

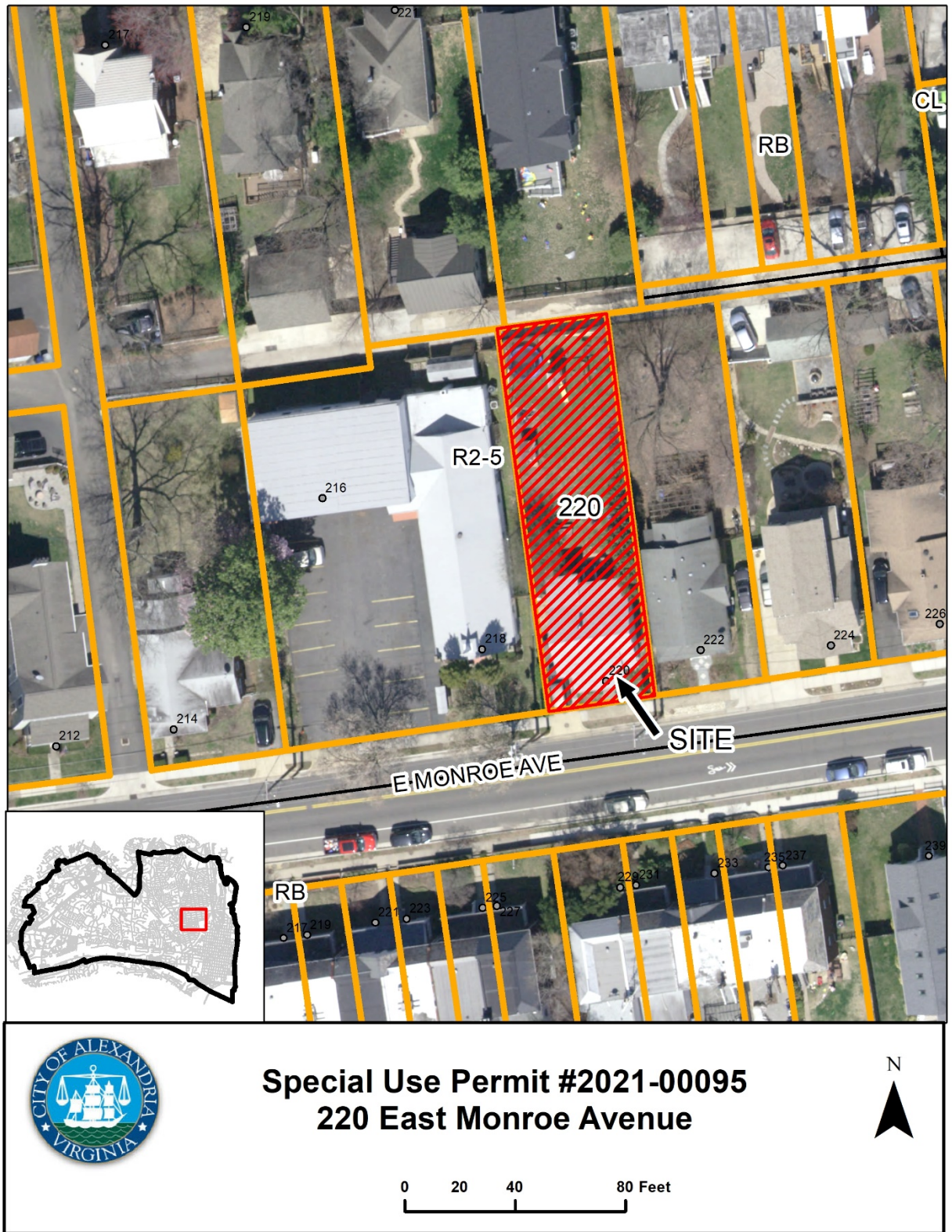
***DOCKET ITEM #4***  
***Special Use Permit #2021-00095***  
***220 East Monroe Avenue***  
***Redevelopment of a Substandard Lot***

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Application	General Data	
<b>Request:</b> Public Hearing and consideration of a request for a Special Use Permit with lot modifications for the redevelopment of a substandard lot with a single-family dwelling	<b>Planning Commission Hearing:</b>	January 4, 2022
	<b>City Council Hearing:</b>	January 22, 2022
<b>Address:</b> 220 E. Monroe Avenue	<b>Zone:</b>	R-2-5/Single-and two-family
<b>Applicant:</b> Capitol Hill Iron Gate JV, LLC, represented by Timothy Sullivan, agent	<b>Small Area Plan:</b>	Potomac West

**Staff Recommendation:** APPROVAL subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.

**Staff Reviewers:** Alexa Powell, [alexa.powell@alexandriava.gov](mailto:alexa.powell@alexandriava.gov)  
Ann Horowitz, [ann.horowitz@alexandriava.gov](mailto:ann.horowitz@alexandriava.gov)



## I. DISCUSSION

The applicant, Capitol Hill Iron Gate JV, LLC, requests special use permit approval to redevelop a substandard lot with a new single-family dwelling. A lot modification is requested for the side yard setback to the east.

### SITE DESCRIPTION

The subject property is one lot of record with 40 feet of frontage on East Monroe Avenue, 135 feet of depth and a total lot area of 5,616 square feet. The site is currently developed with a one-story single-family dwelling (Figure 1).

The property is surrounded by primarily single-family residential uses. The St. Paul Christian Center is located immediately to the west. Additional commercial uses exist a short distance to the east along Mt. Vernon Avenue.



*Figure 1: Existing dwelling*

### BACKGROUND

The existing house is a classic bungalow from the Craftsman period (1905 – 1930). It measures approximately 1,380 square feet in size and features three bedrooms and one bathroom. The house is characterized by a low slope roof with a side facing gable and small front porch. The subject property is not located in the Town of Potomac Historic District.

### PROPOSAL

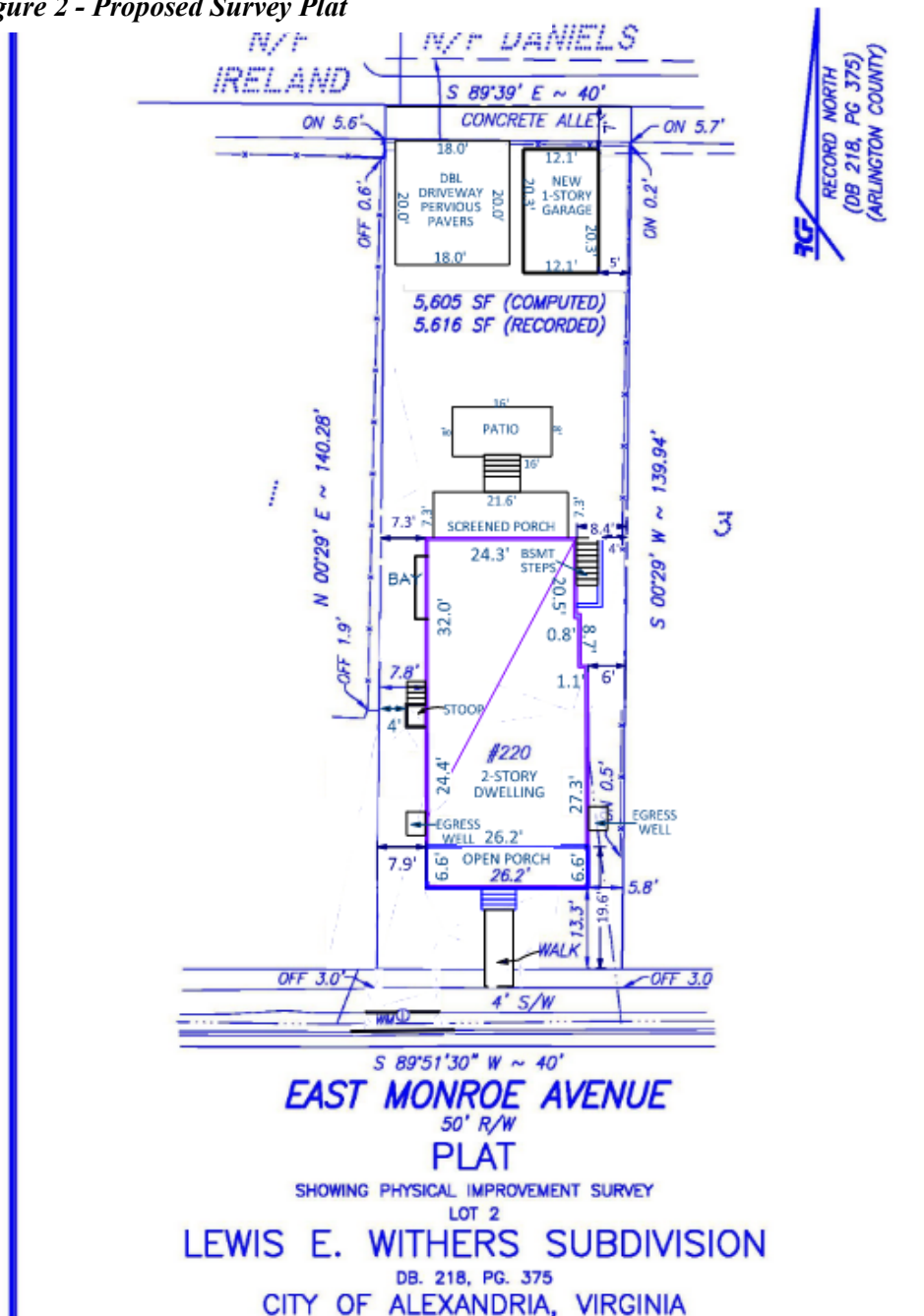
The applicant would demolish the existing home on the property down to the foundation and construct a new two-story single-family dwelling. The applicant seeks a larger home for his family who would like to remain residents of the City of Alexandria. The existing house, while a representative example of Del Ray architectural style and charm, is relatively small. The applicant requests SUP approval with a one-foot east side yard modification to construct a two-story dwelling. The proposed dwelling would have 2,382 square feet of net floor area and would measure 25.3 feet in height from average preconstruction grade to the midpoint of the dwelling's gable roof (Figure 2).

The applicant's proposed design would exhibit a mix of styles. The design would include mostly Foursquare-inspired elements including a traditional rectangular form with a characteristic hipped roof and front gable. The applicant included craftsman details like a front door with side lights and transom and a full-length front porch. The applicant also proposes to close the curb cut on East



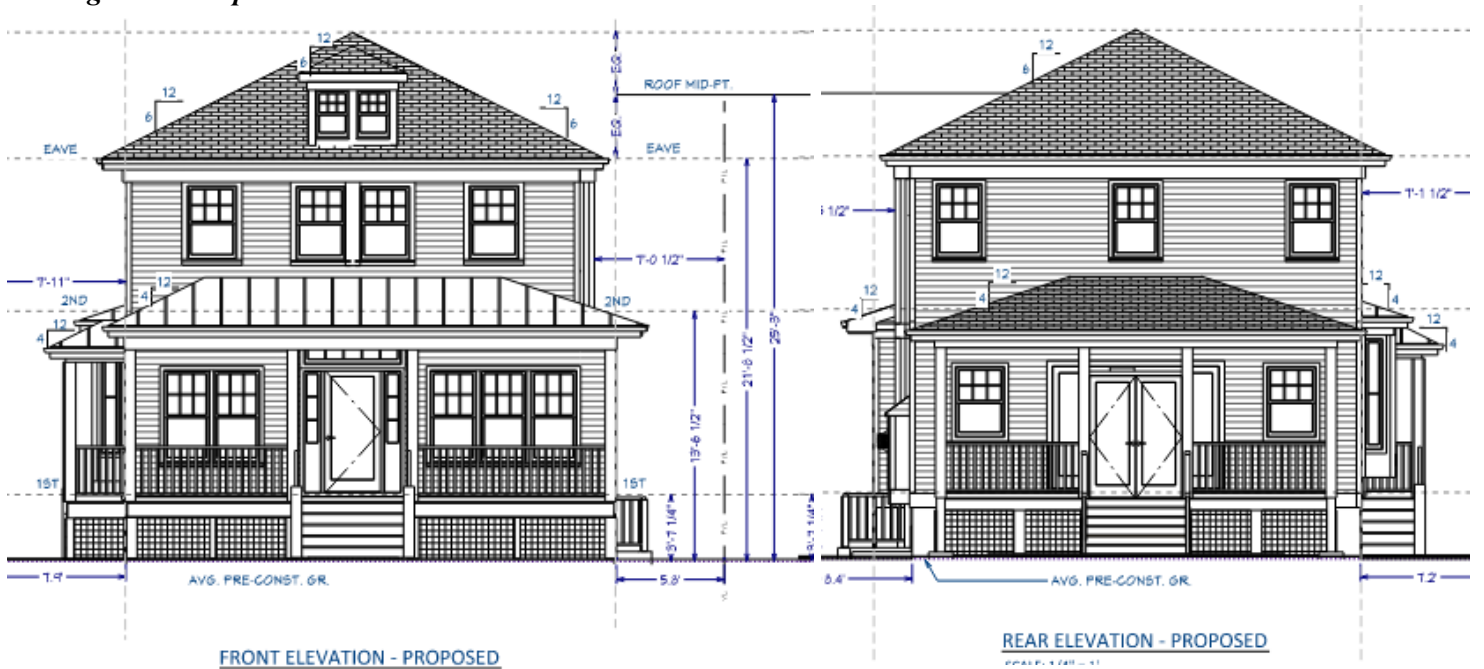
Monroe Avenue, remove the existing driveway and accommodate vehicles in a garage and parking pad which would be accessed off the rear alley. Figure 3, below, shows the proposed elevations.

**Figure 2 - Proposed Survey Plat**





**Figure 3 - Proposed Elevations**



## ZONING

The subject property is located in the R-2-5 zone, which requires a minimum lot size of 5,000 square feet, a minimum lot frontage of 40 feet, and a minimum lot width of 50 feet for a single-family dwelling. The lot exceeds the minimum size and lot frontage requirements but at 40 feet wide falls ten feet short of meeting the required minimum lot width for the zone. The lot is, therefore, considered substandard and subject to infill regulations for a substandard lot.

The provisions of Section 12-900 of the Zoning Ordinance, regarding developed substandard lots, apply in this case because the lot is already developed. More specifically, Section 12-901(C) requires a Special Use Permit for the construction of a dwelling that exceeds the floor area of the existing dwelling by more than 10%, which is the case here. This section also requires a finding by City Council “that the proposed development will be compatible with the existing neighborhood character in terms of bulk, height, and design.”

The proposal meets building height, if the lot were a standard lot, threshold height, and FAR requirements. However, the applicant is requesting a minor modification for a single story in the east side yard very similar to the location of the existing foundation. Table one further illustrates the significant zoning elements associated with this proposal.

Table 1 – Requirements compared to proposed

	<b>Requirement</b>		<b>Proposal</b>
Lot Size	5,000 SF Min		5,616 SF
Lot Width	50' Min		<b>40'</b>
Lot Frontage	40' Min		40'
Front Yard	Established setback	19.8'	19.8'
Side Yard (East)	1:3 with 7' min (Height: 21.8')	7.1'	<b>6' (one-story)</b> 8.5' (New)
Side Yard (West)	1:3 with 7' min (Height: 21.8')	7.1'	7.2'
Rear Yard	1:1 with 7' min	26.1'	71.27'
Building Height	30' for zone. Substandard lot max avg. height plus 20% not to exceed 30'.		25.3'
Threshold Height	Max Prevailing	3.6'	3.6'
FAR	0.45	0.45 x 5,616 SQFT = Maximum 2,527.2 SF	2,382

### PARKING

Pursuant to Section 8-200(A)(1) of the zoning ordinance, a minimum of two parking spaces are required for single-family detached dwellings. The applicant meets this requirement with the proposed one car garage and driveway pad to the rear of the property to be accessed by the alley.

### MASTER PLAN DESIGNATION

The proposed use is consistent with the Potomac West Small Area Plan chapter of the Master Plan which designates the property for residential use. The property is also located within the Mount Vernon Avenue Business Area Plan Overlay.

## **II. STAFF ANALYSIS**

Staff supports the applicant's proposal to construct a new dwelling on this property, which is compatible with the neighborhood character in terms of height, bulk and design. The applicant has actively worked with staff and was responsive when revising the original submitted plans to be more in keeping with the height, bulk and design styles found in this neighborhood. An analysis of each criterion follows:

### *Height*

Staff found the proposed height to be compatible with neighborhood character in terms of height. In this case, the comparison dwellings include 222 and 224 E. Monroe Avenue since the structure immediately to the west is a church. The height of the dwellings along this side of the block are most relevant to assess a height comparison are shown in Table two, below.

*Table 2 – Dwelling heights*

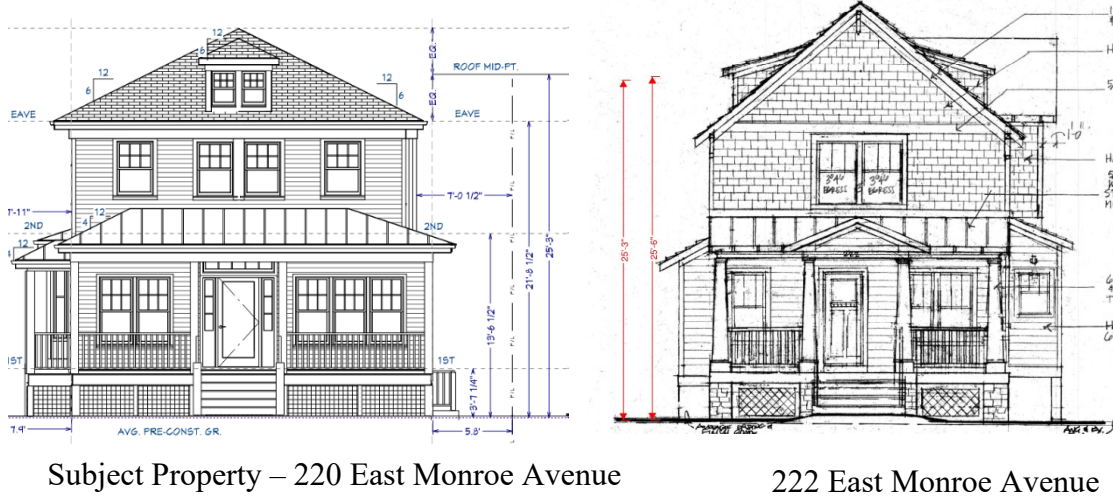
Average	25.6'
222 East Monroe Avenue	25.6'
224 East Monroe Avenue	25.6'
Proposed Dwelling	25.3'

Upon discussion with staff, the applicant decreased the main structure's roof pitch from the original submittal, reducing the overall height and bulk of the attic space. Staff finds that the height of the proposed dwelling would be nearly identical with the neighboring dwellings at 222 E. Monroe Avenue and 224 East Monroe Avenue, See Figure 4 for a comparison between the subject property and 222 E. Monroe Avenue, which City Council recently approved as a substandard lot SUP. The proposed dwelling is slightly shorter than 222 and 224 E. Monroe Avenue neighbors and would be similar in the perceived height to the two-story townhouse dwellings across the street, all of which are approximately 25 feet tall. At 25.3 feet, the proposed dwelling would also be 4.7 feet below the maximum height permitted by the R-2-5 zone of 30 feet, if the proposal qualified as by-right construction on a standard-sized lot.



Further, the applicant is proposing to increase the front yard setback from 13.3 feet to 19.6 feet (not including the front porch) to better align with neighboring properties. This increased distance from the front property line, will also minimize the perception of height and bulk from the street.

**Figure 4 – Comparison of heights**



### Bulk

The applicant's proposal would be compatible with neighborhood character in terms of bulk. The proposed dwelling is similar in size and bulk with others on the block, including its neighbor at 222 East Monroe. Figures 4 and 5 show these comparable dwellings along East Monroe Avenue. Staff also supports the request for the approximate one-foot modification to the east side yard to allow a one-story portion of the house in this required yard. Given that the current one-story house is already located in this required yard and the proposal mimics the existing first floor side yard setback, staff believes the minor modification of 1.1 feet is reasonable and does not negatively impact the perception of bulk. The second story level meets the side yard setback requirement. The prominent front porch breaks up the massing and minimizes the perception of bulk. The removal of the parking will increase open space in the front yard and also reduce the perception of bulk. As mentioned briefly in the height discussion, having the two-story mass of the dwelling further from the front lot line would help to reduce its visual impact from street view. With 2,525 square feet of net floor area, the proposed dwelling would be two square feet below the maximum floor area permitted by the R-2-5 zone.



Figure 4 - 224 (left) and 208 (right) East Monroe Avenue

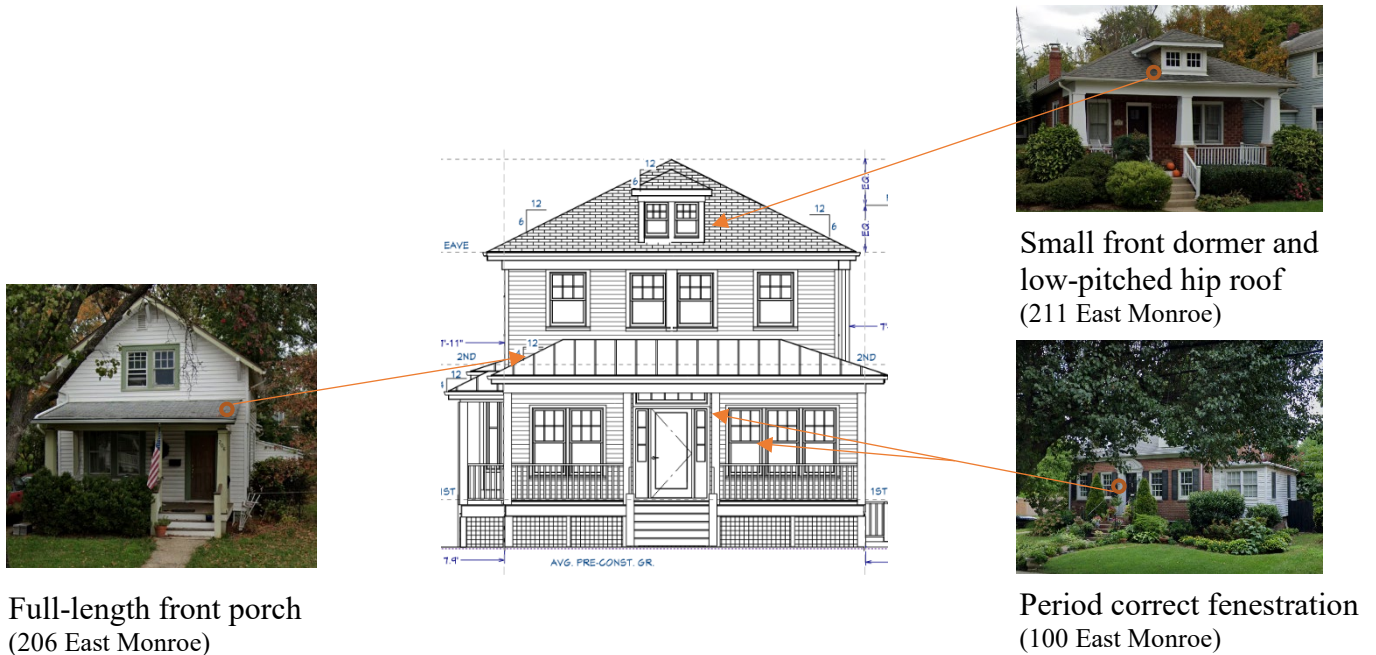


Figure 5 - 212 East Monroe Avenue

### Design

Staff found the proposed design to be compatible with established neighborhood character. Del Ray contains a wide range of dwelling designs with many expressing Craftsman-style features. Throughout this process the homeowner and architect have taken the feedback provided by staff into careful consideration and incorporated many of these recommendations, based on the Del Ray pattern book, into the final design to maintain the neighborhood character.

This proposal responds to the American Foursquare and Craftsman details, common in the immediate neighborhood. It includes many of the defining architectural features of a traditional foursquare including a full-length front porch, low pitched hip roof, period correct fenestration, and a small front dormer. The proposed six-over-one sash windows and transom window above the front door are characteristic of the Craftsman period. The front porch would reinforce the connection between the dwelling to the street; mirroring the design of many other dwellings along the block which also feature front porches.



*Figure 6 – Shared Craftsman-style Characteristics*

### Modifications

The applicant has requested modifications from the required east side yard. Pursuant to Zoning Ordinance section 11-416, these modifications are necessary or desirable for good site development, that the site design would make up for potential impacts and that they will not be detrimental to neighboring property. Staff found that these modifications would meet these standards. Further analysis follows.

The one-story portion of the proposed dwelling's east elevation would provide a side yard of six feet. The second-story portion of the proposed dwelling is setback seven feet from the property line in accordance with the Zoning Ordinance requirement. Because the replaced one-story portion would be the same size and height of the existing structure within the required east side yard, staff supports this requested modification. Many of the dwellings along East Monroe Avenue provide at least one noncomplying side yard because of the narrowness of their lots. As such, the requested side yard modification would be compatible with the surrounding neighborhood and would not be detrimental. The subject property's narrowness also presents a challenge to desirable site design. If the applicant provided a complying east side yard, the proposed dwelling could be proposed as narrower and deeper, reducing the size of its rear yard which is a desirable feature of the proposal.

### Additional Considerations

The applicant's removal of the curb cut is consistent with the goals of Alexandria's Complete Street Policy, which states, "Driveways introduce a conflict zone between vehicles, pedestrians, and curbside uses, such as bicycle facilities or transit lanes and driveway vehicular access." The



curb cut closure would improve walkability and limit the potential for future pedestrian vehicular conflicts in this highly walkable neighborhood

The Del Ray Land Use Committee met with the applicant on December 14 and will express its position after the Planning Commission docket is publicly posted through a letter from the Del Ray Citizens' Association.

Staff has included Condition #3 which would require the applicant to provide 25 percent canopy coverage pursuant to the City's Landscape Guidelines, evaluated at the grading plan stage. Transportation and Environmental Services staff has also included standard conditions #4 through #5.

Given the scope of the special use permit review, and the compatibility of the proposed new house with its immediate neighborhood, staff recommends approval of the application.

### III. RECOMMENDED CONDITIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The design of the dwelling shall be substantially consistent with the application plans as finalized on December 2, 2021. (P&Z)
2. The applicant shall close the curb cut, replace with curb and gutter and remove the driveway paving material currently located at the front of the property. (P&Z)
3. A minimum 25 percent canopy coverage shall be provided. (P&Z)
4. The applicant shall be responsible for repairs to the adjacent City right-of-way if damaged during construction activity. (T&ES)
5. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

#### STAFF:

Tony LaColla, Division Chief, AICP  
Ann Horowitz, Principal Planner  
Alexa Powell, Urban Planner

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Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the

date of granting of a special use permit by City Council or the special use permit shall become void.

#### IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

##### Transportation & Environmental Services:

- F-1 No comments from transportation Planning, floodplain, or stormwater.
- F-2 No comments received from OEQ.
- C-1 A GRADING PLAN showing all improvements and alterations to the site shall be required prior to any land disturbing activities and must be approved prior to issuance of a building permit. (5-6-224) (T&ES)
- C-2 New curb cuts require separate approval from the City. (Sec. 5-2-14) (T&ES)
- C-3 An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2500 square feet subject to the Exceptions described in Section 5-4-5. An erosion and sediment control bond shall be posted prior to release of the grading plan. (Sec.5-4-1.1) (T&ES)
- C-4 The applicant shall comply with the provisions of Article XIII Environmental Management Ordinance of the City of Alexandria. (T&ES)
- C-5 All improvements to the City right-of-way such as curbing, sidewalk, driveway aprons, etc. must be City standard design. (Sec.5-2-1) (T&ES)
- C-6 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224)
- C-7 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-8 Pay sanitary sewer connection fee prior to release of Grading Plan. (Sec. 5-6-25) (T&ES)

C-9 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-361)  
(T&ES)

C-10 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11,  
Chapter 5, which sets the maximum permissible noise level as measured at the property  
line. (T&ES)

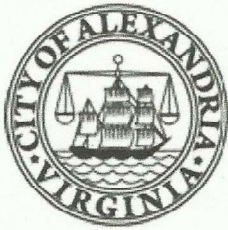
Code Enforcement:

F-1 Code Enforcement provided no comments or objections to construction on a substandard  
lot.

Fire:

No comments received.





## APPLICATION

# SPECIAL USE PERMIT

**SPECIAL USE PERMIT #** \_\_\_\_\_

**PROPERTY LOCATION:** 220 E Monroe Avenue

**TAX MAP REFERENCE:** 043.02-05-17 **ZONE:** R 2-5

**APPLICANT:**

Name: Capitol Hill Iron Gate JV LLC

Address: 220 E Monroe Ave., Alexandria, VA 22301

**PROPOSED USE:** Remodel a single family dwelling on a developed substandard lot

- ☒ THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Timothy Sullivan

Print Name of Applicant or Agent

80 S Early St.

Mailing/Street Address

Alexandria, VA

City and State

22304

Zip Code

[Signature]  
Signature

9/13/21

Date

202-345-0022

Telephone #

Fax #

tims@capitolhillconstruction.com

Email address



**PROPERTY OWNER'S AUTHORIZATION**

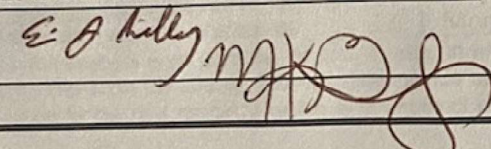
As the property owner of 220 E Monroe Ave., Alexandria, VA 22301, I hereby  
(Property Address)  
grant the applicant authorization to apply for the SUP use as  
(use)  
described in this application.

Name: Eric Bielby and Molly Bielby

Phone: 202-341-5003

Please Print  
Address: 220 E. Monroe Avenue, Alexandria, VA 22301

Email: bielbs18@yahoo.com

Signature: 

Date: 9/13/21

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

☒ Required floor plan and plot/site plan attached.

☐ Requesting a waiver. See attached written request.

2. The applicant is the (check one):

☐ Owner  
☐ Contract Purchaser  
☐ Lessee or  
☐ Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

For the applicant Capitol Hill Iron Gate JV LLC, the Members owning more than 3% are  
Iron Gate Homes, LLC, Aidan Millsapps, Christopher Pegher and Laura Pegher

EB MB



# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Iron Gate Homes, LLC	2506 Terrett Avenue, Alexandria, VA	65.57%
2. Aidan Millsaps	1207 20th Street South, Arlington, VA 22202	16.39%
3. Christopher and Laura <del>Beck</del>	4211 Robertson Boulevard, Alexandria, VA 22309	16.39%

**PEGHER**

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 220 E Monroe Ave., Alexandria, VA 22301 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Molly and Eric Bielby	220 E. Monroe Avenue, Alexandria, VA 22301	100%
2.		
3.	220 E. Monroe Avenue, Alexandria, VA 22301	

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Iron Gate Homes, LLC	None	
2. Individuals listed above	None	
3. Timonhly Sullivan	None	

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

9/13/21

Timothy Sullivan

Date

Printed Name

Signature



If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

[✓] **Yes.** Provide proof of current City business license

[ ] **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

**NARRATIVE DESCRIPTION**

**3.** The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

The request is for SUP approval for redevelopment of a substandard lot with east side yard modification to transform a one-story bungalow-style dwelling into a larger two-story home while utilizing the existing foundation. The plan is to build a new first and second floor on the existing foundation and on a new foundation added to the rear of the building. The east wall of the existing structure currently intrudes into the 7' side yard setback by 1.8'. We would like to keep that portion of foundation and 1st floor. The second floor over this portion will be stepped back to the required 7'. The existing front foundation and exterior wall are 14.1' off the front property line. We would like to keep these elements as they are and have the second floor's front exterior wall sited in line above. The existing front porch footprint would be expanded to each side but not out toward the street. The remaining existing and new portions of the home do and will adhere to requirements of the R 2-5 zone including, yard setbacks, roof height and threshold height.

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## USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):

- ☐ a new use requiring a special use permit,  
☒ an expansion or change to an existing use without a special use permit,  
☐ an expansion or change to an existing use with a special use permit,  
☐ other. Please describe: \_\_\_\_\_

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).

n/a  
\_\_\_\_\_

B. How many employees, staff and other personnel do you expect?  
Specify time period (i.e., day, hour, or shift).

n/a  
\_\_\_\_\_

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

n/a  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Hours:

n/a  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

n/a  
\_\_\_\_\_  
\_\_\_\_\_

B. How will the noise be controlled?

n/a  
\_\_\_\_\_  
\_\_\_\_\_

- 8.** Describe any potential odors emanating from the proposed use and plans to control them:

n/a

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- 9.** Please provide information regarding trash and litter generated by the use.

- A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

residential use

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- B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

residential use

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- C. How often will trash be collected?

residential use

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- D. How will you prevent littering on the property, streets and nearby properties?

residential use

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- 10.** Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☐ Yes.

☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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- 11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☐ Yes.      ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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- 12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?  
n/a

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## **ALCOHOL SALES**

- 13.** A. Will the proposed use include the sale of beer, wine, or mixed drinks?

☐ Yes      ☒ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

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## PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

2 Standard spaces  
\_\_\_\_\_ Compact spaces  
\_\_\_\_\_ Handicapped accessible spaces.  
\_\_\_\_\_ Other.

<p>Planning and Zoning Staff Only</p> <p>Required number of spaces for use per Zoning Ordinance Section 8-200A _____</p> <p>Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
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- B. Where is required parking located? (*check one*)

☒ on-site  
☐ off-site

If the required parking will be located off-site, where will it be located?

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**PLEASE NOTE:** Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

**☐ Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? n/a

<p>Planning and Zoning Staff Only</p> <p>Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____</p> <p>Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
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- B. Where are off-street loading facilities located? n/a
- C. During what hours of the day do you expect loading/unloading operations to occur?  
n/a
- D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?  
n/a

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

access is adequate

## SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? ☒ Yes ☐ No
- Do you propose to construct an addition to the building? ☒ Yes ☐ No
- How large will the addition be? 455 square feet.

18. What will the total area occupied by the proposed use be?

808 sq. ft. (existing) + 455 sq. ft. (addition if any) = 1263 sq. ft. (total)

19. The proposed use is located in: *(check one)*

- ☐ a stand alone building
- ☒ a house located in a residential zone
- ☐ a warehouse
- ☐ a shopping center. Please provide name of the center: \_\_\_\_\_
- ☐ an office building. Please provide name of the building: \_\_\_\_\_
- ☐ other. Please describe: \_\_\_\_\_

## End of Application





## Department of Planning & Zoning Special Use Permit Application Checklist

### Supplemental application for the following uses:

- ☐ Automobile Oriented
- ☐ Parking Reduction
- ☐ Signs
- ☒ Substandard Lot
- ☐ Lot modifications requested with SUP use

### Interior Floor Plan

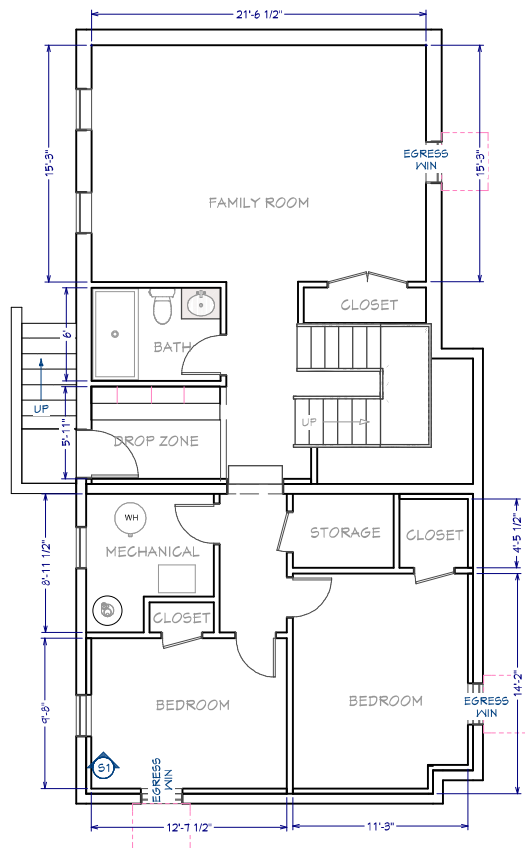
- ☐ Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

### If Applicable

- ☒ Plan for outdoor uses

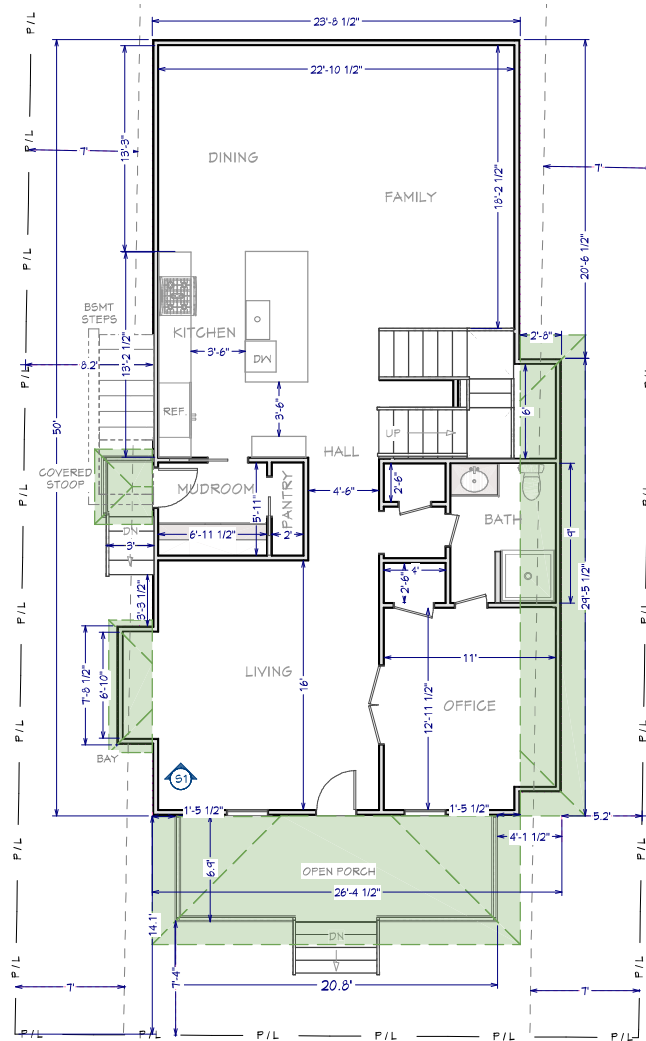
### Contextual site image

- ☒ Show subject site, on-site parking area, surrounding buildings, cross streets

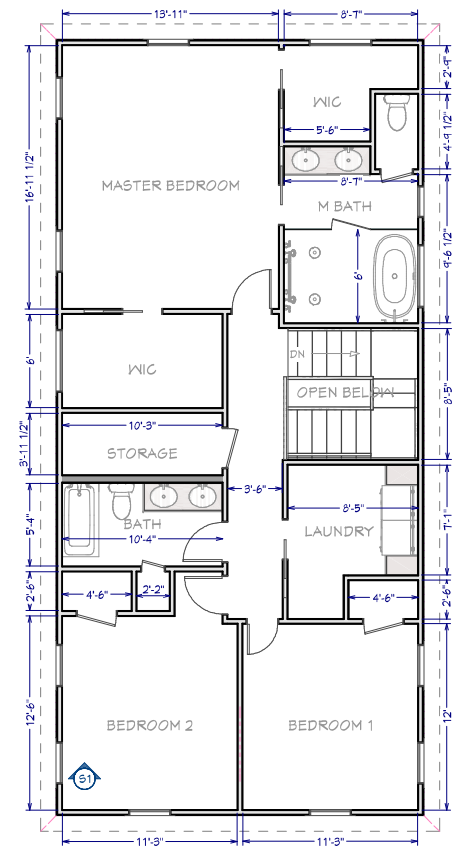


Basement

LIVING AREA  
1247 SQ. FT.



1st Floor



2nd Floor

DRAWINGS PROVIDED BY:  
Capitol Hill Construction  
1783 Forest Dr., #315  
Annapolis, MD 21401  
202-543-5300

PROJECT DESCRIPTION:  
CAPITOL HILL IRON GATE  
220 E MONROE AVE  
Alexandria, VA 22301

SHEET TITLE:  
PROPOSED FLOOR PLANS

NO.	DESCRIPTION	BY	DATE

SCALE:	DATE:
1/8" = 1'	9/13/2021

A-2



SECTION 1 - GENERAL REQUIREMENTS

1.1 Work performed shall comply with the following: These general notes, plans, and specifications in this set of drawings, 2015 IRC- International Residential Code, all applicable local and state codes, ordinances, regulations, and all authorities having jurisdiction.

1.2 In areas where drawings do not address methodology, the Contractor shall be bound to perform in strict compliance with manufacturer's specifications and/or recommendations and industry standards.

1.3 The Contractor shall maintain the job site free of trash and debris. The Contractor shall protect the existing house and landscaping and shall repair any damage caused by his operations.

1.4 The existing house shall remain occupied during construction. The Contractor shall keep the house in a weathertight and secure condition at all times.

1.5 The Contractor shall verify all field conditions and dimensions prior to proceeding with work. The Contractor shall compare and coordinate all drawings with field conditions. Any discrepancies shall be reported to the Architect before proceeding. DO NOT SCALE DRAWINGS.

1.6 The Architect accepts no responsibility for changes or deviations from these plans unless made by written change order. No substitutions for products and materials identified by brand or manufacturer's name shall be accepted without prior approval by the Owner and Architect. Installation of all products shall follow manufacturer's recommended procedures.

SECTION 2 - SITE WORK

2.1 Storage of Construction Materials: Drywall and other interior finish materials may not be stored in the existing house without agreement from the Owner. Protect all existing finishes to remain.

2.2 All debris and excess earth material shall be disposed of off-site in accordance with all codes and ordinances. Site shall be left in a properly graded, seeded condition.

2.3 Locate existing utilities by hand excavation and provide protection from damage. Cooperate with the Owner and Utility Companies for establishing and maintaining services. Call MISS UTILITY 48 hours before excavating.

SECTION 3 - CONCRETE

3.1 Concrete: The minimum strength of concrete at 28 days shall be 2500 psi., 3500 psi at exterior locations., Max. slump 4" +/-1%. Provide 95% dry backfill compaction of all footings.

3.2 Reinforcing Steel shall be intermediate grade new billet deformed bars conforming to ASTM A-615 Grade 60; welded wire fabric shall conform to ASTM A-185. Protective cover for reinforcing steel shall be as follows: Footings: 3" Slabs on grade 3/4".

3.3 Foundation: Footings shall bear a minimum of 1'-0" into original undisturbed soil and a minimum of 2'-0" below finished grade. All footing excavations shall be inspected by the building official prior to the placing of any concrete. The building official shall be given proper notification for this observation.

SECTION 4 - MASONRY

4.1 Mortar - Type S for exterior walls, ASTM C270. Hollow CMU - ASTM C-90-93. Provide hot-dipped galvanized horizontal wall reinforcing at 16" o.c. vertically.

4.2 All masonry work shall conform to applicable requirements of NCMA. Fill all head, bed and collar joints solid. All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 35degrees F without precautions necessary to prevent freezing. No anti-freeze admixtures shall be added to the mortar. Provide brick ties @ 16" oc horizontal and vertical.

SECTION 5 - STEEL

5.1 All required steel anchor straps, caps, or joist hangers shall be constructed of code approved galv. steel. Joist hangers shall be top mounted hangers.

SECTION 6 - WOOD

6.1 No structural member shall be omitted, notched, cut, blocked out, or relocated without prior approval by the Architect. Do not alter size of members noted without written approval of the Architect.

6.2 Pipes in Stud - Bearing Walls - Notches or bored holes in studs of bearing walls or partitions shall not be more than one-third (1/3) the depth of the stud. When the stud is cut or bored in excess of the above, it shall be reinforced to the load carrying capacity of a stud notched not more than one-third its depth.

6.3 Framing Lumber: All lumber shall be SPF, No. 2 grade or better with the Following minimum allowable stresses and modules of elasticity: Extreme Fiber Stress: Fb= 1150 psi (repetitive use) Fb= 1050 psi (single member)- for 2x12

Horizontal Shear: Fv= 75 psi Modules of Elasticity: E= 1,400,000 psi Compression perp. to Grain: Fc= 385 psi Compression parallel to Grain: 850 psi

Moisture Content: All lumber shall have a moisture content no greater than 19%. Air dry lumber is desired, but not necessary, lumber may be kiln dried, however the drying process must be slow and regulated to cause a minimum amount of checking, comparable with air dried stock.

6.4 Wood beams: Micro-Lam beams shall be installed per manufacturer's recommendations and applicable codes and shall be as sized on the plans as manufactured by Trus-Joist Corporation with the following minimum allowable stresses and modules of elasticity:

Extreme Fiber Stress: Fb= 2600psi Horizontal Shear: Fv= 285psi Modules of Elasticity: E= 1,900,000 psi

6.5 Preservative Treated Lumber: All lumber in contact with the earth, concrete or masonry, or exposed to outside unprotected shall be preservative treated lumber.

6.6 Walls: Exterior and interior bearing walls shall be 2x4 studs at 16" o.c. Provide double trimmers under all headers larger than 2 -2x6's. Provide a continuous double top plate at all bearing walls.

6.7 Plywood: All plywood sheets shall bear the "APA" grade trademark. Roof Sheathing shall be 1/2" C.D.X. plywood with hold down "H" clips. Exterior wall sheathing shall be 1/2" plywood. Interior subfloor shall be 1/2" tongue and groove exterior grade plywood and shall be glued and screw applied.

6.8 Bridging and Blocking: There shall be not less than one line of bridging in every eight feet of span in the attic and roof framing. The bridging shall consist of not less than one by three inch lumber double nailed at each end or of equivalent metal bracing or equal rigidity. Block solid at all bearing supports where adequate lateral support is not otherwise provided. Block all walls over 8 feet and all load bearing walls at mid-height with a minimum of 2x solid material with tight joints.

SECTION 7 - THERMAL AND MOISTURE PROTECTION

7.1 Flashing: Code approved corrosion resistive flashing shall be provided at top and sides of all exterior window and door openings in such manner as to be leak proof. Similar flashing shall be installed at the intersection of chimney and other masonry construction with frame walls; under and at the ends of masonry, wood or metal copings or sills; continuously above all projecting wood trim; at wall and roof intersections; at junctions of chimney and roof; and in all roof valleys and around all roof openings.

A. All flashing, counter flashing, and sheet metal shall be sized as recommended by SMACNA and installed as recommended in the Architectural Sheet Metal Manual by SMACNA. Metal shall not be less than No. 26 U.S. gauge corrosive resistant metal.

7.2 All roofing to be Class "C" Min. The new roof shall be asphalt shingle as selected by Owner. Provide waterproof ice-dam shingle underlayment 3'-0" wide - equal to Certainteed WinterGuard. Provide prefin. alum gutters & downspouts to splash blocks or underground drainage system.

7.3 Insulation: High Density, Walls R-15; Floor R-38; Roof R-38 Batt Insulation. Provide insulation stops at eaves.

7.4 Siding: Siding shall be equal to James Hardie fiber cement siding, pattern as selected by owner. Provide trim as necessary for a complete installation. Provide solid PVC trim for all trim noted, as well as soffits, rakes, etc.

SECTION 8 - DOORS AND WINDOWS

8.1 Windows shall be double hung, awning, or casement, size as indicated on plans. Windows shall be vinyl or aluminum clad, a clad or painted wood finish on the interior, with insulating glass. All windows shall be complete with weatherstripping, insect screens and operating hardware. Quality, size, and manf. # of windows are based on Anderson Windows, 400 series. Contractor shall verify opening sizes. Provide safety glass as indicated on elevations or required by codes. Coordinate window mullion pattern with the Owner.

8.2 Interior doors shall be wood painted doors to match existing doors or as selected by the Owners. Exterior doors shall be as selected by Owners.

SECTION 9 - FINISHES

9.1 All gypsum board shall be in accordance with U.S. Gypsum Specifications SA-924. Provide 1/2" tapered-edge gypsum board for all walls. All gypsum board shall be screw applied per USG recommendations. Provide water resistant board behind kitchen sink.

9.2 All new painted surfaces shall receive primer and two coats of latex paint. Existing painted surfaces shall receive one coat of paint. Coordinate with Owner on extent of interior painting. Trim work shall receive glossy finish, interior walls and ceiling shall receive flat or eggshell finish. Exterior paint shall be all-weather exterior based house paint.

9.3 Floor finish shall be as selected by Owner.

9.4 All wood trim work at windows, doors, and baseboards shall match existing.

SECTION 10- SPECIALTIES

10.1 Provide kitchen cabinets/countertops as selected by the Owner.

SECTION 14 - NOT USED

SECTION 15 - MECHANICAL

15.1 The Contractor shall provide heating and cooling to the new additions. Coordinate heat and cooling requirements with the Owner. The Contractor shall ensure that this house is properly heated and cooled.

15.2 Provide new plumbing for new bathroom location. Provide all plumbing fixtures for Owner's approval.

SECTION 16 - ELECTRICAL

16.1 The Contractor shall verify the existing electrical service to ensure capacity for the new addition All electrical work shall be completed by a licensed electrician.

16.2 Provide all electrical connections for wall receptacles as indicated. All kitchen and exterior receptacles shall be GFI protected. All bedroom outlets, including switches, lights, smoke detectors, receptacles, etc shall be AFCI protected.

16.3 Provide all recessed light fixtures for the Owner's approval. Owner shall provide all other fixtures and ceiling fans/lights for GC installation. Coordinate all light fixture and switch locations with the Owner.



Department of Planning and Zoning  
Floor Area Ratio and Open Space Calculations for  
Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 220 E Monroe Avenue, Alexandria, VA 22301	R-2-5
Street Address	Zone
A2. 5,616.00	x 0.45 = 2,527.20
Total Lot Area	Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area	Allowable Exclusions**	
Basement 692.00	Basement** 692.00	B1. 2,224.00 Sq. Ft. Existing Gross Floor Area*
First Floor 809.00	Stairways** 26.00	B2. 1,441.00 Sq. Ft. Allowable Floor Exclusions**
Second Floor 0.00	Mechanical** 0.00	B3. 783.00 Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor 0.00	Attic less than 7'" 610.00	
Attic 610.00	Porches** 113.00	
Porches 113.00	Balcony/Deck** 0.00	
Balcony/Deck 0.00	Garage** 0.00	
Garage 0.00	Other***	
Other***	Other***	
B1. Total Gross 2,224.00	B2. Total Exclusions 1,441.00	Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

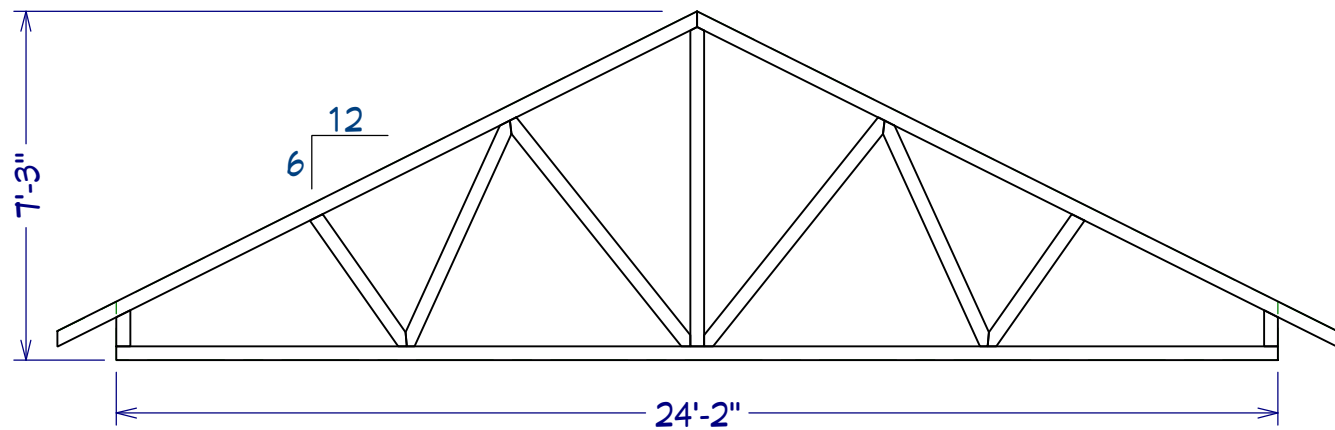
Proposed Gross Area	Allowable Exclusions**	
Basement 751.00	Basement** 751.00	C1. 4,308.00 Sq. Ft. Proposed Gross Floor Area*
First Floor 482.00	Stairways** 153.00	C2. 2,566.00 Sq. Ft. Allowable Floor Exclusions**
Second Floor 1,255.00	Mechanical** 0.00	C3. 1,742.00 Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor 0.00	Attic less than 7'" 1,218.00	
Attic 1,218.00	Porches** 194.00	
Porches 352.00	Balcony/Deck** 0.00	
Balcony/Deck 0.00	Garage** 250.00	
Garage 250.00	Other***	
Other***	Other***	
C1. Total Gross 4,308.00	C2. Total Exclusions 2,566.00	

D. Total Floor Area

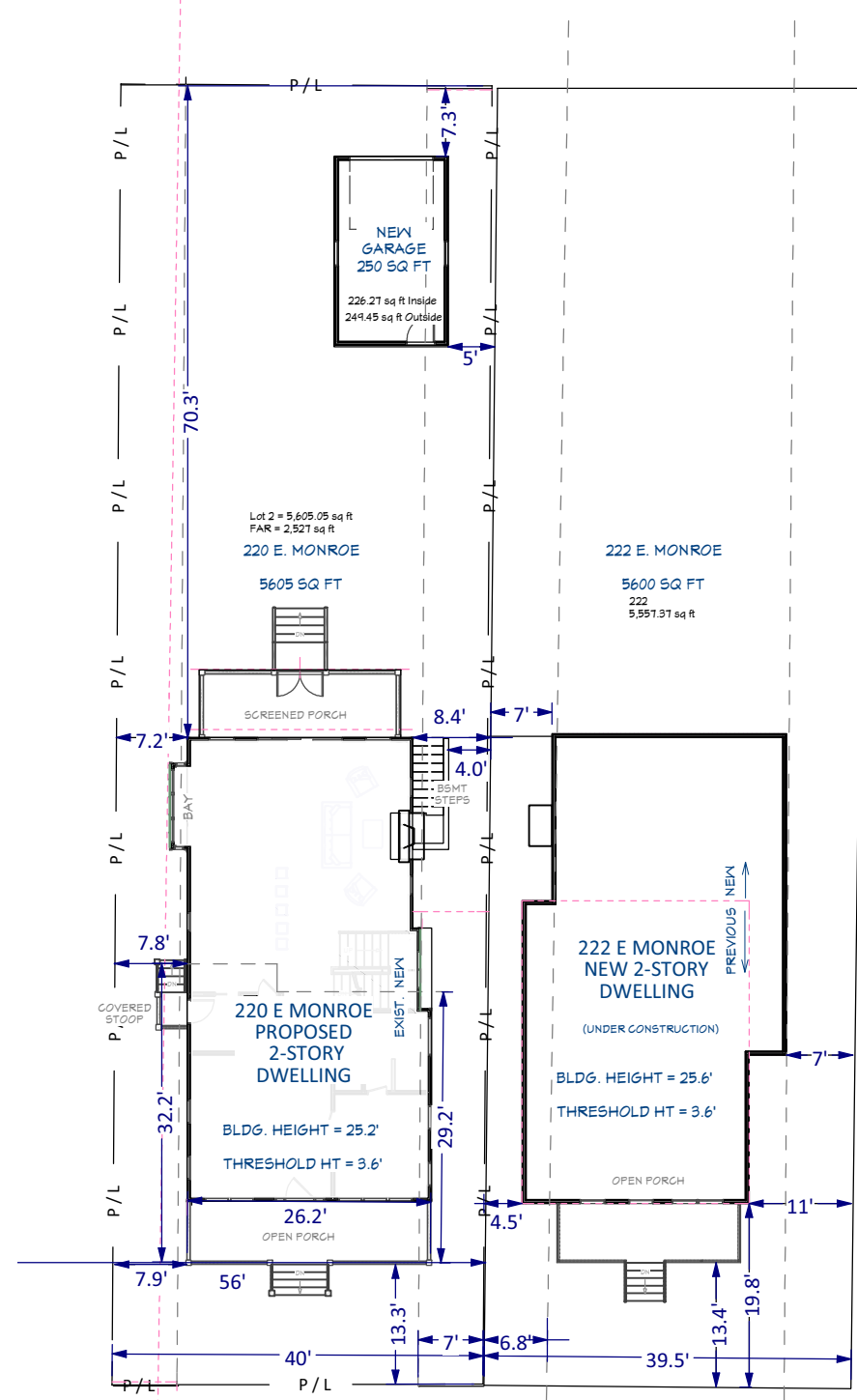
D1. 2,525.00 Sq. Ft. Total Floor Area (add B3 and C3)	E1. Existing Open Space
D2. 2,527.20 Sq. Ft. Total Floor Area Allowed by Zone (A2)	E2. Required Open Space
	E3. Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_ Digitally signed by Owen Malone Date: 2021.09.24 11:19:37 -04'00' Date: 11/12/21



TYPICAL MAIN ROOF TRUSS



CONTEXTUAL BLOCKFACE STUDY

SCALE: 1" = 20'

Owner Information:

Capitol Hill Iron Gate JV LLC  
2506 Terrett Ave  
Alexandria, VA 22301  
202-494-2813

Plans Developed By:

Owen Malone  
501 E Windsor Ave  
Alexandria, VA 22301  
703-851-6188

Sheet Index		
Label	Title	Sub-Content
CS	PROJECT INFORMATION	& REPORTS
A-1	PROPERTY PLATS	EXISTING, PROPOSED & GRADE
A-2	EXTERIOR ELEVATIONS	EXISTING & PROPOSED
A-3	EXTERIOR ELEVATIONS	EXISTING & PROPOSED
A-4	GARAGE ELEVATIONS	
A-5	AS BUILT FLOOR PLANS	ALL LEVELS
A-6	PROPOSED FLOOR PLANS	ALL LEVELS
A-7	FOUNDATION & ROOF PLANS	



NO.	DATE	REVISION	TABLE
1	4/7/2021	OM	ADDED SOILS REPORT

PROJECT:  
CAPITOL HILL IRON GATE JV LLC  
220 E. MONROE AVE  
ALEXANDRIA, VA 22301

PAGE TITLE:  
PROJECT INFORMATION  
& REPORTS

CONTRACTOR:  
Capitol Hill Construction  
1783 Forest Dr. #315  
Annapolis, MD 21401  
202-543-5300

DATE:

11/29/2021

SCALE:

As Noted

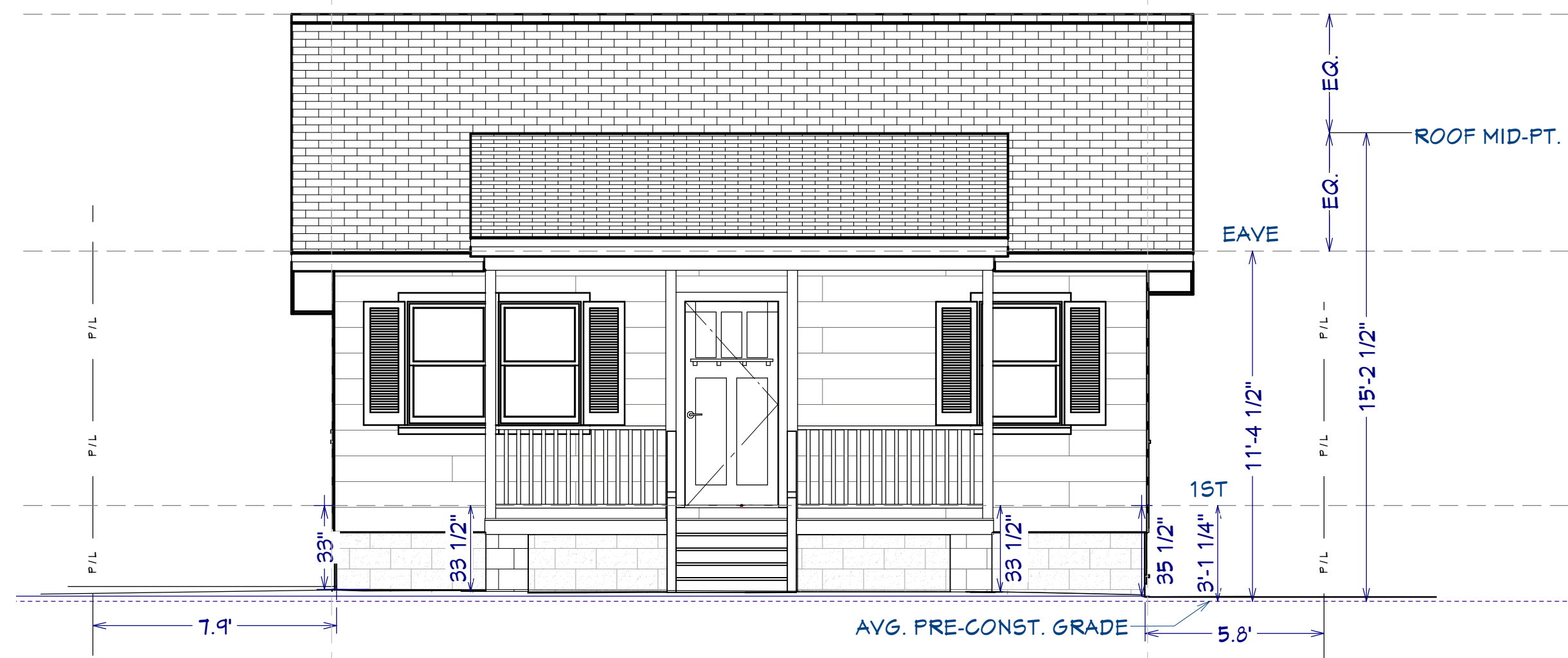
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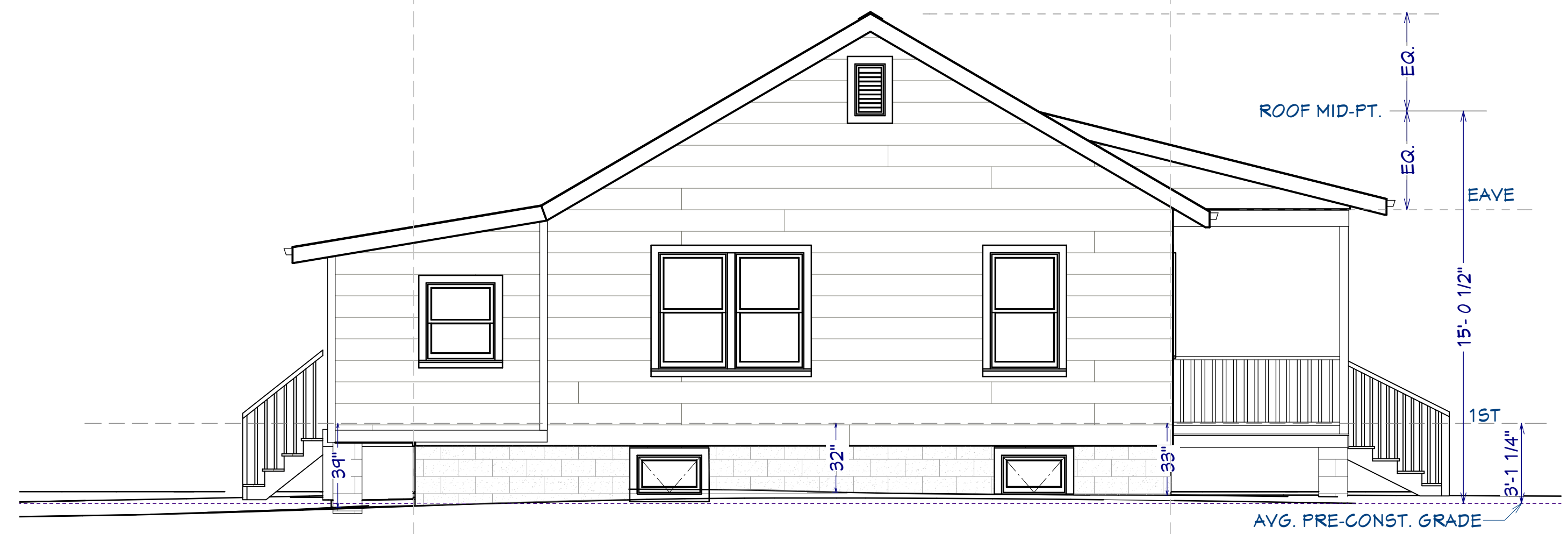






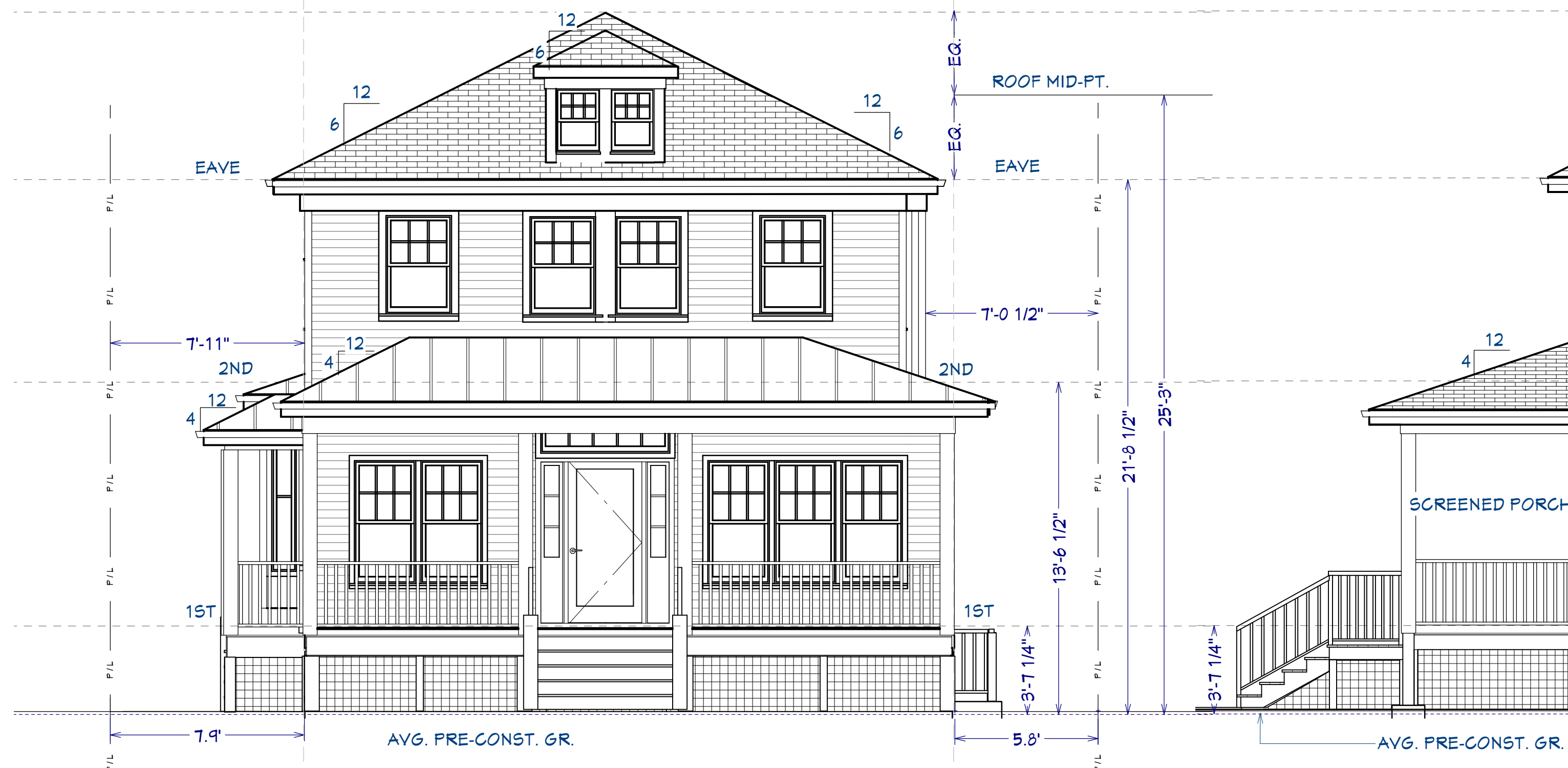
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LEFT ELEVATION - EXISTING

SCALE: 1/4" = 1'



FRONT ELEVATION - PROPOSED

SCALE: 1/4" = 1'



LEFT ELEVATION - PROPOSED

SCALE: 1/4" = 1'



NO.	DATE	REVISION	DESCRIPTION

PROJECT:  
CAPITOL HILL IRON GATE JV LLC  
220 E. MONROE AVE  
ALEXANDRIA, VA 22301

PAGE TITLE:  
EXTERIOR ELEVATIONS  
EXISTING & PROPOSED

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Capitol Hill Construction  
1783 Forest Dr. #315  
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202-543-5300

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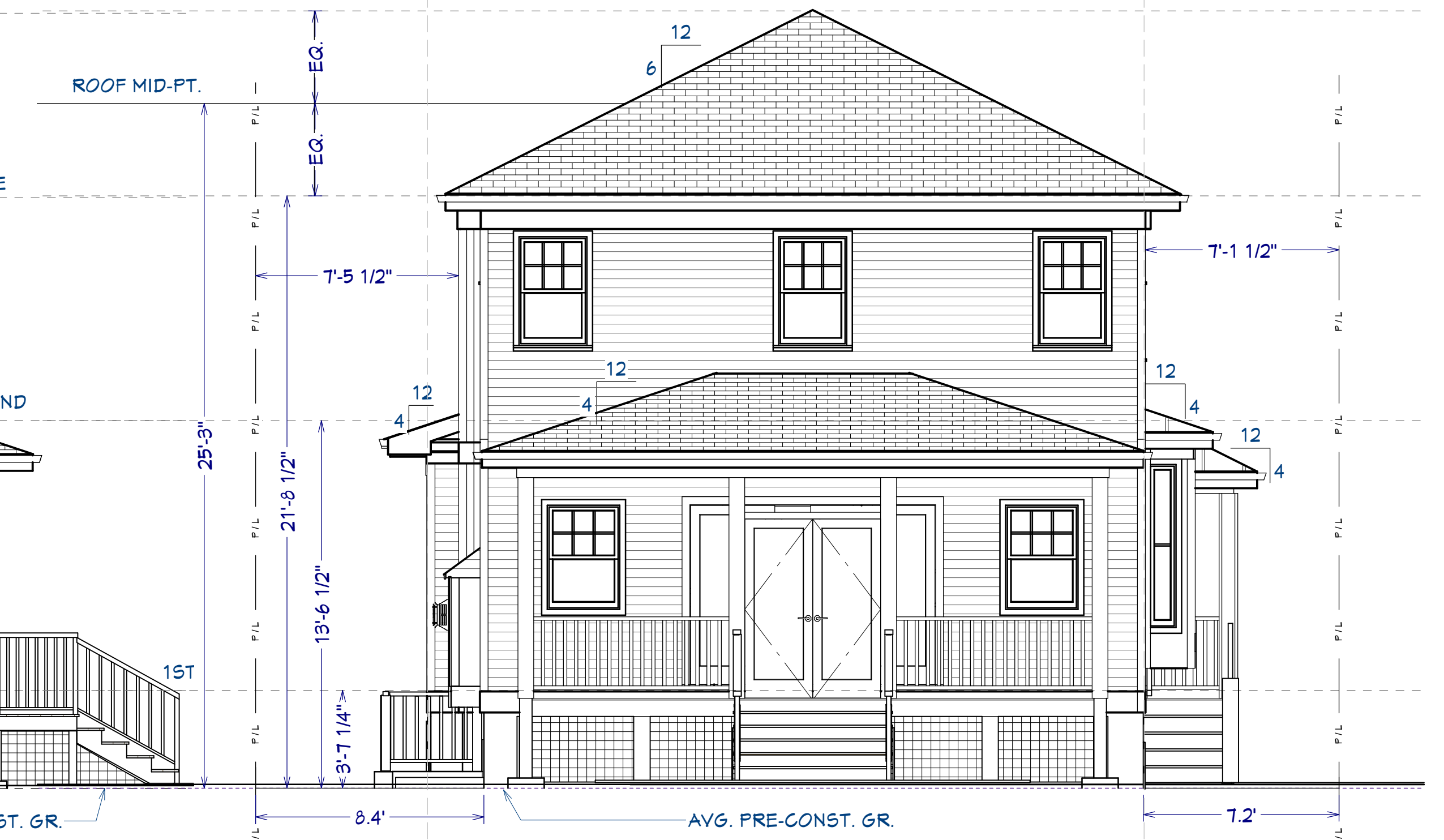
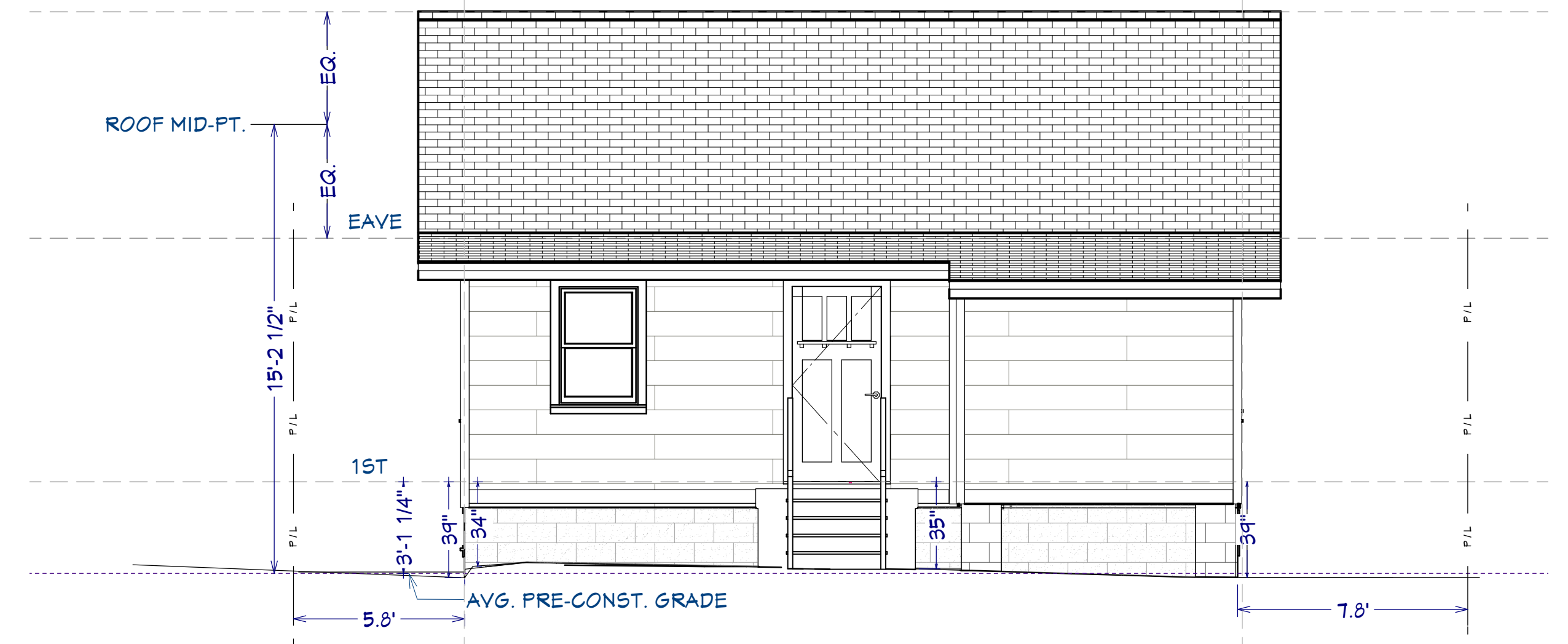
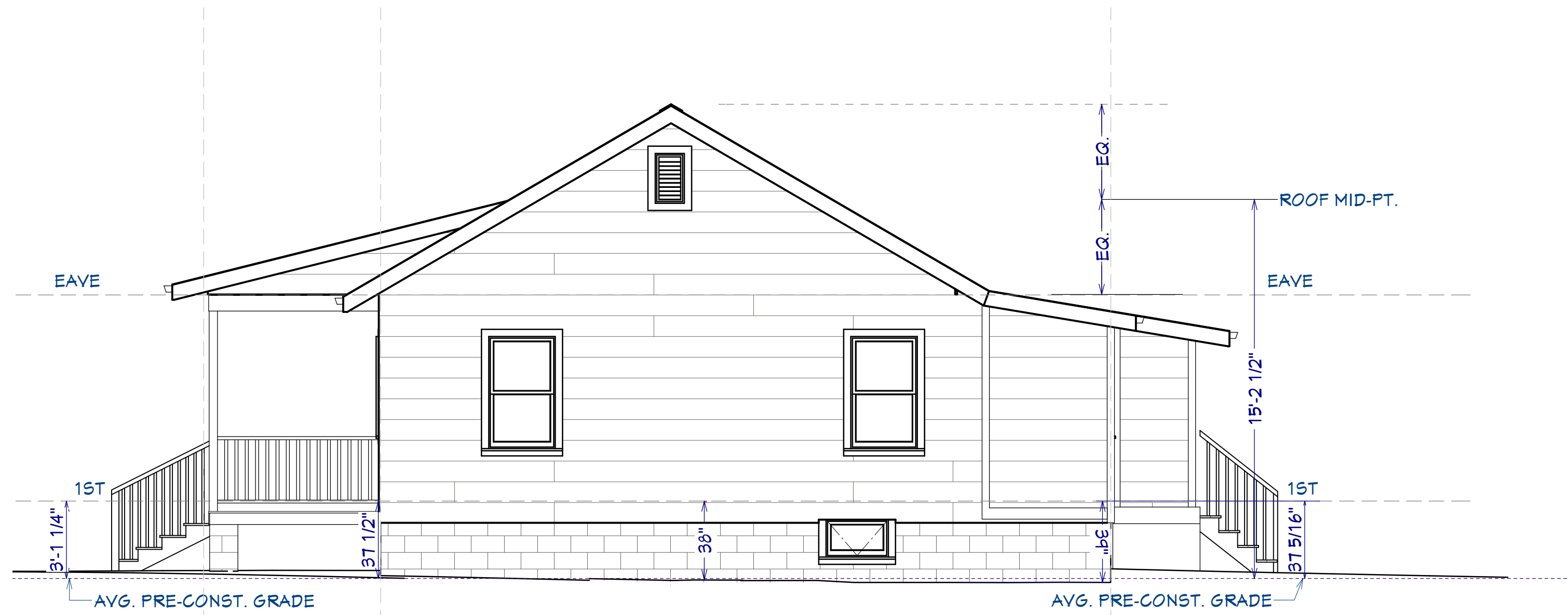
11/29/2021

SCALE:

1/4" = 1'

SHEET:

A-2



NO.	DATE	REVISION TABLE	REVISED BY	DESCRIPTION

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CAPITOL HILL IRON GATE JV LLC  
220 E. MONROE AVE  
ALEXANDRIA, VA 22301

PAGE TITLE:  
EXTERIOR ELEVATIONS  
EXISTING & PROPOSED

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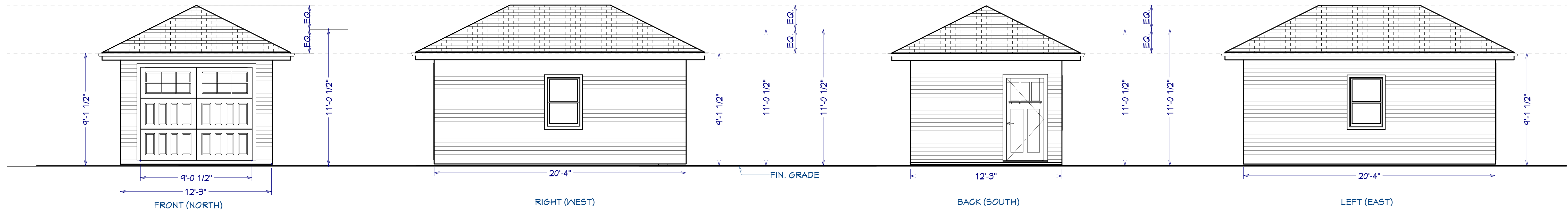
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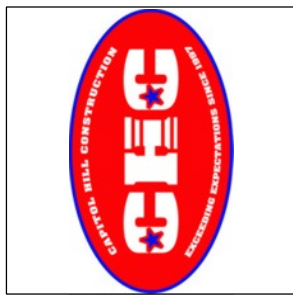
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A-3





Garage Elevations



REVISION TABLE	
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220 E. MONROE AVE  
ALEXANDRIA, VA 22301

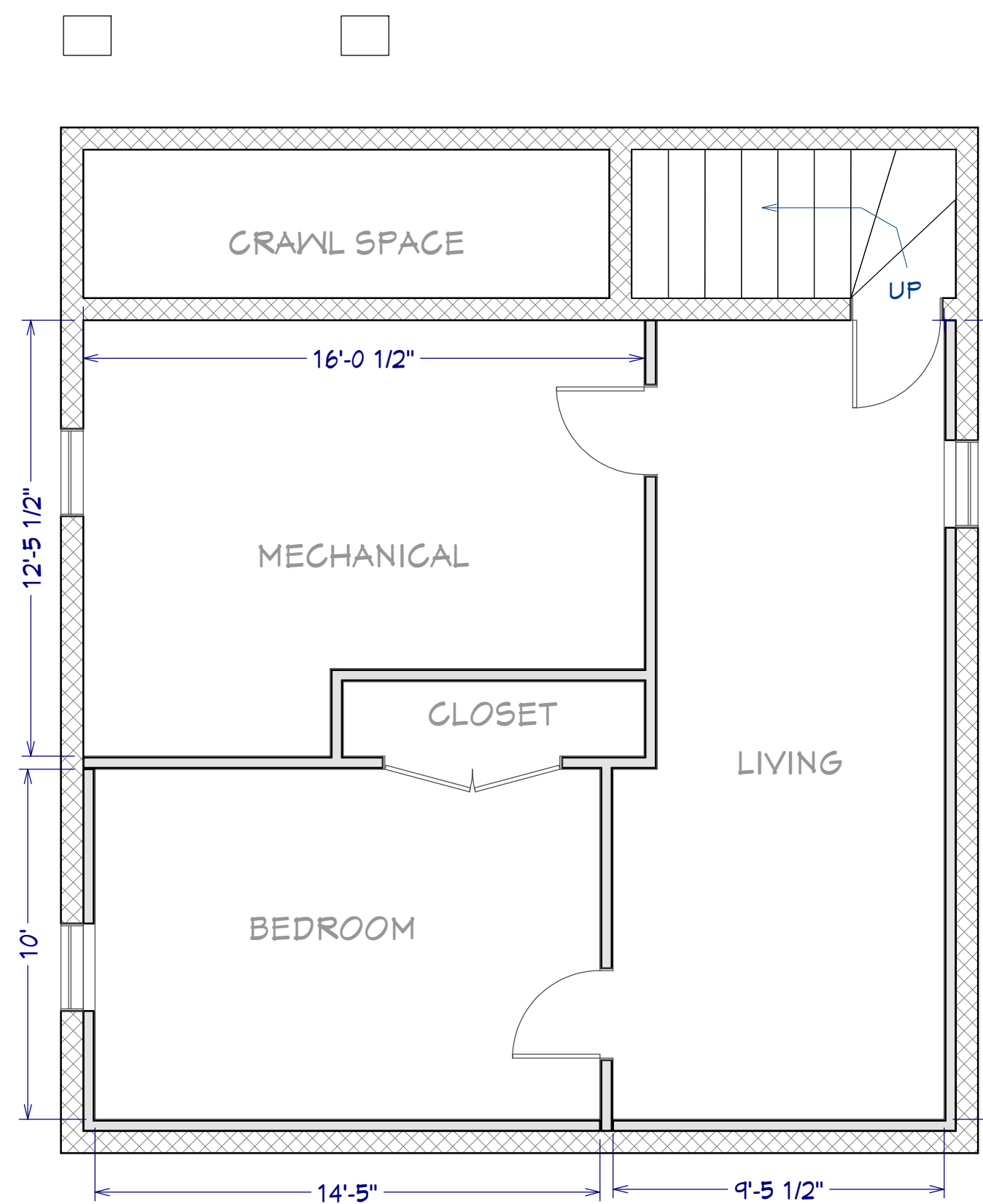
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GARAGE ELEVATIONS

CONTRACTOR:  
Capitol Hill Construction  
1783 Forest Dr. #315  
Annapolis, MD 21401  
202-543-5300

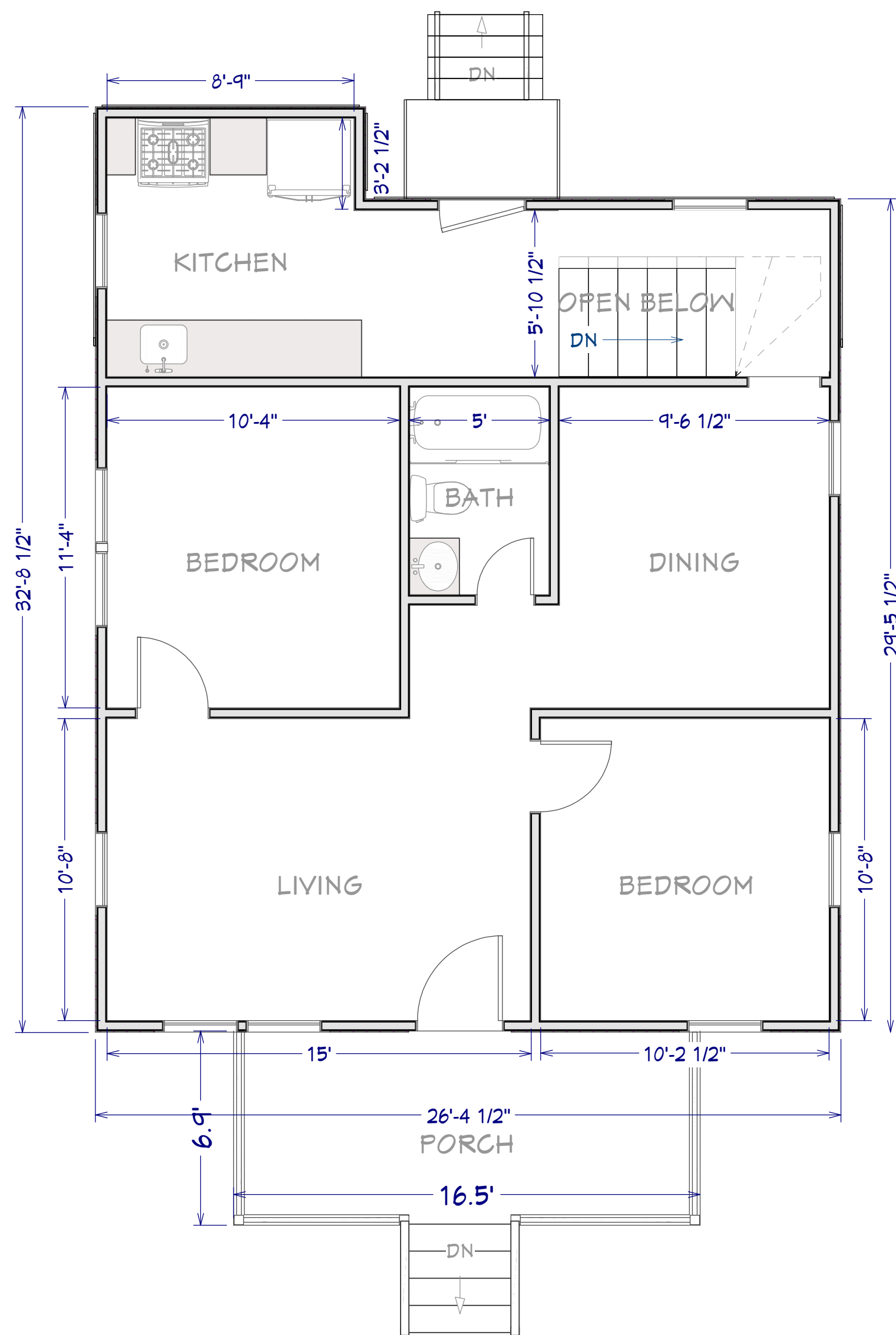
DATE:  
11/29/2021

SCALE:  
1/4" = 1'

SHEET:  
A-4



**1 AS BUILT & DEMO - BASEMENT**  
SCALE: 1/4" = 1'



**2 AS BUILT & DEMO - 1ST FLOOR**  
SCALE: 1/4" = 1'



NO.	DATE	REVISED BY	DESCRIPTION

PROJECT:  
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220 E. MONROE AVE  
ALEXANDRIA, VA 22301

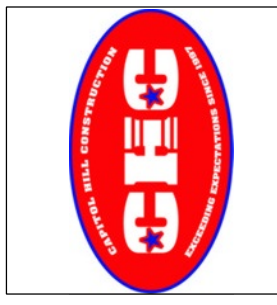
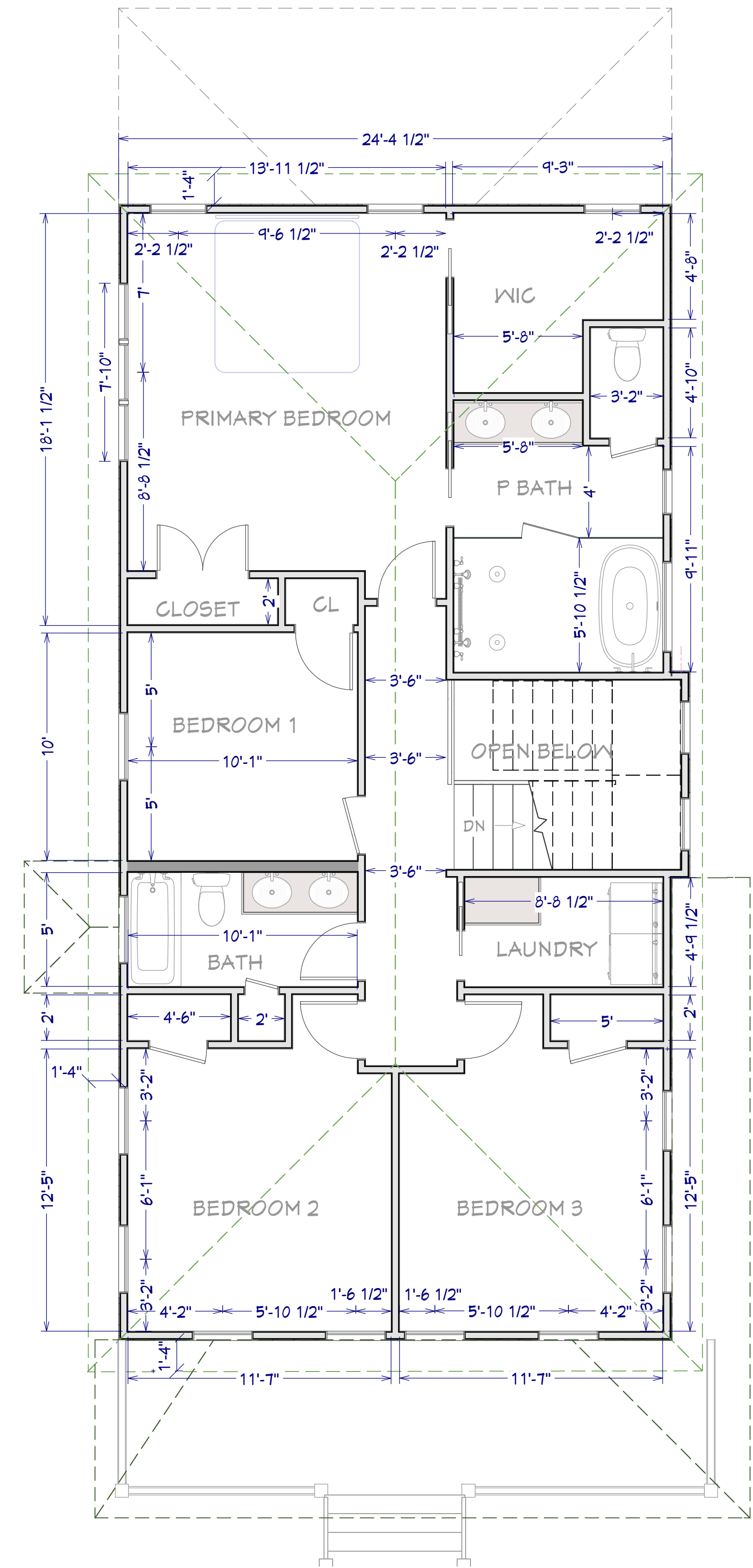
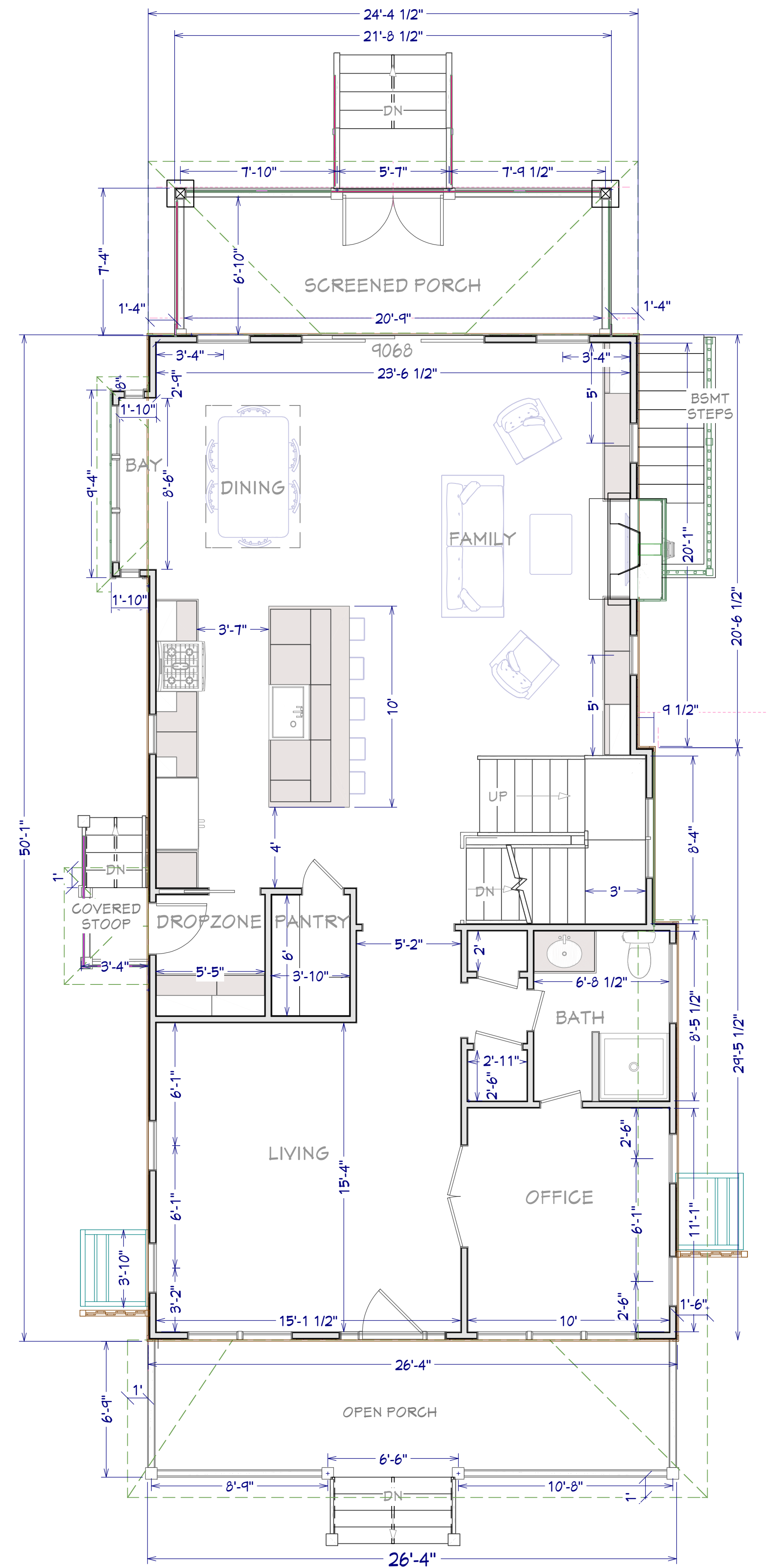
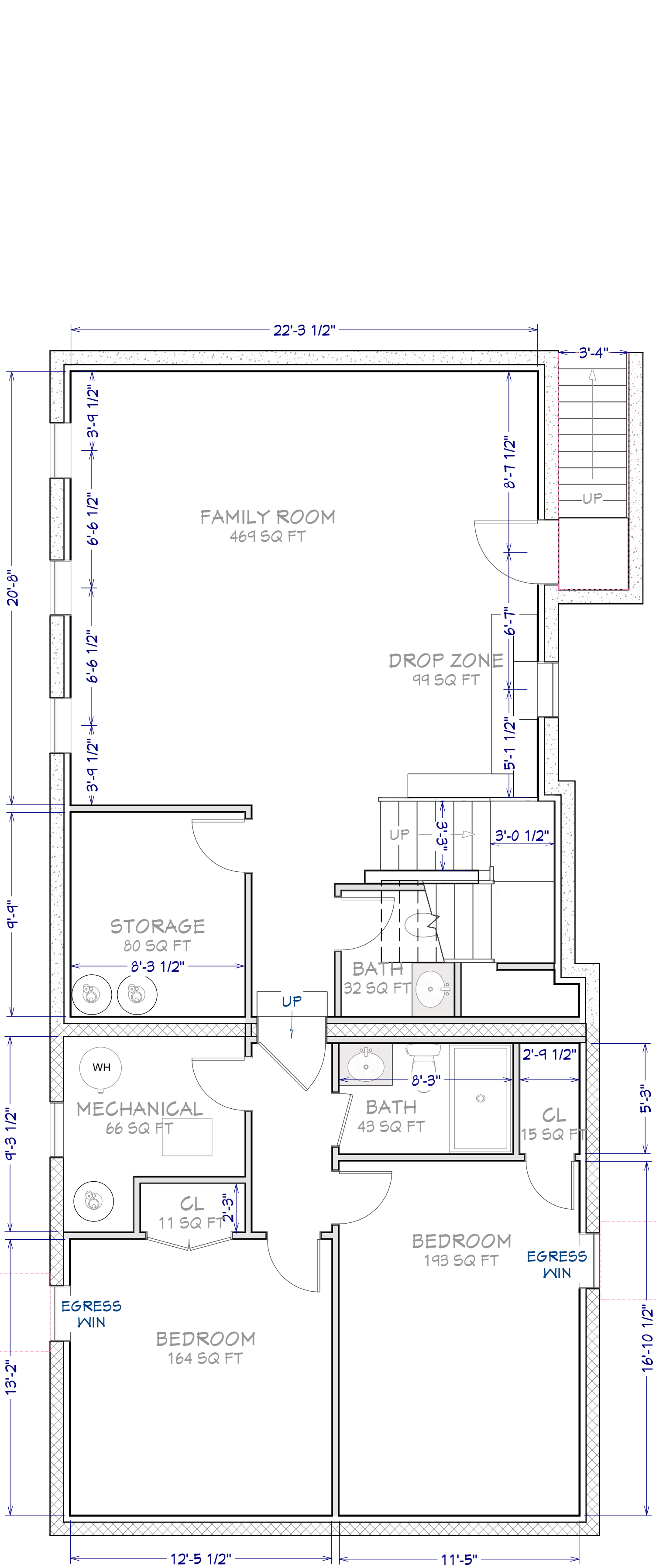
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**AS BUILT FLOOR PLANS**  
ALL LEVELS

CONTRACTOR:  
**Capitol Hill Construction**  
1783 Forest Dr. #315  
Annapolis, MD 21401  
202-543-5300

DATE:  
11/29/2021

SCALE:  
1/4" = 1'

SHEET:  
**A-5**



NO.	DATE	REVISION TABLE	REVISED BY	DESCRIPTION	DATE	RESPONSE TO COMMENTS
1	11/7/2021		ODM			

PROJECT:  
CAPITOL HILL IRON GATE JV LLC  
220 E. MONROE AVE  
ALEXANDRIA, VA 22301

PAGE TITLE:  
**PROPOSED FLOOR PLANS**  
ALL LEVELS

CONTRACTOR:  
**Capitol Hill Construction**  
1783 Forest Dr. #315  
Annapolis, MD 21401  
202-543-5300

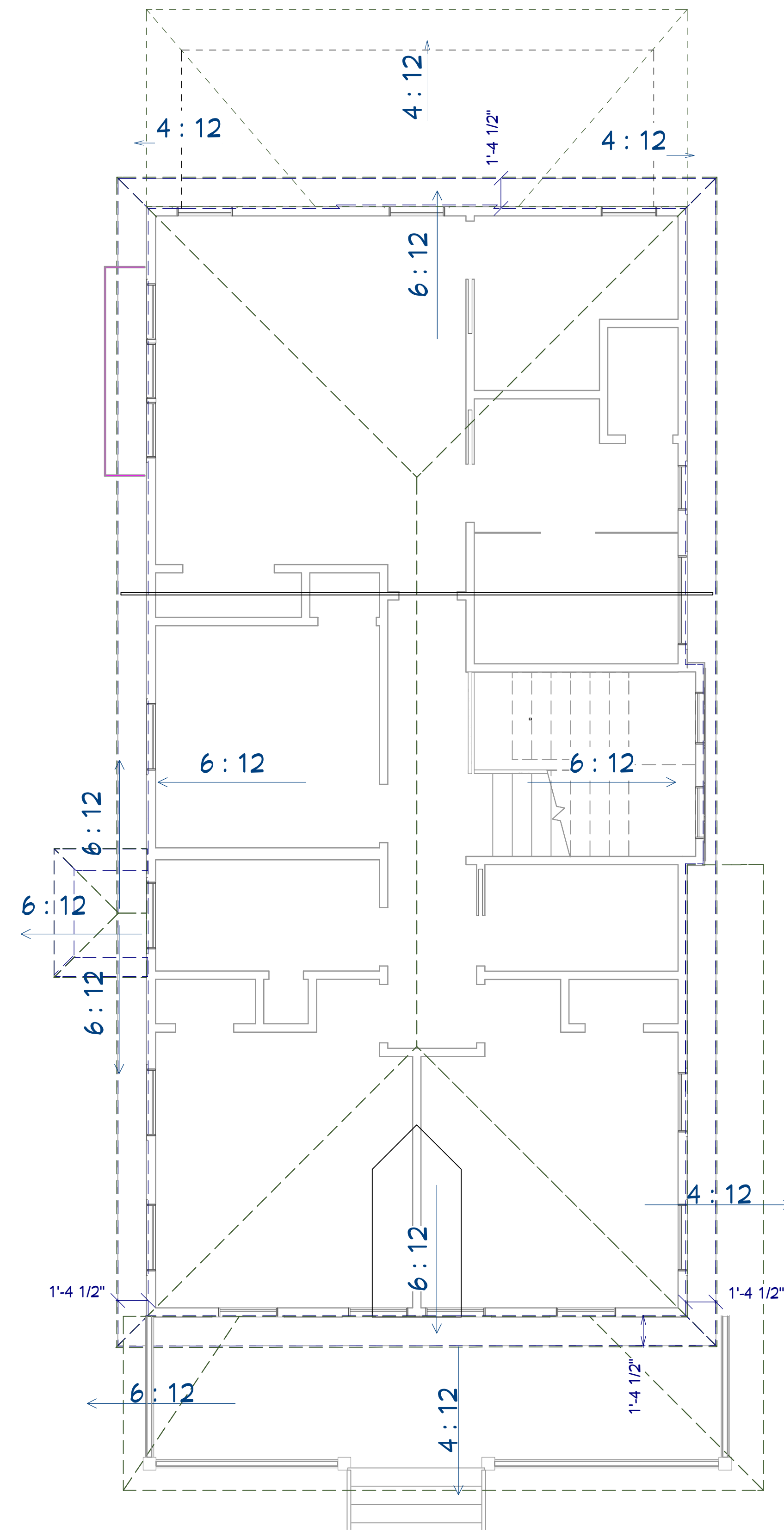
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11/29/2021

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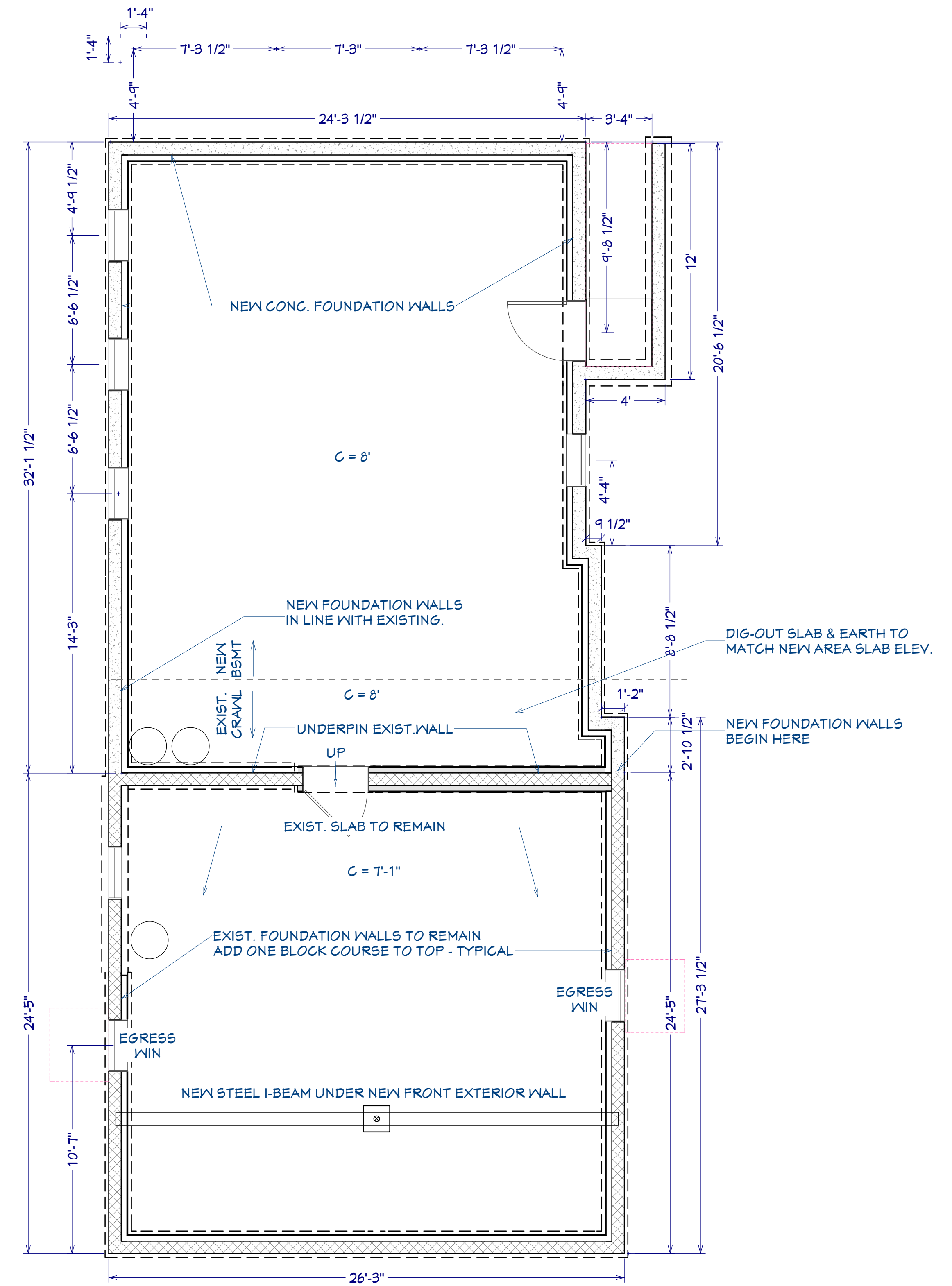
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**A-6**





**2 ROOF PLAN**  
SCALE: 1/4" = 1'



**1 FOUNDATION PLAN**  
SCALE: 1/4" = 1'



NO.	DATE	REVISION TABLE	REVISED BY	DESCRIPTION

PROJECT:  
CAPITOL HILL IRON GATE JV LLC  
220 E. MONROE AVE  
ALEXANDRIA, VA 22301

PAGE TITLE:  
**FOUNDATION & ROOF PLANS**

CONTRACTOR:  
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Annapolis, MD 21401  
202-543-5300

DATE:  
11/29/2021

SCALE:  
1/4" = 1'

SHEET:  
**A-7**