

Docket Item # 4
BAR CASE # 2017-00436

BAR Meeting
December 6, 2017

ISSUE: Certificate of Appropriateness

APPLICANT: City of Alexandria, Department of Project Implementation

LOCATION: Public Right-of-Way at 621 Wythe Street

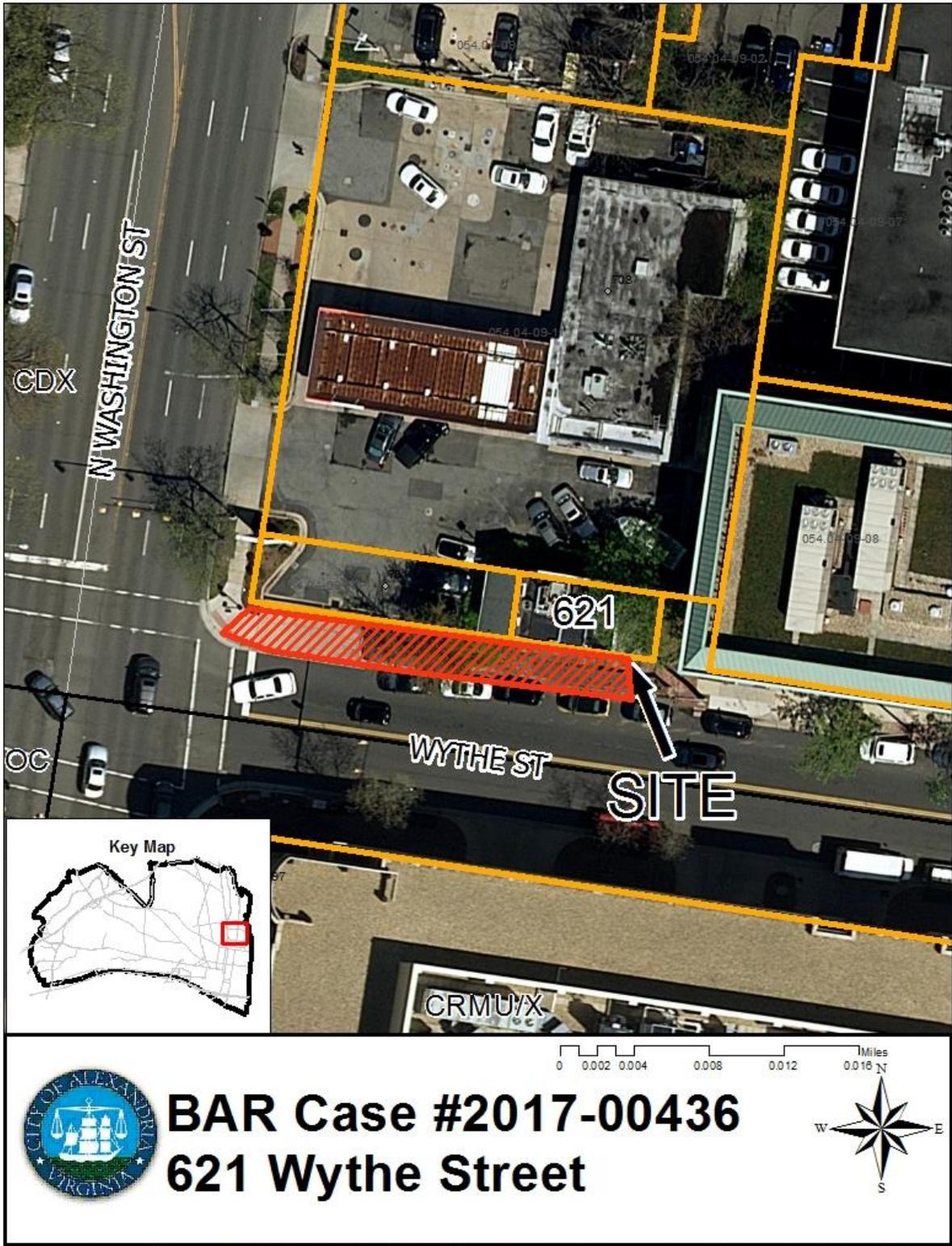
ZONE: N/A

STAFF RECOMMENDATION

Staff recommends approval as submitted.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a stamped copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. ISSUE

The City's Department of Project Implementation (DPI) plans to construct a new sidewalk on the north side of the 600 block of Wythe Street where there currently is no sidewalk in the right-of-way. The project area is adjacent to 621 Wythe Street. Due to the grade change from street level to the adjacent parcel, it is necessary to construct a 2'-2.5' retaining wall which will be brick-faced and approximately 65' in length. The height will vary by 6 inches along the length to accommodate the grade change.

II. HISTORY

The two-story brick commercial building at 621 Wythe Street first appears on a map from 1912 with later additions being built in 1921 and 1976. This parcel and building are located approximately four feet above street grade. It does not appear that there has ever been a continuous sidewalk on the north side of Wythe Street.

III. ANALYSIS

The BAR's purview is the entirety of the area within the historic district's boundaries, including the public right-of-way. As a reminder, the BAR's longstanding practice is to not review at-grade paving materials unless they are used for vehicles. Therefore, the only item before the BAR is the 2' brick retaining wall.

When staff from the Department of Project Implementation first consulted with BAR staff, the retaining wall was proposed to be a VDOT-standard concrete retaining wall with a safety railing above it. BAR staff expressed concern with such an approach in the historic district, particularly adjacent to the historic building at 621 Wythe Street. The project team restudied alternatives and suggested the current proposal for a brick-faced retaining wall with no guardrail. Staff finds that the brick retaining wall will be compatible with the character of the historic district.

Staff recommends approval of the revised plans, as submitted.

STAFF

Catherine K. Miliaras, Principal Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Planning - Zoning

No comment.

Planning – Neighborhood Planning

C-1 Wythe Street is identified as a green street in the Old Town North Small Area Plan. Explore planting options in coordination with staff as construction occurs.

Code Administration

C-1 A building permit, plan review and inspections are required.

Transportation and Environmental Services

No comments received

Alexandria Archaeology

F-1 There is low potential for significant archaeological resources to be disturbed by this project. No archaeological action is required. However, two conditions apply as listed below.

R-1 The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

R-2 The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

R-3 The statements in Conditions 1 and 2 above shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Erosion and Sediment Control, Grading, and Sheeting and Shoring) so that on-site contractors are aware of the requirements. Additional statements to be included on the Final Site Plan will be determined in consultation with Alexandria Archaeology.

V. ATTACHMENTS

1– Application for BAR 2017-0436: 621 Wythe Street

2 – Supplemental Materials

BAR Case # _____

ADDRESS OF PROJECT: Right-of-Way (in front of 701 N. Washington Street and 621 Wythe Street, Alexandria, VA 22314)

TAX MAP AND PARCEL: _____ ZONING: ROW

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: City of Alexandria - Department of Project Implementation

Address: 301 King Street

City: Alexandria State: VA Zip: 22314

Phone: 703-746-4054 E-mail: daphne.kott@alexandriava.gov

Authorized Agent (if applicable): Attorney Architect _____

Name: Daphne Kott Phone: 703-746-4055

E-mail: daphne.kott@alexandriava.gov

Legal Property Owner:

Name: City of Alexandria

Address: 301 King Street

City: Alexandria State: VA Zip: 22314

Phone: 703-746-4054 E-mail: _____

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

The purpose of this project is to provide sidewalk on the north side of Wythe St. between N. Washington St. and N. St. Asaph St. The lack of sidewalk in the existing location creates a safety hazard for pedestrians, who are forced to walk in the street or cross mid-block. To facilitate the construction of the sidewalk, a brick veneered concrete masonry unit wall with a 2' maximum height is proposed. The new wall will be approximately 65 linear feet in total length.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- X Survey plat showing the extent of the proposed demolition/encapsulation.
- X Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- X Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- X Description of the reason for demolition/encapsulation.
- X Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- X Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- X FAR & Open Space calculation form.
- X Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- X Existing elevations must be scaled and include dimensions.
- X Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- X Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- X Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- X For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- X Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- X Square feet of existing signs to remain: _____.
- X Photograph of building showing existing conditions.
- X Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- X Location of sign (show exact location on building including the height above sidewalk).
- X Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- X Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- X Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- X Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- X Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- X An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- X Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- NA I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- X I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- X I, the applicant, or an authorized representative will be present at the public hearing.
- X I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Daphne J Kott

Printed Name: Daphne Kott, Design Division Chief - Project Implementation

Date: 11/6/2017

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. City of Alexandria	301 King Street, Alexandria VA 22314	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the pr Alexandria ed at ROW (in front of 701 N Washington St. and 621 Wythe St) (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. City of Alexandria	301 King Street, Alexandria VA 22314	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. NA		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

11/6/2017 Daphne Kott Daphne Kott
Date Printed Name Signature

CITY OF ALEXANDRIA, VIRGINIA

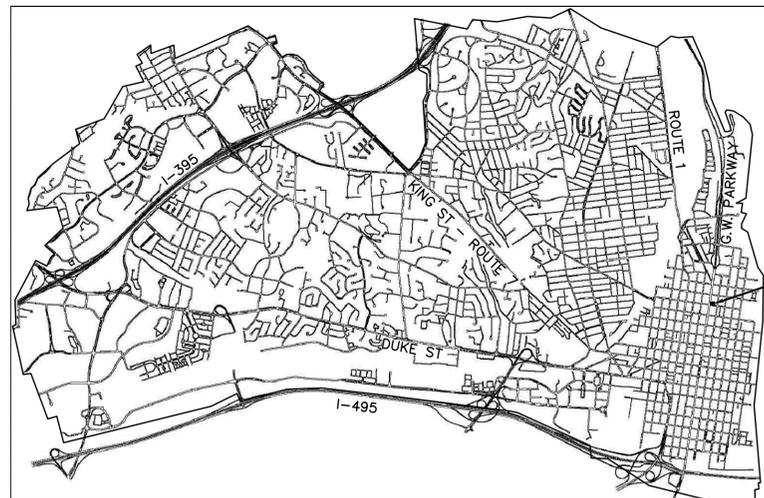


WYTHE STREET SIDEWALK



PROJECT AREA MAP
SCALE 1" = 250'

PROJECT LOCATION



VICINITY MAP
SCALE 1" = 4000'

SHEET INDEX	
SHEET NO.	SHEET NAME
1	COVER SHEET
2	GENERAL NOTES
3	EROSION AND SEDIMENT CONTROL NOTES AND DETAIL
4	EXISTING CONDITIONS AND DEMOLITION PLAN
5	SITE PLAN
6	GRADING PLAN
7	CROSS SECTIONS
8	DETAILS

PROJECT DESCRIPTION:
THE PROJECT PROPOSE TO CONSTRUCT A NEW SIDEWALK (APPROXIMATELY 100' IN LENGTH) ALONG THE NORTH SIDE OF WYTHE STREET AND EAST OF NORTH WASHINGTON STREET.

THE LACK OF SIDEWALK IN THE EXISTING LOCATION CREATES A SAFETY HAZARD FOR PEDESTRIANS, WHO ARE FORCED TO WALK IN THE STREET OR CROSS MIBLOCK. CONSTRUCTION OF THE SIDEWALK WOULD IMPROVE PEDESTRIAN SAFETY AND ACCESS IN OLD TOWN NORTH.

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES.

APPROVED
X _____ DATE: _____
DIRECTOR

RECOMMENDED FOR APPROVAL
X _____ DATE: _____
DEPUTY DIRECTOR OF OPERATIONS

RECOMMENDED FOR APPROVAL
X _____ DATE: _____
DEPUTY DIRECTOR OF INFRASTRUCTURE & ENVIRONMENT

RECOMMENDED FOR APPROVAL
X _____ DATE: _____
DEPUTY DIRECTOR OF TRANSPORTATION

DEPARTMENT OF PROJECT IMPLEMENTATION
APPROVED
X _____ DATE: _____
DIRECTOR

RECOMMENDED FOR APPROVAL
X _____ DATE: _____
DIVISION CHIEF CONSTRUCTION



FINAL



CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PROJECT IMPLEMENTATION
301 KING STREET
ALEXANDRIA, VIRGINIA 22313

DATE	BY	DESCRIPTION

ALEXANDRIA PROJECT NO.: 1603046
DATE OF PLAN ISSUANCE: N/A
CONSULTANT PROJECT ID: N/A
DESIGNED BY: MN DATE: 11/06/17
DRAWN BY: MN DATE: 11/06/17
CHECKED BY: DK DATE: 11/06/17
APPROVED BY: MB DATE: 11/06/17

WYTHE STREET SIDEWALK

COVER SHEET

SHEET
1 of 8
SCALE AS SHOWN

PROJECT NARRATIVE

THE PURPOSE OF THE PROJECT IS TO PROVIDE SIDEWALK ON THE NORTH SIDE OF WYTHE ST. BETWEEN N. WASHINGTON ST. AND N. ST. ASAPH ST.

EXISTING CONDITIONS SURVEY NOTES

- HORIZONTAL DATUM: NAD 1983
VERTICAL DATUM: NAVD 1988
- UTILITY AND TOPOGRAPHY INFORMATION, AS SHOWN ON THIS PLAN, IS TAKEN FROM THE RECORDS AND/OR FIELD SURVEY COMPLETED BY THE CITY, DATED 09/2016; AND CANNOT BE GUARANTEED. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-257-7777, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.
- LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

CITY STANDARD GENERAL NOTES

- "CITY" MEANS THE CITY OF ALEXANDRIA, A MUNICIPAL CORPORATION OF VIRGINIA AND ITS AUTHORIZED REPRESENTATIVES AND EMPLOYEES.
- TOTAL SITE AREA: 2,036 SQUARE FEET OR 0.047 ACRES OF WHICH 2,036 SQUARE FEET OR 0.047 ACRES WILL BE DISTURBED WITH THIS PROJECT.
- THE NATURAL SOILS AT THE SITE CONSIST OF URBAN LAND (HSG-D).
- THE SITE IS LOCATED IN THE CSO-PENDELTON STREET WATERSHED.
- NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A CITY OF ALEXANDRIA RESOURCE PROTECTION AREA.
- ALL NEW CONSTRUCTION WILL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS TO THE CITY RIGHT-OF-WAY SUCH AS CURB, GUTTER, SIDEWALK, AND DRIVEWAY APRONS, ETC., CONSTRUCTED AS PER THE PROJECT TECHNICAL SPECIFICATIONS, PROJECT DETAILS AND THE CITY OF ALEXANDRIA STANDARDS MANUAL.
- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PLACED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND/OR VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH).
- ANY WORK IN THE PUBLIC RIGHT OF WAY SHALL REQUIRE A SEPARATE PERMIT FROM THE CITY.
- THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROJECT.

ARCHAEOLOGY NOTES

- THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE CONTRACTOR SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

NOTES FOR PROPOSED PLANTINGS

- PLANTINGS SHALL BE PROVIDED IN COMPLIANCE WITH LANDSCAPE GUIDELINES OF THE CITY OF ALEXANDRIA.
- IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.
- PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, A PRE-INSTALLATION/CONSTRUCTION MEETING WILL BE SCHEDULED WITH THE CITY'S ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW PLANT INSTALLATION PROCEDURES AND PROCESSES.

UTILITY CONTACTS

DOMINION VIRGINIA POWER 703-838-2478
 VERIZON COMMUNICATIONS 703-212-5261
 COMCAST 703-926-0534
 WASHINGTON GAS 703-750-4256
 PEPCO 202-833-7500
 VIRGINIA AMERICAN WATER 703-706-3889
 SANITARY SEWER - CITY OF ALEX. 703-746-4014

CONTRACTOR SHALL CONFORM TO THE OVERHEAD HIGH VOLTAGE ACT (EFFECTIVE JULY 1, 2003) AND SHALL CONTACT THE NECESSARY AUTHORITIES PRIOR TO START OF CONSTRUCTION.



SEE SHEET 3 FOR ABBREVIATIONS

DEMOLITION NOTES

- NO DEMOLITION CAN BEGIN UNTIL ALL EROSION AND SEDIMENT CONTROLS ARE IN PLACE, AND IS APPROVED BY AN EROSION AND SEDIMENT CONTROL INSPECTOR OF THE CITY.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED, TO ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEALTH (NIOSH).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE CITY AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
- PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE CITY AND OBTAIN DIRECTION S TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- PRIOR TO COMMENCING NEW WORK, THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING ADJACENT AREAS. ALL ADJACENT AREAS DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE CITY.
- THE CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS AS PER THE REQUIREMENTS OF THE CITY.
- THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE CITY.
- DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT SAME TO THE CITY AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- CONTRACTOR SHALL EXERCISE CAUTION WHILE DEMOLISHING NEXT TO EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CITY.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING FOR ALL ITEMS AS INDICATED ON THE PLANS AND SPECIFICATIONS.

ENVIRONMENTAL SITE ASSESSMENT

- THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIABLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS, OR WETLANDS LOCATED ON THE SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:
 - MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND
 - SATURDAYS FROM 9 AM TO 6 PM.
 - NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS.
 - PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS: MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND SATURDAYS FROM 10 AM TO 4 PM.

FIELD QUALITY CONTROL

- CONCRETE WORK
 - CONCRETE MATERIAL, MIXTURES, FORM WORK, COMPACTION REQUIREMENTS, INSTALLATION TOLERANCES AND JOINT MATERIAL SHALL CONFORM WITH VIRGINIA DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE SPECIFICATIONS, 2016.
 - THE CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND PREPARE TEST REPORTS FOR ALL CONCRETE INSTALLATIONS.
- ASPHALT WORK
 - ASPHALT PAVING SHALL COMPLY WITH MATERIALS, WORKMANSHIP, COMPACTION REQUIREMENTS, INSTALLATION TOLERANCES AND OTHER APPLICABLE REQUIREMENTS OF VIRGINIA DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE SPECIFICATIONS, 2016.
 - FOR ALL ASPHALT PAVING, CONTRACTOR SHALL:
 - ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM TESTS AND INSPECTIONS
 - REPLACE AND COMPACT HOT-MIX ASPHALT WHERE CORE TESTS WERE TAKEN
 - REMOVE AND REPLACE OR INSTALL ADDITIONAL HOT-MIX ASPHALT WHERE TEST RESULTS OR MEASUREMENTS INDICATE THAT IT DOES NOT COMPLY WITH SPECIFIED REQUIREMENTS.
- EARTHWORK
 - EXCAVATIONS, GRADING, BORROW MATERIALS, SUBBASE AND BASE MATERIAL, COMPACTION REQUIREMENTS SHALL CONFORM WITH VIRGINIA DEPARTMENT OF TRANSPORTATION, ROAD AND BRIDGE SPECIFICATIONS, 2016.
 - REMOVE ALL SURPLUS SOIL AND WASTE MATERIAL INCLUDING TRASH AND DEBRIS AND LEGALLY DISPOSE OF IT OFF PROJECT SITE.

CONSTRUCTION NOTES

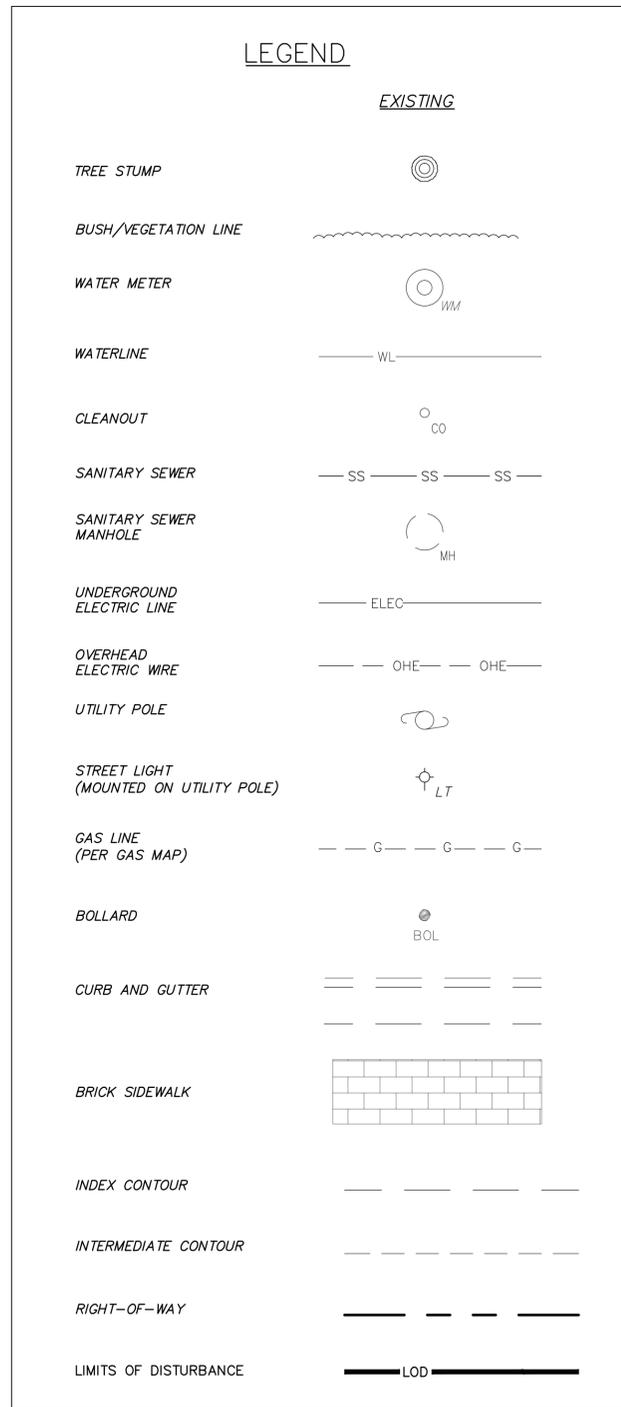
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE CITY AND TAKE NECESSARY ACTION AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUATION OF SERVICE.
- THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED, IF REQUIRED.
- THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY AGENT. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OF OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY.
- EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS INDICATED ON THE EXISTING CONDITIONS AND DEMOLITION PLAN.
- EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO THE ADJACENT CURB, GUTTER, AND RIGHT-OF-WAY, IF DAMAGED DURING CONSTRUCTION ACTIVITY AS DETERMINED BY THE CITY.
- TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
- CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA. CUT SHEETS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE AND/OR THE PONDING OF WATER ON THE ROADWAY.
- ALL PAVEMENT MARKING TO MEET THE REQUIREMENTS OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE OCCURS ON SITE TO PREVENT PONDING OR DRAINAGE PROBLEMS ON ADJACENT PROPERTIES.
- CONTRACTOR MUST ENSURE THAT THERE IS NO DISTURBANCE ON ADJACENT PROPERTIES, UNLESS OTHERWISE NOTED ON PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONNECTION AND/OR CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION INCLUDING THE DEVELOPMENT OF TRAFFIC CONTROL PLANS. ALL TRAFFIC CONTROL COSTS FOR ALL STAGES SHALL BE INCLUDED IN THE BID PRICE FOR "MAINTENANCE OF TRAFFIC (LS)." NO LANES SHALL BE CLOSED DURING CONSTRUCTION. IF LANES NEED TO BE CLOSED TO FACILITATE THE CONSTRUCTION THEN THE CONTRACTOR SHALL PROVIDE A LANE CLOSURE PLAN TO THE SATISFACTION OF THE CITY. TEMPORARY PAVEMENT MARKING AND REMOVAL MAY BE REQUIRED AND SHALL BE INCLUDED IN THE BID PRICE FOR "MAINTENANCE OF TRAFFIC (LS)." NO SIDE AND/OR CROSS WALK SHALL BE CLOSED DURING CONSTRUCTION. IF SIDE AND/OR CROSS WALKS NEED TO BE CLOSED TO FACILITATE THE CONSTRUCTION THEN THE CONTRACTOR SHALL PROVIDE A SIDE AND/OR CROSS WALK CLOSURE PLAN TO THE SATISFACTION OF THE CITY.

SIGNING AND PAVEMENT MARKING

- ALL SIGN WORK AND PAVEMENT MARKING SHALL MEET ALL THE LATEST APPLICABLE VDOT, CITY OF ALEXANDRIA STANDARDS, AND MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) REQUIREMENTS.
- ALL PAVEMENT MARKINGS ARE THERMOPLASTIC UNLESS OTHERWISE NOTED.
- ALL EXISTING PAVEMENT MARKINGS MAY NOT BE SHOWN. ALL EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE ERADICATED.
- ALL SIGNS SHALL BE HIGH INTENSITY SHEETING MEETING THE REQUIREMENTS OF AASHTO M268.
- NO PORTION OF PROPOSED SIGN PANEL SHALL OVERHANG ADJACENT ROADWAY PAVEMENT. I.E. SHALL NOT HANG IN FRONT OF FACE OF CURB.
- PROPOSED SIGN POSTS SHALL BE LOCATED A MINIMUM OF 2 FEET BEHIND ANY ADJACENT FACE OF CURB (ADDITIONAL REQUIREMENTS APPLY TO ACCOMMODATE SIGN PANEL LATERAL AND VERTICAL CLEARANCE). IF LOCATED ADJACENT TO SIDEWALKS, A 32" MINIMUM CLEAR AND 48" PREFERRED PASSING SPACE ON EXISTING AND PROPOSED SIDEWALKS SHALL BE MAINTAINED.
- PROPOSED SIGN POSTS SHALL BE INSTALLED IN NEW LOCATIONS SUCH THAT THE EXISTING SIGNS OR SIGNALS ARE NOT BLOCKED.
- FOR NEW POST INSTALLATION, THE CONTRACTOR SHALL VERIFY THERE ARE NO CONFLICTING UNDERGROUND OR OVERHEAD UTILITIES.
- SIGNS MOUNTED TO EXISTING LIGHT, SIGNAL OR UTILITY POLES SHALL BE FASTENED WITH A MANUFACTURED STEEL BANDING SYSTEM. POLES SHALL NOT BE DRILLED DIRECTLY, THE CONTRACTOR SHALL SUBMIT MANUFACTURER INFORMATION ON THE BANDING SYSTEM TO THE CITY FOR APPROVAL PRIOR TO INSTALLATION.

STORMWATER MANAGEMENT NOTES

- THE SITE LAND DISTURBING ACTIVITY IS UNDER 2,500 SF. NO STORMWATER MANAGEMENT PLAN NOR STORMWATER BEST MANAGEMENT PRACTICES (BMP) HAS BEEN PROPOSED FOR THIS PROJECT. ONSITE TREATMENT OPTIONS FOR WATER QUALITY AND QUANTITY HAVE BEEN CONSIDERED; SITE CONSTRAINTS PROHIBITS THE INSTALLATION OF BMP(S).



SITE DRAINAGE ANALYSIS

RUNOFF FROM THE SITE WILL FLOW TOWARD EXISTING CURB INLET ON THE NORTHWEST CORNER OF WYTHE ST. AND N. SAINT ASAPH ST.. THE 2-YR AND 10-YR PEAK RUNOFF RATE FROM THE SITE WILL INCREASE BY 0.04 CFS AND 0.05 CFS RESPECTIVELY. THE EXISTING DRAINAGE DIVIDES WILL BE MAINTAINED. IT IS THE OPINION OF THE ENGINEER THAT THIS PROJECT WILL NOT HAVE AN ADVERSE EFFECT NOR CAUSE FLOODING OF ANY DOWNSTREAM PROPERTY OR STRUCTURES.

SITE DRAINAGE ANALYSIS AREA TABULATION		
	PRE-DEVELOPMENT	POST-DEVELOPMENT
DISTURBED AREA	2,036 SF (0.047 Ac)	
IMPERVIOUS AREA	1,222 SF	1,675 SF
TURF AREA	814 SF	361 SF
C-FACTOR	0.66	0.79
	Q=CIA, I _{2YR} = 6.25 in/hr, I _{10YR} = 9.0 in/hr	
Q _{2YR}	0.19 CFS	0.23 CFS
Q _{10YR}	0.28 CFS	0.33 CFS
Q _{2YR} - INCREASE	0.04 CFS	
Q _{10YR} - INCREASE	0.05 CFS	

FINAL



CITY OF ALEXANDRIA, VIRGINIA
 DEPARTMENT OF PROJECT IMPLEMENTATION
 301 KING STREET
 ALEXANDRIA, VIRGINIA 22313

REVISIONS
 BY DESCRIPTION

DATE	DESCRIPTION

ALEXANDRIA PROJECT NO.: 1603046
 DATE OF PLAN ISSUANCE: N/A
 CONSULTANT PROJECT ID: N/A

DESIGNED BY: MN DATE: 11/06/17
 DRAWN BY: MN DATE: 11/06/17
 CHECKED BY: DK DATE: 11/06/17
 APPROVED BY: MB DATE: 11/06/17

WYTHE STREET SIDEWALK

GENERAL NOTES

SHEET
 2 of 8

SCALE NA



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EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

SHEET
 3 of 8
 SCALE 1"=20'

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. AN EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED BY THE CITY PRIOR TO ANY LAND DISTURBING ACTIVITY GREATER.
2. THE CONTRACTORS ARE TO KEEP DENUDED AREAS TO A MINIMUM.
3. THE CITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. CERTIFIED RESPONSIBLE LAND DISTURBER (CRLD) IS REQUIRED TO ATTEND PRE-CONSTRUCTION MEETING.
4. ALL EROSION AND SEDIMENT CONTROL MEASURE ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.
5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
6. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS, THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE CITY FOR REVIEW AND APPROVAL.
7. ALL DISTURBED AREAS OF THE SITE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.
8. ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER GRADING.
9. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
10. DURING DEWATERING OPERATION, WATER WILL BE PUMPED THROUGH AND APPROVED FILTERING DEVICE.
11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
12. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
13. STOCKPILE BORROW SOIL MATERIALS AND EXCAVATED SATISFACTORY SOIL MATERIALS WITHOUT INTERMIXING. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER AND COVER TO PREVENT WINDBLOWN DUST IN CONFORMANCE WITH VESCH, CHAPTER 3.
14. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AND AS DETERMINED BY THE CITY OF ALEXANDRIA.
15. ANY DENUDED SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 2500 SQUARE FEET SHALL BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL. AT THE COMPLETION OF THE PROJECT, ALL DISTURBED AREAS SHALL BE STABILIZED PERMANENTLY AND ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED.
16. SEE POLLUTION PREVENTION NOTES FOR ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES.

POLLUTION PREVENTION NOTES

1. ALL SAW CUTTING AND DEMOLITION MUST INCLUDE WATER FOR DUST SUPPRESSION. INLETS MUST BE PROTECTED AND SLURRY MUST NOT ENTER THE STORM INLET. WASTE MATERIALS MUST BE COLLECTED USING DRY TECHNIQUES (SHOVEL, BROOM, ETC.) AND NOT WASHED DOWN THE INLETS.
2. ENSURE THE STAGING/STORAGE/APPLICATION/CLEAN-UP OF GAS, CHEMICALS, AND OILS (INCLUDING FORM RELEASE OIL) IS SUCH AS TO PREVENT BEING WASHED DOWN THE INLETS.
3. ENSURE DISCHARGE OF SOAPS, SOLVENTS, DETERGENTS, WASH WATER AND CONSTRUCTION MATERIALS, INCLUDING THE CLEAN-UP OF STUCCO, VEHICLE AND EQUIPMENT WASH WATER, PAINT, FORM RELEASE OILS AND CURING COMPOUNDS (COVER, PLASTIC SHEETING OR TEMPORARY ROOFS) AND PROVIDE COLLECTION AND PROPER DISPOSAL TO PREVENT CONTACT WITH STORMWATER.
4. CONTRACTOR SHALL EXERCISE EFFORT TO PREVENT THE DISCHARGE OF FUELS, OILS AND OTHER PETROLEUM PRODUCTS, HAZARDOUS OR TOXIC WASTES, SANITARY WASTES, SPILLED AND LEAKED FUELS/CHEMICALS FROM VEHICLES AND EQUIPMENT (I.E. SPILL KITS, SPILL CONTAINMENT, ETC.).
5. CONTRACTOR TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM STORAGE, HANDLING AND DISPOSAL OF CONSTRUCTION PRODUCTS; BUILDING PRODUCTS; PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS AND LANDSCAPE MATERIAL; AND DOMESTIC WASTES.
6. CONTRACTOR TO PROVIDE PROPOSED LOCATION OF CONCRETE MIXING TO BE APPROVED BY THE CITY.
7. CONTRACTOR TO DIRECT CONCRETE WASH WATER INTO A LEAK-PROOF CONTAINER OR LEAK-PROOF SETTLING BASIN, WITH HARDENED CONCRETE WASTES AND LIQUID CONCRETE WASTES PROPERLY DISPOSED OF AS CONSTRUCTION WASTES.
8. TO REPORT LEAKS, SPILLS AND OTHER RELEASES, CONTACT:

FIRE DEPARTMENT	703-838-4660	FOR HAZARDOUS DISCHARGES
T&ES	703-746-4065	FOR DISCHARGES TO STORM SEWER
DEQ NORTHERN VIRGINIA REGIONAL OFFICE	703-583-3870	FOR PETROLEUM THAT REACHES SURFACE WATER DURING NORMAL HOURS
VIRGINIA DEPARTMENT OF EMERGENCY MANAGEMENT	1-800-468-8892	FOR PETROLEUM THAT REACHES SURFACE WATER 24 HOUR

ARCHAEOLOGY NOTES

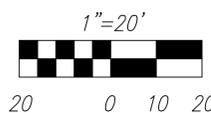
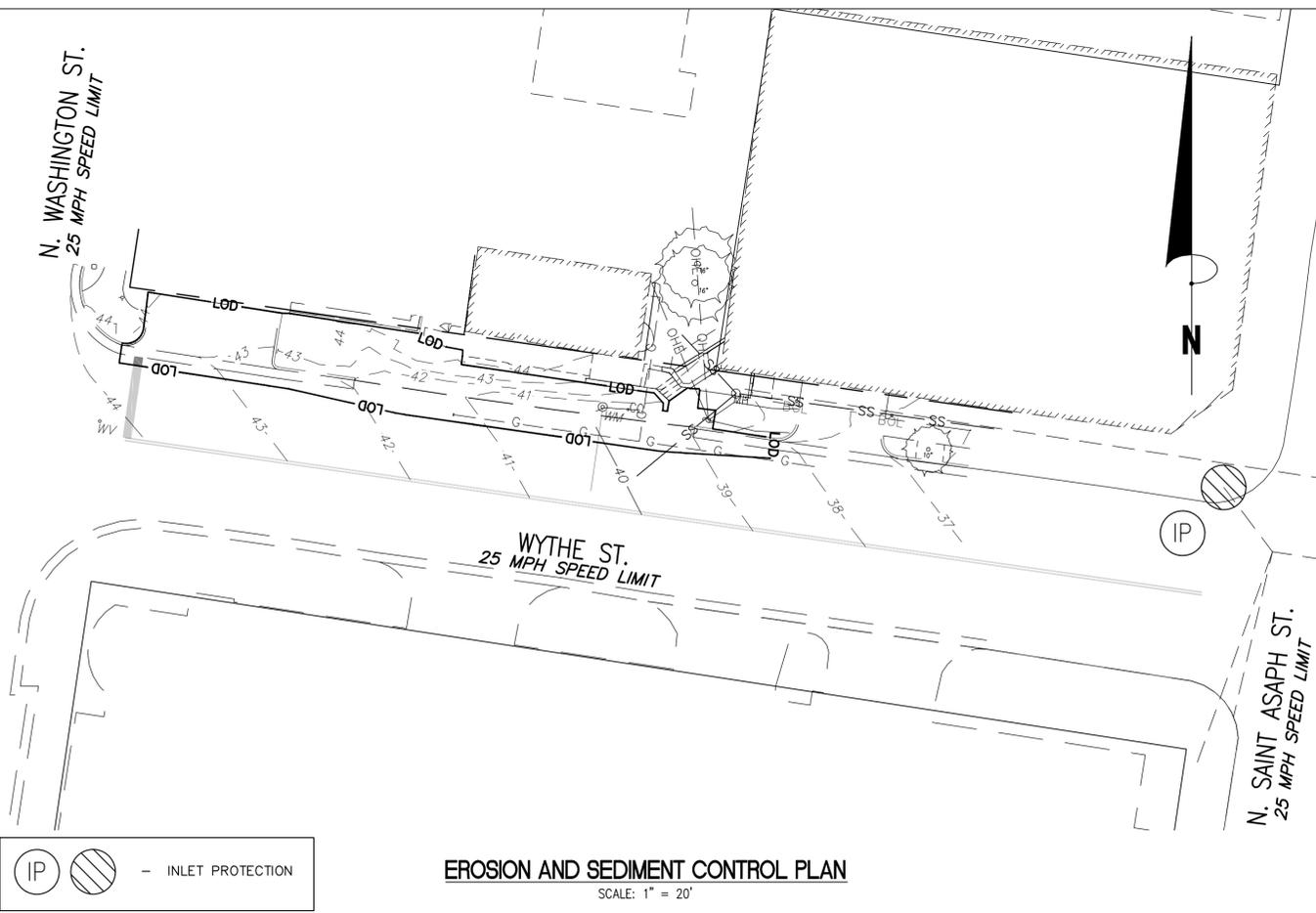
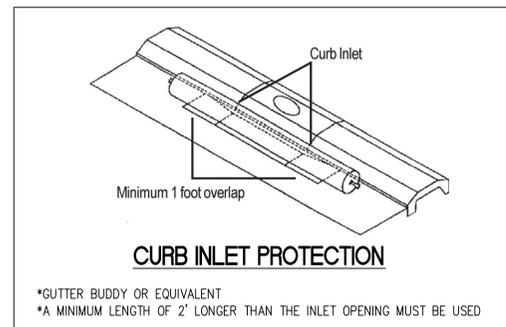
1. THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
2. THE CONTRACTOR SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

SEQUENCE OF CONSTRUCTION

1. INSTALL PERIMETER EROSION AND SEDIMENT CONTROLS.
2. CONDUCT DEMOLITION AND CONSTRUCTION ACTIVITIES ACCORDING TO THE APPLICABLE PLANS. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL PRACTICES AS NECESSARY AND AS DIRECTED BY THE EROSION AND SEDIMENT CONTROL INSPECTOR.
3. AS CONTRIBUTORY DRAINAGE AREAS ARE STABILIZED AND WITH THE PERMISSION OF THE EROSION AND SEDIMENT CONTROL INSPECTOR, REMOVE INDIVIDUAL EROSION AND SEDIMENT CONTROL PRACTICES. UPON COMPLETION OF DEMOLITION, CONSTRUCTION AND LAND DISTURBING ACTIVITIES AND WITH THE APPROVAL OF THE EROSION AND SEDIMENT CONTROL INSPECTOR; REMOVE ALL REMAINING EROSION AND SEDIMENT CONTROL PRACTICES AND PROVIDE PERMANENT STABILIZATION ACCORDING TO APPROVED METHODS.
4. CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.

ABBREVIATIONS

APP	-	APPROXIMATE
CO	-	CLEANOUT
COMM	-	COMMUNICATIONS
CONC	-	CONCRETE
CMU	-	CONCRETE MASONRY UNIT
CSO	-	COMBINED SEWER OVERFLOW
EL	-	ELEVATION
EX	-	EXISTING
FH	-	FIRE HYDRANT
FL	-	FLOW LINE
HP	-	HIGH POINT
LOD	-	LIMITS OF DISTURBANCE
LT	-	LIGHT
MH	-	MANHOLE
NPS	-	NOMINAL PIPE SIZE
PC	-	POINT OF CURVATURE
PT	-	POINT OF TANGENCY
PED	-	PEDESTRIAN
PR	-	PROPOSED
PROP	-	PROPOSED
ROW	-	RIGHT OF WAY
SAN	-	SANITARY SEWER
STM	-	STORM SEWER
TRAF	-	TRAFFIC
TC	-	TOP OF CURB
TOC	-	TOP OF CURB
TW	-	TOP OF WALL
BW	-	BOTTOM OF WALL
U.N.O.	-	UNLESS NOTED OTHERWISE
WTR	-	WATERLINE
WV	-	WATER VALVE
X-ING	-	CROSSING



LEGEND

- REMOVE EXISTING CURB AND GUTTER
- REMOVE EXISTING PAVEMENT
- REMOVE EXISTING BRICK SIDEWALK
- REMOVE EXISTING TREE STUMP
- REMOVE EXISTING CONCRETE APRON
- SAW CUT OF EXISTING PAVEMENT

NOTE:

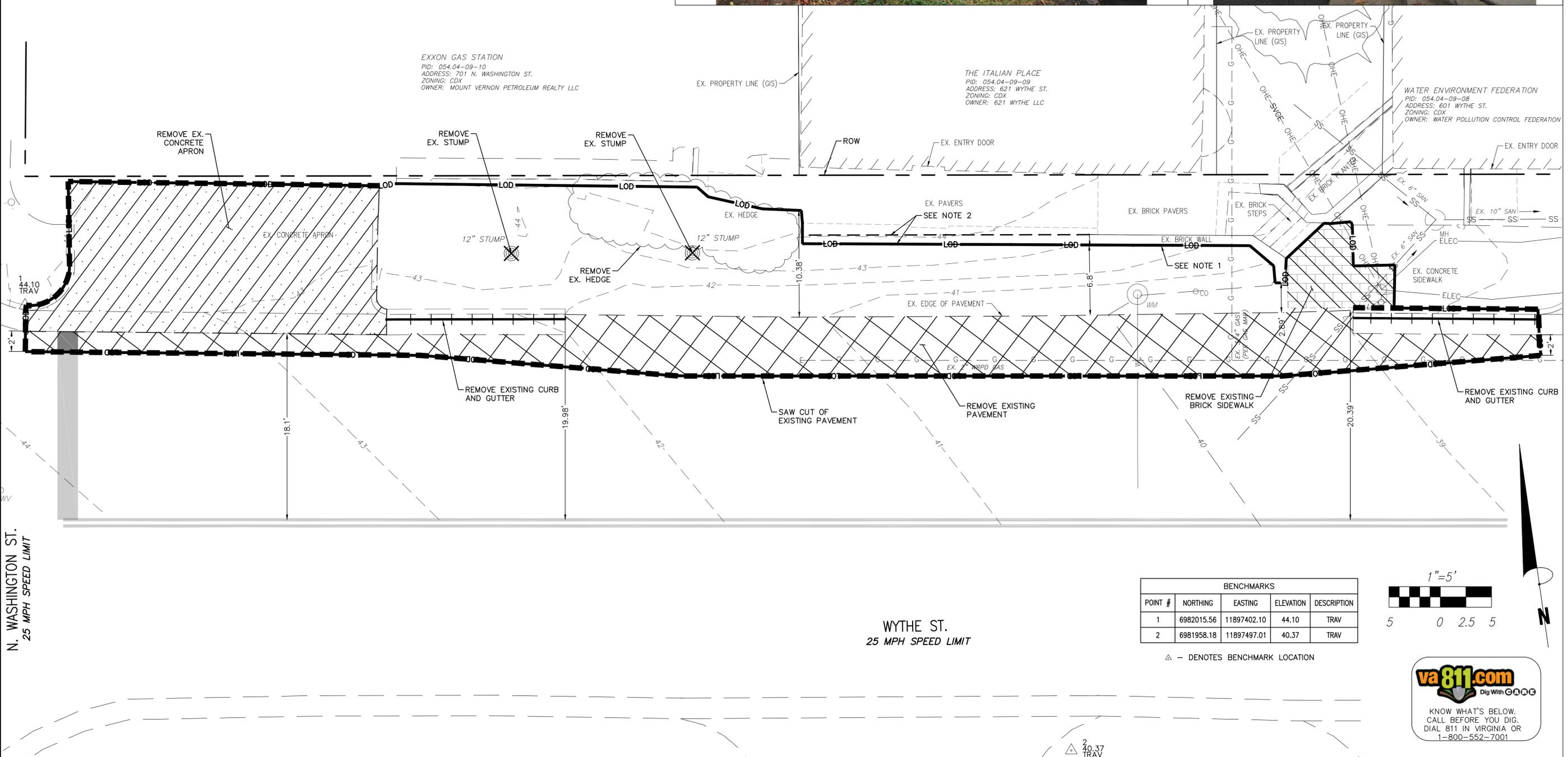
1. CONTRACTOR TO USE CAUTION WHEN EXCAVATING NEAR EXISTING BRICK WALL. ANY DAMAGE TO THE EXISTING BRICK WALL AND/OR SITE FEATURES CAUSED BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
2. CONTRACTOR TO EXERCISE CAUTION TO AVOID DAMAGING EXISTING LANDSCAPE LIGHTING/HARDWARE/WIRING. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CITY.
3. THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
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FINAL



CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PROJECT IMPLEMENTATION
301 KING STREET
ALEXANDRIA, VIRGINIA 22313



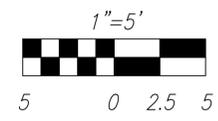
N. WASHINGTON ST.
25 MPH SPEED LIMIT

WYTHE ST.
25 MPH SPEED LIMIT

WYTHE STREET SIDEWALK

BENCHMARKS				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	6982015.56	11897402.10	44.10	TRAV
2	6981958.18	11897497.01	40.37	TRAV

△ - DENOTES BENCHMARK LOCATION



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KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
DIAL 811 IN VIRGINIA OR
1-800-552-7001

REVISIONS	DESCRIPTION
DATE	BY

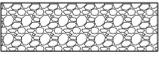
ALEXANDRIA PROJECT NO.: 1603046
DATE OF PLAN ISSUANCE: N/A
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EXISTING CONDITIONS
AND DEMOLITION PLAN

SHEET
4 of 8
SCALE 1"=5'

LEGEND

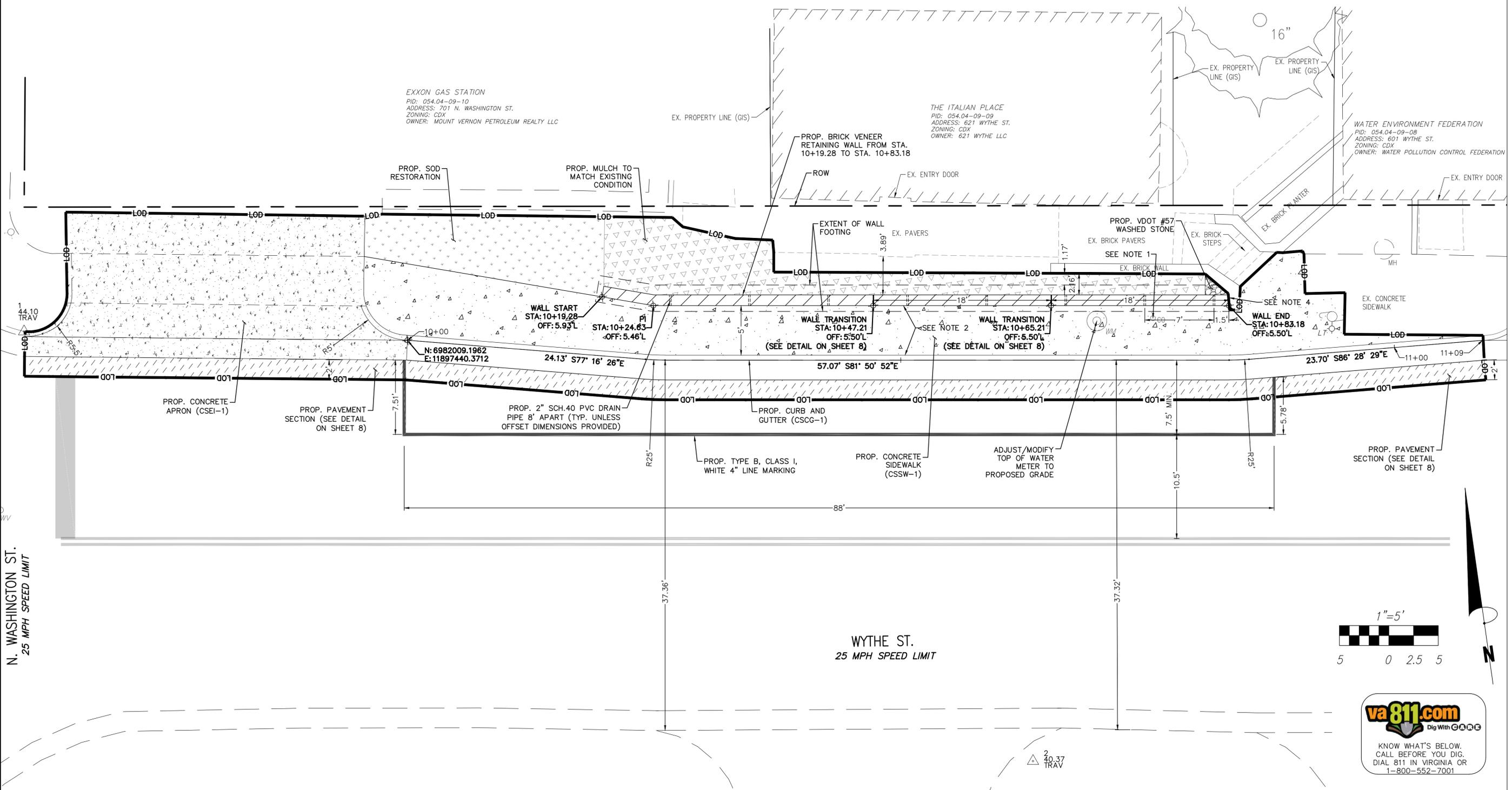
- INSTALL NEW CURB AND GUTTER (CSCG-1) 
- INSTALL NEW CONCRETE SIDEWALK (CSSW-1) 
- INSTALL NEW CONCRETE APRON (CSEI-1) 
- INSTALL PROPOSED PAVEMENT SECTION (SEE DETAIL ON SHEET 8) 
- INSTALL TYPE B, CLASS I, WHITE 4" LINE MARKING 

- INSTALL NEW VDOT #57 WASHED STONE (2' DEPTH) 
- INSTALL NEW SOD W/ 4" TOPSOIL IMPORT 
- INSTALL NEW MULCH TO FINISH GRADE (3-INCH DEPTH) MATCH EXISTING W/ 4" TOPSOIL IMPORT 
- LIMITS OF DISTURBANCE 

- INSTALL NEW BRICK VENEER RETAINING WALL (SEE DETAILS ON SHEET 8) 
- 
- GLEN-GERY SCOTCH TRADITION HANDMADE

NOTE:

1. CONTRACTOR TO PROVIDE NEW BRASS CLEANOUT COVER AND ADJUST/MODIFY CLEANOUT TO PROPOSED GRADE (COVER SHALL BE ADA COMPLIANT AND FLUSH WITH SURROUNDING SIDEWALK SURFACE)
2. CONTRACTOR TO PROVIDE PRE-FORMED EXPANSION JOINT MATERIAL BETWEEN CONCRETE SIDEWALK AND RETAINING WALL, AND CONCRETE SIDEWALK AND BACK OF CURB. EXPANSION JOINT MATERIAL SHALL BE 1/2" WIDE X THE FULL THICKNESS OF THE CONCRETE SLAB AND CONFORM TO ASTM D994 OR ASTM D1751.
3. CONTRACTOR SHALL REMOVE AND REPLACE SIDEWALK TO THE NEAREST JOINT.
4. CONTRACTOR TO PROVIDE FULL WIDTH AND HEIGHT (INCLUDING BOTH CMU AND BRICK VENEER) EXPANSION JOINT MATERIAL BETWEEN PROPOSED BRICK VENEER WALL AND EXISTING BRICK WALL. SEE EXPANSION JOINT DETAIL ON SHEET 8.
5. THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
6. THE CONTRACTOR SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.



ALEXANDRIA

CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PROJECT IMPLEMENTATION
301 KING STREET
ALEXANDRIA, VIRGINIA 22313

FINAL

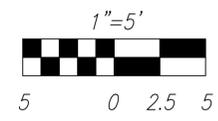
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SITE PLAN

WYTHE STREET SIDEWALK

SHEET
5 of 8
SCALE 1"=5'



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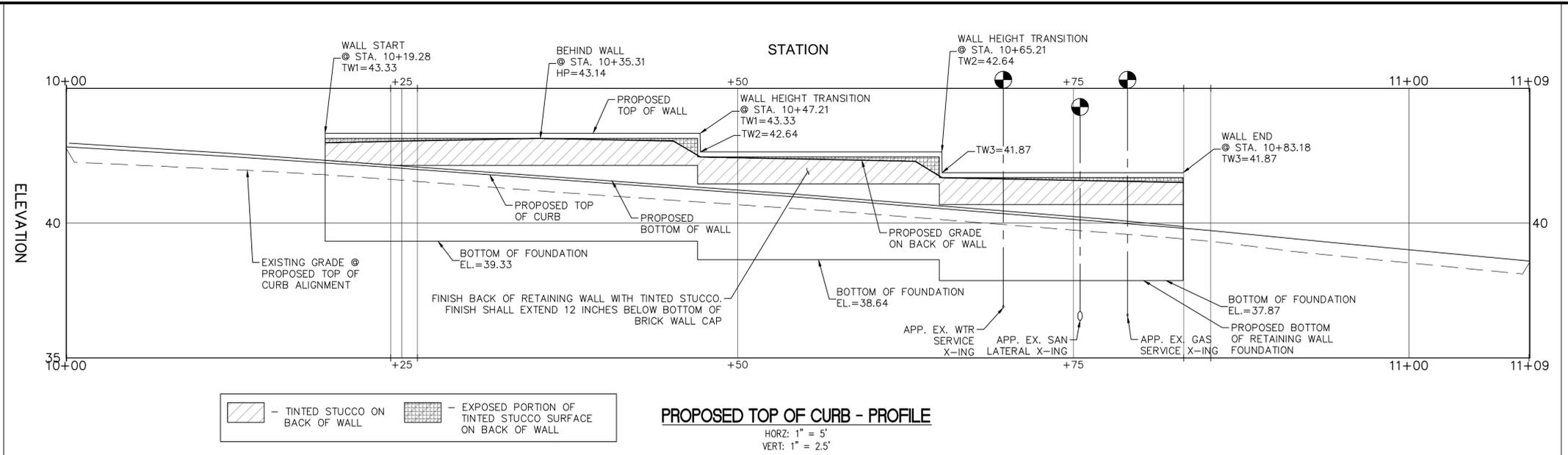
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CALL BEFORE YOU DIG.
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1-800-552-7001

LEGEND

- PROPOSED ELEVATION (FT) PR=XX.XX
- PROPOSED TOP OF CURB ELEVATION (FT) TC=XX.XX
- PROPOSED ELEVATION @ FLOW LINE (FT) FL=XX.XX
- PROPOSED TOP OF WALL ELEVATION (FT) TW=XX.XX
- PROPOSED BOTTOM OF WALL ELEVATION (FT) BW=XX.XX
- *REFER TO PROFILE AND CROSS SECTIONS FOR BOTTOM OF FOOTING ELEVATION
- PROPOSED ELEVATION @ LOCAL HIGH POINT (FT) HP=XX.XX
- EXISTING ELEVATION (FT) EX=XX.XX
- EXISTING TOP OF CURB ELEVATION (FT) (TC)=XX.XX
- PROPOSED ELEVATION TO MATCH EXISTING ELEVATION @ SAW CUT LINE (FT) EX=XX.XX
- FLOW ARROW
- PROPOSED TEST PIT

NOTE:

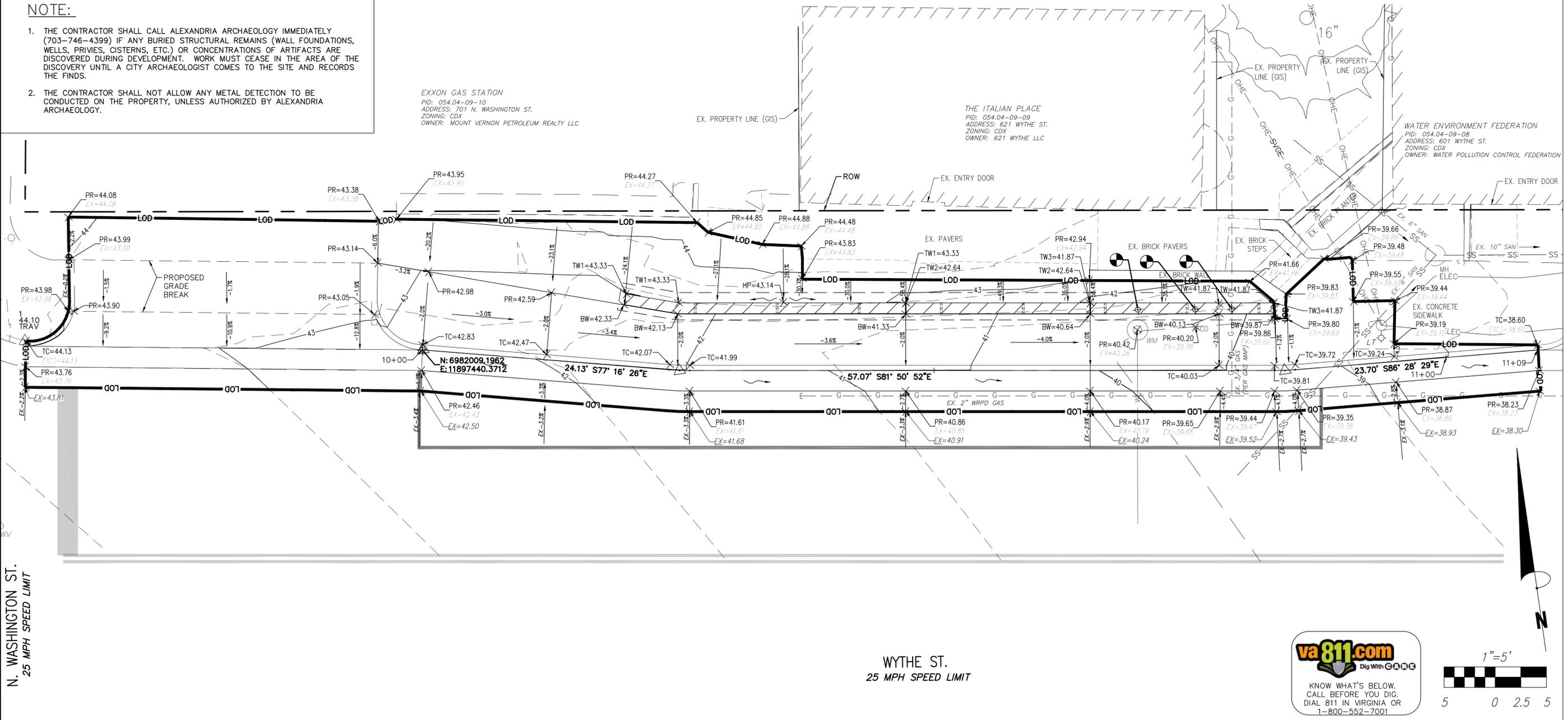
1. THE CONTRACTOR SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
2. THE CONTRACTOR SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.



EXXON GAS STATION
 PID: 054.04-09-10
 ADDRESS: 701 N. WASHINGTON ST.
 ZONING: CDX
 OWNER: MOUNT VERNON PETROLEUM REALTY LLC

THE ITALIAN PLACE
 PID: 054.04-09-09
 ADDRESS: 621 WYTHE ST.
 ZONING: CDX
 OWNER: 621 WYTHE LLC

WATER ENVIRONMENT FEDERATION
 PID: 054.04-09-08
 ADDRESS: 601 WYTHE ST.
 ZONING: CDX
 OWNER: WATER POLLUTION CONTROL FEDERATION

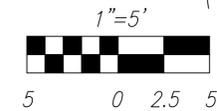


N. WASHINGTON ST.
 25 MPH SPEED LIMIT

WYTHE ST.
 25 MPH SPEED LIMIT

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KNOW WHAT'S BELOW.
 CALL BEFORE YOU DIG.
 DIAL 811 IN VIRGINIA OR
 1-800-552-7001



CITY OF ALEXANDRIA, VIRGINIA
 DEPARTMENT OF PROJECT IMPLEMENTATION
 301 KING STREET
 ALEXANDRIA, VIRGINIA 22313

REVISIONS	DESCRIPTION

ALEXANDRIA PROJECT NO.:	1603046
DATE OF PLAN ISSUANCE:	N/A
CONSULTANT PROJECT ID.:	N/A
DESIGNED BY:	MM DATE: 11/06/17
DRAWN BY:	MM DATE: 11/06/17
CHECKED BY:	DK DATE: 11/06/17
APPROVED BY:	MB DATE: 11/06/17

GRADING PLAN

WYTHE STREET SIDEWALK

SHEET
 6 of 8

SCALE 1"=5'

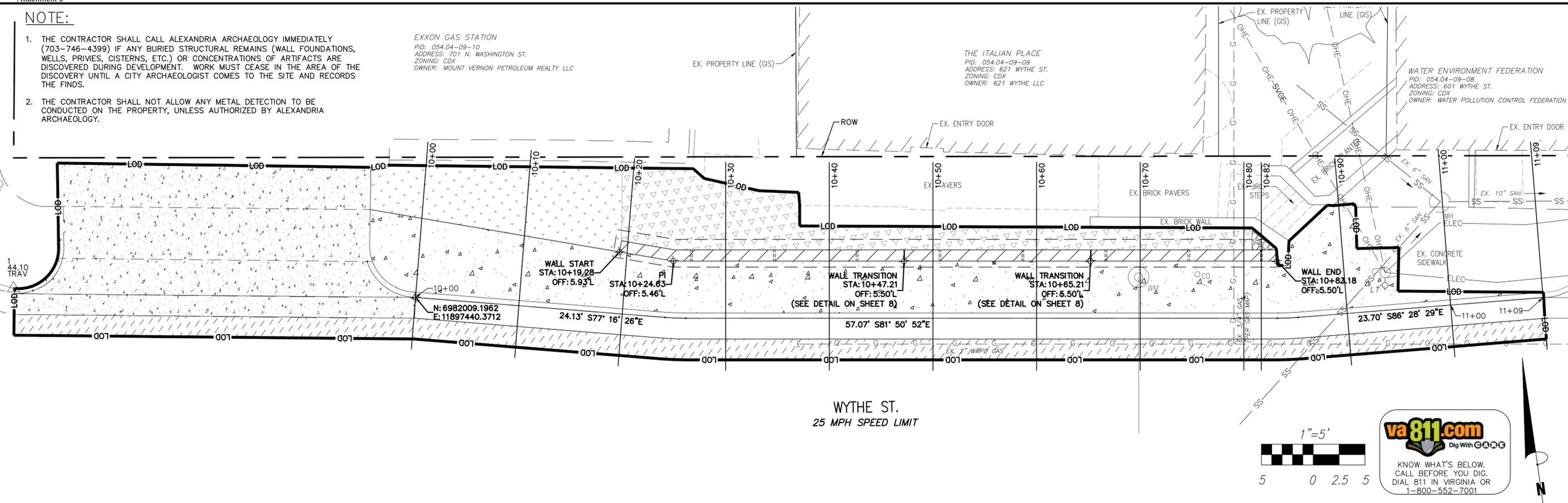
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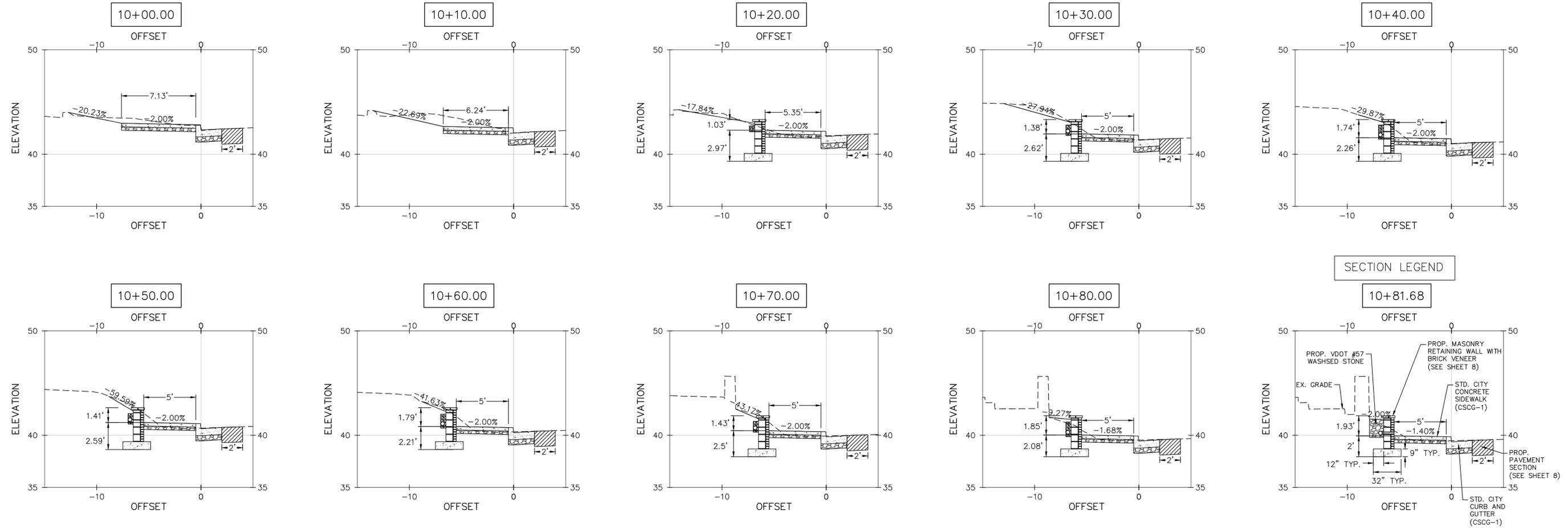


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NOTE: REFER TO SHEET 8 FOR REBAR REINFORCEMENT AND ADDITIONAL REQUIREMENTS FOR WALL SECTION.



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APPROVED BY:	MB DATE: 11/06/17

WYTHE STREET SIDEWALK

CROSS SECTIONS

SHEET
 7 of 8
 SCALE 1"=5'

