



APPLICATION SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

601 and 619 S. Patrick, Alexandria, Virginia

PROPERTY LOCATION: _____

80.01 03 11 and 31

TAX MAP REFERENCE: _____ **ZONE:** _____ CSL

APPLICANT: Valhalla Property Holding, LLC, a Virginia limited liability company
Name: _____

Address: _____

PROPOSED USE: Special Use Permit for a Recreational and Entertainment Use, outdoor (section 4-303 (W.1)) for roof top exercise area associated with first floor health and athletic club.

- THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Duncan W. Blair, Attorney/Agent

Print Name of Applicant or Agent

Rev 9/4/15

Signature

Date

N/A

Mailing/Street Address

Telephone #

Fax #

City and State

Zip Code

Email address

PROPERTY OWNER'S AUTHORIZATION

As the property owner of 601 & 619 South Patrick Street, Alexandria, Virginia 22314, I hereby
(Property Address) Recreational and Entertainment use - outdoor.
grant the applicant authorization to apply for the use as
(use)
described in this application.

Name: Valhalla Property Holding, LLC
Please Print:
Address:
Signature: DW Blair By: Duncan W. Blair, Attorney Agent

C/O
Phone
Email:
Date: 8 28 25

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

Required floor plan and plot/site plan attached.

Requesting a waiver. See attached written request.

2. The applicant is the (check one):

Owner
 Contract Purchaser
 Lessee or
 Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

Valhalla Property Holding, LLC is a Virginia limited liability company. The sole member of the

limited liability company is Desiree Marvin,

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Valhalla Property Holding	[REDACTED]	100%
2. Desiree Marvin	[REDACTED]	100% of VPH, LLC
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 601 and 619 South Patrick St. Alex, VA. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Valhalla Property Holding LLC	[REDACTED]	100%
2. Desiree Marvin	[REDACTED]	100% of VPH, LLC
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

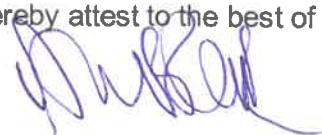
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Valhalla Property Holding LLC	None	
2. Desiree Marvin	None	
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8 29 25

Duncan W. Blair, Attorney/Agent



Date

Printed Name

Signature

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

Yes. Provide proof of current City business license A copy will be provided upon request.

No. The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION

3. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

See attached Narrative.

Valhalla Property Holding LLC, a Virginia limited liability (the "Applicant") is requesting a Special Use Permit for recreational and educational use for a roof top outdoor workout area associated with the first-floor health and athletic club. This Special Use Permit is only for the roof top recreational and educational use as the Health and Athletic Club is a by-right permitted use.

The Applicant plans to renovate the existing building and to convert it into a Scandinavian design, upscale bodybuilding gym. Extra windows will be added for natural light where windows have since been sealed up. The health and athletic club will be open 24 hours, seven days a week, with staff on hand. Personal trainers will be available, but there will be no "workout classes." The facility will be an open concept layout. There will be state-of-the art heavy lifting equipment, and cardio machines. Along the north wall will be the locker rooms, with a central area between them for hot saunas, cold plunges, and red-light therapy. There will also be a posing room for athletes to practice their stage routines.

On the rooftop there will be outdoor space for working out along with battle ropes, cages for lifting, tires for flipping, and push/pull sleds as well as a large walking lap around the perimeter of the roof with glass railings and green turf in the center.

This facility will refresh that part of town with new life and will be a popular spot for people going to and from work.

We have basic gyms and grungy gyms in Alexandria, but nothing that combines both heavy lifting and an upscale "spa like" appeal.

USE CHARACTERISTICS

4. The proposed special use permit request is for (check one):
 a new use requiring a special use permit,
 an expansion or change to an existing use without a special use permit,
 an expansion or change to an existing use with a special use permit,
 other. Please describe: _____

5. Please describe the capacity of the proposed use: Note: These responses are inclusive of the both the first floor Health and Athletic Club and the Roof top Recreational and Entertainment Use.

A. How many patrons, clients, pupils and other such users do you expect?
Specify time period (i.e., day, hour, or shift)
It is anticipated that the facility will have 50 patrons per day. *

B. How many employees, staff and other personnel do you expect?
Specify time period (i.e., day, hour, or shift).
It is anticipated the facility will have a staff of 10 employees working on a full or part time basis. *

6. Please describe the proposed hours and days of operation of the proposed use: Note: This response is inclusive First floor Health and Athletic Club and the Roof top Recreational and Entertainment Use.

Day: Seven day a week. Hours: Members will have access 24 hours a day. *

SEE ATTACHED SUPPLEMENT RESPONSE TO QUESTIONS 5 AND 6.

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.
It is not anticipated that noise levels will exceed the noise level permitted by the City of Alexandria's Noise Ordinance.

B. How will the noise be controlled?
The outdoor rooftop recreational and educational use area will be surrounded by glass partitions on the exterior parapet wall to shield the area from will and ambient noise.

SPECIAL USE PERMIT 2025-00054

601 & 619 South Patrick Street, Alexandria Virginia

**Supplemental Response to Questions 5 and 6 of the
Use Characteristics section of the SUP Application dated 9 4 25**

The applicant is requesting that the Recreational and Entertainment Area hours be 7 days a week and 24 hours a day for the use and enjoyment of the members. That said it is doubtful that of the anticipated 50 patrons a day as cited in the response to Question 5 more than 50% of the patrons will utilize the rooftop equipment daily. Of the 25 patrons, it is likely that they will be spread out during the day. It is not anticipated that there will be any organized classes where groups of patrons would be present in the recreational and educational use area of the facility. As shown on the plan the roof top area is enclosed with a glass screen wall on three sides and a structure on the fourth.

8. Describe any potential odors emanating from the proposed use and plans to control them:

It is not anticipated that offensive odors will be generated by the use of the

roof top as a recreational and educational use associated with the ground floor

health and athletic club.

9. Please provide information regarding trash and litter generated by the use. Not Applicable.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

C. How often will trash be collected?

D. How will you prevent littering on the property, streets and nearby properties?

It is not anticipated that the use of the property as a health and athletic club and the

roof top as a recreational and education use will generate litter.

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes.

No.

If yes, provide the name, monthly quantity, and specific disposal method below:

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?

It is not anticipated that extraordinary measures will be needed to protect the safety of nearby residents, employees or patrons.

ALCOHOL SALES

13.

A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

40 Standard spaces
_____ Compact spaces
_____ Handicapped accessible spaces.
_____ Other.

Planning and Zoning Staff Only

Required number of spaces for use per Zoning Ordinance Section 8-200A _____

Does the application meet the requirement?

Yes No

B. Where is required parking located? (check one)

on-site
 off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

Parking reduction requested; see attached supplemental form

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are available for the use? One

Planning and Zoning Staff Only

Required number of loading spaces for use per Zoning Ordinance Section 8-200

Does the application meet the requirement?

Yes No

B. Where are off-street loading facilities located? The loading area is located on the west side of the building accessed by a 15' alley of Gibbon Street

C. During what hours of the day do you expect loading/unloading operations to occur? It is anticipated that deliveries would occur during daytime business hours.

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate? It is anticipated that there will be two or three deliveries per day.

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

No street improvements are required or proposed.

SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? Yes No

Do you propose to construct an addition to the building? Yes No

How large will the addition be? _____ square feet.

18. What will the total area occupied by the proposed use be?

15,561 sq. ft. (existing) + 0 sq. ft. (addition if any) = 15,561 sq. ft. (total)

19. The proposed use is located in: (check one)

a stand alone building

a house located in a residential zone

a warehouse

a shopping center. Please provide name of the center: _____

an office building. Please provide name of the building: _____

other. Please describe: _____

End of Application



Department of Planning & Zoning Special Use Permit Application Checklist

Supplemental application for the following uses:

- Automobile Oriented
- Parking Reduction
- Signs
- Substandard Lot
- Lot modifications requested with SUP use

Interior Floor Plan

- Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

If Applicable

- Plan for outdoor uses

Contextual site image

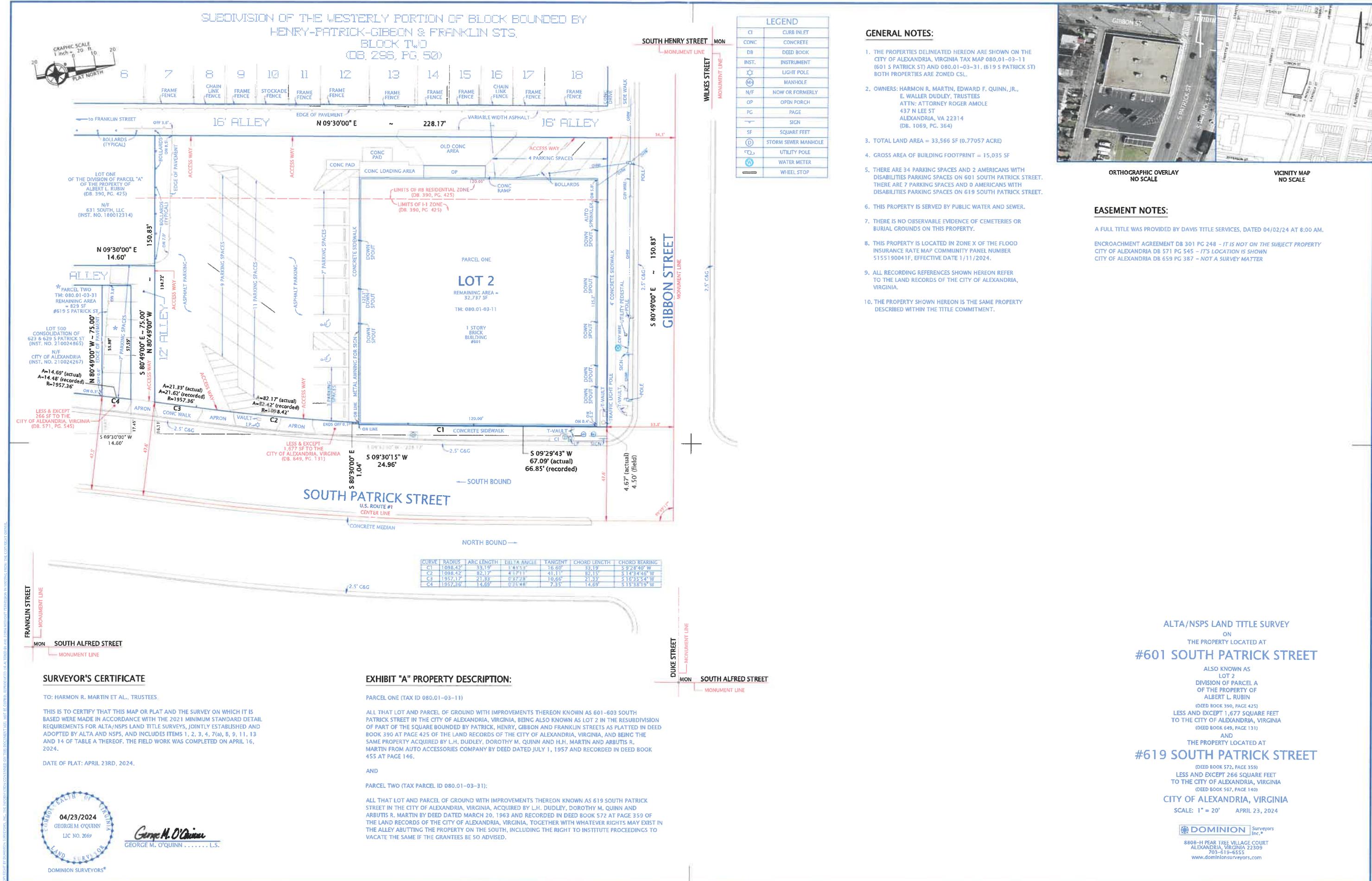
- Show subject site, on-site parking area, surrounding buildings, cross streets

Google Maps

West Marine - 601 South Patrick Street



Imagery ©2025 Airbus, Maxar Technologies, Map data ©2025 50 ft



DADA
1026 KING ST.
ALEXANDRIA, VIRGINIA
703836 8437

MARVIN GYM
601 S PATRICK ST
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT
07/28/2025

ISSUE DATE

SITE PLAN

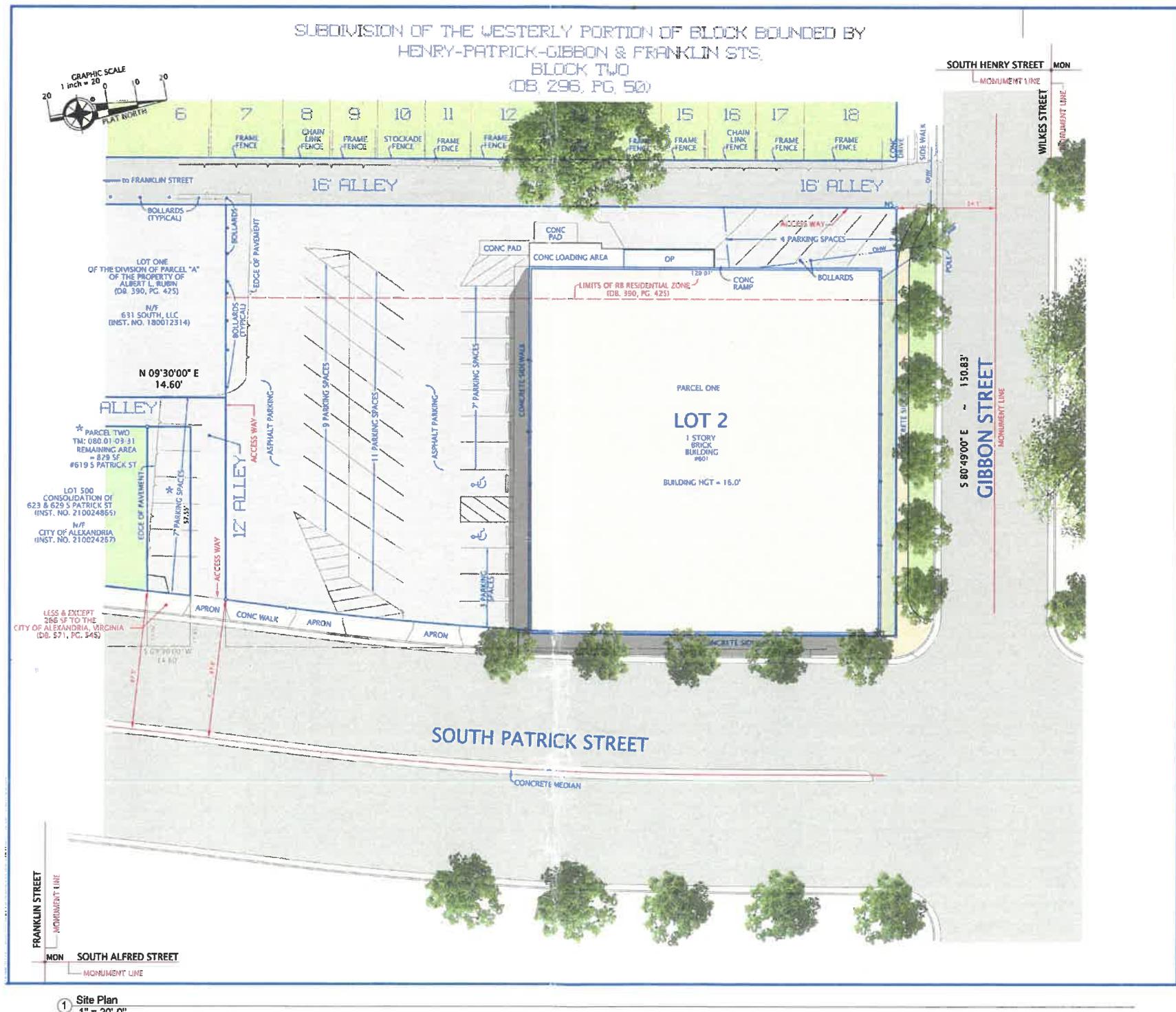
DRAWING TITLE

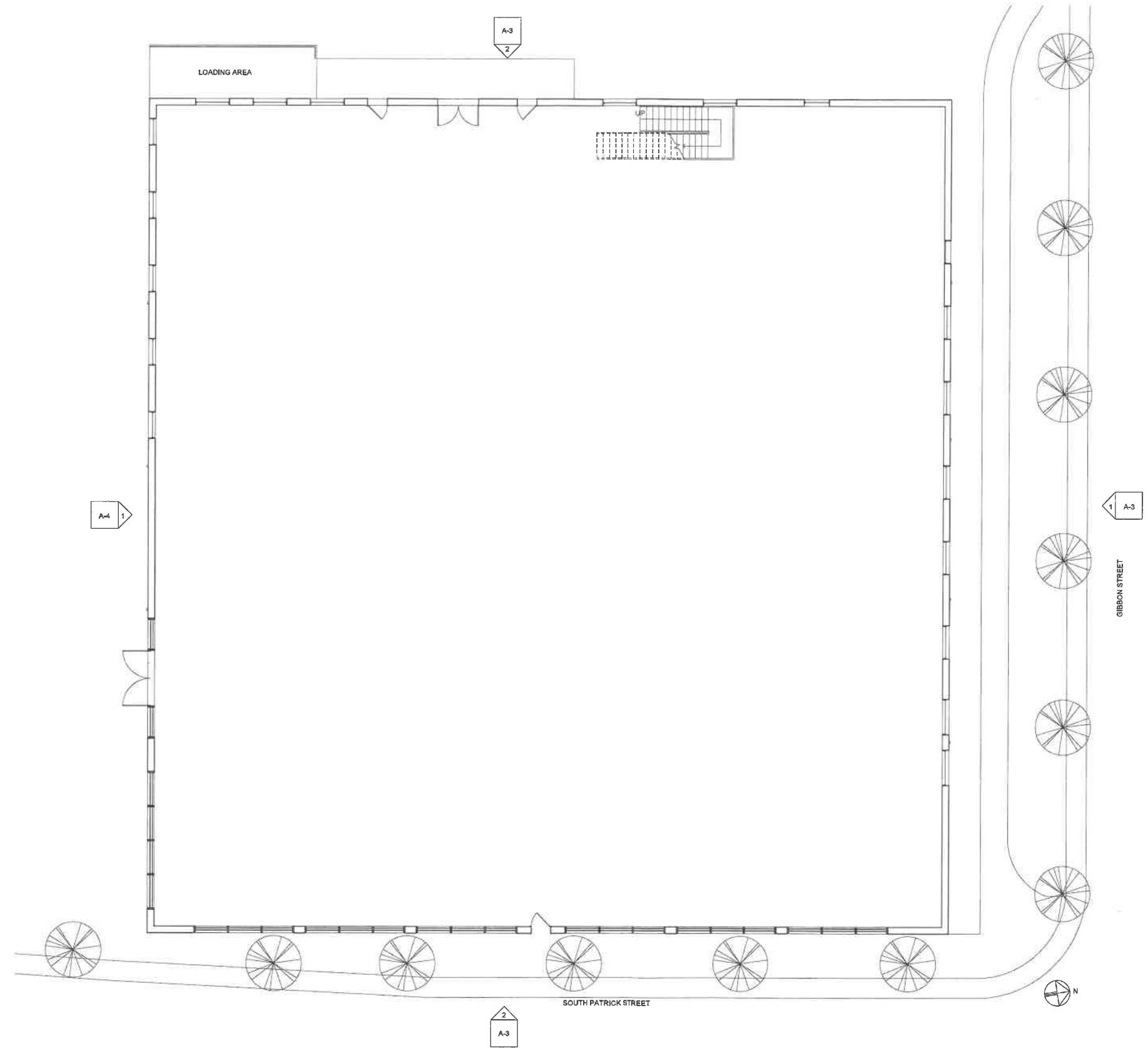
1" = 20'-0"

A-0

SHEET NO.

FOR BIDING ONLY, NOT FOR PERMIT OR CONSTRUCTION





① Proposed First Floor Plan
1/8" = 1'-0"

DADA
1026 GIBBON ST,
ALEXANDRIA, VIRGINIA
703.836.8467

MARVIN GYM
601 S PATRICK ST
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT
07/28/2025

ISSUE DATE
PROPOSED 1ST
FLOOR PLAN

DRAWING TITLE
SCALE: 1/8" = 1'-0"

A-1

SHEET NO.
FOR BIDDING ONLY, NOT FOR PERMIT OR CONSTRUCTION

DADA
1026 KING ST.
ALEXANDRIA, VIRGINIA
703.836.8437

MARVIN GYM
601 S PATRICK ST
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT
07/20/2025

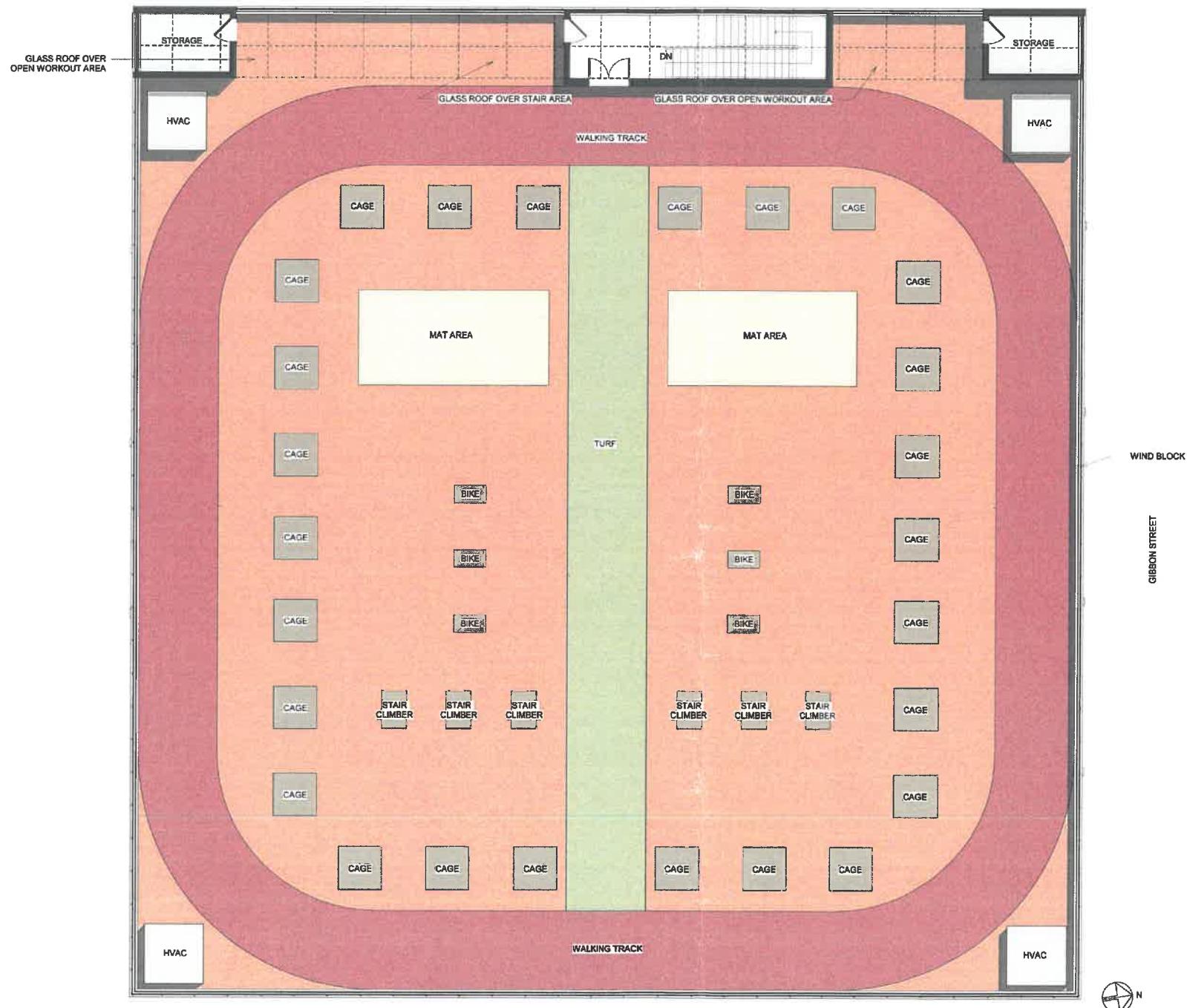
ISSUE DATE

**PROPOSED ROOF
PLAN**

DRAWING TITLE
SCALE: $1/8" = 1'-0"$

A-2

Sheet No.
FOR BUDGING ONLY, NOT FOR PERMIT OR CONSTRUCTION



DADA
1026 GIBBON ST.
ALEXANDRIA, VIRGINIA
703.835.8457

MARVIN GYM
601 S PATRICK ST
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT
07/28/2025

ISSUE DATE

PROPOSED
ELEVATIONS

DRAWING TITLE
SCALE: $1/8'' = 1'-0''$

A-3

SHEET NO.
FOR BIDDING ONLY. NOT FOR PERMIT OR CONSTRUCTION



① North (Gibbon St.) Elevation
1/8'' = 1'-0''



② East (South Patrick St.) Elevation
1/8'' = 1'-0''



③ Typical Wind Wall Detail
1/8'' = 1'-0''

DADA
1026 KING ST.
ALEXANDRIA, VIRGINIA
703.836.6437

MARVIN GYM
601 S PATRICK ST
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT
07/28/2025

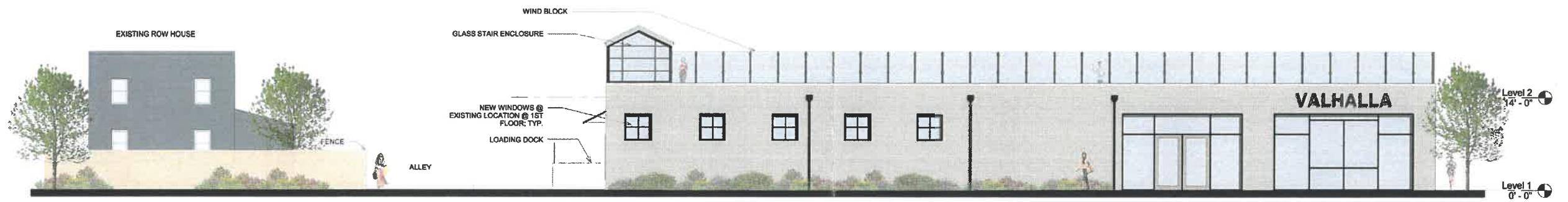
ISSUE DATE

PROPOSED
ELEVATIONS

DRAWING TITLE
SCALE 1/8" = 1'-0"

A-4

Sheet No.
FOR BIDDING ONLY. NOT FOR PERMIT OR CONSTRUCTION



① South (Parking Lot) Elevation
1/8" = 1'-0"



② West (Alley) Elevation
1/8" = 1'-0"



SOLUTIONS
OUTDOOR FITNESS AND SPORT

KOMPAN



Let's move



FITNESS & SPORT FOR OUTDOORS

For all users, all purposes, and all locations



Welcome to KOMPAN, your ultimate destination for outdoor fitness innovation.

You already know staying fit and healthy is vital. Regular exercise reduces the risk of chronic diseases, boosts mental wellbeing, and enhances quality of life. But maybe you don't know that KOMPAN is also a fitness equipment manufacturer.

Here is what we do: We specialize in creating effective, cutting-edge fitness equipment that brings health and wellness to everyone. Our aim is to transform parks and recreational spaces into vibrant, active community hubs.

Why KOMPAN? Because we create proven, effective outdoor fitness equipment for all users, all purposes, and all locations. And we have done so for many years. For communities, accessible outdoor fitness areas foster a more active population, encourage social connections, lower healthcare costs, and build community pride.

With our state-of-the-art equipment, you're promoting exercise and inspiring a healthier, happier community.

Ready. Steady. Go!



KOMPAN



Let's move

THE RIGHT INTENSITY IS IMPORTANT

**85%**

High — but
dangerous

60-85%

Moderate — effective
training

0-60%

Low — low effect

EFFECTIVE OUTDOOR FITNESS

For all users, all purposes, and all locations



We want all users of a KOMPAN outdoor fitness site to feel like they belong. We are all different. That's why we create exercise equipment for people of all abilities. With KOMPAN products, this is achieved in two ways: scalable user positions and adjustable resistance. In other words, no matter who you are, you will be able to use KOMPAN's equipment in a way that optimizes your personal results. Bit by bit. One step at a time.

Whether for health or performance, we know from science that the intensity, duration, and type of exercise create

results. It seems evident that exercise equipment must have the functionality to accommodate these demands.

However, this is not always the case for outdoor fitness. And we are changing that. With our high-quality equipment, you can recreate a functional, effective outdoor fitness site, just like the indoor gyms you've always known.

The most effective exercise takes place in the moderate to high-intensity category. Because people are different, equipment must be able to offer a wide range of different workloads.



Let's move

THE SCIENCE OF EXERCISE

Product development based on research



When the outdoor fitness boom started 20 years ago, equipment was at a very primitive stage. We strongly believe that outdoor fitness should provide the same quality of exercise and engagement as indoor gyms. We can achieve this by using science and testing.

The KOMPAN Fitness Institute supports our commitment to excellence. With a strong research background, KOMPAN ensures product development is based on the latest health and exercise science. For us, knowledge and best

practices are the foundation of bringing the best fitness solution to your community.

We conduct our own research and collaborate with universities and a network of experts. This ensures that our equipment, whether designed for seniors or athletes of all abilities, is safe and effective. The knowledge and insights gained from science and best practices are directly applied to our product development every step of the way.



The cardiorespiratory effectiveness of the cross trainer is validated with the same test methods used on professional athletes.

The screen shows muscle activity when exercising on the cross trainer. The design of all KOMPAN equipment is carefully fine-tuned to give the optimal effect and experience for the user.





KOMPAN

Let's move

FITNESS FOR ALL

Inclusive outdoor fitness



A visit to a KOMPAN play or fitness site offers positive experiences for children and adults of all abilities. Choosing KOMPAN means you're investing in parks and recreational areas for a healthier, more connected community. For all types of people.

Our exercise equipment encourages social interaction, physical activity, and mental well-being, making your park a vibrant hub for all residents.

With a universal design approach, our solutions cater to the needs of all individuals, ensuring that everyone can enjoy our fitness sites, regardless of their abilities.

We recognize that everyone has individual limits and goals. Our inclusive playgrounds and fitness areas provide engaging and supportive environments to reach and surpass those limits, resetting the bar for individuals of all abilities to advance and grow.



FITNESS AREAS FOR ALL:

Principles for inclusive outdoor fitness:

- Accessibility
- Usability
- Adjustability
- Products having clear color and design signals
- Multi-functionality (when possible)
- Combining general and specific functionality



USABLE FOR ALL

The multi-level activities of the fitness products make them usable for all.

Download the white papers on inclusive design research and recommendations for playgrounds and fitness grounds from our website: www.kompan.com.

When visiting a KOMPAN fitness site, the app will show the user how to use the equipment on site and get an efficient workout. It's a great guide, particularly for inexperienced users.



KOMPAN Fit app
Available for download in
App Store or Google Play.

RESPONSIBLE WORKOUTS

A guide to performing exercises correctly — and much more!



Encouraging outdoor activity goes beyond installing fitness equipment in a park or recreational area. Inspiring, educating, and motivating people to visit and use the fitness site is essential. The KOMPAN Fit app offers a range of tools to help the residents in your area work up a sweat, build strength, and stay motivated anywhere. The app

is free and serves as a digital personal trainer, ensuring users are guided in their workouts and exercises.

The best thing: The solution is just a click away on a smartphone and connects users with your KOMPAN fitness site.

Let's move