

ISSUE: Permit to Demolish/Capsulate (partial)

APPLICANT: Craft Build LLC

LOCATION: Parker-Gray Historic District
318 North Payne Street

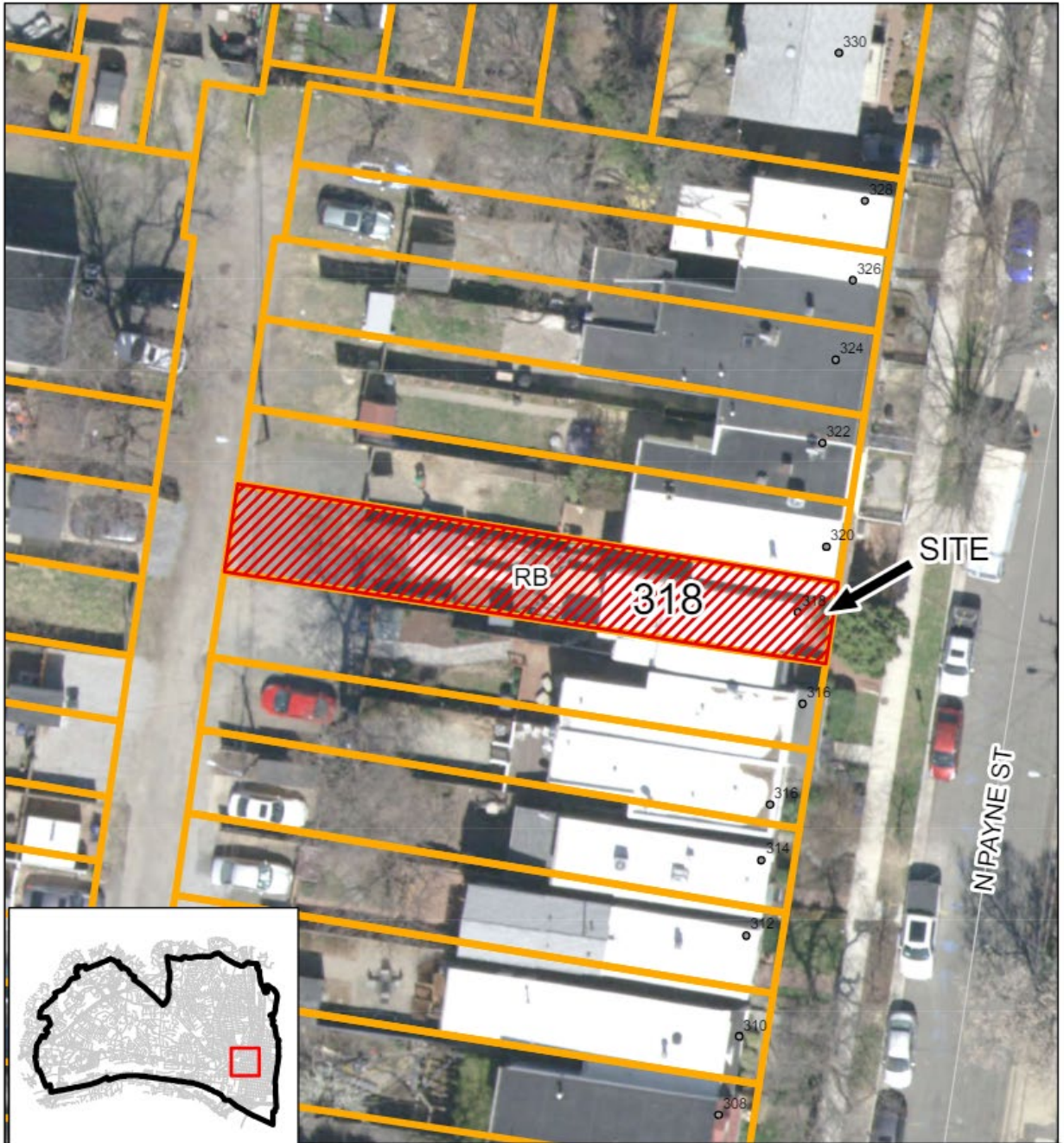
ZONE: RB/Townhouse Zone

STAFF RECOMMENDATION

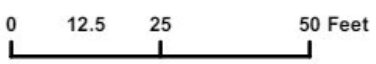
Staff recommends approval of the Permit to Demolish/Capsulate (partial), as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR#2024-00114
318 N Payne Street



Note: The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish (partial) to demolish part of the rear/west addition of the house. The existing roof structure will be demolished so that part of the rear wall can be extended in height to create a level roof line. The proposed work is not visible from the public right-of-way but requires BAR approval because the amount of demolition involved is greater than 25 square feet.

Site context

The property is bound by North Payne Street to the east, 316 ½ and 320 North Payne Street to the south and north, and a private alley to the west. The proposed demolition work is in the rear of the property and will not be visible from a public right-of-way.

II. HISTORY

318 North Payne Street is a two-story, two-bay residential townhouse built circa **1880**, according to the Uptown/Parker Gray National Register of Historic Places nomination. While a building permit could not be located for the rear addition, it is absent from the 1921 Sanborn Map and first appears on the 1941 Sanborn Map.

Previous BAR Approvals

BAR-87-53

Alterations to add cornice and window trim

III. ANALYSIS

The applicant requests a Permit to Demolish (partial) to demolish part of the rear (west) addition of the house (Figure 1). The existing window openings will be demolished to create new window openings, the existing lower floor will be demolished to create a new floor structure, and the existing roof structure will be demolished so that a new roof structure can be constructed to create a new, level roof line (Figure 2).



Figure 1: Photo of existing rear elevation.

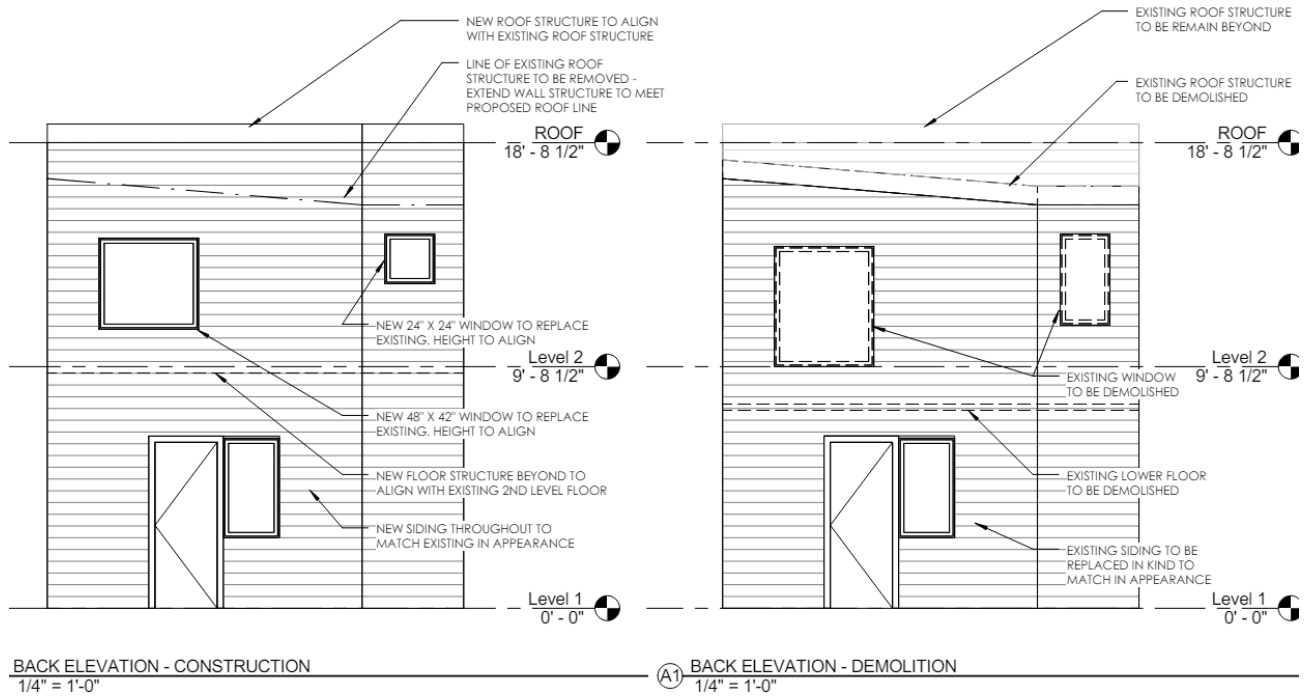


Figure 2: Drawings showing the demolition work on the rear elevation.

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-205(B) which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into an historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	N/A
(5)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?	No
(6)	Would retention of the building or structure help maintain the scale and character of the neighborhood?	No

The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The select portions of the building proposed for demolition are not themselves of unusual or uncommon design. The demolition will not be visible from a public way and the historic integrity of the structure will be largely unaffected by the proposed work.

Staff therefore has no objection to the partial demolition and recommends approval of the Permit to Demolish/Capsulate.

STAFF

Brendan Harris, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- C-1 Proposed addition or replacement of back wall will comply with zoning.
- C-2 Proposed replacement and increase in rear wall height will not raise the overall height of the building further than the existing front and center of the building.
- C-3 Not approved for further expansion of the building in terms of footprint.

Code Administration

- C-1 A building permit is required.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- C-1 No archaeological oversight is required for this project.

V. ATTACHMENTS

1 – Application Materials

- Completed application
- Plans
- Scaled survey plat if applicable
- Photographs

2 – Supplemental Materials

- Public comment if provided
- Any other supporting documentation

ADDRESS OF PROJECT: 318 N Payne Street

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: Craft Build LLC

Address: 11700 Stuart Mill Road

City: Oakton State: VA Zip: 22124

Phone: 571-283-7407 E-mail: azandi@123nova.com

Authorized Agent *(if applicable):* Attorney Architect Permit Expediter

Name: Kate Mitchell, Landmark Permits

Phone: 571-225-9569

E-mail: kmitchell@landmarkpermits.com

Legal Property Owner:

Name: Craft Build LLC

Address: 11700 Stuart Mill Road

City: Oakton State: VA Zip: 22124

Phone: 571-283-7407 E-mail: azandi@123nova.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

replacing the end portion of the house (at the kitchen area and bathroom/bedroom above it) to fix the damaged framing and make the second level all the same height.

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
 - Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
 - Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
 - Description of the reason for demolition/encapsulation.
 - Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: *Kate Mitchell*

Printed Name: Kate Mitchell, Landmark Permits

Date: 3/18/24

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 318 N Payne Street, Alexandria VA (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Craft Build LLC	11700 Stuart Mill Road, Oakton VA 20190	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Kate Mitchell

3/18/24
Date

Kate Mitchell, Landmark Permits
Printed Name

Kate Mitchell, Landmark Permits
Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. Street Address RB Zone

A2. x =
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**	
Basement	<input type="text" value="0.00"/>	Basement**	<input type="text" value="0.00"/>
First Floor	<input type="text" value="556.00"/>	Stairways**	<input type="text" value="23.00"/>
Second Floor	<input type="text" value="556.00"/>	Mechanical**	<input type="text" value="5.00"/>
Third Floor	<input type="text" value="0.00"/>	Attic less than 7'***	<input type="text" value=""/>
Attic	<input type="text" value=""/>	Porches**	<input type="text" value=""/>
Porches	<input type="text" value=""/>	Balcony/Deck**	<input type="text" value="224.00"/>
Balcony/Deck	<input type="text" value="224.00"/>	Lavatory***	<input type="text" value="125.00"/>
Lavatory***	<input type="text" value="2.00"/>	Other**	<input type="text" value=""/>
Other**	<input type="text" value=""/>	Other**	<input type="text" value=""/>

B1. Sq. Ft. Existing Gross Floor Area*

B2. Sq. Ft. Allowable Floor Exclusions**

B3. Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. **Total Gross** B2. **Total Exclusions**

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**	
Basement	<input type="text" value="0.00"/>	Basement**	<input type="text" value="0.00"/>
First Floor	<input type="text" value="556.00"/>	Stairways**	<input type="text" value="23.00"/>
Second Floor	<input type="text" value="556.00"/>	Mechanical**	<input type="text" value="5.00"/>
Third Floor	<input type="text" value="0.00"/>	Attic less than 7'***	<input type="text" value=""/>
Attic	<input type="text" value=""/>	Porches**	<input type="text" value=""/>
Porches	<input type="text" value=""/>	Balcony/Deck**	<input type="text" value="224.00"/>
Balcony/Deck	<input type="text" value="224.00"/>	Lavatory***	<input type="text" value="180.00"/>
Lavatory***	<input type="text" value="2.50"/>	Other**	<input type="text" value=""/>
Other	<input type="text" value=""/>	Other**	<input type="text" value=""/>

C1. Sq. Ft. Proposed Gross Floor Area*

C2. Sq. Ft. Allowable Floor Exclusions**

C3. Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)

C1. **Total Gross** C2. **Total Exclusions**

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. Sq. Ft. Total Floor Area (add B3 and C3)

D2. Sq. Ft. Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. Sq. Ft. Existing Open Space

E2. Sq. Ft. Required Open Space

E3. Sq. Ft. Proposed Open Space

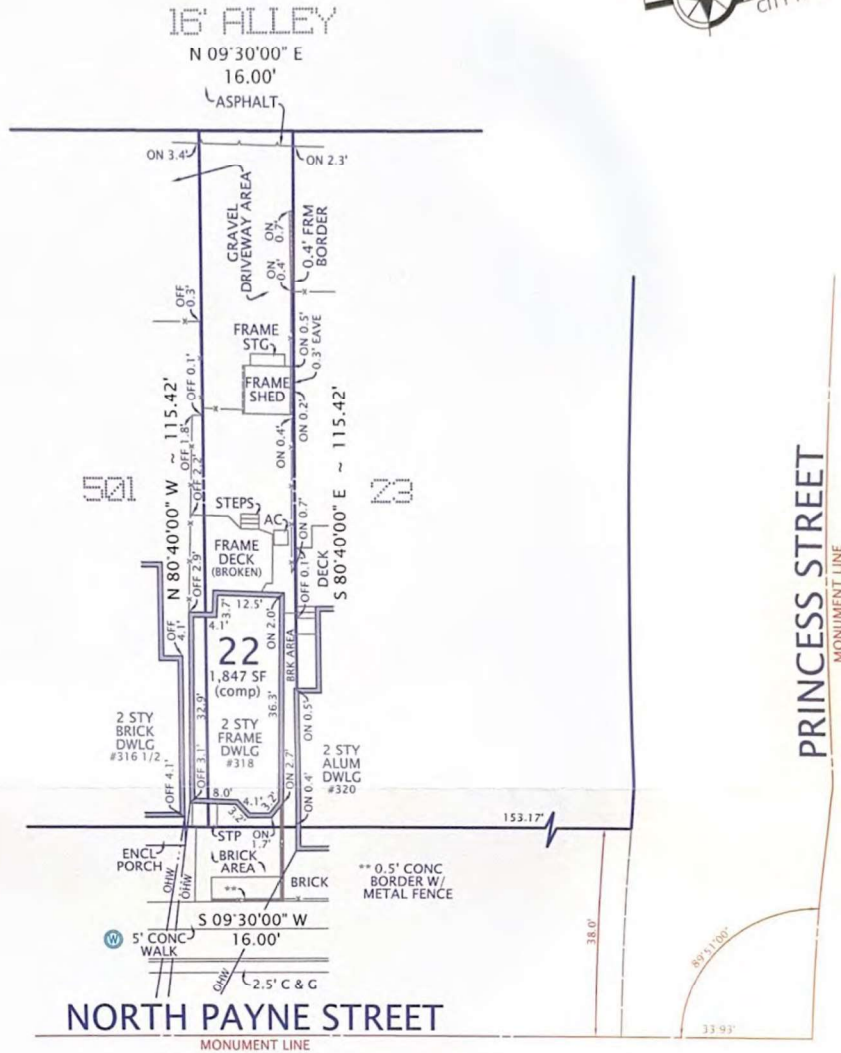
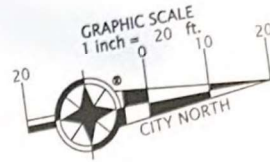
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: **Ali Zandi**

Digitally signed by Ali Zandi
Date: 2024.03.21 15:23:05 -04'00'

Date: _____

NOTES: 1. FENCES ARE FRAME.



PLAT
 SHOWING HOUSE LOCATION ON
 THE PROPERTY LOCATED AT
#318 NORTH PAYNE STREET

(DEED BOOK 1650, PAGE 484)

ALSO KNOWN AS
 LOT 22

ROBERT J. THOMAS SUBDIVISION

(DEED BOOK 19, PAGE 139)

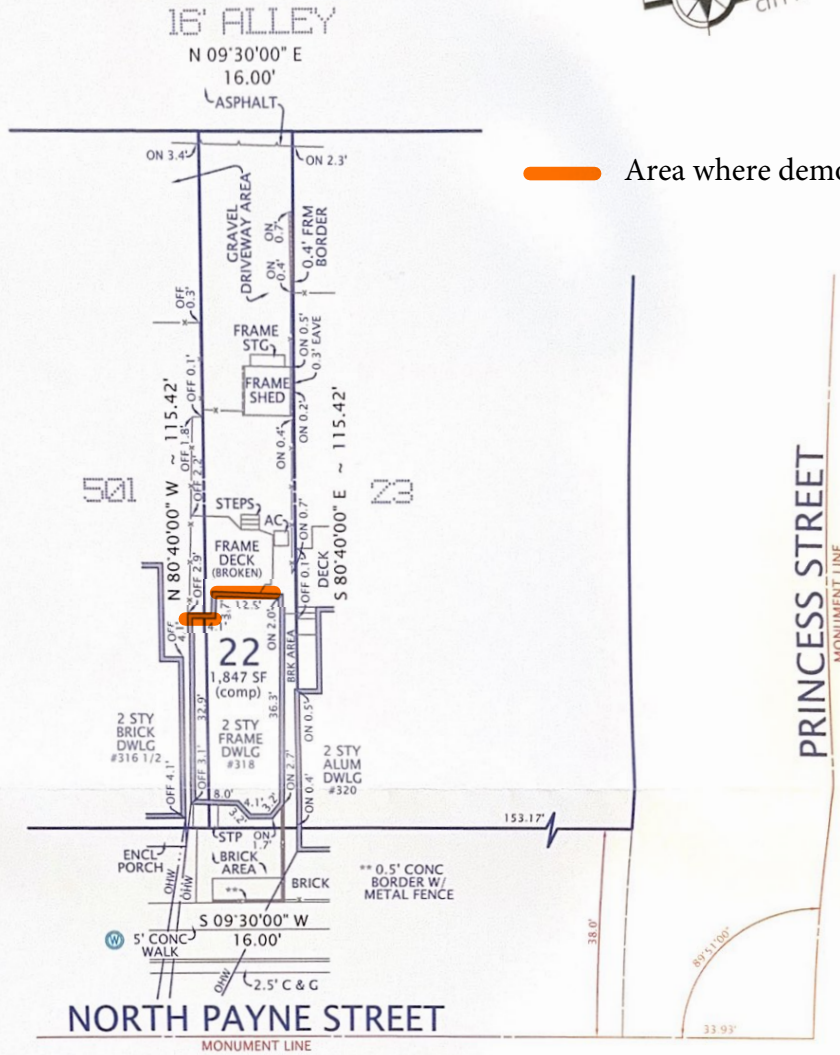
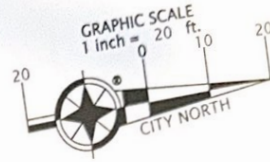
CITY OF ALEXANDRIA, VIRGINIA
 SCALE: 1" = 20' NOVEMBER 8, 2023

<p>I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:</p>		<p>CASE NAME: ENGELBRECHT MARIETTA JEMISON</p>
<p>THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD. A TITLE REPORT WAS NOT FURNISHED. NO CORNER MARKERS SET.</p>		<p>DOMINION Surveyors Inc.* 8808-H PEAR TREE VILLAGE COURT ALEXANDRIA, VIRGINIA 22309 703-619-6555 www.dominionsurveyors.com</p>

CASE NAME: ENGELBRECHT

#231027016

NOTES: 1. FENCES ARE FRAME.



— Area where demolition will occur

PLAT
 SHOWING HOUSE LOCATION ON
 THE PROPERTY LOCATED AT
#318 NORTH PAYNE STREET
(DEED BOOK 1650, PAGE 484)
 ALSO KNOWN AS
 LOT 22
ROBERT J. THOMAS SUBDIVISION
(DEED BOOK 19, PAGE 139)
 CITY OF ALEXANDRIA, VIRGINIA
 SCALE: 1" = 20' NOVEMBER 8, 2023

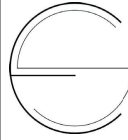
<p>I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:</p>		<p>CASE NAME: ENGBRECHT MARIETTA JEMISON</p>
<p>THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD. A TITLE REPORT WAS NOT FURNISHED. NO CORNER MARKERS SET.</p>		<p>DOMINION Surveyors Inc. 8808-H PEAR TREE VILLAGE COURT ALEXANDRIA, VIRGINIA 22309 703-619-6555 www.dominionsurveyors.com</p>

CASE NAME: ENGBRECHT

#231027016

GENERAL CONSTRUCTION NOTES

- BATHROOM SHALL BE EQUIPPED WITH A FAN VENTED DIRECTLY TO THE OUTSIDE.
- NEW SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT WHEN ONE IS ACTIVATED ALL WILL SOUND.
- ALL MATERIALS TO HAVE A FLAME SPREAD CLASSIFICATION NO GREATER THAN 250, EXCEPT FOR TRIM MOLDING, HANDRAILS AND DOORS, AND MUST HAVE A SMOKE DENSITY CLASSIFICATION NO GREATER THAN 450.
- CEMENT OR REEF BOARD TO BE INSTALLED IN WET WALLS AND FINISHED WITH A NONABSORBENT SURFACE.
- WOOD VENEER OR HARDBOARD FINISHING LESS THAN 1/4" SHALL NOT BE PROVIDED.
- ALL GYPSUM BOARD TO BE 1/2" THICK MINIMUM.
- MINIMUM OF R-13 BATTED INSULATION WITH A VAPOR BARRIER ON THE WARM SIDE OF THE WALL SHALL BE INSTALLED FOR THE FULL HEIGHT AND LENGTH OF THE BASEMENT WALL.
- DRILLING AND NOTCHING OF MANUFACTURED WOOD JOISTS, LVJ OR OTHER ENGINEERED WOOD PRODUCTS SHALL BE PER MANUFACTURER'S INSTRUCTIONS.
- DRILLING AND NOTCHING OF OPEN WEB JOIST FLOOR TRUSSES IS PROHIBITED WITHOUT SUBMITTED CALCULATIONS PERFORMED BY A REGISTERED DESIGN PROFESSIONAL LICENSED IN VIRGINIA.
- WHEN A CEILING IS NOT DIRECTLY ATTACHED TO THE UNDERSIDE OF THE FLOOR JOISTS ABOVE OR WHEN THE FLOOR JOISTS ARE COMPOSED OF OPEN WEB TRUSSES, DRAFTSTOPPING MUST BE PROVIDED AS TO CREATE EQUAL SEED CONCEALED AREAS NOT EXCEEDING 1,000 SQUARE FEET.
- DRAFTSTOPPING SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS AND SHALL CONSIST OF 1/2" MINIMUM GYPSUM BOARD, 3/8" MINIMUM WOOD FLOOR/OSS OR 3/8" MINIMUM PARTICLEBOARD TYPE 2444W.
- SHOWER CONTROL VALVES MUST BE SCALD RESISTANT IN ACCORDANCE WITH ASSESSMENT 1014 WITH A HOT WATER LIMIT OF 120 DEGREE.
- THE INTENT OF THE DEMOLITION DRAWINGS IS TO PROVIDE A GUIDE FOR DEMOLITION WORK IN THE AREA OF WORK. GENERAL CONTRACTOR SHALL PROCEED WITH CAUTION AND INVESTIGATE EXISTING CONDITIONS THOROUGHLY BEFORE PROCEEDING WITH ANY WORK. ANY DISCREPANCIES BETWEEN THE ASSUMED AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- IF THE DEMOLITION WORK REVEALS CONDITIONS THAT CONFLICT WITH THE PROPOSED NEW WORK, THE GENERAL CONTRACTOR SHALL IMMEDIATELY BRING SUCH MATTERS TO THE DESIGNER'S ATTENTION FOR RESOLUTION.
- BEFORE PROCEEDING WITH NEW WORK.
- ALL EXISTING LIGHTS ARE TO BE REMOVED AND DECEASED UNO.
- GENERAL CONTRACTOR IS TO PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. ANY DAMAGE TO EXISTING ITEMS TO BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER TO BE NEW CONDITION IN ALL AREAS WITH NEW MATERIALS, PARTITIONS, OR PRODUCTS ARE INSTALLED. THE GENERAL CONTRACTOR SHALL PATCH AND FINISH WALLS, FLOORS, CEILING, AND AFFECTED AREAS AS REQUIRED.
- FLOAT ALL FLOORING TRANSITIONS AS REQUIRED AT DIFFERENT FLOORING MATERIALS FOR SMOOTH TRANSITION. FLOAT ALL AS REQUIRED FOR SMOOTH SURFACE.
- ALL WALLS TO BE PAINTED WITH (1) PRIMER COAT PLUS (2) FINISH COATS MINIMUM.
- ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTER OF DOORWAYS, UNO. PROVIDE TRANSITION STRIP AT CENTERLINE FOR DOORWAYS OR CASED OPENINGS BETWEEN FLOORING TRANSITIONS.
- THE GENERAL CONTRACTOR TO FLOAT WALL ALL THE WAY TO FLOOR AS PREP FOR NEW BASE INSTALLATION.
- SEAL ALL STONE AND GROUT PER MANUFACTURER SPECIFICATIONS.
- ALL GROUT LINES SHALL BE NO GREATER THAN 1/16" WIDE. GROUT ALL LOCATIONS, IF MANUFACTURER RECOMMENDS LARGER GROUT SIZE. NOTIFY THE DESIGNER FOR APPROVAL PRIOR TO INSTALLING.
- FOR ALL DOOR AND FRAME FINISHES, REFER TO FINISH SCHEDULE AND DOOR AND FRAME SCHEDULE.
- GENERAL CONTRACTOR TO PREPARE ALL EXISTING AND NEW WALL SURFACES TO RECEIVE SPOURED WALL FINISHES PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
- ALL EXPOSED REGISTERS, CONNECTOR UNITS, HEAT PUMPS, GRILLS, AND OTHER FITTINGS TO BE PAINTED WITH SEMI-GLOSS FINISH TO MATCH ADJACENT FINISH.
- GENERAL CONTRACTOR TO PREPARE EXISTING SLAB FOR INSTALLATION OF FLOOR COVERING IN ACCORDANCE WITH ALL MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. GENERAL CONTRACTOR TO REMOVE ALL FOREIGN MATTER INCLUDING DIRT, GREASE, WAX, OIL AND/OR PAINT, CRACKS, HOLES, AND DEPRESSIONS SHALL BE FILLED WITH QUALITY GRADE FILLING.
- GENERAL CONTRACTOR TO VERIFY WITH MANUFACTURER THE REQUIRED FINISH / SEALANT AND FLOOR LEVELING FOR ALL FLOORING PRIOR TO ORDERING.
- ALL RUBBER BASE TO BE 1/8" THICKNESS. ALL RUBBER BASE AT CAPPING SHALL BE STRAIGHT STYLE AND COVER STYLE AT ALL OTHER LOCATIONS, UNO.
- ALL ALTERATIONS TO MEET CURRENT LOCAL ACCESSIBILITY CODES AND CURRENT MUNICIPALITY REQUIREMENTS.
- THE DESIGNER IS NOT RESPONSIBLE FOR ANY ALTERATIONS MADE WITHOUT PRIOR APPROVAL FROM THE GOVERNING AUTHORITY.
- PROVIDE FIRE RATED BLOCKING IN WALLS AS REQUIRED FOR INSTALLATION OF NEW WALL WORK, FLAT PANEL DISPLAYS AND EQUIPMENT, SHELVING, ETC. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING REQUIREMENTS WITH THE POWER PLANS, ELEVATIONS, DETAILS, AND MANUFACTURER'S REQUIREMENTS.
- ALL DIMENSIONS AND ALIGNMENTS SHOWN TO BE VERIFIED IN FIELD. ALL DIMENSIONS SHOWN ARE TO FACE OF FINISH UNO.
- GENERAL CONTRACTOR TO COORDINATE LEAD TIME FOR DESIGNER APPROVAL OF PARTITION LAYOUT FOR DIMENSIONAL ACCURACY PRIOR TO INSTALLATION OF METAL FRAMING. GENERAL CONTRACTOR TO NOTIFY ARCHITECT / INTERIOR DESIGNER OF ALL CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK. PLACE PRIOR TO FRAMING NEW WALLS.
- ALL NEW DOORS SHALL BE 4" FROM FINISH FACE OF WALL TO INSIDE EDGE OF DOOR OPENING ON THE HINGE SIDE OF DOOR, UNO.
- IF AN EXISTING OUTLET IS LOCATED WHERE A NEW OUTLET IS SHOWN, REMOVE EXISTING IN lieu OF ADDING AN OUTLET.
- ALL OUTLETS AT WET AREAS TO BE GFCI AS REQUIRED.
- GENERAL CONTRACTOR TO PROVIDE FULL STRING AT ALL NEW TELEPHONE / DATA RECEPTACLE LOCATIONS TO AN ACCESSIBLE CEILING LOCATION. PROVIDE (2) FULL STRINGS AT ALL TELEPHONE/DATA COMBO LOCATIONS. GENERAL CONTRACTOR TO COORDINATE ALL TELEPHONE/DATA WORK WITH OWNER.
- ALL NEW OUTLETS, SWITCHES, COVER PLATES THAT OCCUR ON STONE, SOLID SURFACE, MILKWOOD, GLASS, WOOD PANELING, OR WALL COVERING TO BE BRUSHED STAINLESS STEEL. ALL OTHER COVER PLATES AT PAINTED WALLS TO BE WHITE.
- ALL OUTLETS, SWITCHES, AND STORES PLACED ABOVE EACH OTHER OR NEXT TO EACH OTHER TO BE ALIGNED VERTICALLY OR HORIZONTALLY WITH EACH OTHER ON THE WALL.
- GROUP TOGETHER, AS TIGHT AS POSSIBLE, ALL ELECTRICAL, TELEPHONE, AND DATA OUTLETS / RECEPTACLES ADJACENT TO EACH OTHER.
- COORDINATE POWER OUTLET LOCATIONS WITH FURNITURE PLAN AS REQUIRED.
- GENERAL CONTRACTOR TO LAY OUT THE LOCATION OF ALL PROPOSED OUTLETS FOR FIELD VERIFICATION BY OWNER PRIOR TO ACTUAL INSTALLATION OF OUTLETS, DATA, POKE-THROUGHS, AND JUNCTION BOXES. GENERAL CONTRACTOR TO REVIEW AND COORDINATE ALL ELECTRICAL DEVICES WITH MILKWOOD ITEMS.
- ALL MOUNTING HEIGHTS ARE TO THE CENTERLINE OF THE DEVICE AFF. UNO. ALL THERMOSTATS AND SWITCHES TO BE MOUNTED AT 48" AFF.
- CONFORMANCE OF ALL APPLICABLE ELECTRICAL CODES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL INSTALLER AND THE GENERAL CONTRACTOR. ALL ELECTRICAL WORK AND MATERIALS SHALL CONFORM WITH NEC AND OTHER APPLICABLE ORDINANCES. WHEN CONFLICT OCCURS, THE MOST RESTRICTIVE SHALL APPLY.
- ALL FURNITURE SIZES AND FURNITURE PLACEMENT ARE SCHEMATIC. EXACT FURNITURE SIZE TO BE COORDINATED WITH OWNER'S FURNITURE.
- ALL MULTIPLE SWITCHES TO BE BARRIED WITH (1) COVER PLATE.
- GENERAL CONTRACTOR TO VERIFY AVAILABLE CEILING FINISH HEIGHT BASED ON ELEVATIONS OF DUCTWORK, SPRINKLER LINES, AND CONDUIT LOCATIONS. CONFIRM LIGHT FIXTURE HEIGHT WITH AVAILABLE PLENUM SPACE PRIOR TO COMMENCING CEILING FRAMING. GENERAL CONTRACTOR TO NOTIFY DESIGNER OF ALL LIGHT FIXTURE CONFLICTS.
- GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY OF ALL LIGHT FIXTURE TRIMS AND MECHANICAL DIFFUSERS AND GRILLS WITH SPECIFIED CEILING GRID OR OTHER CEILING TYPES PRIOR TO ORDERING.
- REFER TO ARCHITECTURAL CEILING PLAN FOR LOCATION AND ORIENTATION OF ALL LIGHT FIXTURES. REFER TO ARCHITECTURAL LIGHT FIXTURE SCHEDULES FOR FIXTURE FINISHES.
- ALL NEW SUSPENDED CEILING GRID SHALL BE CENTERED IN ALL CLOSED ROOMS UNO.



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PROJECT INFORMATION

PROJECT TEAM

DESIGNER:
EDUARDO SANCHEZ
PROJECT ARCHITECT
2500 CLARENDON BLVD
APT 432
ARLINGTON, VA 22201

OWNER:
ALLI ZANDI
NOVA BUILDERS

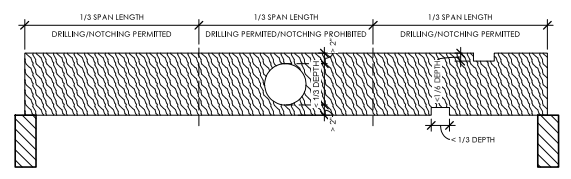
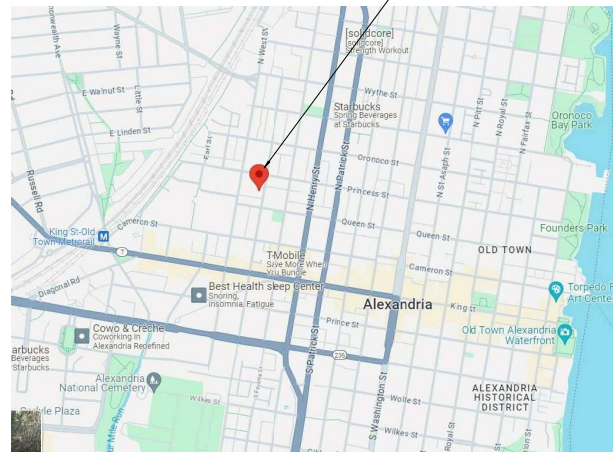
CONTRACTOR:
NOVA BUILDERS

APPLICABLE CODES:

- 2018 Virginia Residential Code (IRC)
- 2009 Accessible and Usable Building and Facilities (ICC/ANSI A117.1)
- 2018 Virginia Extra Building Code (IBC) | USPC Part II
- 2018 Revised Iowa Package

PROJECT DESCRIPTION:
RENOVATION OF AN EXISTING TWO LEVEL, SINGLE FAMILY HOME INCLUDING OPEN AREAS, KITCHEN, BEDROOMS AND RESTROOMS.

PROJECT LOCATION



DRILLING AND NOTCHING OF JOISTS
1" = 1'-0"

Sheet List			
Sheet Number	Sheet Name	Current Revision Description	Current Revision Date
A000	COVER SHEET	ISSUE FOR PERMIT	03-17-2024
A100	DEMOLITION FLOOR PLAN	ISSUE FOR PERMIT	03-17-2024
A101	FLOOR PLAN	ISSUE FOR PERMIT	03-17-2024
A102	CEILING PLAN	ISSUE FOR PERMIT	03-17-2024
A103	PARTITION TYPES	ISSUE FOR PERMIT	03-17-2024

No.	Description	Date
1	ISSUE FOR PERMIT	03-17-2024

INTERIOR RENOVATION

318 N PAYNE ST.
ALEXANDRIA, VA 22314

A PROJECT FOR:

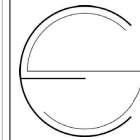
NOVA BUILDERS

COVER SHEET

Project Number: 221005
Date: 3.17.2024
Drawn By: ES
Checked By: ES






A000

Scale: 1" = 1'-0"



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-  EXISTING CEILING/FLOOR TO BE DEMOLISHED
SUPPORT STRUCTURE BEYOND
-  EXISTING GYP BOARD CEILING
-  EXISTING CONSTRUCTION TO BE DEMOLISHED
-  EXISTING PARTITION TO REMAIN
-  EXISTING DOOR TO REMAIN

DEMOLITION KEYNOTES

KEYNOTE	DESCRIPTION
D1	EXTENTS OF EXISTING CEILING AND SUPPORT STRUCTURE TO BE REMOVED. PREPARE ANY EXISTING ROOF SUPPORT STRUCTURE TO REMAIN TO RECEIVE NEW CEILING SUPPORT AS SHOWN IN RENEW PLANS.
D2	REMOVE EXISTING PARTITION TO THE EXTENT SHOWN TO ACCOMMODATE NEW LAYOUT. TOP OF PARTITION TO REMAIN AS TO CREATE A SUPPORT BULKHEAD FOR EXISTING CEILING TO REMAIN.
D3	EXISTING DEPRESSED FLOOR AND ASSOCIATED SUPPORT STRUCTURE TO BE REMOVED.

No.	Description	Date
1	ISSUE FOR PERMIT	03-17-2024

INTERIOR RENOVATION

318 N PAYNE ST.
ALEXANDRIA, VA 22314

A PROJECT FOR:

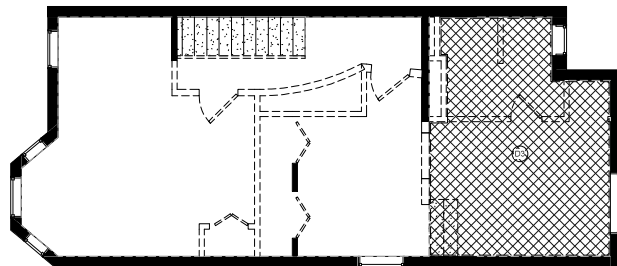
NOVA BUILDERS

DEMOLITION FLOOR PLAN

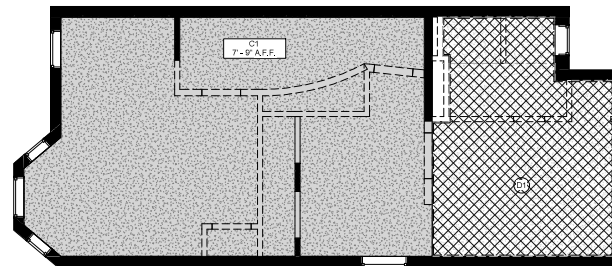
Project Number	221005
Date	3.17.2024
Drawn By	ES
Checked By	ES

A100

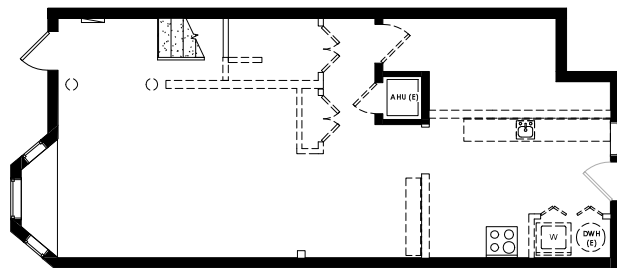
Scale 1/4" = 1'-0"



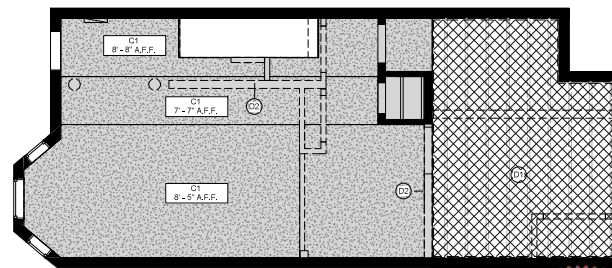
DEMOLITION FLOOR PLAN - LEVEL 02
1/4" = 1'-0"



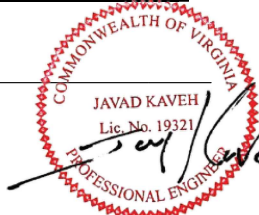
DEMO CEILING PLAN - LEVEL 02
1/4" = 1'-0"



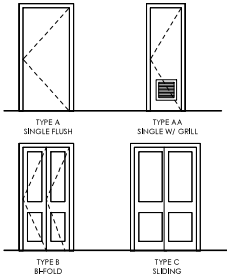
DEMOLITION FLOOR PLAN - LEVEL 01
1/4" = 1'-0"



DEMO CEILING PLAN - LEVEL 01
1/4" = 1'-0"



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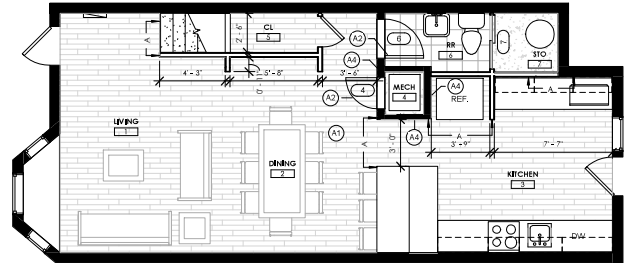


DOOR AND FRAME SCHEDULE									
TAG	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	DOOR MATERIAL	FRAME MATERIAL	FINISH	HARDWARE SET	REMARKS
Level 1									
4	AA	2'-0"	6'-8"	1 1/2"	WOOD	WOOD	PTD	1	
6	A	2'-6"	6'-8"	1 1/2"	WOOD	WOOD	PTD	2	
8	B	3'-6"	7'-0"	1 1/2"	WOOD	WOOD	PTD	3	
Level 2									
12	C	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	PTD	3	
13	A	2'-6"	6'-8"	1 1/2"	WOOD	WOOD	PTD	2	
14	A	2'-6"	6'-8"	1 1/2"	WOOD	WOOD	PTD	1	
15	A	2'-6"	6'-8"	1 1/2"	WOOD	WOOD	PTD	2	
16	A	2'-6"	6'-8"	1 1/2"	WOOD	WOOD	PTD	2	
17	B	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	PTD	3	
18	A	1'-0"	6'-8"	1 1/2"	WOOD	WOOD	PTD	2	
19	C	3'-0"	6'-8"	1 1/2"	WOOD	WOOD	PTD	3	
20	A	2'-0"	6'-8"	1 1/2"	WOOD	WOOD	PTD	1	

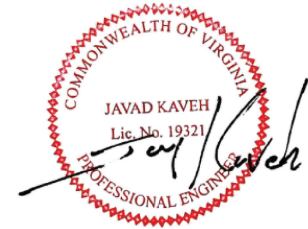
PLAN KEYNOTES	
KEYNOTE	DESCRIPTION
A1	ALL PARTITION TYPES NOT NOTED TO BE TYPE B. REFER TO A106 FOR ADDITIONAL INFORMATION.
A2	INSTALL NEW SCHEDULED DOOR ON EXISTING PARTITION TO REMAIN. REFER TO A106 FOR REQUIRED HEADER AND FASTENING BASED ON PROPOSED OPENING SIZE. SEE A100 FOR ANY DRILLING AND NOTCHING REQUIRED FOR PROPER DOOR INSTALLATION.
A3	NEW PARTITION TO MATCH EXISTING IN THICKNESS AND CONSTRUCTION. WHERE APPLICABLE, FINISH NEW PARTITION AS TO PROVIDE A CONTINUOUS AND UNIFORM SURFACE.
A4	EXISTING WALL FRAMING TO REMAIN. FINISH BOTH SIDES OF PARTITION WITH 1/2" GYP BOARD TO A LEVEL FINISH.



FLOOR PLAN - LEVEL 02
1/4" = 1'-0"



FLOOR PLAN - LEVEL 01
1/4" = 1'-0"



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NEW PARTITION
EXISTING PARTITION TO REMAIN

EXISTING DOOR TO REMAIN
NEW DOOR

PARTITION TAG
DOOR TAG
ROOM TAG

Room name: 101

- HARDWARE SET 1:**
- TWO (2) PAIRS OF FULL MORITSE BUTT HINGES;
 - PASSAGE LEVER SET;
 - FLOOR DOOR STOP WHERE NEEDED;
 - COLOR: BLACK FINISH TO MATCH EXISTING
- HARDWARE SET 2:**
- TWO (2) PAIRS OF FULL MORITSE BUTT HINGES;
 - PREVACATED WOOD LOCKSET;
 - FLOOR DOOR STOP WHERE NEEDED;
 - COLOR: BLACK FINISH TO MATCH EXISTING
- HARDWARE SET 3:**
- FULL WIDTH SLIDING DOOR ROLLER KIT;
 - INTEGRAL RECESSED FINGER PULL;
 - FLOOR GLESE STOP WHERE NEEDED;
 - COLOR: BLACK FINISH TO MATCH EXISTING

No.	Description	Date
1	ISSUE FOR PERMIT	03-17-2024

INTERIOR RENOVATION

318 N PAYNE ST.
ALEXANDRIA, VA 22314

A PROJECT FOR:

NOVA BUILDERS

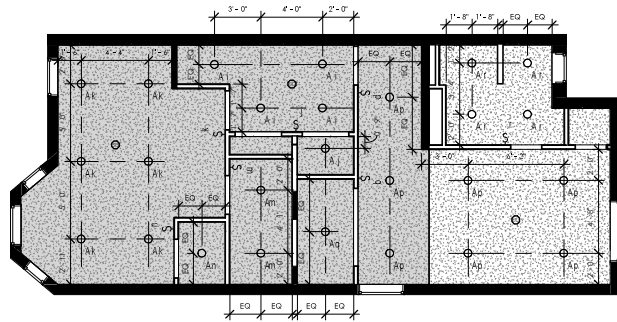
FLOOR PLAN

Project Number: 221005
Date: 3.17.2024
Drawn By: ES
Checked By: ES

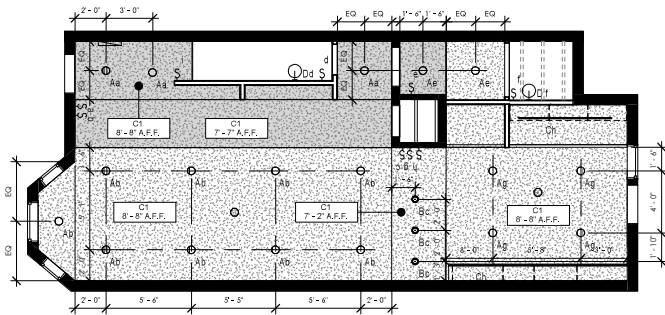
A101

Scale: 1/4" = 1'-0"

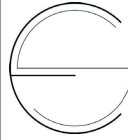
LIGHT FIXTURE SCHEDULE							
TYPE	FIXTURE	MANUFACTURER	MODEL	LUMENS	COLOR TEMPERATURE	WATTAGE	COMMENTS
A	6" RECESSED DOWNLIGHT			2,000	2,700K	22W	
B	4" CYLINDRICAL PENDANT LIGHT			1,000	2,700K	10W	
C	UNDERCABINET LED STRIP			1,000	2,700K	10W	
D	WALL MOUNTED LED FIXTURE			2,000	2,700K	22W	



CEILING PLAN - LEVEL 02
1/4" = 1'-0"



CEILING PLAN - LEVEL 01
1/4" = 1'-0"



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- FIXTURE TYPE: SWITCH CONTROL, RECESSED DOWNLIGHT
- FIXTURE TYPE: SWITCH CONTROL, RECESSED DOWNLIGHT
- FIXTURE TYPE: SWITCH CONTROL, RECESSED DOWNLIGHT
- FIXTURE TYPE: SWITCH CONTROL, RECESSED DOWNLIGHT
- FIXTURE TYPE: SWITCH CONTROL, RECESSED DOWNLIGHT
- SWITCH CONTROL: WALL MOUNTED LIGHT SWITCH
- SMOKE ALARM
- EXISTING GYP BOARD CEILING
- GYP BOARD CEILING
- OPEN CEILING
- CEILING TYPE AND HEIGHT TAG

No.	Description	Date
1	ISSUE FOR PERMIT	03-17-2024

INTERIOR RENOVATION

318 N PAYNE ST.
ALEXANDRIA, VA 22314

A PROJECT FOR:

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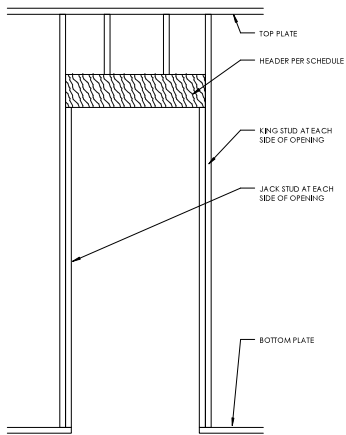
CEILING PLAN

Project Number: 221005
Date: 3.17.2024
Drawn By: ES
Checked By: ES

A102

Scale: 1/4" = 1'-0"





- Headers**
- A single 2x4 may be used as a header in interior nonbearing walls for openings up to 8 feet in width if the portion of the wall above the opening is not more than 24 inches in height.
 - If the opening does not meet these conditions, the header shall be framed as shown and sized per table.
 - Two-ply headers shall be fastened together using 16d common (3 1/2" x 0.147") face nails at 16 inches on center, or 16d box (3 1/2" x 0.137") face nails at 12 inches on center, staggered along the top and bottom edges.

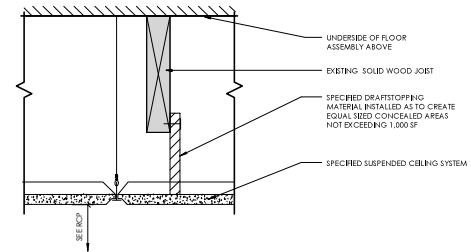
HEADER SIZE*	SPAN LENGTH, FEET
(2) 2x4	4
(2) 2x6	6
(2) 2x8	10
(2) 2x10	12
(2) 2x12	16

*NONLOADBEARING WALL ONLY

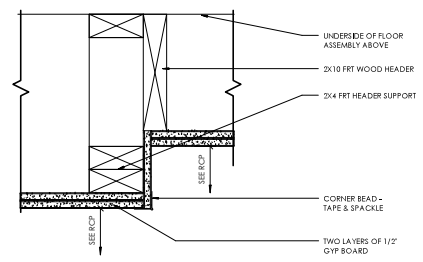
FRAMING AT HEADERS
3/4" = 1'-0"

FASTENING SCHEDULE		
CONNECTION	NAILING METHOD	FASTENER
TOP PLATE OR BOTTOM PLATE TO STUD*	TOE NAIL OR END NAIL	3-16d box (3 1/2" x 0.137") or 4-16d box (2 1/2" x 0.117") 3-16d box (3 1/2" x 0.137") or 2-16d common (3 1/2" x 0.147")
BOTTOM PLATE TO FLOOR	FACE NAIL	16d concrete nail (3 1/2" x 0.137") @ 16 o.c.
HEADER TO JACK STUD	TOE NAIL	4-16d (2 1/2" x 0.117") each side of header at each end

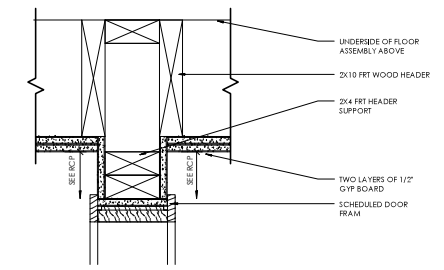
*BOTTOM PLATE FASTENERS ARE REQUIRED TO BE HOT-DIP GALVANIZED



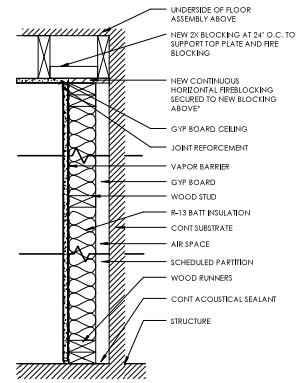
Ⓢ DRAFTSTOPPING AT DROPPED CEILING
3" = 1'-0"



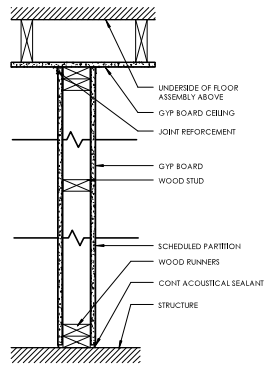
Ⓢ CEILING TRANSITION DETAIL
3" = 1'-0"



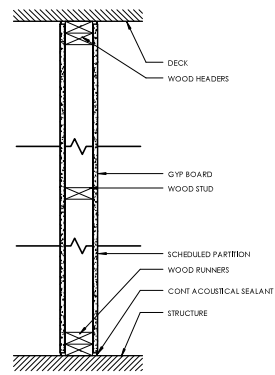
Ⓢ DOOR HEADER DETAIL
3" = 1'-0"



PARTITION TYPE C
1 1/2" = 1'-0"



PARTITION TYPE B
1 1/2" = 1'-0"



PARTITION TYPE A
1 1/2" = 1'-0"

Wall Schedule				
Type Mark	Stud Size	Wall Thickness	Stud Spacing	Thermal Insulation Value
A	2"-2 1/2"	2"-3 1/2"	16 O.C.	
B	2"-2 1/2"	2"-3 1/2"	16 O.C.	
C	2"-2 1/2"	2"-3"	16 O.C.	R-1.3

No.	Description	Date
1	ISSUE FOR PERMIT	03-17-2024

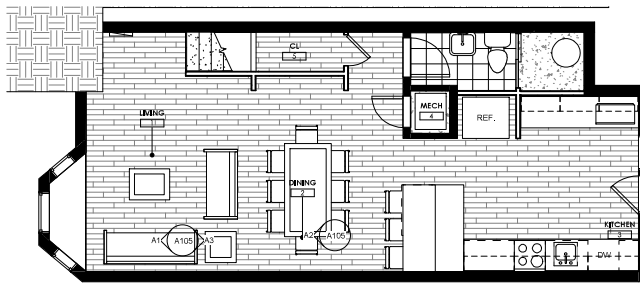
INTERIOR RENOVATION
318 N PAYNE ST.
ALEXANDRIA, VA 22314
A PROJECT FOR:
NOVA BUILDERS

PARTITION TYPES
Project Number: 221005
Date: 3.17.2024
Drawn By: ES
Checked By: ES

A103
Scale: As indicated

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FINISH SCHEDULE				
CODE	TYPE	DESCRIPTION	MANUFACTURER	MODEL
SC1	SEALED CONCRETE		TBD	TBD
PT	PAINT	1 COAT PRIMER, 2 COATS PAINT, EGGSHELL FINISH	TBD	TBD
LV1	LUXURY VINYL TILE		TBD	TBD
CP1	CARPET TILE		TBD	TBD
C2	ACT	24" X 24" ACOUSTICAL CEILING TILE ON A SUSPENDED 9/16" GRID SYSTEM	TBD	TBD
CI	GYP BOARD CEILING	1 COAT PRIMER, 2 COATS PAINT, FLAT FINISH	TBD	TBD
BT	WOOD BASE	PAINTED IN A SEMI GLOSS FINISH	TBD	TBD



A105
A4

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- NOT IN CONTRACT
- LUXURY VINYL TILE FLOORING
- CARPET FLOORING
- SEALED CONCRETE FLOORING
- PLANED WOOD FLOOR
- FINISH TAG
- FINISH TRANSITION SYMBOL-RESILIENT TO CONCRETE

No.	Description	Date
1	ISSUE FOR PERMIT	03-17-2024

INTERIOR RENOVATION

318 N PAYNE ST.
ALEXANDRIA, VA 22314

A PROJECT FOR:

NOVA BUILDERS

FINISH PLAN

Project Number 221005
Date 3.17.2024
Drawn By ES
Checked By ES

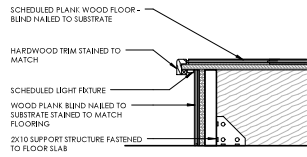
A104

Scale 1/4" = 1'-0"

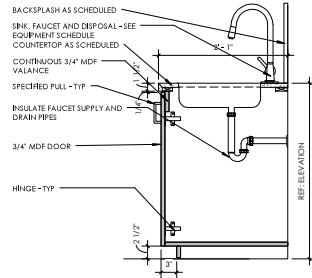
COMMONWEALTH OF VIRGINIA
JAVAD KAVEH
Lic. No. 19321
PROFESSIONAL ENGINEER

FINISH PLAN
1/4" = 1'-0"

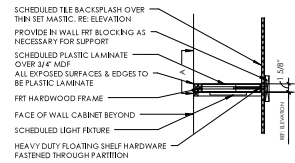
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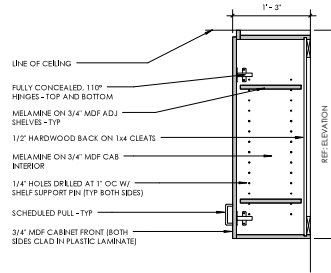
13 PLATFORM EDGE DETAIL
1 1/2" = 1'-0"



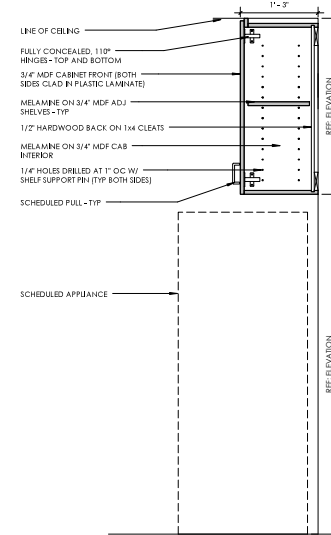
14 BASE CABINET AT VANITY SINK
1" = 1'-0"



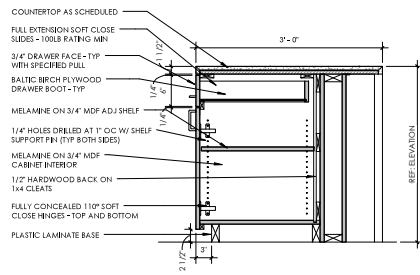
15 SECTION THROUGH FLOATING SHELF
1" = 1'-0"



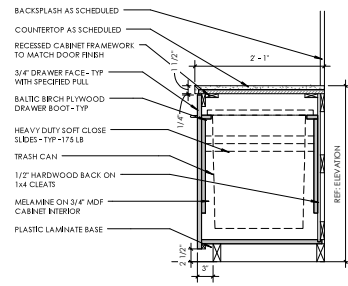
16 UPPER CABINET W/O SOFFIT
1" = 1'-0"



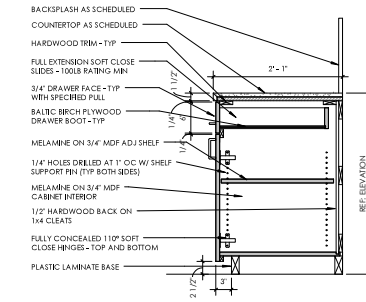
17 UPPER CABINET WITH REFRIGERATOR
1" = 1'-0"



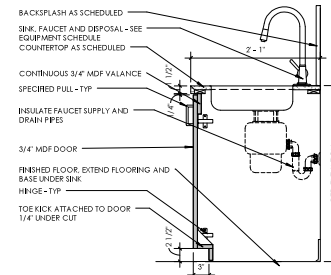
18 ISLAND AT DRAWERS
1" = 1'-0"



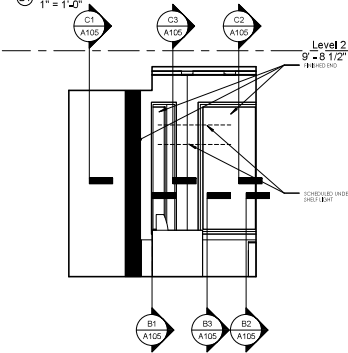
19 BASE CABINET W/ WASTE BIN
1" = 1'-0"



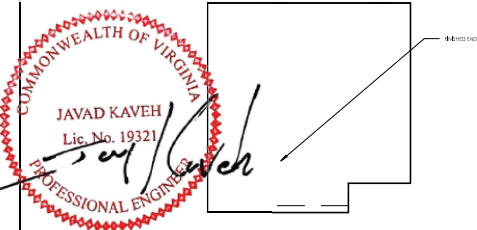
20 BASE CABINET W/ DOOR - 1 DRAWER
1" = 1'-0"



21 BASE CABINET AT SINK
1" = 1'-0"



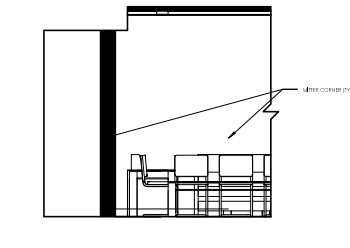
22 WET BAR ELEVATION
3/8" = 1'-0"



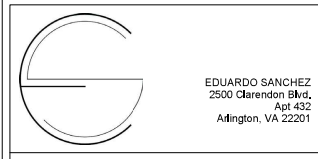
23 BATHROOM ELEVATION
3/8" = 1'-0"



24 ISLAND BACK ELEVATION
3/8" = 1'-0"



25 ISLAND FRONT ELEVATION
3/8" = 1'-0"



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No.	Description	Date
1	ISSUE FOR PERMIT	03-17-2024

INTERIOR RENOVATION

318 N PAYNE ST.
ALEXANDRIA, VA 22314

A PROJECT FOR:
NOVA BUILDERS

ELEVATIONS, SECTIONS AND DETAILS

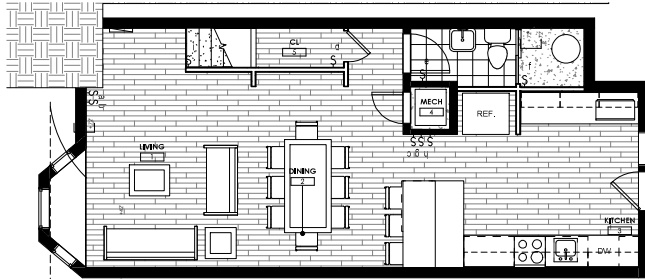
Project Number 221005
Date 3.17.2024
Drawn By ES
Checked By ES

A105

Scale As indicated

EQUIPMENT SCHEDULE					
CODE	DESCRIPTION	MODEL	MANUFACTURER	MINIMUM DRAIN SIZE	REMARKS
				1-1/2"	BY OWNER
E1	UNDERMOUNT SINK AND FAUCET	TED	TED	1-1/2"	BY OWNER
E2	UNDERMOUNT LAVATORY SINK AND FAUCET	TED	TED	1-1/2"	BY OWNER
E3	UNDERMOUNT LAVATORY SINK AND FAUCET	TED	TED	1-1/2"	BY OWNER
E4	UNDERMOUNT LAVATORY SINK AND FAUCET	TED	TED	1-1/2"	BY OWNER
E5	FLOOR MOUNTED TANK TOILET	CIRCUIT RATING	TED	N/A	BY OWNER
E6	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E7	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E8	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E9	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E10	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E11	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E12	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E13	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E14	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E15	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E16	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E17	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E18	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E19	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E20	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E21	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E22	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E23	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E24	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E25	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E26	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E27	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E28	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E29	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E30	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E31	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E32	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
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E34	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E35	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
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E40	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E41	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E42	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
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E71	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E72	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
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E77	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E78	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E79	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E80	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E81	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E82	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E83	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E84	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E85	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E86	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E87	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E88	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E89	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E90	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E91	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E92	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E93	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E94	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E95	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E96	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E97	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E98	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E99	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER
E100	FLOOR MOUNTED TANK TOILET	TED	TED	N/A	BY OWNER

POWER KEYNOTES	
KEYNOTE	DESCRIPTION



EDUARDO SANCHEZ
2500 Clarendon Blvd,
Apt. 432
Arlington, VA 22201

www.eduardosanchez.com

	HOT IN CONTRACT		WALL SWITCH
	CONVENIENCE OUTLET		RECESSED CATS DATA PORT
	GR CONVENIENCE OUTLET		FLOOR MOUNTED CONVENIENCE OUTLET
	DEDICATED OUTLET		FLOOR MOUNTED CATS DATA PORT
	ELECTRIC PANEL (EXISTING)		OWNER PROVIDED TV - COORDINATE DEVICE FOR A RECESSED/CHIEF BOX INSTALLATION

- Branch circuits must meet the requirements listed below:**
- Use a 15- to 20-ampere rated branch circuit for general use purposes such as lighting and outlets.
 - One "plugged-in" electrical device shall not exceed 80 percent of the circuit rating.
 - Hardwired appliances or equipment may be included in a general use circuit provided its rating does not exceed 50 percent of the circuit rating.
 - A dedicated 20-ampere minimum branch circuit must be provided to serve laundry room outlets only.
 - A dedicated 20-ampere branch circuit must be provided to serve the bathroom receptacles.
 - Branch circuits which serve bedroom outlets must have circuit breakers equipped as combination arc-fault/over current circuit interrupters.
- Outlets must meet the requirements listed below:**
- Outlets shall be tamper resistant.
 - The minimum wall length which requires an outlet is 2 feet.
 - Kneewalls, built-in bars and other fixed room dividers must be included for outlet spacing.
 - Hallways more than 10 feet long must have a minimum of one outlet.
 - Outlets installed for specific appliances must be within 4 feet of the appliance location.
 - Bathrooms must have at least one outlet located on a wall adjacent to each basin and within 36 inches of the bathroom sink. All bathroom outlets must have ground fault circuit interrupter (GFCI) protection.
 - At least one outlet must be provided to serve laundry appliances and sinks.
 - Each unfinished portion of the basement is required to have at least one outlet that is GFCI protected.
 - An outlet must be provided within 25 feet of heating and air conditioning appliances and equipment.

No.	Description	Date
1	ISSUE FOR PERMIT	03-17-2024

INTERIOR RENOVATION

318 N PAYNE ST.
ALEXANDRIA, VA 22314

A PROJECT FOR:

NOVA BUILDERS

POWER PLAN

Project Number 221005
Date 3.17.2024
Drawn By ES
Checked By ES

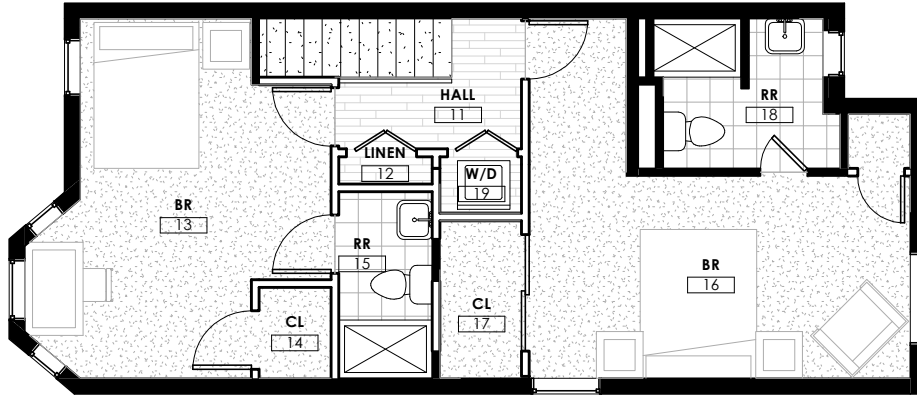
A107

Scale 1/4" = 1'-0"



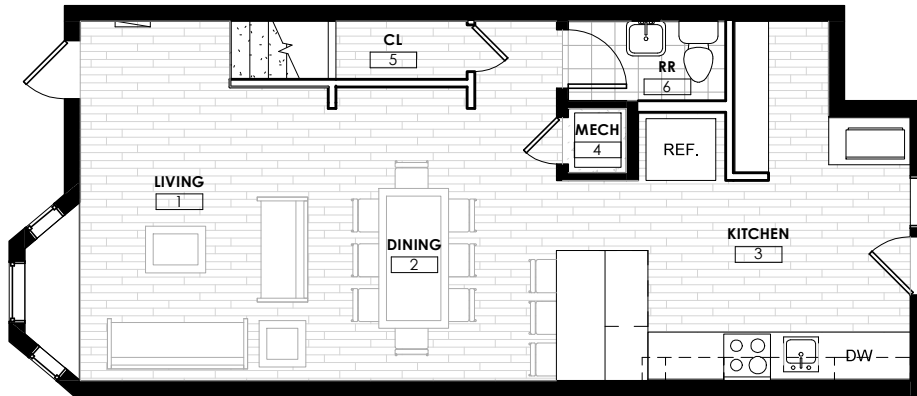
POWER PLAN
1/4" = 1'-0"

3/17/2024 9:05:51 PM



FLOOR PLAN - LEVEL 02
3/16" = 1'-0"

LIVING ROOM 3D VIEW



FLOOR PLAN - LEVEL 01
3/16" = 1'-0"

KITCHEN 3D VIEW



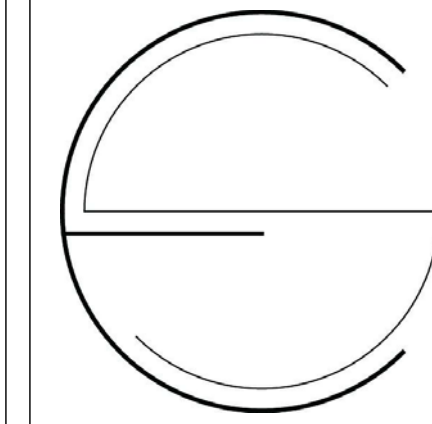
318 N PAYNE ST
RENOVATION

TEST FIT 02

Project number 221005
Date 3.10.2024
Drawn by ES
Checked by ES

TF02

Scale 3/16" = 1'-0"



EDUARDO SANCHEZ
2500 Clarendon Blvd.
Apt 432
Arlington, VA 22201

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No.	Description	Date
1	ISSUE FOR PERMIT	03-17-2024

INTERIOR RENOVATION

318 N PAYNE ST.
ALEXANDIA, VA 22314

A PROJECT FOR:

NOVA BUILDERS

EXTERIOR ELEVATIONS AND SECTIONS

Project Number 221005

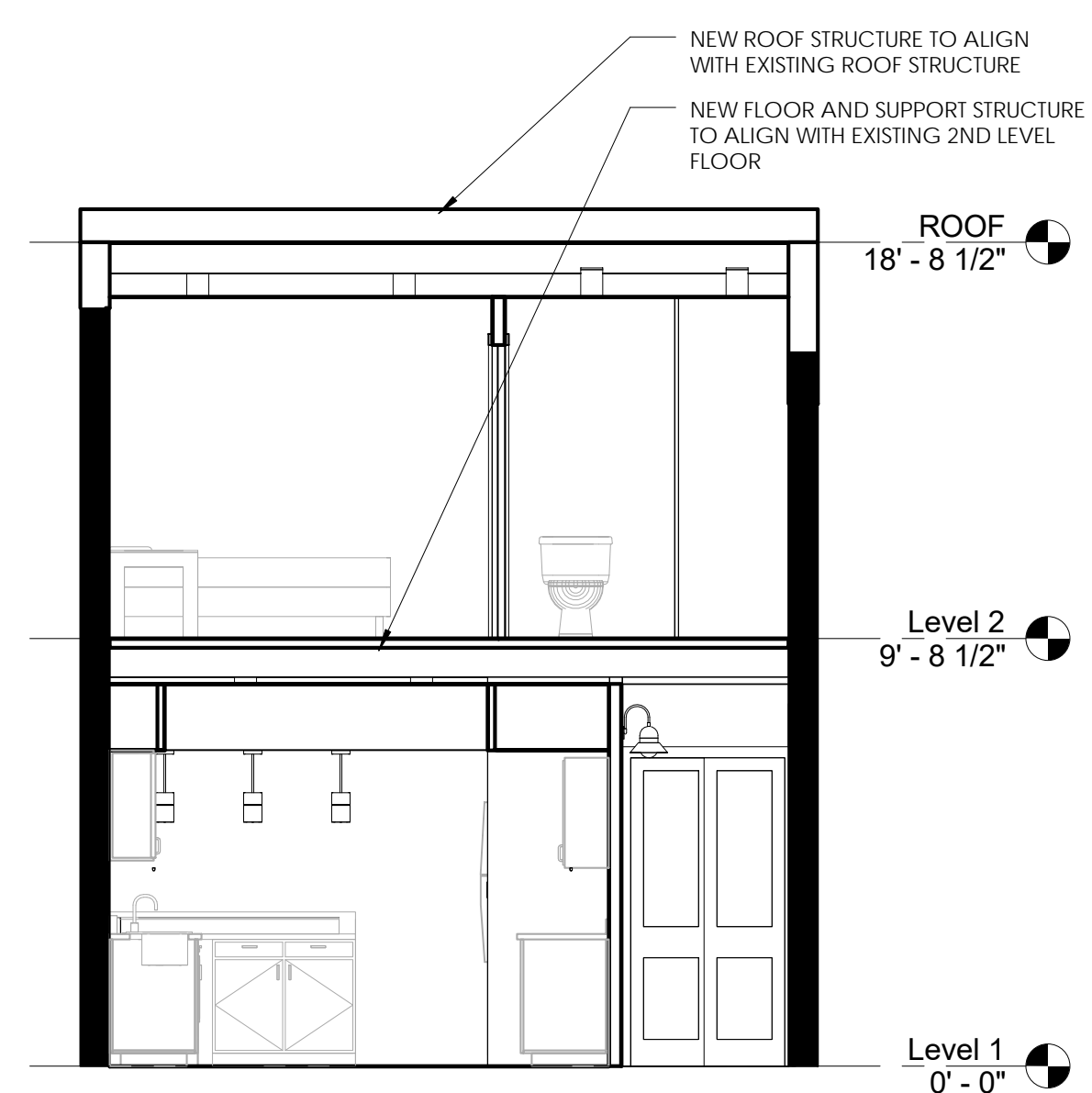
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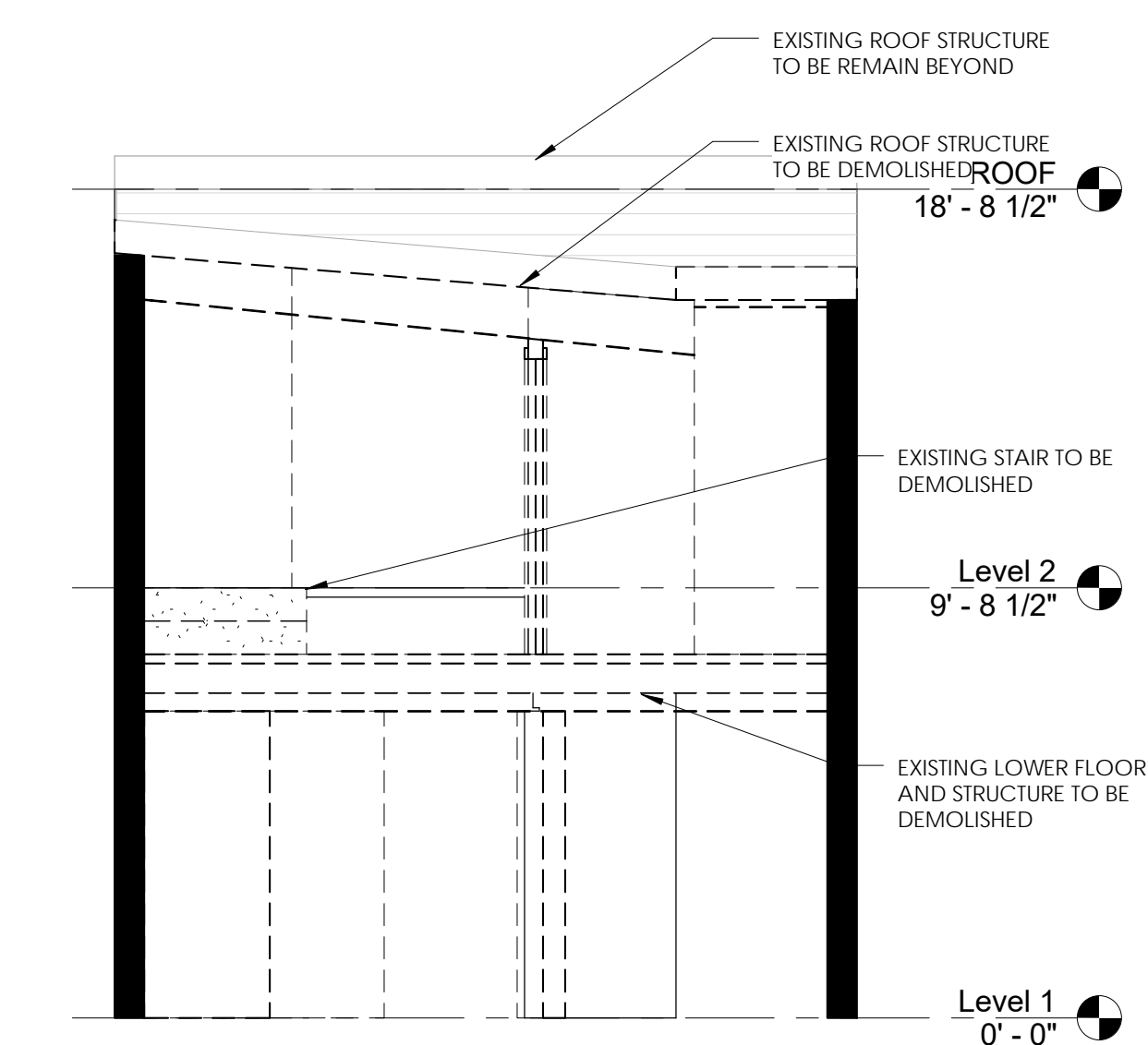
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A104

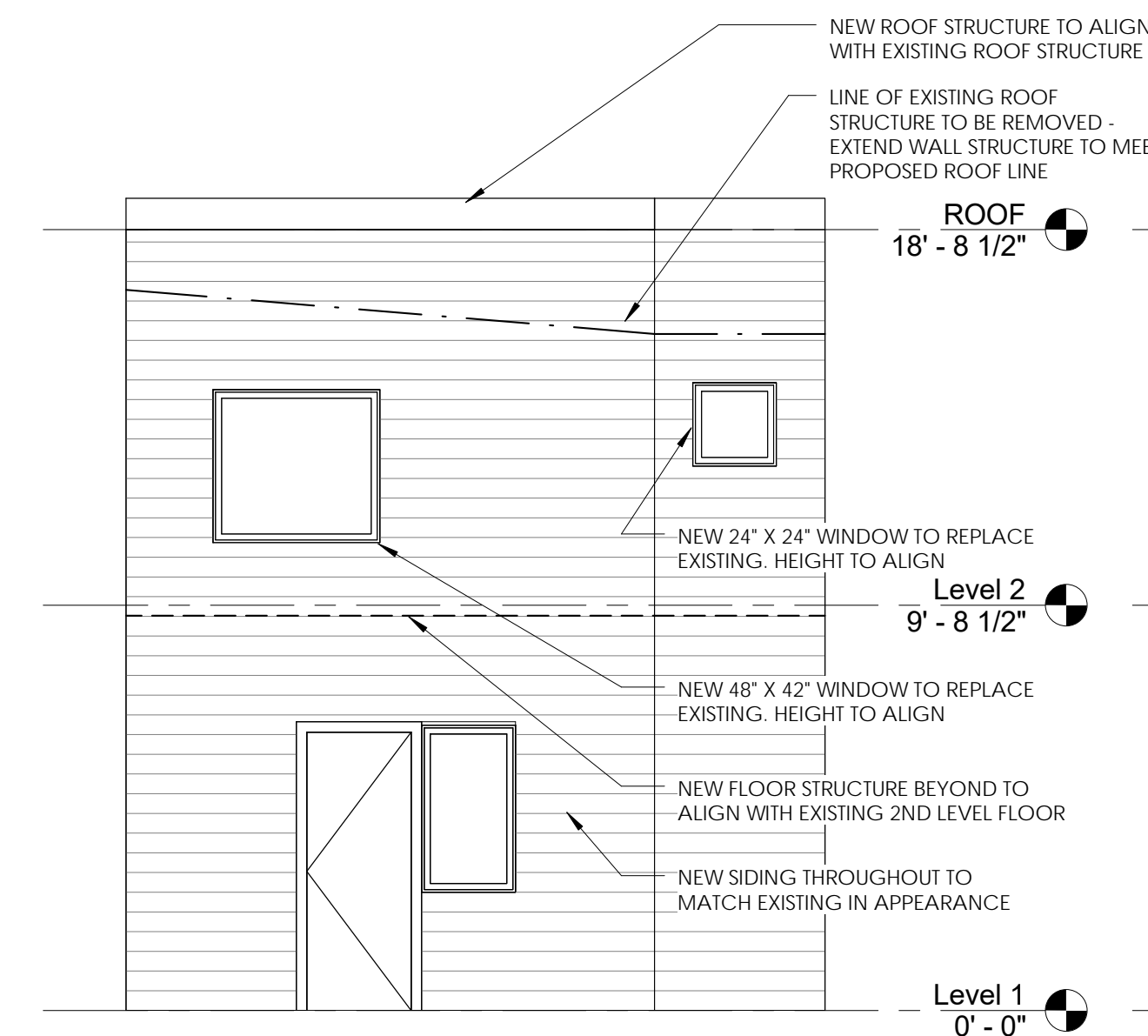
Scale 1/4" = 1'-0"



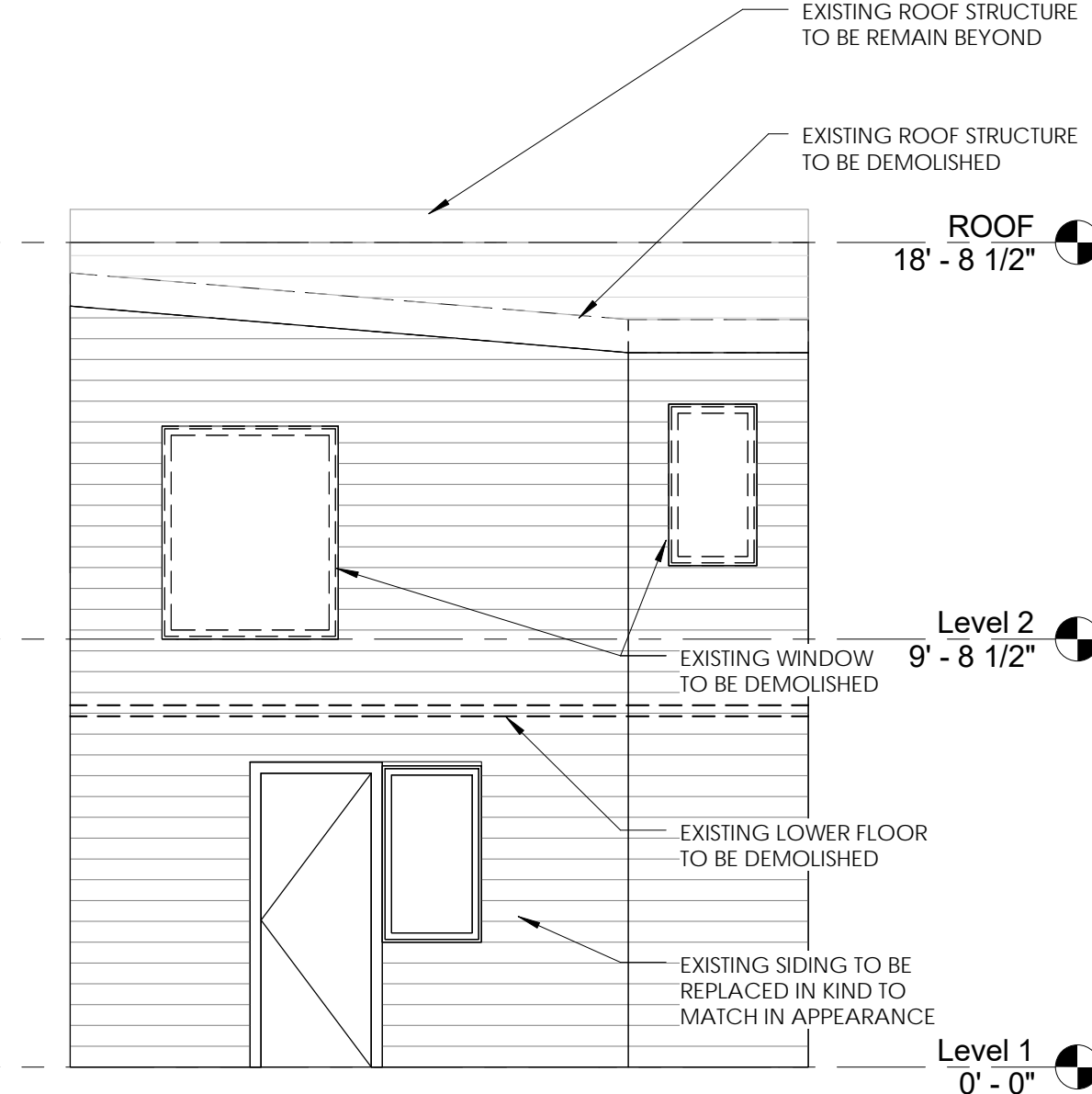
A4 SHOOT SECTION
1/4" = 1'-0"



A3 SHOOT SECTION - DEMO
1/4" = 1'-0"



A2 BACK ELEVATION - CONSTRUCTION
1/4" = 1'-0"



A1 BACK ELEVATION - DEMOLITION
1/4" = 1'-0"

