

**ISSUE:** Certificate of Appropriateness for alterations

**APPLICANT:** Taco Bell of America represented by Joanie Godsey, Architect

**LOCATION:** Old and Historic Alexandria District  
417 King Street

**ZONE:** KR/King Street urban retail zone

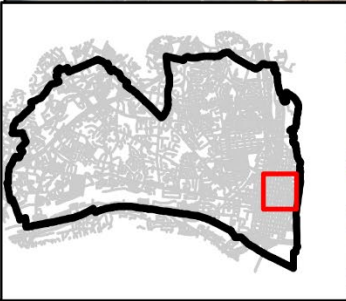
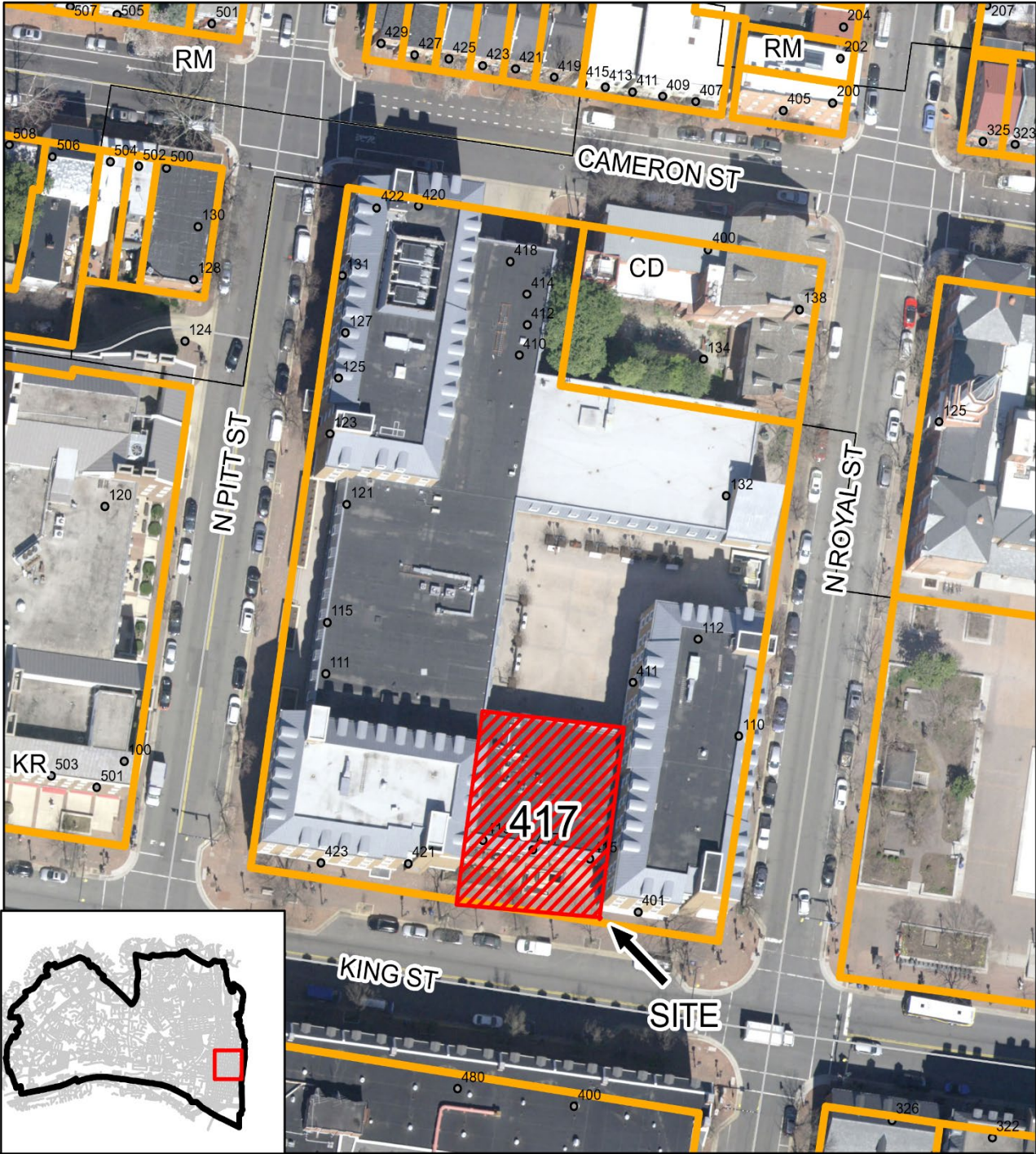
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**STAFF RECOMMENDATION**

Staff recommends approval of the Certificate of Appropriateness for alterations with the condition that applicant work with staff to update the colors of the pickup window before applying for a building permit.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR#2025-00021 - OHAD**  
**417 King Street**



## **I. APPLICANT'S PROPOSAL**

The applicant requests a Certificate of Appropriateness to install a pick-up window to existing Taco Bell restaurant storefront at 417 King St. The proposed aluminum framed pick-up window will be 17.63 ft<sup>2</sup> and installed in the existing storefront window. Additionally, the application includes four decal signs totaling approximately 3.338ft<sup>2</sup> in new signage.



Photo 1: View of subject property from public right-of-way

## **II. HISTORY**

417 King St. is one of many storefronts in Tavern Square. Tavern Square consists of two-to-five story brick connected building forms built around a central open courtyard that is accessible from all four sides of the block. It was constructed in **1967** as part of Phase I of the Gadsby Urban Renewal Project and was designed by the architectural firm of Vosbeck and Vosbeck. While the overall architectural character of Tavern Square is firmly within the pattern of 1960's urban renewal architecture, it does make use of traditional building materials with brick, standing seam metal roofing, punched window openings, using contemporary, if over-scaled, interpretations of various historic Alexandria building forms. Over the years, the Board has approved several alterations at the Tavern Square complex. Staff have listed the previous approval for this portion of the building below.

### *Previous BAR Approvals*

BAR2017-00435 & BAR2018-00156 – The Board approved a Permit to Demolish, Certificate of Appropriateness, and waiver of the rooftop screening requirement for a new storefront.

## **III. ANALYSIS**

Staff have no objection to the proposed alterations. The current storefront is elevated and set back from the public right-of-way. The pickup window will be accessible only to pedestrians and will have minimal impact to the existing architectural style of the storefront.





Photo 2: Proposed elevation with pickup window.

The applicant proposes to paint the fabricated aluminum cabinet surrounding the pickup window a vibrant shade of purple. The selected shade is too intense and isn't harmonious with the existing signage. For reference, below is a photo of a recently installed pickup window at the upcoming 14<sup>th</sup> and U St., NW Taco Bell Cantina in Washington, DC. Staff recommend that the color of the proposed pickup window matches the existing signage and storefront. The applicant should work with staff to update the colors before applying for a building permit.



Photo 3: Taco Bell pickup window on U St. in Washington, DC.

With the conditions above, staff recommend approval of the project.

**STAFF**

Amirah Lane, Historic Preservation Planner, Planning & Zoning  
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning



**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

C-1 Proposed “walk up window” will comply with zoning.

C-2 Applicant must provide all existing and proposed signage when applying for the building permit.

**Code Administration**

A building permit is required.

**Transportation and Environmental Services**

No comments received.

**Alexandria Archaeology**

No archaeological oversight required.

**V. ATTACHMENTS**

Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs

BAR CASE# \_\_\_\_\_  
(OFFICE USE ONLY)

ADDRESS OF PROJECT: \_\_\_\_\_

DISTRICT:  Old & Historic Alexandria  Parker – Gray  100 Year Old Building

TAX MAP AND PARCEL: \_\_\_\_\_ ZONING: \_\_\_\_\_

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
*(Required if more than 25 square feet of a structure is to be demolished/impacted)*
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*

Applicant:  Property Owner  Business *(Please provide business name & contact person)*

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

Authorized Agent *(if applicable)*:  Attorney  Architect  \_\_\_\_\_

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

Legal Property Owner:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_

Phone: \_\_\_\_\_

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
  - awning
  - doors
  - lighting
  - other \_\_\_\_\_
  - fence, gate or garden wall
  - windows
  - pergola/trellis
  - HVAC equipment
  - siding
  - painting unpainted masonry
  - shutters
  - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

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**SUBMITTAL REQUIREMENTS:**

Check this box if there is a homeowner’s association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- Square feet of existing signs to remain: \_\_\_\_\_.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** Please read and check that you have read and understand the following items:

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

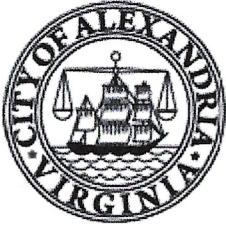
Joanie

Digitally signed by Joanie Godsey  
 DN: cn=Joanie Godsey, c=US,  
 o=ARCVISION  
 email=jgodsey@arcv.com  
 Date: 2025.02.13.16:10:26 -05'00'

Signature: Godsey

Printed Name: Joanie Godsey

Date: 01.09.25



Department of Planning & Zoning
Property Owner's Authorization Form

PROPERTY OWNER'S AUTHORIZATION

As the property owner, I hereby grant the applicant use of 417 King St. Alexandria, VA 22314
(property address), for the purposes of operating a Existing Taco Bell Restaurant Store #34274 (use)
business as described in this application.

I also grant permission to the City of Alexandria to visit, inspect, photograph and post placard notice on my
property.

Name: WG Tavern Square Venture LLC Phone 703-925-5222

Address: [Redacted] Email: [Redacted]

Signature: [Handwritten Signature] Date: \_\_\_\_\_

The applicant is the (check one):

- Owner
Contract Purchaser
Lessee or
Other: Architect for Taco Bell Restaurant
of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in
the applicant or owner, unless the entity is a corporation or partnership, in which case identify each
owner and the percent of ownership.

If property owner or applicant is being represented by an authorized agent such as an attorney,
realtor, or other person for which there is some form of compensation, does this agent or the business in
which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- Yes. Provide proof of current City business license
No. The agent shall obtain a business license prior to filing application, if required by the City Code.



**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Taco Bell of America LLC	1 Glen Bell Way, Irvine CA 92618	100%
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 417 King St. Alexandria, CA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. WGTavernSquareVenture	40 Danbury Road, Wilton, CT 06897	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. None		
2. None		
3. None		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

01.09.25

Date

Joanie Godsey

Printed Name

Joanie Godsey

**Joanie  
Godsey**  
Signature

Digitally signed by Joanie Godsey  
DN: cn=Joanie Godsey, c=US,  
o=ARCVISION,  
email=jgodsey@arcv.com  
Date: 2025.02.13 16:10:50 -0500





**417 KING ST.  
ALEXANDRIA, VA 22314**

**WALK-UP PICK-UP WINDOW  
STORE #34274**

PROJECT INFORMATION			
LEGAL JURISDICTION:	CITY OF ALEXANDRIA PERMIT CENTER		
BUILDING CODE:	2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) 2018 IRC		
MECHANICAL:	2021 VIRGINIA MECHANICAL CODE		
PLUMBING:	2021 VIRGINIA PLUMBING CODE		
ELECTRICAL:	2021 VIRGINIA ELECTRICAL CODE		
ENERGY:	2021 VIRGINIA ENERGY CONSERVATION CODE		
FIRE:	2021 INTERNATIONAL FIRE CODE (IFC)		
	2021 VIRGINIA BUILDING AND FIRE CODE RELATED REGULATIONS		
BUILDING AREA:	2,195 S.F. GROSS		
INTERIOR SEATING:	36 EXTERIOR SEATING: 16		
OCCUPANCY:	A2		
TYPE CONSTRUCTION:	TYPE IIB - SPRINKLED		
TYPE	AREA	FACTOR	OCCUPANTS
DINING ROOM	860 S.F.	1:15 S.F.	58
QUEING	48 S.F.	1:5 S.F.	10
KITCHEN	818 S.F.	1:200 S.F.	5
ACCESSORY STORAGE	169 S.F.	1:300 S.F.	1
RESTROOMS & PASSAGE	333 S.F.	0	0
TOTAL			74

PROJECT SUMMARY	
THIS PROJECT CONSISTS OF THE REMOVAL OF ONE BAY OF STOREFRONT FOR THE INSTALLATION OF NEW WALK-UP WINDOW AND INSTALLATION OF AUDIO / VIDEO COMMUNICATIONS.	
NO SITE WORK. NO OTHER WORK TO BE DONE.	

TITLE/ GENERAL	
T1.0	TITLE SHEET
DEMOLITION	
D1.0	DEMOLITION FLOOR PLAN & EXTERIOR ELEVATION
ARCHITECTURAL	
A1.0	FLOOR PLAN & WINDOW DETAILS
A4.0	EXTERIOR/INTERIOR ELEVATIONS
A6.0	DETAIL SHEET
ELECTRICAL	
E1.1	PANEL SCHEDULES
E2.0	PORTAL POWER FLOOR PLAN

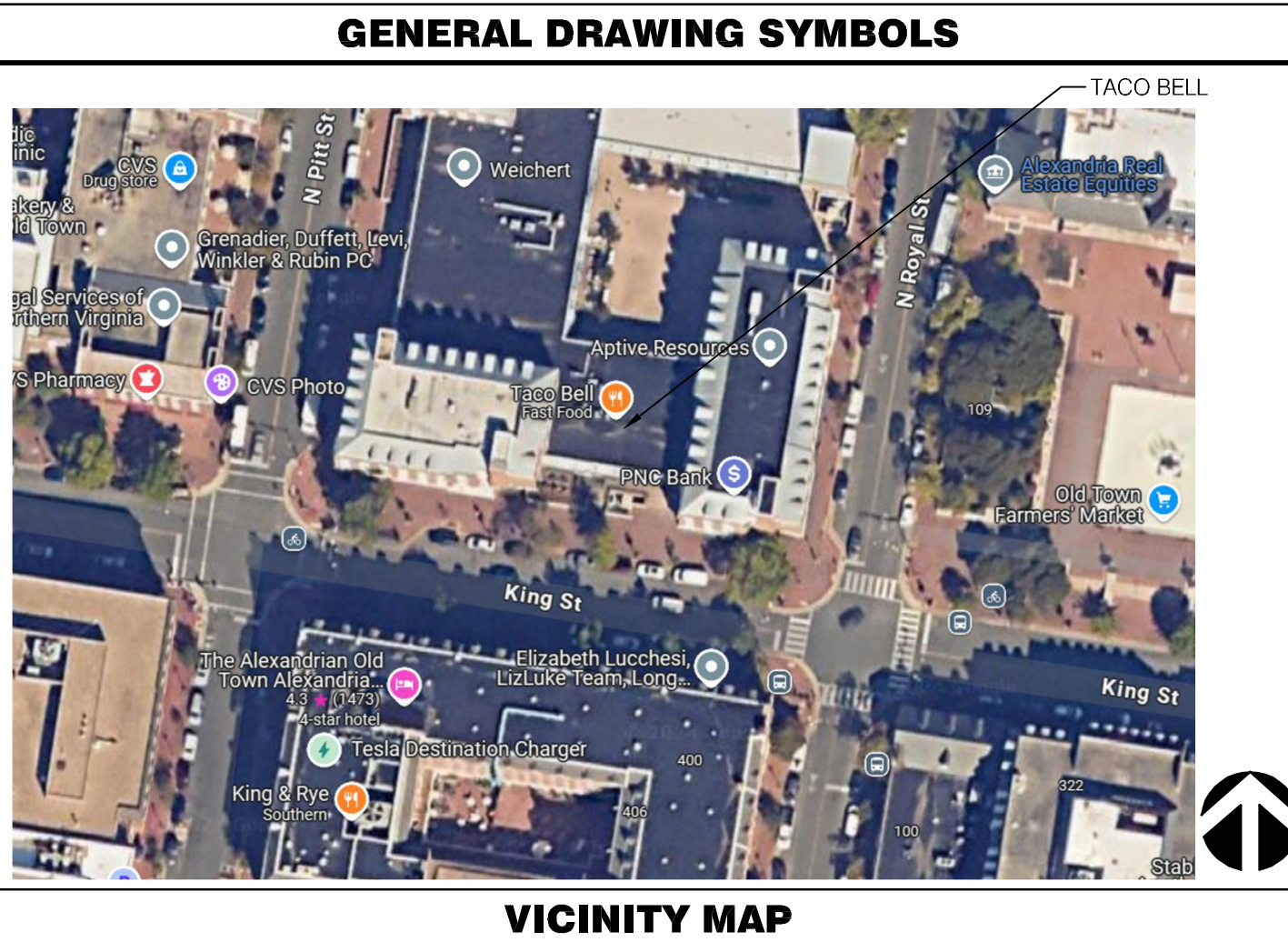
- A. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- B. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. A201 LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- C. DRAWINGS ARE BASED ON A SURVEY, PREPARED BY ArcVision.
- D. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER PRIOR TO STARTING WORK.
- E. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY THE YUM BRANDS CONSTRUCTION MANAGER, PRIOR TO INSTALLATION.
- F. SUBMIT PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT (IF APPLICABLE). THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. YUM BRANDS WILL PAY FOR "CONNECTION FEES" ASSOCIATED WITH UTILITY PERMITS. PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- G. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- H. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- I. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED.
- J. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- K. ALL MATERIALS STAGED TO BE USED FOR CONSTRUCTION SHALL BE PROTECTED FROM EXCESSIVE MOISTURE. IF THEY ARE EXPOSED TO MOISTURE THEY SHOULD BE ADEQUATELY DRIED BEFORE ENCAPSULATED INTO THE BUILDING.
- L. ALL PAINTS, ADHESIVES, COATINGS AND SEALANTS USED INSIDE THE BUILDING SHALL HAVE A LOW VOC CONTENT.
- M. THE G.C. SHALL REVIEW PRE-CONSTRUCTION ADA INSPECTION REPORT AND CONFIRM WORK IS PROVIDED WITHIN THESE DRAWINGS. G.C. TO PROVIDE A REPORT WITH PHOTOS AFTER POST CONSTRUCTION ADA REPORT IS COMPLETE SHOWING COMPLIANCE. THIS WORK IS REQUIRED TO BE WITHIN G.C. BID.

**GENERAL DRAWING SYMBOLS**

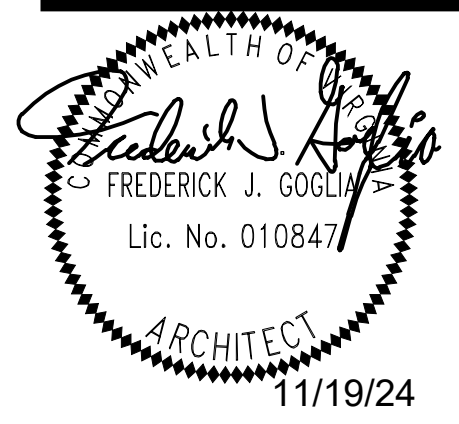
	ROOM NAME		ELEV. LETTER
	SHEET NUMBER		ELEV. SHEET
	ELEVATION NUMBER		DOOR NUMBER
	CEILING HEIGHT		WINDOW NUMBER / DECOR ITEM NUMBER
	BLDG. SECTION LETTER		EXTERIOR WALL FINISH NUMBER
	BLDG. SECTION SHEET		KEY NOTE NUMBER
	DETAIL NUMBER		EQUIPMENT NUMBER
	DIRECTION OF DETAIL		INTERIOR FINISH
	DETAIL SHEET		INTERIOR WALL TYPE
	REVISION NUMBER		INTERIOR ELEVATION DESIGNATION
	BLDG. HEIGHT REFERENCE POINT		SHEAR WALL TYPE (STRUCTURAL)
			EQUIPMENT / FIXTURE NUMBER (M.E.P.)
			INDICATES SUSTAINABLE DESIGN

REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR SPECIFIC SYMBOLS

<b>OWNER</b> Taco Bell of America, LLC	<b>ARCHITECT</b> ArcVision Inc.
	<b>ELECTRICAL ENGINEER</b>



**FREDERICK J. GOGLIA**  
ARCHITECT, NCARB, RID  
1850 CRAIG ROAD, SUITE 300  
ST. LOUIS, MO 63146  
PH: (314) 415-2400 FAX: (314) 415-2800  
www.arv.com



BUILDING TYPE: URBAN CANTINA  
PLAN VERSION: ENDEAVOR  
BRAND DESIGNER: TIFFANNIE SHIVELY  
SITE NUMBER: 34274  
ARCVISION NUMBER: 220779

**TACO BELL**  
417 KING ST.  
ALEXANDRIA, VA 22314

**TACO BELL**  
WALK-UP WINDOW  
TITLE SHEET

**T1.0**



**REMODEL IMAGE (RI)**

- ① RI EXISTING STOREFRONT SYSTEM WINDOW/FRAME AND ENTRY DOORS TO REMAIN U.N.O. PROTECT DURING CONSTRUCTION. PROVIDE NEW SEALANT AS REQUIRED.
- ② RI DEMO PORTION OF EXISTING STOREFRONT GLAZING FOR INSTALLATION OF NEW WALK-UP WINDOW. REFER TO EXTERIOR ELEVATIONS FOR WINDOW PANE THAT IS TO BE IMPACTED.
- ③ RI EXISTING EXIT SIGN TO BE REMOVED AND SAVED FOR REINSTALLATION AFTER THE INSTALLATION OF THE NEW WALK-UP WINDOW.
- ④ RI EXISTING EXTERIOR TRASH ENCLOSURE TO BE SAVED AND RELOCATED. REFER TO SHEET A1.0 FOR ADDITIONAL INFORMATION.
- ⑤ RI EXISTING INTERIOR TRASH ENCLOSURE TO BE SAVED AND RELOCATED. REFER TO SHEET A1.0 FOR ADDITIONAL INFORMATION.

**DEMOLITION FLOOR PLAN KEY NOTES B**

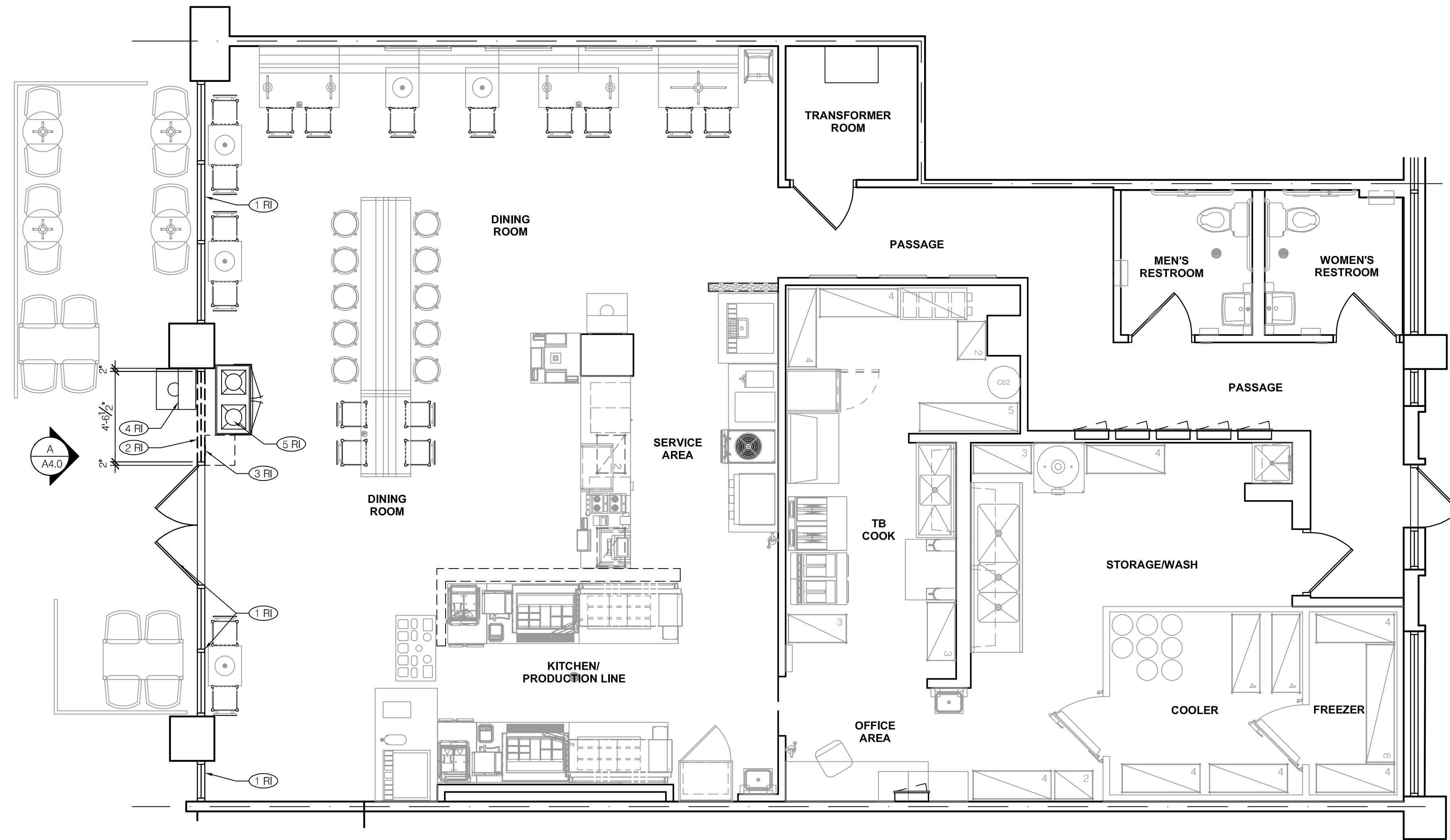
**DEMOLITION FLOOR PLAN**

1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CONDITIONS ON SITE.
3. CONTRACTOR TO FIELD VERIFY AND MAINTAIN ALL FIRE SYSTEMS.
4. DEMOLITION & REMOVAL OF SYSTEMS NOTED INCLUDES ALL WORK REQUIRED TO ACHIEVE SCOPE OF NEW WORK AND DESIGN INTENT.
5. DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OF THE COMPLETENESS OF THE EXISTING INFORMATION RECORDED. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE IN THE COURSE OF THE DEMOLITION WORK.
6. THE OWNER RESERVES THE RIGHT TO SALVAGE ANY DEMOLISHED ITEM. VERIFY ITEMS TO BE SALVAGED WITH THE OWNER PRIOR TO THE START OF DEMOLITION. REMOVE, PROTECT, CLEAN, REPAIR FOR REUSE AND TURN OVER SUCH ITEMS AS DIRECTED BY THE OWNER.

**GENERAL NOTES C**

- AREA OF WORK
- ▭ TYPICAL EXISTING EXTERIOR WALL: 2 X 6 WOOD STUDS @ 16" O.C. WITH 1/2" PLYWOOD (EXP 1) SHEATHING
- ▭ TYPICAL EXISTING INTERIOR WALL TO REMAIN: 2X4 WOOD STUDS @ 16" O.C. (U.N.O.)
- ▭ EXISTING PARTITION TO BE DEMOLISHED REFER TO KEY NOTES.
- ▭ EXISTING DOOR/FRAME TO BE DEMOLISHED
- ▭ EXISTING DOOR TO REMAIN
- ▭ EXISTING ITEM/FIXTURE TO BE DEMOLISHED/RELOCATED
- ▭ EXISTING ITEM/FIXTURE

**LEDGEND D**



**DEMOLITION FLOOR PLAN 1/4" = 1'-0" A**



**PHOTO OF EXISTING CONDITIONS F**

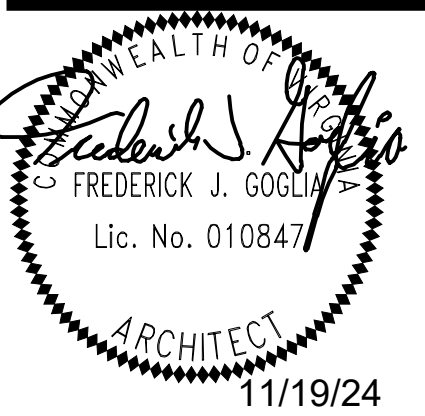


**REMODEL IMAGE (RI)**

- ① RI EXISTING STOREFRONT SYSTEM WINDOW/FRAME AND ENTRY DOORS TO REMAIN U.N.O. PROTECT DURING CONSTRUCTION. PROVIDE NEW SEALANT AS REQUIRED.
- ② RI DEMO PORTION OF EXISTING STOREFRONT GLAZING FOR INSTALLATION OF NEW WALK-UP WINDOW.
- ③ RI EXISTING EXTERIOR RAILING TO REMAIN.

**EXTERIOR DEMOLITION ELEVATION & KEY NOTES 1/4" = 1'-0" E**

**FREDERICK J. GOGLIA**  
 ARCHITECT, NCARB, RID  
 1850 CRAIG ROAD, SUITE 300  
 ST. LOUIS, MO 63146  
 PH: (314) 415-2400 FAX: (314) 415-2900  
 www.arcrv.com



BUILDING TYPE: URBAN CANTINA  
 PLAN VERSION: ENDEAVOR  
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 SITE NUMBER: 34274  
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TACO BELL

417 KING ST.  
 ALEXANDRIA, VA 22314



**WALK-UP WINDOW  
 DEMOLITION FLOOR PLAN &  
 EXTERIOR ELEVATION  
 D1.0**

R0 SET ISSUED: 11.19.2024



**1** TYPICAL NEW 36" INTERIOR WALL:  
2 x 4 WOOD STUDS W/ 1/2" BOARD  
SUBSTRATE U.N.O.  
ACCEPTABLE ALTERNATE: METAL  
STUDS IN LIEU OF WOOD STUDS.

TYPICAL EXISTING EXTERIOR WALL:  
2 X 6 WOOD STUDS @ 16" O.C. WITH 7/8"  
PLYWOOD (EXP 1) SHEATHING

TYPICAL EXISTING INTERIOR WALL TO REMAIN:  
2X4 WOOD STUDS @ 16" O.C. (U.N.O.)

EXISTING PARTITION TO BE DEMOLISHED  
REFER TO KEY NOTES.

EXISTING DOOR TO REMAIN

NEW SWING DOOR  
REFER TO DOOR SCHEDULE FOR INFO.

NEW SOLID SURFACE

NEW LAMINATE COVERING

EXISTING ITEM/FIXTURE

DOOR TAG

WINDOW TAG

DETAIL CALLOUT

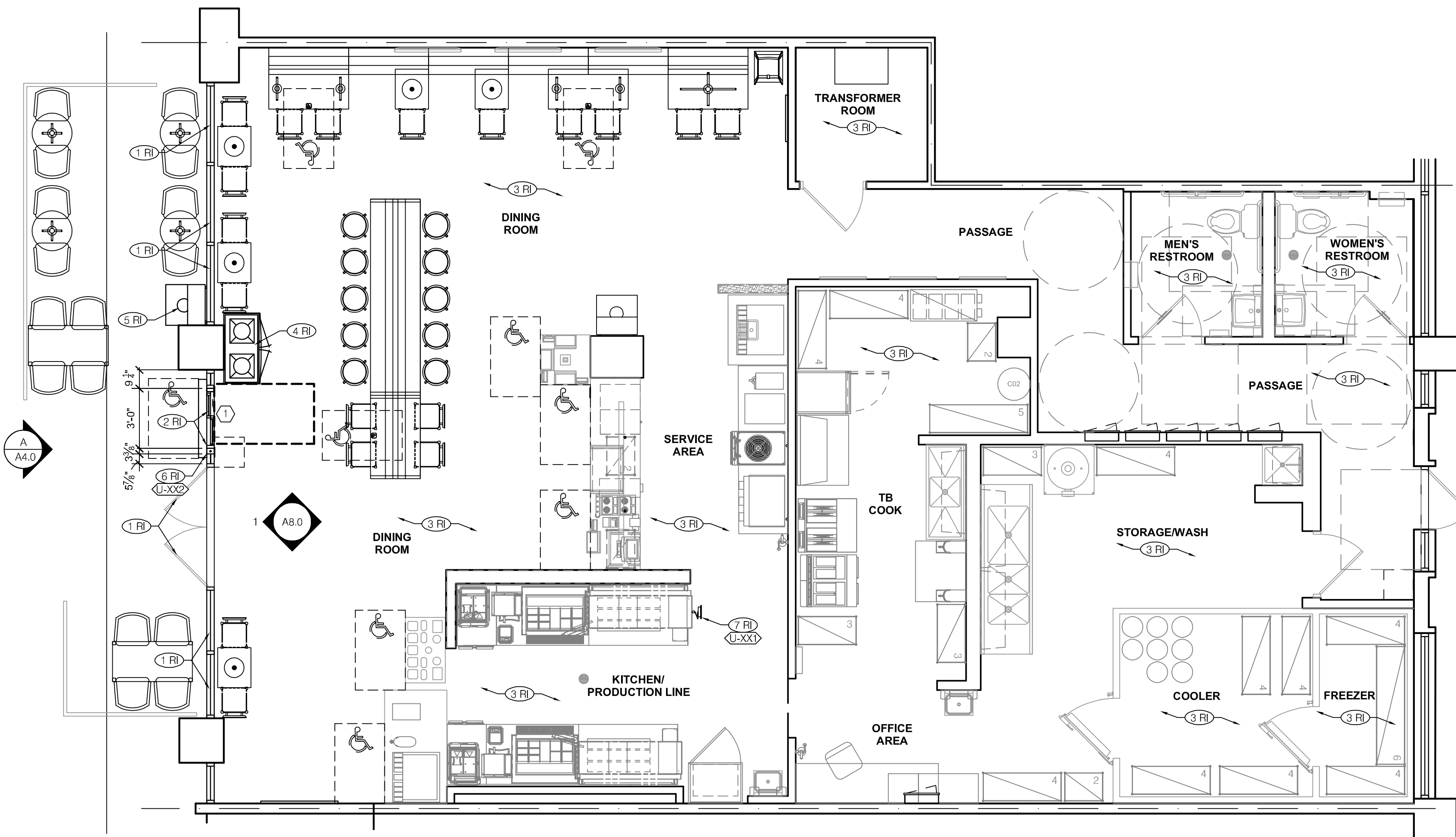
INTERIOR ELEVATION CALLOUT

GENERAL NOTES:  
1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH. ALL DIMENSIONS ARE TO BE FIELD VERIFIED BY G.C. WITH THE REQUIREMENT THAT THE G.C. NOTIFIES OWNER/AGENT OF ANY DISCREPANCY.

**LEGEND B**

TAG	DESCRIPTION:	QUANTITY	MANUFACTURER	RESPONSIBILITY	
U-XX1	BOH AUDIO/VISUAL COMMUNICATION	1	TB VENDOR	AIPHONE	V.F.C.I.
U-XX2	STOREFRONT AUDIO / VISUAL COMMUNICATION	1	TB VENDOR	EXTERNAL CUSTOMER FACING AIPHONE SYSTEM.	V.F.C.I.

**EQUIPMENT KEYS C**



**FLOOR PLAN 1/4" = 1'-0" A**

**NATIONAL ACCOUNTS SUPPLIER**

INTERIOR DOORS, FRAMES & HARDWARE	HAMILTON PARKER
LOCKNET CONSTRUCTION@LOCKNET.COM 800 JOHN C. WATTS DR. NICHOLASVILLE, KY 40356 855-432-4613 FAX: 877-887	JIM CAMPBELL D. 614-358-7806 E-MAIL: JIM.CAMPBELL@HAMILTON.PARKER.COM

**STOREFRONT SPECIFICATION**

STOREFRONT OLD CASTLE FG-3000	GLAZING VITROGLAZINGS SOLARBAN 70 SOLAR CONTROL LOW-E GLASS
-------------------------------------	--

ENTIRE STOREFRONT SYSTEM SHALL BE DARK BRONZE

**GLASS SCHEDULE**

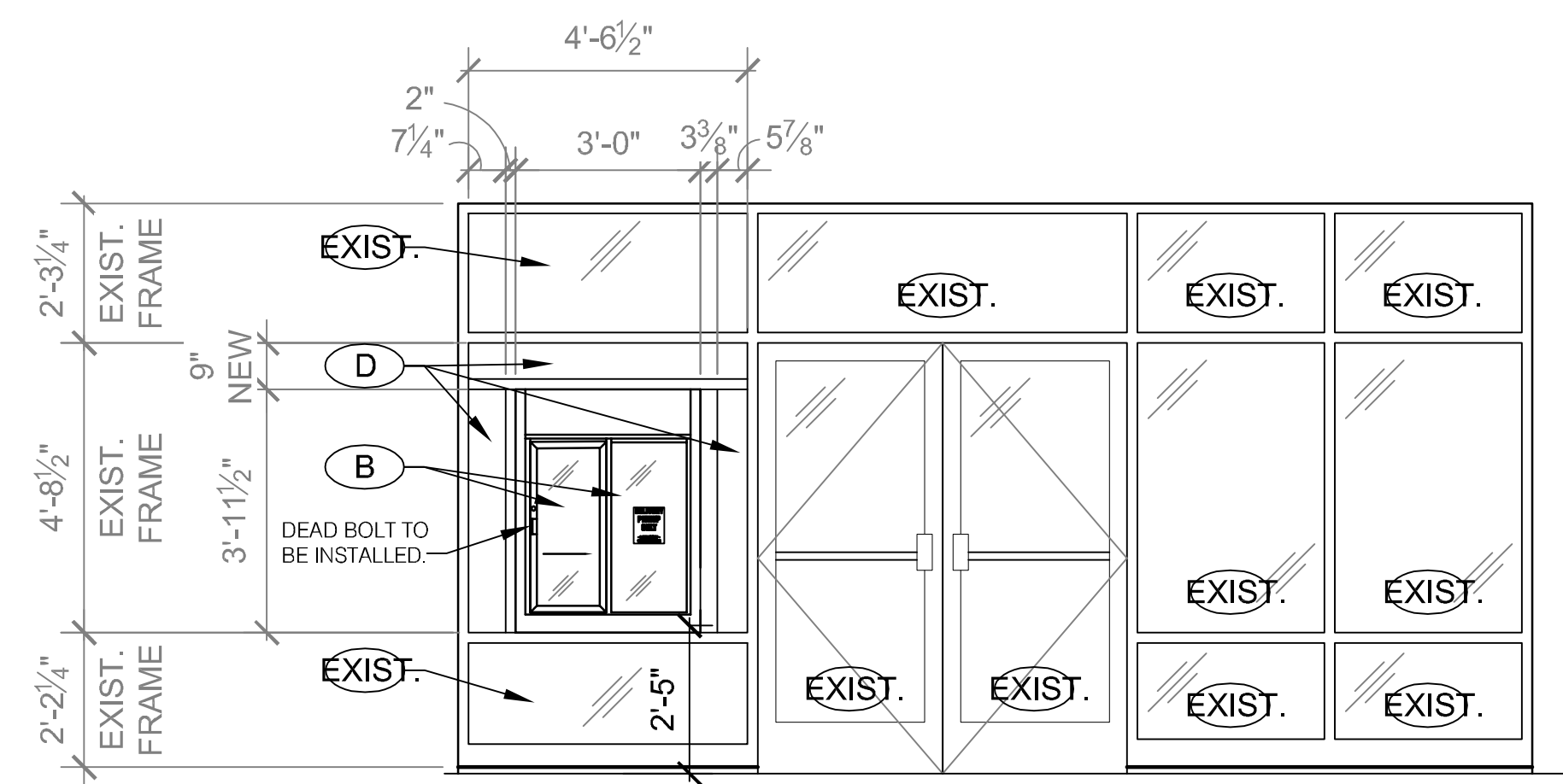
**B** 1" INSULATED TEMPERED GLASS

**D** SAFETY GLASS BY MFR.

**EXIST** EXISTING GLASS, FRAMING, AND TINT TO REMAIN.

NOTE:  
SHADING COEFFICIENT SPECIFICATION PER LOCAL CODE REQUIREMENTS. DAYTIME VISIBILITY INTO DINING ROOM SHALL BE MAINTAINED.

\*\*\*ALL STOREFRONT GLAZING SHALL BE LOW 'E' SOLAR GLASS\*\*\*



\*\*\*G.C. MUST FIELD VERIFY EXISTING STOREFRONT BEFORE SUPPLYING WINDOW MODIFICATIONS.\*\*\*  
SHOWN AS WINDOW APPLICATION ONLY, REFER TO A4.0 FOR SHROUD.

**STOREFRONT WINDOW DETAILS AND SPECS. 1/4" = 1'-0" F**

**FLOOR PLAN**

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & CONDITIONS ON SITE.
- CONTRACTOR TO FIELD VERIFY AND MAINTAIN ALL FIRE SYSTEMS.
- DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OF THE COMPLETENESS OF THE EXISTING INFORMATION RECORDED. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE.

**DECOR:**  
A. SEE A1.0 FOR SEATING PLAN AND DETAILS.  
B. SEE A8.0 - A8.1 FOR WALL FINISHES.

**GENERAL:**  
A. DIMENSIONS NOTED AS 'HOLD' OR 'CLEAR' ARE MIN. REQUIRED CLEARANCE FROM FACE OF OUTERMOST FINISH MATERIAL (WALL BASE/WAINSCOT/CHAIR RAIL). VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.  
B. DIMENSIONS THAT ORIGINATE FROM EXISTING ELEMENTS OF THE BUILDING ARE FROM FACE OF FINISH. ALL OTHER DIMENSIONS ARE TO FACE OF STUD U.N.O.  
C. DIMENSIONS NOTED AS 'CLEAR' OR 'HOLD' ARE MIN. REQD. NET CLEARANCE FROM FACE OF OUTERMOST FINISH (WALL, BASE, CHAIR RAIL)

**WINDOWS/DOORS:**  
A. SEE SCHEDULE FOR WINDOW AND DOOR TYPES.  
B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

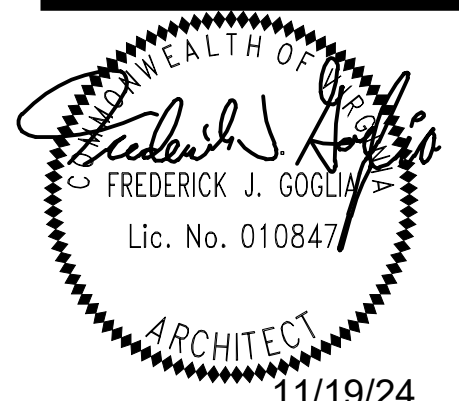
**FLOOR PLAN NOTES E**

**REMODEL IMAGE (RI)**

- 1 RI** EXISTING STOREFRONT SYSTEM, WINDOWS AND ENTRY DOORS TO REMAIN. PROTECT DURING REMODEL.
- 2 RI** NEW STOREFRONT WINDOW SYSTEM AND WALK-UP WINDOW TO BE INSTALLED IN EXISTING STOREFRONT FRAMING. REFER TO F/A1.0 AND A4.0 FOR ADDITIONAL INFORMATION.
- 3 RI** NO WORK TO BE DONE TO DINING ROOM, SERVICE COUNTER, PREP AREA, RESTROOMS, WALK-IN F/C, OR BOH.
- 4 RI** RELOCATED EXISTING INTERIOR TRASH RECEPTACLE.
- 5 RI** RELOCATED EXISTING EXTERIOR TRASH RECEPTACLE.
- 6 RI** NEW AUDIO/VISUAL COMMUNICATION CUSTOMER SYSTEM, TO BE INSTALLED PER MANUFACTURE SPECIFICATIONS. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 7 RI** NEW AUDIO/VISUAL EMPLOYEE COMMUNICATION SYSTEM, TO BE INSTALLED PER MANUFACTURE SPECIFICATIONS. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. COORDINATE WITH OWNER IF SWING ARM IS TO BE INSTALLED.

**FLOOR PLAN KEY NOTES D**

**FREDERICK J. GOGLIA**  
ARCHITECT, NCARB, RID  
1850 CHAG ROAD, SUITE 300  
ST. LOUIS, MO 63146  
PH: (314) 415-2400 FAX: (314) 415-2800  
www.arvc.com



BUILDING TYPE: URBAN CANTINA  
PLAN VERSION: ENDEAVOR  
BRAND DESIGNER: TIFFANIE SHIVELY  
SITE NUMBER: 34274  
ARCVISION NUMBER: 220779

**TACO BELL**  
417 KING ST.  
ALEXANDRIA, VA 22314



**FLOOR PLAN & WINDOW DETAILS**

**A1.0**

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EQ #	COUNT	DESCRIPTION
V-X01	1	QUICKSERV WINDOW - LEFT
V-X02	1	WINDOW DECAL - WAYFINDING - DELIVERY PICKUP HOURS - INTERIOR MOUNTED - CENTERED - 6"X7" WHITE TEXT CLEAR BACKGROUND
V-X03	1	TACO BELL VERSION 2.0 WALK-UP PICK-UP WINDOW SQUARE SHROUD

**MISCELLANEOUS - SEALERS (REFER TO SPECS)**

- SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

(X-XXX) DENOTES ITEM - VENDOR SUPPLIED AND INSTALLED. SEE SCOPE OF WORK



**SIGNAGE/ARTWORK SCHEDULE B**

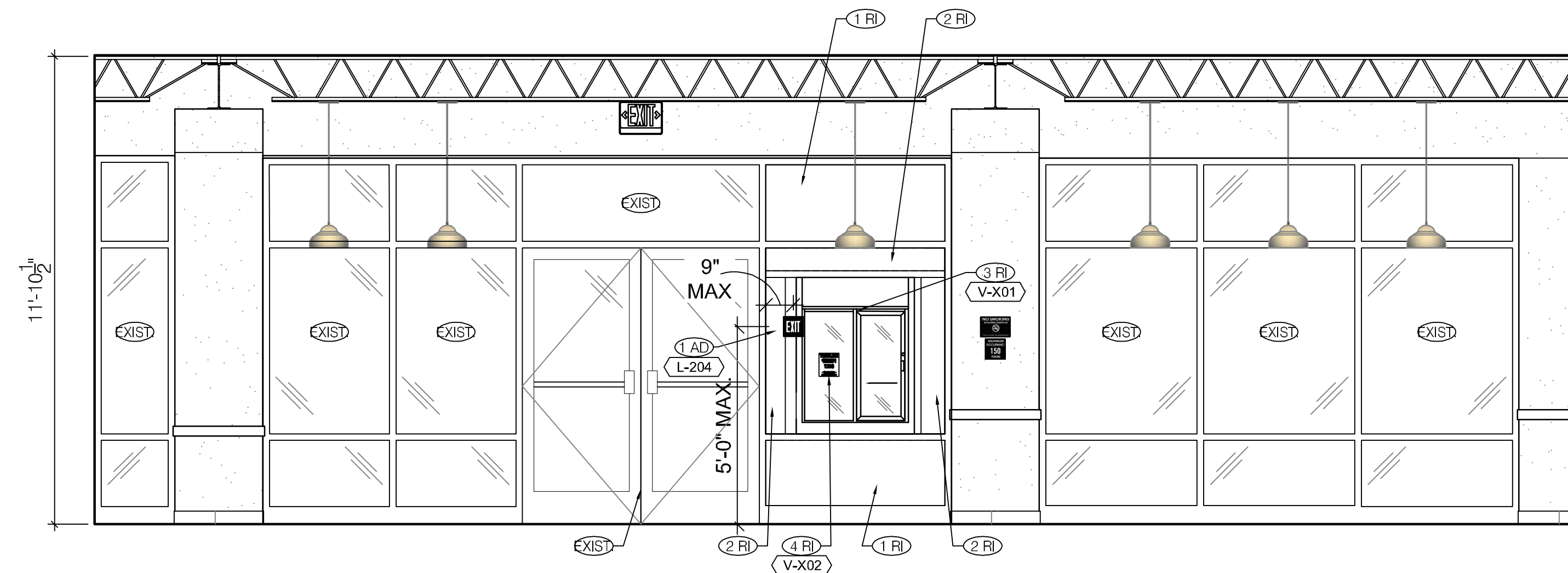
**EXTERIOR ENTRY PORTAL ELEVATION 1/4" = 1'-0" A**

**REMODEL IMAGE (RI)**

- (1 RI) EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN.
- (2 RI) MODIFIED STOREFRONT WINDOW FOR NEW WALK-UP WINDOW.
- (3 RI) NEW QUICKSERV STOREFRONT WALK-UP WINDOW TO BE INSTALLED.
- (4 RI) NEW DECAL, STORE HOURS TO BE DISPLAYED ON NEW WALK-UP WINDOW.
- (5 RI) TACO BELL VERSION 2.0 WALK-UP PICK-UP WINDOW SHROUD.

**ADA NOTES (AD)**

- (1 AD) ACCESSIBLE EXIT SIGNAGE, VERIFY LOCAL REQUIREMENTS. PROVIDE TACTILE EXIT SIGN AT EGRESS DOOR AT 60" HEIGHT ON CENTER MAX.



**KEY NOTES D**

**DINING ROOM/FRONT ENTRY ELEVATION 3/8" = 1'-0" C**

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TACO BELL

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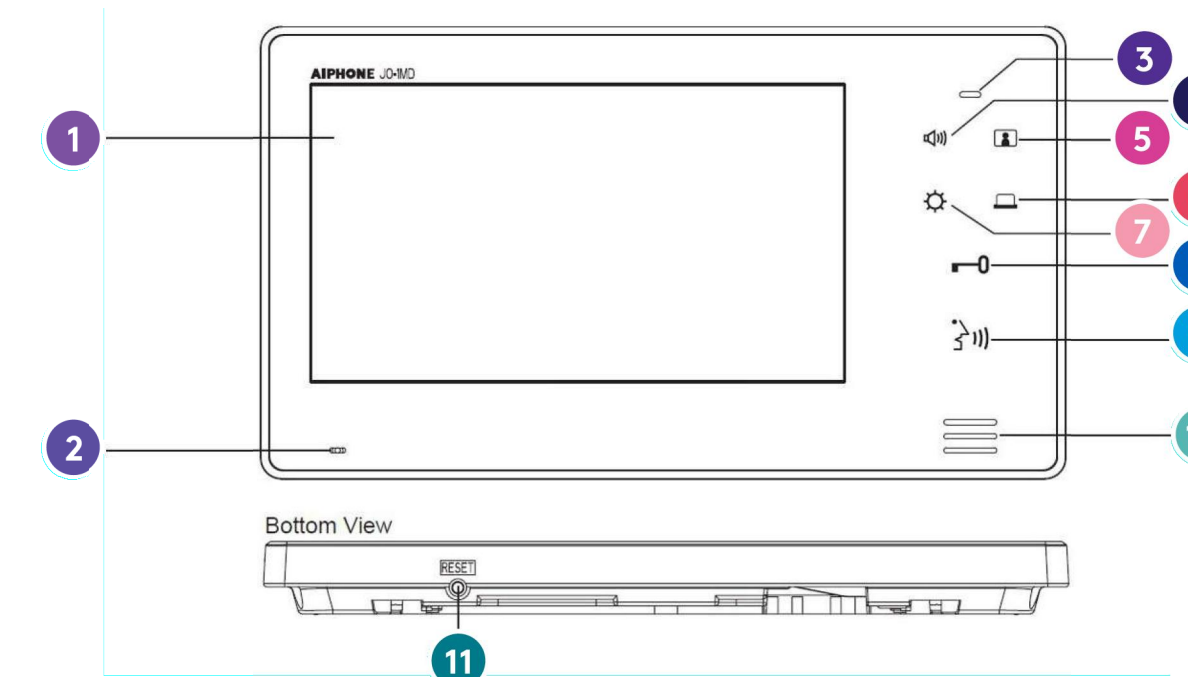
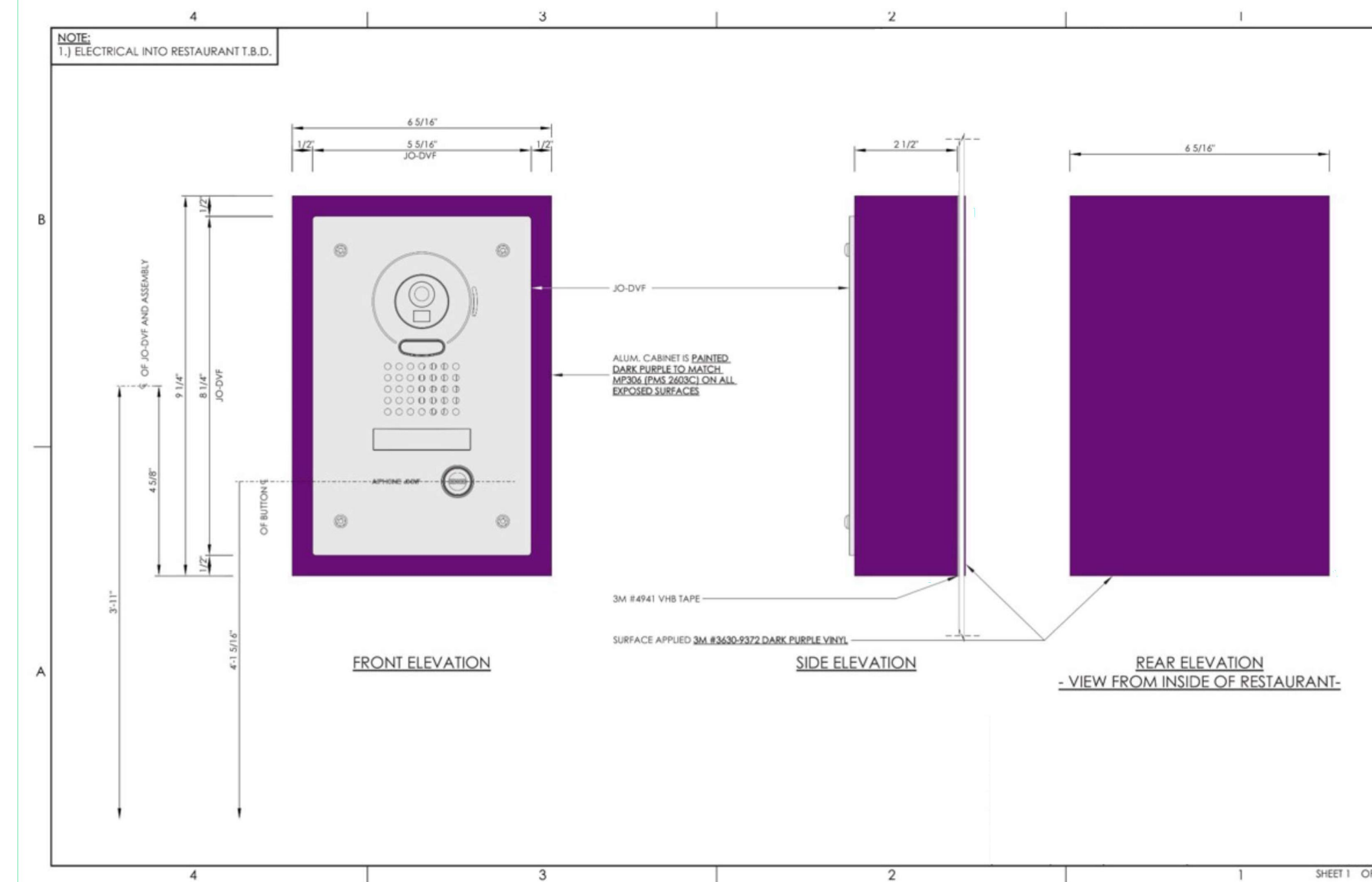
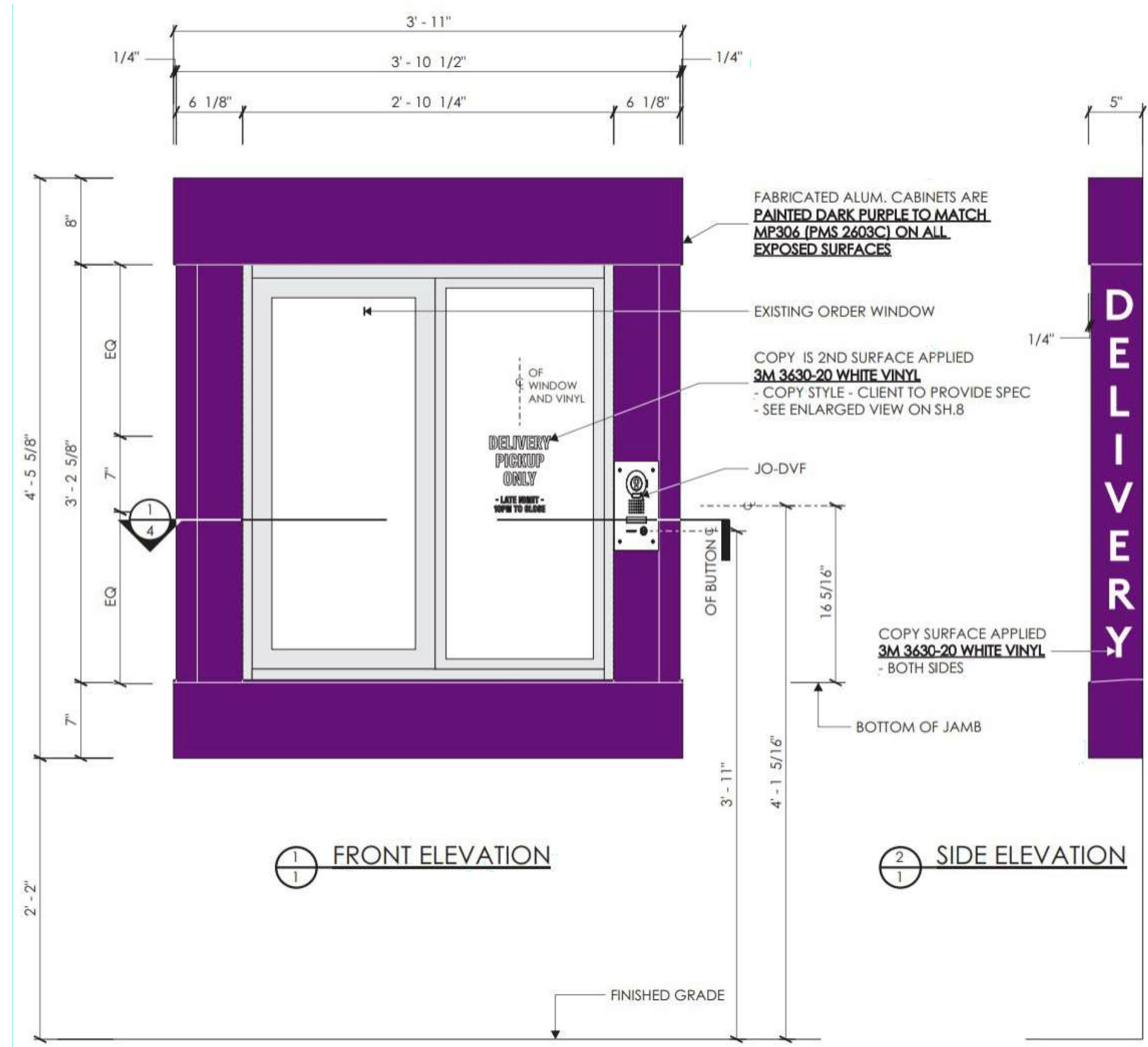
WALK-UP  
 WINDOW

**EXTERIOR/  
 INTERIOR  
 ELEVATIONS**

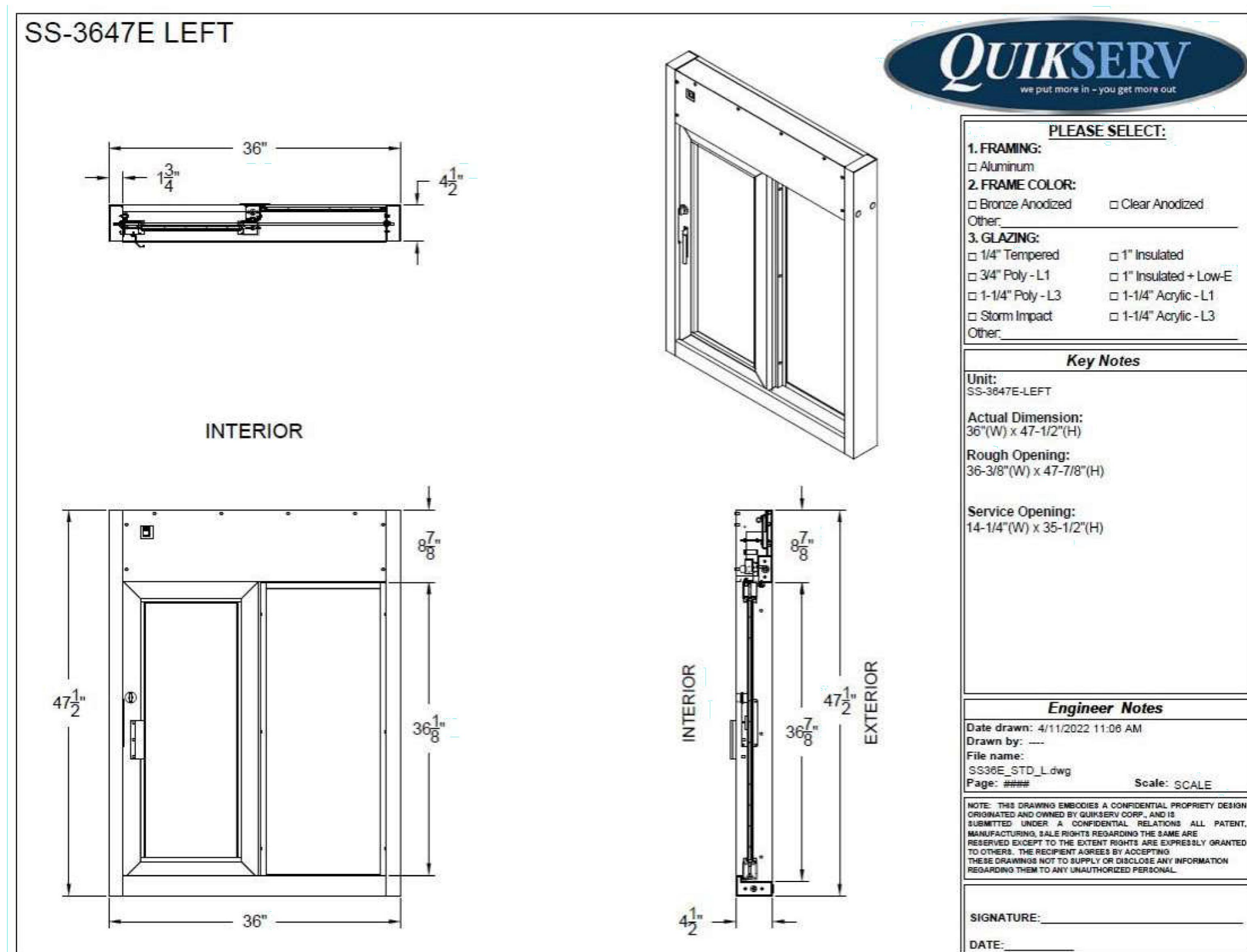
**A4.0**

R0 SET ISSUED: 11.19.2024



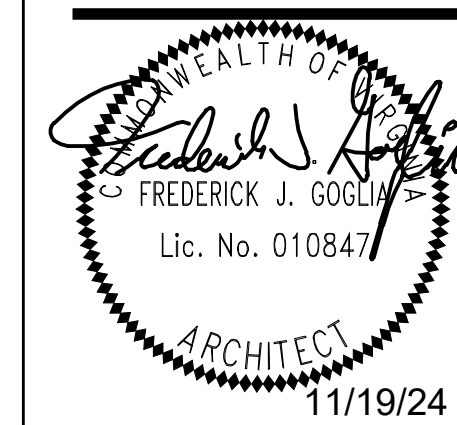


- 1 COLOR LCD SCREEN
- 2 MICROPHONE
- 3 STATUS LED
- 4 VOLUME CONTROL BUTTON
- 5 MONITOR BUTTON
- 6 OPTION BUTTON
- 7 SCREEN BRIGHTNESS CONTROL
- 8 DOOR RELEASE BUTTON
- 9 TALK/OFF BUTTON
- 10 SPEAKER
- 11 RESET BUTTON



ITEM NAME	VENDOR	WHERE TO ORDER
SERVICE WINDOW (WALK UP WINDOW)	READY ACCESS	RSCS SALES REP
COMMUNICATION DEVICE	AIRPHONE	RSCS SALES REP
ART WORK WINDOW-CLING (PURPLE BELLS)		
ARTWORK # G-2401- HYPNOTIZE ME BELLS-PRPL-NO GRADIENT	ART VENDOR	RSCS SALES REP
WAYFINDING SIGNAGE (LATE NIGHT PICKUP)		
ARTWORK # G-2402- LATE NIGHT PU	ART VENDOR	RSCS SALES REP
WAYFINDING SIGNAGE (HOURS- WINDOW CLING)	TUKAIZ	LSM WEBSITE <a href="https://restaurantmarketingtoolkit.com">HTTPS://RESTAURANTMARKETINGTOOLKIT.COM</a>
STICK BUILD MULLIONS/GLAZING	GC TO PROVIDE	GC TO PROVIDE

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ALEXANDRIA, VA 22314



**DETAIL SHEET**

**A6.0**

RO SET ISSUED: 11.19.2024



PANEL <b>D</b>		NEW INSTALL		FED TOP																	
VOLTAGE <b>120/208</b>		EXIST LOCATION <b>X</b>		FED BOTTOM																	
AMP BUS <b>400</b>		RELOCATED EXIST		MTD FLUSH <b>X</b>																	
AMP MAIN <b>400</b>		A.I.C. RATING <b>(EXISTING)</b>		SURFACE																	
KEY NOTE	CKT #	DESCRIPTION	WATTS	LOAD TYPE	WIRE SIZE	BRKR SIZE	POLE	A	B	C	POLE	BRKR SIZE	WIRE SIZE	LOAD TYPE	WATTS	DESCRIPTION	CKT #	KEY NOTE			
	1	WALKIN FREEZER	1620	K	(EXISTING)	20	3	2520			1	20	(EXISTING)	R	900	REC-DINING TV	2	1			
	3	-	1620	K	-	-	-	2520	2520		1	20	(EXISTING)	R	900	REC-DINING TV	4	1			
	5	-	1620	K	-	-	-	2520		2520	1	20	(EXISTING)	R	900	REC-DINING TV	6	1			
	7	WALKIN COOLER	1320	K	(EXISTING)	20	3	1820			1	20	(EXISTING)	R	500	MUSIC SYSTEM	8	1			
	9	-	1320	K	-	-	-	1320			1	15	-	-	SPARE		10				
	11	-	1320	K	-	-	-			1860	1	20	(EXISTING)	R	540	TV RECEPTACLES	12	1			
	13	3-COMPARTMENT SINK	1180	K	(EXISTING)	15	2	1900			1	20	(EXISTING)	R	720	RECEPTACLES-UTILITY	14	1			
	15	-	1180	K	-	-	-	1540			1	20	(EXISTING)	M	360	OQB MONITOR RECEPTACLES	16	1			
	17	FIRE SUPPRESSION	760	M	(EXISTING)	20	1			1880	1	20	(EXISTING)	M	1120	CC ROUTER/READER	18	1			
	19	SPARE	-	-	-	20	1	800			1	20	(EXISTING)	H	800	EXHAUST FANS (RESTROOMS)	20	1			
	21	RECEPTACLE-MAINTENANCE	360	R	(EXISTING)	20	1		1610		2	15	(EXISTING)	K	1250	FROZEN BEVERAGE DISP. CU	22	1			
	23	FURNACE F-1A	1760	H	(EXISTING)	20	1			3010	-	-	-	K	1250	-	24				
	25	FURNACE F-1B	1760	H	(EXISTING)	20	1	2260			1	20	(EXISTING)	H	500	EXHAUST FAN EF-4	26	1			
	27	FURNACE F-2	1760	H	(EXISTING)	20	1		3560		1	20	(EXISTING)	K	1800	GLYCOL POWER PACK	28	1			
	29	WATER HEATER	400	M	(EXISTING)	20	1			400	1	20	-	-	SPARE		30				
	21	PANEL B	1910	-	(EXISTING)	100	3	1910			1	20	-	-	SPARE		32				
	33	-	2420	-	-	-	-		2420		1	20	-	-	SPARE		34				
	35	-	2660	-	-	-	-			2660	1	20	-	-	SPARE		36				
	1	PANEL C (SUB)	18660	-	(EXISTING)	225	3	26570			3	225	(EXISTING)	-	7910	PANEL A (SUB)	38	2			
	39	-	20720	-	-	-	-			29730	-	-	-	-	9010	-	40				
	41	-	15940	-	-	-	-			25220	-	-	-	-	9280	-	42				
								37780	42700	37550									=	118030	CONNECTED WATTS
L= LIGHTING/SIGNS		6250	125% =	7813																	
R= RECEPTACLES		6920	100% =	6920																	
M= MISC		6970	100% =	6970																	
H= HVAC		6580	100% =	6580																	
K= KITCHEN		90450	65% =	58793																	
LARGEST MOTOR		1760	25% =	440																	
DEMAND WATTS		87515	=	243.1	DEMAND AMPS																

PANEL <b>B</b>		NEW INSTALL		FED TOP																	
VOLTAGE <b>120/208</b>		EXIST LOCATION <b>X</b>		FED BOTTOM																	
AMP BUS <b>100</b>		RELOCATED EXIST		MTD FLUSH <b>X</b>																	
AMP MAIN <b>100</b>		A.I.C. RATING <b>(EXISTING)</b>		SURFACE																	
KEY NOTE	CKT #	DESCRIPTION	WATTS	LOAD TYPE	WIRE SIZE	BRKR SIZE	POLE	A	B	C	POLE	BRKR SIZE	WIRE SIZE	LOAD TYPE	WATTS	DESCRIPTION	CKT #	KEY NOTE			
	1	LTG-KITCHEN/B. O.H.	520	L	(EXISTING)	20	1	830			1	20	(EXISTING)	L	310	LIGHTING-HALL /RESTROOMS	2	1			
	3	RECEPTACLES-UTILITY	180	R	(EXISTING)	20	1		290		1	20	(EXISTING)	L	110	LIGHTING DINING	4	1			
	5	COOLER/FREEZER LIGHTING	800	L	(EXISTING)	20	1			800	1	20	-	-	SPARE		6				
	7	SPARE	-	-	-	20	1	1080			1	20	(EXISTING)	L	1080	MENUBOARD/REMOTE ALARM	8	1			
	9	SPARE	-	-	-	20	1			100	1	20	(EXISTING)	L	100	EGRESS LIGHTS/SIGN CONT. PWR	10	1			
	11	RECEPTACLES-UTILITY	360	R	(EXISTING)	20	1			1660	1	20	(EXISTING)	L	1300	LIGHTING-LED BANDS	12	1			
	13	SPARE	-	-	-	20	1	0			1	20	-	-	SPARE		14				
	15	LIGHTING-MENUBOARD	230	L	(EXISTING)	20	1		1430		1	20	(EXISTING)	L	1200	LIGHTING-BUILDING SIGNAGE	16	1			
	17	WATER FILTER SYSTEM	200	M	(EXISTING)	20	1			200	1	20	-	-	SPARE		18				
	19	SPARE	-	-	-	20	1	0			1	20	-	-	SPARE		20				
	21	LIGHTING-SHOW WINDOW	600	L	(EXISTING)	20	1		600		1	20	-	-	SPARE		22				
	23	SPARE	-	-	-	20	1			0	1	20	-	-	SPARE		24				
	25	SPARE	-	-	-	20	1	0			1	20	-	-	SPARE		26				
	27	SPARE	-	-	-	20	1	0			1	20	-	-	SPARE		28				
	29	SPARE	-	-	-	20	1			0	1	20	-	-	SPARE		30				
	31	SPARE	-	-	-	20	1	0			1	20	-	-	SPARE		32				
	33	SPARE	-	-	-	20	1		0		1	20	-	-	SPARE		34				
	35	SPARE	-	-	-	20	1			0	1	20	-	-	SPARE		36				
	37	SPARE	-	-	-	20	1	0			1	20	-	-	SPARE		38				
	39	SPARE	-	-	-	20	1			0	1	20	-	-	SPARE		40				
	41	SPARE	-	-	-	20	1			0	1	20	-	-	SPARE		42				
								1910	2420	2660									=	6990	CONNECTED WATTS
L= LIGHTING/SIGNS		6250	125% =	7813																	
R= RECEPTACLES		540	100% =	540																	
M= MISC		200	100% =	200																	
H= HVAC		0	100% =	0																	
K= KITCHEN		0	65% =	0																	
LARGEST MOTOR		0	25% =	0																	
DEMAND WATTS		8553	=	23.8	DEMAND AMPS																

PANEL <b>A</b>		NEW INSTALL		FED TOP																	
VOLTAGE <b>120/208</b>		EXIST LOCATION <b>X</b>		FED BOTTOM																	
AMP BUS <b>225</b>		RELOCATED EXIST		MTD FLUSH																	
AMP MAIN <b>225</b>		A.I.C. RATING <b>(EXISTING)</b>		SURFACE <b>X</b>																	
KEY NOTE	CKT #	DESCRIPTION	WATTS	LOAD TYPE	WIRE SIZE	BRKR SIZE	POLE	A	B	C	POLE	BRKR SIZE	WIRE SIZE	LOAD TYPE	WATTS	DESCRIPTION	CKT #	KEY NOTE			
	1	BEVERAGE DISPENSER	1110	K	(EXISTING)	20	1	2530			1	20	(EXISTING)	K	1420	BUN POD BREWER	2	1			
	3	ICED TEA BREWER	1780	K	(EXISTING)	20	1		2980		1	20	(EXISTING)	M	1200	POS/PRINTER	4	1			
	5	REACH-IN FREEZER	1060	K	(EXISTING)	20	1			1240	1	20	(EXISTING)	M	180	SAFE	6	1			
	7	SPARE	-	-	-	20	1	860			1	20	(EXISTING)	K	860	CARBONATOR	8	1			
	9	HOT WATER DISPENSER	2040	K	(EXISTING)	30	2		2930		1	20	(EXISTING)	M	890	UPS/PRINTER/CCARD	10	1			
	11	-	2040	K	-	-	-			2170	1	20	(EXISTING)	K	130	ICE MAKER	12	1			
	13	SPARE	-	-	-	20	1	180			1	20	(EXISTING)	M	180	PRINT/COPY/FAX/SCANNER	14	1			
	15	OFFICE COMPUTER	300	R	(EXISTING)	20	1		540		1	20	(EXISTING)	K	240	BEER DISPENSER	16	1			
	17	SECURITY SYSTEM	360	M	(EXISTING)	20	1			1080	1	20	(EXISTING)	K	720	COOK TIMER	18	1			
	19	OFFICE RECEPTACLES	360	R	(EXISTING)	20	1	720			1	20	(EXISTING)	M	360	TECH-IN-A-BOX	20	1			
	21	ORDER CONFIRMATION BOARD	130	M	(EXISTING)	20	1		370		1	20	(EXISTING)	M	240	BASE STATION/COMM SYSTEM	22	1			
	23	CCTV MONITOR/DVR	230	M	(EXISTING)	20	1			470	2	20	(EXISTING)	K	240	REETHERMALIZER	24	1			
	25	PEPSI BOOSTER TANK	1040	K	(EXISTING)	20	1	1040			1	-	-	-	SHUNT TRIP	26					
	27	KIOSK	180	R	(EXISTING)	20	1		360		2	20	(EXISTING)	R	180	KIOSK RECEPTACLE	28	1			
	29	KIOSK	180	R	(EXISTING)	20	2			180	1	-	-	-	SHUNT TRIP	30					
	31	RESTROOM FAUCET	180	M	(EXISTING)	20	1	360			1	30	(EXISTING)	M	180	KITCHEN MONITOR	32	1			
	33	SPARE	-	-	-	20	2		860		1	-	-	-	860	SPARE	34				
	35	HOT WATER DISPENSER	2040	K	(EXISTING)	30	2			2220	1	20	(EXISTING)	R	180	KIOSK RECEPTACLE	36	1			
	37	-	2040	K	-	-	-	2220			1	20	(EXISTING)	R	180	KIOSK RECEPTACLE	38	1			
	39	SPARE	-	-	-	20	1			970	1	20	(EXISTING)	K	970	DUAL VAT FRYER	40	1			
	41	HEATED CABINET	1920	K	(EXISTING)	20	1			1920	1	20	-	-	SHUNT TRIP	42					
								7910	9010	9280									=	26200	CONNECTED WATTS
L= LIGHTING/SIGNS		0	125% =	0																	
R= RECEPTACLES		1560	100% =	1560																	
M= MISC		4130	100% =	4130																	
H= HVAC		0	100% =	0																	
K= KITCHEN		19650	65% =	12773																	
LARGEST MOTOR		0	25% =	0																	
DEMAND WATTS		18463	=	51.3	DEMAND AMPS																

PANEL <b>C</b>		NEW INSTALL		FED TOP														
VOLTAGE <b>120/208</b>		EXIST LOCATION <b>X</b>		FED BOTTOM														
AMP BUS <b>225</b>		RELOCATED EXIST		MTD FLUSH <b>X</b>														
AMP MAIN <b>225</b>		A.I.C. RATING <b>(EXISTING)</b>		SURFACE														
KEY NOTE	CKT #	DESCRIPTION	WATTS	LOAD TYPE	WIRE SIZE	BRKR SIZE	POLE	A	B	C	POLE	BRKR SIZE	WIRE SIZE	LOAD TYPE	WATTS	DESCRIPTION	CKT #	KEY NOTE
	1	TACO WARMER	1200	K	(EXISTING)	20	2	2400			2	20	(EXISTING)	K				

- A. BRANCH CIRCUIT NOTE:
- BRANCH CIRCUITS INSTALLED IN AREAS SLATED FOR DEMOLITION SHALL BE DISCONNECTED AND REMOVED BACK TO AN ACCESSIBLE LOCATION, TAGGED WITH CIRCUIT INFORMATION, AND PROVIDED WITH PROTECTION FROM DEBRIS. CIRCUIT(S) THAT ARE TO BE RE-USED SHALL BE RE-ROUTED (PROVIDE BRACING AS REQUIRED) TO AVOID DEMOLISHED AREA(S) AND RE-CONNECTED TO THE NEXT ELECTRICAL DEVICE IN THE RUN. CONTRACTOR TO VERIFY CIRCUIT INTEGRITY OF ALL MODIFIED CIRCUITS. VERIFY SERVING PANEL, BREAKERS, AND BREAKER-OPTIONS FOR COMPLIANCE TO THE CURRENTLY ADOPTED ELECTRICAL STANDARD.
- B. ELECTRICAL CONTRACTOR NOTE:
- CONTRACTOR SHALL USE EXISTING SPARE/SPACE OR REUSE EXISTING BRANCH CIRCUITS FOR LIGHTING, POWER, AND SIGNAGE REMODEL. NEW/RE-USED BRANCH CIRCUIT(S) SHALL MATCH THE MANUFACTURER'S PUBLISHED ELECTRICAL CHARACTERISTICS OF PROPOSED EQUIPMENT, AS WELL AS MATCHING THE CHARACTERISTICS OF THE SOURCE PANEL. WHERE APPLICABLE, CONTRACTOR SHALL PROVIDE ADDITIONAL ELECTRICAL DEVICES NECESSARY FOR COMPLIANCE (E.G. SHUNT-TRIP, OVER-RIDE, ADDITIONAL CONTROL, ETC.). REPLACE BRANCH CIRCUIT(S) IF CHARACTERISTICS DO NOT MATCH REPLACEMENT EQUIPMENT. RE-USED, EXISTING BRANCH CIRCUITS SUPPLYING MULTIPLE OUTLETS SHALL BE VERIFIED FOR INTEGRITY AND CAPACITY OF ALL EQUIPMENT INSTALLED ON THAT CIRCUIT. ALL EXISTING/NEW BRANCH CIRCUITS BEING UTILIZED FOR THIS BUILDING RENOVATION SHALL BE FIELD-VERIFIED FOR INTEGRITY, CAPACITY (80% OF RATED BREAKER) AND SHALL MEET CURRENTLY ADOPTED ELECTRICAL STANDARD COMPLIANCE AS WELL AS ADDITIONAL REQUIREMENTS CONTAINED IN THESE DOCUMENTS. SEE DEMOLITION DRAWINGS FOR REMOVED EQUIPMENT. ALL NEW CONDUCTORS SHALL BE IN CONDUIT AND CONCEALED IN WALLS OR ABOVE CEILINGS.
- C. FIRE ALARM NOTE:
- AS REQUIRED, IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENGAGE THE SERVICES OF AN APPROVED FIRE ALARM CONTRACTOR. THE FIRE ALARM CONTRACTOR SHALL BE REQUIRED TO PROVIDE DRAWINGS, SPECIFICATIONS, AND INSTALLATION ACCORDING TO THE GUIDELINES OF THE MUNICIPALITY. FIRE ALARM SERVICE MAY ALSO INCLUDE PROVIDING FIRE ALARM MONITORING TO THE BUILDING'S FIRE ALARM CONTROL SYSTEM. THE FIRE ALARM CONTRACTOR SHALL PROVIDE ALL COMPATIBLE DEVICES, BRACING, WIRING, ETC., ONLY AS NEEDED. COORDINATE WITH SPRINKLER CONTRACTOR FOR DETAILS.

ADDITIONAL NOTES F

THE DEDICATED POS POWER CIRCUIT REQUIRES AN ISOLATED GROUND IN ADDITION TO THE NORMAL COMMON BUILDING GROUND. THE ISOLATED GROUND WIRE SERVES TWO PURPOSES:

- AS A SAFETY PATH TO GROUND.
- AS A ZERO REFERENCE POINT FOR ALL POS DIGITAL LOGIC.

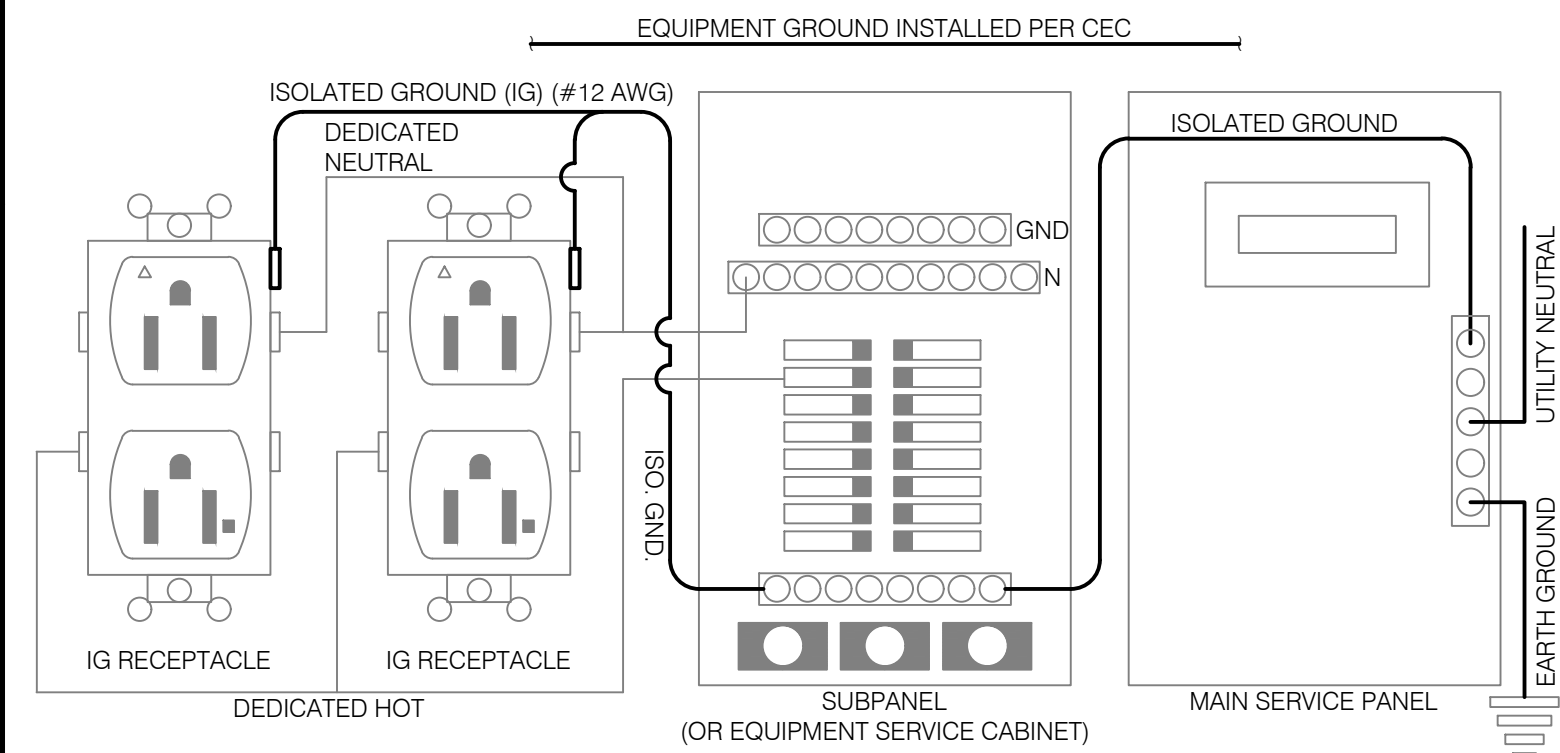
- THE GROUND MUST EXHIBIT THE LOWEST POSSIBLE IMPEDANCE TO MINIMIZE VOLTAGE TRANSIENTS AND NOISE. BE SURE TO:
- USE AN INSULATED CONDUCTOR FOR THE ISOLATED GROUND WIRE.
  - RUN THE ISOLATED GROUND WIRE THROUGH THE SAME CONDUIT AS THE HOT AND NEUTRAL WIRES.
  - INSTALL ONLY ISOLATED GROUND (IG) TYPE RECEPTACLES.
  - CONNECT THE ISOLATED GROUND WIRE TO BUILDING GROUND ONLY AT THE MAIN SERVICE PANEL.
  - VERIFY THAT IG RECEPTACLES PRE-WIRED IN OWNER SUPPLIED EQUIPMENT HAVE A TRUE ISOLATED GROUND THAT CAN BE TRACED BACK TO THE BUILDING GROUND AT THE MAIN SERVICE PANEL/SWITCH.

DO NOT CONNECT THE ISOLATED GROUND WIRE TO THE CONDUIT, JUNCTION BOXES, THE FRAME ON A SUB-PANEL, OR ANY OTHER METAL SURFACE.

DEDICATED CIRCUITS: DEDICATED CIRCUITS REQUIRE A DEDICATED HOT AND A DEDICATED NEUTRAL THAT ARE NOT SHARED WITH ANY OTHER CIRCUITS. IG RECEPTACLES MUST BE 'PHASE ALIGNED' WITH THE 'B' PHASE OF THE SUB-PANEL OR SWITCH IN WHICH IT IS INSTALLED.

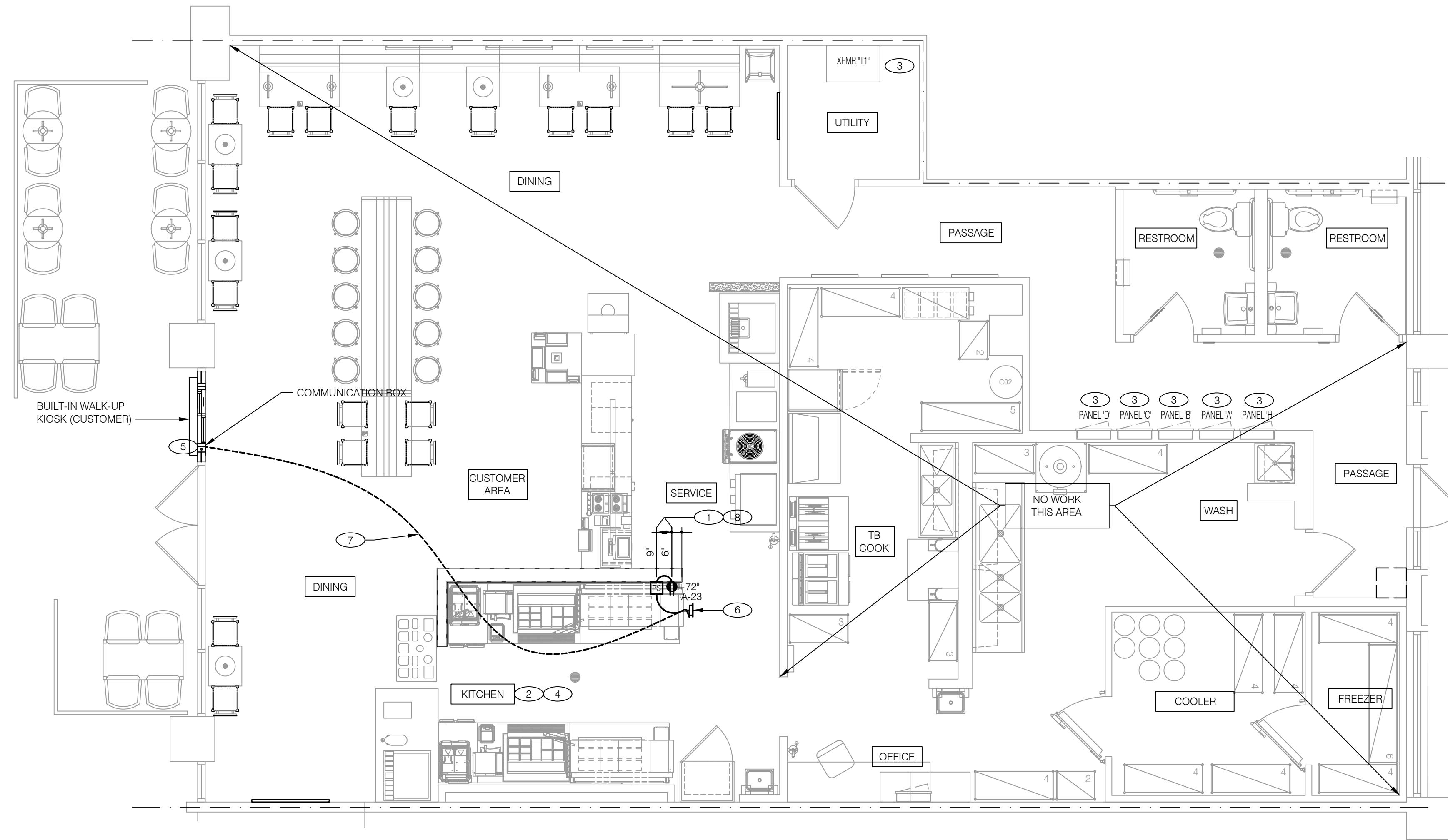
NOTE: USE GFCI BRANCH CIRCUIT BREAKERS FOR ISOLATED GROUND OUTLET CIRCUITS.

NOTE: IF MOVING ANY COUNTER OUTLETS FROM THEIR ORIGINAL LOCATIONS, CONTRACTOR SHALL PROVIDE A J-BOX AND EXTEND THE EXISTING BRANCH CIRCUIT TO THE NEW OUTLET LOCATIONS.



P.O.S. ISOLATED GROUND SYSTEM

SCALE: NTS E



NORTH

ELECTRICAL POWER PLAN

SCALE: 1/4" = 1'-0" A

NOT USED	SCALE: NTS	D
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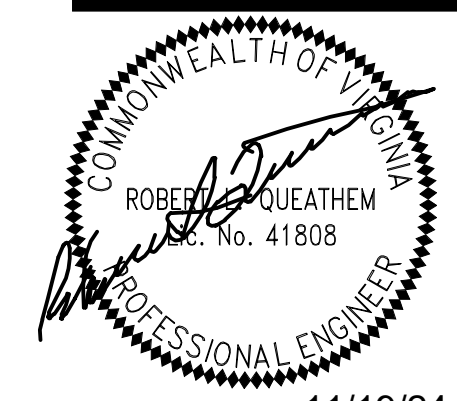
A. ALL DIMENSIONS TO J-BOXES ARE FROM FACE OF STUD TO CENTER OF BOX UNLESS NOTED OTHERWISE.	N. CONTRACTOR SHALL PROVIDE A PRE-PRINTED SELF-ADHESIVE LABEL ON ALL POS RECEPTACLES STATING 'POS USE ONLY'.
B. ALL CONDUIT DROPS ARE INSIDE WALLS, UNLESS NOTED OTHERWISE. SEE ARCHITECTURAL DRAWINGS FOR WALL DIMENSIONS.	O. ALL SINGLE-PHASE RECEPTACLES RATED 150V TO GROUND OR LESS AND 50A OR LESS, AND ALL THREE-PHASE RECEPTACLES RATED 150V TO GROUND OR LESS AND 100A OR LESS INSTALLED IN THE KITCHEN AREA SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL PER CURRENTLY ADOPTED ELECTRICAL STANDARD AND INSTALLED IN ACCORDANCE WITH THE CURRENTLY ADOPTED ELECTRICAL STANDARD. ALTERNATIVELY, A GFCI CIRCUIT BREAKER CAN BE INSTALLED.
C. ALL J-BOX CIRCUITS, CONDUITS, FITTINGS, ETC. SHALL BE AS INDICATED ON THE ELECTRICAL DRAWINGS AND SPECIFICATIONS.	P. PROVIDE ESCUTO-HEON PLATES AND SEALANT AT ALL UTILITY PENETRATIONS INTO WALLS, CEILING, AND FLOORS. DO NOT USE CAULKS OR EXPANSION FOAM FOR SEALANT.
D. CONTRACTOR SHALL VERIFY UNDERGROUND CONDUIT LOCATIONS PRIOR TO POURING SLAB.	Q. EMT SHALL BE USED FOR ALL WIRERAYS. ARMOR CABLES ARE ALLOWED ONLY WHERE WIRERAYS ARE EASILY ACCESSIBLE. FOR EXAMPLE: EMT INSIDE WALLS AND ABOVE HARD GYPSUM BOARD CEILINGS AND ARMOR CABLE ABOVE SUSPENDED CEILING SYSTEMS.
E. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE LOCATION AND TYPE OF ELECTRICAL ROUGH-IN WITH INFO PROVIDED ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND THE EQUIPMENT ACTUALLY SUPPLIED, AND TO CONFIRM THE CORRECTNESS OF ANY DIMENSIONS.	R. ARMOR CABLE (BX) ALLOWED WHERE ACCEPTABLE BY CURRENTLY ADOPTED ELECTRICAL STANDARD. ALL WIRE SHALL BE CONCEALED, UNLESS NOTED OTHERWISE.
F. LOCATIONS OF ALL OUTLETS MAY BE RELOCATED TO NEAREST STUD. DO NOT OUT INTO STUDS.	S. ALL OUTLETS IN PUBLIC AREAS SHALL BE LISTED AS 'TRIP-RESISTANT'.
G. FOR EXACT LOCATIONS OF KITCHEN MECHANICAL EQUIPMENT AND POINTS OF CONNECTION, REFER TO KITCHEN AND MECHANICAL EQUIPMENT DRAWINGS AND MANUFACTURER'S SHOP DRAWINGS.	T. GFCI DEVICES MUST BE INSTALLED IN ACCORDANCE WITH CURRENTLY ADOPTED ELECTRICAL STANDARD. ALTERNATIVELY, A GFCI CONTROLLED BRANCH BREAKER CAN BE INSTALLED.
H. ALL CIRCUIT FEEDERS AND DISCONNECTS SHALL BE SIZED PER CURRENTLY ADOPTED ELECTRICAL STANDARD.	U. ALL CONDUITS SHALL BE INSTALLED PER CURRENTLY ADOPTED ELECTRICAL STANDARD.
I. CONTRACTOR SHALL VERIFY CIRCUIT BREAKER, DISCONNECT SWITCH, STARTER AND FUSE SIZES WITH SELECTED EQUIPMENT AND MANUFACTURER'S SHOP DRAWINGS PRIOR TO PLACING ORDER AND PROVIDE EVERYTHING AS REQUIRED.	V. ALL OUTLETS SHALL BE FLUSH MOUNTED AT 18" AFF TO THE CENTER OF OUTLET, UNLESS NOTED OTHERWISE.
J. ELECTRICAL EQUIPMENT ENCLOSURES SHALL BE NEMA-1 FOR INTERIOR AND NEMA-3R FOR EXTERIOR. IN COASTAL REGIONS, THE STANDARD FOR EXTERIOR SHALL BE NEMA-4X.	W. 5MA GFCI BREAKERS MUST BE USED WHERE OUTLETS REQUIRING GFCI PROTECTION ARE NOT ACCESSIBLE. WHERE GFCI PROTECTION AND SHUNT-TRIP BREAKERS ARE REQUIRED, A DEAD-FRONT GFCI DEVICE MUST BE USED.
K. DO NOT MEASURE/LOCATE OUTLETS ON DRAWINGS. USE DIMENSIONS PROVIDED.	
L. CONDUIT MAY RUN UNDER SLAB AT GCS DISCRETION.	
M. ALL RECEPTACLES AND COVER PLATES SHALL MATCH DECOR.	

GENERAL NOTES C

1. SEE DETAIL 'E' ON THIS SHEET FOR ISOLATED GROUND RECEPTACLE.	B
2. CONTRACTOR TO RELOCATE EXISTING EQUIPMENT OUTLET TO NEW LOCATION (SEE DEMOLITION DRAWINGS), VERIFY INTEGRITY OF CIRCUIT AND RELOCATE ELECTRICAL DEVICE ASSOCIATED WITH EQUIPMENT (PROVIDE NEW NEMA-STYLE DEVICE ONLY AS NEEDED), VERIFY MOUNTING HEIGHT WITH PREVIOUS LOCATION.	
3. PROVIDE REQUIRED WORKING SPACE CLEARANCE FOR ELECTRICAL PANEL PER LOCAL ELECTRICAL AND BUILDING CODES. CONTRACTOR TO CLEARLY IDENTIFY/INDICATE NOT LESS THAN 30" WIDE CLEARANCE AREA WORKING SPACE. IF EQUIPMENT IS LARGER THAN 30" WIDE, WORKING SPACE CLEARANCE SHALL NOT BE LESS THAN EQUIPMENT MOUTH.	
4. FOR DEMOLISHED AND REPLACED WITH LIKE OR RELOCATED EQUIPMENT, REMOVE EQUIPMENT CONDUCTORS BACK TO EXISTING SOURCE PANEL UNLESS VERIFIED FOR REUSE AT THAT LOCATION. REUSE EXISTING OR PROVIDE NEW BRANCH OVERCURRENT DEVICE (MAXIMUM BRANCH BREAKER EQUIPMENT LOAD OF 80% IN SOURCE PANEL. MATCH CONDUCTORS WITH OVERCURRENT DEVICE AND EXTEND BRANCH CONDUCTORS TO EQUIPMENT LOCATION AND TERMINATE AT THE MANUFACTURER'S REQUIRED NEMA-STYLE RECEPTACLE OR IF HARDWIRED, PROPERLY TERMINATED AT EQUIPMENT.	
5. JO-DVF (AV COMMUNICATION) MOUNTED ON CUSTOMER-SIDE WALK-UP WINDOW. COORDINATE WITH MANUFACTURER AND OWNER FOR ELECTRICAL REQUIREMENTS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE NEW ELECTRICAL DEVICES AS NECESSARY. VERIFY PROPER OPERATION.	
6. JO-1MD (CONTROLLER) MOUNTED ON ADJUSTABLE ARM (EMPLOYEE-SIDE). PROVIDE A JUNCTION BOX, FLUSH-MOUNTED AND ADJACENT TO CONTROLLER FOR LOW-VOLTAGE CONDUCTORS. PROVIDE POKE-THRU COVER PLATE AND APPROVED FLEXIBLE CONNECTION (PER A.H.J.) FROM JUNCTION BOX TO CONTROLLER. FIELD-COORDINATE LOCATION TO AVOID INTERFERENCES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE NEW ELECTRICAL DEVICES AS NECESSARY. VERIFY PROPER OPERATION.	
7. FIELD-INSTALLED 671802 (DOOR) CABLE (MAX LENGTH 33'-0"), ROUTED BETWEEN JO-DVF AND JO-1MD. CONDUCTORS SHALL BE CONCEALED FROM VIEW. SECURE TO STRUCTURE. FIELD-COORDINATE ROUTING TO AVOID INTERFERENCES.	
8. PS-1820UL (POWER SUPPLY) FOR JO-1MD. SURFACE MOUNTED WITHIN 3'-0" OF A 5-15R-GFCI. PROVIDE A FLUSH-MOUNTED JUNCTION BOX AND INSTALL THE PROVIDED 2-CONDUCTOR CABLE (POWER) FROM POWER SUPPLY TO JO-1MD JUNCTION BOX (MAX LENGTH 33'-0"). CONDUCTORS SHALL BE CONCEALED FROM VIEW. SECURE TO STRUCTURE. FIELD-COORDINATE ROUTING TO AVOID INTERFERENCES.	

KEYED NOTES B

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11/19/24

BUILDING TYPE: URBAN CANTINA  
PLAN VERSION: ENDEAVOR  
BRAND DESIGNER: TIFFANNIE SHIVELY  
SITE NUMBER: 34274  
ARCVISION NUMBER: 220779

TACO BELL  
417 KING ST.  
ALEXANDRIA, VA 22314

TACO BELL  
WALK-UP WINDOW  
PORTAL POWER FLOOR PLAN

**E2.0**

R0 SET ISSUED: 11.19.2024