

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Christine B. Schlacter

LOCATION: Old and Historic Alexandria District
930 South Saint Asaph Street

ZONE: RM/Townhouse zone

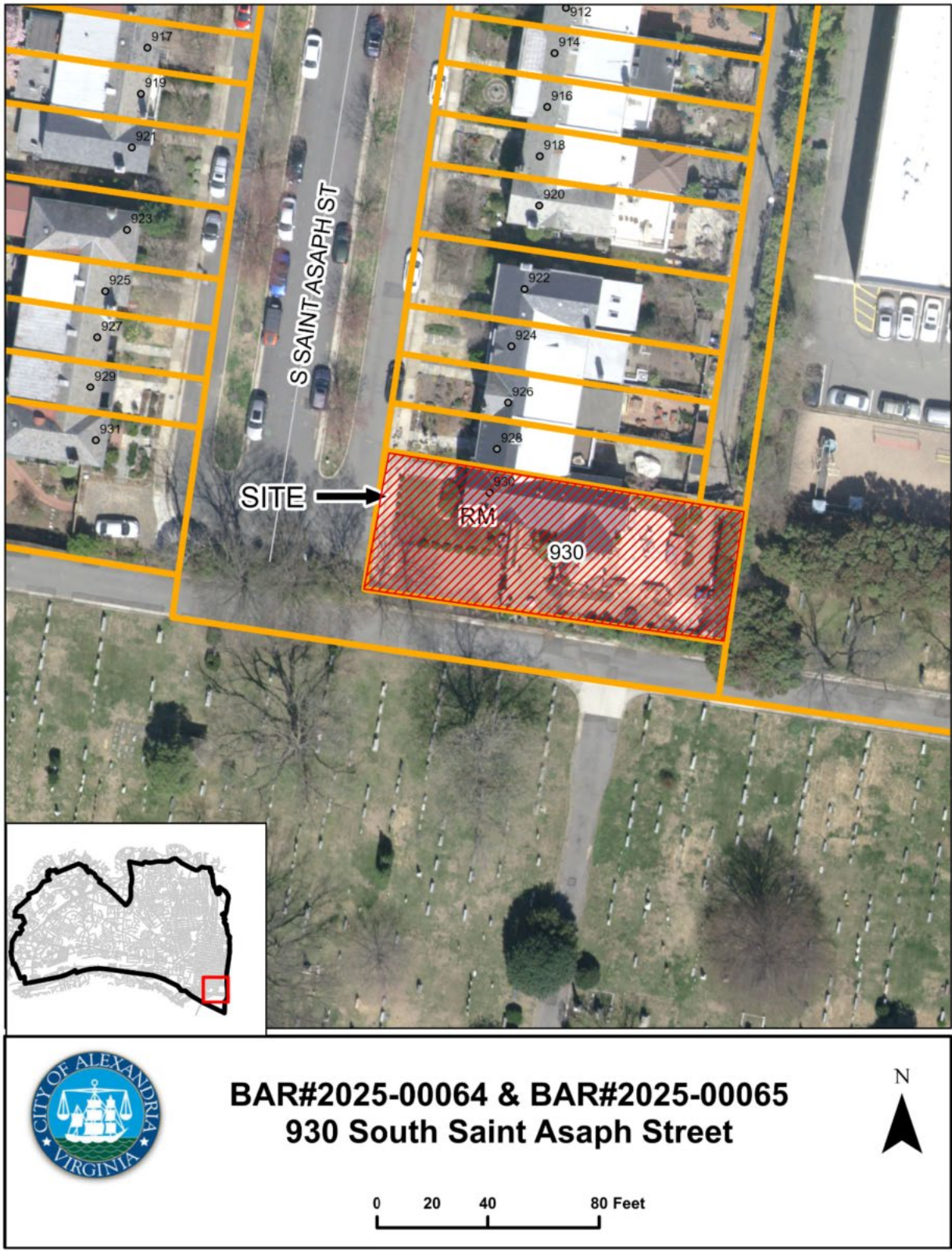
STAFF RECOMMENDATION

Staff recommends **approval** of the Permit to Demolish/Capsulate and Certificate of Appropriateness for alterations with the following condition:

1. The replacement shutters should meet the requirements of the BAR Policies for Administrative Approval.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR 2025-00065) and Certificate of Appropriateness (BAR 2025-00064) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant is requesting a Certificate of Appropriateness for alterations to the existing front (West) elevation of the structure. The applicant is proposing to add a covered porch to the ground floor entry. No modifications will be made to the existing window and door openings.

Permit to Demolish/Capsulate

The proposal includes the removal of the existing stone stoop adjacent to the building entry door. A portion of the exterior brick wall between the first and second floor windows will be encapsulated by the proposed roof structure and a portion of the lower section of wall will be encapsulated by the porch base.

Certificate of Appropriateness

The applicant will construct a new covered porch at the ground floor main building entry. The porch will feature three freestanding round composite columns at the perimeter of the porch and two engaged columns adjacent to the building face. The base of the porch will be masonry, similar to the existing house and the flooring will be a Trex decking. The roof of the porch will be standing seam metal and the railing at the edge of the porch will be wrought iron to match the existing railing.

Site Context

The subject property is an end unit on the east side of the 900 block of South Saint Asaph Street (Figure 1). In this block, South Saint Asaph Street dead ends into Saint Mary's Cemetery, immediately to the south of the project site. The proposed porch will be visible from South Saint Asaph Street.



Figure 1: View of property from South Saint Asaph Street

II. HISTORY

930 S. Saint Asaph Street is a two-story brick end unit townhouse that was constructed as part of the George Washington Gardens subdivision in **approximately 1940**.

Previous BAR Approvals

98-00184 – Replace existing roof

2000-00038 & 2000-00039 – Addition at rear of house

2000-0150 – Add doors to south elevation

2001-0093 – Extend brick site wall and add gate

2002-0103 – Re-approval to extend brick site wall and add gate

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall areas proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The area of wall to be encapsulated is typical for residential masonry construction in the in the mid-twentieth century and can easily be replicated. In addition, the existing fabric will remain in place and would be exposed if the porch were to be removed in the future. As such, staff recommends the approval of the requested Permit to Demolish/Capsulate.

Certificate of Appropriateness

The applicant is proposing to build an open porch at the first floor of the front (West) elevation of the existing building. The existing structure is a colonial revival row house built in the 1940s. Its design is typical for residential developments constructed during this time and features a decorative door surround with a broken pediment, multi-colored masonry and punched six over six windows. The proposed porch is similar in style and is comprised of decorative round columns and a sloped metal roof (Figure 2 & 3). A front gable is centered over the building entry door to allow the trim at the door to remain visible from the street. In order to account for the grade change at the front of the site, the base of the porch will be masonry with decorative inset portions. The flooring of the porch will be synthetic Trex material and will only be minimally visible from the public right of way.

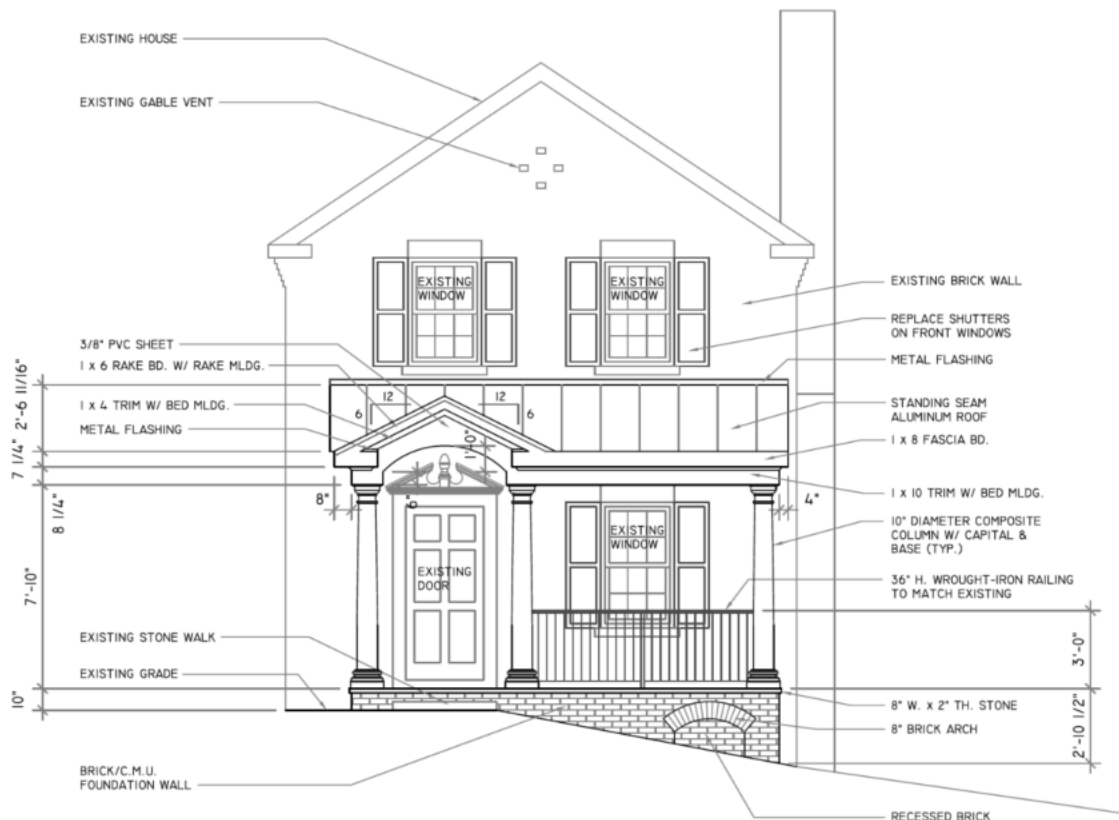


Figure 2: Front (West) elevation showing proposed porch

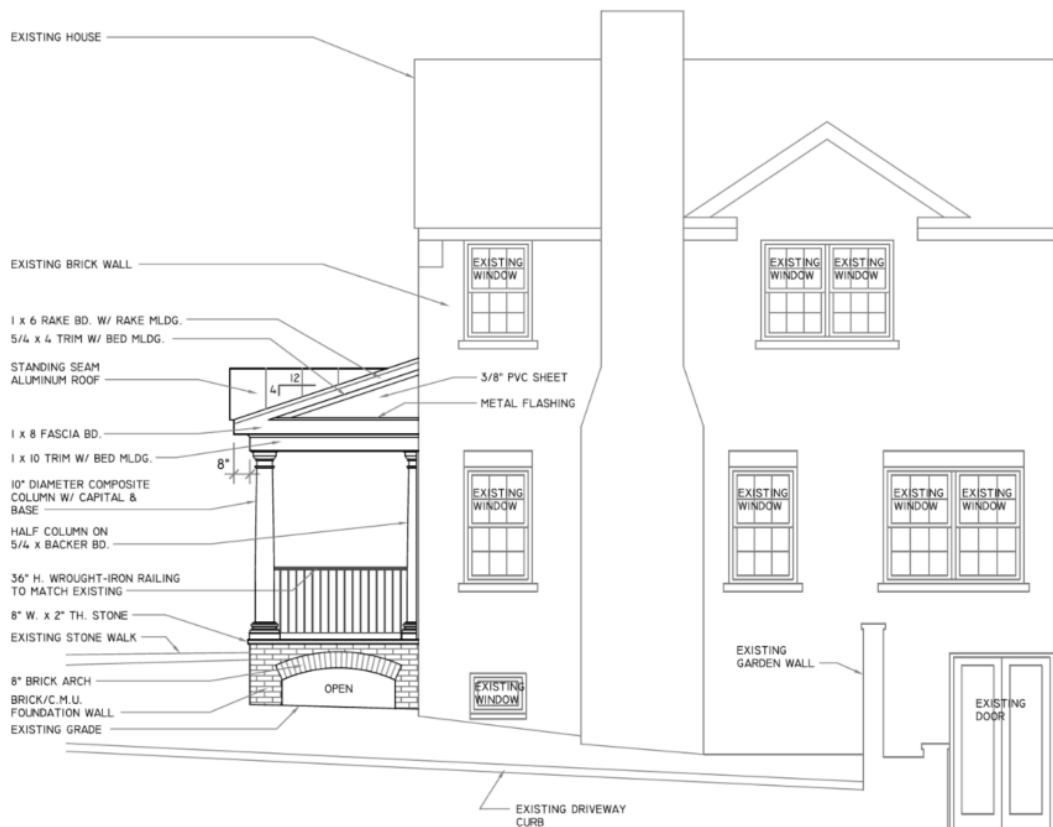


Figure 3: South elevation of building showing proposed porch

The *Design Guidelines* say that “Porches should be appropriate for the historical style of the structure.” and that “Porches should not hide, obscure or cause the removal of important historic architectural details.” Regarding the material from which porches should be constructed, the *Design Guidelines* say that “Porches should be made of materials which are generally found in the historic districts. For example, throughout the historic districts painted wood is an appropriate material for porch construction.”

Staff finds that the design for the proposed porch is consistent with the guidance of the *Design Guidelines*. Stylistically, the porch shares many of the same details as the existing building, including brick detailing and roof design. The front gable on the porch is reminiscent of the gable section on the south facing portion of the roof. The porch features an arched brick opening in lieu of the jack arches on the existing structure however the overall level of detail is consistent with that found on the existing house.

The proposed design includes a combination of painted wood and synthetic trim along with a standing seam roof and masonry base. These materials are consistent with the *Design Guidelines* discussion regarding the use of materials. The use of wood as the dominant material for the construction of a porch is directly mentioned in the *Design Guidelines* and the standing seam metal roof is a detail often found on historic roofs throughout the district. The use of composite materials is not specifically addressed in the *Design Guidelines* but in this case, they are being used to replicate wood in places that are susceptible to damage. Staff supports this approach and finds it consistent with the look of historic porches.

In addition to being consistent with the architecture of the existing building, it is important to consider the impact of the proposed porch on the overall blockface and adjacent structures. As noted above, the subject property was built as a part of a larger development and as such shares some consistency in design with other structures on the block. Several of the properties within this block feature front porches that are of various levels of compatibility with the existing architecture. The structure at 914-916 South Saint Asaph Street includes a two-story colonnade with six square columns (Figure 4). 909 South Saint Asaph Street features a small enclosure at the front entrance with two square columns and a standing seam metal roof (Figure 5). The porch at 919 South Saint Asaph Street includes three square columns and a second-floor roof deck (Figure 5). While the proposed porch at the subject property is stylistically different from these and other examples on this block, it demonstrates that the inclusion of a porch on this property does not detract from the overall composition of the blockface.



Figure 4: Porch at 914-916 S. St. Asaph Street



Figure 5: Enclosure at front entry at 909 S. St. Asaph Street and porch with roof deck at 919 S. St. Asaph Street

Staff finds that the design for the porch at the front (West) elevation at 930 South Saint Asaph Street is consistent with the *Design Guidelines* comments regarding the design for porches. The design is compatible with the style of the existing building and the materials are appropriate for a porch in the historic district. Staff also finds that the proposed porch is consistent with other properties within the same block. The inclusion of porches and enclosures at other nearby properties provides a precedence for the proposed porch and the variety of design helps to enhance to overall blockface composition.

As such staff recommends **approval** of the Permit to Demolish/Capsulate and Certificate of Appropriateness for alterations with the following condition:

1. The replacement shutters should meet the requirements of the BAR Policies for Administrative Approval.

STAFF

Bill Conkey, AIA, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed front porch will comply with zoning.

F-1 Under Sec.7-202 (E) For any residential lot, single story front porches with a maximum depth of ten feet shall be permitted in any required front or side yard provided that the porch shall be located on the first floor or at ground level and the front yard shall not be reduced to less than ten feet.

Code Administration

C-1 A building permit is required

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this

time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeological comments

V. ATTACHMENTS

Application Materials

- Completed application
- Plans (included in application)
- Material specifications (included in application)
- Photographs (included in application)

ADDRESS OF PROJECT: 930 South Saint Asaph Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 080.04-07-35 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Christine B. Schlacter

Address: [REDACTED]

City: [REDACTED] State: [REDACTED] Zip: [REDACTED]

Phone: [REDACTED] E-mail: [REDACTED]

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ Contractor

Name: Martin B. Jarvis

Phone: [REDACTED]

E-mail: [REDACTED]

Legal Property Owner:

Name: Michael N. & Christine B. Schlacter

Address: [REDACTED]

City: [REDACTED] State: [REDACTED] Zip: [REDACTED]

Phone: [REDACTED] E-mail: [REDACTED]

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☒ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Construct 16.5' x 7' open porch on front of house

Porch foundation brick to match existing as close as possible

Porch floor to Trex decking with 8" x 2" x 3' flagstone around perimeter of porch. Stone to be flush with Trex decking to hide front edge.

10" round columns with wrought iron rails around deck. Wood beaded ceiling. Standing seam aluminum roofing.

All trim Azek materials painted white.

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Martin B. Jarvis

Printed Name: Martin B. Jarvis

Date: 02/18/2025

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Michael N. & Christine B. §	[REDACTED]	100%
2. <i>Self-Lack</i>		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 930 S. Saint Asaph Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Michael N. & Christine B. §	[REDACTED]	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

02/18/2025

Date

Martin B. Jarvis

Printed Name

Martin B. Jarvis

Signature

NO PAGE 10



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 930 South Saint Asaph Street
Street Address

RM
Zone

A2. 6,547.00 x 1.50
Total Lot Area Floor Area Ratio Allowed by Zone

= 9,820.50
Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement 713.00
First Floor 1,247.00
Second Floor 1,195.00
Third Floor
Attic 713.00
Porches
Balcony/Deck
Lavatory***
Other**

Allowable Exclusions**

Basement** 713.00
Stairways**
Mechanical**
Attic less than 7'*** 713.00
Porches**
Balcony/Deck**
Lavatory***
Other**
Other**

B1. 3,868.00 Sq. Ft.
Existing Gross Floor Area*
B2. 1,426.00 Sq. Ft.
Allowable Floor Exclusions**
B3. 2,442.00 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross 3,868.00 B2. Total Exclusions 1,426.00

C. Proposed Gross Floor Area

Proposed Gross Area

Basement
First Floor
Second Floor
Third Floor
Attic
Porches 116.00
Balcony/Deck
Lavatory***
Other

Allowable Exclusions**

Basement**
Stairways**
Mechanical**
Attic less than 7'***
Porches** 116.00
Balcony/Deck**
Lavatory***
Other**
Other**

C1. 116.00 Sq. Ft.
Proposed Gross Floor Area*
C2. 116.00 Sq. Ft.
Allowable Floor Exclusions**
C3. 0.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross 116.00 C2. Total Exclusions 116.00

D. Total Floor Area

D1. 2,442.00 Sq. Ft.
Total Floor Area (add B3 and C3)
D2. 9,820.50 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. 5,300.00 Sq. Ft.
Existing Open Space
E2. 2,291.00 Sq. Ft.
Required Open Space
E3. 5,184.00 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

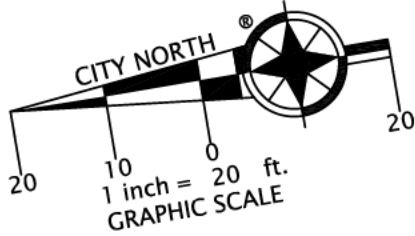
Y. J. Fair

15

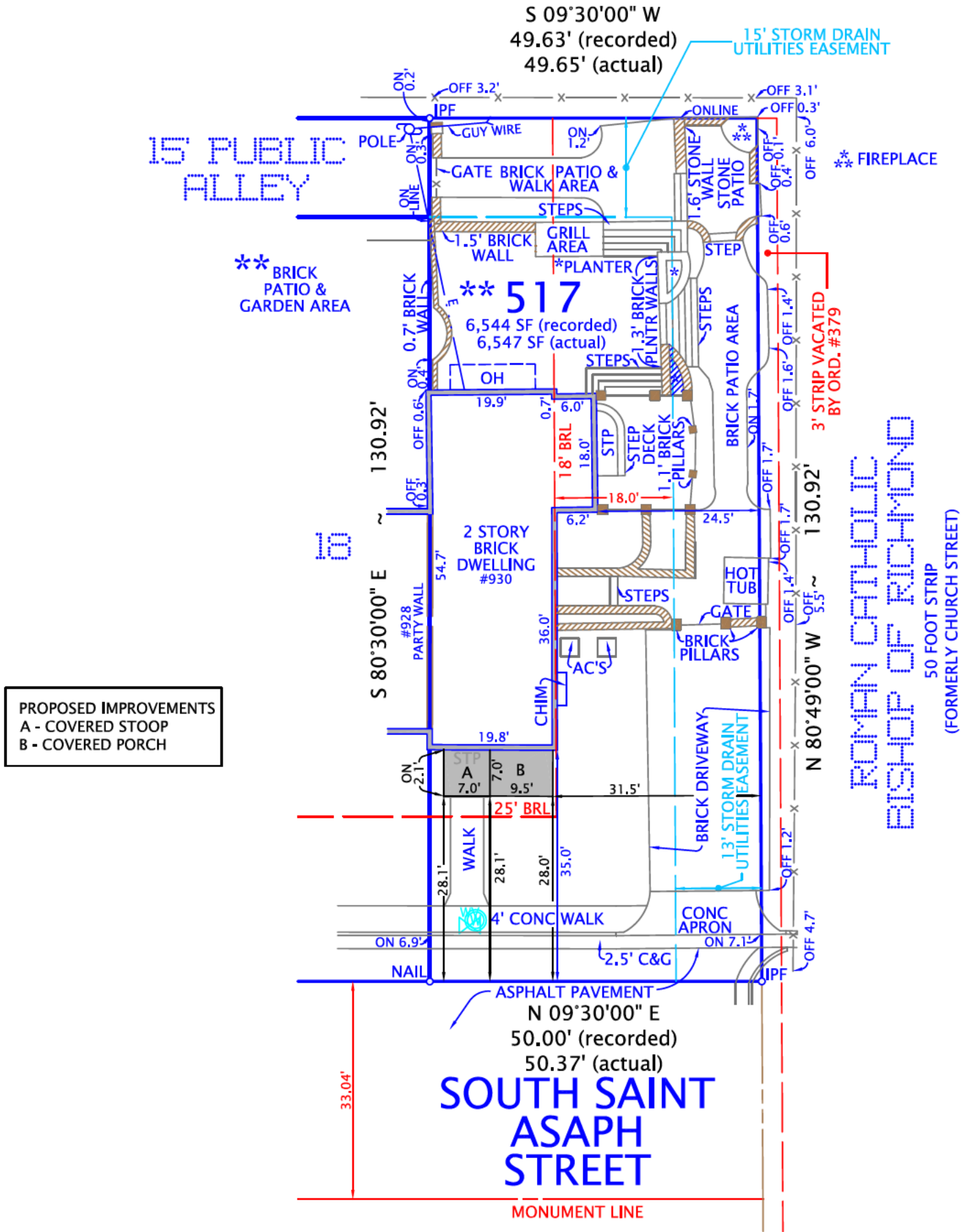
Date:

2-26-25

- NOTES: 1. FENCES ARE SECURITY CHAIN LINK.
2. WALLS ARE 1.2' BRICK UNLESS NOTED.
3. OWNERS: CHRISTINE B. SCHLACTER
MICHAEL N. SCHLACTER
930 S ST ASAPH ST
ALEXANDRIA VA 22314
(INST. NO. 130002938)
4. TM: 080.04-07-35



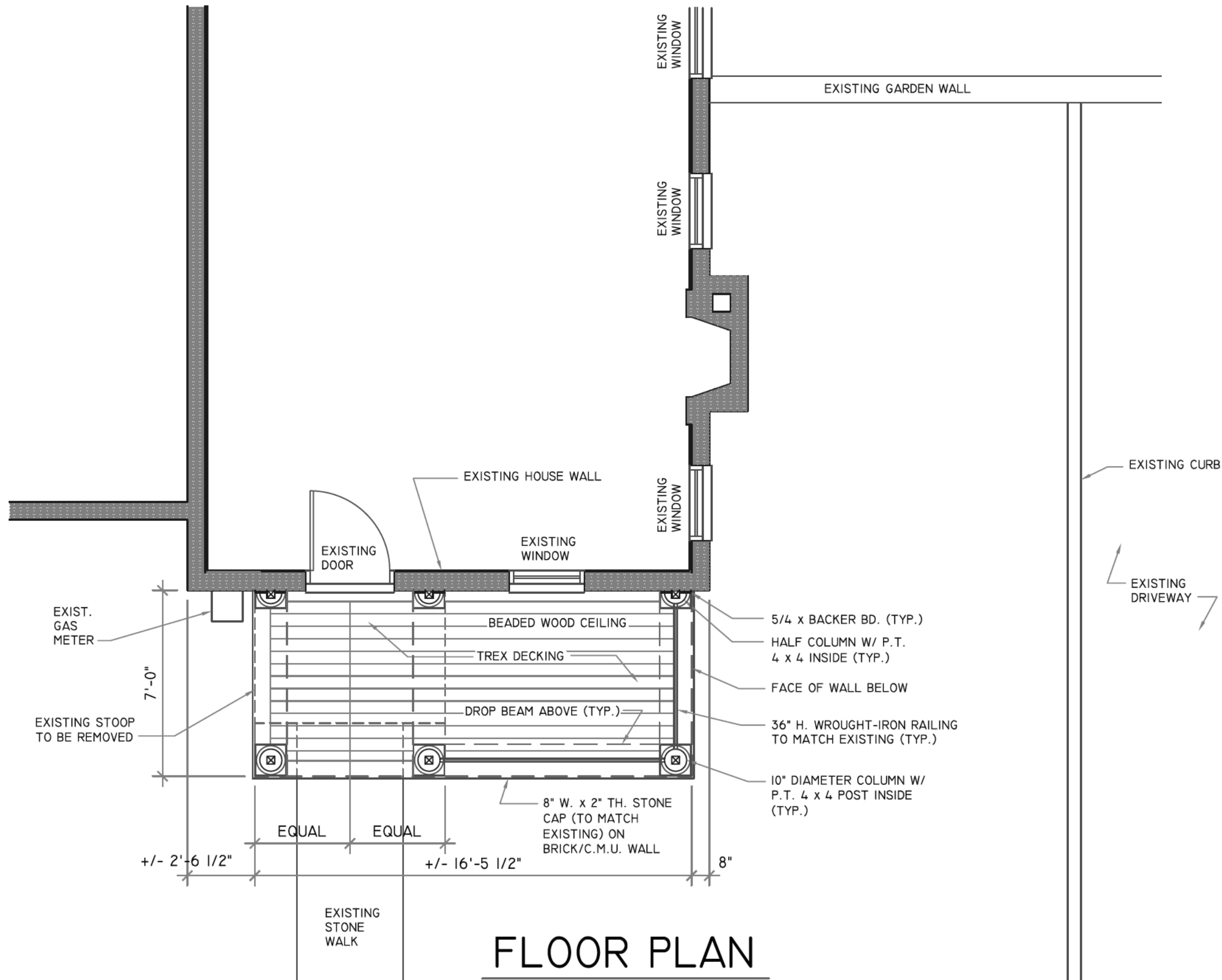
ST. MARY'S
CATHOLIC CHURCH



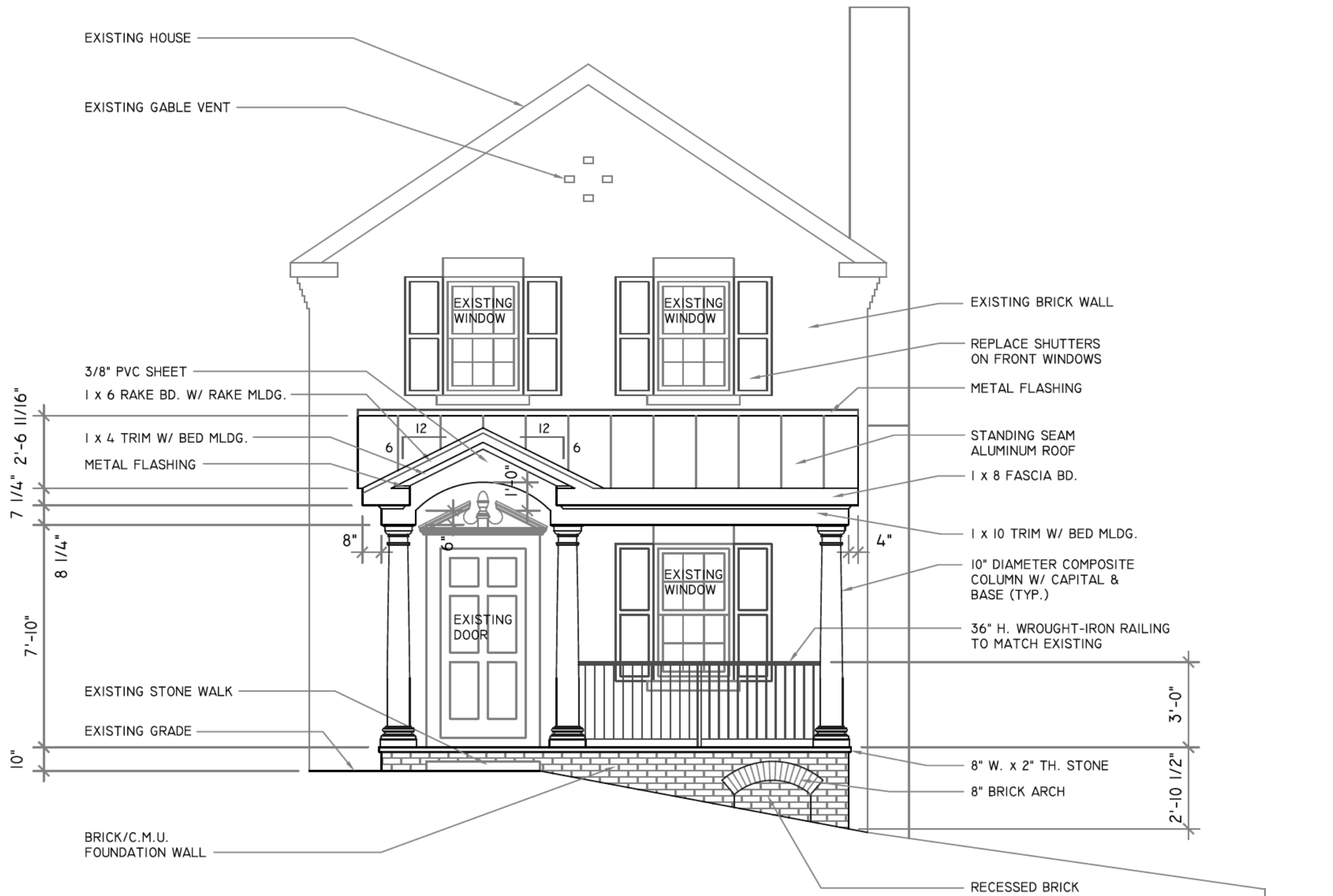
PROPOSED IMPROVEMENTS
A - COVERED STOOP
B - COVERED PORCH

PLAT
SHOWING HOUSE LOCATION ON
LOT 517
OF A CONSOLIDATION OF
COLONIAL PROPERTIES SUBDIVISION
(INSTRUMENT NO: 020016858)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' JANUARY 02, 2025 (PROPOSED IMPROVEMENTS)

<p>I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:</p>	<p>DOMINION SURVEYORS®</p>	<p>ORDERED BY:</p> <p>SCHLACTER JARVIS BUILDERS, INC.</p>
<p>THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD. A TITLE REPORT WAS NOT FURNISHED.</p>		<p>DOMINION Surveyors Inc.® 8808-H PEAR TREE VILLAGE COURT ALEXANDRIA, VIRGINIA 22309 703-619-6555 www.dominionsurveyors.com</p>



JARVIS BUILDERS, INC. 10808 HARLEY ROAD LORTON, VA 22079 (703) 550-9199	
ARCHITECT GARY M. ZICKAFOOSE 977 MARKSVILLE ROAD STANLEY, VIRGINIA 22851 (703) 965-1603	
PORCH ADDITION 930 S. ST. ASAPH ST.	FLOOR PLAN
DATE: 02-16-2025	
SCALE:	
DRAWN: GMZ	
JOB:	
SHEET No. A001 OF 5	



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

JARVIS
BUILDERS, INC.
10808 HARLEY ROAD
LORTON, VA 22079
(703) 550-9199

ARCHITECT
GARY M. ZICKAFOOSE
977 MARKSVILLE ROAD
STANLEY, VIRGINIA 22851
(703) 965-1603

PORCH ADDITION
930 S. ST. ASAPH ST.

FRONT ELEVATION

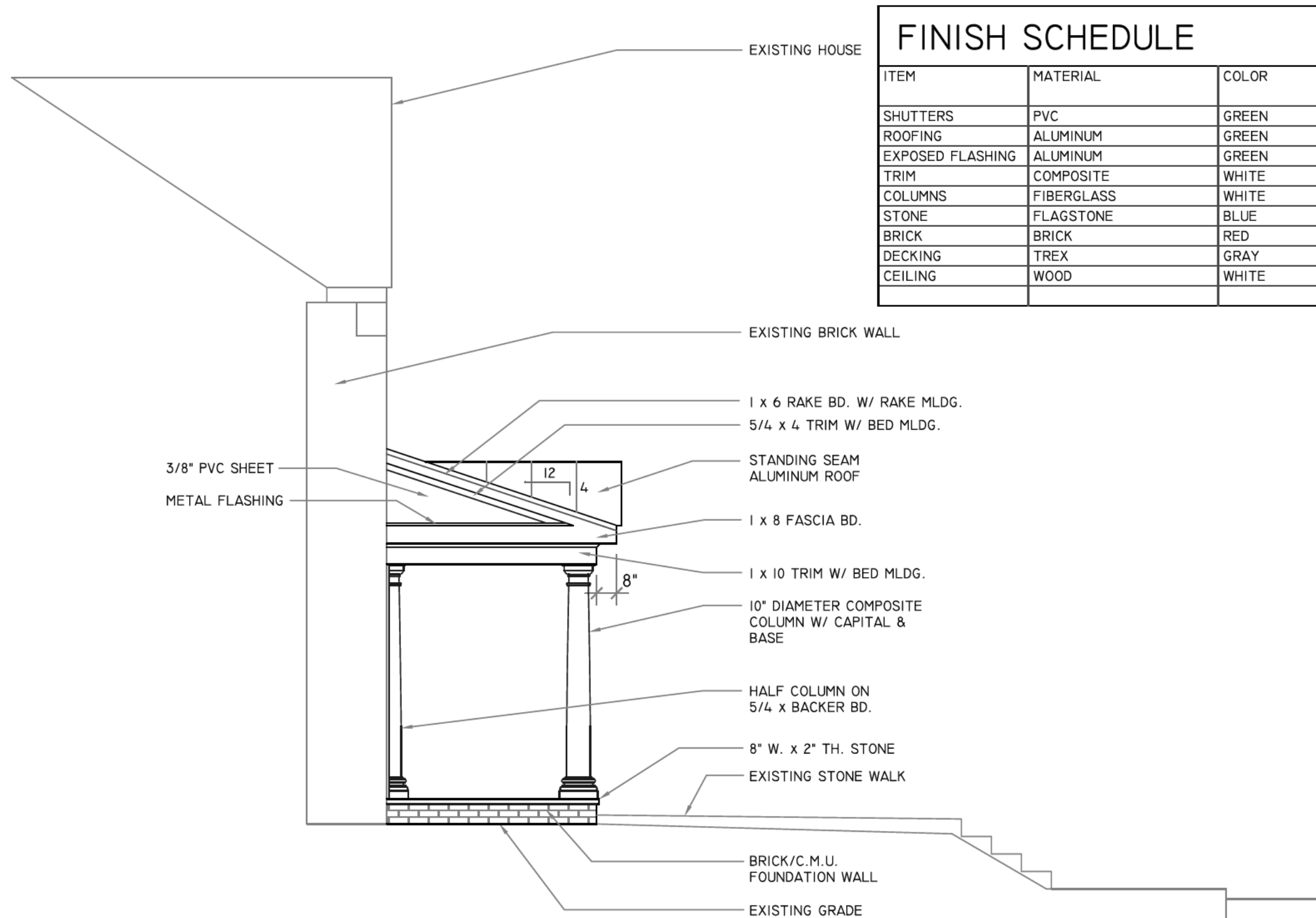
DATE: 02-16-2025

SCALE:

DRAWN: GMZ

JOB:

SHEET No.
A002
OF 5



FINISH SCHEDULE			
ITEM	MATERIAL	COLOR	NOTES
SHUTTERS	PVC	GREEN	
ROOFING	ALUMINUM	GREEN	PAINTED
EXPOSED FLASHING	ALUMINUM	GREEN	PAINTED
TRIM	COMPOSITE	WHITE	PAINTED
COLUMNS	FIBERGLASS	WHITE	PAINTED
STONE	FLAGSTONE	BLUE	MATCH EXISTING
BRICK	BRICK	RED	MATCH EXISTING
DECKING	TREX	GRAY	
CEILING	WOOD	WHITE	PAINTED

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

JARVIS BUILDERS, INC.

10808 HARLEY ROAD
LORTON, VA 22079
(703) 550-9199

ARCHITECT

GARY M. ZICKAFOOSE
977 MARKSVILLE ROAD
STANLEY, VIRGINIA 22851
(703) 965-1603

PORCH ADDITION
930 S. ST. ASAPH ST.

LEFT SIDE ELEVATION

DATE: 02-16-2025

SCALE:

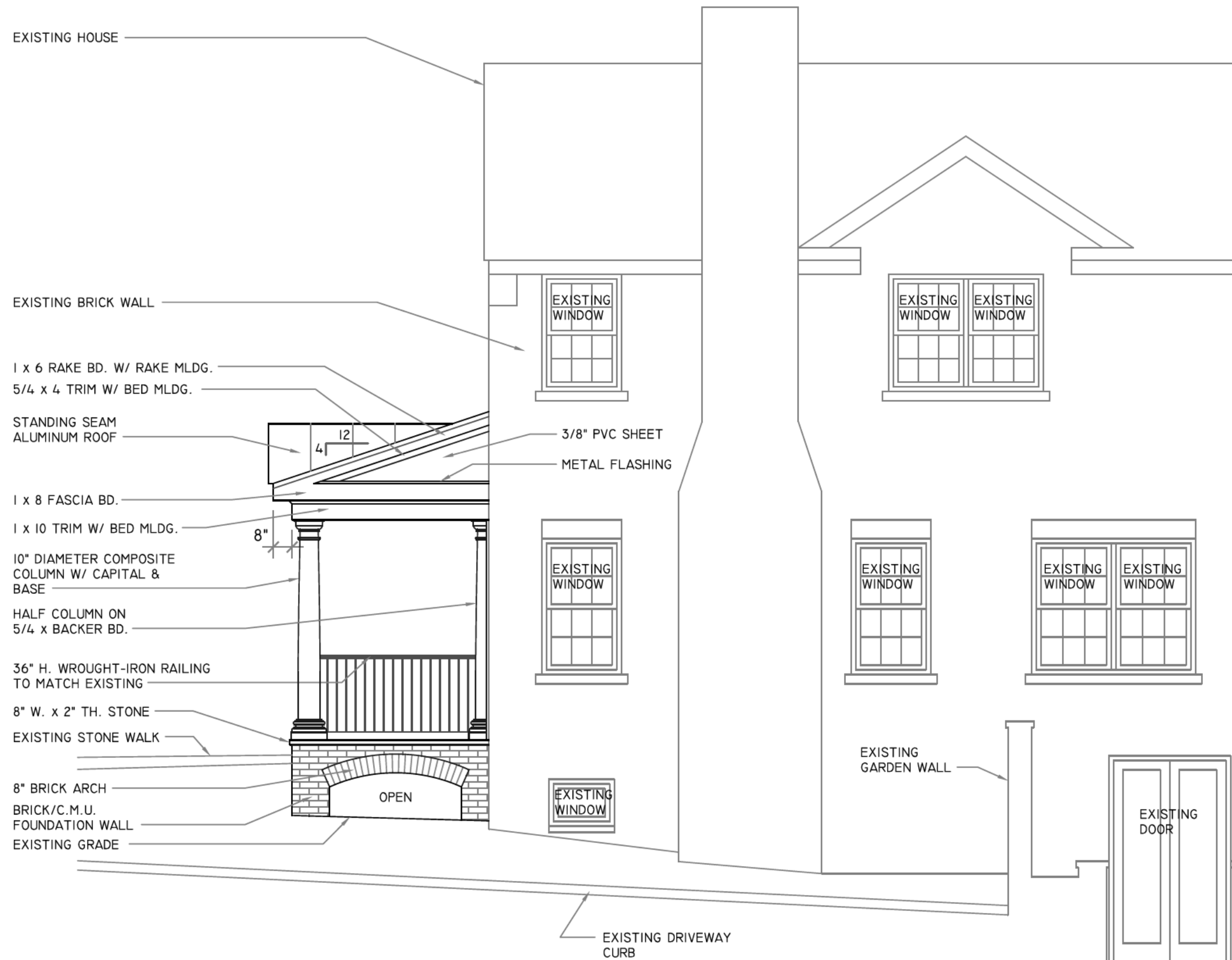
DRAWN: GMZ

JOB:

SHEET No.

A003

OF 5



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

JARVIS
BUILDERS, INC.
10808 HARLEY ROAD
LORTON, VA 22079
(703) 550-9199

ARCHITECT
GARY M. ZICKAFOOSE
977 MARKSVILLE ROAD
STANLEY, VIRGINIA 22851
(703) 965-1603

PORCH ADDITION
930 S. ST. ASAPH ST.

RIGHT SIDE ELEVATION

DATE: 02-16-2025

SCALE:

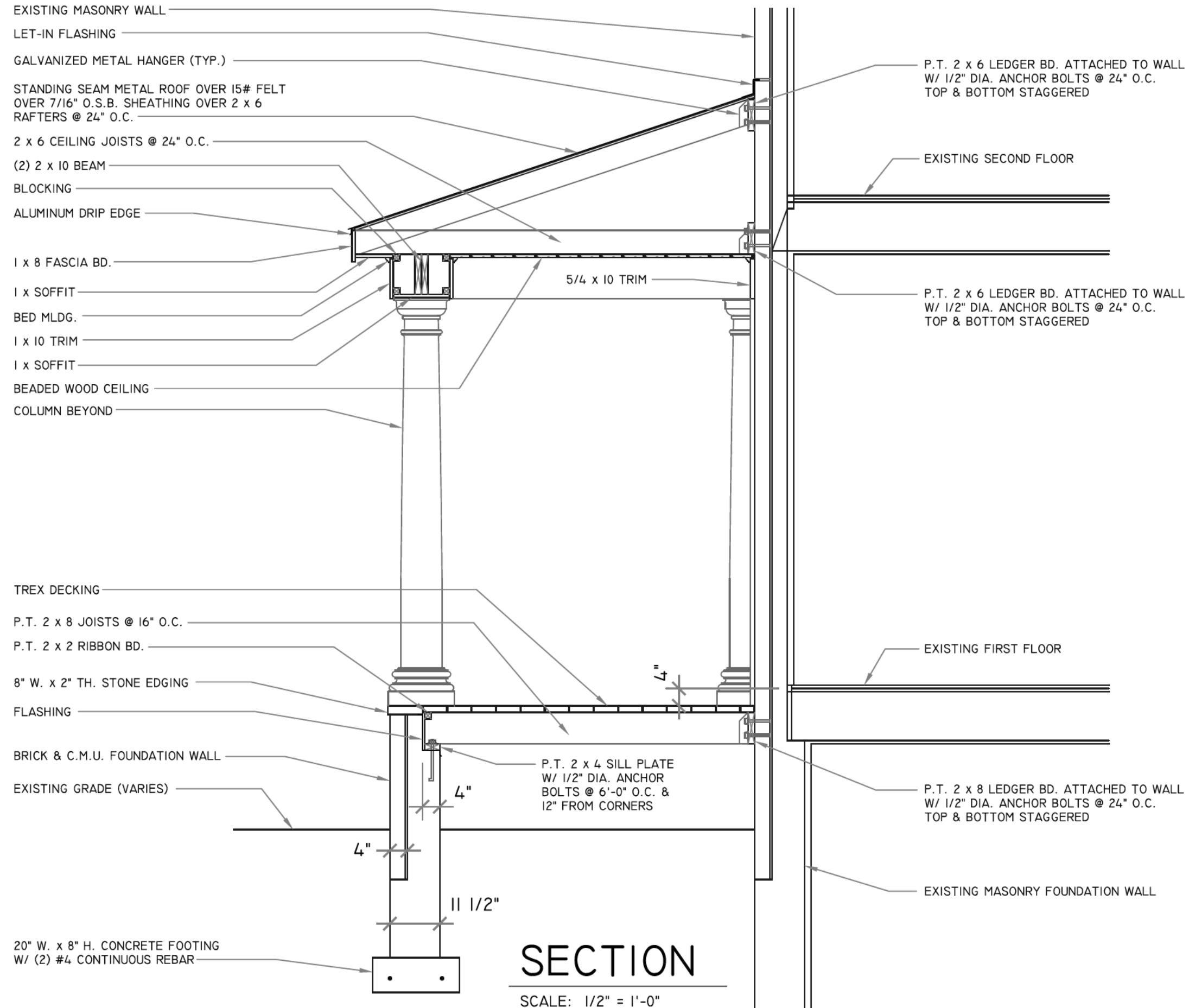
DRAWN: GMZ

JOB:

SHEET No.

A004

OF 5



JARVIS
BUILDERS, INC.
10808 HARLEY ROAD
LORTON, VA 22079
(703) 550-9199

ARCHITECT
GARY M. ZICKAFOOSE
977 MARKSVILLE ROAD
STANLEY, VIRGINIA 22851
(703) 965-1603

PORCH ADDITION
930 S. ST. ASAPH ST.

SECTION

DATE: 02-16-2025

SCALE:

DRAWN: GMZ

JOB:

SHEET No.
A005
OF 5

