

City of Alexandria, Virginia

MEMORANDUM

DATE: DECEMBER 3, 2014

TO: CHAIRMAN AND MEMBERS OF THE OLD AND HISTORIC
ALEXANDRIA DISTRICT BOARD OF ARCHITECTURAL REVIEW
(BAR)

FROM: HISTORIC PRESERVATION STAFF

SUBJECT: 2nd CONCEPT REVIEW WORK SESSION FOR
RECONSTRUCTION AND AN ADDITION TO 0 PRINCE STREET;
THE FORMER BEACHCOMBERS, BAR CASE #2014-00296

I. APPROVED MINUTES OF THE OCTOBER 1, 2014 CONCEPT REVIEW WORK SESSION

On October 1, 2014, The Board held an initial BAR Concept Review work session with the applicant and their design team to discuss the redevelopment of **O Prince Street**. The approved minutes and BAR member comments are attached below and the original staff report can be found here:

http://legistar.granicus.com/alexandria/meetings/2014/10/1212_A_Board_of_Architectural_Review-Old_and_Historic_14-10-01_Docket.pdf

SPEAKERS

Michael Winstanley, architect for the applicant, presented the proposed project.

BOARD DISCUSSION

Mr. von Senden expressed support for the project in concept. He stated that the building form takes advantage of the settlement agreement's site plan. He favored the use of the exterior steps, and directed the architect to implement a two story "hyphen" or a clear transition between the old and new. He was intrigued with the vernacular inspired modern design direction and concluded by suggesting that the building should have a true "Jackstaff" flagpole.

Ms. Finnigan also recommended focusing on the delineation of the historic building form and noted a concern with the large size of the mechanical penthouses.

Mr. Neale was very pleased with the holistic integration of the old and new. He did not object to the height or the mass of the building. He also echoed Ms. Finnigan's concerns about the penthouse and suggested that the architect study a more simplified form for this mass.

Ms. Miller concurred with her colleague's comments.

Ms. Roberts also supported her colleague's comments and expressed that she liked the design submitted and its use of glass, yet would like to see a wall character that is visually lighter toward The Strand, suggesting materials that reflect the boat construction of a scull.

Chairman Fitzgerald summarized the Board's comments. He noted strong support for the design direction the team already has and is pursuing. He cautioned the applicant against drastic changes in future submissions, noting the current Board support for the current design direction and the danger of creating a camel.

Mr. Neale noted for the record that the Board should not limit the architect in this schematic stage of the design process.

II. BACKGROUND

The material now before the Board is part of a second BAR Concept Review work session to evaluate the applicant's changes to proposed design for the building which is to be the future location of the Old Dominion Boat Club (ODBC) at the southeast corner of Prince Street and The Strand along Alexandria's waterfront.

BAR Concept Review Policy

The BAR Concept Review Policy was adopted by the two Boards of Architectural review in May 2000. Concept Review is an informal process at the beginning of a Development Special Use Permit (DSUP) application whereby the BAR provides the applicant, staff, the Planning Commission and City Council with comments relating to the overall appropriateness of a project's scale, mass, general architectural character and materials, if applicable. The Board takes no formal action at the Concept Review stage and the comments are not binding upon the BAR or the applicant. However, if the Board believes that the building's design direction is not consistent with the character of the historic district or the proposed demolition and reconstruction would not be supported in the future, the applicant and staff should be advised as soon as possible. This early step in the development review process is intended to minimize future architectural design conflicts between what is shown to the community and City Council during the DSUP approval and what the Board later finds architecturally appropriate under the criteria in Chapter 10 of the Zoning Ordinance and the BAR's adopted *Design Guidelines*.

At this phase in the development process it is important for the Board to express any major concerns and to provide design comments and direction including any provided details, fenestration, materials, textures, colors etc. to assist the architect with further architectural refinements to the design. When the Board formally reviews the Permit to Demolish and Certificate of Appropriateness, following City Council approval of the DSUP, they will be presented with the applicant's final design proposal based on these comments.

However, as with all general design comments, the Board's comments during Concept Review work sessions are for advice only and are not intended to restrict their review during the approval phase, should additional information be presented in the future.

Site History

The two-story cinderblock building, referred to in this report as the Beachcombers was originally constructed in **1946**. This is one of a few buildings along the waterfront which recalls the history of Alexandria's late 19th/early 20th century marine uses. The building has had a range of uses over the years, including the original use as a restaurant, retail storage, and a sporting goods store. In

1972, “The Dandy” dinner cruise ship began using the wood pier parking lot and the adjacent one-story, frame building as its launch site, parking lot and offices and in 2006, the City acquired the property to expand its public access to the waterfront.

In April 2012, the BAR determined that the utilitarian character of this simple building with its punched windows, projecting balconies and a rooftop dining was significant, yet found that the materials were common and did not display a high degree of craftsmanship that made them worthy of preservation or slavish reproduction. Based on further structural engineering analysis and current flood plain requirements, it is expected that much or all of the existing Beachcombers building may need to be reconstructed in its existing location. The property also contains a non-historic, late 20th century one-story, frame modular building which houses The Dandy’s tour boat offices, wood fencing and pier, and an approximately 16,000 sq. ft. asphalt parking lot.



Figure 1: The Beachcombers c1950
John C. Richards Collection, Alexandria Library – Local History Special Collections

III. PROJECT DESCRIPTION

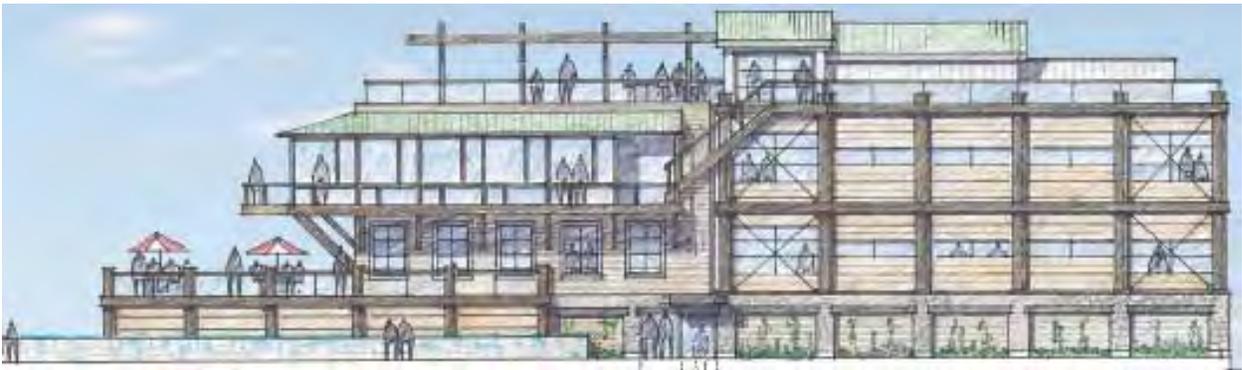
The purpose of the first Concept Review work session was to introduce the history and context of this site and to submit schematic designs for the Board’s feedback on the appropriateness of the general architectural character in relation to the City Council approved massing and scale diagrams for the proposed building. This second Concept Review work session will delve more deeply into the design details of the building and its addition, examine materials as well as address the parking lot renovations. In a future submission, the Board will be considering in more detail landscape enhancements, bulkhead and waterfront promenade improvements, future construction of a dock and boat slips, a new boat house and boat ramp. The changes from the Concept #1 submission includes:

General

- Installation of a roof parapet on the addition to shield the rooftop mechanical equipment.
- Addition of solar panels on a structure above the roof top terrace.
- Reduction in the size of the penthouse by approximately 11’ in length and change in its roof form from a gable to a flat roof.
- Alterations of the wall system for the addition from exterior vertical piers located on the outside of the wall to a recessed metal channel reveal.

North Elevation

- A one-bay extension to the outdoor patio on the first floor to accommodate a ramp and boat bell.
- Relocation of the first floor main entry doors on the north elevation from the main block to the addition to align the entry lobbies the first floor elevations.
- Alterations to the fenestration placement on the addition in response to interior functions.
- Installation of sun control shade screens on the wall of the addition.
- Location of a storefront in the northwest corner to house the “ODBC store”



Concept #1 - North Elevation (Prince Street)



Concept #2 - South Elevation (Prince Street)

South Elevation

- A shift of the exterior access stair which leads onto the outdoor patio one-bay to the east.
- Reduction in the number of “bays” below the first floor outdoor patio.
- Addition of a three-story, exterior access stair to the rooftop terrace.
- Addition of glazing to the first floor bay adjacent to the main entry.
- Alterations to the fenestration placement on the addition in response to interior functions.
- Install sun control shade screens on the wall of the addition.



Concept #1 - South Elevation (Faces Parking Lot)



Concept #2 - South Elevation (Faces Parking Lot)

East Elevation

- A one-bay extension to the outdoor patio on the first floor to accommodate a ramp and boat bell.
- Relocation of the exterior staircase on the first floor leading onto the east elevation's outdoor patio.
- Change the roof form of the penthouse from a gable to a flat roof.

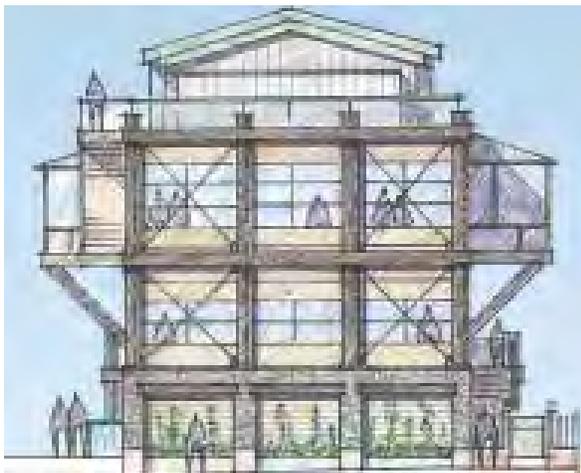


Concept #1 East Elevation (Waterfront)

Concept #2 East Elevation (Waterfront)

West Elevation

- Change the roof form of the penthouse from a gable to a flat roof.
- Alterations to the fenestration placement on the addition.
- Install sun control shade screens on the wall of the addition.
- Location of a storefront in the northwest corner to house the “ODBC store”

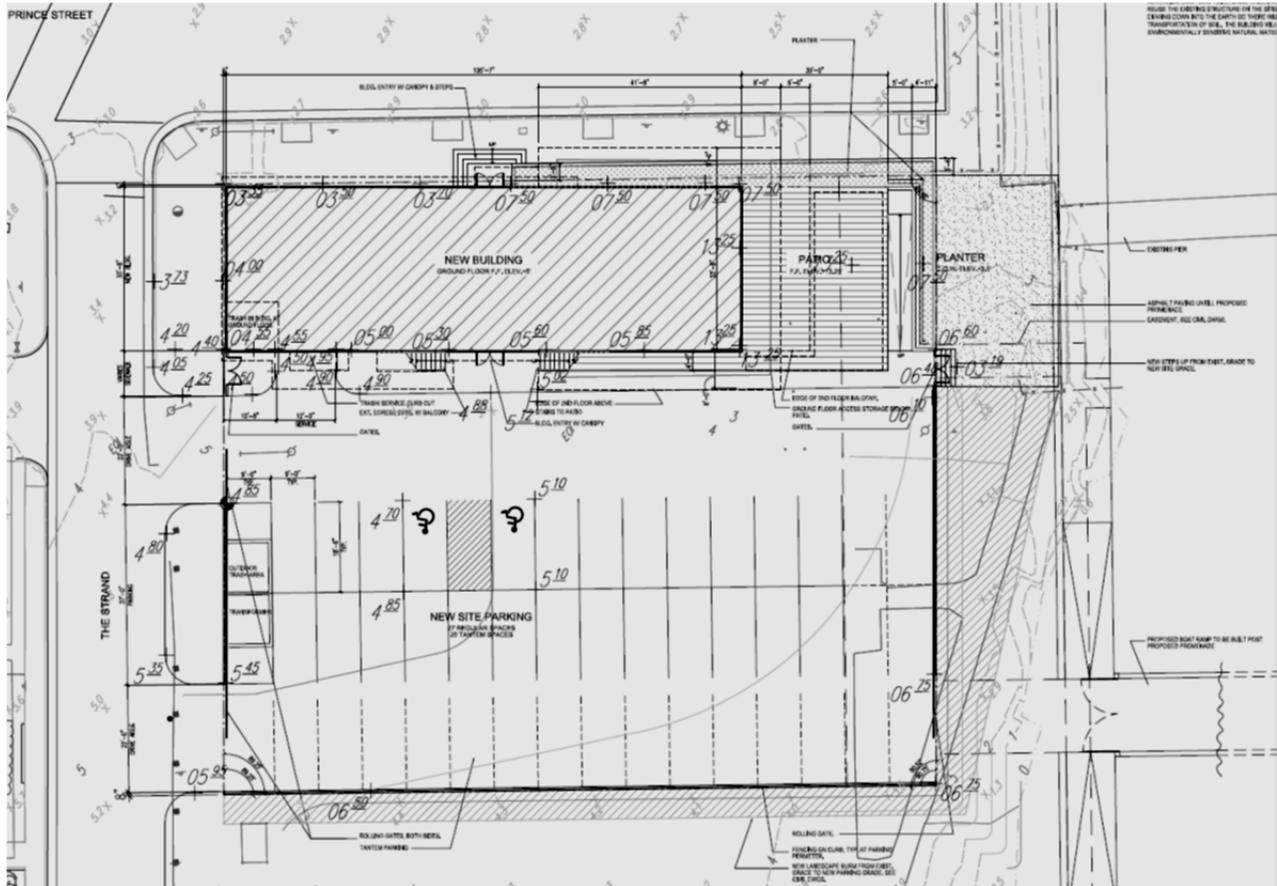


Concept #1 West Elevation (The Strand)

Concept #2 West Elevation (The Strand)

Alterations to Site

- Construction of a fence around the perimeter of the parking lot.
- Install outdoor trash area and transformer with enclosure to face The Strand within the parking lot.
- Install a planter along the northeast corner of the building to address the grade changes along the Waterfront and Prince Street Park.



Concept #2 Site Plan

IV. STAFF ANALYSIS

Standards to Consider for a Certificate of Appropriateness

In addition to the general BAR standards outlined in the Zoning Ordinance and the BAR's *Design Guidelines*, the project must also comply with the recently adopted *Waterfront Small Area Plan* and the *City Council/ODBC Property Acquisition and Exchange and Settlement Agreements*. This project, which is located along the waterfront, is subject to a higher level of scrutiny and design due to its prominent location.

BAR Design Guidelines

The BAR's *Design Guidelines* only require that new buildings be compatible with nearby buildings of historic merit and do not mandate the use of historic styles for new construction.

However, they do state that where new buildings recall historic building styles, that the architectural details used throughout the building be consistent with that same style and that the building should not be a slavish replica of any particular building in the district. Additionally, the *Guidelines* note that “new and untried approaches to common design problems are encouraged and should not be rejected out of hand simply because they appear to be outside the common practices outlined in the guidelines.”

At the first concept review, the BAR found the scale and architectural character to be appropriate for the site, though there were several comments requesting a slightly more pronounced definition of the historic building form and concerns with the large size of the mechanical penthouses. A BAR member also suggested that the west wall facing The Strand be lighter in detail and specifically directed the applicant to continue to pull design imagery from the waterfront/marine heritage of Alexandria.

The current submission addresses many of the BAR members comments during the previous concept review. Although staff finds the design of the addition to be visually distinct, in order to provide the requested delineation between the historic building and the addition, it is suggested that the hyphen between the two forms be further emphasized. Additional glazing in this area would provide two separate distinct blocks with individual, but compatible, architectural character and details.

The architect has submitted much more refined renderings to more accurately depict the design and similar materials proposed for the historic building and its new addition. Staff finds that the proposed addition is more balanced. The wall system on the addition has been modified to contain a recessed metal channel with projected walls. The exterior “piers” which for some recalled telephone poles on the elevations, is replaced by a timber frame structure on the interior. This allows for a more delicate wall system and highlights the clapboard cladding material (either wood or painted HardiePlank), which is carried all the way around the building, referencing both the historic vernacular wood frame buildings of Alexandria as well as lapstrake wood boat planking.

The applicant has presented three stone options for the ground level foundation— a gray and multicolored ashlar fieldstone and a natural dressed fieldstone, similar to the Potomac River granite utilized on many of our historic building foundations. Staff regularly encourages the use of historically appropriate, high-quality materials in a modern way as a means to ensure that new construction is compatible with the district. In this particular case, staff finds that the use of stone would be appropriate for this building and its location at the foot of Prince Street. Additionally, the use of the natural stone at the foundation helps to ground the building and articulate the elevations to reduce the visual scale of the building. The use of the stone, in conjunction with the horizontal siding and variety of windows provide visual interest for pedestrians along The Strand and Prince Street.

The area previously of most concern for the BAR was the rooftop mechanical penthouses. Several BAR members noted concern with the design of the roof structure and its overall size. The applicant’s response has been to make the penthouse read as a more integral part of the building by reducing its length approximately eleven feet, compacting the mechanical areas, and reorienting the stair and elevator vestibules. Additionally, using three foot high parapets on the perimeter of the addition also helps to visually screen these rooftop elements. While these details are certainly an improvement, and a minimal penthouse is crucial in this location, staff believes that the penthouse still reads as a major building feature and continues to recommend further refinement, such as eliminating the mechanical screens at the west end of the roof and utilizing the parapet walls as the

screening. Staff further continues to recommend the use of ground source heat pumps for the building, as this energy efficient system would eliminate almost half of the current rooftop mechanical equipment.

Staff notes that the rooftop frame for the solar panels must be eliminated, as they are not the minimum size necessary for necessary mechanical equipment. The solar panels themselves are encouraged and may be relocated to alternative rooftop surfaces, such as the penthouse roof. Although the drawings show that the mechanical penthouse is set back from the building face, staff encourages further study, as the building is sited in a park at the lowest point of the city, and the rooftop features will be more visible than normal.

Regarding the other building features, staff notes that the applicant proposes to activate the corner of Prince Street and The Strand by installing an ODBC retail shop for the purchase of ODBC logo items. This is similar to the practice of other boat clubs around the area. Staff supports the proposed design of these windows facing The Strand and Waterfront Park, subject to the use being in conformance with zoning and code requirements for the floodplain.

While the focus of the submission was on the architecture, the site plan indicates the construction of fencing around the perimeter of the parking lot with rolling gates along The Strand and the Waterfront and an outdoor trash area and transformer to be installed within the parking lot facing The Strand. Staff supports the applicant's desire to construct a low fence or wall that would provide more visual openness for the pedestrians and those in automobiles, however, staff is concerned about housing trash outside the building, even if it is to be in a very attractive enclosure. The Strand will be a future amenity for residents and minimizing exterior trash receptacles, and their potential odors, in this corridor is desirable. It is also recommended that discussions regarding the location and placement of the transformer be undertaken with Dominion Virginia Power early in the design stage, to determine whether there are other less visible locations for this required facility and Dominion Virginia Power requirements for the transfer location.

As noted previously, the BAR found the proposed new construction to be in keeping with the scale and character of this section of the waterfront and, particularly, that the design references of the former boat clubs were appropriate for this historic Alexandria use. Staff finds the refined design scheme to be an improvement over what the BAR previously reviewed but recommends that the design team restudy the hyphen connector between the historic mass and the new addition, the size of the rooftop mechanical penthouse, and relocate the outdoor trash area.

Potomac River Vicinity Standards

This project is currently zoned W-1 (Waterfront Mixed Use), and the applicant will be requesting a re-zoning of the property to the WPR (Waterfront park and recreation zone) in order to allow the use as a boat club and to be consistent with the Waterfront Plan. The building height is limited to 30' in the WPR zone and the ODBC is only requesting a 30' tall building, as measured from average finished grade to the top of the roof. Therefore, no SUP for additional height is required and the additional standards of the height district will not apply, nor will the additional standards of section 10-105(A)(4) for granting a Certificate of Appropriateness in this height district be applicable.

It is important to note that this project will establish new finished grades for the site and these grades will be coordinated with the surrounding parks and promenade of the Waterfront Plan during Final Site Plan review.

Per Zoning Comments in section V below, the rooftop architectural appurtenances may extend above the maximum building height, pursuant to zoning ordinance 6-403 (B) (2) C), but must be limited in size to the minimum space required to house necessary mechanical equipment. As a result, the wooden frame arbor/structure on the roof deck sheathed with solar panels must be removed to comply with the height requirement. Additionally, all furnishings, including tables, bars and shade structures proposed for the rooftop terrace must be moveable, temporary and seasonal. The enclosed “mechanical room” located on the roof adjacent to the bar area/countertop may not be considered mechanical if being used for anything other than housing necessary mechanical appurtenances. If the room is being used for purposes other than for mechanical appurtenances, then this portion of the penthouse must be removed to comply with the 30 foot building height limitation.

Waterfront Small Area Plan

This project is located in the *Working Seaport* Character and Theme Area along The Strand. The ODBC has been located in similar facilities within two blocks of this site since 1880. A boat club with active piers and a launch ramp effectively conveys this character and activates the adjacent parks and waterfront promenade.

IV. STAFF RECOMMENDATION

At this time, it is anticipated that the DSUP proposal will be reviewed by Planning Commission and City Council in March 2015. It is expected that the applicant will work with the BAR at one more work session prior to the formal DSUP application. Following City Council approval, the applicant would then return to the BAR with a formal application for Permits to Demolish/Capsulate and Certificate of Appropriateness for the parking lot design, etc.

At this time, staff recommends that the BAR find the second concept design for the proposed development to be appropriate with respect to the height, scale, mass and general architectural character of the waterfront of the Old and Historic Alexandria District. The applicant should continue to work with staff to address the following issues prior to returning to the BAR for a final concept review work session:

1. Continued refinement of the exterior materials, finishes and details.
2. Restudy of and adjustments to the proposed rooftop mechanical screening.
3. Remove the wooden frame arbor/solar panel support structure on the roof deck and relocate the solar panels.
4. Restudy of the hyphen connector between the historic mass and the new addition.
5. Ensure that all furnishings including tables, bars and shade structures proposed for the rooftop terrace are temporary and seasonal and removable without the use of tools.
6. Provide site design details of proposed piers, boat house (e.g. elevations, floor area and building height) and the boat ramp, material for parking lot.
7. Per zoning ordinance section 6-403, screening of *necessary* rooftop mechanical equipment shall be provided, using architectural materials of the same type of quality used on the exterior walls of the main building. Future submissions shall indicate the extent of the proposed rooftop appurtenances and must demonstrate that proposed penthouses, equipment and screening are the minimum amount practicable. Screening may be waived by the OHAD BAR if the Board finds such requirement to be architecturally inappropriate. Any other rooftop structures shall be temporary in use and appearance and easily dismantlable without the use of tools.

STAFF

Michele Oaks, Historic Preservation Planner, Planning & Zoning

Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Planning and Zoning

Findings

- 1) Staff notes that the applicant is considering a retail space on the Strand. Please note that retail uses are only allowed with a permitted use in the WPR zone, not with special uses, however, if a boat club store is a typical use in a boat club, it may be able to be approved as part of that use. Any retail would need to be entirely incidental to the boat club primary use, with retail typical of that found in other boat clubs and merchandise exclusively boat club-related. Staff would also support conditions that would prohibit separate signage for the retail space and for a condition that the space could not be leased for another use.

Recommendations

- 2) Staff continues to have concern for the amount of enclosures and equipment on the rooftop, which shall be minimized to the extent possible and specifically:
 - a) Staff cannot support the currently shown solar panel canopy on the roof. Green building elements are laudable, but staff continues to advise that the rooftop equipment must be temporary in nature and dismountable without the use of tools. Staff has stated previously that an alternative temporary canopy system may be permitted, along with umbrellas for other rooftop tables. Consider alternate rooftop locations for solar arrays.
 - b) The plan seems to include permanent bar areas on the roof. These also must be temporary and dismountable.
 - c) Staff continues to advise the applicant to consider whether the screening for the outdoor mechanical equipment can be minimized further or even removed altogether, given the screening effects of the parapet walls.
 - d) The enclosed area which accommodates the serving area for the rooftop bar but which is listed as mechanical equipment shall be removed completely.
 - e) The wall enclosures and doors to the two side vestibules at the roof level shall be removed, although the roof canopies above them may remain to screen the elevator and entrances from the elements.
 - f) In order to limit the necessity for a vestibule at the roof level, terminate the grand staircase at the second level. Several other means of access to the roof are already provided.
 - g) Rooftop equipment and screening shall be minimized to the greatest possible extent and the applicant shall demonstrate to staff that the minimum dimensions are being proposed.
 - h) Provide direction arrows for all staircases.

- 3) Transformers/enclosures in the parking lot
 - a) Staff request full information from the applicant in terms of the dimensions of the transformers and dimensions and proposed finished materials for the screening. The applicant is advised to determine that the location and size of the transformer as shown is suitable and permissible for Dominion Virginia Power prior to submittal of the Preliminary plan.
 - b) Staff does not support any trash enclosure at this location.
- 4) Perimeter Fence
 - a) Staff request full information from the applicant in terms of the dimensions and proposed finished materials for the fences and all associated walls and gates at the full perimeter.
 - b) Fence height shall be minimized to the extent possible.
- 5) Storage under the patio
 - a) Staff does not support the recent addition of storage under the patio area. Previous discussion with the applicant's team was that the patio area would be set on solid fill.
- 6) Architectural elements
 - a) Clarify the dimensions of the concave cornice detail and ensure its maximum dimension meets Code requirements for encroachment into the right-of-way
 - b) At future submissions, provide large-scale plan and section details for façade materials which clearly define their dimensional relationship to the property line to ensure compliance with Code requirements.
 - c) The curtain wall shown on A-102 is not illustrated on the elevations but would effectively enlarge the building beyond that envisioned in the settlement agreement with the City. Please remove.

Zoning

The subject property consists of one parcel along the Potomac River waterfront. The applicant is proposing to redevelop the existing building and rezone the property from WP-1 to WPR. The plan proposes a private marina and a boat club with related facilities. The existing zone, WP-1, and the proposed new zone, WPR, allow a private marina and a boat club with an approved special use permit. The applicant is asking for modifications to the minimum front yard setbacks, as well as one minimum side yard setback. The applicant also requests a modification to encroach into the required vision triangle along the Prince Street and Strand intersection. Additionally, a modification to the open and useable space is proposed, as well as a parking reduction.

- F-1 The applicant stated that a parking reduction is needed for this site, however, according to section 8-500 of the Zoning Ordinance, there is a "Waterfront Parking Exemption" which states that the off-street parking requirements of section 8-200 (A) shall not apply to those properties located immediately abutting the Potomac River, south of Third Street to and including Jones Points Park. Confirm with City Attorney to determine if this property is listed as exempt from providing parking along the waterfront.
- F-2 The WPR zone does not allow improved roof decks and balconies to count as open and useable space.

- F-3 The portion of the patio on the ground level being counted as open and useable space cannot be covered by the overhang of the 2nd story. This area with overlap must be deducted from the total open space calculation.
- F-4 The portion of the patio on the ground level that is less than eight feet in width cannot be counted as open and useable space per section 2-180 of the Zoning Ordinance. Additionally, any ground floor planters also must be deducted if less than eight feet in width.
- F-5 The current height maximum is 30 feet from the average finished grade. If the retaining wall is used along Prince Street, the wall must be finished as an elevated grade supporting the main building structure. Any wall must be painted to match the main building, as well as constructed in similar materials.
- F-6 The current height maximum is 30 feet from average finished grade. Per submitted plans the rooftop pergola/solar panels exceeds the 30 foot maximum. Remove the structure to comply with the height requirement.
- F-7 Floor plans (sheet A-111) show possible retail storefront inside building facing The Strand. Retail must remain accessory to the principal private boat club use.
- F-9 Enclosed “mechanical room” located on the roof showing bar area/countertop cannot be considered mechanical if being used for anything other than housing necessary mechanical appurtenances. If the room is being used for purposes other than for mechanical appurtenances, then this portion of the penthouse must be removed to comply with the 30 foot building height limitation.
- F-10 Storage under deck along Potomac River must be removed and filled in per settlement agreement with City.
- C-1 Provide a coverage diagram showing how the 26% coverage requirement was calculated.
- C-2 Provide dimensions of existing building, showing existing encroachment into the public right of way along Prince Street.
- C-3 Provide floor area calculation table showing all areas being deducted from gross floor area total.
- C-4 Provide all proposed fences and corresponding heights surrounding property.

Alexandria Archaeology

Open Space/Landscaping

1. In conformance with the Waterfront Small Area Plan and the work being done by the Olin team, hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings on this property into the design of the open space and to prepare interpretive elements, which shall be erected as part of the development project.

Signage

1. Design and develop a coordinated sign plan, which includes a color palette, for all proposed signage, including, but not limited to site-related signs, way-finding graphics, *and interpretive signage that highlights the history and archaeology of the site.*

Archaeology Comments

1. Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)
2. The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. * (Archaeology)
3. Call Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
4. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
5. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
6. Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology)

Archaeology Findings

- F-1 The subject property is located in a historically sensitive portion of Alexandria's historic waterfront. The Beachcomber Restaurant opened in 1946, becoming something of a local landmark, and it still stands on the subject property today. Prior to that, a series of wharves and piers were built along the Potomac River shoreline in this area, among them Fowler's (or Fowle's) Wharf. Given the dynamic nature of the Alexandria waterfront, this property's location at the foot of Prince Street is prime potential historical and archaeological real

estate.

- F-2 If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

Code

- C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

Code Administration:

NO COMMENTS RECEIVED

Transportation and Environmental Services:

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 Previously reviewed under SUB2014-00007. (TES)
- F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of storm water drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

ATTACHMENTS

1 – Applicant’s Supporting Materials

2 – BAR’s Concept Review Policy, May 2000



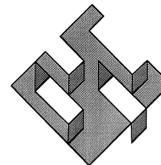
- 1 ROBINSON TERMINAL REDEVELOPMENT
- 2 WATERFRONT PROMENADE AND IMPROVED BULKHEAD
- 3 DUKE STREET GARDENS
- 4 POINT LUMLEY PIER WITH MOVEABLE SEATING
- 5 SEAPORT FOUNDATION FLOATING MUSEUM
- 6 CIVIC BUILDING
- 7 EXHIBITION AREA & FLEXIBLE EVENT SPACE
- 8 CARR HOTEL REDEVELOPMENT
- 9 REALIGNED STRAND WITH IMPROVED PEDESTRIAN EXPERIENCE
- 10 CUMMINGS TURNER REDEVELOPMENT
- 11 CHILDREN'S PLAY GARDEN
- 12 LAWN
- 13 LOWER PROMENADE
- 14 ALLEY WALK
- 15 PROPOSED ODBC PARKING LOT
- 16 PROPOSED ODBC BUILDING
- 17 PROPOSED ODBC DOCKS
- 18 CHADWICKS RESTAURANT
- 19 PRINCE STREET GARDENS
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- 21 PRESERVATION OF EXISTING TREES WITH UNDERSTORY
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- 35 SEASONAL SHADE STRUCTURE
- 36 CONCESSIONS WITH OVERLOOK
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DUKE TO KING

CONCEPT PLAN II

OLD DOMINION BOAT CLUB

ALEXANDRIA, VIRGINIA



PREPARED BY:
christopher consultants
 engineering · surveying · land planning
 christopher consultants, ltd.
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- C2.0 NOTES AND TABULATIONS
- C3.0 EXISTING CONDITIONS PLAN
- C4.0 CONTEXTUAL PLAN
- C5.0 CONCEPTUAL SITE PLAN
- C5.1 CONCEPTUAL SITE PLAN - ULTIMATE CONDITION
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- C7.0 TURNING MOVEMENTS

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- A-101 ARCHITECTURAL SITE PLAN
- A-102 OPEN SPACE PLAN
- A-201 EXTERIOR ELEVATIONS
- A-202 EXTERIOR ELEVATIONS
- A-301 BUILDING/SITE SECTIONS

NARRATIVE DESCRIPTION OF DEVELOPMENT

THE SITE IS BORDERED TO THE NORTH BY PRINCE STREET; TO THE EAST BY THE POTOMAC RIVER; TO THE WEST BY STRAND STREET AND TO THE SOUTH BY AN EXISTING ASPHALT PARKING LOT. THE CURRENT USES ON THE SITE IS THE ABANDONED BEACHCOMBER RESTAURANT, THE OFFICES FOR THE POTOMAC PARTY CRUISES, AND ASSOCIATED PARKING, AND IS CURRENTLY ZONED AS WATERFRONT (W-1). THE ENTIRE SITE FALLS WITHIN THE 100-YEAR FLOODPLAIN. THERE ARE NO STEEP SLOPES ON THE PROPERTY. THE PROPERTY WILL BE REZONED FROM W-1 TO WPR. THIS WILL ALLOW FOR A BOAT CLUB WITH THE DSUP.

SITE ACCESS: THE PRIMARY ACCESS TO THIS SITE WILL BE FROM STRAND STREET.

THIS PROJECT CONSISTS OF THE DEVELOPMENT OF A NEW BUILDING FOR THE OLD DOMINION BOAT CLUB. PARKING WILL BE PROVIDED BY A PRIVATE PARKING LOT. THE PROJECT PROPOSES A 3 STORY BUILDING. ON THE GROUND LEVEL WILL BE AN ENTRY LOBBY, STORAGE, LOCKERS AND SHOWERS. THE FIRST FLOOR WILL CONSIST OF A SOCIAL ROOM AND KITCHEN FOR PRIVATE USE, MEMBERS BOARD ROOM, RESTROOMS, ELEVATOR LOBBY AND OUTDOOR PATIO. THE SECOND FLOOR WILL CONSIST OF A MULTI-PURPOSE ROOM, BOAT CLUB OFFICES, PREP KITCHEN, RESTROOMS, ELEVATOR LOBBY AND BALCONY. THE ROOF WILL CONSIST OF AN ELEVATOR LOBBY AND ROOF DECK. IT WILL ALSO HOUSE THE MECHANICAL EQUIPMENT.

SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

1. DEVELOPMENT SITE PLAN AND SPECIAL USE PERMIT (6-203(C))
2. BOARD OF ARCHITECTURAL REVIEW APPROVAL
3. PARKING REDUCTION FOR THE NUMBER OF SPACES BEING PROVIDED
4. MODIFICATIONS TO THE MINIMUM SETBACKS FOR FRONT BUILDING LINES (6-204 (A))
5. MODIFICATION TO THE OPEN AND USABLE SPACE TO BE PROVIDED (6-206)
6. MODIFICATION TO THE MINIMUM CROWN COVERAGE REQUIRED TO BE PROVIDED (11-410(CC)(2))
7. MODIFICATION TO THE LANDSCAPE INSTALLATION FOR AND SCREENING OF THE PARKING ON-SITE (11-410 (CC)(6)(a)&(b))
8. MODIFICATION FOR VISION CLEARANCE
9. ENCROACHMENT FOR STRUCTURES IN THE PUBLIC RIGHT-OF-WAY.

OWNER/APPLICANT
OLD DOMINION BOAT CLUB
 1 KING STREET
 ALEXANDRIA, VIRGINIA 22314
 (703) 836-1900

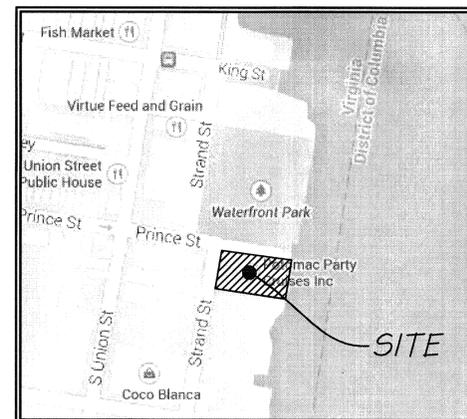
CIVIL ENGINEER
christopher consultants, ltd.
 9900 MAIN STREET
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 FAIRFAX, VIRGINIA 22031
 (703) 273-6820

ARCHITECT



107 N. WEST STREET
 ALEXANDRIA, VIRGINIA 22314
 (703) 519-8080

ATTORNEY
HART, CALLEY, GIBBS & KARP, P.C.
 307 N. WASHINGTON STREET
 ALEXANDRIA, VA 22314
 (703) 836-5757



LOCATION MAP

SCALE 1" = 200'

GENERAL NOTES

1. THE BOUNDARY INFORMATION FOR THE SUBJECT SITE IS BASED ON A CURRENT FIELD SURVEY PREPARED BY THIS FIRM IN AUGUST 2014.
2. EXISTING SITE INFORMATION FOR THE SUBJECT SITE IS BASED ON A CURRENT FIELD SURVEY PREPARED BY THIS FIRM IN AUGUST 2014.
3. THE SUBJECT SITE IS LOCATED ON CITY OF ALEXANDRIA ASSESSMENT MAP 075.03-03-11, 075.03-03-12, AND 075.03-03-15.
4. THE PROPERTY SHOWN HEREON IS LOCATED ON F.E.M.A. MAP COMMUNITY PANEL NUMBER 515519 0041 E, REVISED JUNE 16, 2011, ZONE AE.
5. OWNER: OLD DOMINION BOAT CLUB
6. IN ACCORDANCE WITH THE CITY OF ALEXANDRIA'S MARINE CLAY AREAS MAP DATED NOVEMBER 1976, THERE ARE NO AREAS OF MARINE CLAY LOCATED IN THE VICINITY OF THIS SITE.
7. IN ACCORDANCE WITH THE RESOURCE PROTECTION AREAS MAP ADOPTED JUNE 12, 2004 BY THE CITY COUNCIL OF ALEXANDRIA, THERE ARE RESOURCE PROTECTION AREAS LOCATED ON THIS PROPERTY.
8. THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA.
9. TO THE BEST OF OUR KNOWLEDGE THE SITE IS NOT LOCATED WITHIN 1,000 FEET OF A SANITARY LANDFILL.
10. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO AREAS ON-SITE CONTAINING CONTAMINATED SOILS OR CONTAMINATED GROUNDWATER.
11. THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS.

SOIL DATA:

A GEOTECHNICAL ENGINEERING REPORT FOR THE SUBJECT PROPERTY WAS PREPARED BY DMY ENGINEERING CONSULTANTS, INC. ON JULY 9, 2014. SOIL BORING TESTS WERE DONE ON SITE TO EVALUATE THE SUBSURFACE CONDITIONS. THE TOP STRATUM CONSISTED OF FILL MATERIAL. BENEATH THE FILL MATERIAL ARE ALLUVIAL SOILS CONSISTING OF GRAVEL, SANDS AND SILTS.

ENVIRONMENTAL SITE ASSESSMENT

THERE ARE RPA'S, TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE.

ARCHAEOLOGY NOTES

1. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

2. THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

STORM WATER MANAGEMENT NARRATIVE

DUE TO THE REDUCTION IN IMPERVIOUS COVER FOR THE SITE THROUGH REDEVELOPMENT, POST-DEVELOPMENT PEAK RUNOFF FOR THE TWO AND TEN YEAR STORMS WILL NOT EXCEED THE PRE-DEVELOPMENT RATES. PER THE CITY'S STORMWATER MANAGEMENT REQUIREMENTS (ARTICLE XIII 'CHESAPEAKE BAY ENVIRONMENTAL MANAGEMENT' SECTION 13-109.F.1) NO VOLUME CONTROL IS REQUIRED.

PRE-DEVELOPMENT

A = 0.419 ACRES
 $C = \frac{(0.419)(0.90)}{0.419} = 0.90$

T = 5 MINUTES
 $I_p = 6.2$ INCHES/HOUR
 $I_b = 9.0$ INCHES/HOUR

$Q_p = (0.90)(6.2)(0.419) = 2.34$ CFS
 $Q_b = (0.90)(9.0)(0.419) = 3.39$ CFS

NET DECREASE IN RUNOFF
 $Q_p = 2.34$ CFS - 2.28 CFS = 0.06 CFS
 $Q_b = 3.39$ CFS - 3.32 CFS = 0.07 CFS

POST-DEVELOPMENT

A = 0.419 ACRES
 $C = \frac{(0.01)(0.35) + (0.409)(0.90)}{0.419} = 0.88$

T_c = 5 MINUTES
 $I_p = 6.2$ INCHES/HOUR
 $I_b = 9.0$ INCHES/HOUR

$Q_p = (0.88)(6.2)(0.419) = 2.28$ CFS
 $Q_b = (0.88)(9.0)(0.419) = 3.32$ CFS

ZONING TABULATIONS

SITE LOCATION/ADDRESS: #10 PRINCE STREET & #200 STRAND STREET
 EXISTING ZONE: W-1
 PROPOSED ZONE: WPR
 SMALL AREA PLAN DISTRICT: OLD TOWN AND WATERFRONT PLAN
 EXISTING SITE AREA: 075.03-03-11 - LOT 5B - 9,171 S.F. OR 0.21 AC.
 075.03-03-12 - LOT 503 - 11,562 S.F. OR 0.265 AC.
 075.03-03-12 - LOT 502 - 11,562 S.F. OR 0.265 AC.
 PROPOSED SITE AREA: LOT 600 - 18,251 S.F. OR 0.419 AC.
 LOT COVERAGE REQUIRED: < 30%
 LOT COVERAGE PROVIDED: 26%
 DEDICATED R.O.W.: 0 SF OR 0 AC. (ALL AREA PREVIOUSLY DEDICATED)
 EXISTING USE: EXISTING RESTAURANT (NOT IN USE) AND EXISTING PARKING LOT
 PROPOSED USE: BOAT CLUB - ASSEMBLY (A)
 MAXIMUM FLOOR AREA RATIO: NO REQUIREMENT
 PROPOSED FLOOR AREA RATIO: 0.575 FAR
 GROSS FLOOR AREA PROPOSED: 10,500 S.F.
 NET FLOOR AREA PROPOSED: 8,500 S.F.
 PROPOSED NUMBER OF UNITS: 0 DWELLING UNITS
 OPEN SPACE REQUIRED: REQUIRED: 25% x 18,251 = 4,562.75 SF OR 0.105 AC.
 OPEN SPACE PROVIDED: 3,282 SF OR 0.075 AC.
 MAXIMUM BUILDING HEIGHT: 30' FROM AVERAGE FINISHED GRADE
 PROPOSED BUILDING HEIGHT: 30' FROM AVERAGE FINISHED GRADE
 AVERAGE FINISHED GRADE: 6.85'
 YARDS:
 FRONT YARD REQUIRED: 20'
 FRONT YARD PROVIDED: 0' (PRINCE STREET)
 FRONT YARD PROVIDED: 0' (STRAND STREET)
 SIDE YARD REQUIRED: 12'
 SIDE YARD PROVIDED: 0' (POTOMAC RIVER)
 SIDE YARD PROVIDED: 81.8' (LOT 602)
 BASE FLOOD ELEVATION: BASE FLOOD ELEVATION = 6'
 PARKING REQUIRED: 1 SPACE PER 200 S.F. = 52.5; 53 SPACES
 PARKING PROVIDED: 27 STANDARD SPACES (2 HANDICAP PLUS 20 TANDEM SPACES)
 LOADING PROVIDED: 0 SPACES
 EXISTING TRIP GENERATION: 0 VEHICLES
 PROPOSED TRIP GENERATION: 90 VEHICLES (ASSUMING 30 BERTHS) - 15 PEAK HOUR TRIPS
 APPROXIMATE AREA OF DISTURBANCE DURING CONSTRUCTION: 0.58 AC OR 25,375 SF

LEGEND

- C — CURB & GUTTER
- ⊕ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊞ STORM GRATE
- ⊠ FIRE HYDRANT
- VEPCO VIRGINIA ELECTRIC AND POWER COMPANY
- EX. EXISTING
- — — — — PROPERTY LINE
- ⊕ POWER POLE
- O — OVERHEAD UTILITY WIRE
- EX. G — EXISTING GAS
- EX. W — EXISTING WATERLINE
- EX. T — EXISTING TELE.
- EX. E — EXISTING ELEC.
- — — — — EXISTING STORM
- — — — — EXISTING SANITARY
- X — EXISTING FENCE

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NOTES AND
 TABULATIONS

CONCEPTUAL PLAN II
OLD DOMINION BOAT CLUB
 THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: 14104.001.00
 SCALE: N/A
 DATE: 9/26/14
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMW
 SHEET No.

C2.0

GENERAL NOTES

- 1.) THE PROPERTY SHOWN HEREON IS IDENTIFIED ON THE CITY OF ALEXANDRIA, VIRGINIA TAX ASSESSMENT MAP AS A PORTION OF PARCEL NUMBERS 075.03-03-11, 075.03-03-12, AND 075.03-03-15, AND IS CURRENTLY ZONED W-1.
- 2.) DURING THE PROCESS OF OUR PHYSICAL SURVEY NO INDICATIONS OF A CEMETERY WAS FOUND. NO FURTHER INSPECTION OF THIS PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.
- 3.) A TITLE REPORT FOR #0 PRINCE STREET WAS FURNISHED BY STENHART TITLE AND ESCROW, FILE NUMBER 140254, DATED APRIL 16, 2014. A TITLE REPORT FOR #200 STRAND STREET WAS FURNISHED BY STENHART TITLE AND ESCROW, FILE NUMBER 140265, DATED APRIL 16, 2014.
- 4.) BOUNDARY AND PHYSICAL IMPROVEMENTS SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY PERFORMED BY THIS FIRM BETWEEN AUGUST 5, 2014 AND AUGUST 13, 2014.
- 5.) A.) HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83) - VIRGINIA STATE GRID NORTH ZONE AS ESTABLISHED FROM A RECENT FIELD SURVEY PERFORMED BY C.P. JOHNSON & ASSOCIATES.
B.) THE VERTICAL DATUM SHOWN HEREON IS REFERENCE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AS ESTABLISHED FROM A RECENT FIELD SURVEY PERFORMED BY C.P. JOHNSON & ASSOCIATES.
- 6.) NO CERTIFICATION IS MADE AS TO THE LOCATIONS OF UNDERGROUND UTILITIES SUCH AS, BUT NOT LIMITED TO ELECTRIC, GAS, TELEPHONE, CATV, WATER, SANITARY AND STORM SEWERS.
- 7.) NO GEOTECHNICAL, SUBSURFACE, FIELD REVIEWS, RESEARCH, AGENCY OR GOVERNMENTAL RECORD REVIEWS, OR OTHER INVESTIGATIONS HAVE BEEN MADE FOR THE PURPOSE OF LOCATING, OR DETERMINING THE EXISTENCE OF WETLANDS, HAZARDOUS MATERIALS, OR OTHER ENVIRONMENTAL CONCERNS ON SITE IN THE PERFORMANCE OF CHRISTOPHER CONSULTANTS, LTD SERVICES FOR THE PROJECT AS SHOWN HEREON.
- 8.) ALL BUILDING DIMENSIONS ARE MEASURED AT THE OUTSIDE GROUND LEVEL OF BUILDING. OVERALL SQUARE FOOTAGE HAS BEEN DETERMINED BY EXTERIOR DIMENSIONS AT GROUND LEVEL.
- 9.) THE RESOURCE PROTECTION AREA PERENNIAL STREAM 100' BUFFER SHOWN HEREON HAS BEEN SCALED FROM MAP ENTITLED "RESOURCE PROTECTION AREAS, ADOPTED BY CITY COUNCIL JUNE 12, 2004" BY THE CITY OF ALEXANDRIA, VIRGINIA AND DATED JANUARY 1, 2012.
- 10.) LOTS AND STREET DEDICATION ARE SHOWN PER A SUBDIVISION PLAT PREPARED BY CHARLES P. JOHNSON & ASSOCIATES DATED MAY 2014, LAST REVISED JULY 16, 2014, AND APPROVED BY THE PLANNING COMMISSION OF THE CITY OF ALEXANDRIA IN SEPTEMBER 4TH, 2014.

FLOOD ZONE NOTE

THE PROPERTIES SHOWN HEREON ARE LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 5155190041E, REVISED AND EFFECTIVE ON JUNE 16, 2011.

BY GRAPHIC DEPICTION ONLY (UNLESS OTHERWISE NOTED), THE PROPERTIES SHOWN HEREON ARE SHOWN IN:
 • FLOOD ZONE "AE", SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD - BASE FLOOD AREAS DETERMINED.)

A FIELD SURVEY WAS NOT PERFORMED TO DETERMINE THE FLOOD ZONES LISTED HEREON. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

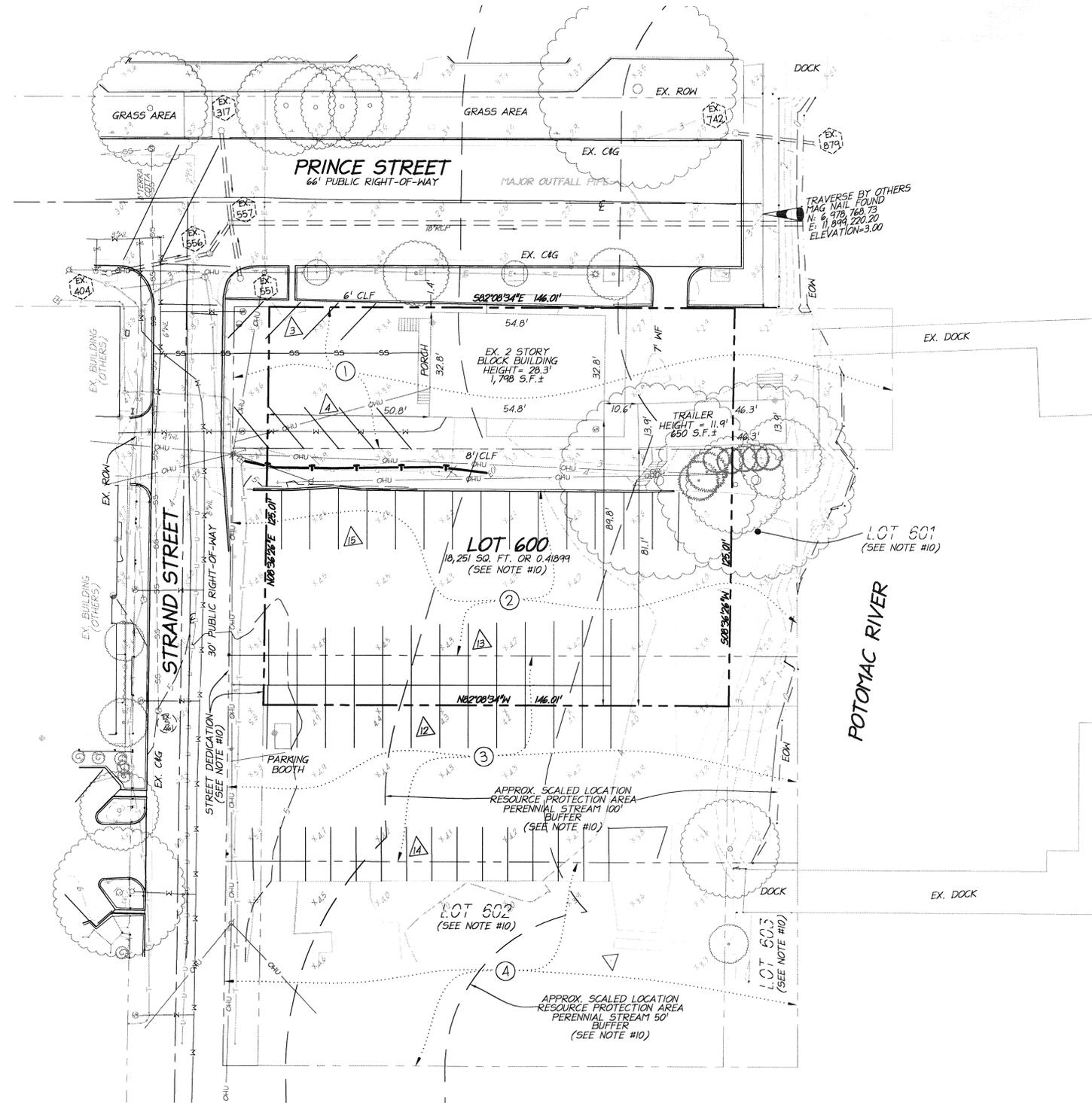
UTILITY MARKING NOTES:

- 1.) THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND SURFACE GROUND MARKINGS.
- 2.) BEFORE DIGGING IN THIS AREA, CALL "MISS UTILITY" 1-800-552-7001 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES.
- 3.) UTILITY PROFESSIONALS, INC. MARKED FOR THE HORIZONTAL LOCATION OF UNDERGROUND UTILITIES ON 08/08/14.
- 4.) THIS INVESTIGATION DOES NOT INCLUDE THE USE OF GROUND PENETRATING RADAR OR INTRUSIVE METHODS OF INVESTIGATION SUCH AS TEST PITS OR BORINGS.
- 5.) THIS INVESTIGATION DOES NOT INCLUDE DESIGNATING SPRINKLER OR IRRIGATION SYSTEMS, BURIED TANKS, SEPTIC SYSTEMS, OR WELLS.
- 6.) DETECTING AND DESIGNATING UTILITIES THAT ARE BURIED DIRECTLY BELOW OTHER UTILITIES ARE NOT PROVIDED.

UTILITY DESCRIPTION	PLANS	MARKED	LOCATED	NOTES
COMMUNICATIONS				
VERIZON		X	X	MARKED AND LOCATED AS SHOWN.
COMCAST		X	X	MARKED AND LOCATED AS SHOWN.
ELECTRIC				
DOMINION VIRGINIA POWER		X	X	MARKED AND LOCATED AS SHOWN.
WATER				
VIRGINIA AMERICAN WATER		X	X	MARKED AND LOCATED AS SHOWN.
GAS				
WASHINGTON GAS	WG-89823	X	X	MARKED AND LOCATED AS SHOWN. UNABLE TO TRACE GAS MAIN PORTIONS OF GAS SHOWN PER PLANS.
STORM & SANITARY SEWER				
CITY OF ALEXANDRIA	ALEXANDRIA SEWER VIEWER			AS BUILT DATA OBTAINED WHERE ACCESSIBLE. CERTAIN FEATURES SHOWN PER PLAN.
UNIDENTIFIED				
UNIDENTIFIED UTILITY LINE		X	X	MARKED AND LOCATED AS SHOWN.

EXISTING PARCEL TABULATION

- 1) PARCEL #075.03-03-11
OWNER: CITY OF ALEXANDRIA
INST #060002240
9,171 SQ. FT.
ZONED: W-1
- 2) PARCEL #075.03-03-12
OWNER: CITY OF ALEXANDRIA
INST #060002239
11,562 SQ. FT.
ZONED: W-1
- 3) PARCEL #075.03-03-15
OWNER: ANITA L. MANN, TR.
INST #100007864
11,562 SQ. FT.
ZONED: W-1
- 4) PARCEL #075.03-03-16
OWNER: JANE GASTER SWEENEY, TR.
INST #100007235
11,562 SQ. FT.
ZONED: W-1

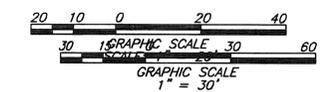


LEGEND

- Utilities - Water: WATER VALVE, FIRE HYDRANT, WATER METER
- Utilities - Sanitary: SANITARY MANHOLE, CLEAN OUT
- Utilities - Storm: STORM DRAIN INLET, STORM DRAIN MANHOLE, STORM CATCH BASIN, STORM INVERT
- Utilities - Electric: LIGHT POLE, ELECTRIC MANHOLE, ELECTRIC VAULT, POWER POLE
- Utilities - Communication: COMMUNICATION PEDESTAL, COMMUNICATION MANHOLE, COMMUNICATION VAULT
- Utilities - Gas: GAS VALVE, GAS METER
- Misc. Symbols: UNIDENTIFIED MANHOLE, SIGN, BOLLARD, GROUND SPOT SHOT, BUILDING HEIGHT MEASUREMENT, METAL POST, EXISTING PARCEL IDENTIFICATION, PARKING SPACE COUNT, STORM STRUCTURE, SANITARY STRUCTURE, DECIDUOUS TREE, CONIFEROUS TREE
- LineTypes: FENCE, UNDERGROUND SANITARY LINE, UNDERGROUND GAS LINE, UNDERGROUND ELECTRIC LINE, UNDERGROUND COMMUNICATION LINE, UNDERGROUND WATER LINE, UNIDENTIFIED UNDERGROUND UTILITY, GAS LINE SCALED PER PLANS, SANITARY LINE SCALED PER PLANS, STORM LINE SCALED PER PLANS, CURB & GUTTER, PROPERTY LINE, ADJOINER LINE, EX. INT. CONTOUR (5'), EX. INT. CONTOUR (1'), EDGE OF WATER, CENTERLINE OF R/W
- Abbreviations: C&G (CURB & GUTTER), REIN. CONC. PIPE (REINFORCED CONCRETE PIPE), CLF (CHAIN LINK FENCE), WF (WOOD FENCE), EOW (EDGE OF WATER), EOI (END OF UTILITY INFORMATION)

STORM AND SANITARY STRUCTURE DATA

STM 317 TOP=3.10 INV=-0.12 10" TERRACOTTA	STM 742 TOP=2.84 INV=-0.62 10" TERRACOTTA
STM 404 TOP=3.27 INV=-0.47 10" TERRACOTTA	STM 878 TOP=3.27 INV=-0.88 10" TERRACOTTA
STM 556 TOP=2.84 INV=-0.78 10" TERRACOTTA	SAN 461 TOP=5.02 INV NOT ACCESSIBLE
STM 557 TOP=2.91 UNABLE TO MEASURE DOWN (FULL OF SEDIMENT)	
STM 551 TOP=3.10 INV=-0.32 10" TERRACOTTA	



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 703.273.6820 · fax: 703.273.7636



EXISTING CONDITIONS
PLAN

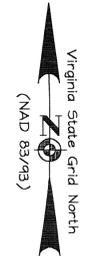
CONCEPTUAL PLAN II
OLD DOMINION BOAT CLUB
 THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: 14104.001.00
 SCALE: 1"=20'
 DATE: 9/26/14
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMW
 SHEET No.

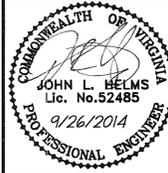
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OWNERSHIP INFORMATION

1. WATERFRONT PARK
1A PRINCE STREET
USE: OPEN SPACE
ZONE: WPR
2. AMERICAN MEDICAL GROUP ASSOCIATION
1 PRINCE STREET
USE: OFFICE
ZONE: CD
3. 110 S UNION STREET LLC
110 S UNION STREET LLC
USE: OFFICE
ZONE: CD
4. 2 PRINCE LLC
2 PRINCE STREET
USE: GENERAL COMMERCIAL
ZONE: W-1
5. CITY OF ALEXANDRIA
200 STRAND STREET
USE: CITY PKG/PLAYGROUNDS
ZONE: W-1
6. MANN ANITA L
204 STRAND STREET
USE: VACANT LAND - COMMERCIAL
ZONE: W-1
7. SWEENEY JANE CASTER
208 STRAND STREET
USE: VACANT LAND - COMMERCIAL
ZONE: W-1
8. TURNER BEVERLY D JR ET ALS
203 STRAND STREET
USE: RESTAURANT/FST FOOD
ZONE: W-1
9. CUMMINGS INVESTMENT ASSOCIATES INC
220 S UNION STREET
USE: HOTEL AND MOTEL
ZONE: W-1
10. CITY OF ALEXANDRIA
#0 PRINCE STREET
USE: RESTAURANT (VACANT)
ZONE: W-1



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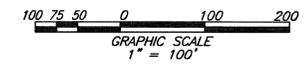
CONTEXTUAL
PLAN

CONCEPTUAL PLAN II
OLD DOMINION BOAT CLUB
THE CITY OF ALEXANDRIA, VIRGINIA

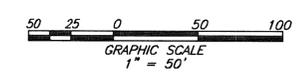
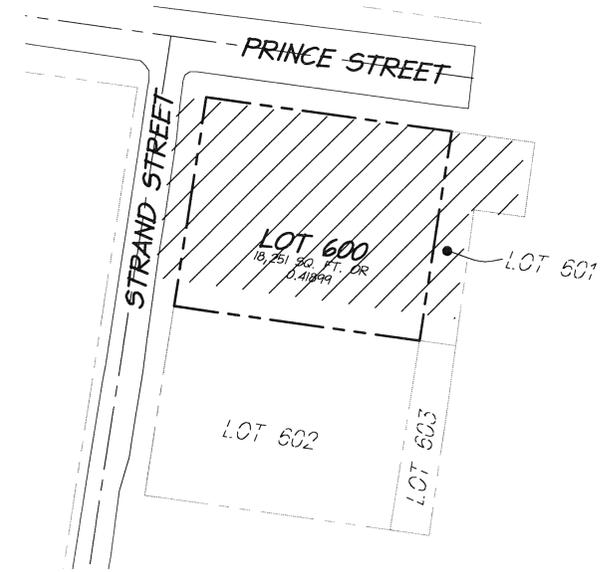
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SCALE: SEE DWG
DATE: 9/26/14
DESIGN: JLH
DRAWN: JLH
CHECKED: KMW
SHEET No.

C4.0

102357



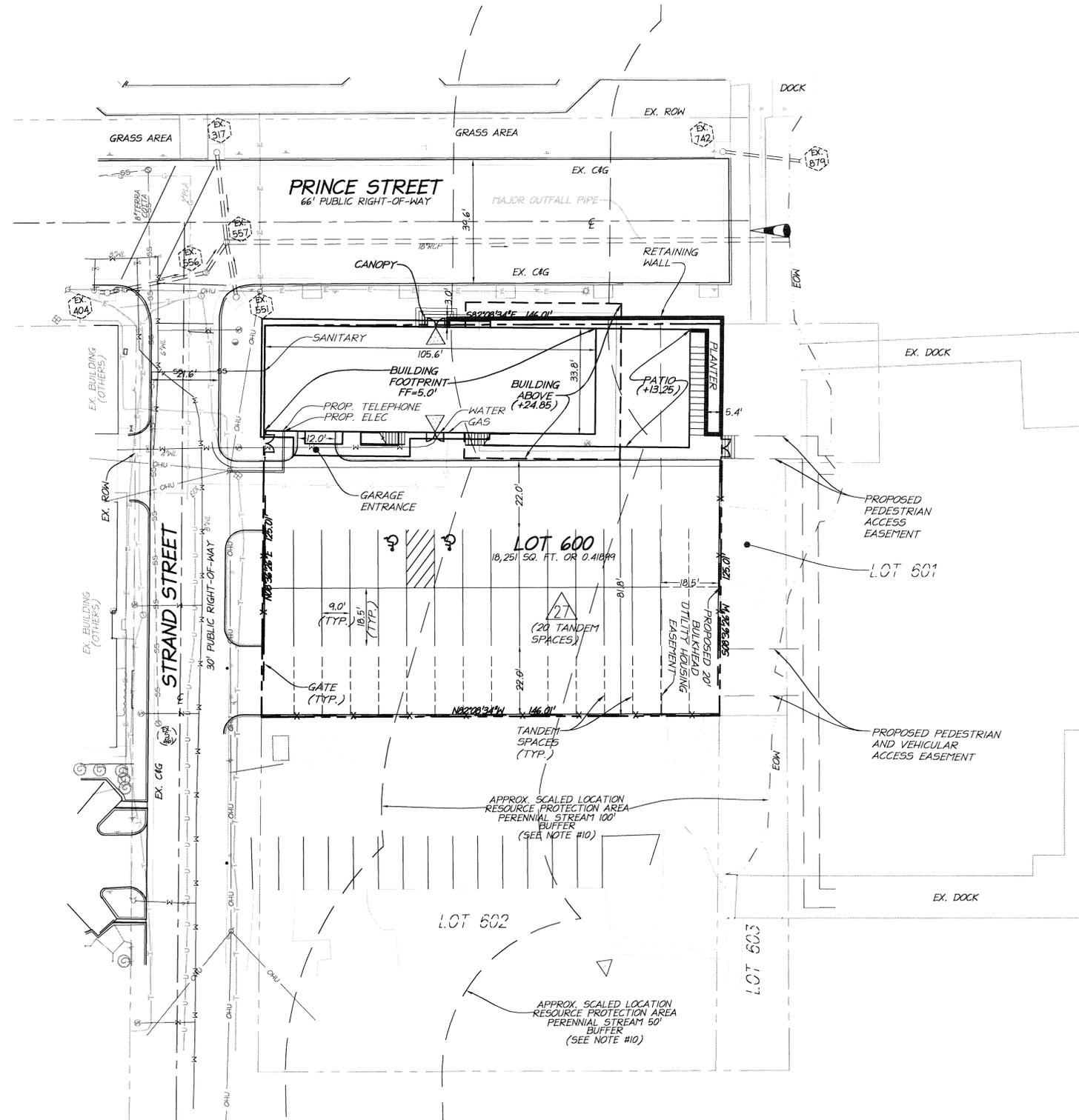
APPROVED SUBDIVISION
(NOT YET RECORDED)





LEGEND

- # DENOTES NUMBER OF STANDARD PARKING SPACES
- CURB
- - - PROPERTY BOUNDARY
- ▲ BUILDING ENTRANCE
- X-X- PROP. FENCE



OPEN SPACE:

FIRST FLOOR PATIO = 1,240 S.F.
 SECOND FLOOR BALCONY = 202 S.F.
 ROOF DECK = 1,840 S.F.
 TOTAL = 3,282 S.F.



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CONCEPTUAL SITE PLAN

CONCEPTUAL PLAN II
OLD DOMINION BOAT CLUB
 THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: 14104.001.00
 SCALE: 1" = 20'
 DATE: 9/26/14
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMW

SHEET No.
C5.0

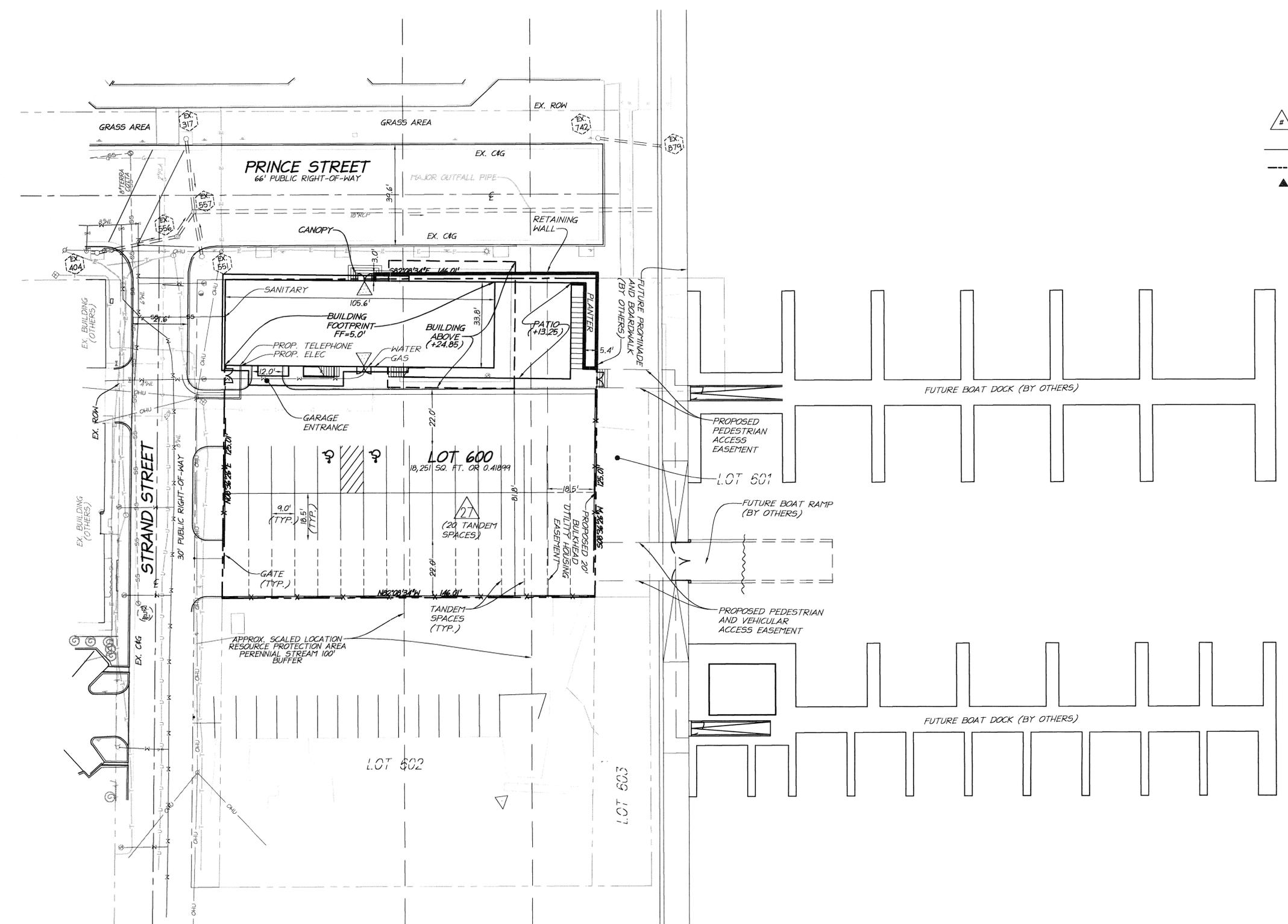
NOTES:

- 1.) BOARDWALK, PROMINADE, AND BOAT DOCK TO BE PROVIDED BY THE CITY OF ALEXANDRIA IN COORDINATION WITH THE FLOOD MITIGATION WORK.
- 2.) BOAT RAMP TO BE COMPLETED ONCE THE FLOOD MITIGATION WORK IS COMPLETE.

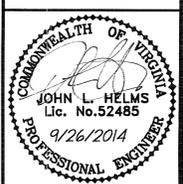


LEGEND

- # DENOTES NUMBER OF STANDARD PARKING SPACES
- CURB
- - - PROPERTY BOUNDARY
- ▲ BUILDING ENTRANCE



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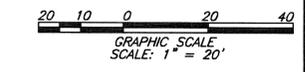


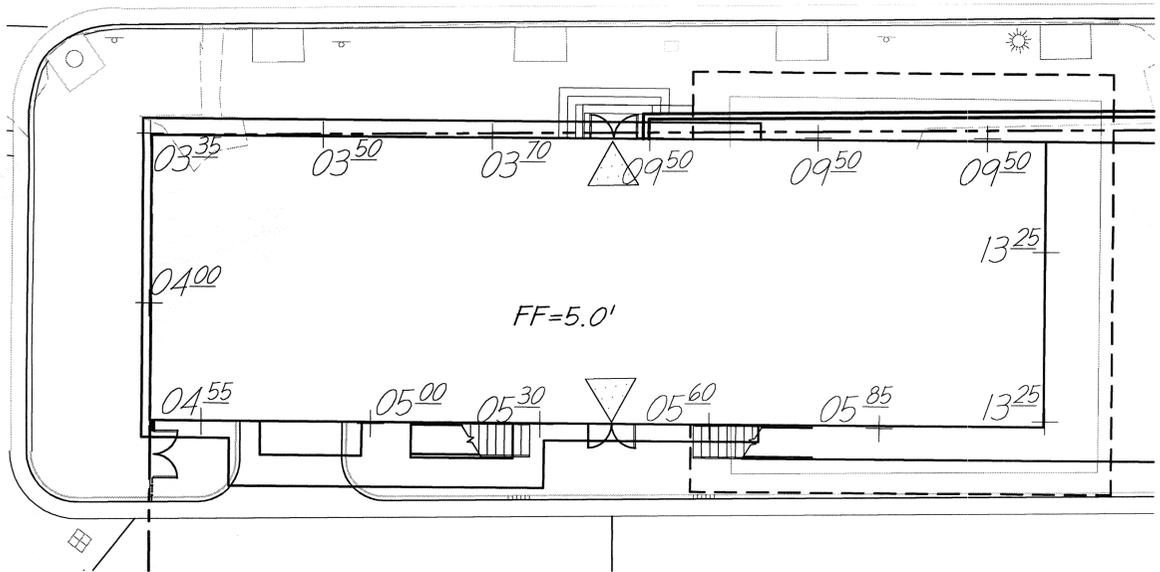
CONCEPTUAL SITE PLAN
 ULTIMATE CONDITION

CONCEPTUAL PLAN II
OLD DOMINION BOAT CLUB
 THE CITY OF ALEXANDRIA, VIRGINIA

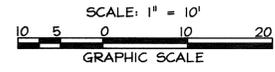
PROJECT NO: A104.001.00
 SCALE: 1" = 20'
 DATE: 9/26/14
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMW

SHEET No.
C5.1



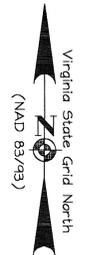
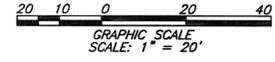
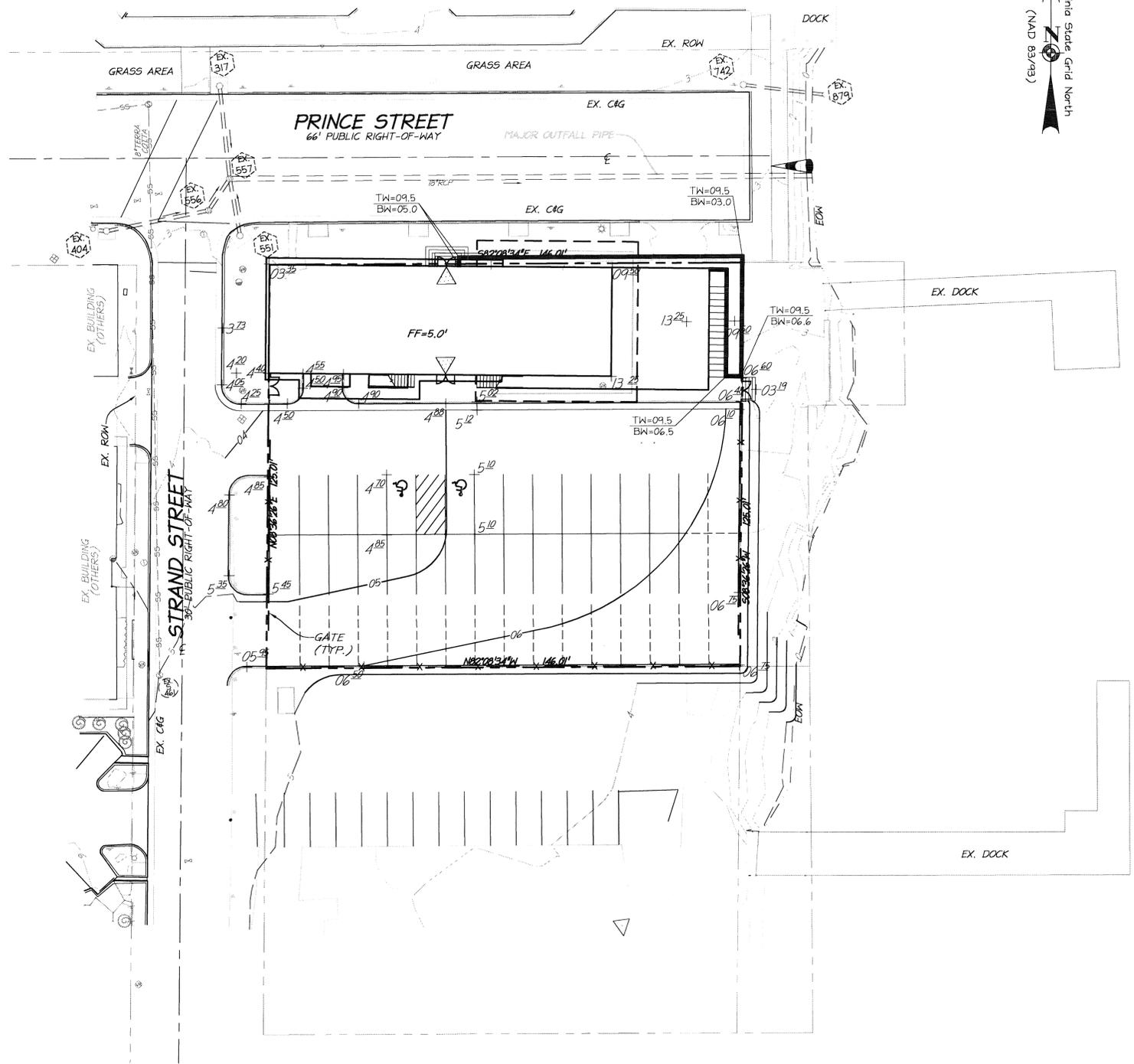


AVERAGE FINISH GRADE EXHIBIT



ELEVATION

3.35
3.5
3.7
9.5
9.5
13.25
13.25
5.85
5.6
5.3
5
4.55
4
AVE=6.85'



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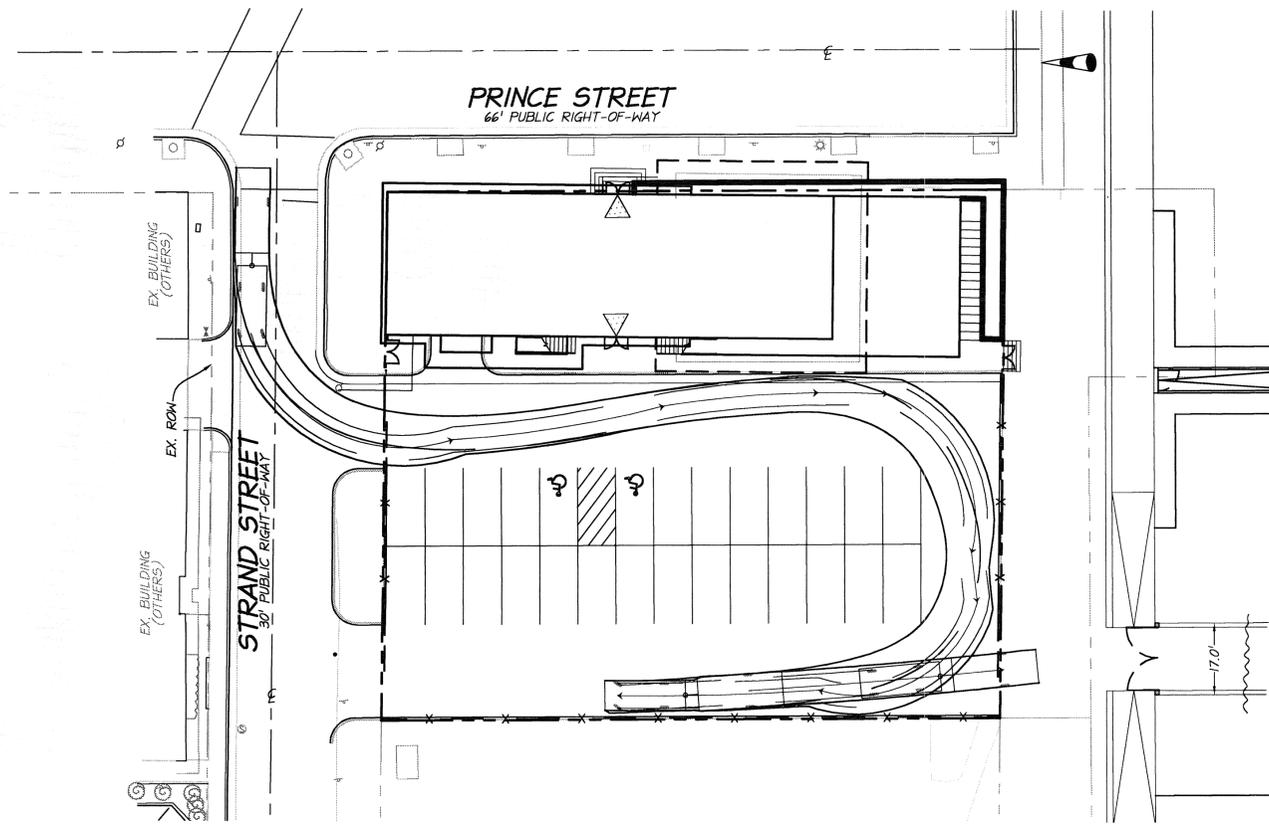


CONCEPTUAL SITE
 GRADING PLAN

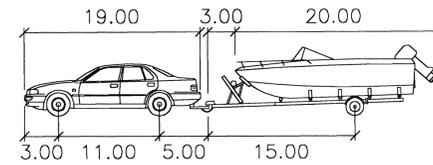
CONCEPTUAL PLAN II
OLD DOMINION BOAT CLUB
 THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: 14104.001.00
 SCALE: 1"=20'
 DATE: 9/26/14
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMW
 SHEET No.

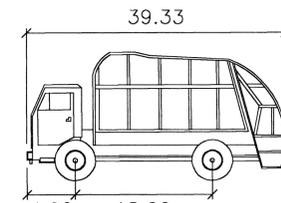
C6.0



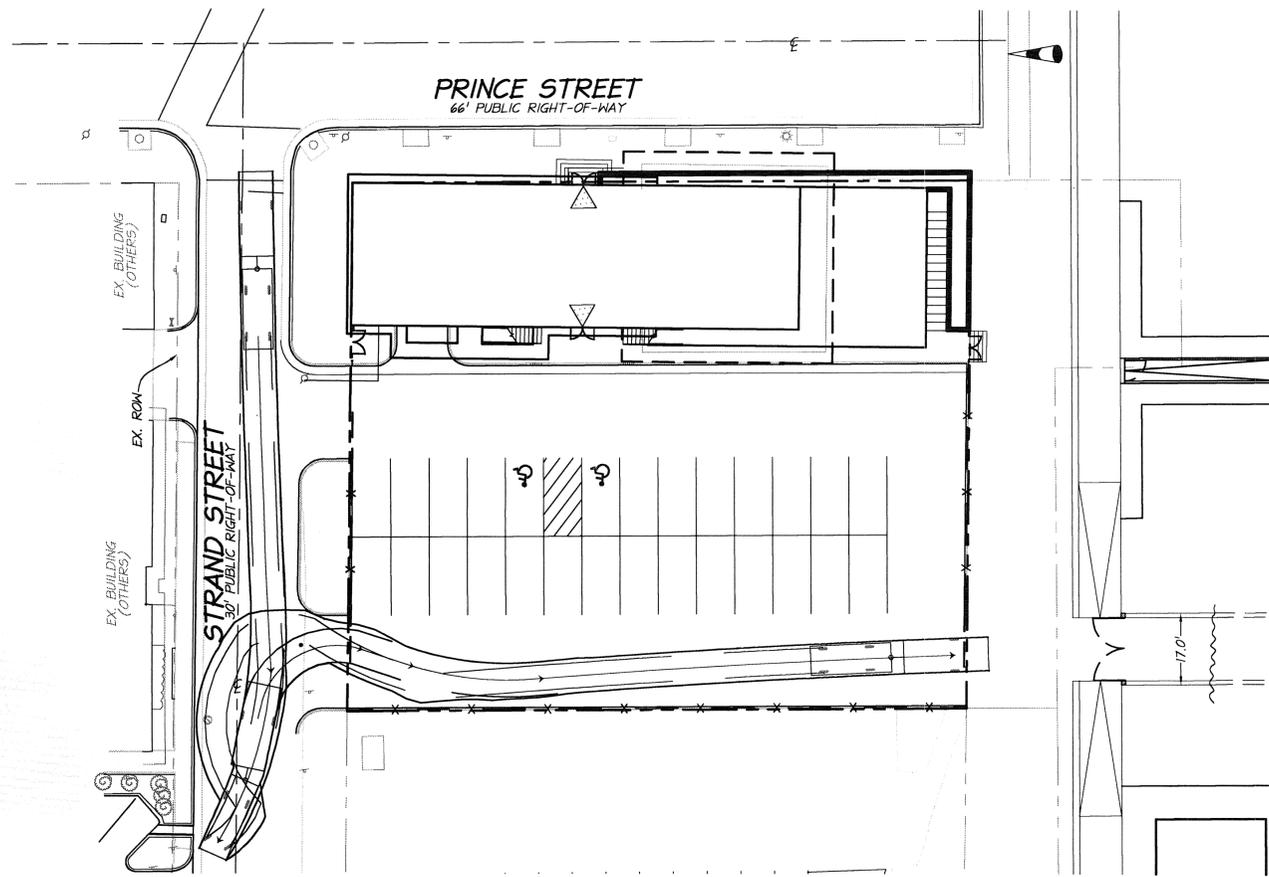
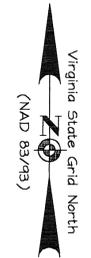
TURNING MOVEMENTS - BOAT TRAILER



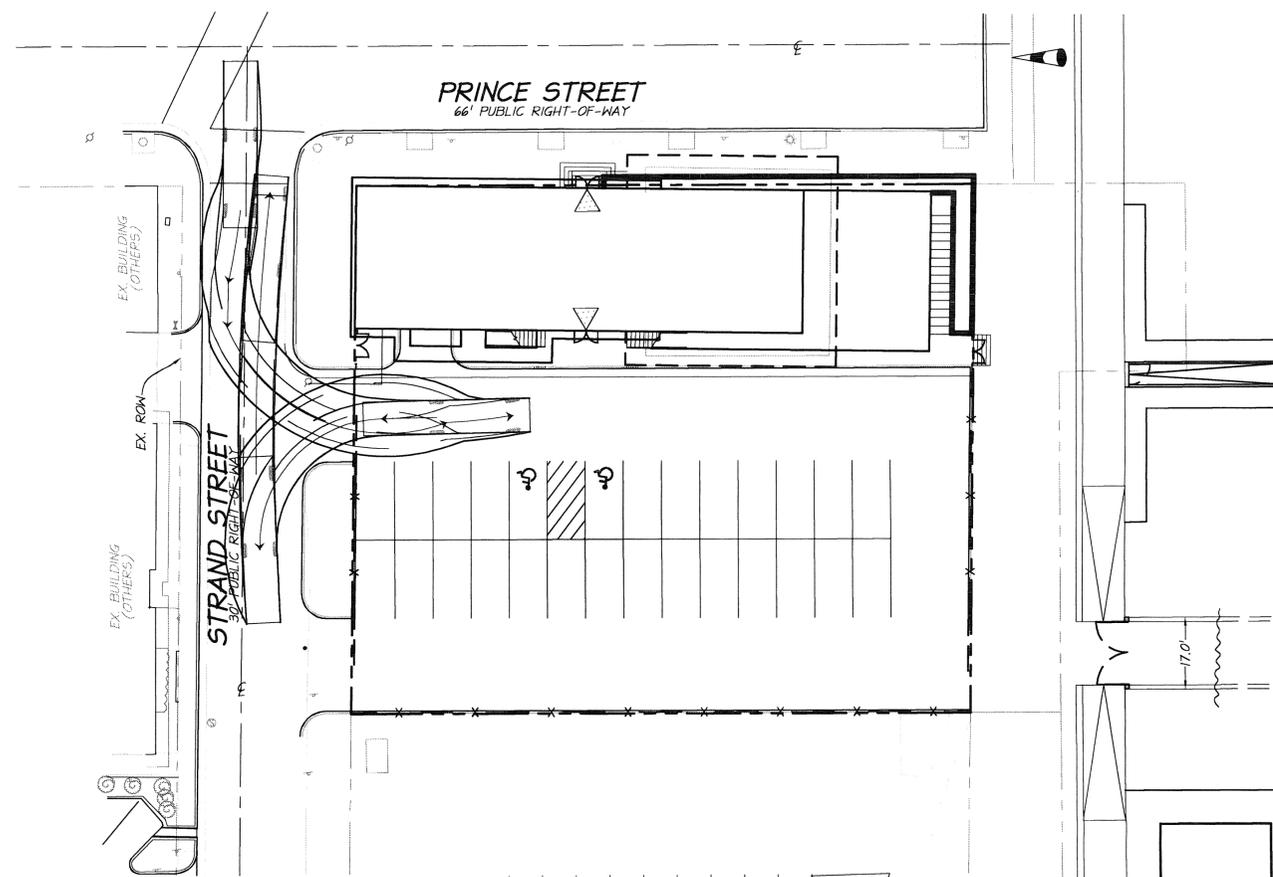
P-B	feet
Car Width	: 7.00
Trailer Width	: 8.00
Car Track	: 6.00
Trailer Track	: 8.00
Lock to Lock Time	: 6.00
Steering Angle	: 31.60
Articulating Angle	: 70.00



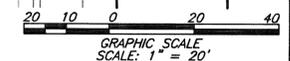
FRONT LOAD GARBAGE TRUCK	
feet	
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.00
Steering Angle	: 26.30



TURNING MOVEMENTS - BOAT TRAILER



TURNING MOVEMENTS - GARBAGE TRUCK



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TURNING
MOVEMENTS

CONCEPTUAL PLAN II
OLD DOMINION BOAT CLUB
 THE CITY OF ALEXANDRIA, VIRGINIA

PROJECT NO: M104.001.00
 SCALE: 1"=20'
 DATE: 9/26/14
 DESIGN: JLH
 DRAWN: JLH
 CHECKED: KMW
 SHEET No.

C7.0

