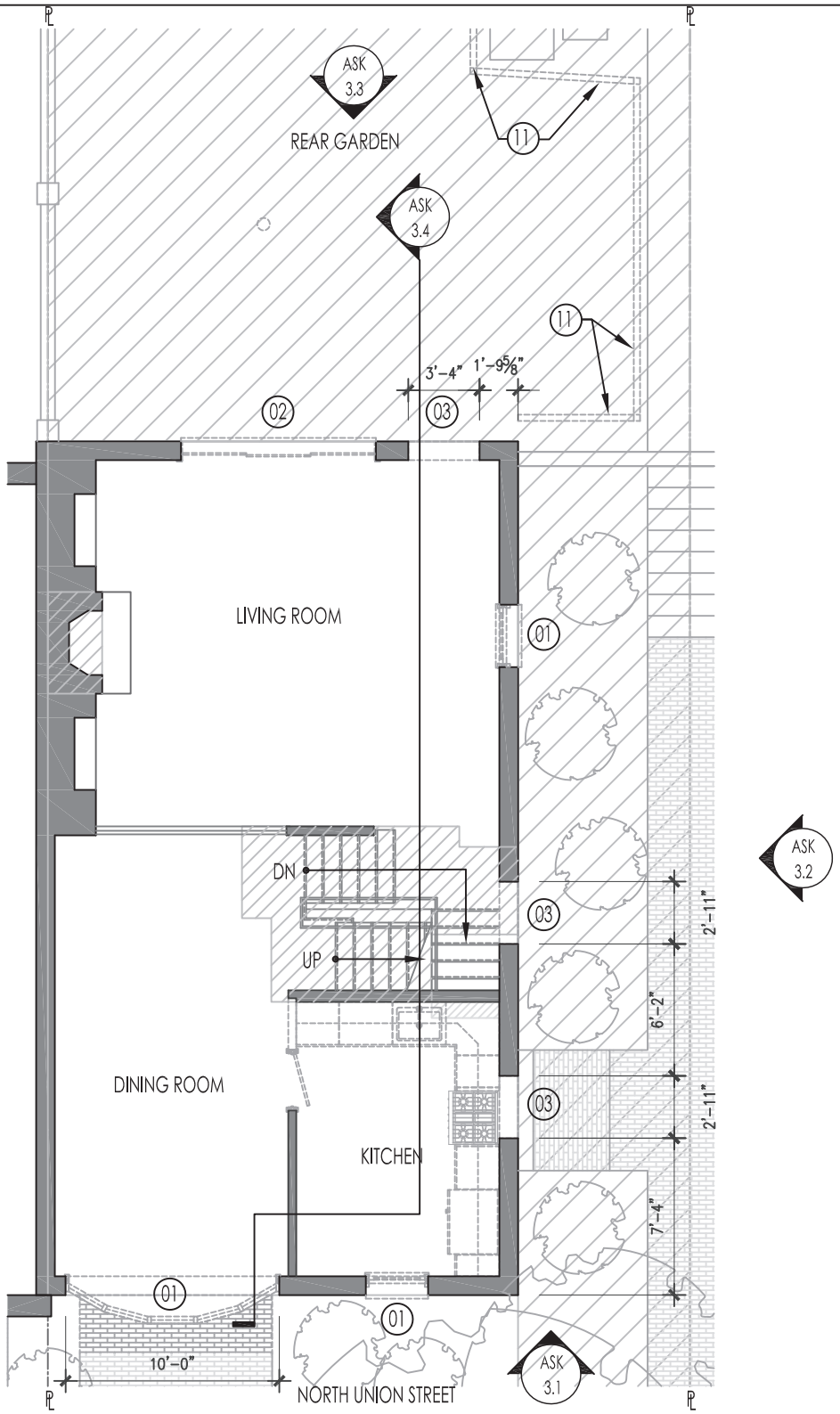

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EXISTING 1ST FLOOR PLAN SHOWING PROPOSED DEMOLITION

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0' 1' 2' 4' 8'
SCALE: 1/8" = 1'-0"

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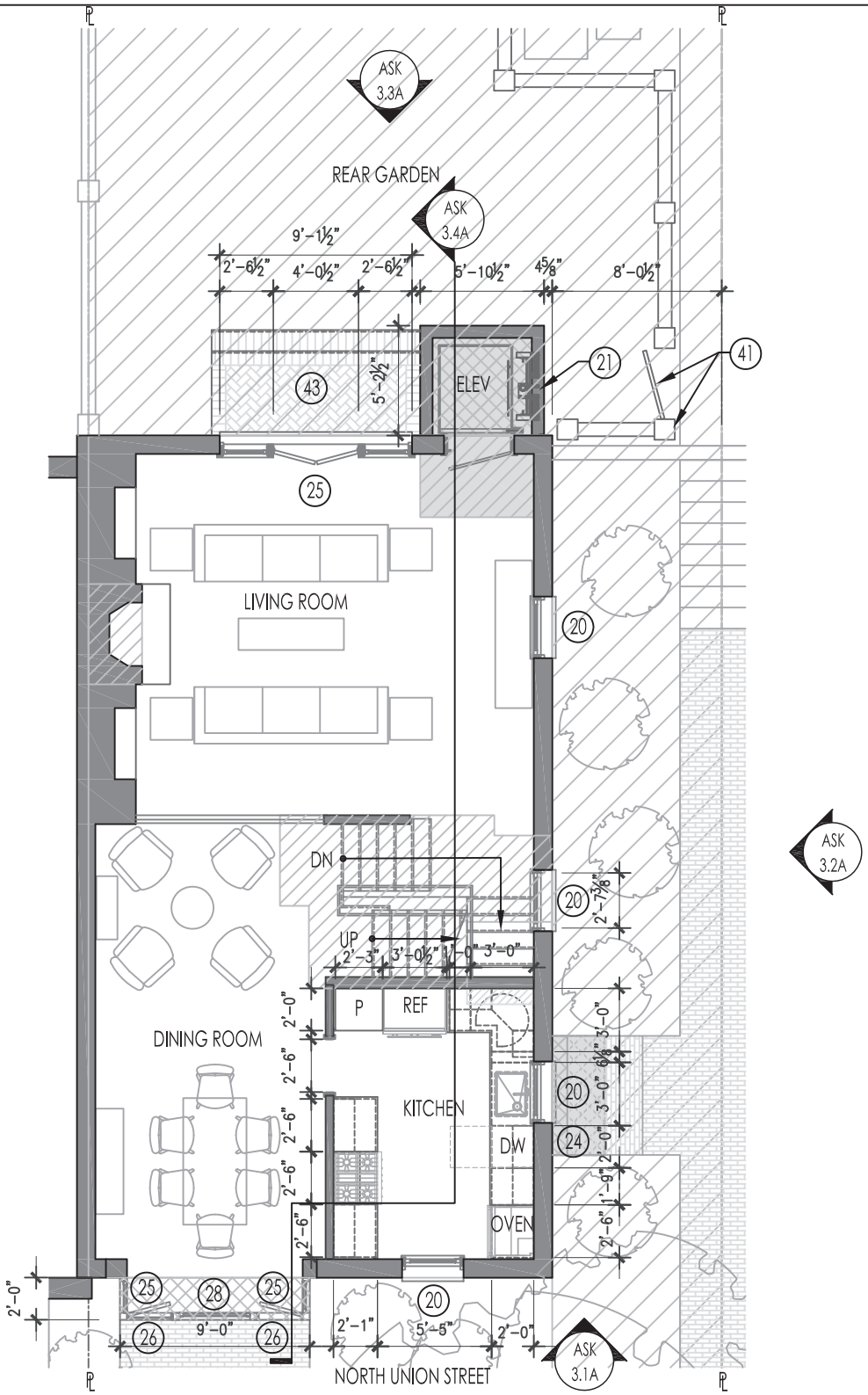

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PROPOSED 1ST FLOOR PLAN

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ASK 2.1A

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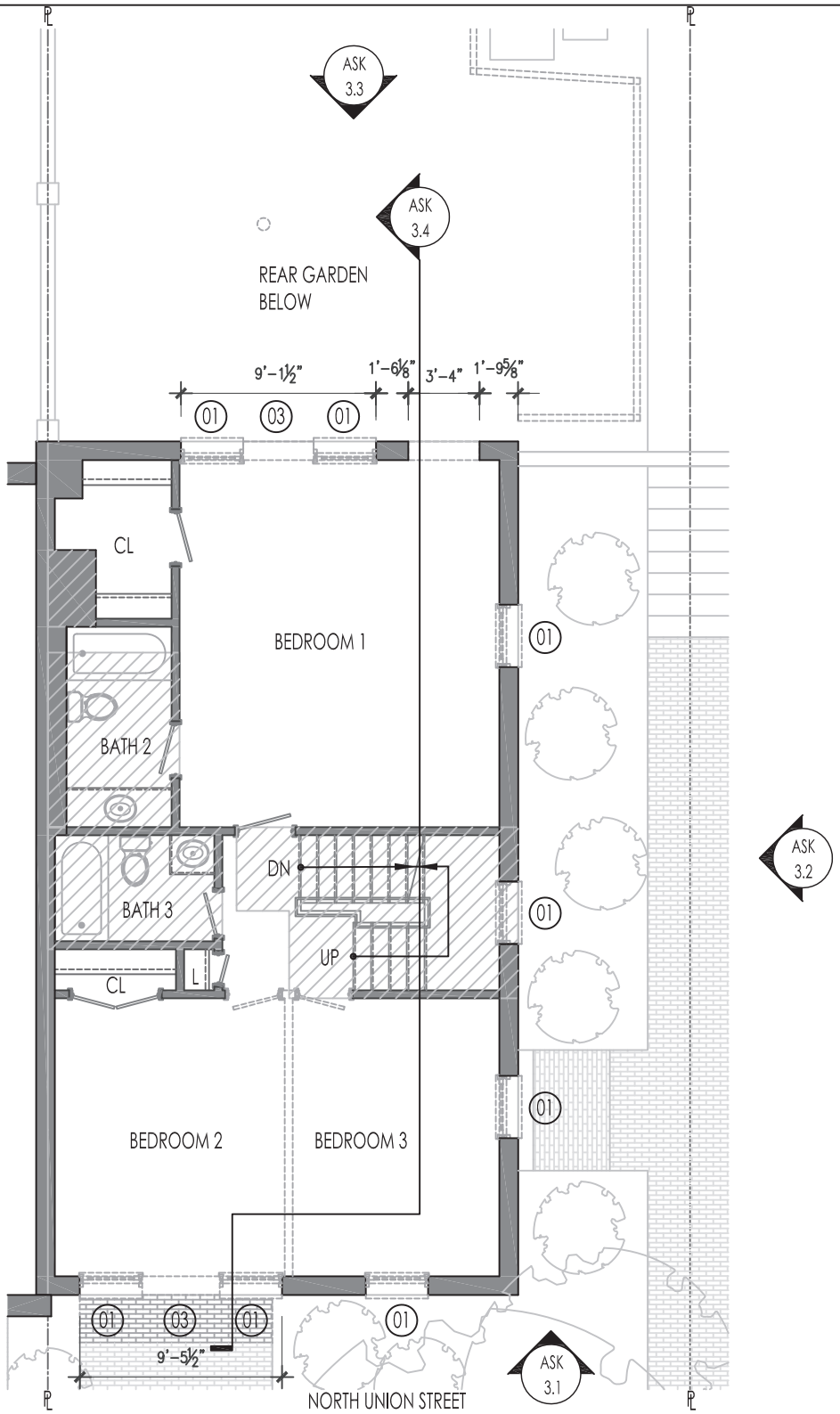

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EXISTING 2ND FLOOR PLAN SHOWING PROPOSED DEMOLITION

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Alexandria, VA 22314

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SCALE: 1/8" = 1'-0"

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ASK 2.2

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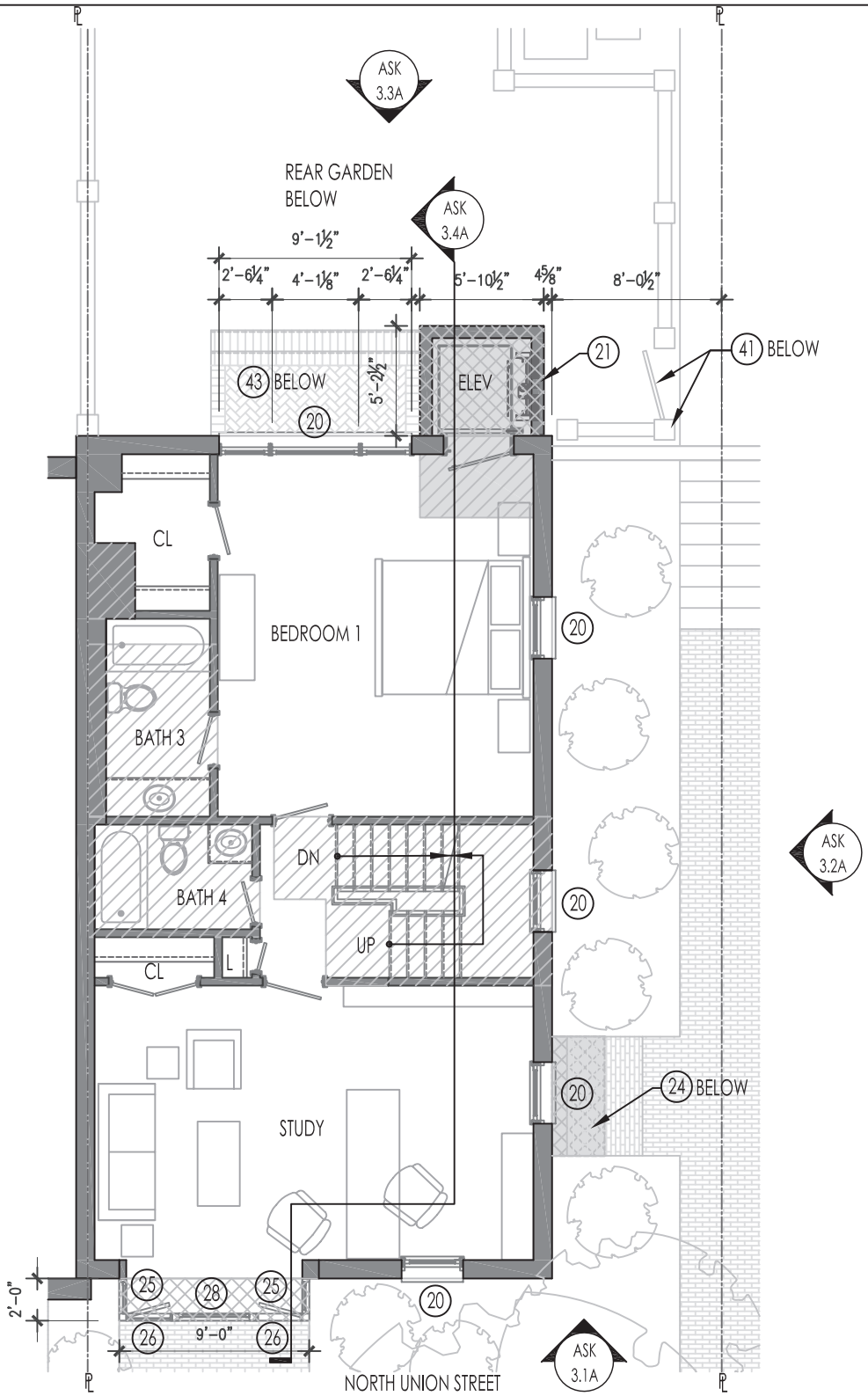

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PROPOSED 2ND FLOOR PLAN

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20 DECEMBER 2021

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ASK 2.2A

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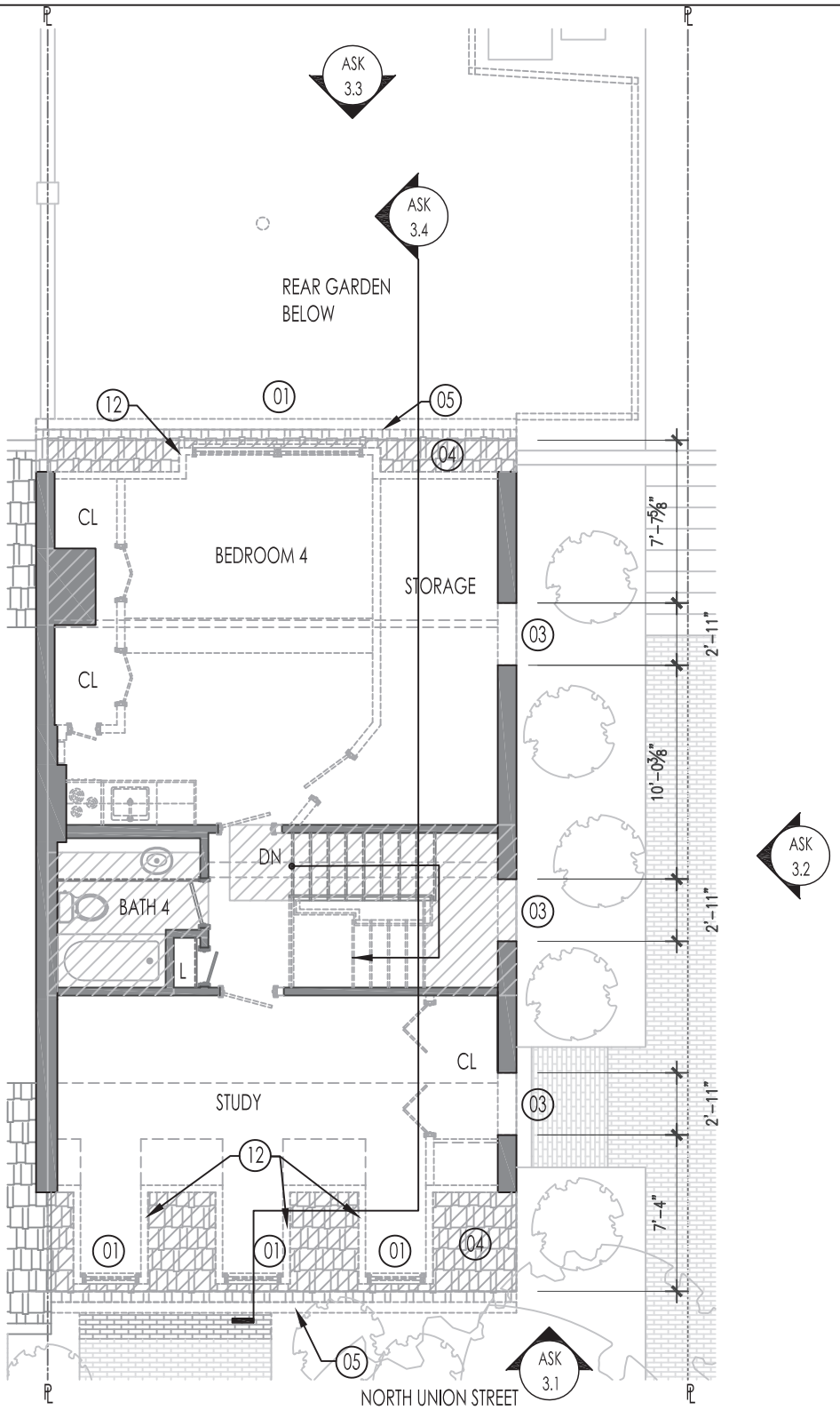

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EXISTING 3RD FLOOR PLAN SHOWING PROPOSED DEMOLITION

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ASK 2.3

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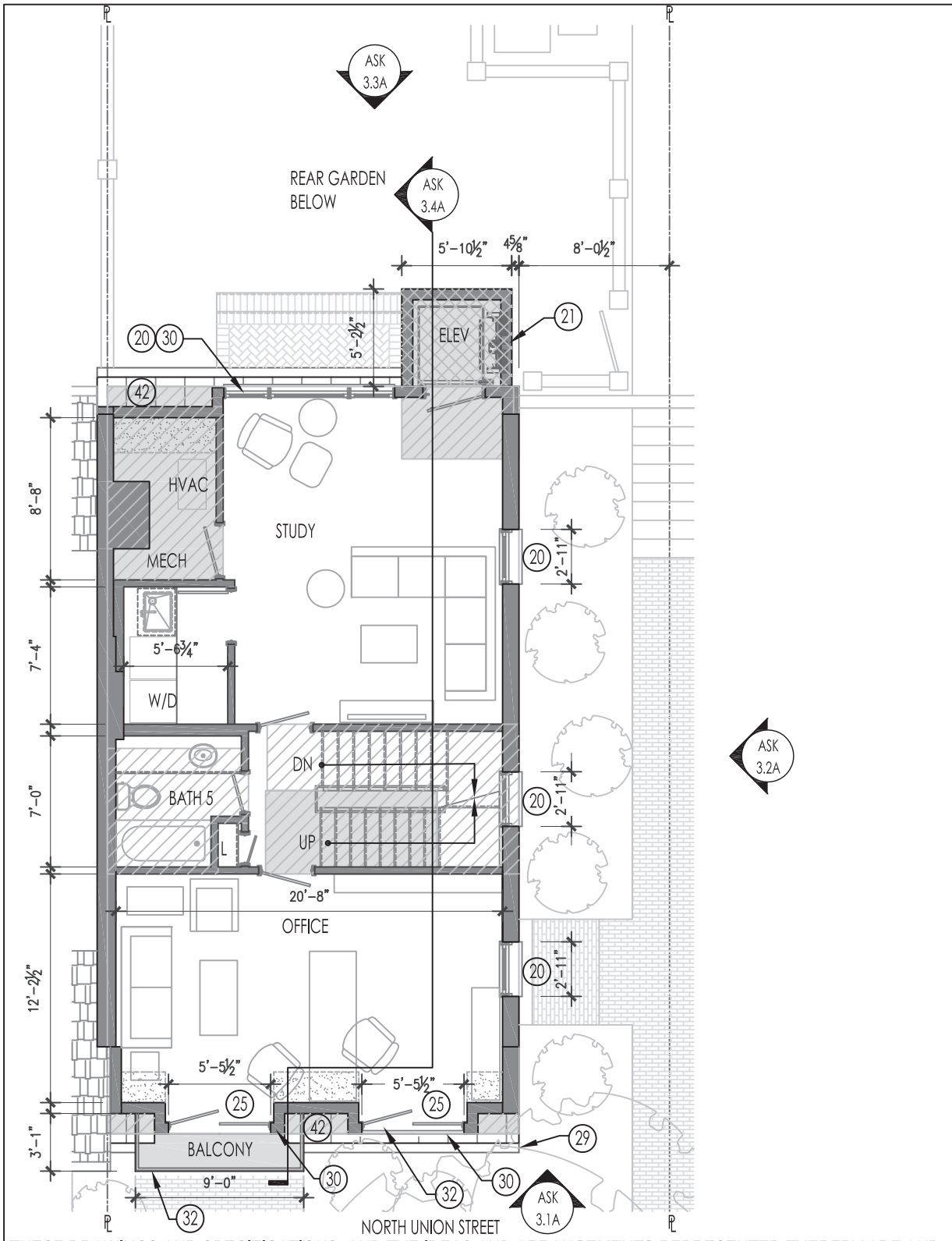

NEW WORK NOTES

08 CHIMNEY TO BE EXTENDED AS REQ'D - MATLS TO MATCH EXISTING
20 ALUM CLAD WD WINDOW W/ SILL TO MATCH ADJ AS REQ'D
21 COPPER CLAD ELEVATOR
22 MTL & GLASS GARAGE DOOR
23 PTD WD ENTRY DOOR
24 PTD MTL & GLASS CANOPY W/ LED DOWN LIGHTING
25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS / TRANSOMS AS APPL
26 TEMP GLASS RAILING
27 HVAC UNIT
28 WINDOW / BAY WINDOW W/ PTD STL CHANNELS & MTL TRIM
29 PTD MTL GUTTER & DNSPOUT
30 PRE-FINISHED MTL DORMER
31 COPPER CLAD STAIR ENCLOSURE
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33 STONE CLAD COUNTERTOP
34 PTD PT WD HVAC SCREEN
35 EXTERIOR LIGHT
36 PTD FIBER CEMENT SOFFIT
37 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
38 BRICK JACK ARCH TO MATCH ADJ MASONRY
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41 BRICK GARDEN WALL W/ PTD PT WD GATE
42 PRE-FINISHED MTL ROOFING W/ SCUPPERS
43 MASONRY STOOP

EXISTING AREA DEDUCTED
NEW EXISTING AREA DEDUCTED
NEW AREA
NEW AREA TO BE DEDUCTED
EXISTING OPEN SPACE
PROPOSED OPEN SPACE

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PROPOSED 3RD FLOOR PLAN

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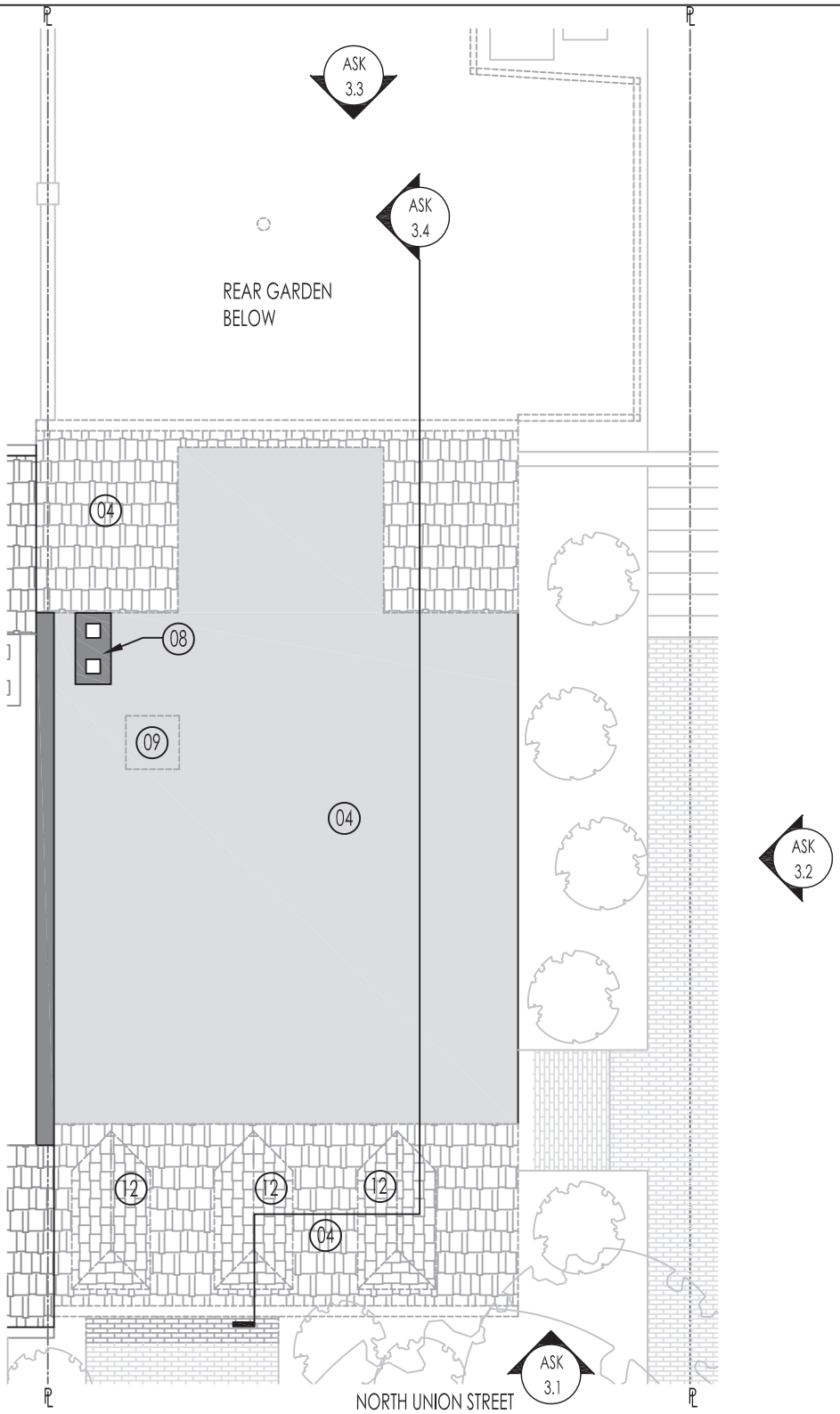

DEMOLITION NOTES

01 REPLACE WINDOW
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03 WALL TO BE REMOVED - SALVAGE BRICK FOR REUSE TO EXTENT POSSIBLE
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EXISTING AREA DEDUCTED
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NEW AREA
NEW AREA TO BE DEDUCTED
EXISTING OPEN SPACE
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EXISTING ROOF PLAN SHOWING PROPOSED DEMOLITION

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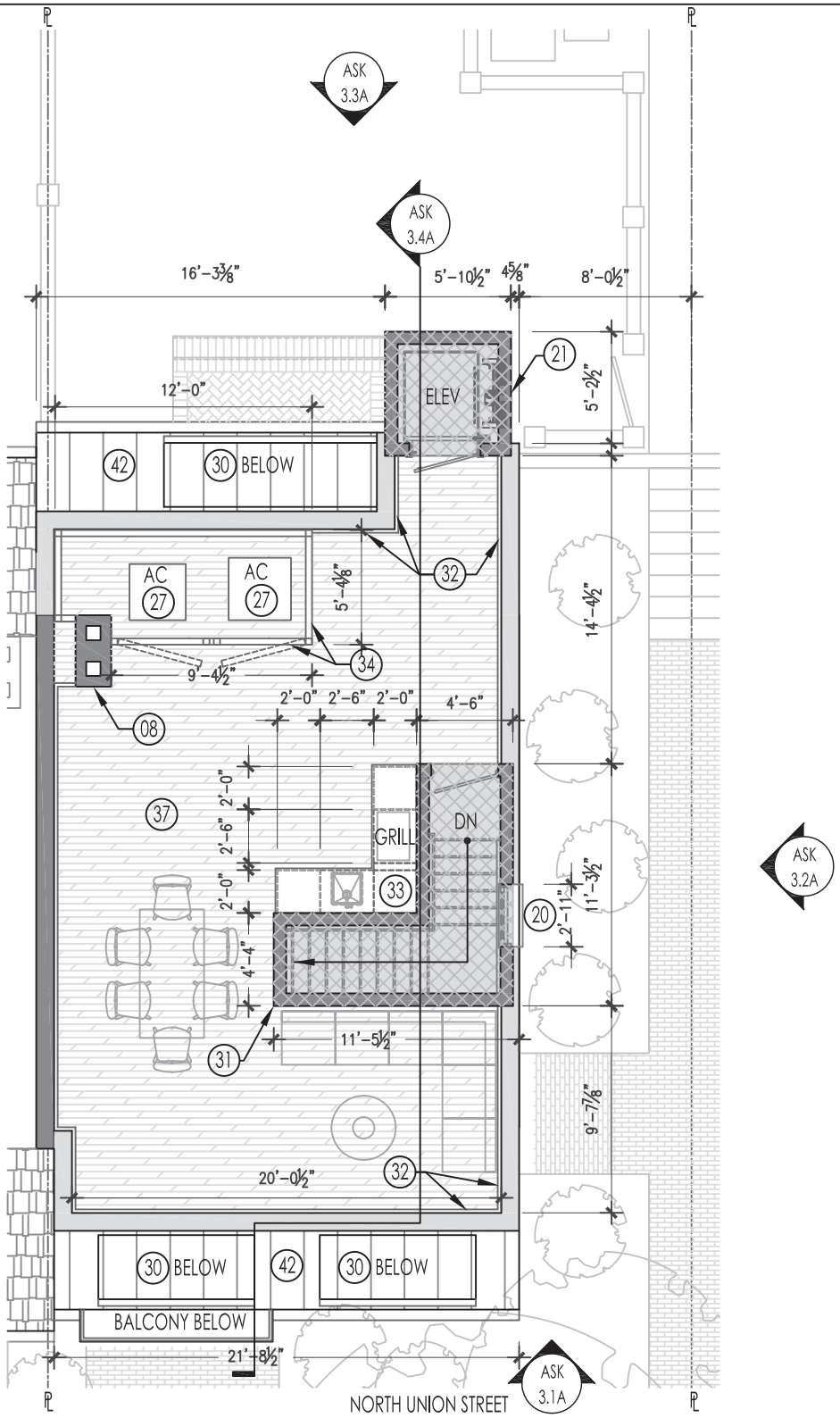

NEW WORK NOTES

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EXISTING AREA DEDUCTED
NEW EXISTING AREA DEDUCTED
NEW AREA
NEW AREA TO BE DEDUCTED
EXISTING OPEN SPACE
PROPOSED OPEN SPACE

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PROPOSED ROOF PLAN

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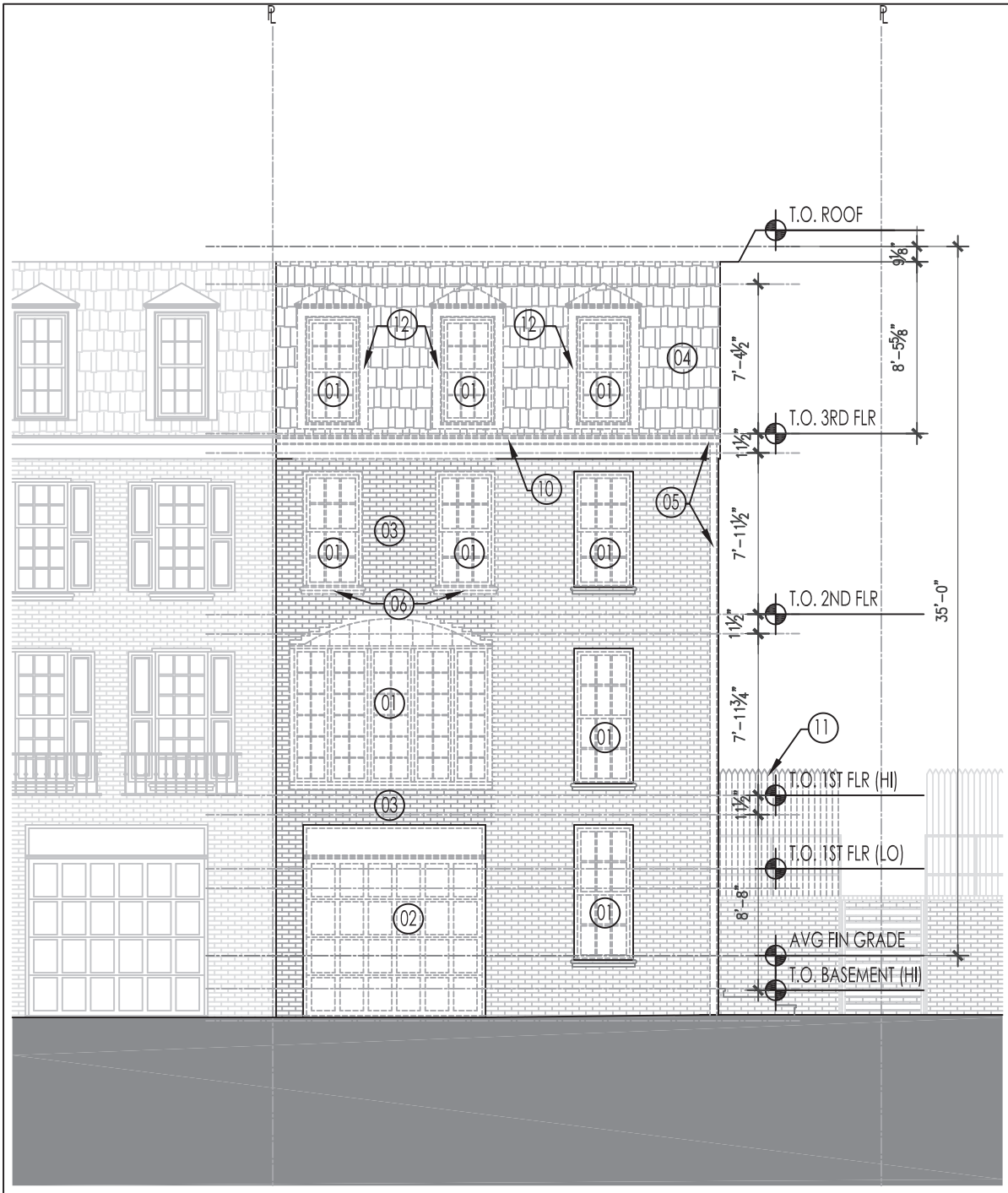

412 NORTH UNION ST

DEMOLITION NOTES

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412 NORTH UNION ST

NEW WORK NOTES

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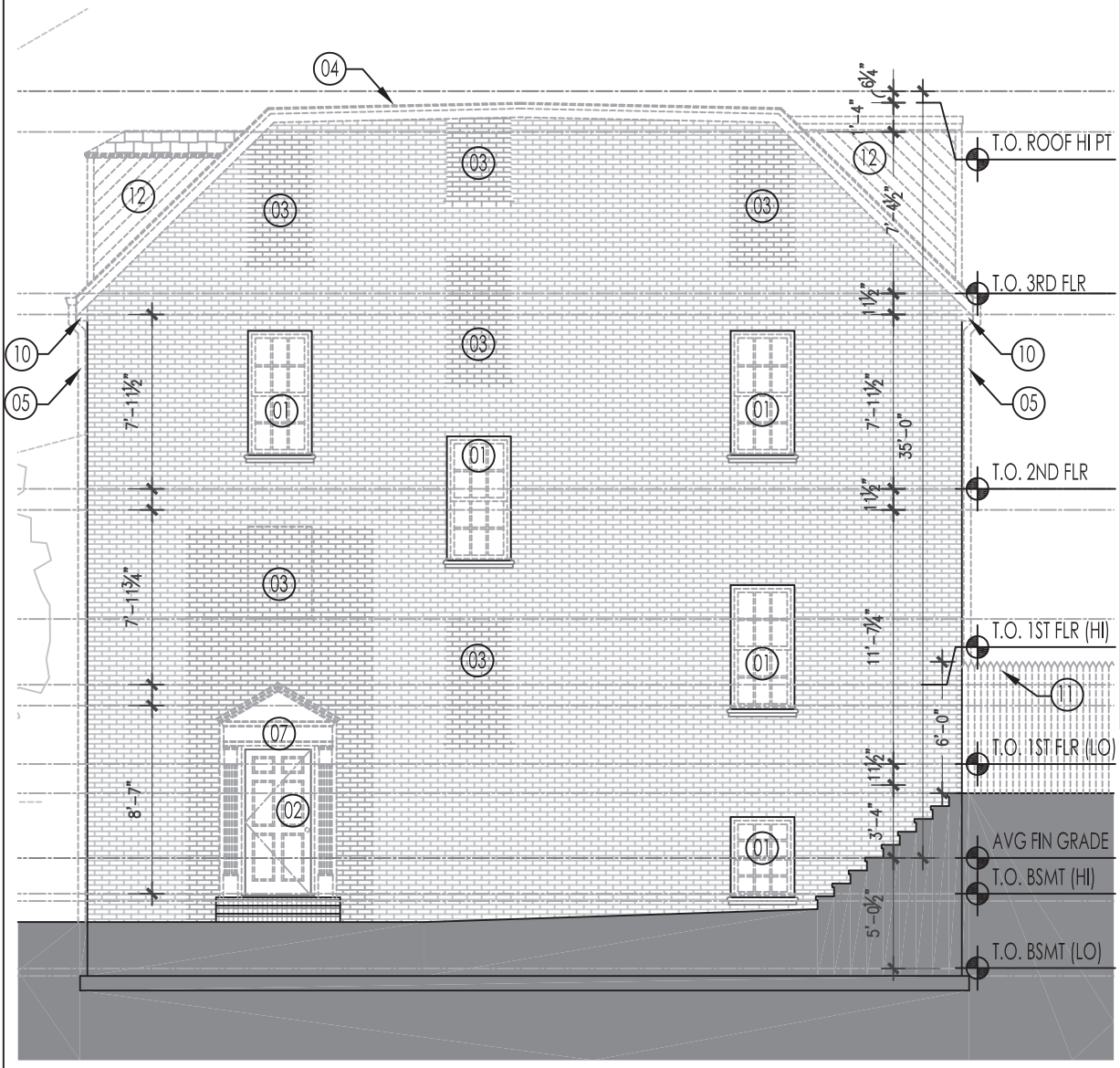

DEMOLITION NOTES

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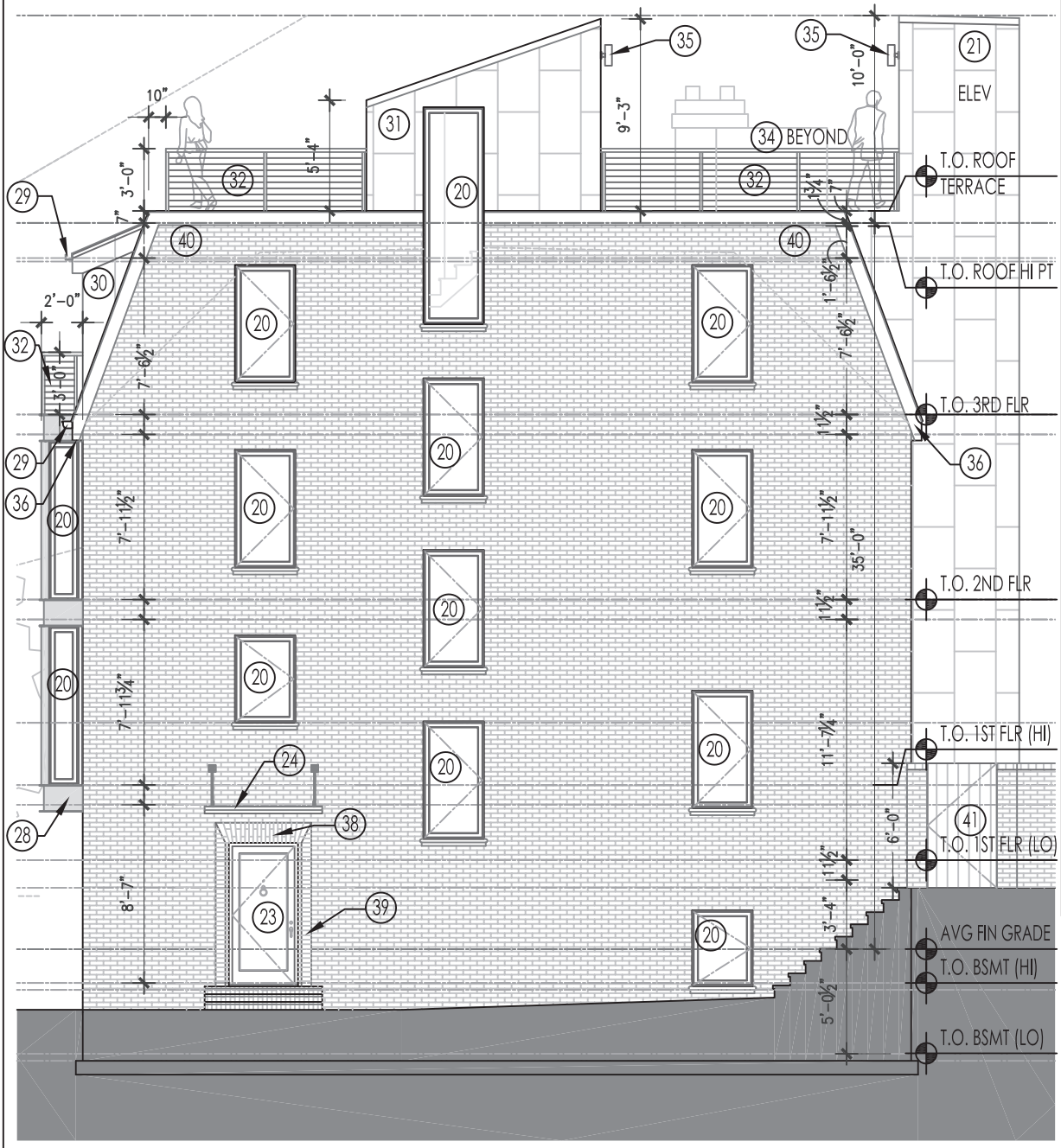

NEW WORK NOTES

08 CHIMNEY TO BE EXTENDED AS REQ'D - MATLS TO MATCH EXISTING
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PROPOSED NORTH ELEVATION - OPTION A

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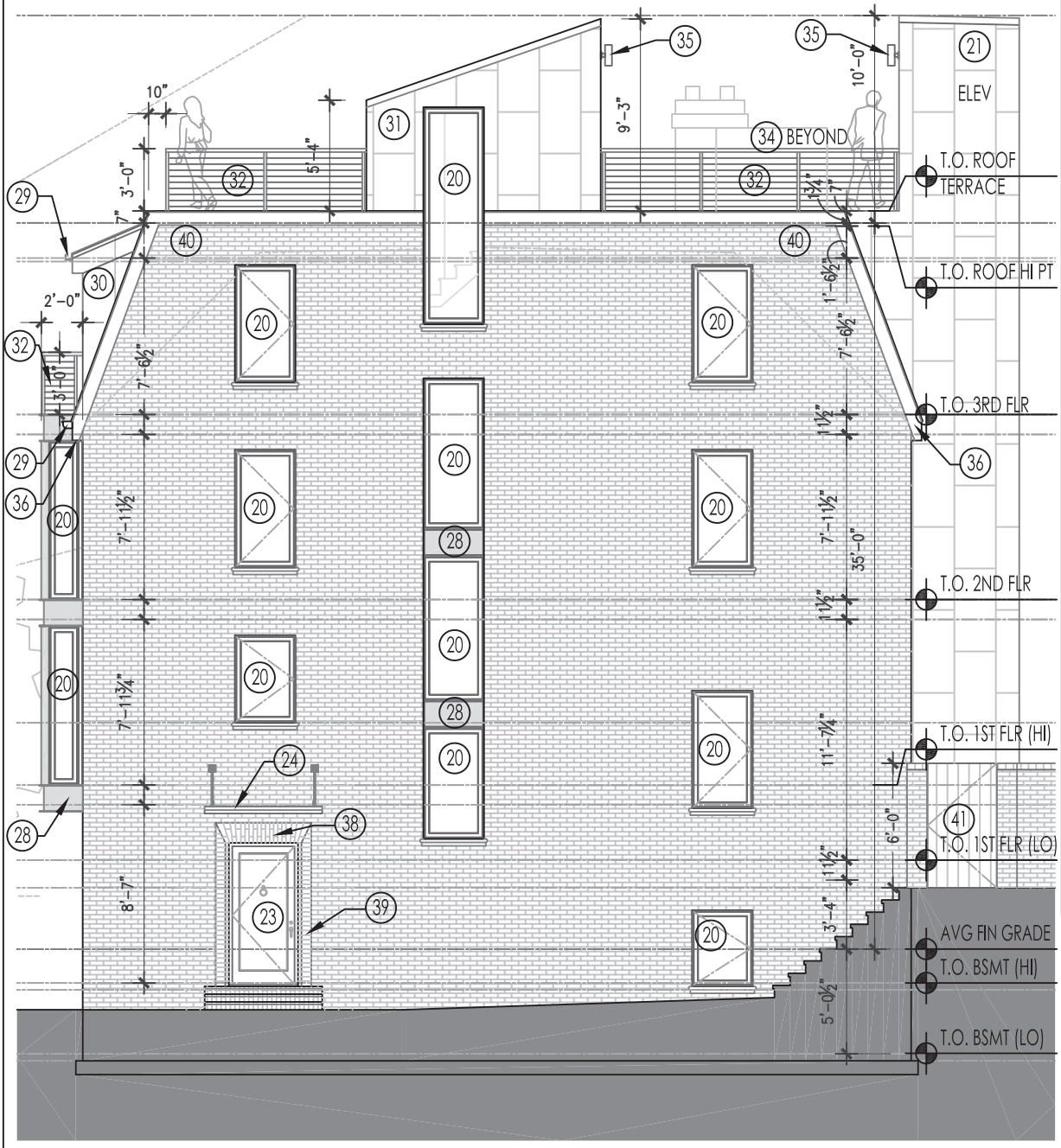

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PROPOSED NORTH ELEVATION - OPTION B

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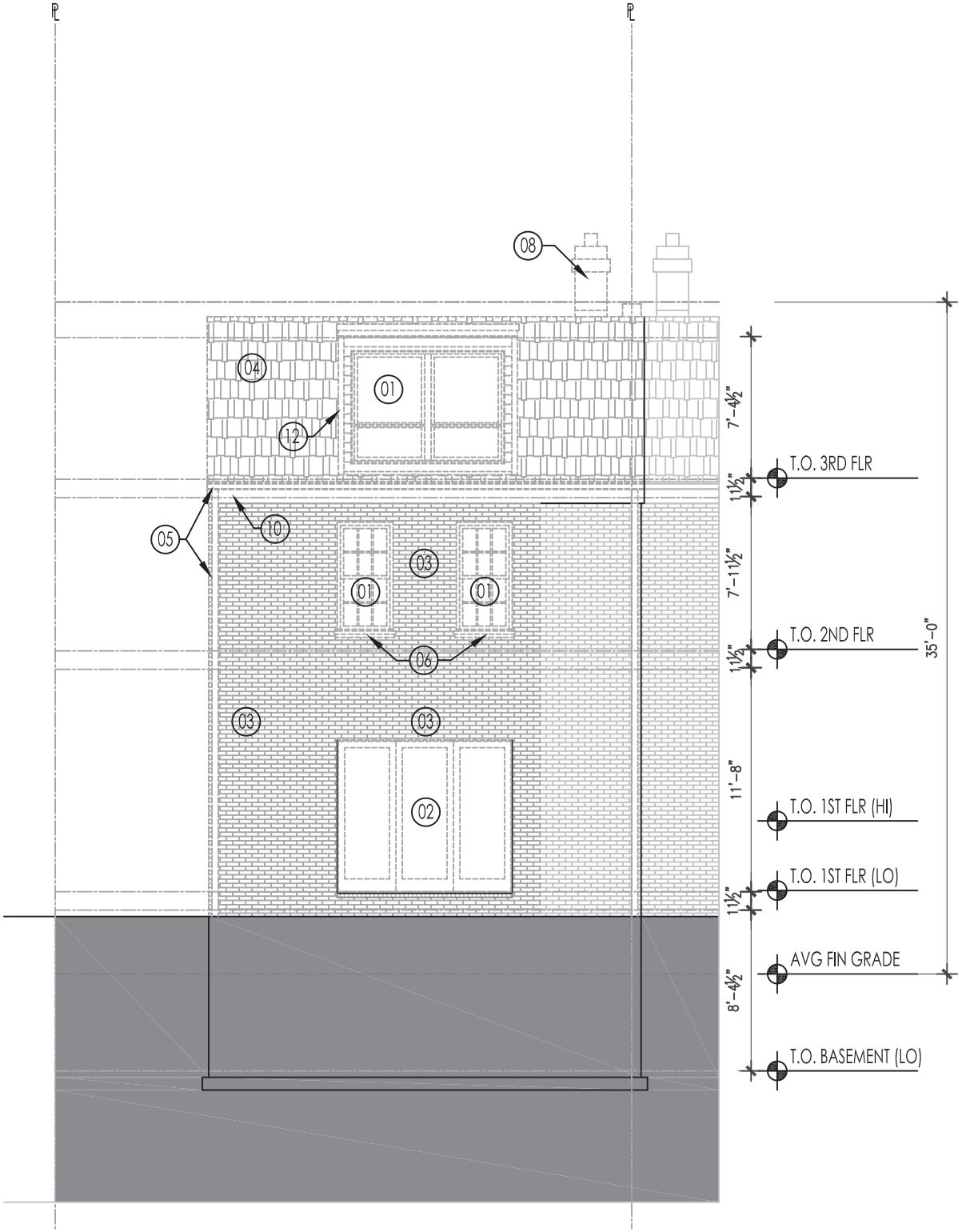

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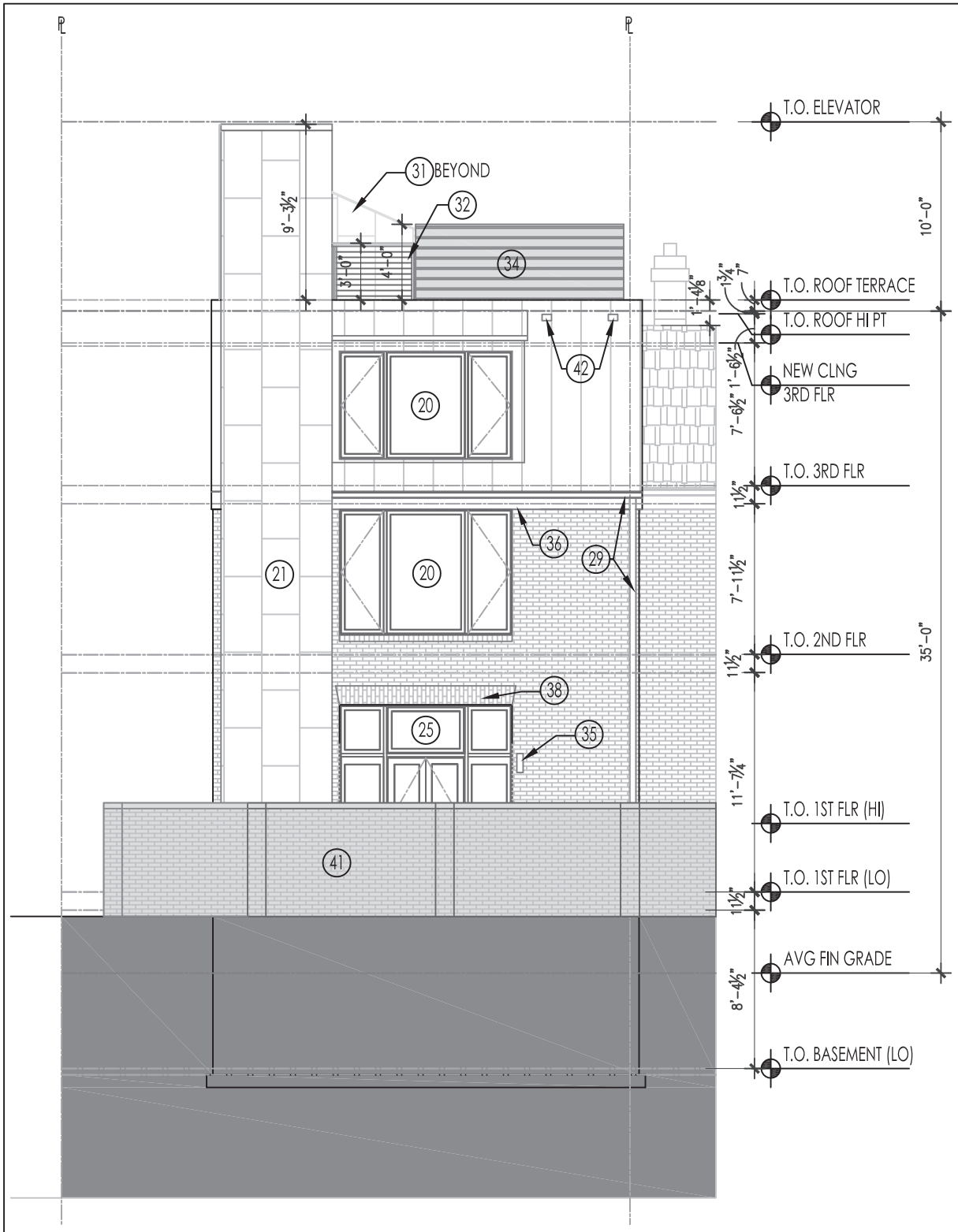

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ASK 3.3A

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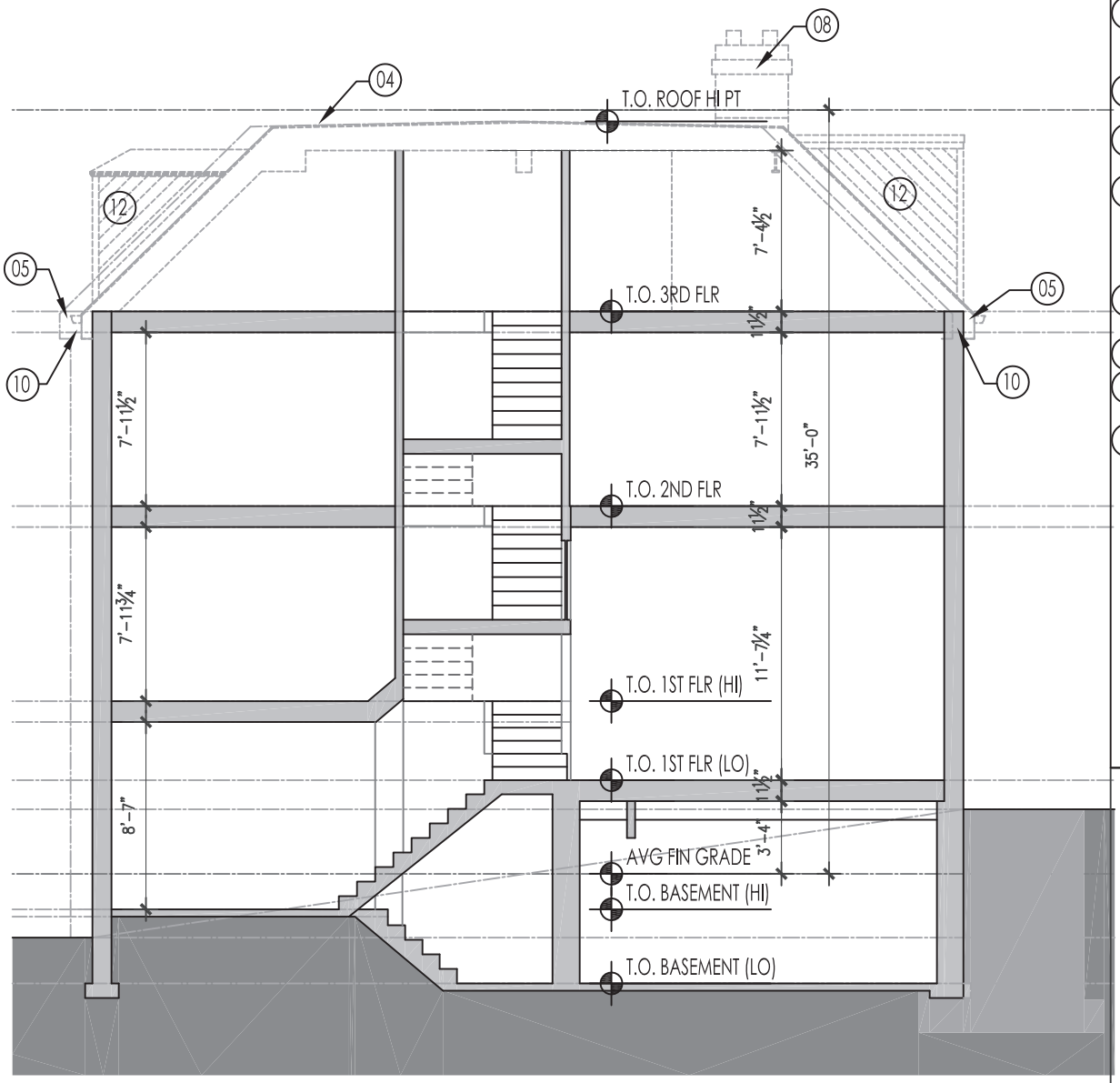

DEMOLITION NOTES

01 REPLACE WINDOW
02 REPLACE DOOR(S)
03 WALL TO BE REMOVED - SALVAGE BRICK FOR REUSE TO EXTENT POSSIBLE
04 ASPHALT SHINGLE / MEMBRANE ROOF TO BE REMOVED/ REPLACED
05 GUTTER & DOWNSPOUT TO BE REPLACED / RELOCATED
06 MASONRY SILL TO BE REMOVED
07 DOOR PEDIMENT TO BE REMOVED
08 CHIMNEY TO BE EXTENDED AS REQ'D - MATLS TO MATCH EXISTING
09 HVAC UNIT TO BE REPLACED
10 SOFFIT TO BE REPLACED
11 WD FENCE TO BE REMOVED / REPLACED
12 DORMER TO BE REMOVED

EXISTING AREA DEDUCTED
NEW EXISTING AREA DEDUCTED
NEW AREA
NEW AREA TO BE DEDUCTED
EXISTING OPEN SPACE
PROPOSED OPEN SPACE

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414 North Union Street, Alexandria, VA 22314

EXISTING BUILDING SECTION SHOWING PROPOSED DEMOLITION

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CLIENT:
David Charney
414 North Union Street
Alexandria, VA 22314

0' 1' 2' 4' 8'
SCALE: 1/8" = 1'-0"

20 DECEMBER 2021

ARCHITECT:
325 north patrick street
alexandria, va 22314
703 . 589 . 4550
info@conkeyarchitects.com
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BAR SUBMISSION

ASK 3.4

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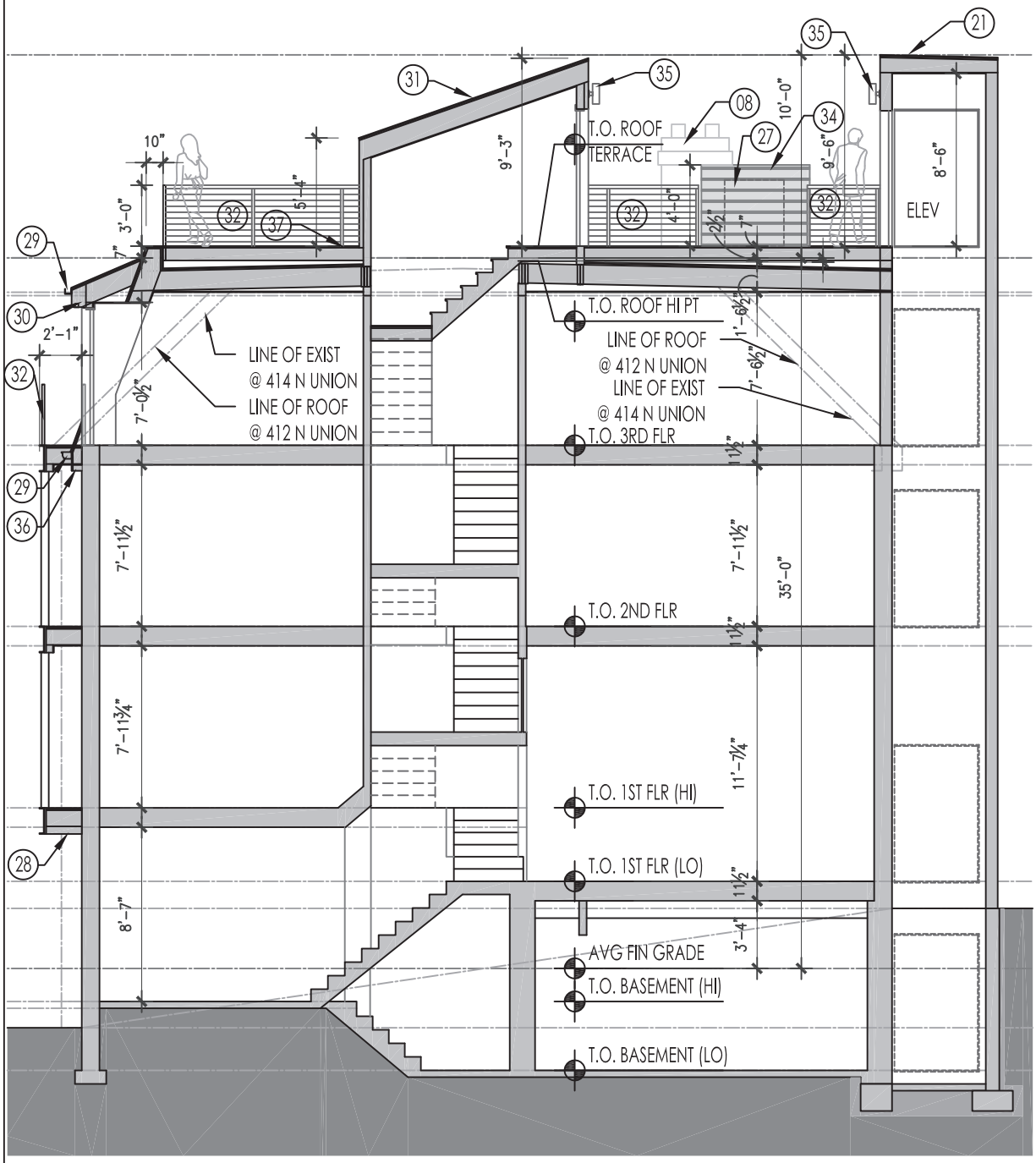

NEW WORK NOTES

08 CHIMNEY TO BE EXTENDED AS REQ'D - MATLS TO MATCH EXISTING
20 ALUM CLAD WD WINDOW W/ SILL TO MATCH ADJ AS REQ'D
21 COPPER CLAD ELEVATOR
22 MTL & GLASS GARAGE DOOR
23 PTD WD ENTRY DOOR
24 PTD MTL & GLASS CANOPY W/ LED DOWN LIGHTING
25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS / TRANSOMS AS APPL
26 TEMP GLASS RAILING
27 HVAC UNIT
28 WINDOW / BAY WINDOW W/ PTD STL CHANNELS & MTL TRIM
29 PTD MTL GUTTER & DNSPOUT
30 PRE-FINISHED MTL DORMER
31 COPPER CLAD STAIR ENCLOSURE
32 PTD MTL CABLE RAILING
33 STONE CLAD COUNTERTOP
34 PTD PT WD HVAC SCREEN
35 EXTERIOR LIGHT
36 PTD FIBER CEMENT SOFFIT
37 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
38 BRICK JACK ARCH TO MATCH ADJ MASONRY
39 BRICK DOOR SURROUND
40 MASONRY INFILL - BRICK TO MATCH EXISTING
41 BRICK GARDEN WALL W/ PTD PT WD GATE
42 PRE-FINISHED MTL ROOFING W/ SCUPPERS
43 MASONRY STOOP

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PROPOSED BUILDING SECTION

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0' 1' 2' 4' 8'
SCALE: 1/8" = 1'-0"

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ASK 3.4A

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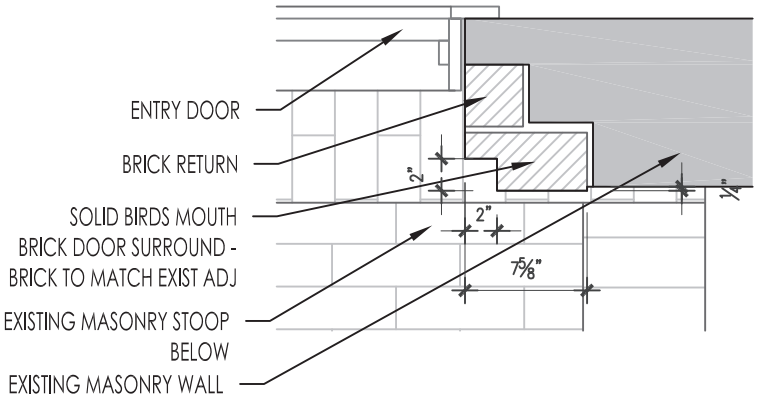
100 QUAY STREET



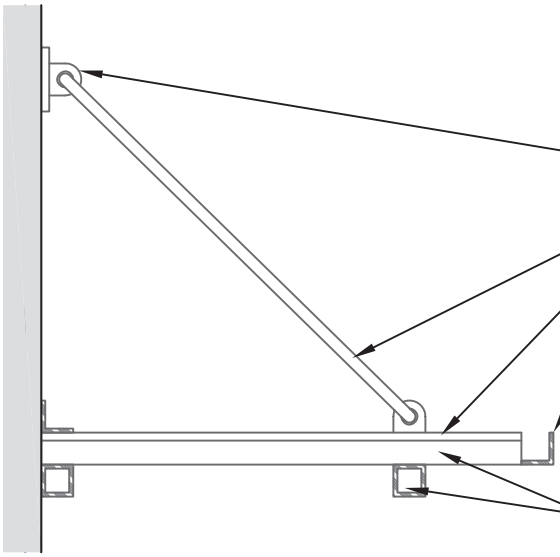
EXAMPLE OF BAY WINDOW W/ PTD MTL CHANNELS & TRIM

EXAMPLE OF MTL & GLASS GARAGE DOOR

EXAMPLE OF CABLE RAILING

EXAMPLE OF COPPER CLADDING

106 QUAY STREET



PTD MTL BRACKET ATTACHED TO EXISTING MASONRY WALL

PTD MTL TIE ROD

LAMINATED TEMP GLASS W/ CERAMIC FRIT

PAINTED MTL GUTTER SLOPED TO OPEN ENDS

PTD MTL CANOPY SUPPORTS

PTD MTL & GLASS CANOPY W/ LED LIGHTING

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PROPOSED DETAILS AND EXAMPLES

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Alexandria, VA 22314

0' 3" 6" 1'
SCALE: 1" = 1'-0"

20 DECEMBER 2021

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SITE SECTION LOOKING SOUTH SHOWING OPTION A

RENDERING SKETCH LOOKING SOUTH WEST SHOWING OPTION A

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414 North Union Street, Alexandria, VA 22314

PROPOSED SITE SECTION & SKETCH RENDERING OF FRONT FACADE

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CLIENT:
David Charney
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Alexandria, VA 22314

0' 2' 4' 8' 16'
SCALE: $\frac{1}{16}$" = 1'-0"

20 DECEMBER 2021

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ASK
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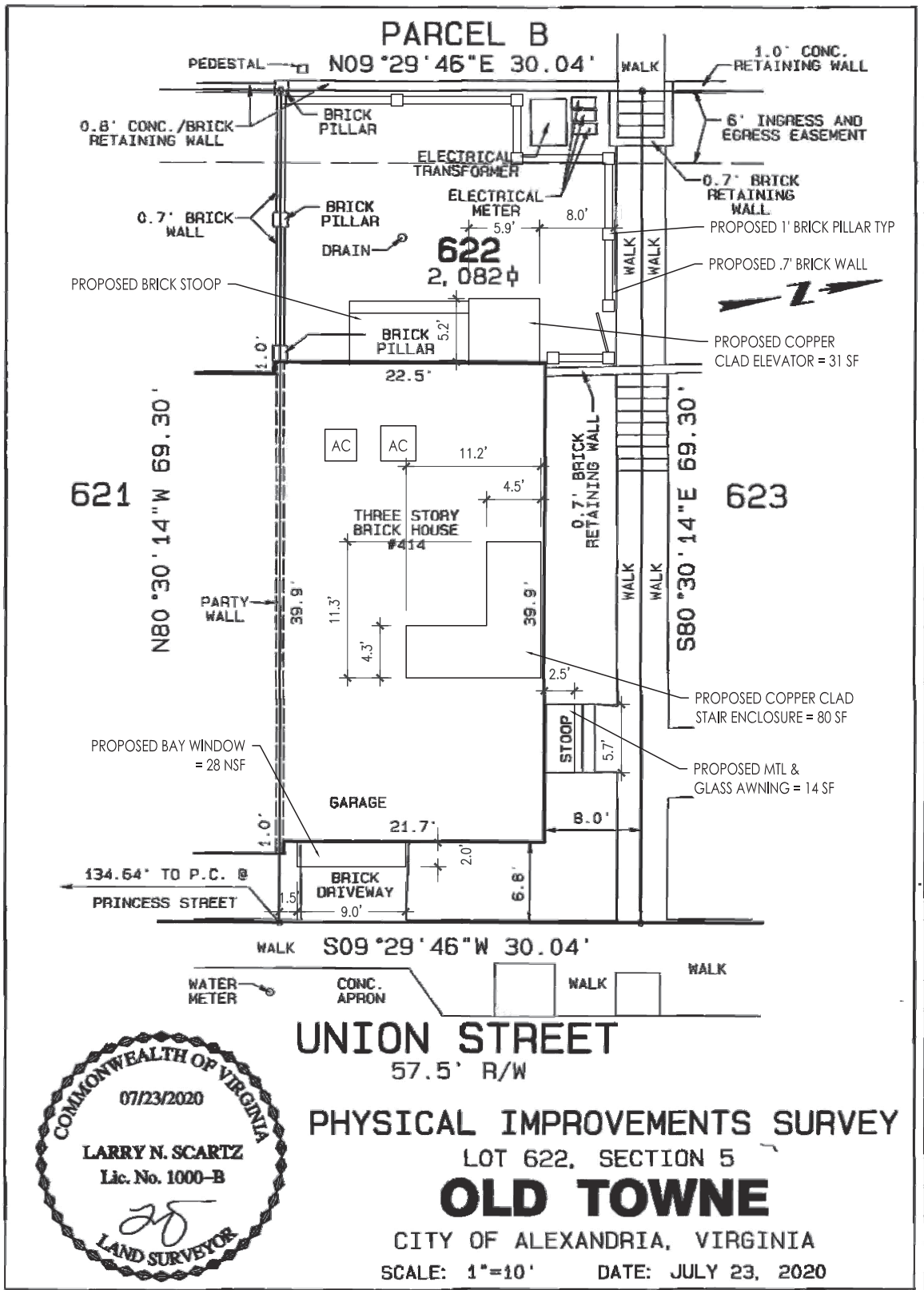

COMMONWEALTH OF VIRGINIA
07/23/2020
LARRY N. SCARTZ
Lic. No. 1000-B
LAND SURVEYOR

PHYSICAL IMPROVEMENTS SURVEY

LOT 622, SECTION 5

OLD TOWNE

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=10' DATE: JULY 23, 2020

NO TITLE REPORT FURNISHED.

PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.

FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY AND DO NOT CERTIFY AS TO OWNERSHIP.

CASE NAME: DAVID L. CHARNEY

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LARRY N. SCARTZ
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LARRY.SCARTZ@SCARTZ.COM

TAX MAP# 065.03-04-22 JOB# 20200464 MN

MARVIN

CATALOG

ULTIMATE

MARVIN SIGNATURE™ COLLECTION

ULTIMATE CASEMENT NARROW FRAME

Casement Narrow Frame windows with Oil Rubbed Bronze hardware

Casement Narrow Frame windows in Ebony

ULTIMATE CASEMENT NARROW FRAME

The Ultimate Casement Narrow Frame window is a contemporary option with a flush exterior and narrow jamb ideal for frame-in-frame replacement–allowing quick and easy installation without disturbing the existing frame or interior wall. With its sleek design and square profiles, this window is a great fit for new construction or remodeling projects that call for slim lines and maximum views.

ULTIMATE CASEMENT NARROW FRAME INTERIOR WITH FOLDING HANDLE

ULTIMATE CASEMENT NARROW FRAME EXTERIOR WITH FOLDING HANDLE

ULTIMATE CASEMENT PUSH OUT NARROW FRAME WITH PUSH OUT HANDLE

CE THIS PRODUCT IS CE CERTIFIED
(ULTIMATE CASEMENT PUSH OUT NARROW FRAME - CLAD ONLY)

ULTIMATE SWINGING FRENCH DOOR

Inswing French door with Matte Black hardware

Swinging French door and Picture windows

ULTIMATE SWINGING FRENCH DOOR

The Ultimate Swinging French door combines a classic single- and double-panel French style with expert craftsmanship. Engineered for both quality and performance, this door features a beautiful, substantial wood surround and a durable sill for weather protection even in harsh climates. To maximize views and access to the outdoors, select from inswing or outswing operation in sizes up to 14 feet wide and 9 feet high, and if a more streamlined look is desired, choose our short bottom rail option with sleek 4 ¾ inch wood surround on all sides.

OUTSWING INTERIOR WITH TALL BOTTOM RAIL

ARCH TOP INSWING INTERIOR WITH TALL BOTTOM RAIL

INSWING INTERIOR WITH SHORT BOTTOM RAIL

INSWING EXTERIOR WITH SHORT BOTTOM RAIL

CE THIS PRODUCT IS CE CERTIFIED

EXTERIOR FINISH OPTIONS

STONE WHITE

COCONUT CREAM

SIERRA WHITE

CASHMERE

PEBBLE GRAY

HAMPTON SAGE

CADET GRAY

CLAY

CASCADE BLUE

SUEDE

GUNMETAL

WINEBERRY

BRONZE

BAHAMA BROWN

EVERGREEN

EBONY

BRIGHT SILVER (PEARLESCENT)

COPPER (PEARLESCENT)

LIBERTY BRONZE (PEARLESCENT)

CUSTOM COLOR: ANY COLOR YOU WANT

EXTRUDED ALUMINUM

Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered Marvin material.

Select a color from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

WOOD SPECIES

Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project's exacting requirements.

PINE

VERTICAL GRAIN DOUGLAS FIR

MAHOGANY

WESTERN RED CEDAR
Exterior trim package only

Ultimate Double Hung G2 window in Ebony

Ultimate Double Hung G2 window in Suede

SCREENS

Double Hung Insert G2 windows with Full Screens

SCREENS

Choose from an aluminum surround in three finishes or a wood interior surround that complements warm wood interiors and comes factory-prepped for staining and painting. A variety of screen mesh options in aluminum or fiberglass allow for further customization for aesthetics or to ensure you're choosing a mesh that's fine enough to keep even the littlest bugs away.

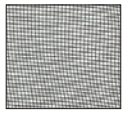
CASEMENT SCREEN OPTIONS

RETRACTABLE SCREEN
The innovative Retractable Screen from Marvin lets the breeze in and easily retracts out of sight when not in use. A tight seal and a strong adjustable pull bar ensure extraordinary performance. Marvin's unique concealed design makes the screen nearly undetectable when it is in the retracted position.

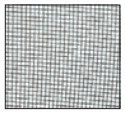
INSWING CASEMENT SCREEN
The beautifully crafted inswing screen can bring in fresh air along with its classic appearance to standard or round top casement windows.

WOOD SCREEN SURROUND
The patented wood screen surround with Hi-Transparency screen mesh and aluminum exterior creates a seamless wood interior.

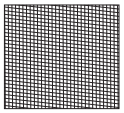
SCREEN MESH OPTIONS



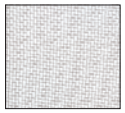
CHARCOAL FIBERGLASS



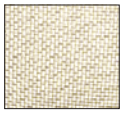
CHARCOAL ALUMINUM WIRE



BLACK ALUMINUM WIRE



BRIGHT ALUMINUM WIRE



BRIGHT BRONZE WIRE

HI-TRANSPARENCY MESH

DOUBLE HUNG SCREEN OPTIONS

RETRACTABLE SCREEN
The innovative Retractable Screen, available on the Ultimate Double Hung G2 window, is a factory-installed screen that easily retracts out of sight when not in use. The screen can be drawn to rest at one of two stop points, resulting in a seal at either the sill or at the checkrail.

FULL OR HALF SCREEN
Exterior screen with an aluminum surround. The full screen covers both the top and bottom sash. The half screen only covers the bottom sash.

DOUBLE HUNG STORM OPTIONS

TWO-LITE WOOD STORM SASH OR SCREEN
A wood frame containing non-removable glass. The storm sash can be removed during the summer and replaced with a wood framed screen. Available only for wood windows.

STORM AND SCREEN COMBINATIONS
A combination unit is composed of two glass panels and one screen panel that can be easily removed from the interior for cleaning. Available with a wood (bare or primed) or aluminum surround, panels can be configured multiple ways, glass above screen, screen above glass, or glass above glass.

ENERGY PANEL
Often confused with storm windows, an energy panel is technically a glazing option. It is a removable, exterior glass panel finished on the edges by a surround. Energy panels cover the exposed glass surface of each sash and offer added energy efficiency for wood windows with single glazing.

DOOR SCREEN OPTIONS

ULTIMATE SWINGING SCREEN DOOR
Featuring panels of extruded aluminum for a beautiful millwork appearance with traditional shadow-lines, this easy-to-install, easy-to-remove panel system requires no tools and has a clean exterior that blends into the door frame. Classic oval exterior handle and storm insert options are also available.

STANDARD SWINGING SCREEN DOOR
This tough, extruded aluminum swinging screen door matches the door, made of the same thick metal as the cladding. Solid protection and outstanding performance, with die cast handles, automatic closer, and aluminum hinges.

ULTIMATE SLIDING SCREEN DOOR
Aluminum top hung sliding screen with roller bar, adjustable rollers and unmatched sliding operation. The exterior profile replicates the look of a traditional wood screen. Also available in a standard top hung version for Ultimate Sliding French doors, Sliding Patio doors, and Ultimate Inswing doors.

STANDARD SLIDING SCREEN (NOT SHOWN)
Aluminum top hung sliding screen with adjustable rollers and replaceable bottom guide. Available on wood and clad-wood sliding and inswing doors.

TOP-HUNG SCREEN (NOT SHOWN)
Aluminum top hung sliding screens come with adjustable rollers and replaceable bottom guide for flawlessly smooth operation.

SCENIC DOOR SLIDING SCREEN (SHOWN ON LEFT)
The Marvin Ultimate Sliding Screen operates with ease and conceals when not in use. The screen is unobtrusive even in large sizes measuring up to 12 feet wide and up to 10 feet high uni-directional or up to 24 feet wide bi-parting.

DOOR HARDWARE

Inswing French door with Contemporary swinging handle in Matte Black

DOOR HARDWARE

Deceptively sturdy, Marvin hardware looks too beautiful to stand up to everyday use. Despite the graceful curves, ergonomic design, and elegant finishes, this door hardware is engineered for durability. Satin Nickel, Brass, and Oil Rubbed Bronze finishes are available with a PVD finish. The Physical Vapor Deposition (PVD) process adds a layer of toughness to hardware exposed to environmental factors like direct sun and humidity. PVD finishes resist fading and discoloration, even in coastal areas.

TRADITIONAL SWINGING FRENCH HANDLE

AVAILABLE FINISHES:
Matte Black • Satin Taupe • Dark Bronze
White • Antique Brass • Satin Chrome
Oil Rubbed Bronze • Polished Chrome

PVD FINISHES:
Satin Nickel • Brass • Oil Rubbed Bronze

TRADITIONAL SLIDING FRENCH HANDLE

AVAILABLE FINISHES:
Matte Black • Satin Taupe • Dark Bronze
White • Antique Brass • Satin Chrome
Oil Rubbed Bronze • Polished Chrome

PVD FINISHES:
Satin Nickel • Brass • Oil Rubbed Bronze

TRADITIONAL SLIDING PATIO HANDLE

AVAILABLE FINISHES:
Matte Black • Satin Taupe • Dark Bronze
White • Antique Brass • Satin Chrome
Oil Rubbed Bronze • Polished Chrome

PVD FINISHES:
Satin Nickel • Brass • Oil Rubbed Bronze

CONTEMPORARY SLIDING HANDLE

AVAILABLE FINISHES:
Matte Black • Dark Bronze

PVD FINISHES:
Satin Nickel • Brass • Oil Rubbed Bronze

CONTEMPORARY SWINGING HANDLE

AVAILABLE FINISHES:
Matte Black • Dark Bronze

PVD FINISHES:
Satin Nickel • Oil Rubbed Bronze

ADJUSTABLE HINGE

AVAILABLE FINISHES:
Matte Black • Satin Taupe • Dark Bronze • White
Antique Brass • Satin Chrome • Polished Chrome
Oil Rubbed Bronze • Goldtone • Silver Frost

PVD FINISHES:
Satin Nickel • Brass • Oil Rubbed Bronze

FINISHES

- MATTE BLACK
- DARK BRONZE
- OIL RUBBED BRONZE
- OIL RUBBED BRONZE PVD
- ANTIQUE BRASS
- SATIN TAUPE
- SATIN NICKEL
- BRASS
- POLISHED CHROME
- SATIN CHROME
- WHITE

INSPIRATION
at your door®
Simpson®
Door Company
SIMPSONDOOR.COM

NANTUCKET® COLLECTION

Nantucket Island is a place of great beauty that withstands the harsh coastal weather of the North Atlantic. That same resilient charm is expressed in the Nantucket® Collection by Simpson. Featuring a 10-year warranty, these doors combine weather-resistant wood species with a modified mortise-and-tenon construction technique. The result is a door that will retain its rugged beauty, regardless of what nature sends its way.

VIEW ENTIRE **NANTUCKET COLLECTION**
simpsondoor.com/nantucket

77860
Shown in Douglas fir with 77260 sidelights with flat panels and optional shaker sticking

FLAT PANEL DOORS

7220
Shown in knotty alder

7282

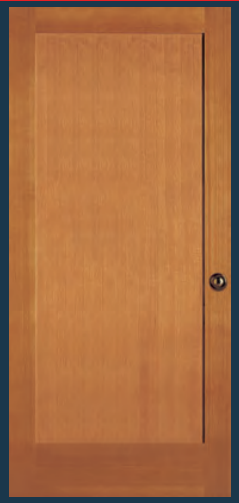
7230

7284
Shown in maple

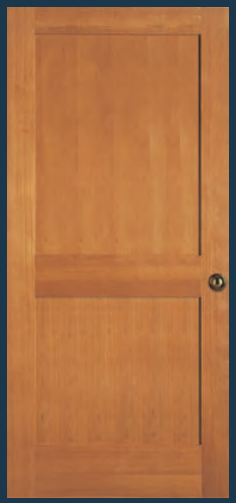
7255

WATERBARRIER® **TECHNOLOGY**
simpsondoor.com/waterbarrier

SHAKER SERIES FLAT PANEL DOORS



70720



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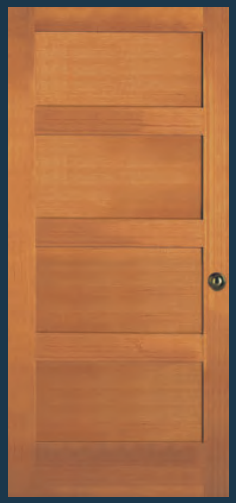

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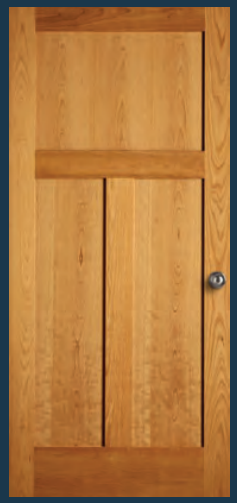
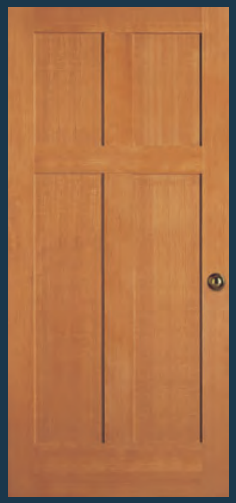


70760
Shown in cherry

TEST DRIVE **YOUR DOOR**
simpsondoor.com/testdrive



70762

Residential

Cover Photo:
Residence, Burr Ridge, IL
Architect: Michael Buss Architects
Installing contractor: Complete Flashings
Buider: McNaughton Brothers Construction
Material: Snap-Clad .032 aluminum
Color: Charcoal

Residence, Ponte Vedra Beach, FL
Architect: Jaycox Reinel Architects
General contractor: C. F. Knight Inc.
Roofing fabricator: Thorne Metal Systems
Material: PAC-CLAD Slate Gray .040 aluminum

Walls Residence, Little Rock, AR
Architect: Polk Stanley Wilcox Architects
Installing contractor: Covington Roofing & Sheet Metal
Material: PAC-CLAD 24 ga. steel
Color: Musket Gray

PAC-CLAD®
PETERSEN

AN ELEGANT PALETTE

Petersen's extensive color palette includes options that are complementary to most architectural styles, building materials including brick, stone and wood, plus exterior products such as siding, windows and doors.

▲★ PATINA GREEN	▲★ TEAL	▲★ HEMLOCK GREEN	FOREST GREEN	HARTFORD GREEN
▲★ EVERGREEN	▲★ HUNTER GREEN	▲★ ARCADIA GREEN	▲★ MILITARY BLUE	BERKSHIRE BLUE
▲ GRAPHITE	▲★ CHARCOAL	INTERSTATE BLUE	▲★ SLATE BLUE	AWARD BLUE
MATTE BLACK	▲★ DARK BRONZE	▲ BURNISHED SLATE	▲ AGED BRONZE	▲★ MEDIUM BRONZE
▲★ MANSARD BROWN	BURGUNDY	▲★ TERRA COTTA	▲★ COLONIAL RED	▲★ CARDINAL RED
MIDNIGHT BRONZE	▲★ MUSKET GRAY	▲★ SIERRA TAN	▲★ SANDSTONE	▲★ ALMOND
▲★ SLATE GRAY	▲★ CITYSCAPE	▲★ GRANITE	▲★ STONE WHITE	▲★ BONE WHITE

Premium Colors

▲●♛ ANODIC CLEAR	▲●♛ SILVERSMITH	●▲★♛ SILVER	●▲★♛ CHAMPAGNE	●▲★♛ COPPER PENNY
●▲★♛ ZINC	●▲★♛ WEATHERED ZINC	♛ WEATHERED STEEL	♛ WEATHERED COPPER	●▲★♛ AGED COPPER

▲ Cool Colors ● Metallic Colors ★ Energy Star Colors ♛ Premium Colors

Due to limitations of the printing process, color representation on the grid above is not 100% accurate. Please request a free color guide from your Petersen rep, architect or contractor to confirm your color choice before placing an order.

BEYOND THE ORDINARY

Design: Stuart Cohen & Julie Hacker Architects
Photo: Tony Soluri Photography

A home with a metal roof stands with more pride than neighboring homes, and for good reason. The beauty of a metal roof is superior to the asphalt shingles most homeowners think of when envisioning a residential roof. A metal roof will perform better, too. The properties of metal combined with the incredible solar reflectivity of our superior PAC-CLAD paint coating can reduce the cost of heating and cooling a home. Additionally, a metal roof will last much longer and endure better than an asphalt or wood roof. While neighbors complain about replacing their non-metal roofs, those living under metal roofs will beam with pride that theirs looks as good as the day it was installed.

SEE IT ON YOUR HOME TODAY

Drop a photo of any home into our online visualization tool to see how Petersen's PAC-CLAD products will look on it. Visit pac-clad.com and click on PAC E-Tools to work with the visualizer. Or, ask your contractor for assistance.

A LIFETIME INVESTMENT

Alvhem, Centreville, MD
Owner: Robert Dahl
Architect: Torchio Architects
Installing contractor: CitiRoof Corp.
Profile: Precision Series HWP
Color: Matte Black
Photo: Buchanan Studios Inc.

When considering a metal roof, discussions should focus on lifetime value, not upfront cost. A metal roof is for homeowners who appreciate its value. The price of a metal roof, which comes with an estimated lifetime of 50 years if properly maintained, can be up to three times the installed cost of other materials. In return for the investment, the made-in-the-USA metal roof will last 3 or 4 times longer than a typical residential roof.

METAL EXPERIENCE MATTERS

When choosing an architect or contractor, experience matters. A metal roof is a different animal that requires a specialized skill set to properly specify and install. Choosing architects and contractors with metal roof experience will maximize your metal roof's performance, and add a level of comfort to your decision.

NEW CONSTRUCTION OR REMODELING

A metal roof will look beautiful and perform well on a home built from the ground up, or on a home undergoing an exterior remodel or simple roof replacement. A good architect or designer can blend a Petersen metal roof or siding with any architectural style or color.

STEEL OR ALUMINUM

Petersen's PAC-CLAD metal roofing and siding products are available in either steel or aluminum. An experienced Petersen rep, architect or contractor will guide homeowners toward the material that's best for their home.

A GREEN, SUSTAINABLE PRODUCT

A Petersen metal roof is made with recycled content, qualifying it as a "green" or recycled-content product. It is also 100% recyclable at the end of its useful life, unlike other roofing materials which are routinely disposed of by the ton in landfills.

LITERALLY COOL COLORS

A PAC-CLAD metal roof from Petersen is available in 35 colors that are rated by the Cool Roof Rating Council, plus 31 that are Energy Star-rated. Coating technology that is specifically formulated for PAC-CLAD products reflects sunlight and cools a roof by emitting radiation to its surroundings. The roof stays cooler and reduces the amount of heat conducted to a home, saving up to 40% of a typical home's annual energy costs.

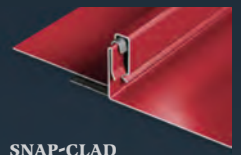
WARRANTY COVERAGE

Petersen offers a limited 30-year finish warranty on its PAC-CLAD painted metal roof and siding panels. A weathertight warranty is available on selected metal roof products.

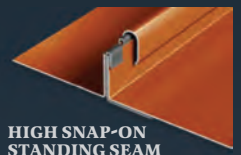
Beautiful Profiles

Private residence, Florida
Architect: T. S. Adams Studio Architects
Installing contractor: Cartercraft Roofing
Profiles: PAC-150, Flush panel
Colors: Weathered Zinc, Champagne

Metal Roofing



SNAP-CLAD



HIGH SNAP-ON STANDING SEAM

PAC-150 90° SINGLE LOCK

PAC-150 180° DOUBLE LOCK

REDI-ROOF STANDING SEAM

Siding

PRECISION SERIES HWP

PRECISION SERIES HIGHLINE 16-C

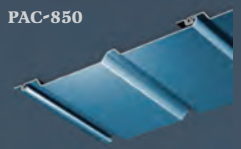
FLUSH PANEL

REVEAL PANEL

Soffit Panels

PAC-750

PAC-850



Soffit panels come in solid, full-vented and half-vented variations.

AVANTE®
garage doors

ALUMINUM AND GLASS CONSTRUCTION – MODELS AV/AVI

Clopay®

America's Favorite Garage Doors®

Avante®, Clear Aluminum (Anodized) Frame with Frosted Tempered Glass

MODERN design meets Asian INSPIRATION

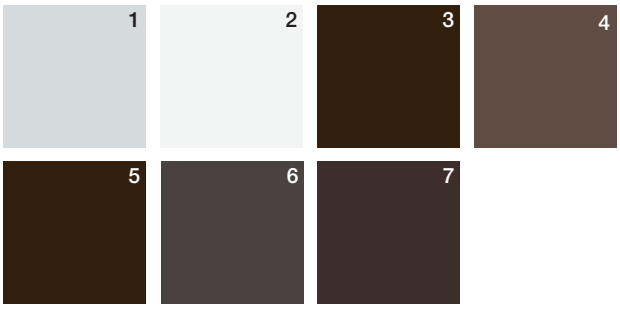
Aluminum and glass combine to create a sleek, contemporary look. Many window options are available to control the degree of light transmission and privacy.

STYLE AND CONSTRUCTION

- Aluminum frame provides a virtually maintenance-free, long-lasting door.
- Tempered glass, acrylic or solid aluminum panel options. Insulated glass is also available for increased energy efficiency.
- Integral reinforcing fin provides increased strength and longevity.
- Heavy-duty steel ball bearing rollers with nylon tires provide quiet operation.

See your Clopay Dealer for WINDCODE® availability.

FRAME/SOLID PANEL COLOR OPTIONS



1 Clear Aluminum (Anodized)
2 Standard White
3 Bronze (Painted)
4 Chocolate (Painted)
5 Bronze (Anodized)
6 Black (Anodized)
7 Dark Bronze (Anodized)

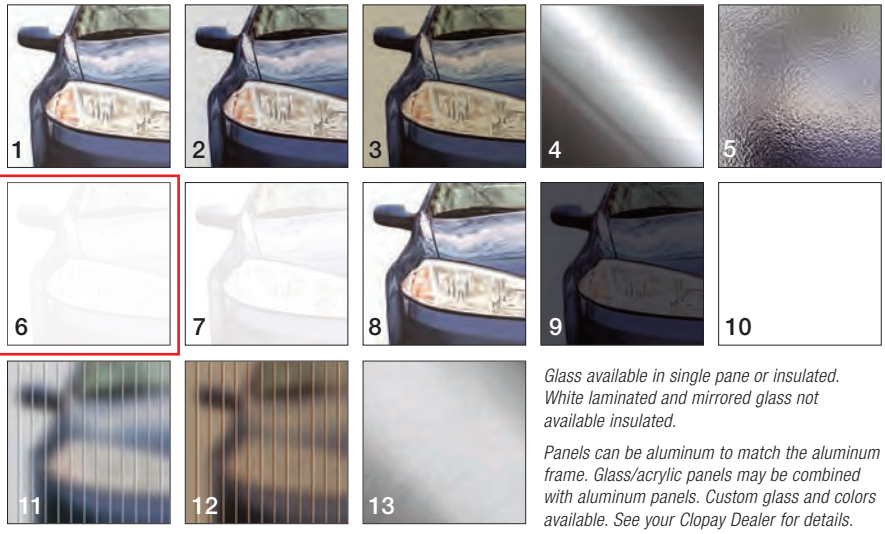
Due to the anodizing process, color variation may occur.
The use of "Bronze (Painted)" is recommended for a more consistent bronze finish color.
Custom colors available.

Photographer, Brian Gassel
Avante®, Black (Anodized) Frame with Frosted Tempered Glass

AVANTE®

Avante® garage doors are the perfect choice to modernize any home; transforming not only garages, it can also be used as an indoor loft partition or a versatile solarium door.

GLASS/PANEL OPTIONS



Glass available in single pane or insulated. White laminated and mirrored glass not available insulated.

Panels can be aluminum to match the aluminum frame. Glass/acrylic panels may be combined with aluminum panels. Custom glass and colors available. See your Clopay Dealer for details.

1 Clear Glass*
2 Gray Tinted Glass*
3 Bronze Tinted Glass*
4 Mirrored Glass*
5 Obscure Glass*
6 White Laminate Glass
7 Frosted Glass* or Acrylic
8 Clear Acrylic
9 Gray Acrylic
10 White Acrylic
11 Clear Polygal®
12 Bronze Polygal®
13 Clear Anodized (Aluminum Panel)

**Glass is tempered*

Acrylic windows require special cleaning. Never use products that contain ammonia or petroleum products to clean acrylic. Please visit www.clopaydoor.com/acrylic for complete details.

WARRANTIES

FINISH LIMITED 5 YR WARRANTY

HARDWARE LIMITED 3 YR WARRANTY

HARDWARE

Attractive color-matched aluminum grip handles.

WINDCODE®

Doors available to meet many regional wind load requirements.

WINDCODE® doors over 16' wide may have reinforcement hardware that shows through the glass panels of the door.

ENVIRONMENTAL ASSURANCE

Clopay doors are compliant with environmental laws and regulations. Clopay doors do not contain HFCs. All Clopay doors are compliant with:

- California SB 1013
- New Jersey A-5583/S-3919 – Greenhouse Gas Bill
- Washington HB 1112 – Hydrofluorocarbon Greenhouse Gas Emissions
- Canadian regulations amending the ozone-depleting substances and halocarbon alternatives regulations

Avante®, Black (Anodized) Frame with Frosted Insulated Glass

Clopay®

MADE IN USA

Visit clopaydoor.com or call **1-800-2CLOPAY (225-6729)** for more information on Clopay, America's Favorite Garage Doors.

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RSDR-AVANTESS-04_REV1120

imagine

DESIGN YOUR DOOR

OPEN CAMERA AND POINT!