



# APPLICATION SPECIAL USE PERMIT

**SPECIAL USE PERMIT #** \_\_\_\_\_

601 and 619 S. Patrick, Alexandria, Virginia

**PROPERTY LOCATION:** \_\_\_\_\_

80.01 03 11 and 31

**TAX MAP REFERENCE:** \_\_\_\_\_

**ZONE:** CSL

**APPLICANT:**

Valhalla Property Holding, LLC, a Virginia limited liability company

Name: \_\_\_\_\_

Address: \_\_\_\_\_

**PROPOSED USE:** Special Use Permit for a Recreational and Entertainment Use, outdoor (section 4-303 (W.1)) for roof top exercise area associated with first floor health and athletic club.

- ☒ THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Duncan W. Blair, Attorney/Agent

Print Name of Applicant or Agent

\_\_\_\_\_

Mailing/Street Address

\_\_\_\_\_

City and State

Zip Code

Signature

\_\_\_\_\_

N/A

Date

Telephone #

\_\_\_\_\_

Fax #

Email address

### PROPERTY OWNER'S AUTHORIZATION

As the property owner of 601 & 619 South Patrick Street, Alexandria, Virginia 22314, I hereby  
(Property Address)  
grant the applicant authorization to apply for the Recreational and Entertainment use - outdoor.  
(use)  
described in this application.

Name: Valhalla Property Holding, LLC

Phone: C/O [REDACTED]

Address: Please Print [REDACTED]

Email: [REDACTED]

Signature: By: [Signature]  
Duncan W. Blair, Attorney Agent

Date: 8 28 25

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

☐ Required floor plan and plot/site plan attached.

☐ Requesting a waiver. See attached written request.

2. The applicant is the (check one):

☐ Owner

☐ Contract Purchaser

☐ Lessee or

☐ Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

Valhalla Property Holding, LLC is a Virginia limited liability company. The sole member of the

limited liability company is Desiree Marvin. [REDACTED]

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Valhalla Property Holding		100%
2. Desiree Marvin		100% of VPH, LLC
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 601 and 619 South Patrick St. Alex, VA. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Valhalla Property Holding LLC		100%
2. Desiree Marvin		100% of VPH, LLC
3.		

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Valhalla Property Holding LLC	None	
2. Desiree Marvin	None	
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8 29 25

Duncan W. Blair, Attorney/Agent

Date

Printed Name

Signature

☐ **Yes.** Provide proof of current City business license A copy will be provided upon request.

## NARRATIVE DESCRIPTION

See attached Narrative.

This image shows a single page of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page, leaving small margins at the top and bottom. There is no handwriting or other markings on the paper.

Valhalla Property Holding LLC, a Virginia limited liability (the “Applicant”) is requesting a Special Use Permit for recreational and educational use for a roof top outdoor workout area associated with the first-floor health and athletic club. This Special Use Permit is only for the roof top recreational and educational use as the Health and Athletic Club is a by-right permitted use.

The Applicant plans to renovate the existing building and to convert it into a Scandinavian design, upscale bodybuilding gym. Extra windows will be added for natural light where windows have since been sealed up. The health and athletic club will be open 24 hours, seven days a week, with staff on hand. Personal trainers will be available, but there will be no "workout classes." The facility will be an open concept layout. There will be state-of-the art heavy lifting equipment, and cardio machines. Along the north wall will be the locker rooms, with a central area between them for hot saunas, cold plunges, and red-light therapy. There will also be a posing room for athletes to practice their stage routines.

On the rooftop there will be outdoor space for working out along with battle ropes, cages for lifting, tires for flipping, and push/pull sleds as well as a large walking lap around the perimeter of the roof with glass railings and green turf in the center.

This facility will refresh that part of town with new life and will be a popular spot for people going to and from work.

We have basic gyms and grungy gyms in Alexandria, but nothing that combines both heavy lifting and an upscale "spa like" appeal.

## USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):  
[✓] a new use requiring a special use permit,  
[ ] an expansion or change to an existing use without a special use permit,  
[ ] an expansion or change to an existing use with a special use permit,  
[ ] other. Please describe: \_\_\_\_\_
5. Please describe the capacity of the proposed use: Note: These responses are inclusive of the both the first floor Health and Athletic Club and the Roof top Recreational and Entertainment Use.
- A. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).  
It is anticipated that the facility will have 50 patrons per day. \*
- B. How many employees, staff and other personnel do you expect?  
Specify time period (i.e., day, hour, or shift).  
It is anticipated the facility will have a staff of 10 employees working on a full or part time basis. \*
6. Please describe the proposed hours and days of operation of the proposed use: Note: This response is inclusive First floor Health and Athletic Club and the Roof top Recreational and Entertainment Use.
- Day: Seven day a week. Hours: Members will have access 24 hours a day. \*
- SEE ATTACHED SUPPLEMENT RESPONSE TO QUESTIONS 5 AND 6.**
7. Please describe any potential noise emanating from the proposed use.
- A. Describe the noise levels anticipated from all mechanical equipment and patrons.  
It is not anticipated that noise levels will exceed the noise level permitted by the City of Alexandria's Noise Ordinance.
- B. How will the noise be controlled?  
The outdoor rooftop recreational and educational use area will be surrounded by glass partitions on the exterior parapet wall to shield the area from will and ambient noise.

**SPECIAL USE PERMIT 2025-00054**

**601 & 619 South Patrick Street, Alexandria Virginia**

**Supplemental Response to Questions 5 and 6 of the**

**Use Characteristics section of the SUP Application dated 9 4 25**

**The applicant is requesting that the Recreational and Entertainment Area hours be 7 days a week and 24 hours a day for the use and enjoyment of the members. That said it is doubtful that of the anticipated 50 patrons a day as cited in the response to Question 5 more that 50% of the patrons will utilize the rooftop equipment daily. Of the 25 patrons, it is likely that they will be spread out during the day. It is not anticipated that there will be any organized classes where groups of patrons would be present in the recreational and educational use area of the facility. As shown on the plan the roof top area is enclosed with a glass screen wall on three sides and a structure on the fourth.**

- 8.** Describe any potential odors emanating from the proposed use and plans to control them:

It is not anticipated that offensive odors will be generated by the use of the

roof top as a recreational and educational use associated with the ground floor

health and athletic club.

- 9.** Please provide information regarding trash and litter generated by the use. Not Applicable.

- A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

- B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

- C. How often will trash be collected?

- D. How will you prevent littering on the property, streets and nearby properties?

It is not anticipated that the use of the property as a health and athletic club and the roof top as a recreational and education use will generate litter.

- 10.** Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:



- 11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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- 12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?

It is not anticipated that extraordinary measures will be needed to protect

the safety of nearby residents, employees or patrons.

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## ALCOHOL SALES

**13.**

- A. Will the proposed use include the sale of beer, wine, or mixed drinks?

☐ Yes ☒ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

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## PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

\_\_\_\_\_ 40 Standard spaces  
 \_\_\_\_\_ Compact spaces  
 \_\_\_\_\_ Handicapped accessible spaces.  
 \_\_\_\_\_ Other.

<p align="center"><b>Planning and Zoning Staff Only</b></p> <p>Required number of spaces for use per Zoning Ordinance Section 8-200A _____</p> <p>Does the application meet the requirement?</p> <p align="center"><input type="checkbox"/> Yes   <input type="checkbox"/> No</p>
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- B. Where is required parking located? (*check one*)
- ☒ on-site
- ☐ off-site

If the required parking will be located off-site, where will it be located?

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**PLEASE NOTE:** Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

☐ **Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? \_\_\_\_\_ One

<p align="center"><b>Planning and Zoning Staff Only</b></p> <p>Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____</p> <p>Does the application meet the requirement?</p> <p align="center"><input type="checkbox"/> Yes   <input type="checkbox"/> No</p>
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- B. Where are off-street loading facilities located? The loading area is located on the west side of the building accessed by a 15' alley of Gibbon Street
- C. During what hours of the day do you expect loading/unloading operations to occur?  
It is anticipated that deliveries would occur during daytime business hours.
- D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?  
It is anticipated that there will be two or three deliveries per day.
16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?  
No street improvements are required or proposed.

## SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? ☒ Yes ☐ No
- Do you propose to construct an addition to the building? ☐ Yes ☒ No
- How large will the addition be? \_\_\_\_\_ square feet.
18. What will the total area occupied by the proposed use be?  
15,561 sq. ft. (existing) + 0 sq. ft. (addition if any) = 15,561 sq. ft. (total)
19. The proposed use is located in: *(check one)*
- ☒ a stand alone building
- ☐ a house located in a residential zone
- ☐ a warehouse
- ☐ a shopping center. Please provide name of the center: \_\_\_\_\_
- ☐ an office building. Please provide name of the building: \_\_\_\_\_
- ☐ other. Please describe: \_\_\_\_\_

End of Application



## Department of Planning & Zoning Special Use Permit Application Checklist

### Supplemental application for the following uses:

- ☐ Automobile Oriented
- ☐ Parking Reduction
- ☐ Signs
- ☐ Substandard Lot
- ☐ Lot modifications requested with SUP use

### Interior Floor Plan

- ☐ Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

### If Applicable

- ☒ Plan for outdoor uses

### Contextual site image

- ☒ Show subject site, on-site parking area, surrounding buildings, cross streets





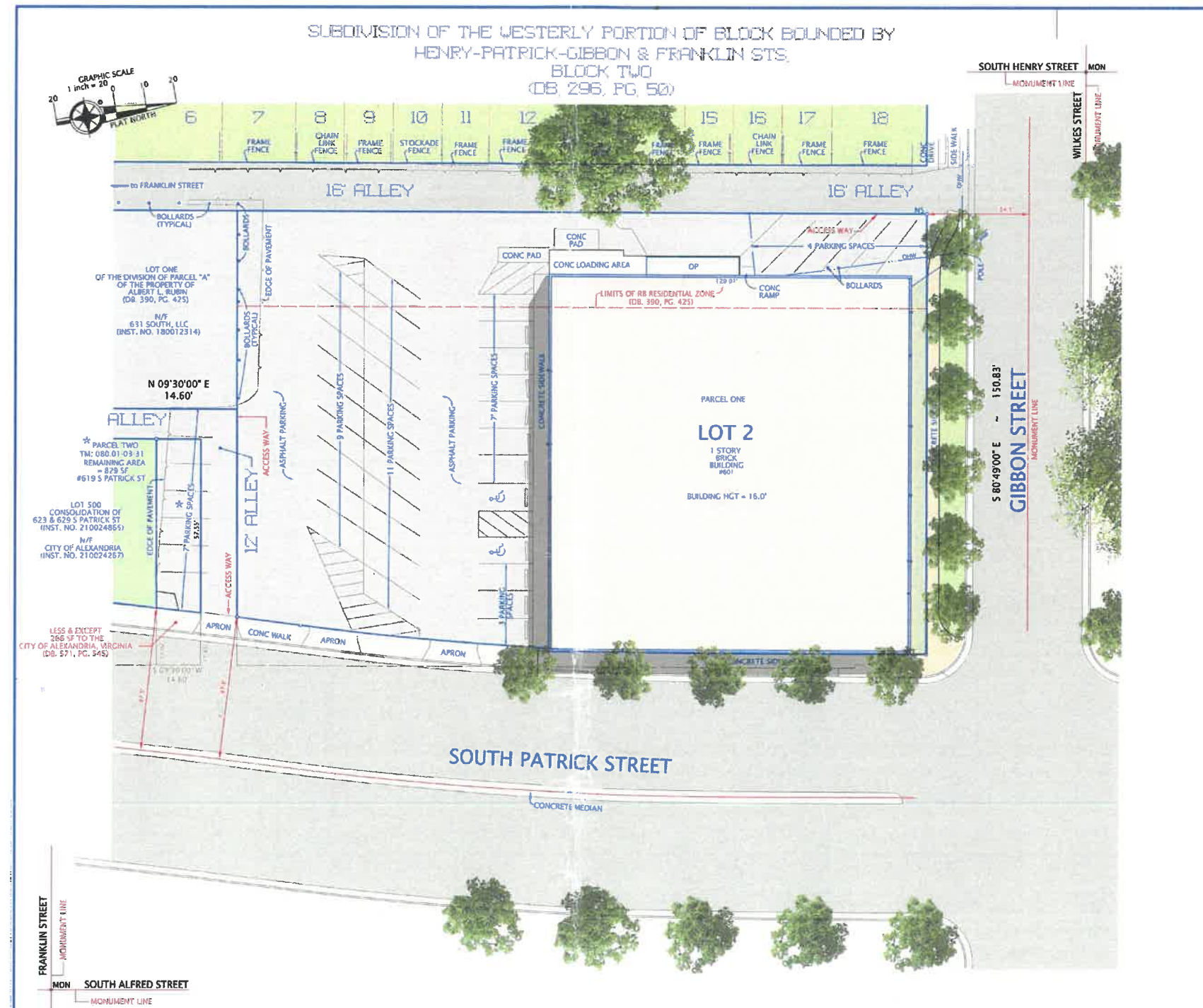
West Marine - 601 South Patrick Street



Imagery ©2025 Airbus, Maxar Technologies, Map data ©2025 50 ft







1 Site Plan  
1" = 20'-0"

DADA  
1026 KING ST.  
ALEXANDRIA, VIRGINIA  
703.836.8457

MARVIN GYM  
601 S PATRICK ST  
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT  
07/28/2025

ISSUE DATE

SITE PLAN

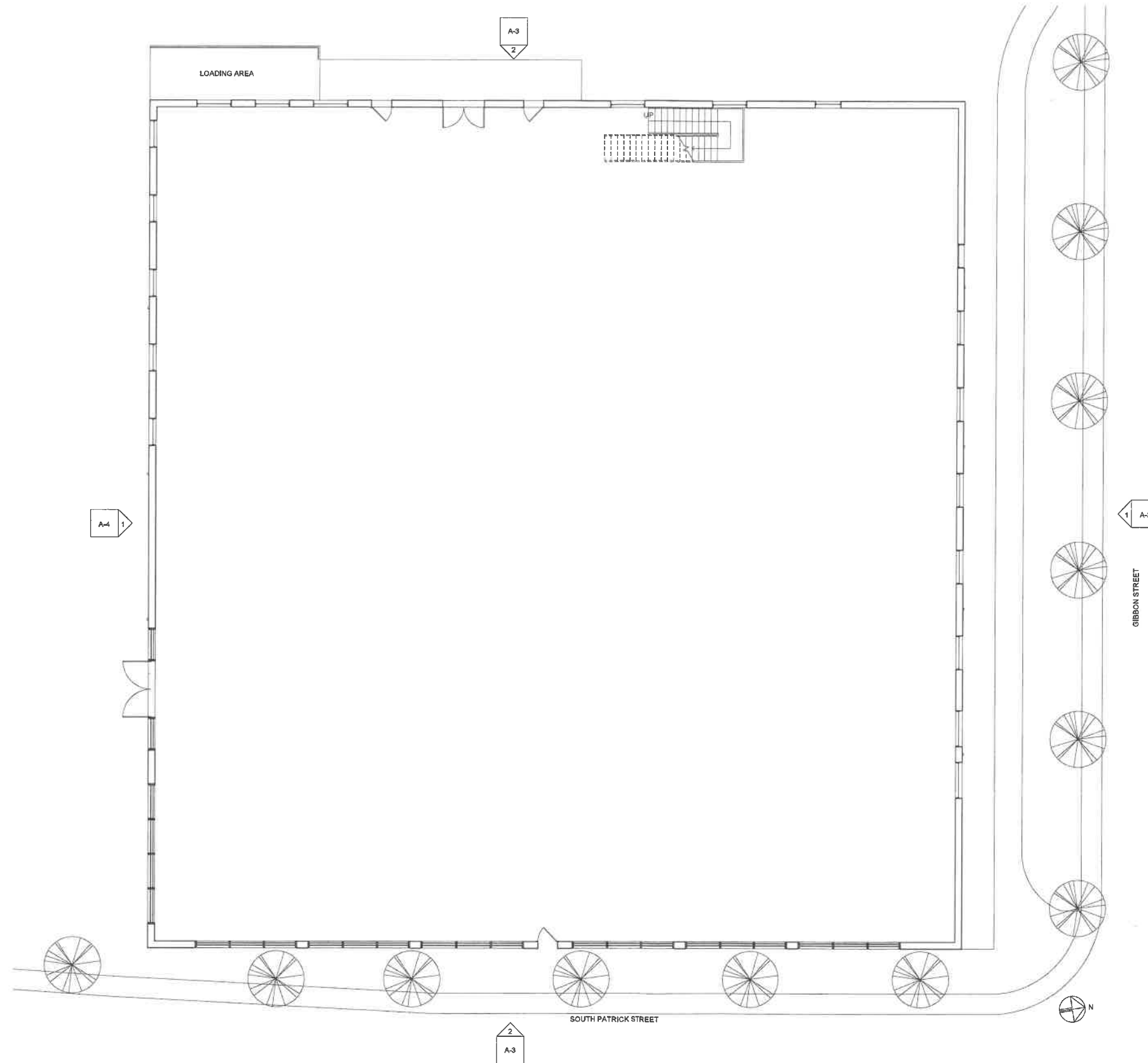
DRAWING TITLE

SCALE 1" = 20'-0"

A-0

SHEET NO.

FOR DESIGN ONLY. NOT FOR PERMIT OR CONSTRUCTION



1 Proposed First Floor Plan  
1/8" = 1'-0"

**DADA**  
1025 KING ST.  
ALEXANDRIA, VIRGINIA  
703.356.0437

**MARVIN GYM**  
601 S PATRICK ST  
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT  
07/28/2025

ISSUE DATE

**PROPOSED 1ST  
FLOOR PLAN**

DRAWING TITLE

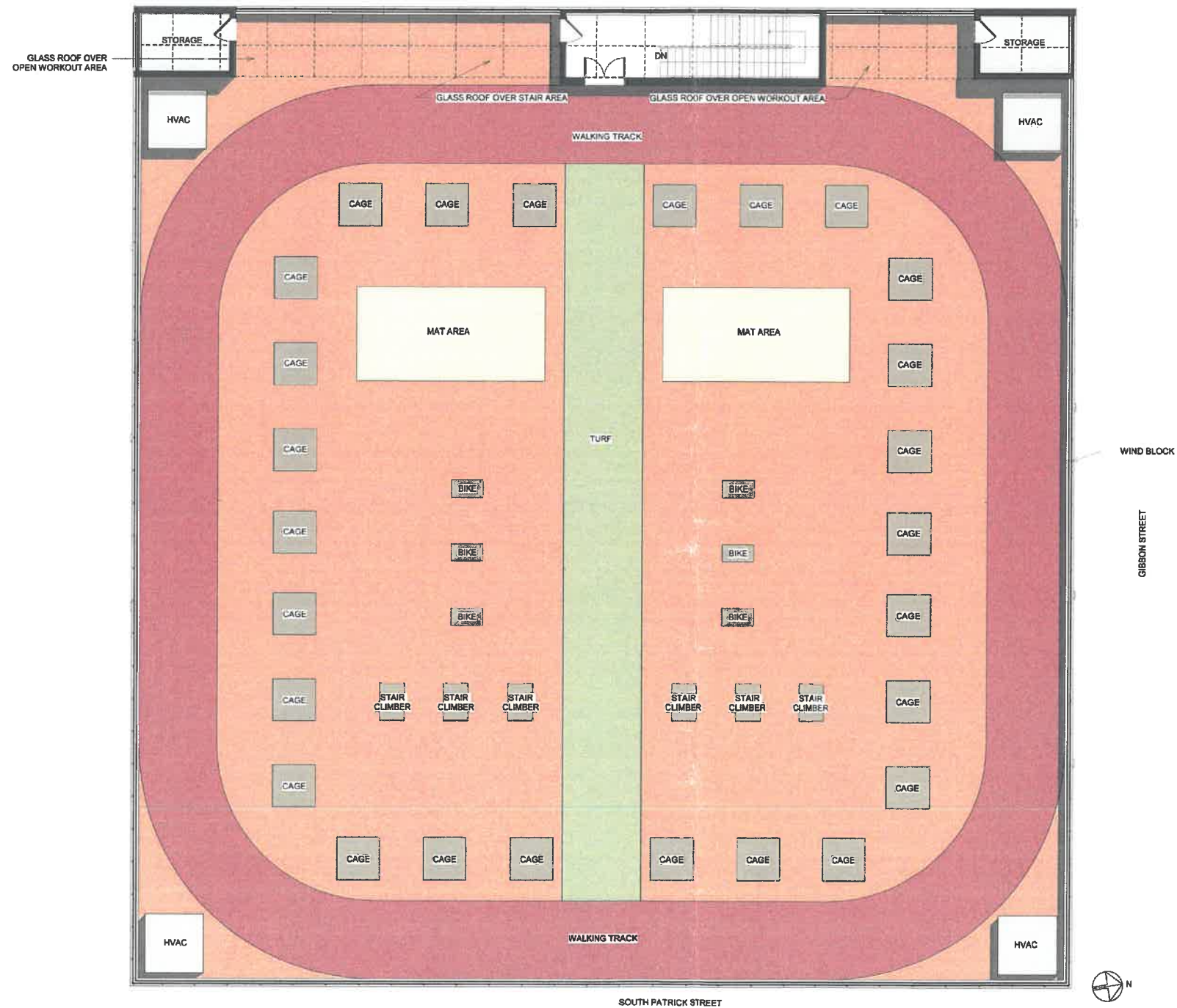
SCALE: 1/8" = 1'-0"

**A-1**

SHEET NO.

FOR BIDDING ONLY, NOT FOR PERMIT OR CONSTRUCTION





1 Proposed Roof Plan  
1/8" = 1'-0"

**DADA**  
1026 KING ST,  
ALEXANDRIA, VIRGINIA  
703.836.6457

**MARVIN GYM**  
601 S PATRICK ST  
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT  
07/28/2025

ISSUE DATE

**PROPOSED ROOF  
PLAN**

DRAWING TITLE

SCALE 1/8" = 1'-0"

**A-2**

SHEET NO.

FOR DESIGN ONLY - NOT FOR PERMIT OR CONSTRUCTION

**DADA**  
1026 KING ST.  
ALEXANDRIA, VIRGINIA  
703.336.9437

**MARVIN GYM**  
601 S PATRICK ST  
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT  
07/28/2025

ISSUE DATE  
**PROPOSED  
ELEVATIONS**

DRAWING TITLE  
SCALE: 1/8" = 1'-0"

**A-3**

SHEET NO.  
FOR BIDDING ONLY. NOT FOR PERMIT OR CONSTRUCTION



① North (Gibbon St.) Elevation  
1/8" = 1'-0"



② East (South Patrick St.) Elevation  
1/8" = 1'-0"



③ Typical Wind Wall Detail  
1/8" = 1'-0"

DADA  
1025 KING ST.  
ALEXANDRIA, VIRGINIA  
703.836.8437

MARVIN GYM  
601 S PATRICK ST  
ALEXANDRIA, VIRGINIA

SPECIAL USE PERMIT  
07/28/2025

ISSUE DATE

PROPOSED  
ELEVATIONS

DRAWING TITLE

SCALE: 1/8" = 1'-0"

A-4

SHEET NO.

FOR BIDDING ONLY - NOT FOR PERMIT OR CONSTRUCTION



① South (Parking Lot) Elevation  
1/8" = 1'-0"



② West (Alley) Elevation  
1/8" = 1'-0"



# SOLUTIONS

OUTDOOR FITNESS AND SPORT

KOMPAN<sup>®</sup>

Let's move



# FITNESS & SPORT FOR OUTDOORS

For all users, all purposes, and all locations



Welcome to KOMPAN, your ultimate destination for outdoor fitness innovation.

You already know staying fit and healthy is vital. Regular exercise reduces the risk of chronic diseases, boosts mental wellbeing, and enhances quality of life. But maybe you don't know that KOMPAN is also a fitness equipment manufacturer.

Here is what we do: We specialize in creating effective, cutting-edge fitness equipment that brings health and wellness to everyone. Our aim is to transform parks and recreational spaces into vibrant, active community hubs.

Why KOMPAN? Because we create proven, effective outdoor fitness equipment for all users, all purposes, and all locations. And we have done so for many years. For communities, accessible outdoor fitness areas foster a more active population, encourage social connections, lower healthcare costs, and build community pride.

With our state-of-the-art equipment, you're promoting exercise and inspiring a healthier, happier community.

**Ready. Steady. Go!**







THE RIGHT INTENSITY IS IMPORTANT

85-100%

High — very effective  
but difficult to sustain

60-85%

Moderate — effective  
training

0-60%

Low — low effect



# EFFECTIVE OUTDOOR FITNESS

For all users, all purposes, and all locations



We want all users of a KOMPAN outdoor fitness site to feel like they belong. We are all different. That's why we create exercise equipment for people of all abilities. With KOMPAN products, this is achieved in two ways: scalable user positions and adjustable resistance. In other words, no matter who you are, you will be able to use KOMPAN's equipment in a way that optimizes your personal results. Bit by bit. One step at a time.

Whether for health or performance, we know from science that the intensity, duration, and type of exercise create

results. It seems evident that exercise equipment must have the functionality to accommodate these demands.

However, this is not always the case for outdoor fitness. And we are changing that. With our high-quality equipment, you can recreate a functional, effective outdoor fitness site, just like the indoor gyms you've always known.

The most effective exercise takes place in the moderate to high-intensity category. Because people are different, equipment must be able to offer a wide range of different workloads.



Let's move



# THE SCIENCE OF EXERCISE

## Product development based on research



When the outdoor fitness boom started 20 years ago, equipment was at a very primitive stage. We strongly believe that outdoor fitness should provide the same quality of exercise and engagement as indoor gyms. We can achieve this by using science and testing.

The KOMPAN Fitness Institute supports our commitment to excellence. With a strong research background, KOMPAN ensures product development is based on the latest health and exercise science. For us, knowledge and best

practices are the foundation of bringing the best fitness solution to your community.

We conduct our own research and collaborate with universities and a network of experts. This ensures that our equipment, whether designed for seniors or athletes of all abilities, is safe and effective. The knowledge and insights gained from science and best practices are directly applied to our product development every step of the way.



The cardiorespiratory effectiveness of the cross trainer is validated with the same test methods used on professional athletes.

The screen shows muscle activity when exercising on the cross trainer. The design of all KOMPAN equipment is carefully fine-tuned to give the optimal effect and experience for the user.





# FITNESS FOR ALL

## Inclusive outdoor fitness



A visit to a KOMPAN play or fitness site offers positive experiences for children and adults of all abilities. Choosing KOMPAN means you're investing in parks and recreational areas for a healthier, more connected community. For all types of people.

Our exercise equipment encourages social interaction, physical activity, and mental well-being, making your park a vibrant hub for all residents.

With a universal design approach, our solutions cater to the needs of all individuals, ensuring that everyone can enjoy our fitness sites, regardless of their abilities.

We recognize that everyone has individual limits and goals. Our inclusive playgrounds and fitness areas provide engaging and supportive environments to reach and surpass those limits, resetting the bar for individuals of all abilities to advance and grow.

## FITNESS AREAS FOR ALL:

Principles for inclusive outdoor fitness:

- Accessibility
- Usability
- Adjustability
- Products having clear color and design signals
- Multi-functionality (when possible)
- Combining general and specific functionality



### USABLE FOR ALL

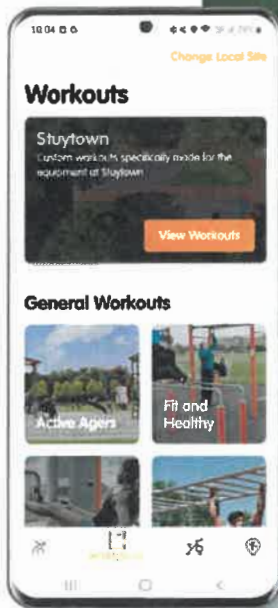
The multi-level activities of the fitness products make them usable for all.



Download the white papers on inclusive design research and recommendations for playgrounds and fitness grounds from our website: [www.kompan.com](http://www.kompan.com).



When visiting a KOMPAN fitness site, the app will show the user how to use the equipment on site and get an efficient workout. It's a great guide, particularly for inexperienced users.



Personal Digital Trainer



**KOMPAN Fit app**  
Available for download in  
App Store or Google Play.

# RESPONSIBLE WORKOUTS

A guide to performing exercises correctly — and much more!

Encouraging outdoor activity goes beyond installing fitness equipment in a park or recreational area. Inspiring, educating, and motivating people to visit and use the fitness site is essential. The KOMPAN Fit app offers a range of tools to help the residents in your area work up a sweat, build strength, and stay motivated anytime, anywhere. The app

is free and serves as a digital personal trainer, ensuring users are guided in their workouts and exercises.

The best thing: The solution is just a click away on a smartphone and connects users with your KOMPAN fitness site.

Let's move