

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____

Phone: _____ E-mail: _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____

Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____

Phone: _____ E-mail: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Nicholas Kennedy Digitally signed by Nicholas Kennedy
Date: 2025.03.18 08:48:33 -04'00'

Printed Name: Nicholas Kennedy

Date: 3/18/2025

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Wells Fargo Bank LLC	[REDACTED]	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. MREL 10 LLC	[REDACTED]	10%
2. STM 330 N. Washington Investors LLC	[REDACTED]	90%
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

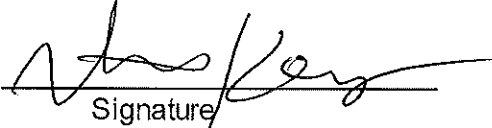
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Wells Fargo Bank LLC	N/A - NONE	NONE
2. MREL 10 LLC	NONE	NONE
3. STM 330 N. Washington Investors LLC	NONE	NONE

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

4/30/2025
Date

Nicholas Kennedy
Printed Name


Signature

WELLS FARGO



WF BE141710 North Washington
330 N Washington Street
Alexandria, VA 22314

Project ID

RK2-57029

Date: 2/26/2024

Scale: NTS

Sales: J. Christens

Designer: A. Clements

Rev. #:

Date:

Revision Note:

Missing Information

Required:

Electrical

☐ 120V ☐ 347V

☐ Other _____

Customer Approval

Signature

MM/DD/YYYY

It is the Customer's responsibility to ensure that the structure of the building is designed and constructed to accept the installation of the signs being ordered. Please ask PSG to provide further details if required.

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Wells Fargo
BE 141710
330 N Washington St
Alexandria, VA 22314

Sign Item

Cover Page

Pattison



1.866.635.1110
pattisonid.com



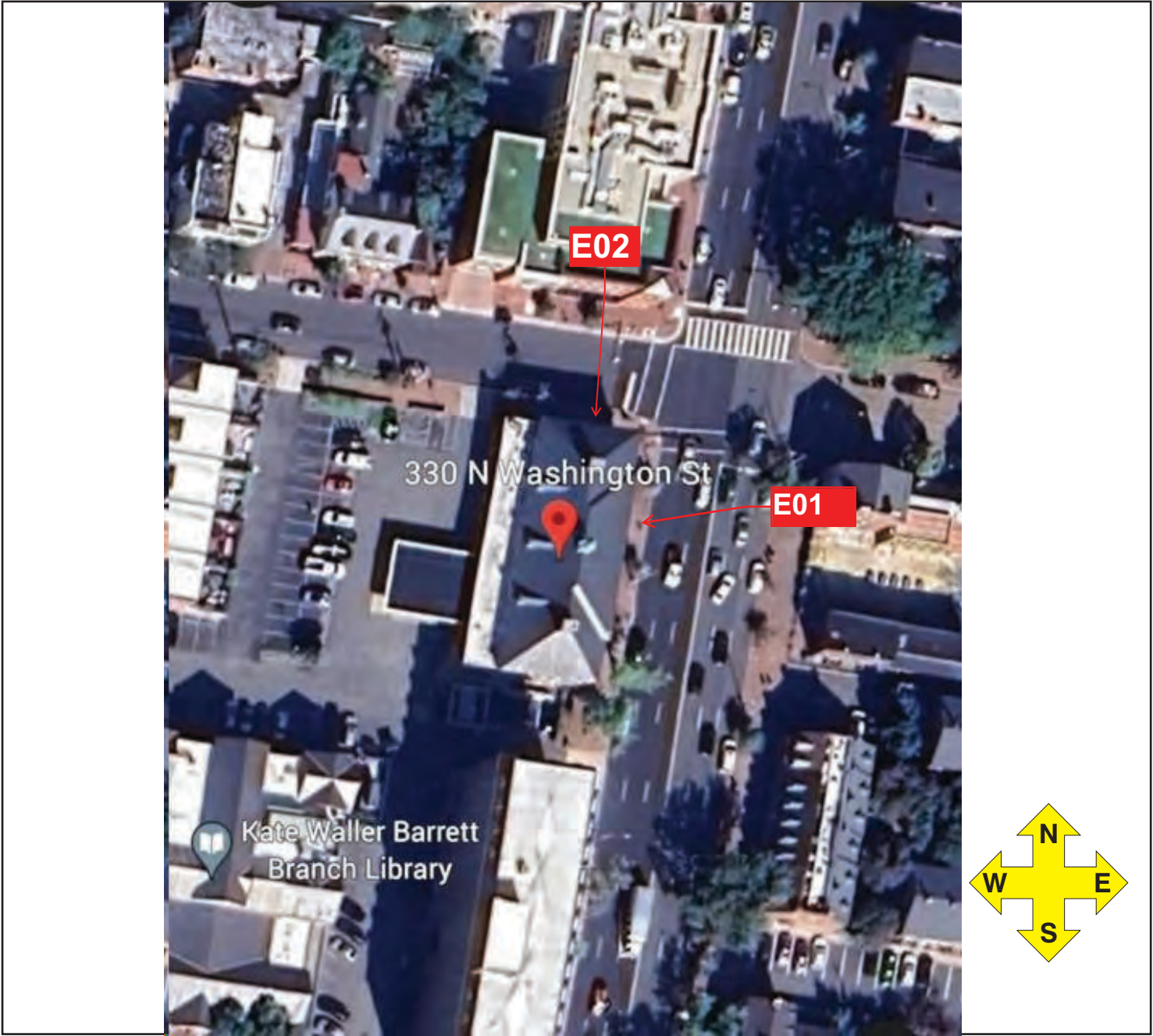
This sign to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



Fluorescent, Neon and HID lamps contain Mercury (HG). Dispose of the lamps according to Local, Provincial, State or Federal Laws.

Exterior Site Plan

SIGN #	EXISTING SIGN	SF	RECOMMENDED SIGN	SF	QTY
E01	Flag Sign		Custom Replacement Faces	8	1
E02	Flag Sign		Custom Replacement Faces	8	1
E03	Pylon		Custom Replacement Faces	8	1
E04	Parking Signs		WFR2-EW-RS-PS-PM-16-72		3
E05	Regulatory Signs		WFR2-EW-OS-SM		1
E06	Regulatory Signs		WFR2-EW-OS-SM		1
E07	Welcome Sign		Remove Only		1
E08	Window Vinyl		Remove Only		1
E09	Window Vinyl		WFR2-WE-G		1
E10	Window Vinyl		WFR2-DI-G		1
E11	Handicap Sign		WFR2-ADA-E-ACCS		1
E12	ATM		Custom Logo Panel		1
E13	ATM		Custom Logo Panel		1
NE14	None		WFR2-C-NDB-S		1



Project ID

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Missing Information

Required:

Electrical

☐ 120V

☐ 347V

☐ Other

Customer Approval

Signature

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Alexandria, VA 22314

Sign Item

Exterior Site Plan

Elevations/ Site Context

Building Front



Building Rear



Building Sides



Building Sides



Project ID

RK2-57029

Date: 2/26/2024

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Designer: A. Clements

Rev. #:

Date:

Revision Note:

Missing Information

Required:

Electrical

120V

347V

Other

Customer Approval

Signature

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Sign Item

Exterior Site Plan

Floor Plan

Proposed Demising Diagram

Project ID

RK2-57029

Date: 2/26/2024

Scale: NTS

Sales: J. Christens

Designer: A. Clements

Rev. #:

Date:

Revision Note:

Missing Information

Required:

Electrical

120V

347V

Other

Customer Approval

Signature

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Wells Fargo

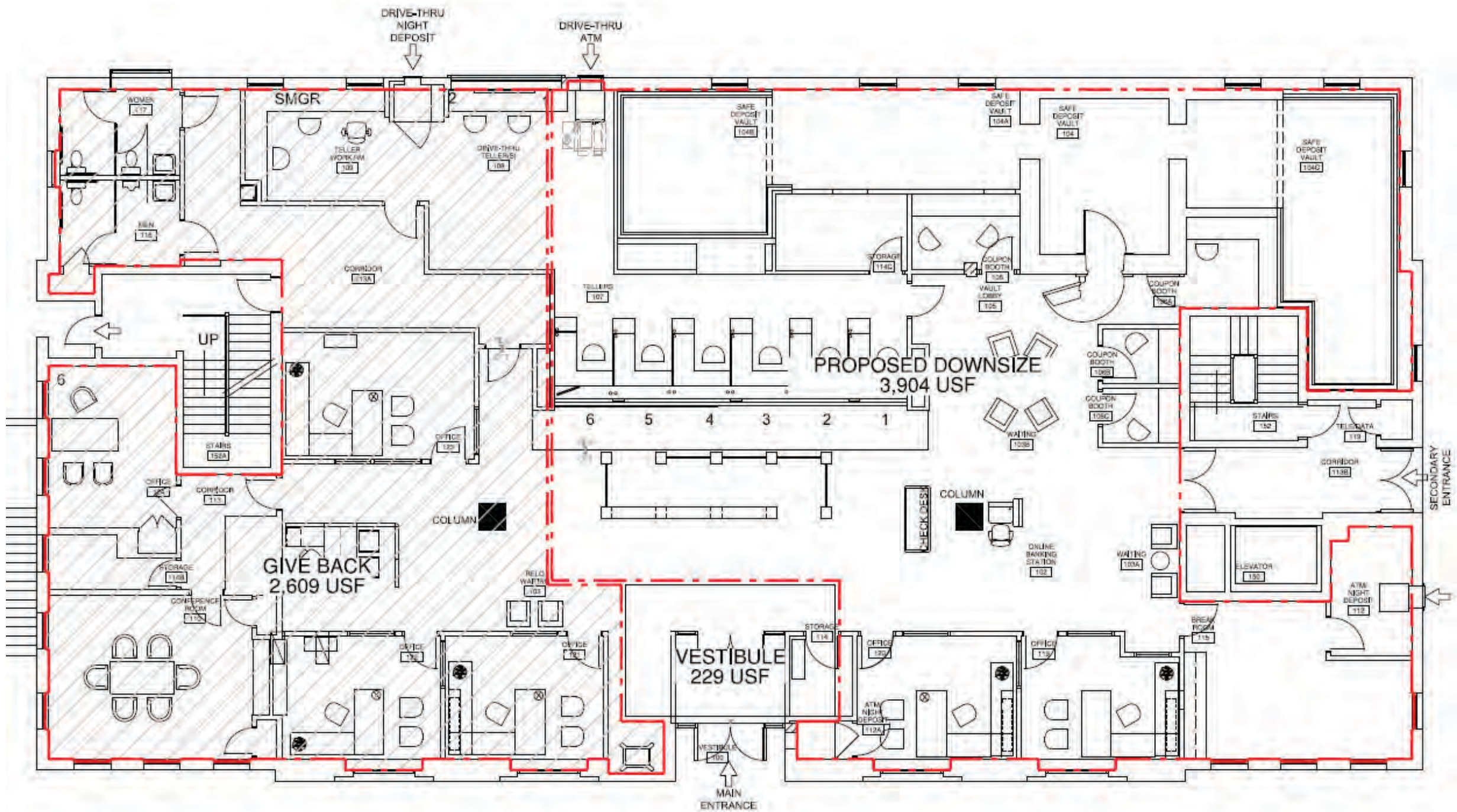
BE 141710

330 N Washington St

Alexandria, VA 22314

Sign Item

Exterior Site Plan



E07

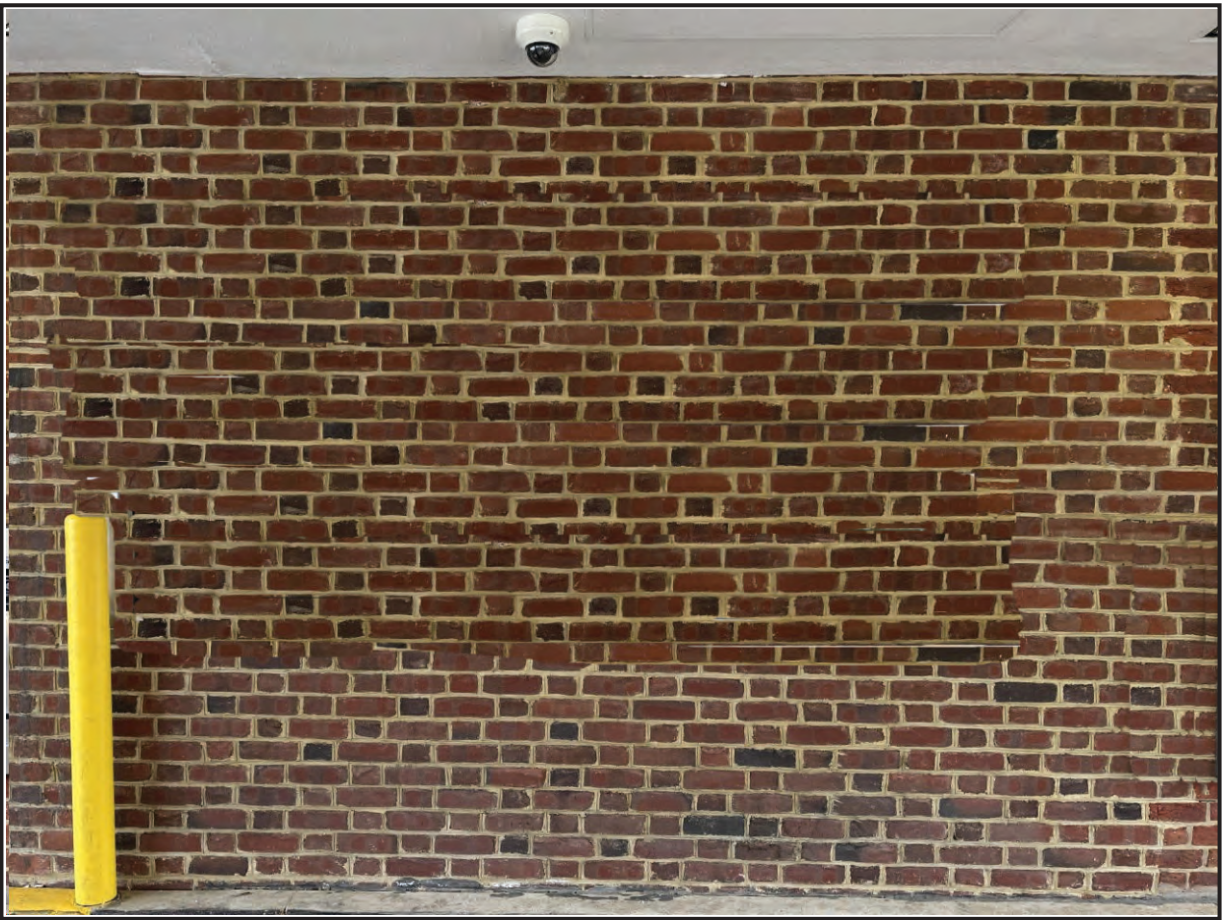
Drive-up Graphics
Remove Only

E08

Drive-up Graphics - By Vinyl Vendor
Remove Only



Existing Conditions



Proposed Conditions

11/25/24 - Removed both E09 and E10 from scope. Existing DUT window to be removed/night deposit box to be removed.

SIGN #	EXISTING SIGN	SF	RECOMMENDED SIGN	SF	QTY	SCOPE OF WORK	REMEDICATION
E07	Welcome Sign		Remove Only		1	Remove existing sign and dispose.	Clean surface of debris, and fill holes flush with color match caulk or clear silicone to make watertight.
E08	Window Vinyl		Remove Only		1	Completed by vinyl vendor.	None

Note: Size of signage in relation to the building is approximate. This photo mock-up is intended for location purposes only and may not accurately represent the scale of the proposed signage to the building. A site survey is required.

Project ID

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Revision Note:

Missing Information

Required:

Electrical

☐ 120V ☐ 347V
☐ Other _____

Customer Approval

Signature

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Sign Item

Drive Thru

E12

ATM - Custom Logo Panel

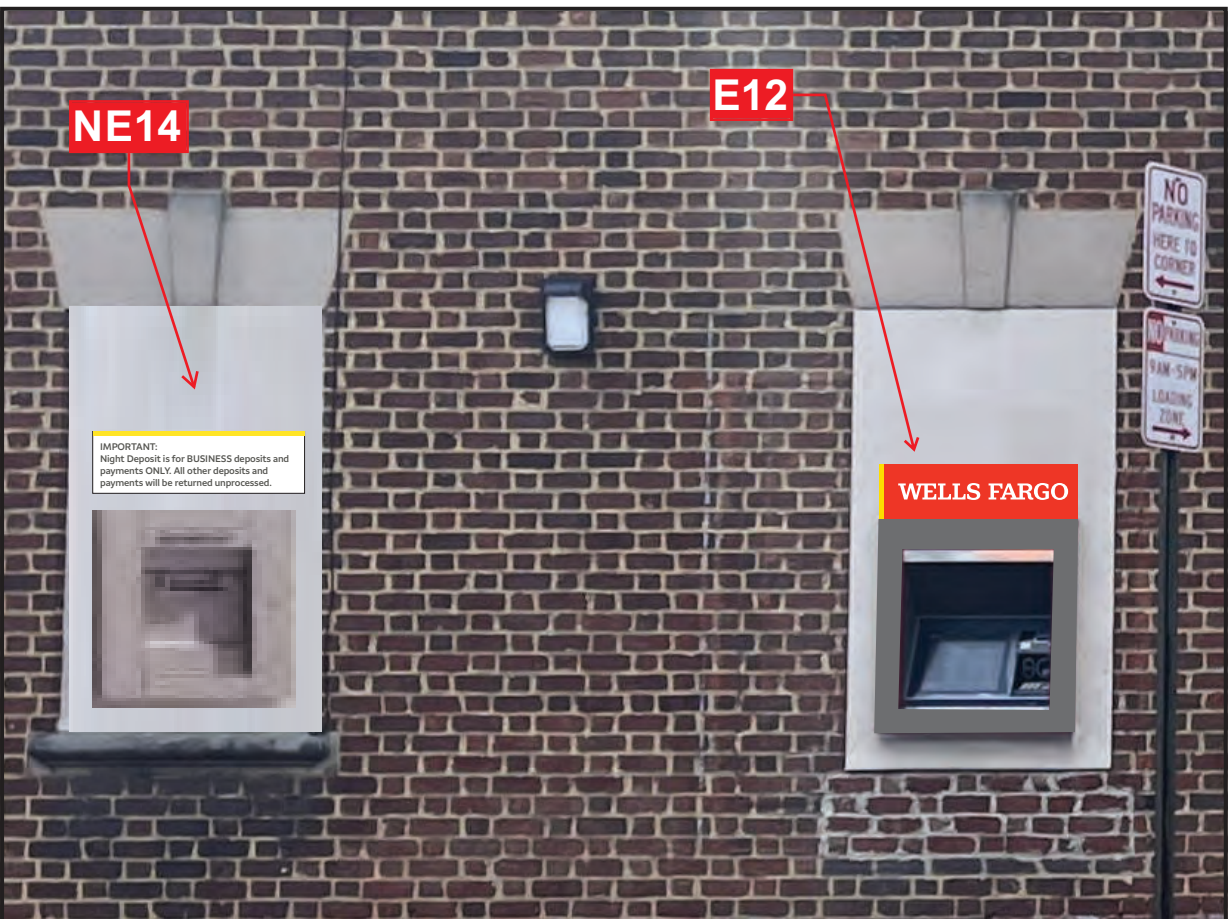
NE14

Night Deposit Box Sign
Model Number: WFR2-C-NDB-S



Existing Conditions

11/25 - Added night deposit, updated ATM.



Proposed Conditions

SIGN #	EXISTING SIGN	SF	RECOMMENDED SIGN	SF	QTY	SCOPE OF WORK	REMEDIATION
E12	ATM		Custom Logo Panel		1	Completed by ATM Vendor	Completed by ATM Vendor
NE14	None		WFR2-C-NDB-S		1	Install New Sign	None

Note: Size of signage in relation to the building is approximate. This photo mock-up is intended for location purposes only and may not accurately represent the scale of the proposed signage to the building. A site survey is required.

Project ID

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Date: 2/26/2024
Scale: NTS
Sales: J. Christens
Designer: A. Clements

Rev. #:

Date:

Revision Note:

Missing Information

Required:

Electrical

120V 347V

Other

Customer Approval

Signature

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Alexandria, VA 22314

Sign Item

E12 - ATM



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This sign to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



Fluorescent, Neon and HID lamps contain Mercury (HG). Dispose of the lamps according to Local, Provincial, State or Federal Laws.

ATM - Custom Logo Panel



Existing Conditions



Proposed Conditions

SIGN #	EXISTING SIGN	SF	RECOMMENDED SIGN	SF	QTY	SCOPE OF WORK	REMEDIATION
E12	ATM		Custom Logo Panel		1	Completed by ATM Vendor	Completed by ATM Vendor

Note: Size of signage in relation to the building is approximate. This photo mock-up is intended for location purposes only and may not accurately represent the scale of the proposed signage to the building. A site survey is required.

Project ID

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Date: 2/26/2024

Scale: NTS

Sales: J. Christens

Designer: A. Clements

Rev. #:

Date:

Revision Note:

Missing Information

Required:

Electrical

☐ 120V ☐ 347V

☐ Other

Customer Approval

Signature

MM/DD/YYYY

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Wells Fargo

BE 141710

330 N Washington St

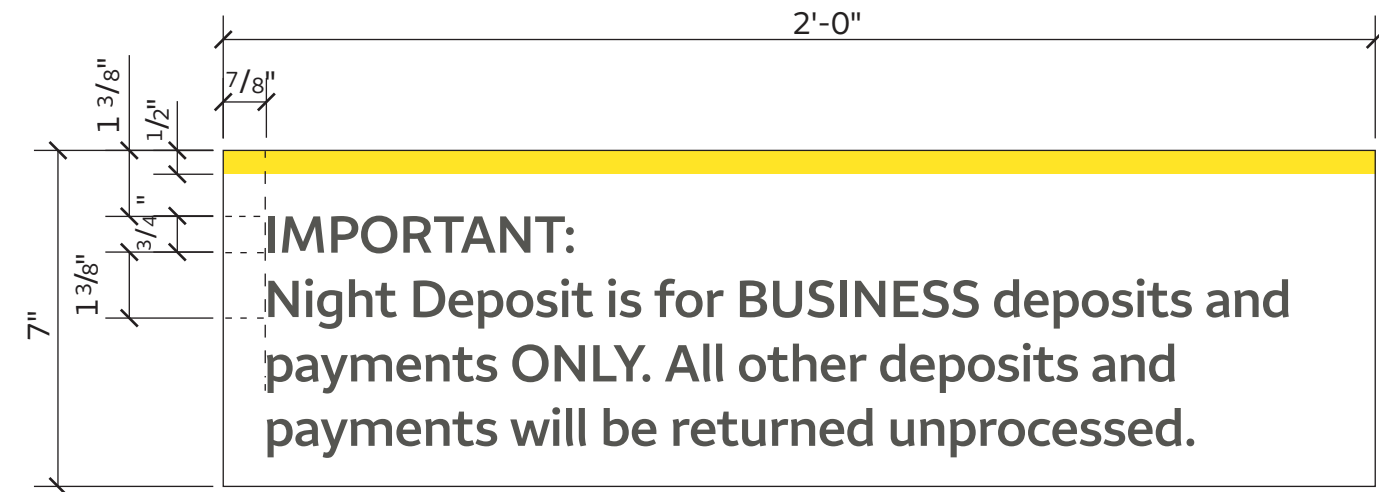
Alexandria, VA 22314

Sign Item

E15SIGN # EXISTING SIGN

NE14

Night Deposit Box Sign
Model Number: WFR2-C-NDB-S



Colors and materials

- A1

VHB Adhesive Tape, 3M 4991 Gray
- A3

Adhesive Sealant,3M 5200 Polyurethane, Opaque White or equal, sign vendor to determine sealant/adhesive appropriate to the application.
- M8

Sheet Aluminum
- P4

Paint, Wells Fargo Environments White, Satin Finish
Option 1: Matthews Paint – MP11477, R206822 SV Satin V1.0
Brush and Roll Additive to be used for Field Application: #47-444SP
Contact Matthews Paint regarding application instructions and warranty info prior to use
Option 2: Akzo Nobel – SIGN10328, Brush and Roll Additive to be used for Field Application: #390909
Option 3: Sherwin Williams – LV-1227866 (single stage) GENESIS Lustral
Field application: use same product, add reducer only as needed
- V4

Opaque Vinyl, 3M 7725-4330, Wells Fargo Environments Yellow
- V9

Opaque Vinyl, 3M 7725-101, Nimbus Gray

Notes and requirements

- 1

PANEL: .090" aluminum panel with surface applied vinyl graphics. Sign face is painted white on all visible surfaces. Sides of panel are to be painted white.
- 2

WALL MOUNTED: Sign panel to be attached to wall using 3M VHB foam tape and clear silicone adhesive applied per manufacturer specifications. Adhesive to be applied along entire back perimeter of sign panel. Ensure no adhesive is visible between panel and wall. Centered over night deposit box and 1" above.
- 3

GRAPHICS: Wells Fargo Sans Semi-Bold, kiss cut vinyl letters. Align copy as shown in the exhibits.
- 3a

Yellow band, 3M vinyl Wells Fargo Environments Yellow.
- 3b

All copy to be approved by Wells Fargo. Artwork to be provided by Kraido.
- 4

PAINTING: There are three paint supplier options as follows for all colors: AkzoNobel, Matthews Paint and Sherwin Williams. Paint specifications for each are noted above under Color and Materials. Factory applied finishes are to be used for the ground signs whenever possible.
- 4a

All paint colors must be applied over color compatible base coat, as noted under Color and Materials.

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Missing Information

Required:



Electrical

☐ 120V ☐ 347V
☐ Other _____

Customer Approval

Signature

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330 N Washington St
Alexandria, VA 22314

Sign Item

NE17 - ATM Awning

GENERAL NOTES

- CONTRACT DOCUMENTS**
THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE AS BINDING AS IF CALLED FOR BY ALL. THE CONTRACT DOCUMENTS CONVEY THE DESIGN INTENT FOR THE PROJECT. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL COORDINATE THE WORK OF THE DOCUMENTS WITH THE WORK OF VENDOR PROVIDED INFORMATION ASSOCIATE WITH THE PROJECT. THE CONTRACTOR SHALL DISTRIBUTE COMPLETE CONTRACT DOCUMENTS TO PARTIES RESPONSIBLE FOR PERFORMING THE WORK SO THAT NO PARTY RECEIVES LIMITED INFORMATION.
- COORDINATION OF THE WORK**
THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REVIEW AND VERIFICATION OF THE CONTRACT DOCUMENTS, FIELD CONDITIONS, VENDOR DESIGN DRAWINGS INCLUDING DELEGATED DESIGN WORK BY OTHERS, AND DIMENSIONS FOR ACCURACY AND FOR CONFIRMING THE WORK IS CONSTRUCTIBLE PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL COORDINATE THE WORK WITH THE BUILDING OWNER AS NOT TO DISTURB OR CAUSE DAMAGE TO OTHER TENANT SPACES OR BUILDING AREAS. THE CONTRACTOR SHALL SECURE A CURRENT COPY OF PUBLISHED CONSTRUCTION/CONTRACTOR BUILDING GUIDELINES AND REGULATIONS FROM THE BUILDING MANAGEMENT AND COMPLY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF RECORD IN WRITING OF CONFLICTS AND OBTAIN A WRITTEN CLARIFICATION FROM THE ARCHITECT OF RECORD PRIOR TO PROCEEDING WITH THE WORK.
- DIMENSIONS**
DO NOT SCALE DRAWINGS. DIMENSIONS AND WORKPOINTS PROVIDED ARE TO STRUCTURAL GRID OR TO EXPOSED FACE OF A FINISH, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY DIMENSIONS WITH CONDITIONS IN THE FIELD AND SHALL SECURE WRITTEN RESOLUTION OF CONFLICTS FROM THE ARCHITECT PRIOR TO INITIATING THE WORK.
- DELEGATED DESIGN WORK BY OTHERS**
SYSTEMS INDICATED AS DELEGATED DESIGN SHALL BE ENGINEERED, AND STAMPED BY QUALIFIED PROFESSIONAL ENGINEERS LICENSED IN THE JURISDICTION OF THE WORK. IT IS THE RESPONSIBILITY OF THE ENGINEER OF RECORD FOR THESE SYSTEMS TO SECURE AGENCY APPROVALS, INCLUDING REQUIRED FEES ASSOCIATED WITH PERMIT APPROVAL. THESE SYSTEMS SHALL BE COORDINATED WITH THE CONTRACT DOCUMENTS AND SHALL COMPLY WITH APPLICABLE LEGAL REQUIREMENTS INCLUDING COMPREHENSIVE ENGINEERING ANALYSIS UTILIZING PERFORMANCE AND DESIGN CRITERIA INDICATED IN THE CONTRACT DOCUMENTS.

DEFINITIONS

ALIGN	TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE
CLEAR / CLR / HOLD	DIMENSIONS ARE ABSOLUTES, UNOBSTRUCTED FROM FACE OF EXPOSED FINISH SURFACES.
DEMOLISH	TO DECONSTRUCT COMPLETE SYSTEM, HAIL, AND DISPOSE OF MATERIAL, INCLUDING APPROPRIATE PULL BACK AND TERMINATION/CAPPING OF RELATED BUILDING SERVICES.
REUSE	DIS-ASSEMBLE, CONVEY OR STORE MATERIAL PER OWNERS INSTRUCTIONS
INSTALL	SALVAGE, STORE ON SITE, RE-INSTALL
	ON-SITE OPERATIONS INCLUDING UNLOADING, TEMPORARY STORAGE, UN-PACKING, ASSEMBLY, PLACING, ANCHORING, APPLYING, FINISHING, PROTECTING, AND CLEANING COMPLETE AND OPERATIONAL ELEMENTS, EQUIPMENT, AND SYSTEMS
FURNISH	PROCURE AND STORE ON-SITE MATERIAL FOR INSTALLATION BY OTHERS
PROVIDE	FURNISH AND INSTALL COMPLETE AND OPERATIONAL SYSTEM
NOTIFY	TO INFORM THE STATED PARTIES IN WRITING AND SEEK RESOLUTION PRIOR TO COMENCING WORK

HAZARDOUS MATERIALS NOTES

- LONGO ARCHITECTS & ASSOCIATES LLC** SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, REMOVAL, PRESENCE, HANDLING, DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS SUBSTANCES, MATERIALS, AND WASTES IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO: ASBESTOS, ASBESTOS PRODUCTS, PCB MOLD, OR OTHER TOXIC OR HARMFUL SUBSTANCES.
- QUESTIONS THAT ARISE RELATED TO HAZARDOUS MATERIALS SHALL BE REFERRED TO THE OWNER FOR RESOLUTION. **LONGO ARCHITECTS & ASSOCIATES LLC** SHALL NOT BE REQUIRED TO DO WORK NOR RENDER OPINIONS RELATED TO HAZARDOUS MATERIALS.
- CONTRACTORS SHALL REPORT THE PRESENCE OF MATERIAL OR ASSEMBLIES SUSPECTED TO CONTAIN HAZARDOUS MATERIALS UPON DISCOVERY TO THE OWNER. WORK SHALL BE HALTED UNTIL WRITTEN CLEARANCE TO CONTINUE HAS BEEN PROVIDED BY THE OWNER'S CERTIFIED HAZARDOUS MATERIALS CONSULTANTS.

FURNITURE, FLOOR CORE & LIGHTING COORDINATION

CONTRACTOR, FURNITURE VENDOR, DESIGN BUILD SUB-CONTRACTORS AND OWNER 'S SUBCONTRACTORS ARE ALL REQUIRED TO USE THE ARCHITECTURAL DIMENSION WORK POINTS ESTABLISHED FOR OPEN PLAN PENDANT LIGHTING AND FURNITURE CENTERLINES WHERE APPLICABLE. CONTRACTOR AND VENDOR PREPARED SHOP DRAWINGS SHALL DOCUMENT THE ARCHITECTURAL DIMENSION WORK POINTS FOR THE ARCHITECT 'S REVIEW PRIOR TO START OF WORK. FIELD LAYOUT REVIEW REQUESTED OF THE ARCHITECT MUST UTILIZE ON ESTABLISHED WORK POINTS, FLOOR CORE LOCATIONS SERVING FURNITURE ARE THE SOLE RESPONSIBILITY OF THE FURNITURE VENDOR, INCLUDING FIELD VERIFICATION OF LAYOUT.

ACCESSIBILITY NOTES

THE PROJECT SHALL MEET COMPLIANCE WITH THE UNITED STATES ACCESS BOARD ADA STANDARDS AND THE REQUIREMENTS OF 2021 IBC, CHAPTER 11 AND ICC/ANSI A117.1.

CONTROLS & OPERATING MECHANISMS (ADA ACCESSIBILITY STANDARDS - CHAPTER 3 - OPERABLE PARTS):
ALL REQUIRED CONTROLS AND OPERATING MECHANISMS SHALL COMPLY WITH REACH RANGE REQUIREMENTS PER ICC/ANSI A117.1 2017 SECTION 308, PLACED BETWEEN 15 INCHES AND 48 INCHES ABOVE THE FLOOR. OPERABLE PARTS SHALL COMPLY WITH ICC/ANSI A117.1 2017 SECTION 309. THEY SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 POUNDS MAXIMUM.

CARPETING AND FLOORING (ADA ACCESSIBILITY STANDARDS - CHAPTER 3 - FLOOR AND GROUND SURFACES):
CARPET PILE THICKNESS NOT TO EXCEED 1/2" PER IAC/ANSI A117.1-2017 SECTION 302.2. PLEASE ALSO NOTE: CARPET PILE THICKNESS IS FROM THE FLOOR FINISH TO TOP OF PILE PER ICC/ANSI 2017 SECTION 302.2. FLOOR SURFACES SHALL BE FIRM, STABLE AND SLIP RESISTANT PER ICC/ANSI A117.1 2017 SECTION 302.1
THRESHOLDS SHALL BE A MAXIMUM 1/2" WITH A 1:2 BEVEL.

RECEPTION COUNTER: ALL COUNTERS TO HAVE PORTION SET BETWEEN 28" TO 34" AFF IN HEIGHT PER ICC/ANSI A117.1-2017 SECTION 902.3

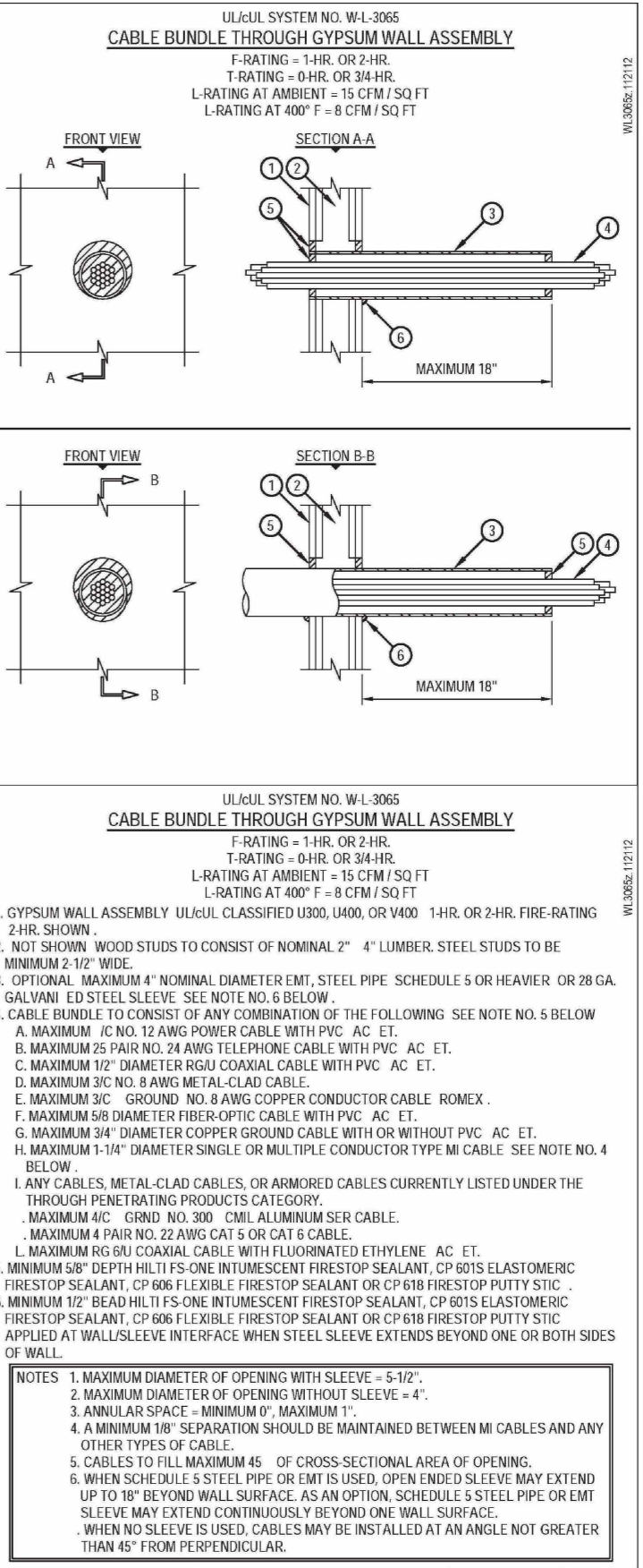
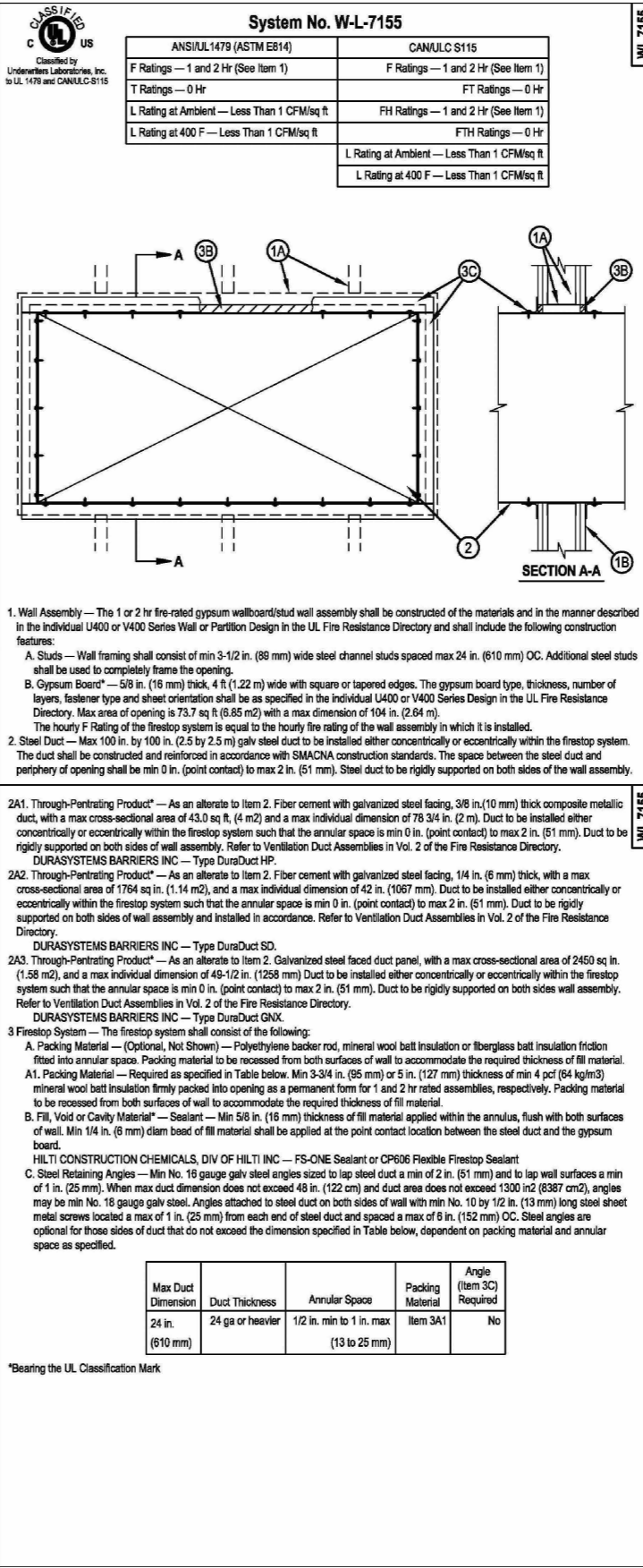
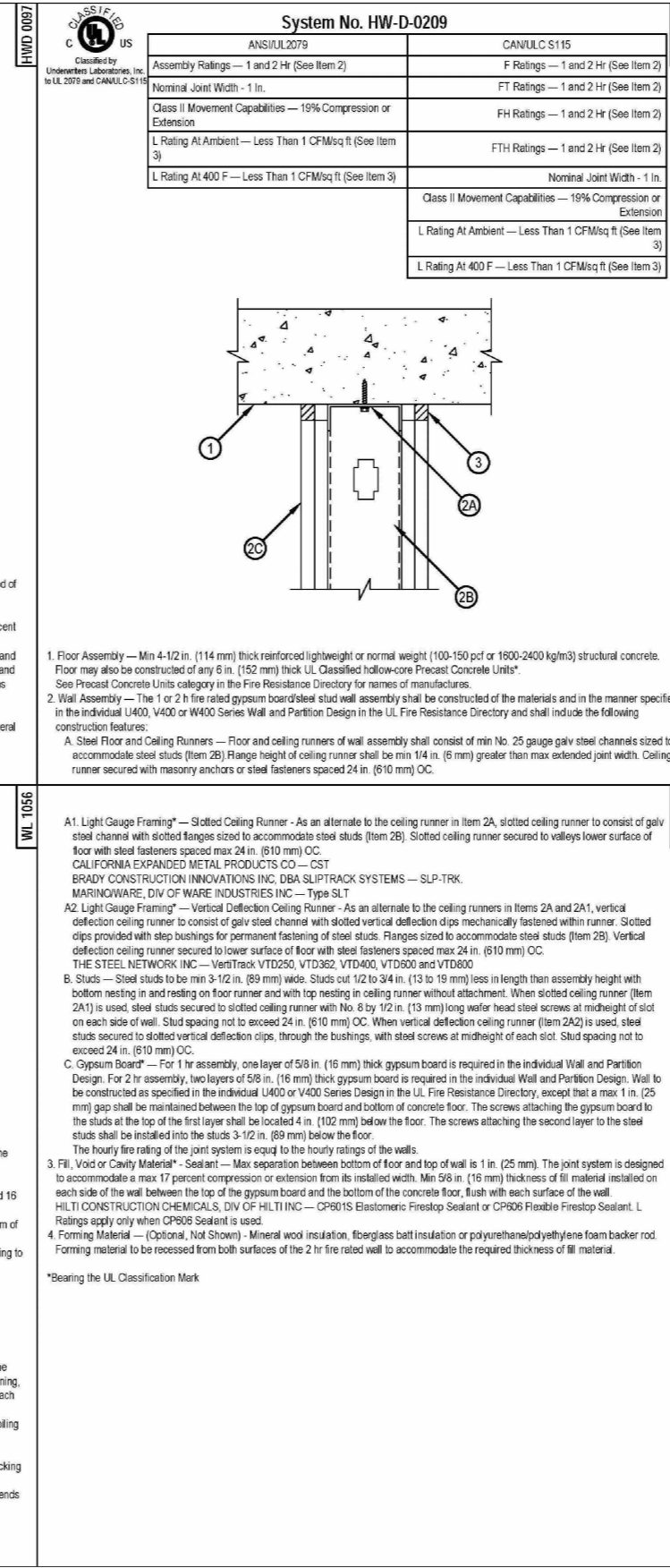
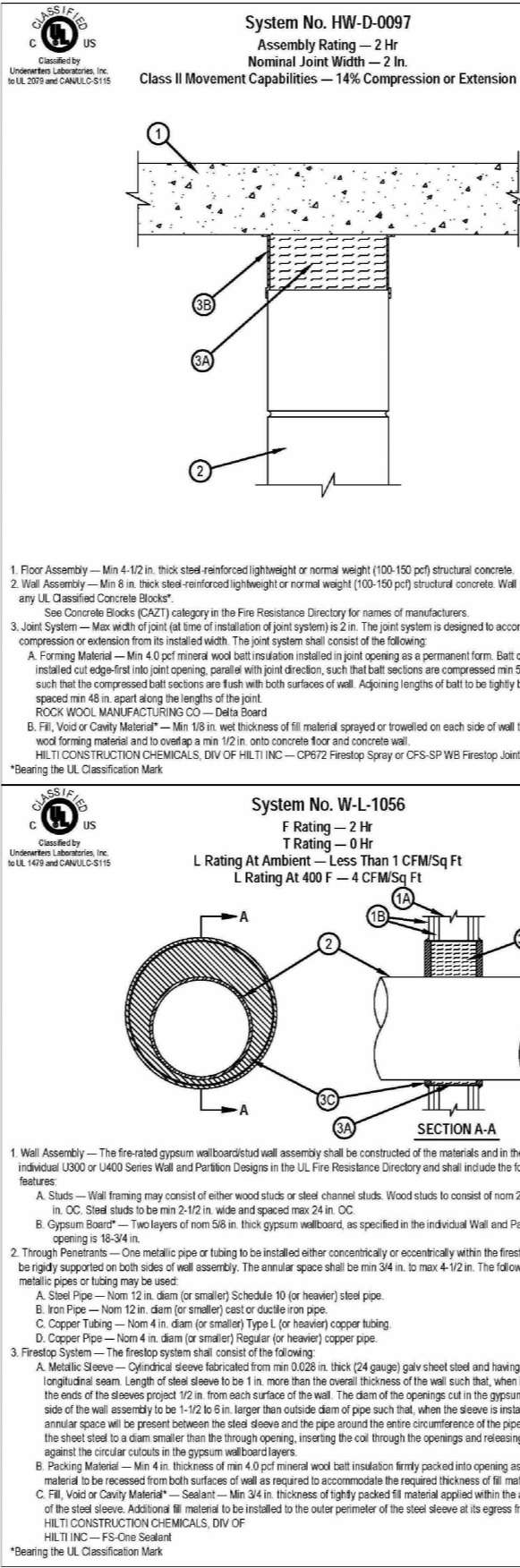
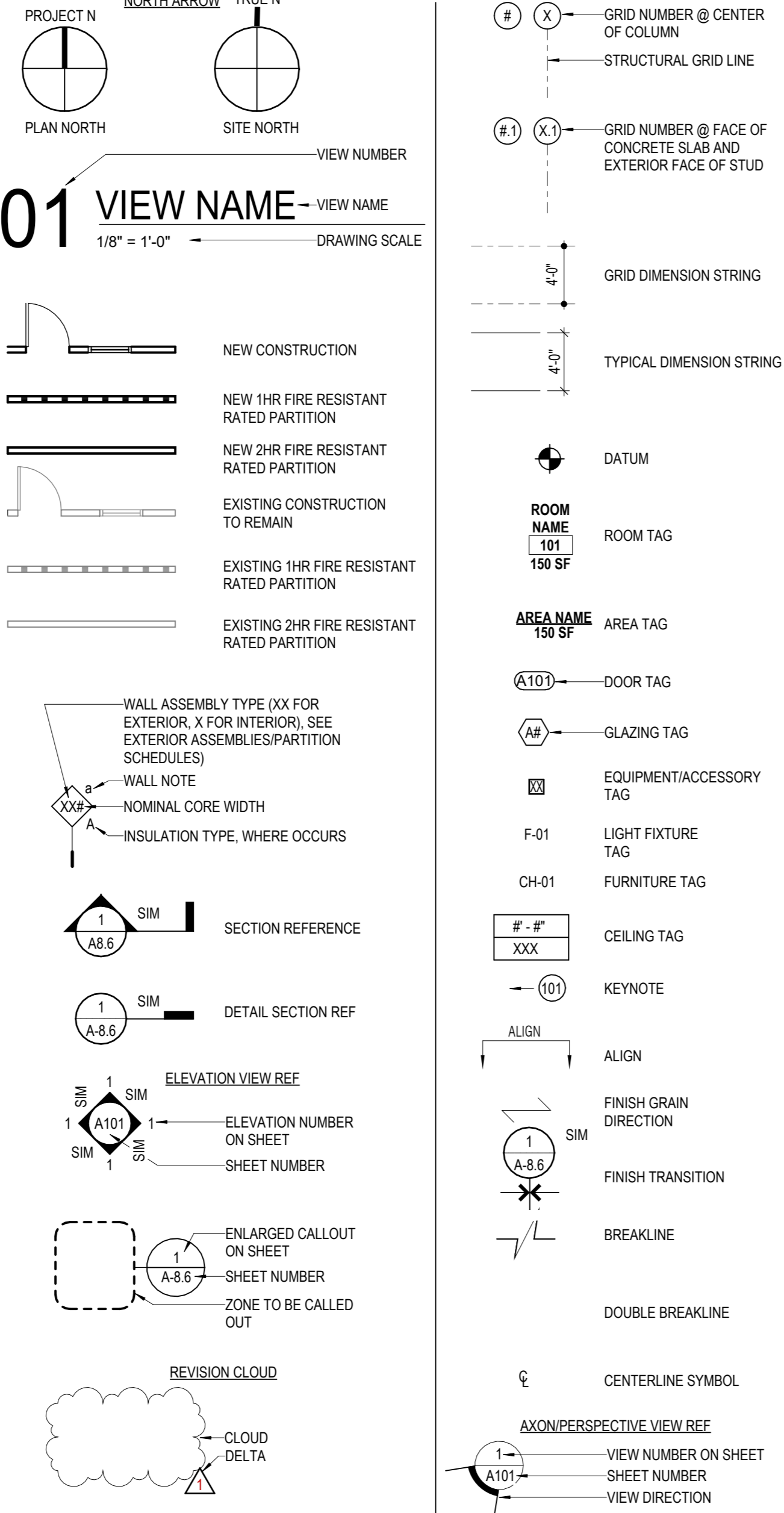
DOORS (ADA ACCESSIBILITY STANDARDS - CHAPTER 4 - ENTRANCES, DOORS, AND GATES):
ALL DOORS PROVIDE THE REQUIRED MANEUVERING CLEARANCE AT DOOR PER ICC/ANSI A117.1-2017 SECTION 404.2.3. ALL NEW OR ALTERED DOORS TO HAVE LEVER-OPERATED HARDWARE PER ICC/ANSI A117.1-SECTION 404.2.6. ALL DOORS SHALL HAVE A 32" CLEAR DOOR OPENING MEASURED FROM THE FACE OF THE DOOR WHEN IT IS OPENED 90% TO THE DOOR STOP PER ICC/ANSI A117.1-217 SECTION 404.2.2.
ALL PUBLIC AND COMMON AREA INTERIOR DOORS TO HAVE #6 MAX. FORCE TO OPEN PER ICC/ANSI A117.1-2017 SECTION 309.4

SIGNAGE:
WHERE NEW SIGNAGE IS PROVIDED, IT SHALL COMPLY WITH ICC/ANSI A117.1-2017. SIGNAGE SHALL BE USED TO IDENTIFY REQUIRED ACCESSIBLE ELEMENTS, PROVIDE DIRECTIONS OR INDICATE SPECIAL ACCESSIBILITY PROVISIONS, SIGNAGE DIMENSIONS, CHARACTERS AND TACTILE FEATURES. SIGNAGE WILL BE OF BRAILLE AND TACTILE AND BE LOCATED ON THE DOOR HANDLE SIDE OF DOOR. IT WILL BE INSTALLED AT THE APPROPRIATE HEIGHT AND DISTANCE TO THE LATCH SIDE OF THE DOOR PER THE ELEVATION DETAIL ON THE DRAWINGS.

PROTRUDING OBJECTS (ADA ACCESSIBILITY STANDARDS - CHAPTER 3 - PROTRUDING OBJECTS):
PROTRUDING OBJECTS ON CIRCULATION PATHS SHALL MEET COMPLIANCE WITH ICC/ANSI A117.1, 2017 SECTION 307. OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" AFF SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE OBJECT PROTRUSION IS BEYOND THE LIMITS ALLOWED. THE LEADING EDGE OF GUARDRAIL OR BARRIER SHALL BE 27" MAXIMUM ABOVE THE FLOOR.

ALARMS (ADA ACCESSIBILITY STANDARDS - CHAPTER 2 - NEW CONSTRUCTION): ALL NEW, ALTERED OR RELOCATED VISUAL ALARMS OR EMERGENCY WARNING SYSTEM SHALL COMPLY WITH ICC/ANSI 702. ALL VISUAL ALARMS SHALL BE SYNCHRONIZED.

GENERAL SYMBOLS





A. MEANS OF EGRESS, INCLUDING EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE IS SERVED BY THE MEANS OF EGRESS OCCUPIED.

B. MEANS OF EGRESS ILLUMINATION SHALL NOT BE LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE FLOOR LEVEL. THE POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF A POWER FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH THE BUILDING CODE.

C. OCCUPANCY TYPE IS DETERMINED IN ACCORDANCE WITH CHAPTER 3 OF THE BUILDING CODE USE AND OCCUPANCY CLASSIFICATION.

LIFE SAFETY ROOM SUMMARY TAG

NAME

B*
LOAD FACTOR
Y

X
AREA
OCC. LOAD
OCC. LOAD
OCC. LOAD

NEW CONSTRUCTION

NEW 1HR FIRE RESISTANT RATED PARTITION

NEW 2HR FIRE RESISTANT RATED PARTITION

EXISTING CONSTRUCTION TO REMAIN

EXISTING 1HR FIRE RESISTANT RATED PARTITION

EXISTING 2HR FIRE RESISTANT RATED PARTITION

OCCUPANT AREA (SF)

OCCUPANT LOAD

OCCUPANCY

OCCUPANT LOAD

SYMBOLS & ELEMENTS








EXIT / ACCESS TO EXIT

CEILING MOUNTED ONE SIDED EXIT SIGN

CEILING MOUNTED TWO SIDED EXIT SIGN

WALL MOUNTED EXIT SIGN

FIRE EXTINGUISHER CABINET SEMI RECESSED

WALL MOUNTED EMERGENCY DOOR RELEASE

WALL MOUNTED CARD READER

FIRE EXTINGUISHER AND CABINET

FIRE PROTECTION RISER CABINET

FIRE EXTINGUISHER

FIRE EXIT HARDWARE

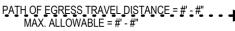
PANIC HARDWARE

DISTANCE AND SEPARATIONS



#'-#\" data-bbox="115 705 485 745"/>

PATHS



TRAVEL PATH OF EGRESS = 23'-0\" data-bbox="115 855 485 895"/>



EGRESS DOOR 1

32 OCCUPANTS

0 OCC. MAX

NOT A REQUIRED EXIT

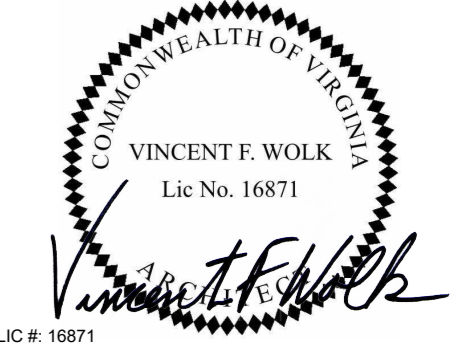
1	MARKETING ELEMENT LOCATION. DESIGN, PRODUCTION, AND INSTALLATION BY WELLS FARGO VENDOR. KEEP WALL CLEAR OF ALL WALL-MOUNTED DEVICES. CONTRACTOR TO PROVIDE LEVEL 5 DRYWALL FINISH.
---	--



330 N WASHINGTON STREET
ALEXANDRIA, VA 22314

LONGO ARCHITECTS
& ASSOCIATES LLC

36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



A. LIC #: 16871

CONSULTANTS

SET ISSUED: PERMIT SET

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REVIEWED BY: V.F.W.

DRAWN BY: L.C.A.

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WF PROJECT #392021

SHEET TITLE

EGRESS AND OCCUPANCY PLAN

SHEET NUMBER

G0.03

ARCHITECT PROJECT NUMBER
2483

2021 VIRGINIA CONSTRUCTION CODE-IBC 2021 AMENDED

1. TABLE 906.3.1
MAXIMUM DISTANCE OF TRAVEL TO FIRE EXTINGUISHERS (LIGHT HAZARD OCCUPANCY) = 75 FEET
2. 1005.3.2
MEANS OF EGRESS-OTHER COMPONENTS: CAPACITY FACTOR 0.2 INCH PER OCCUPANT
3. TABLE 1006.2.1
THE MAX COMMON PATH OF EGRESS TRAVEL IS 100 FEET (BASED ON SINGLE EXIT EGRESS TABLE 1006.2.1) WHEN THE OCCUPANT LOAD GREATER THAN 30 AND BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.
ACTUAL: SEE EGRESS PLAN ABOVE

B BUSINESS - PUBLIC ZONE (1:150)

B BUSINESS - SECURED ZONE (1:150)

2021 VIRGINIA BUILDING CODE, TABLE 1004.5

OCCUPANCY GROUP	FUNCTION OF SPACE	AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
B	B-PUBLIC ZONE	3145.3 SF	150 SF	21.0
B	B-SECURED ZONE	3145.3 SF	150 SF	21.0
B	B-SECURED ZONE	343.9 SF	150 SF	2.3
B	B-SECURED ZONE	161.7 SF	150 SF	1.1
B	B-SECURED ZONE	490.6 SF	150 SF	3.3
		999.3 SF		6.7
FLOOR TOTAL:		4144.5 SF		27.6

2021 VIRGINIA PLUMBING CODE, TABLE 403.1

OCCUPANCY GROUP		OCCUPANTS		WATER CLOSETS (FIXTURES PER PERSON)	URINALS (FIXTURES PER PERSON)	LAVATORIES (FIXTURES PER PERSON)	DRINKING FOUNTAINS/FACILITIES (FIXTURES PER PERSON)	SERVICE SINK
	TOTAL OCCUPANTS	MALE	FEMALE					
B-BUSINESS	28	14	14	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	N/A	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	1:150	1 FOR OCCUPANT LOAD ABOVE 15
TOTAL REQUIRED				1	N/A	1	1	1
TOTAL PROVIDED				2	N/A	2	2	1

COMPLETE INTERIOR ACCESSIBLE SIGNAGE SHALL BE PROVIDED AT LOCATIONS INCLUDING BUT NOT LIMITED TO:

- ROOM IDENTIFICATION
- DIRECTIONAL AND INFORMATIONAL
- ACCESSIBLE ENTRANCE AT MAIN ENTRY LOBBY
- ELEVATOR CAB OPERATING PANEL
- ELEVATOR ENTRANCE FLOOR IDENTIFICATION AT JAMB
- RESTROOMS
- ELEVATOR LOBBY EMERGENCY EVACUATION

TACTILE EXIT SIGNS SHALL BE PROVIDED AT LOCATIONS INCLUDING BUT NOT LIMITED TO:

- GRADE LEVEL EXIT DOORS "EXIT"
- EXIT DOORS LEADING TO GRADE LEVEL EXIT DOORS (STAIRWELL DOORS) "EXIT STAIR DOWN"
- EXIT DOORS LEADING TO GRADE LEVEL EXTERIOR EXIT "EXIT"
- EXIT ACCESS DOOR LEADING FROM ROOM OR AREA WITH VISUAL EXIT SIGN: "EXIT ROUTE"

PROVIDE "EMERGENCY EVACUATION MAPS" AND SIGNS WHERE REQUIRED PER LOCAL JURISDICTION.

ACCESSIBLE SIGNAGE SHALL BE PROVIDED AS NON-GLARE OVER CONTRASTING BACKGROUND, 1/32" RAISED CHARACTERS, TEXT HEIGHT 5/8" TO 2" AND PICTOGRAMS SHALL BE 6" HIGH MIN. MOUNTING HEIGHT MIN. 4'-0" ABOVE FINISHED FLOOR TO LOWEST BRAILLE AND MAX. 5'-0" TO BOTTOM OF HIGHEST LINE OF RAISED TEXT. MOUNT SIGNS TO LATCH SIDE OF DOOR. AT DOUBLE DOORS AT THE NEAREST WALL PREFERABLE AT THE RIGHT OF THE OPENING.

SELF ILLUMINATING FLOOR LEVEL EXIT SIGNS SHALL BE PROVIDED AT "I" AND "A" OCCUPANCY. E.G. TRITIUM SELF ILLUMINATING FOR 10 YEARS, GREEN FACE, WHITE HOUSING OR SIMILAR.

ATM = ATM (WELLS FARGO VENDOR)
BEV = BANK EQUIPMENT VENDOR
CVS = CORPORATE VIDEO SERVICES
FRN = VARIES PER REGION (FURNITURE)
GC = GENERAL CONTRACTOR
LA = LIGHTART (CUSTOM LIGHTING)
LAW = LAWERENCE DOORS
LL = LANDLORD
MILL = MILLWORKER
PDSI = PHYSICAL DISTRIBUTION STRATEGIES IMPLEMENTATION
MV = MARKETING VENDOR
SEC = SECURITY (WELLS FARGO VENDOR)
SIGN = SIGNAGE (WELLS FARGO EXTERIOR SIGNAGE)
TEC = TELECOMMUNICATION



**WF BRANCH
NORTH
WASHINGTON**

330 N WASHINGTON STREET
ALEXANDRIA, VA 22314

LONGO ARCHITECTS
& ASSOCIATES LLC

36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



CONSULTANTS

REVISIONS

SET ISSUED: PERMIT SET

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REVIEWED BY: V.F.W

DRAWN BY: L.C.A.

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RESPONSIBILITY MATRIX

SHEET NUMBER

G0.04

ARCHITECT PROJECT NUMBER
2483

ATM = ATM (WELLS FARGO VENDOR)
BEV = BANK EQUIPMENT VENDOR
CVS = CORPORATE VIDEO SERVICES
FRN = VARIES PER REGION (FURNITURE)
GC = GENERAL CONTRACTOR
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**WF BRANCH
NORTH
WASHINGTON**

330 N WASHINGTON STREET
ALEXANDRIA, VA 22314

LONGO ARCHITECTS
& ASSOCIATES LLC

36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



VA LIC #: 1687

CONSULTANTS

REVISIONS

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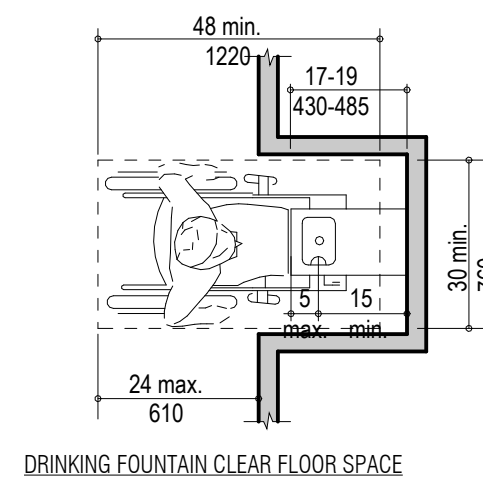
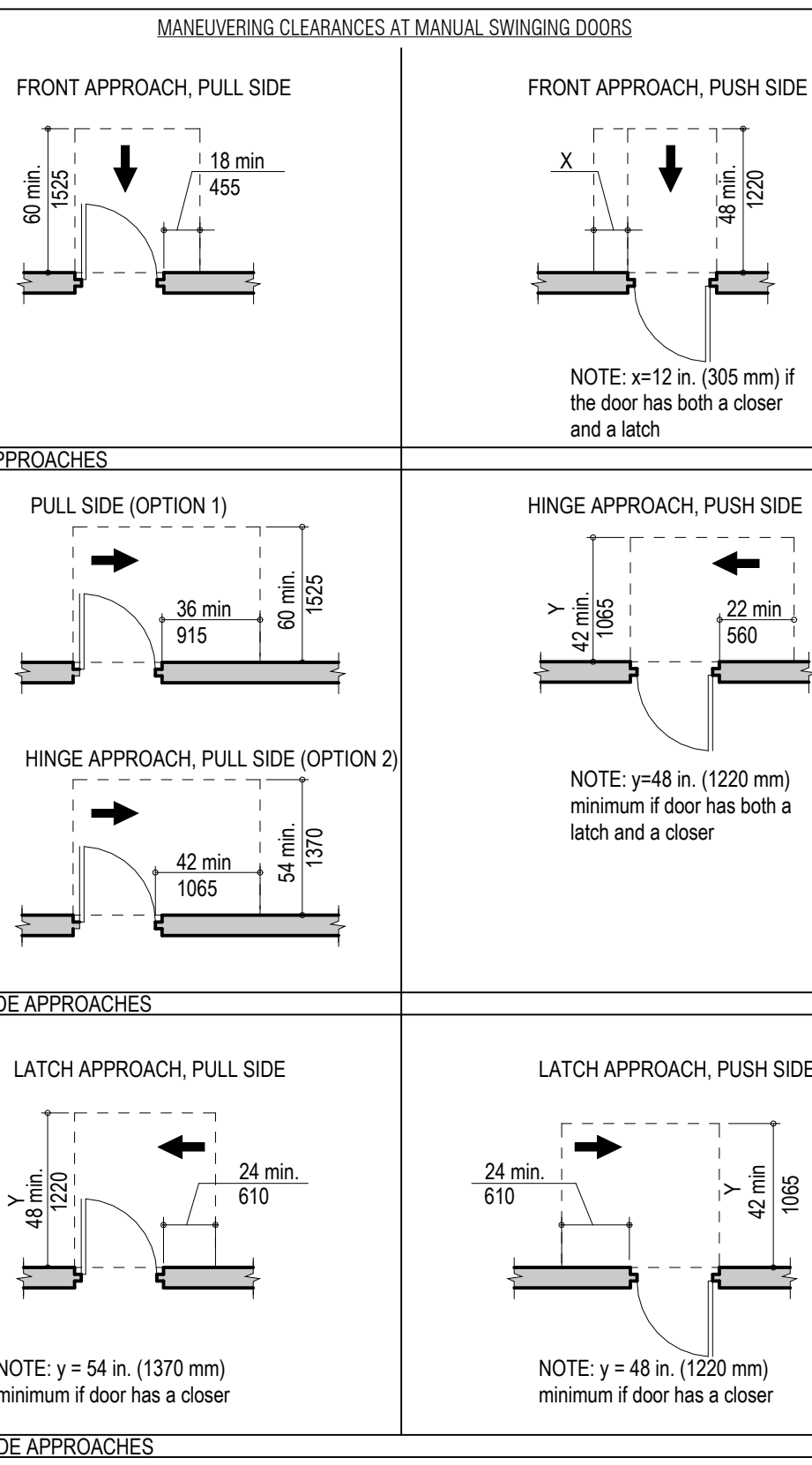
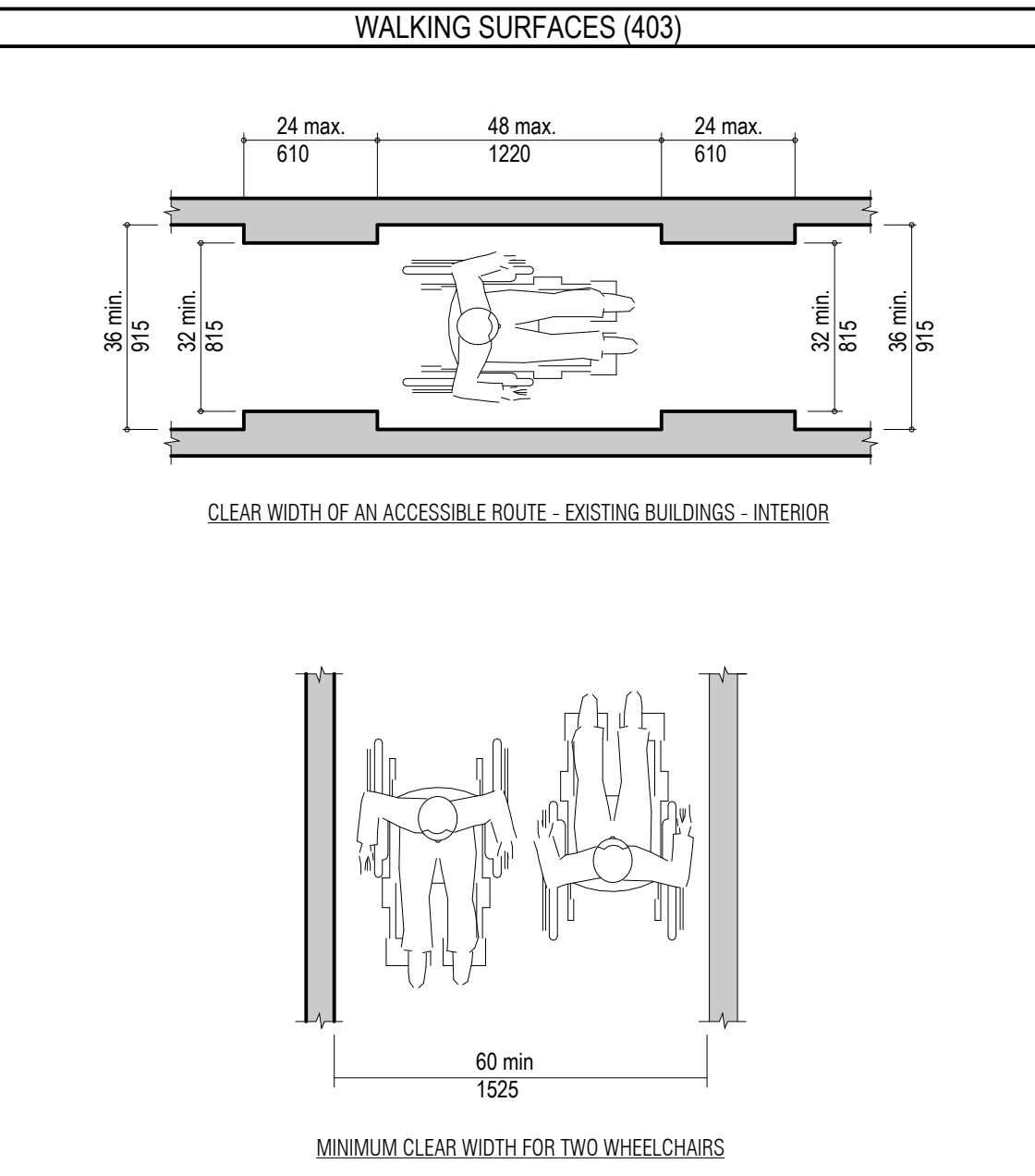
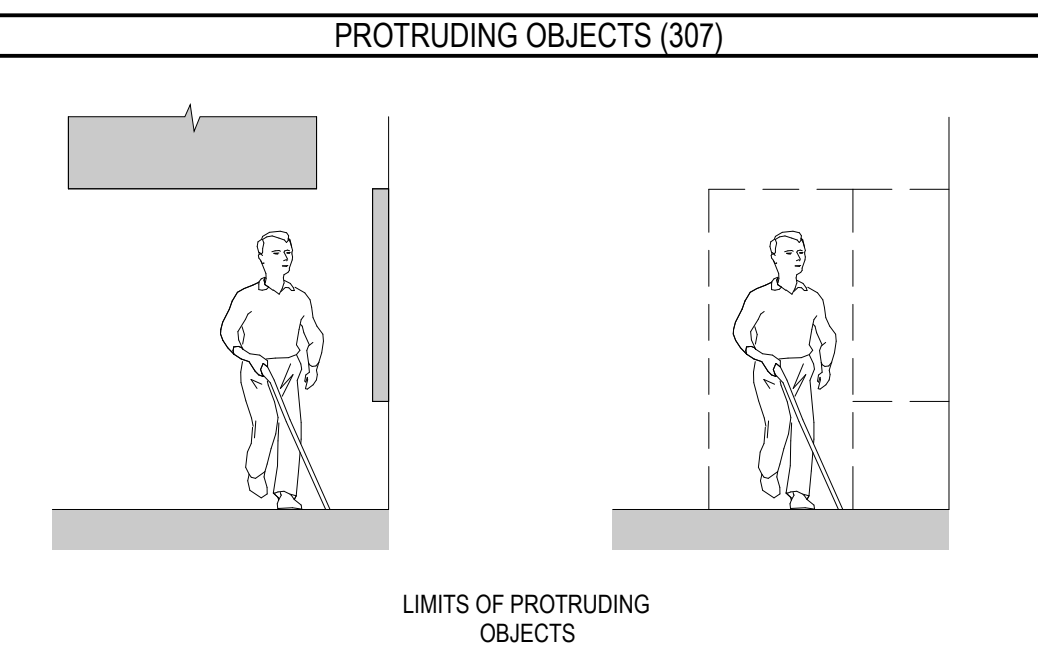
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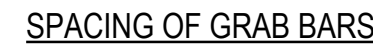
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ARCHITECT PROJECT NUMBER
2483

DOORS AND DOORWAYS (404)



GRAB BARS (609)

[illegible]

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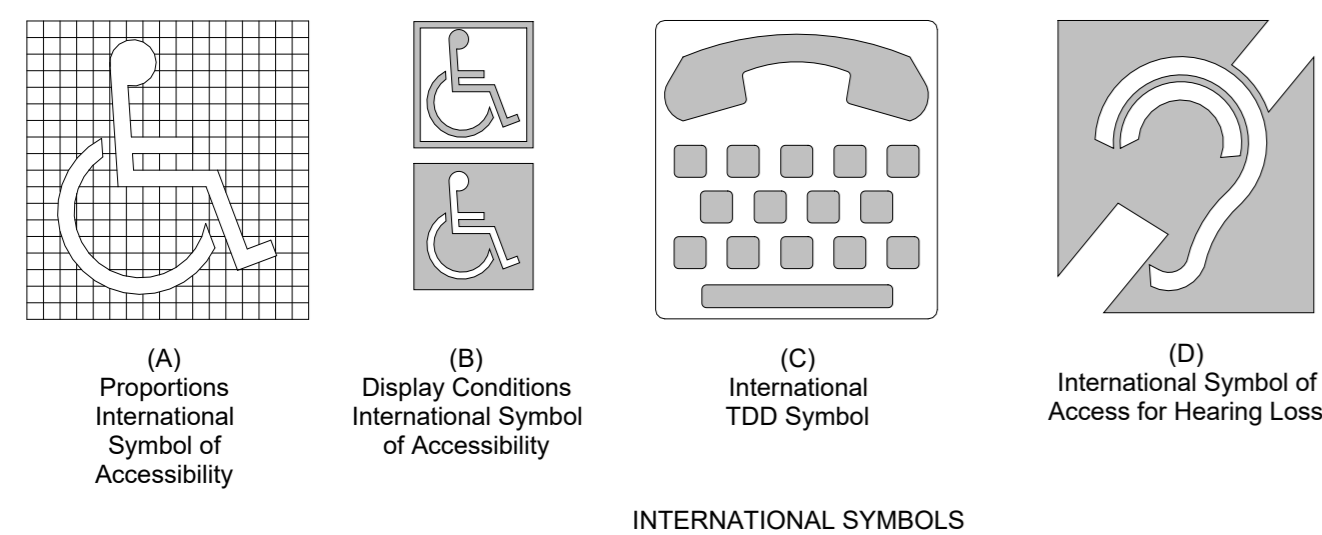
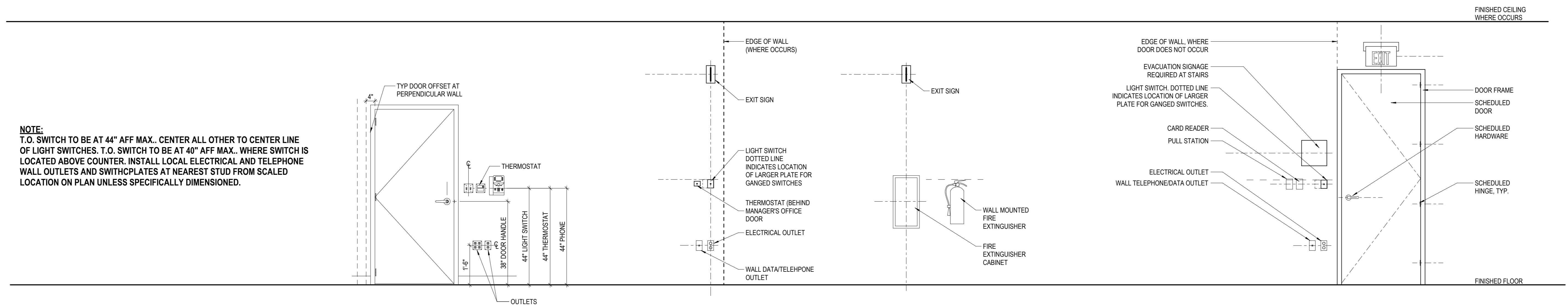
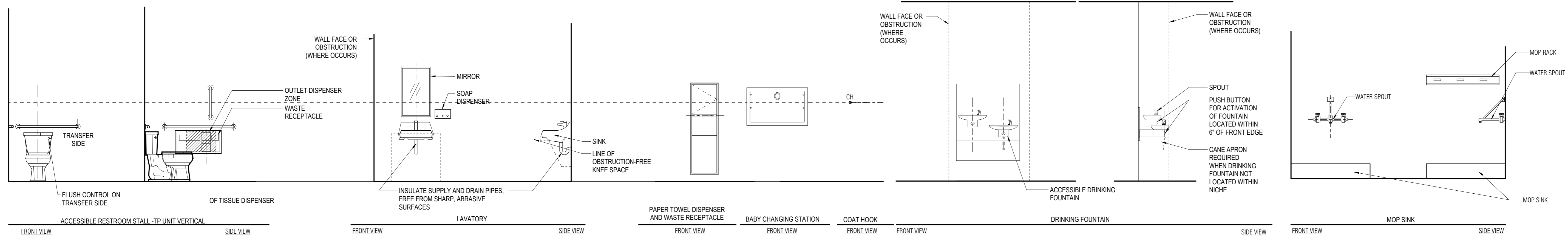
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ACCESSIBILITY STANDARDS - INTERIOR (2017- ICC/ANSI A117.1)

SHEET NUMBER

G0.06

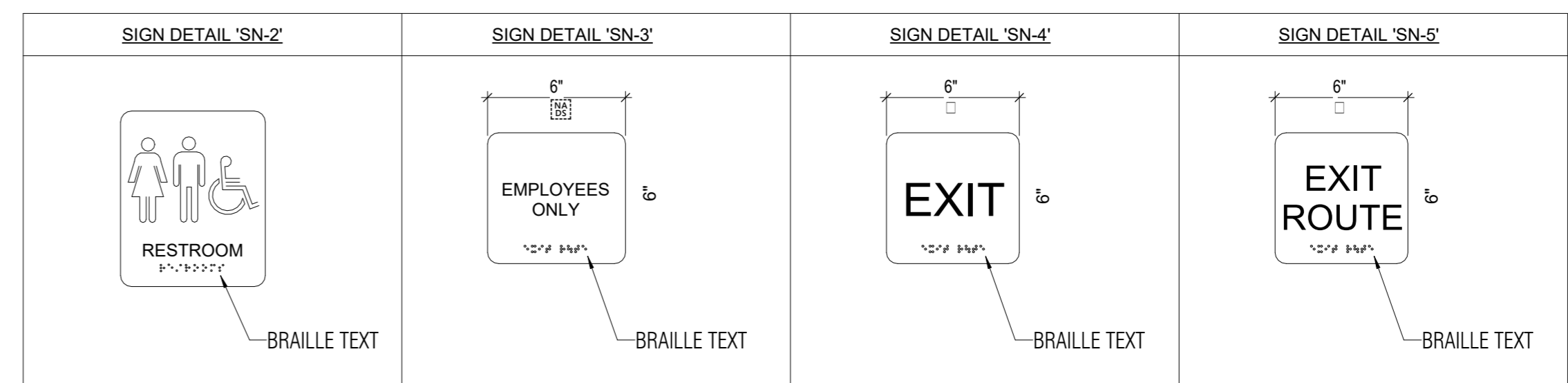
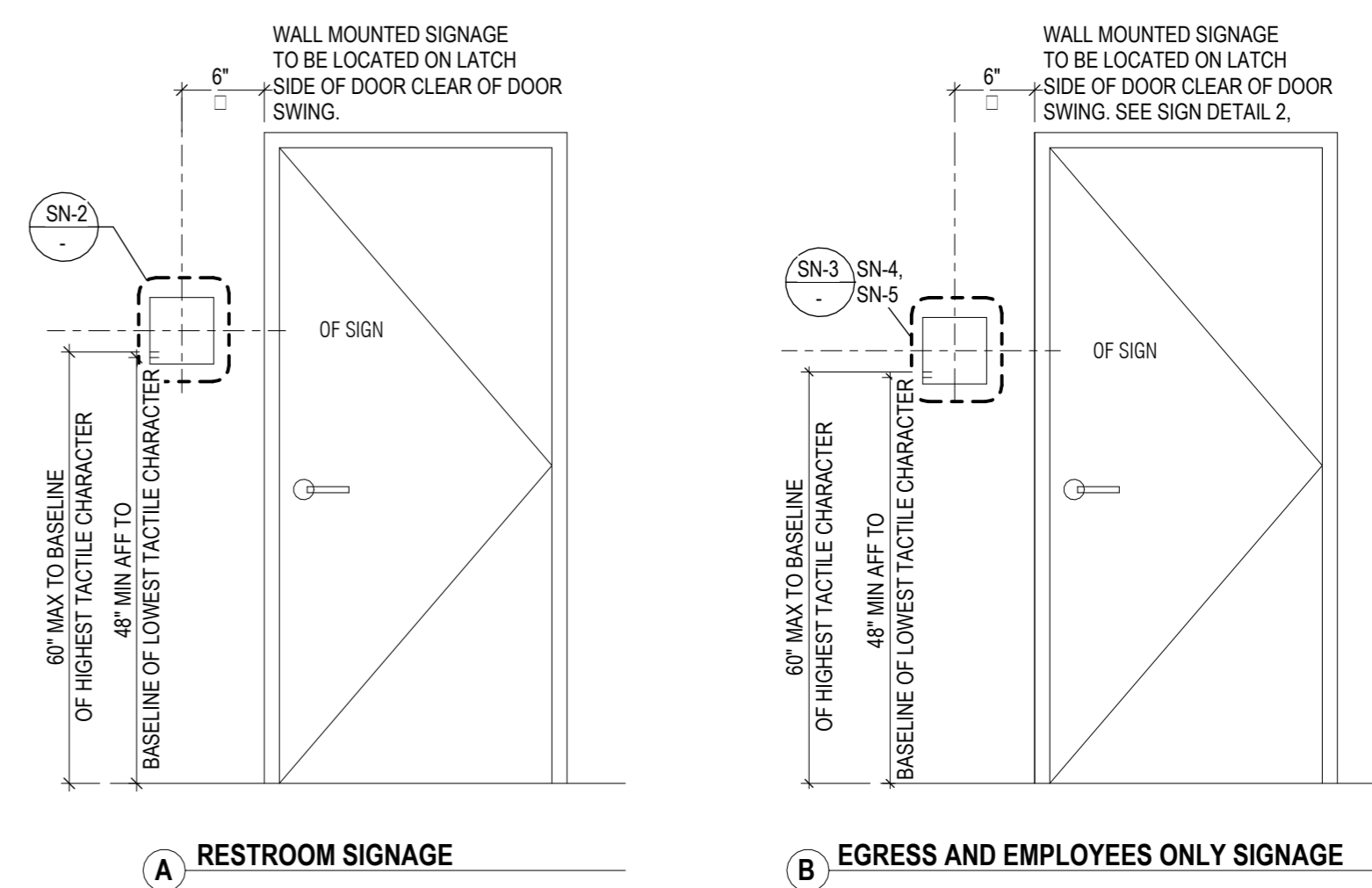
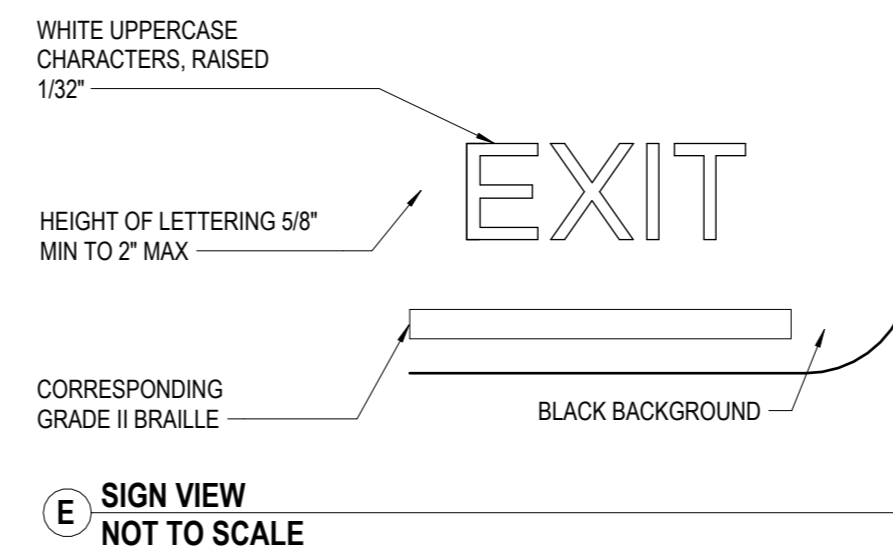
ARCHITECT PROJECT NUMBER
2483



TACTILE EXIT SIGNAGE

1. A TACTILE EXIT SIGN WITH WORDS "EXIT," SHALL IDENTIFY EACH GRADE LEVEL EXTERIOR EXIT DOOR.
2. EACH EXIT DOOR THAT LEADS DIRECTLY TO GRADE LEVEL EXTERIOR BY MEANS OF A STAIRWAY OR RAMP
3. SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE: " EXIT STAIR
DOWN OR UP"
4. A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE" SHALL IDENTIFY EACH EXIT ACCESS DOOR FROM AN
INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN.
5. SIGNAGE MUST INCLUDE 1/32" RAISED CHARACTERS ACCOMPANIED WITH GRADE 2 BRAILLE AND THE
INTERNATIONAL SYMBOL OF ACCESSIBILITY ON THE WALL ADJACENT TO THE DOOR AND LOCATED 60" ABOVE
THE FLOOR.

NOTE: SEE EGRESS PLAN FOR TENANT SPECIFIC SIGNAGE



TOWNSHIP STAMP

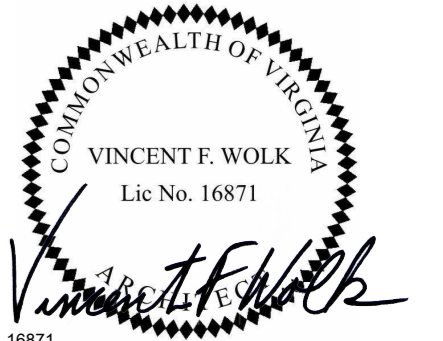


**WF BRANCH
NORTH
WASHINGTON**

330 N WASHINGTON STREET
ALEXANDRIA, VA 22314

LONGO ARCHITECTS
& ASSOCIATES LCC

36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



VA LIC #: 16871

CONSULTANTS

REVISIONS

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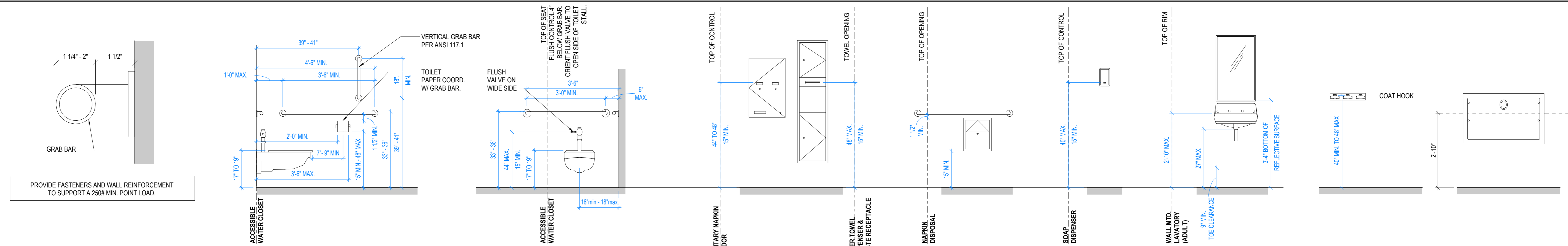
SHEET TITLE

TYPICAL MOUNTING HEIGHT & SIGNAGE DETAILS 2009 ICC

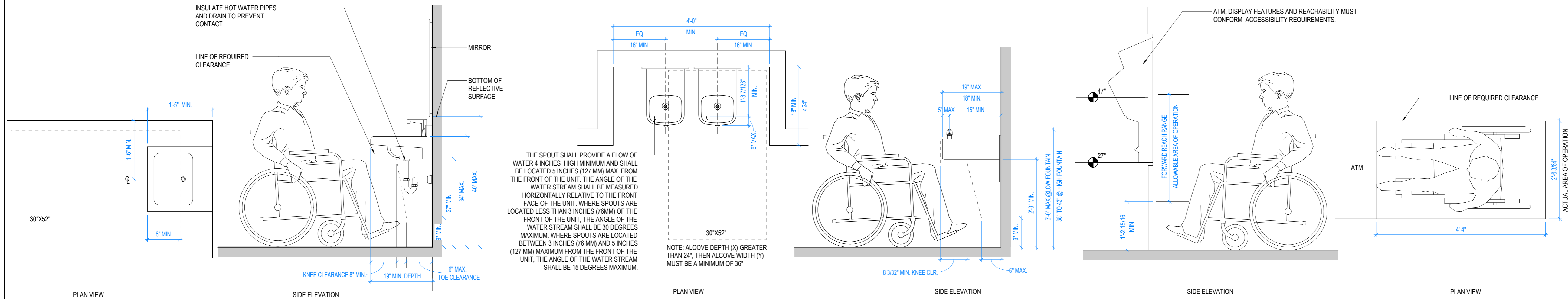
SHEET NUMBER

G0.07

ARCHITECT PROJECT NUMBER
2483



4 ACCESSIBLE -TYPICAL ACCESSORY HEIGHTS

$$1/2'' = 1'-0''$$


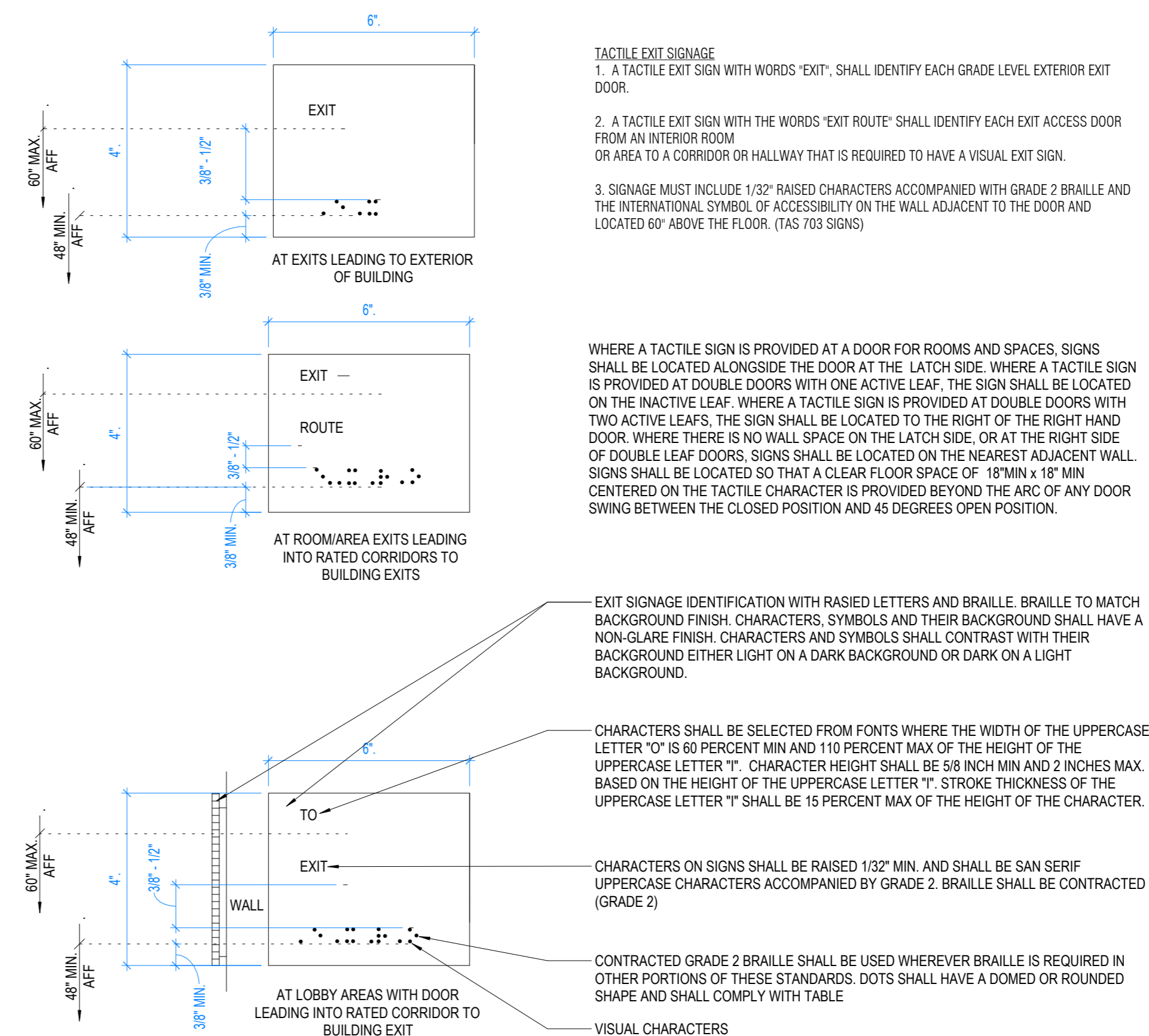
2 ACCESSIBLE - LAVATORY

$$3/4'' = 1'-0''$$

1 ACCESSIBLE - DRINKING FOUNTAINS

$3/4" = 1'-0"$

3 ATM APPROACH CLEARANCES

$$3/4" = 1'-0"$$


5 TACTILE EXIT SIGN

6" = 1'-0"

TOWNSHIP STAMP

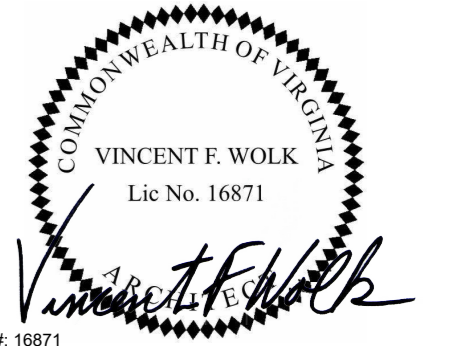


**WF BRANCH
NORTH
WASHINGTON**

330 N WASHINGTON STREET
ALEXANDRIA, VA 22314

LONGO ARCHITECTS
& ASSOCIATES LCC

36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



VA LIC #: 16871

CONSULTANTS

REVISIONS

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SHEET TITLE

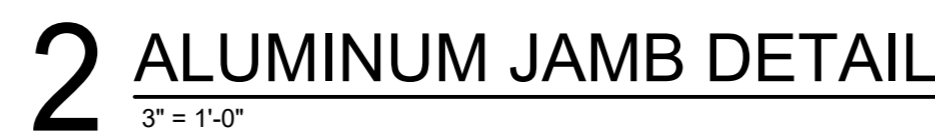
TYPICAL MOUNTING HEIGHT & SIGNAGE DETAILS 2017 ICC

SHEET NUMBER

G0.08

ARCHITECT PROJECT NUMBER

483



**WF BRANCH
NORTH
WASHINGTON**

LONGO ARCHITECTS
& ASSOCIATES LCC

COMMONWEALTH OF VIRGINIA
VINCENT F. WOLK
Lic No. 16871

Vincent F. Wolk

VA LIC # 16871

CONSULTANTS

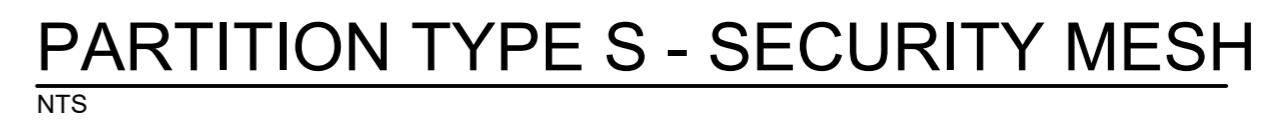
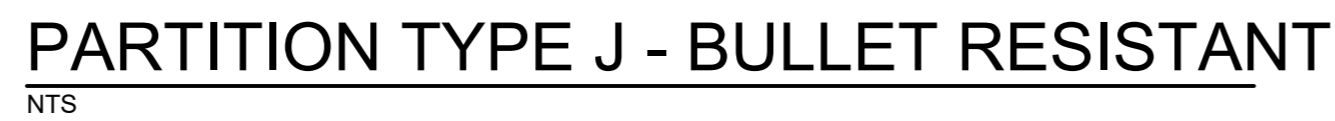
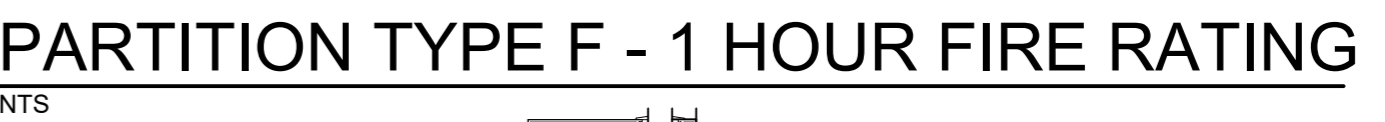
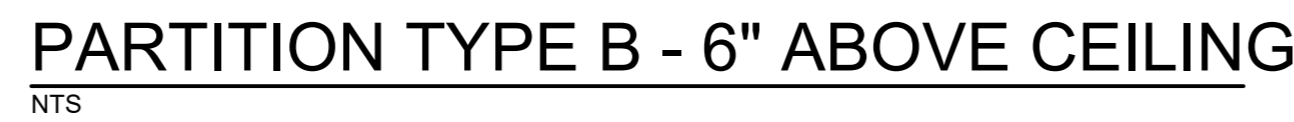
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WF PROJECT #392021

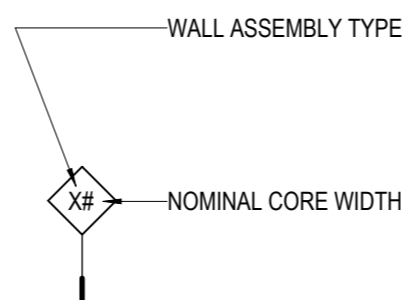
INTERIOR DOOR DETAILS

G0.13

ARCHITECT PROJECT NUMBER
2483



TYPE	DESCRIPTION	SSMA #	STUD SPACING (IN)	MAX DEFLECTION	MAX HT	STC	THICKNESS	COMMENTS
A3	3/8" METAL STUDS WITH ONE LAYER 5/8" GYPBOARD ON EACH SIDE, EXTENDING TO BOTTOM OF DECK	362SG 162-43	16	L/240 STANDARD L/360 W/TILE	19' - 2"	35	<varies>	16'-9" MAX. HT. W. TILE
A6	6" METAL STUDS WITH ONE LAYER 5/8" GYPBOARD ON EACH SIDE, EXTENDING TO BOTTOM OF DECK	600SG 162-43	16	L/240 STANDARD L/360 W/TILE	27' - 4"	35	7 1/4"	24' 1" MAX. HT. W. TILE
B3	3/8" METAL STUDS WITH ONE LAYER 5/8" GYPBOARD EACH SIDE (PARTITION TERMINATES 6" ABOVE CEILING)	362SG 162-43	16	L/240	16' - 3"	35	4 7/8"	
B6	6" METAL STUDS WITH ONE LAYER 5/8" GYPBOARD EACH SIDE (PARTITION TERMINATES 6" ABOVE CEILING)	600SG 162-43	16	L/240	16' - 3"	35	7 1/4"	
D3	3/8" METAL STUDS WITH ONE LAYER 5/8" GYPBOARD ON FINISH SIDE (PARTITION TERMINATES 6" ABOVE CEILING)	362SG 162-43	16	L/240	16' - 3"	35	4 1/4"	
P6	6" METAL STUDS WITH ONE LAYER 5/8" TYPE "X" GYPBOARD EACH SIDE, EXTENDING TO BOTTOM OF DECK	600SG 162-43	16	L/240	27' - 4"	35	7 1/4"	



CEILING WIRE ATTACHMENT	
CONSTRUCTION TYPE	FASTENER
WOOD	1/4" x 3" SCREW EYES
STEEL DECK	PRE-DROP WIRES, CMI DC 1 OR DC 2-1/4" METAL DECK SCREW EYES.
POST TENSION CONCRETE	PRE-DROP WIRES, EMBEDS, 1/4" x 3/4" METAL HIT ANCHORS.
POURED IN PLACE CONCRETE	PRE-DROP WIRES, EMBEDS, 1/4" x 3/4" METAL HIT ANCHORS.

NOTE:
THIS TABLE IS PROVIDED TO GIVE GUIDANCE FOR ALTERNATIVES; FOR OTHER STATES VERIFY WITH AUTHORITY HAVING JURISDICTION



**WF BRANCH
NORTH
WASHINGTON**

LONGO ARCHITECTS
& ASSOCIATES LLC

CONSULTANTS

REVISIONS

[illegible]

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DATE ISSUED: 10/21/2024

REVIEWED BY: V.F.W.

DRAWN BY: L.C.A.

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WF PROJ. #392021

SHEET TITLE

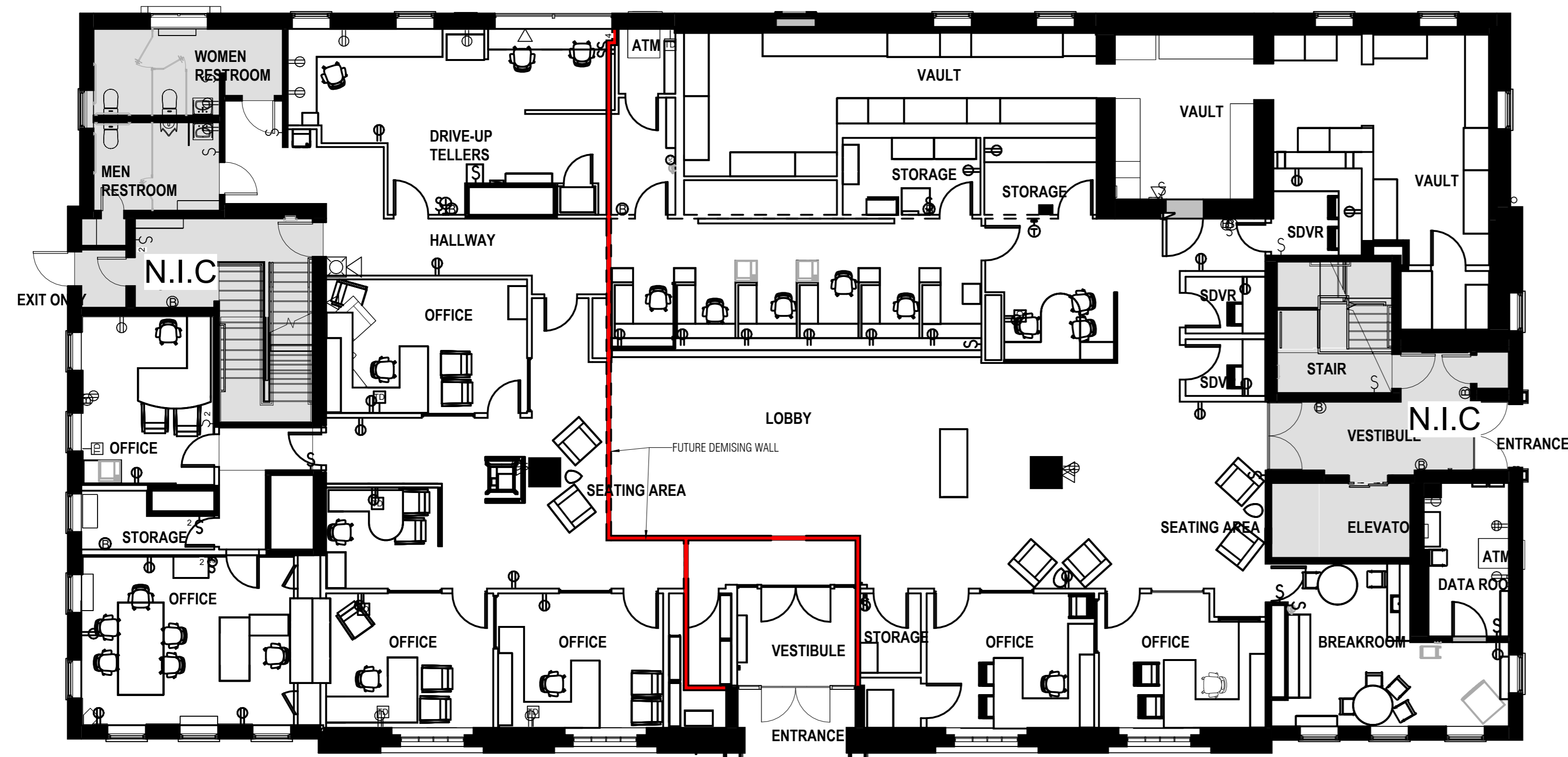
INTERIOR ASSEMBLY TYPES

SHEET NUMBER

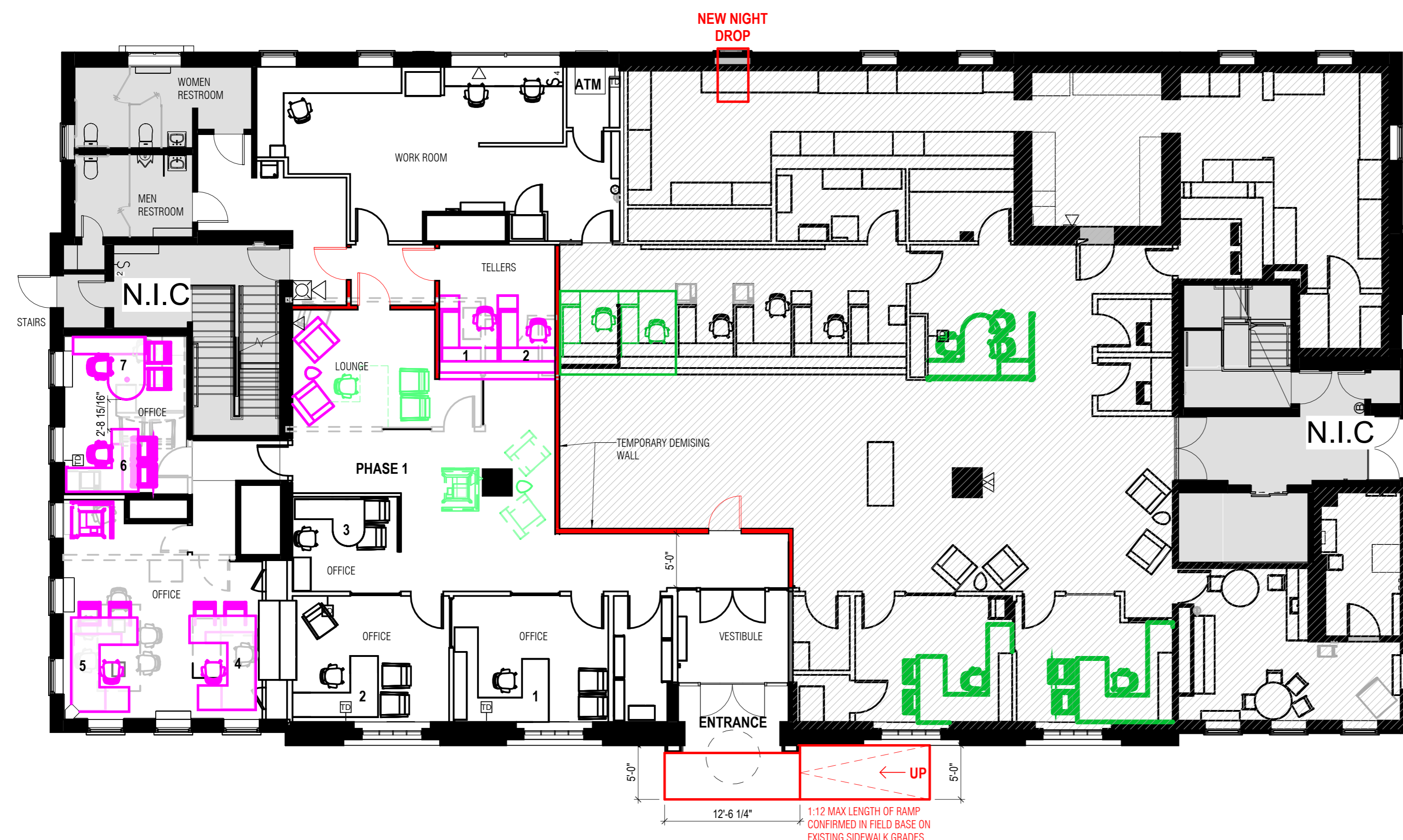
G0.16

ARCHITECT PROJECT NUMBER

483



1 EXISTING FIRST FLOOR PLAN-SPLIT (FUTURE DIMISING WALL)



2 EXISTING FIRST FLOOR PLAN TEMPORARY BRANCH-PHASE 1



**WF BRANCH
NORTH
WASHINGTON**

330 N WASHINGTON STREET
ALEXANDRIA, VA 22314





LONGO ARCHITECTS
& ASSOCIATES LCC

38 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



VA. LIC #: 16871 *Vincent F. Wolk* SEAL
CONSULTANTS

COLOR LEGEND

-  DEMOLISHED
-  ITEMS TO BE RELOCATED
-  RELOCATED ITEMS
-  NEW WALL, DOORS, AND ETC.

REVISIONS

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DRAWN BY: Author

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WF PROJ. #654321

SHEET TITLE

CONSTRUCTION PHASING PLAN

SHEET NUMBER

PH-100

ARCHITECT PROJECT NUMBER
2483



1. ALL DEMOLITION, RECYCLING AND DISPOSAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ADOPTED FEDERAL, STATE AND LOCAL BUILDING CODES, LAWS AND REQUIREMENTS OF ALL REGULATORY AUTHORITIES HAVING JURISDICTION.
2. CONTACT ALL SITE UTILITY COMPANIES FOR PAVEMENT MARKOUTS PRIOR TO ANY EXCAVATIONS.
3. ALL DEBRIS FROM DEMOLITION WORK SHALL BE REMOVED AND LEFT BROOM CLEAN ON A DAILY BASIS. THERE SHALL BE NO TRACKING OF DEBRIS OR LIQUIDS ON PAVEMENT OR OFF SITE.
4. PRIOR TO DEMOLITION CONSTRUCT BARRIERS TO PROTECT PEDESTRIANS AND VEHICLES.
5. PROVIDE ADEQUATE TEMPORARY LIGHTING FOR SAFE DEMOLITION.
6. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL UTILITIES TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE FROM DEMOLITION AND CONSTRUCTION.
7. ALL DEMOLITION SHALL BE CAREFULLY PERFORMED SO AS NOT TO LOOSEN, SHATTER, CRACK OR DAMAGE ADJACENT EXISTING MATERIALS TO REMAIN.
8. ALL DEMOLITION AND DISCONNECTION WORK SHALL BE PERFORMED WITH THE BEST ACCEPTED PRACTICES OF THE RESPECTIVE TRADES AND ASSOCIATIONS.
9. PROVIDE DUMPSTER, IF REQUIRED, AT LOCATIONS AS APPROVED BY OWNER, TENANT AND MUNICIPALITY.
10. ALL REMOVED MATERIALS, EXCEPT AS THE OWNER MAY ELECT TO KEEP, SHALL BECOME THE PROPERTY OF THE GENERAL CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF OR RECYCLED.
11. THE CONTRACTOR SHALL PROTECT ALL EXISTING AREAS TO REMAIN FROM DAMAGE.
12. WHERE REMOVALS OCCUR NEAR ADJACENT MATERIALS TO REMAIN, ACCURATELY CUT EXISTING WORK AT POINTS OF REMOVAL WITH CLEAN, NEAT EDGES TO MINIMIZE PATCHING.

A. PATCH EXISTING SURFACES TO REMAIN WHERE ITEMS ARE TO BE REMOVED.

B. GENERAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING FOR ALL TRADES.

C. NO DISPOSAL OF CONSTRUCTION WASTE FLUIDS SHALL BE ALLOWED IN ANY EXISTING BATHROOM FACILITIES OR WASTE LINES.

D. CONSTRUCTION WATER IS AVAILABLE AT THE SITE. THE GENERAL CONTRACTOR SHALL INSTALL AND MAINTAIN HOSES NECESSARY OF THE USE OF ALL TRADES.

E. EXISTING AFFECTED WORK SHALL BE PREPARED TO MATCH EXISTING AND TO MEET NEW CONDITIONS.

F. WHERE FLOORING IS SCHEDULED TO BE REMOVED, REMOVE ADHESIVES AND PREPARE SUBFLOOR FOR NEW FINISH.

G. GRIND SMOOTH ANY FLOOR PROJECTIONS, BUMPS AND IRREGULAR SURFACES ABOVE TOP OF FLOOR SLAB TO ALLOW FOR SMOOTH AND LEVEL PATCHING.

H. WHERE BASE IS SCHEDULED TO BE REMOVED, CAREFULLY REMOVE BASE WITHOUT DAMAGING GYP BD FINISH. REPAIR ANY DAMAGED GYPSUM BOARD.

I. WHERE WALL MOUNTED FIXTURES ARE SCHEDULED TO BE REMOVED, REMOVE ASSOCIATED CONDUIT AND WIRING BACK TO PANEL.

J. WHERE WALLS ARE REMOVED, REMOVE EXISTING OUTLETS, PHONE JACKS, AND SWITCHES, ETC., REMOVE SAME FROM FLOOR AND SAFE OFF ALL WIRING AS REQUIRED. REFER TO ELECTRICAL ENG. DWGS.

NOTE:
GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A LEVEL FLOOR. 1/8" VARIATION IN 10 FEET. G.C. IS
REQUIRED TO SURVEY THE FLOOR PRIOR TO SUBMITTING THEIR BID. NO ADDITIONAL LEVELING COST WILL
BE ACCEPTED AFTER SUBMISSION OF BID. AN ALLOWANCE FOR LEVELING IS ALSO NOT ACCEPTABLE

WF BE NUMBER 123456

DEMOLITION PLAN

D0.01

ARCHITECT PROJECT NUMBER
2483

ARCHITECT PROJECT NUMBER
2483



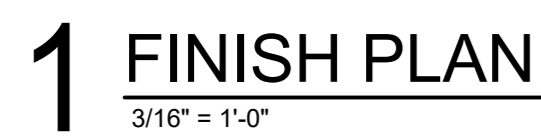
 DOOR TAG
  GLAZING TAG

XX# — ASSEMBLY WALL TYPE, SEE G0.09A

- A. REFER TO PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.
- B. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ACCESS DOOR LOCATIONS.
- C. REFER TO PLUMBING DRAWINGS FOR ALL PLUMBING FIXTURE SPECIFICATIONS.
- D. PROJECT SLAB CONDITION IS ON-GRADE. UPDATE PER PROJECT.
- E. REFER TO INTERIOR WALL ASSEMBLIES FOR WALL DETAILS AND INFORMATION.
- F. MAXIMUM SLOPE OF FLOOR OR LANDING ABOVE EXISTING FLOORS IS 1/2 INCH REVEL CHANGE IN LEVEL GREATER THAN 1/4 INCH AT A SLOPE NOT TO EXCEED 1/2 IN IN ACCORDANCE WITH ADA/ANSI 303.2 AND 303.3.
- G. VERIFY EXISTING ABANDONED CORE DRILL LOCATIONS AND FILL AS REQUIRED WITH MATERIAL TO MEET ACQUISITION AND FIRE RATING OF ADJACENT CONSTRUCTION. LEAVE SUCH PATCHED AREAS FLAT AND FLUSH, IN PREPARATION TO RECEIVE NEW FLOOR FINISH AS SCHEDULED.
- H. LOCATE HINGE JAMBS 4" FROM FACE OF ADJACENT WALL, UNLESS NOTED OTHERWISE.
- I. REFER TO SHEET A80 FOR DOOR, GLAZING AND HARDWARE SCHEDULE.
- J. IF EXISTING INSULATION IS REMOVED, PATCH MISSING, PATCH AND REPLACE INSULATION TO MATCH EXISTING CONDITIONS AND MAINTAIN REQUIRED R-VALUES. ANY NEW INSULATION AND WALL ASSEMBLY PRODUCTS TO BE LOW-EMITTING.
- K. COORDINATE INSTALLATION DETAILS AND LOCATIONS OF ARTWORK, SIGNAGE & MARKETING WITH WELLS FARGO PROJECT MANAGER. WELLS FARGO DSSG STORE FORMAT AND BRANDED ENVIRONMENTS TEAM.
- L. TELE/ DATA/ ELECTRICAL ROOM TO BE ROOM READY IN ORDER FOR WELLS FARGO VENDORS TO BEGIN INSTALLING TECHNOLOGY AND SECURITY ELEMENTS. ROOM READY CONDITION INCLUDES PERMANENT POWER, PERMANENT HAND PAINTED PLYWOOD WALLS, CEILING, CEILING GRID, FINISHED FLOOR, AND LOCKABLE.
- M. COORDINATE TELE/ DATA/ ELECTRICAL ROOM EQUIPMENT INSTALLATION SCHEDULES WITH WELLS FARGO VENDORS.
- N. REPLACE GYPSUM BOARD WITH CEMENT BOARD BEHIND AREA WITH WALL FINISH.

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ARCHITECT PROJECT NUMBER
2483



LEGEND		KEYNOTES		SHEET NOTES		
	KEYNOTE		FF-1	1	MARKETING ELEMENT LOCATION, DESIGN, PRODUCTION, AND INSTALLATION BY WELLS FARGO VENDOR. KEEP WALL CLEAR OF ALL WALL-MOUNTED DEVICES. CONTRACTOR TO PROVIDE LEVEL 5 DRYWALL FINISH.	<p>A. REFER TO G-SHEETS FOR PROJECT NOTES APPLICABLE TO ALL PORTIONS OF THE WORK.</p> <p>B. ALL DRYWALL PARTITIONS TO BE FINISHED TO LEVEL 4 PER ASTM C840.</p> <p>C. ALL PAINTED SURFACES TO BE MASTER PAINTER'S INSTITUTE LEVEL 4 - EGGSHELL FINISH. PREMIUM SYSTEM INSTALLATION U.O.N.</p> <p>D. ALL FLOORING MATERIALS TRANSITION IN MIDDLE OF DOORWAY U.O.N. REFER TO A7.01 FOR ADDITIONAL INFORMATION.</p> <p>E. ACCESS PANELS, VISIBLE COVERS OR ENCASEMENT ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES.</p> <p>F. PARTITION AND PAINTED CEILING FINISH TRANSITIONS/TERMINATIONS TO OCCUR AT INSIDE CORNER, U.O.N.</p> <p>G. SCORE VINYL BASE AND PROVIDE NO SEAMS WITHIN 4 INCHES AT ALL OUTSIDE CORNERS.</p> <p>H. MARKETING SUPPLIED AND INSTALLED BY PROJECT MANAGER. FINAL TYPE, QUANTITY AND LOCATIONS TO BE DETERMINED BY PROPERTY MANAGER AND WELLS FARGO BRANDED ENVIRONMENT TEAM</p> <p>I. ALL EXISTING DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT PARTITION WITH SEMI-GLOSS FINISH, U.O.N.</p> <p>J. REFER TO SHEET G0.088 FOR FINISH SCHEDULE.</p> <p>K. ALL WALLS, COLUMN SURFACES TO BE PAINTED WF-1, U.O.N.</p> <p>L. ALL WALLS, COLUMN SURFACES TO RECEIVE WALL BASE B-1, RESTROOM TO RECEIVE WALL BASE B-2, U.O.N.</p> <p>M. NO RUBBER BASE TO BE APPLIED TO EXISTING STOREFRONT. IF RUBBER BASE IS EXISTING, COLOR AND HEIGHT TO MATCH STOREFRONT SILL.</p> <p>N. NON-COMBUSTIBLE PLYWOOD LABELS ON PLYWOOD WALLS INSTALLED IN ELECTRICAL ROOM ARE TO REMAIN UNPAINTED. PAINT REMAINING PLYWOOD AREA.</p> <p>O. PATCH, LEVEL AND OTHERWISE PREPARE SUB FLOORING IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.</p> <p>P. GRIND, FILL, OR OTHERWISE LEVEL SUBSTRATES TO MEET MAX. ALLOWABLE TOLERANCE: 1/4" OVER 10' WITH SLOPE NO GREATER THAN 2% IN ANY DIRECTION.</p> <p>Q. INSTALL BASE IN LONGEST AVAILABLE LENGTH WITH NO PIECE LESS THAN 12". DO NOT LOCATE JOINTS AT OUTSIDE CORNERS OR WITHIN 6" OF INSIDE CORNERS.</p> <p>R. WALLCOVERING NOT TO BE INSTALLED ON EXTERIOR WALLS.</p> <p>S. PROVIDE 1% OR BOX OF FLOORING FOR ATTIC STOCK, WHICHEVER IS GREATER. <u>[CONFIRM REQUIREMENT WITH WELLS FARGO CONSTRUCTION PROJECT MANAGER.]</u></p> <p>T. REFER TO INTERIOR ELEVATIONS FOR DESIRED WALLCOVERING SEAMING CONFIGURATION. CONTRACTOR TO PROVIDE PROJECT-SPECIFIC SEAMING DIAGRAM SHOP DRAWINGS FOR ARCHITECT REVIEW.</p>
	FLOOR FINISH TAG		FF-2	1	MARKETING ELEMENT LOCATION, DESIGN, PRODUCTION, AND INSTALLATION BY WELLS FARGO VENDOR. KEEP WALL CLEAR OF ALL WALL-MOUNTED DEVICES. CONTRACTOR TO PROVIDE LEVEL 5 DRYWALL FINISH.	
	WALL AND BASE FINISH TAG		FF-3	2	FLOOR FINISH TO EXTEND BENEATH MILLWORK.	
	WALL FINISH TAG		FF-4	3	NEW FLOOR BOX TO BE INSTALLED. REFER TO POWER PLAN, INTERIOR DETAILS, AND ELECTRICAL DRAWINGS.	
	FLOOR TRANSITION DETAIL		FF-5			
	FLOORING DIRECTION TAG		FF-6			
	ALIGN SYMBOL					

ARCHITECT PROJECT NUMBER
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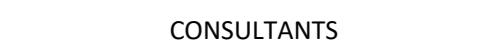
CF-3:
GYPSUM WALLBOARD CEILING CF-4 FINISH

- REFER TO ELECTRICAL ENGINEER DRAWINGS FOR FIXTURE
SCHEDULE.

1	MARKETING ELEMENT LOCATION. DESIGN, PRODUCTION, AND INSTALLATION BY WELLS FARGO VENDOR. KEEP WALL CLEAR OF ALL WALL-MOUNTED DEVICES. CONTRACTOR TO PROVIDE LEVEL 5 DRYWALL FINISH.
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- A. REFER TO PROJECT NOTES ON SHEET G0.01 FOR PROJECT NOTES APPLICABLE TO PORTIONS OF THE WORK.
- B. REFER TO SHEET G0.08B FOR CEILING FINISHES.
- C. REFER TO MEP DRAWINGS FOR ACCESS DOOR LOCATIONS.
- D. REFER TO ELECTRICAL DRAWING FOR LIGHT FIXTURE SCHEDULES AND COORDINATION.
- E. REFER TO MEP DRAWINGS FOR FULL EXTENT OF INTERIOR AND EXTERIOR LIGHTING SCOPE AND SPECIFICATIONS.
- F. ALL SWITCH AND COVER PLATES TO BE WHITE. PROVIDE OCCUPANCY SENSOR SWITCHES FOR ALL ENCLOSED ROOMS. SEE MEP DRAWINGS FOR SWITCHING SCOPES.
- G. REMOVE EXISTING LIGHT FIXTURES AS REQUIRED AND/OR SHOWN ON REFLECTED CEILING PLAN.
- H. SPRINKLER HEADS TO BE CENTERED IN ACOUSTICAL TILE. UNLESS NOTED OTHERWISE, SYSTEM ADDITION AND HEADS TO MATCH EXISTING BUILDING STANDARD. CONTRACTOR TO COORDINATE WITH FIRE SPRINKLER AND FIRE ALARM DESIGN/BUILD CONTRACTORS TO ENSURE MODIFICATIONS MEET CODE.
- I. ALL LIGHTING DEVICES AT CEILING TO BE DESIGNED, FURNISHED, AND INSTALLED BY WELLS FARGO SECURITY VENDOR. VENDOR TO COORDINATE ASSOCIATED POWER/DATA CONNECTIONS WITH GC AS REQUIRED.
- J. CENTER CEILING GRID IN ROOM, U.O.N.
- K. DOWN LIGHTS TO BE CENTERED IN ACOUSTICAL TILE, U.O.N.
- L. THE SUSPENDED CEILING GRID SHALL BE ATTACHED TO TWO ADJACENT WALLS. (SOFFITS EXTENDING TO A POINT AT LEVEL WITH THE BOTTOM PLANE OF THE GRID AND INDEPENDENTLY SUPPORTED AND LATERALLY BRACED TO THE STRUCTURE ABOVE ARE DEEMED TO BE EQUIVALENT TO WALLS.)
- M. FOR CEILING AREAS EXCEEDING 2000 SQUARE FEET, A SEISMIC SEPARATION JOINT SHALL BE PROVIDED. REFER TO 01.05.01 FOR JOINT DETAIL. SUSPENDED CEILING SYSTEMS ON GYPSONUM WALLBOARD CEILING DETAILS.
- N. WHERE GYPSONUM WALLBOARD CEILINGS ARE INDICATED, PROVIDE 5/8" SAG-RATING CEILING BOARD (TYPE "C") AS DEFINED IN ASTM C1396/ C1396M. FINISH AS INDICATED.
- O. ALIGN CENTERLINE OF CEILING GRID, LIGHT FIXTURES, AND MECHANICAL DEVICES WHEN POSSIBLE AND U.O.N.
- P. THE EXISTING HEIGHT TO THE UNDERSIDE OF LOWEST POINT OF JOISTS IS APPROXIMATELY 16'-9" A.F.F.
- Q. REFER TO LIGHTING VENDOR INSTALLATION DRAWINGS FOR CLUSTER PENDANT HEIGHTS AND SPACING.

ARCHITECT PROJECT NUMBER
2483

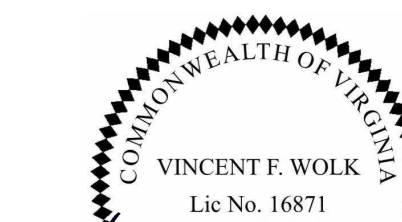




**WF BRANCH
NORTH
WASHINGTON**

LONGO ARCHITECTS
& ASSOCIATES LLC

36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



VA. LIC #: 1687

CONSULTANTS

REVISIONS

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WF PROJ. #654321

SHEET TITLE

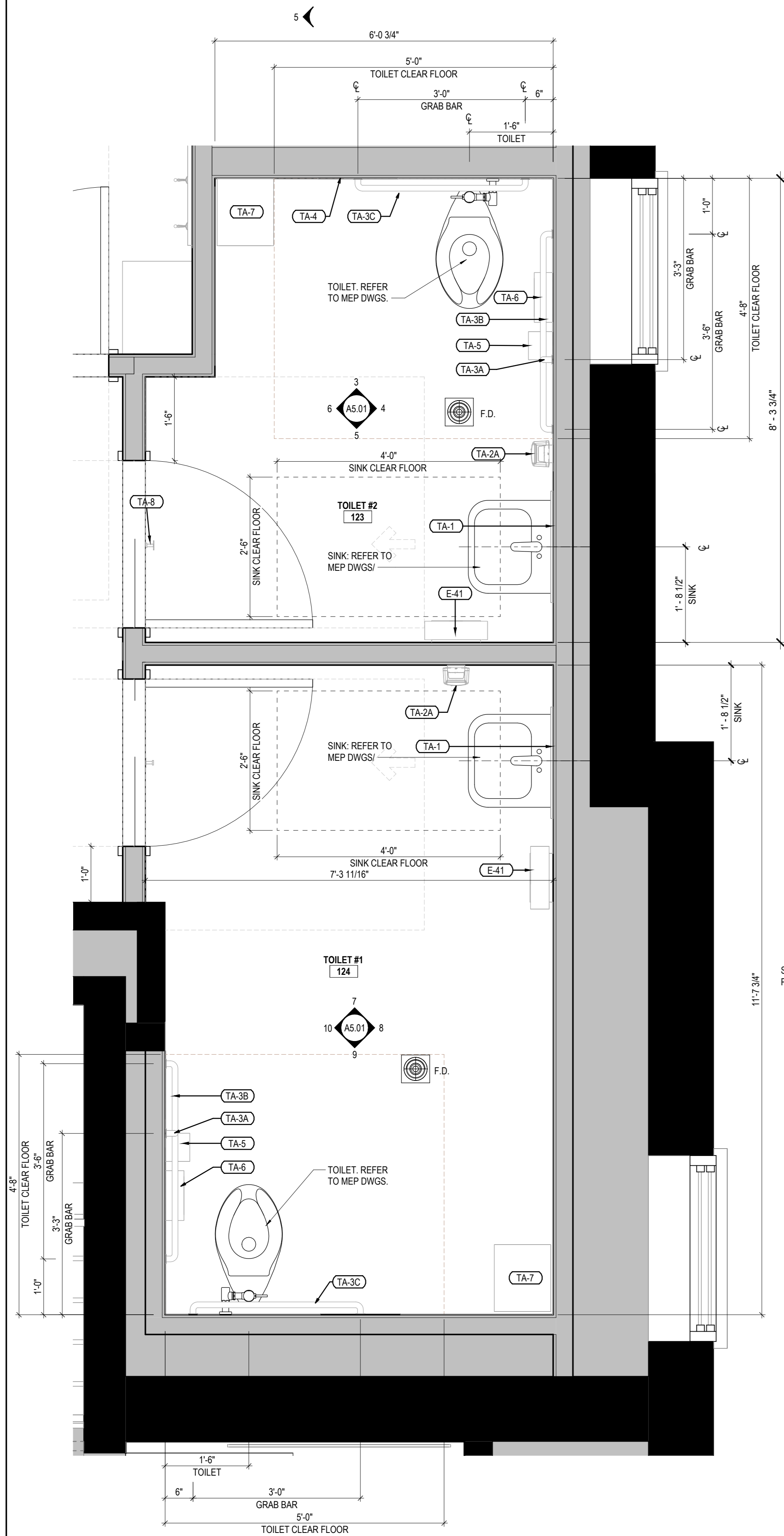
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SHEET NUMBER

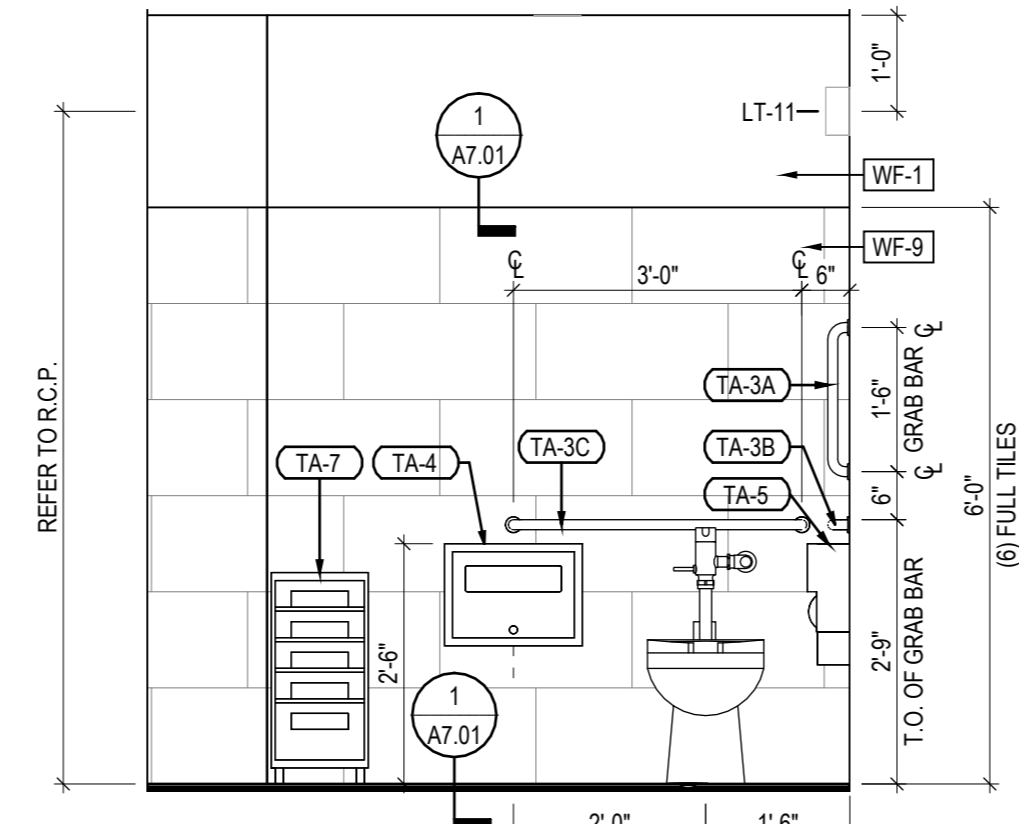
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ARCHITECT PROJECT NUMBER
2483

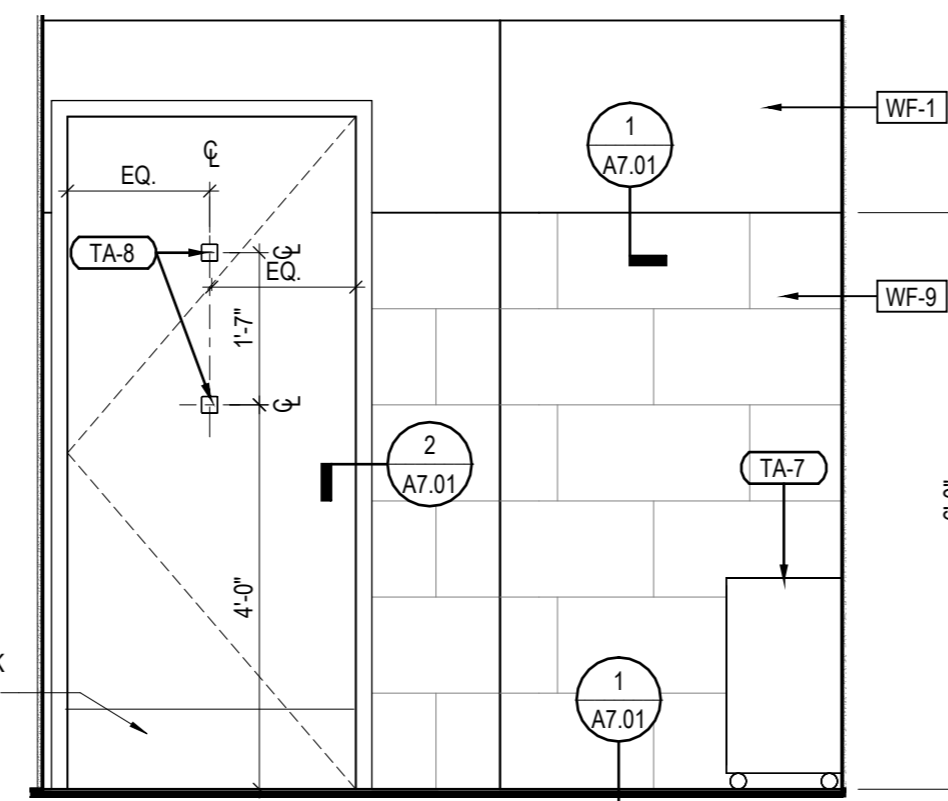
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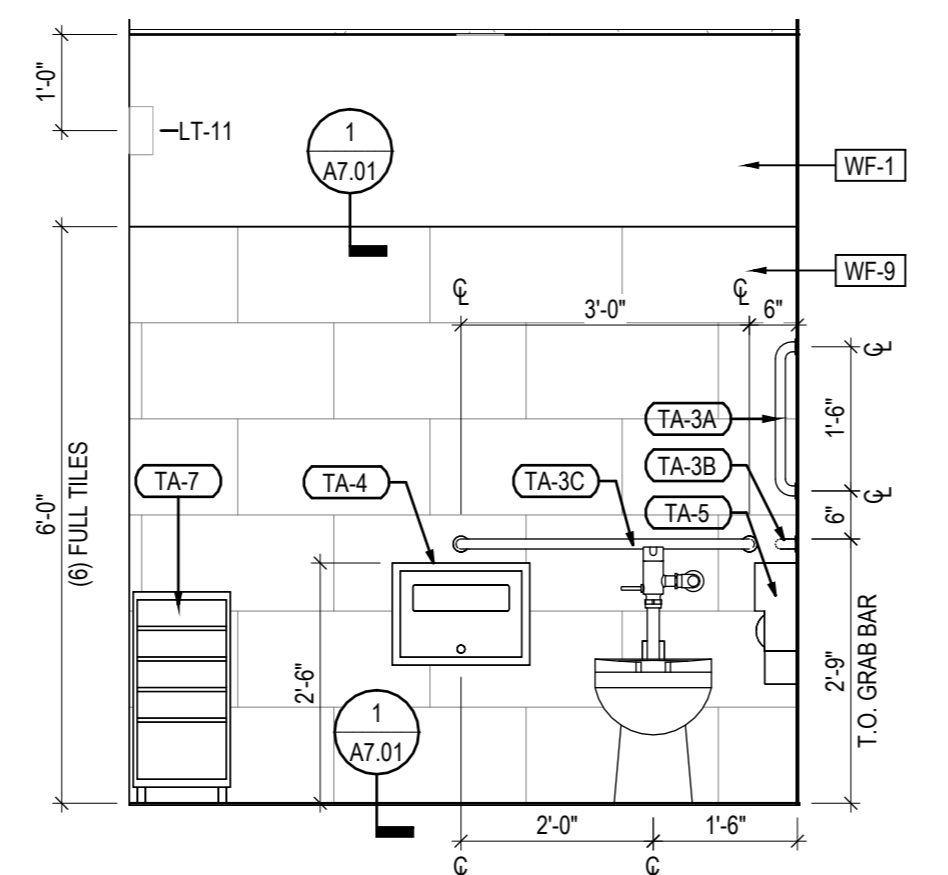
1 TOILET #1 ENLARGED PLAN VIEW



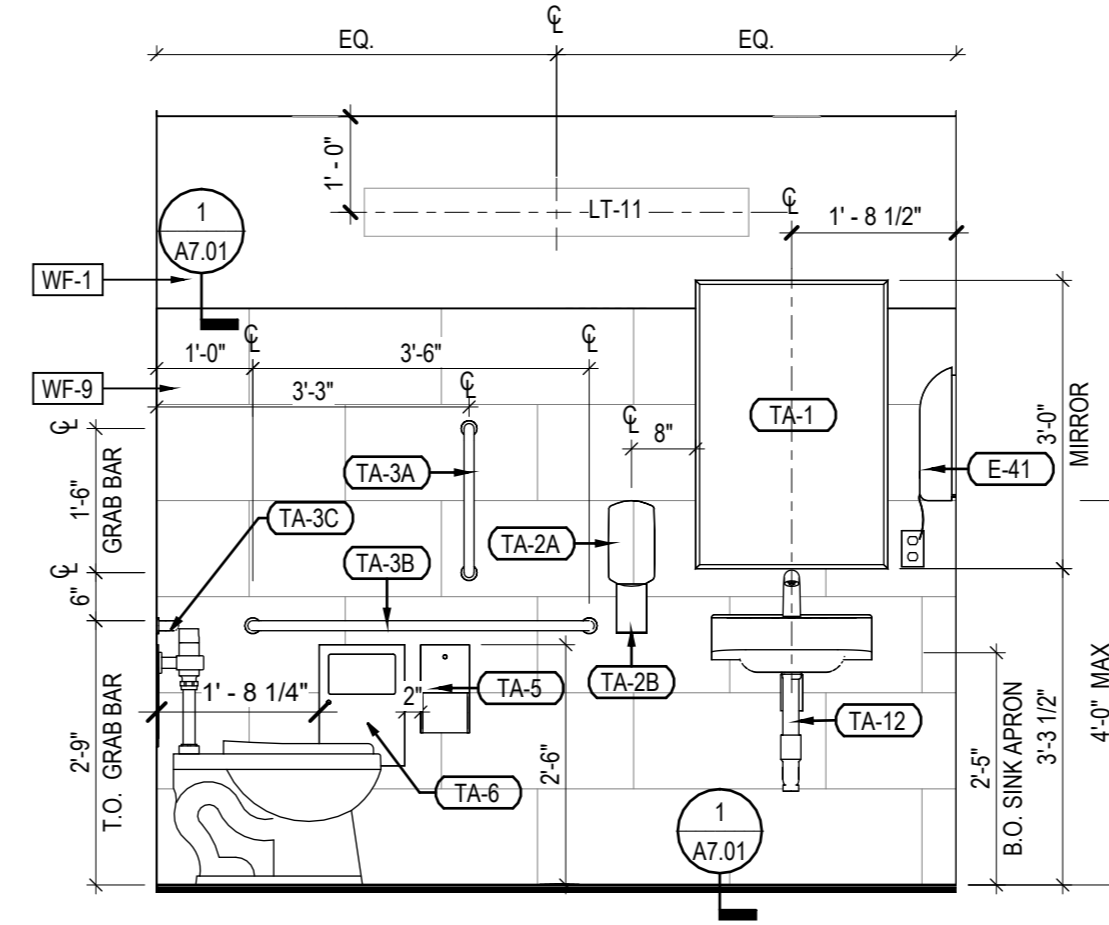
3 TOILET #1 NORTH ELEVATION



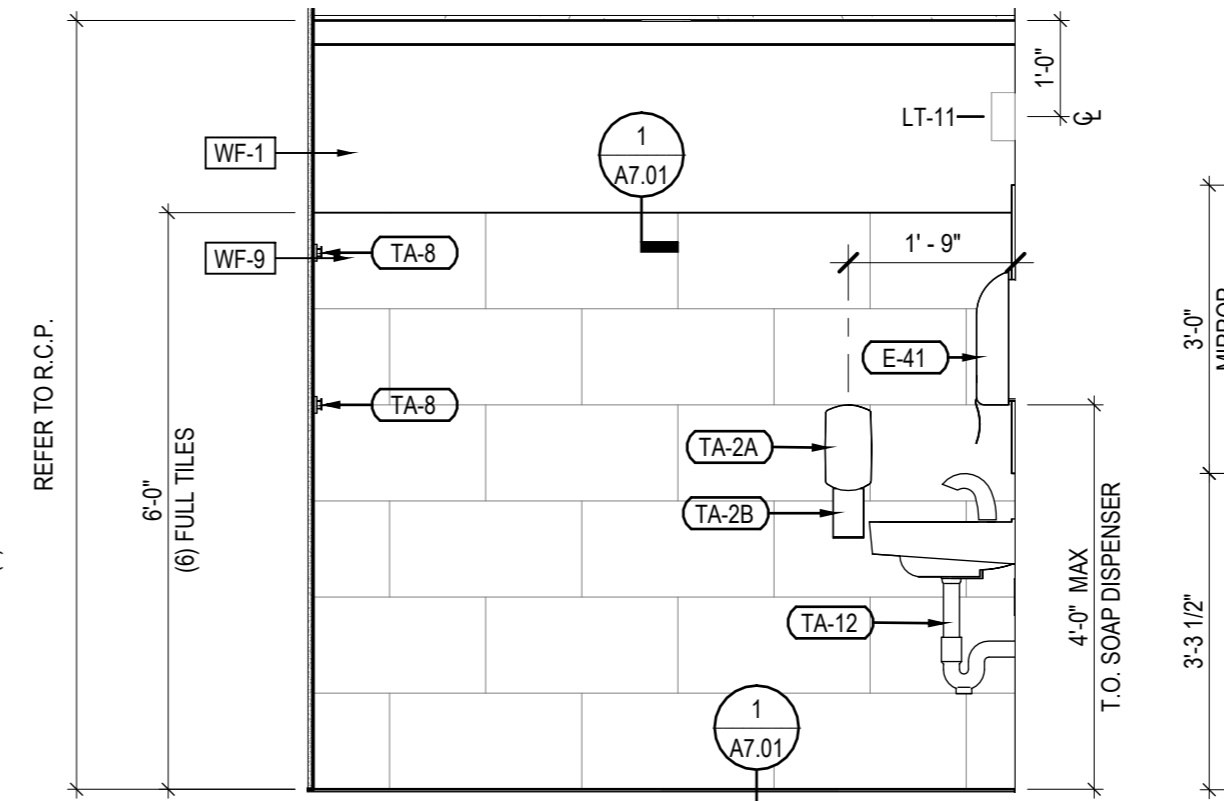
6 TOILET #1 WEST ELEVATION



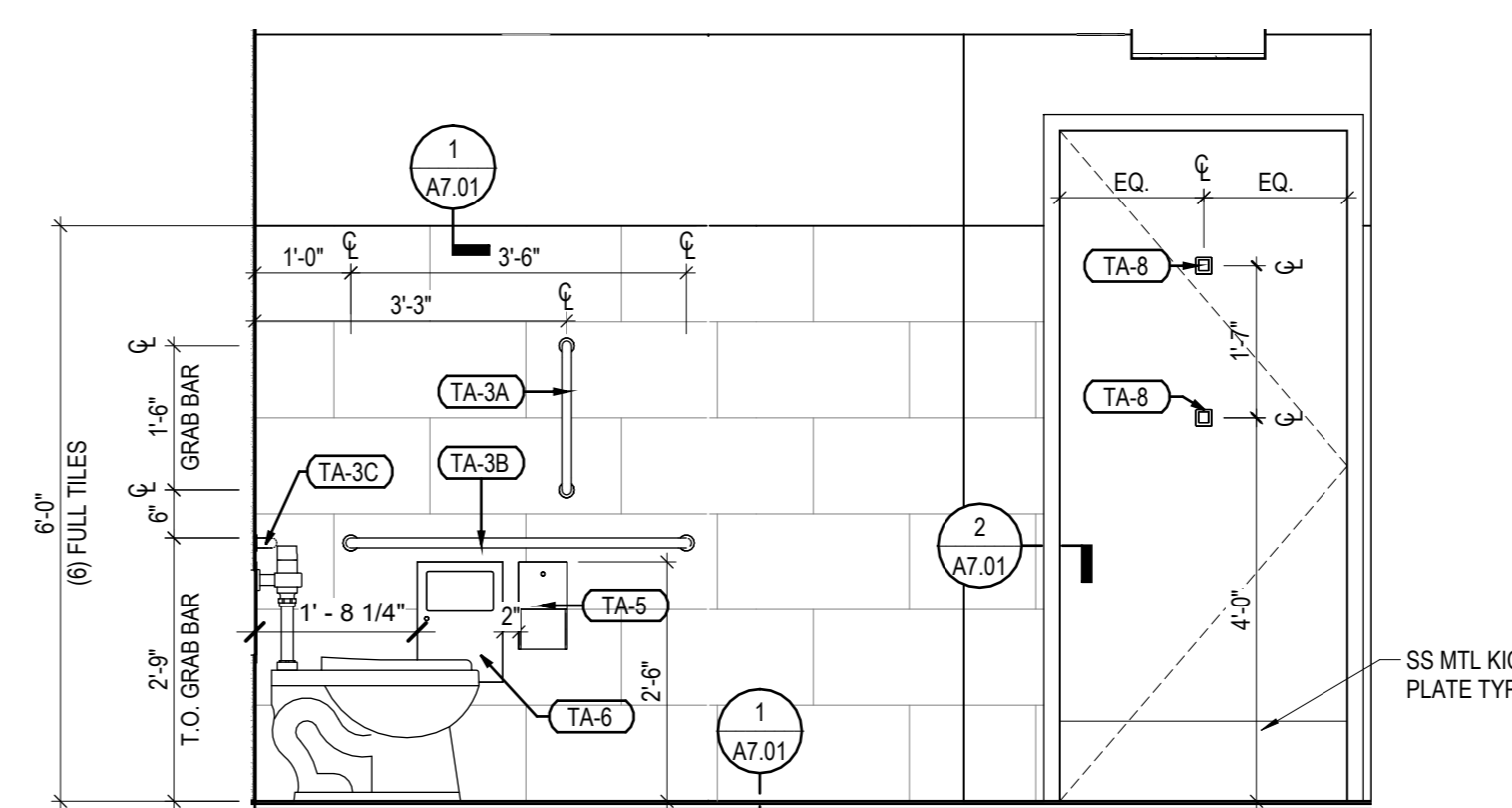
9 TOILET #2 SOUTH ELEVATION



4 TOILET #1 EAST ELEVATION

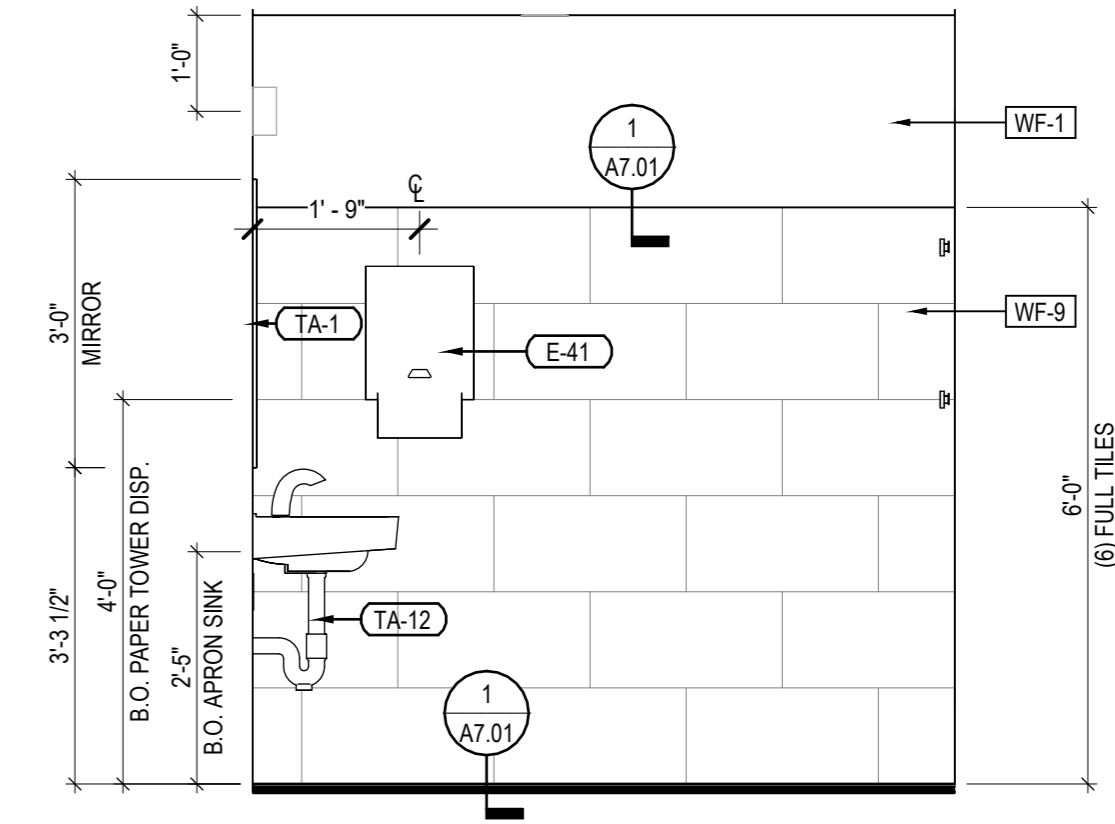


7 TOILET #2 ELEVATION NORTH

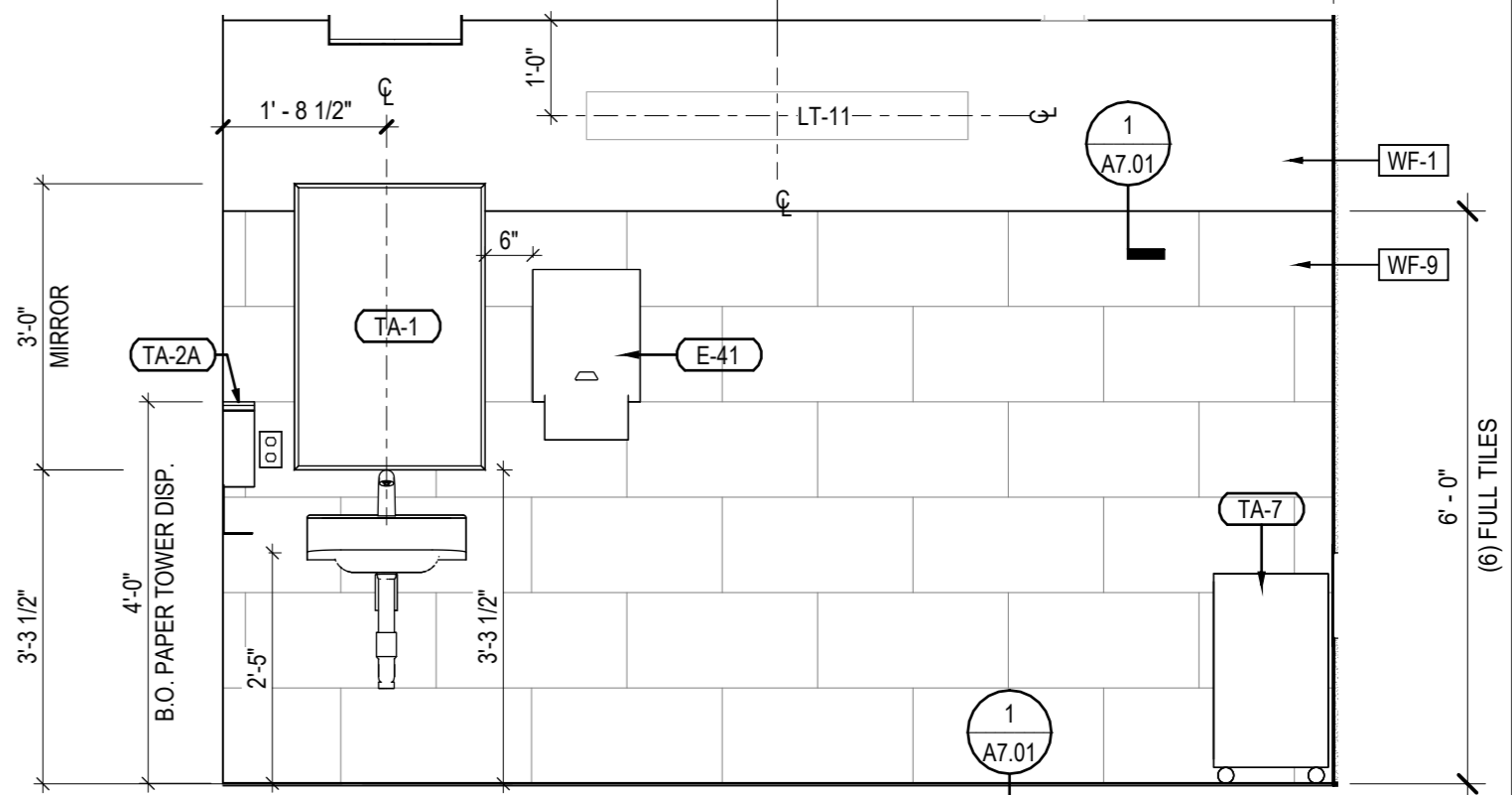


10 TOILET #2 WEST ELEVATION

ID	ITEM	MANUFACTURER / MODEL	ADDITIONAL INFORMATION
TA-1	MIRROR	BOBRICK / B-165 2436	
TA-2A	SOAP DISPENSER	GOJO / LTX-12	
TA-2B	SOAP DISH	GOJO DRIP TRAY / SKU-1045-BLK12	
TA-3A	GRAB BAR 18"	BOBRICK / B-6806 99-18"	
TA-3B	GRAB BAR 36"	BOBRICK / B-6806 99-36"	
TA-3C	GRAB BAR 42"	BOBRICK / B-6806 99-42"	
TA-4	TOILET SEAT COVER	BOBRICK / B-221	
TA-5	TOILET PAPER DISPENSER	BOBRICK / B-288	
TA-6	SANITARY NAPKIN DISPOSAL	BOBRICK / B-270	
TA-7	MOBILE CART (5-DRAWER)	STAPLES (IRIS) / ITEM: 57177, BLACK/CLEAR (116862)	
TA-8	COAT HOOK	BOBRICK / B-6717 (QUANTITY 2 = 1 OVER 1)	
TA-11	WALL SHELF/MOP HOLDER	BOBRICK / B-224X36	
TA-12	UNDERCOUNTER LAVATORY GUARDS	TRUEBRO INC. / 103 WHITE	



5 TOILET #1 SOUTH ELEVATION



8 TOILET #2 EAST ELEVATION

TOWNSHIP STAMP

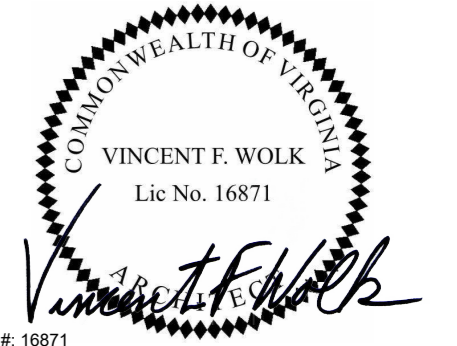


**WF BRANCH
NORTH
WASHINGTON**

330 N WASHINGTON STREET
ALEXANDRIA, VA 22314

LONGO ARCHITECTS
& ASSOCIATES LLC

36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



CONSULTANTS

REVISIONS

SET ISSUED:	PERMIT SET
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DATE ISSUED: 10/21/2024

REVIEWED BY: V.F.W.

DRAWN BY: L.C.A.

WF BE NUMBER 141710

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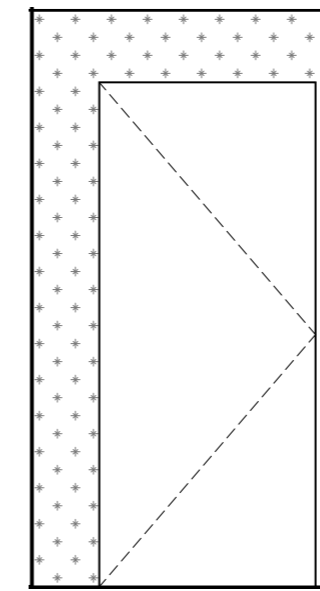
SHEET TITLE

ENLARGED RESTROOM PLANS, ELEVATIONS & DETAILS

FEET NUMBER

A5.01

ARCHITECT PROJECT NUMBER
2483





- A. REFER TO PROJECT NOTES SHEET APPLICABLE TO ALL PORTIONS OF THE WORK.
- B. SEE DOOR SCHEDULE FOR SIDLIGHT SIZES AND REQUIREMENTS.
- C. SEE GLAZING SCHEDULE FOR SIZES AND GLAZING REQUIREMENTS.
- D. SEE ACCESSIBILITY SHEETS FOR APPLICABLE MOUNTING HEIGHTS.
- E. PROVIDE BLOCKING FOR ALL BRAND MARKETING ELEMENTS, TYP.
- F. ALL GYP. BD. WALL TO RECEIVE B-1 AS TYPICAL, UNLESS NOTED OTHERWISE.
- G. SEE FINISH SCHEDULE FOR MATERIAL FINISHES AND TRANSITION STRIPS.
- H. REFER TO EQUIPMENT PLAN & SCHEDULE SHEET FOR EQUIPMENT DETAILS.
- I. REFER TO FINISH SCHEDULE - INTERIOR SHEET FOR FINISHES.



**WF BRANCH
NORTH
WASHINGTON**

LONGO ARCHITECTS
& ASSOCIATES LCC

COMMONWEALTH OF VIRGINIA
VINCENT F. WOLKE
Lic No. 16871

VA. LIC # : 16871

CONSULTANTS

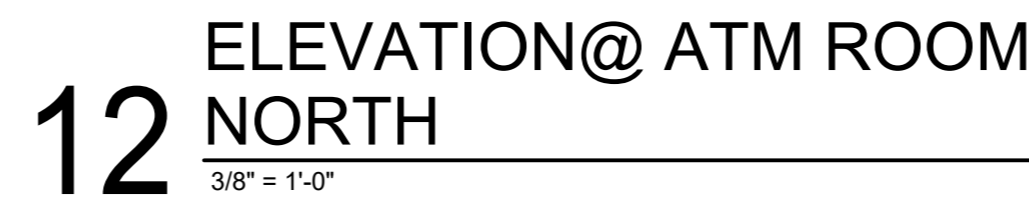
DRAWN BY: L.C.A.

WF PROJ. #392021

INTERIOR ELEVATIONS

A6.01

ARCHITECT PROJECT NUMBER
2483



- A. REFER TO PROJECT NOTES SHEET APPLICABLE TO ALL PORTIONS OF THE WORK.
- B. SEE DOOR SCHEDULE FOR SIDELIGHT SIZES AND REQUIREMENTS.
- C. SEE GLAZING SCHEDULE FOR SIZES AND GLAZING REQUIREMENTS.
- D. SEE ACCESSIBILITY SHEETS FOR APPLICABLE MOUNTING HEIGHTS.
- E. PROVIDE BLOCKING FOR ALL BRAND MARKETING ELEMENTS, TYP.
- F. ALL GYP. BD. WALL TO RECEIVE B-1 AS TYPICAL, UNLESS NOTED OTHERWISE.
- G. SEE FINISH SCHEDULE FOR MATERIAL FINISHES AND TRANSITION STRIPS.
- H. REFER TO EQUIPMENT PLAN & SCHEDULE SHEET FOR EQUIPMENT DETAILS.
- I. REFER TO FINISH SCHEDULE - INTERIOR SHEET FOR FINISHES.

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NORTH
WASHINGTON**

LONGO ARCHITECTS
& ASSOCIATES LCC

COMMONWEALTH OF VIRGINIA
VINCENT F. WOLK
Lic No. 16871

VA. LIC # 16871

CONSULTANTS

SET ISSUED: PERMIT SET

DATE ISSUED: 10/21/2024

REVIEWED BY: V.F.W.

DRAWN BY: L.C.A.

WF BE NUMBER 141710

WF PROJ. #392021

SHEET TITLE

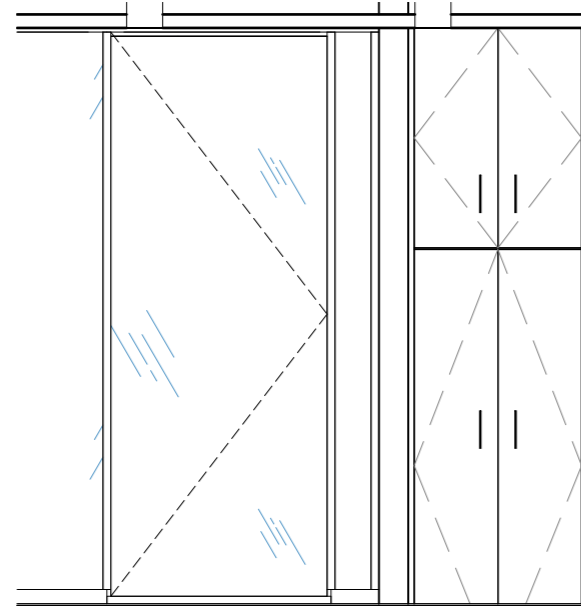
INTERIOR ELEVATIONS

FEET NUMBER

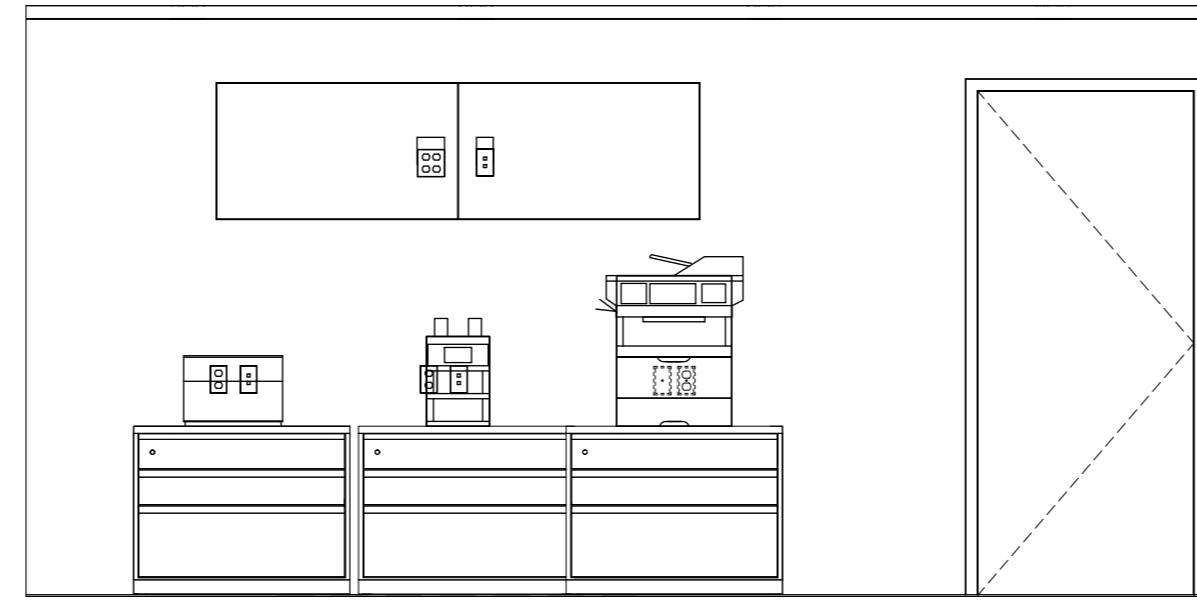
A6.02

ARCHITECT PROJECT NUMBER
2483





21 ELEVATION@
VAULT LOBBY WEST
3/8" = 1'-0"



22 ELEVATION@ TELLER BACK WALL

- A. REFER TO PROJECT NOTES SHEET APPLICABLE TO ALL PORTIONS OF THE WORK.
- B. SEE DOOR SCHEDULE FOR SIDELIGHT SIZES AND REQUIREMENTS.
- C. SEE GLAZING SCHEDULE FOR SIZES AND GLAZING REQUIREMENTS.
- D. SEE ACCESSIBILITY SHEETS FOR APPLICABLE MOUNTING HEIGHTS.
- E. PROVIDE BLOCKING FOR ALL BRAND MARKETING ELEMENTS, TYP.
- F. ALL GYP. BD. WALL TO RECEIVE B-1 AS TYPICAL, UNLESS NOTED OTHERWISE.
- G. SEE FINISH SCHEDULE FOR MATERIAL FINISHES AND TRANSITION STRIPS.
- H. REFER TO EQUIPMENT PLAN & SCHEDULE SHEET FOR EQUIPMENT DETAILS.
- I. REFER TO FINISH SCHEDULE - INTERIOR SHEET FOR FINISHES.

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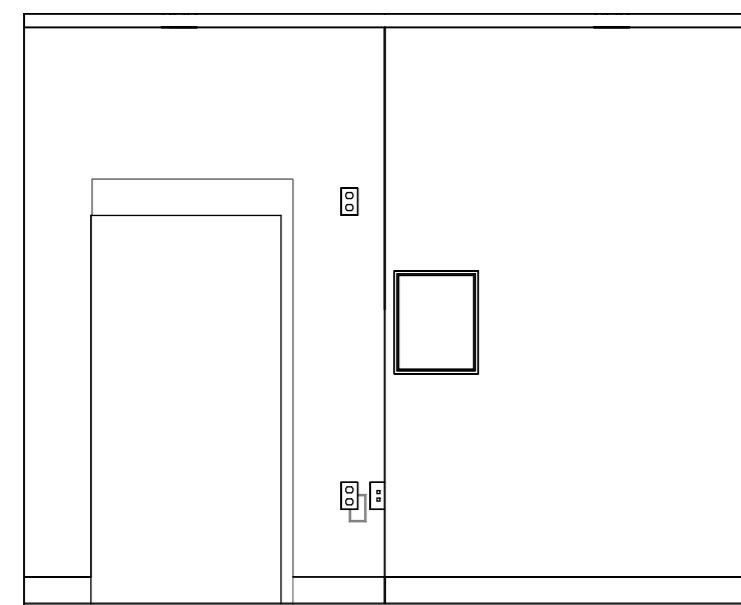


330 N WASHINGTON STREET
ALEXANDRIA, VA 22314

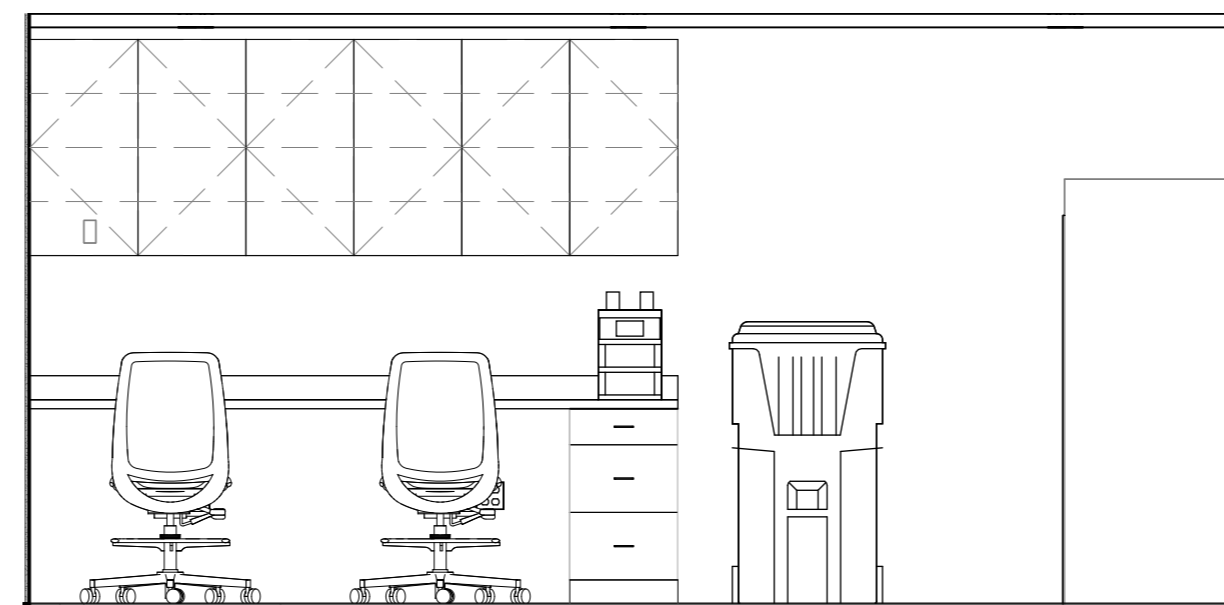
36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



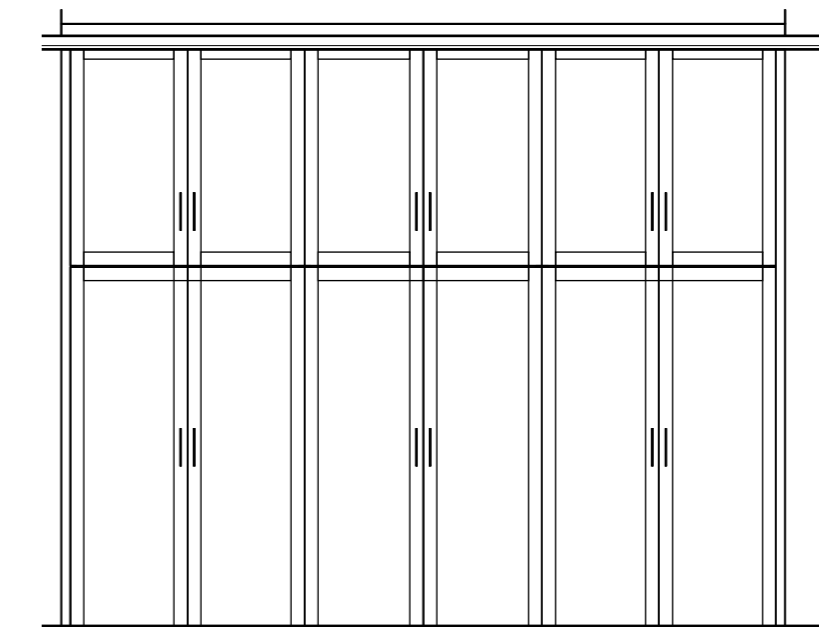
CONSULTANTS



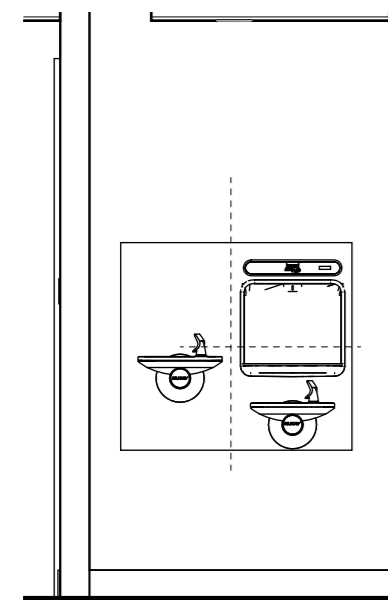
24 ELEVATION@ WORK ROOM EAST



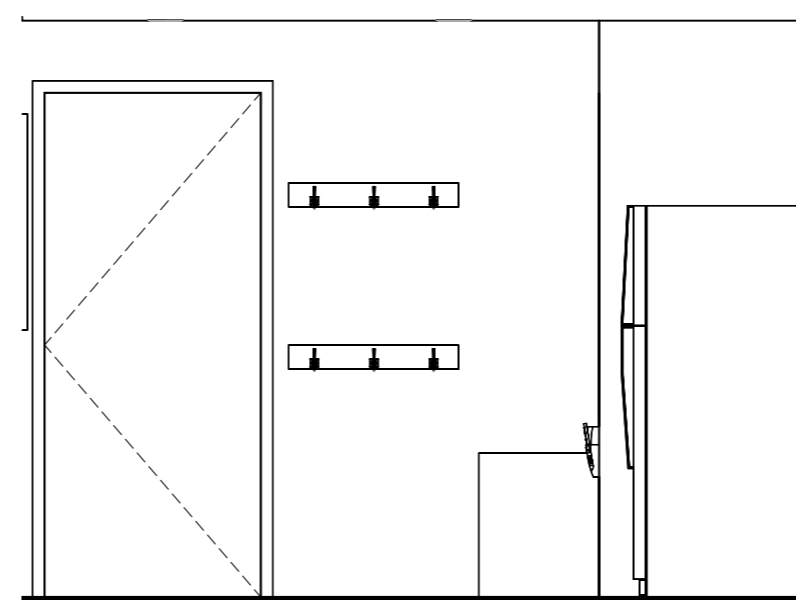
25 ELEVATION@ WORK ROOM WEST



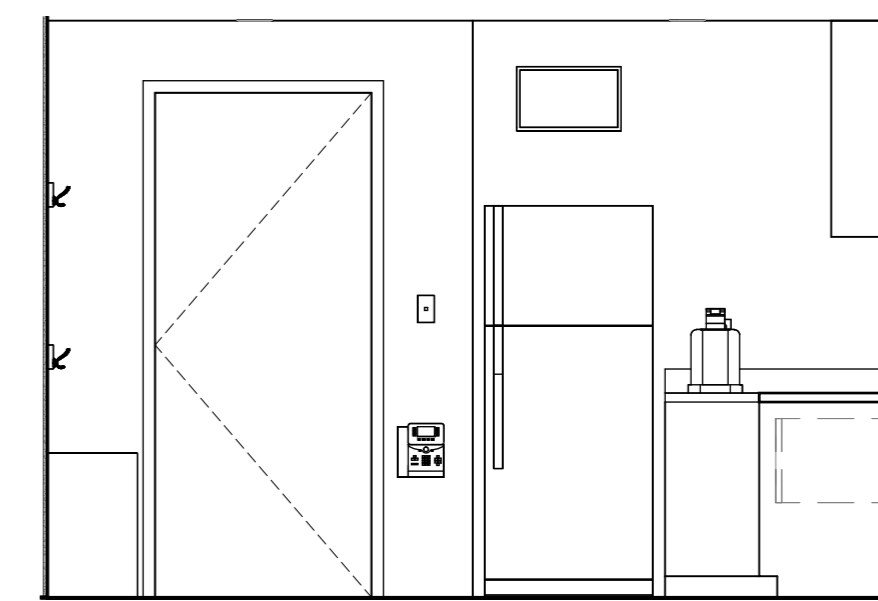
26 ELEVATION@ CORRIDOR STORAGE



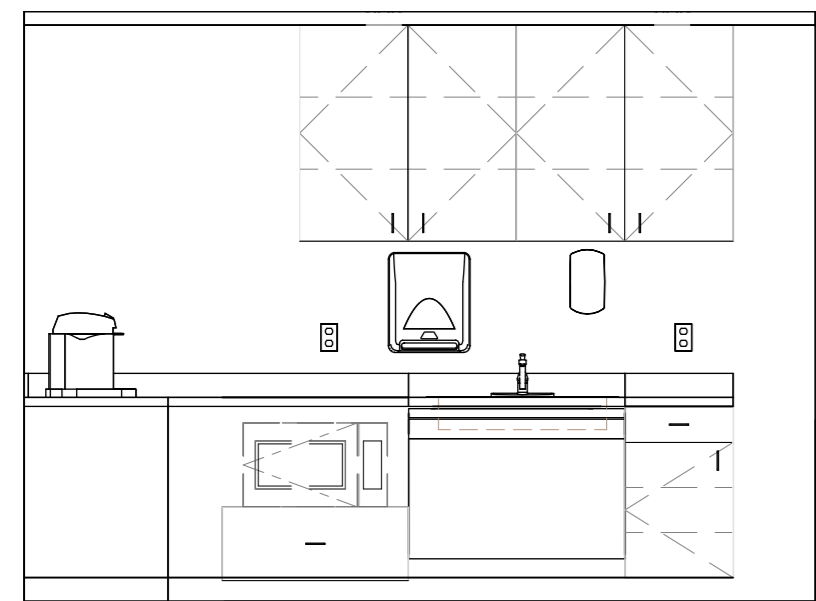
28 ELEVATION@ BREAK ROOM NORTH



29 ELEVATION@ BREAK ROOM EAST



30 ELEVATION@ BREAK ROOM SOUTH



31 ELEVATION@ BREAK ROOM WEST

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SHEET TITLE

INTERIOR ELEVATIONS

SHEET NUMBER

A6.03

ARCHITECT PROJECT NUMBER
2483



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COMMONWEALTH OF VIRGINIA
VINCENT F. WOLK
Lic No. 16871
ARCHITECT

CONSULTANTS

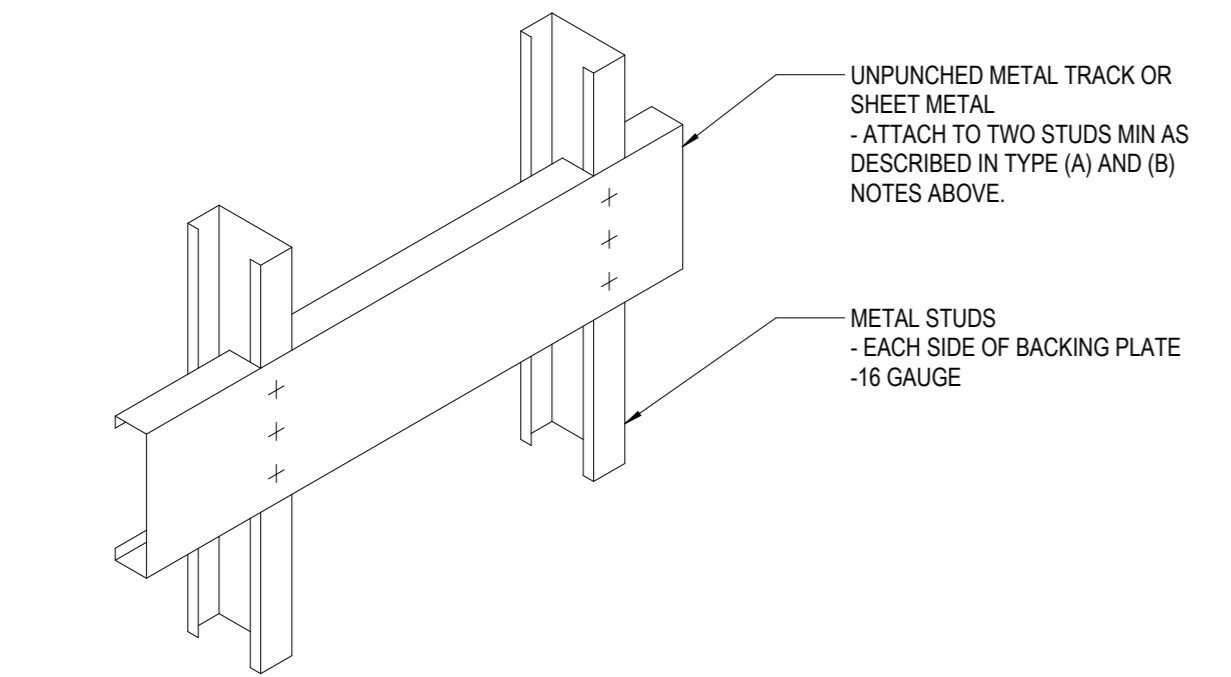
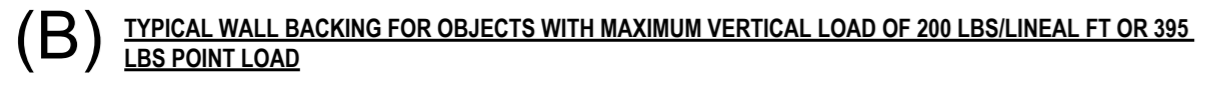
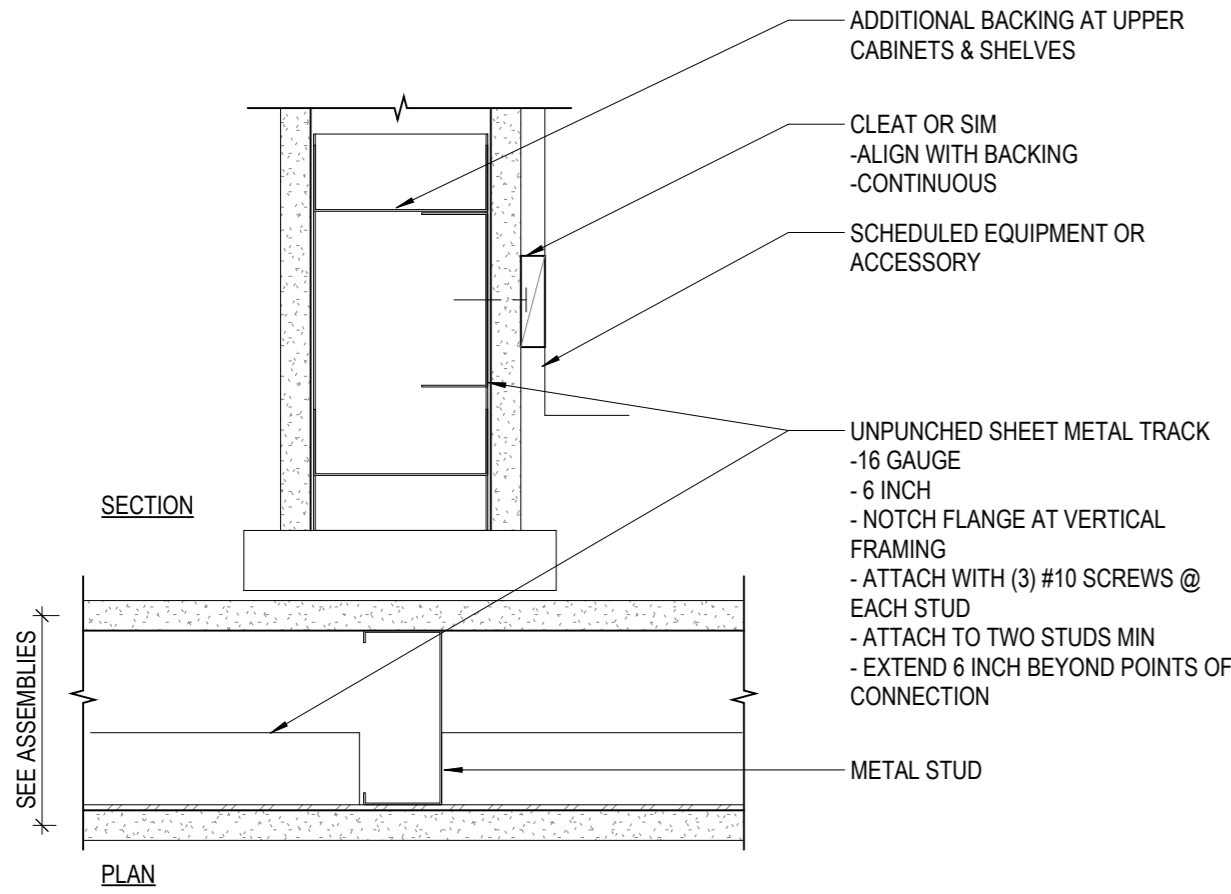
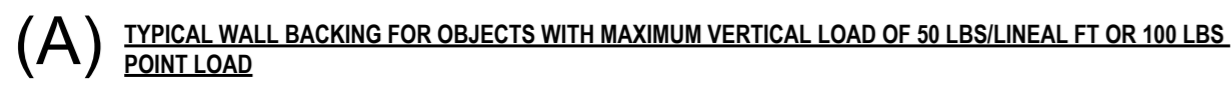
DRAWN BY: L.C.A.

WF PROJ. #392021

INTERIOR DETAILS - FLOOR/WALL TRANSITIONS

A7.01

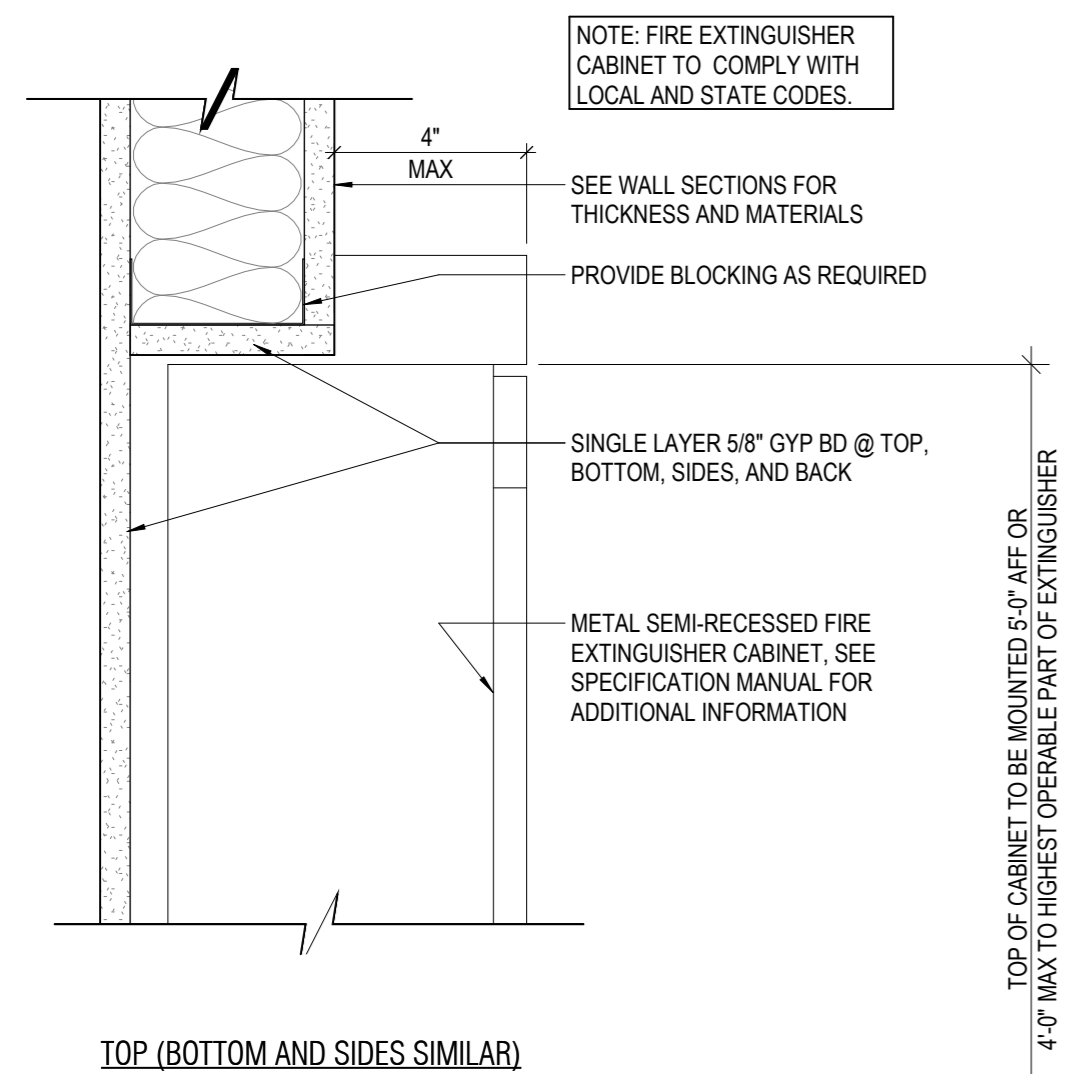
ARCHITECT PROJECT NUMBER
2483



NOTE:

1. COORDINATE BACKING LOCATION WITH ACCESSORY MANUFACTURER MOUNTING INSTRUCTIONS.
2. UNITS HEAVIER THAN 200 LBS/LINEAL FT OR 395 LBS POINT LOADS ARE NOT TO BE WALL MOUNTED.
3. PROVIDE BACKING AT ALL WALL MOUNTED ITEMS

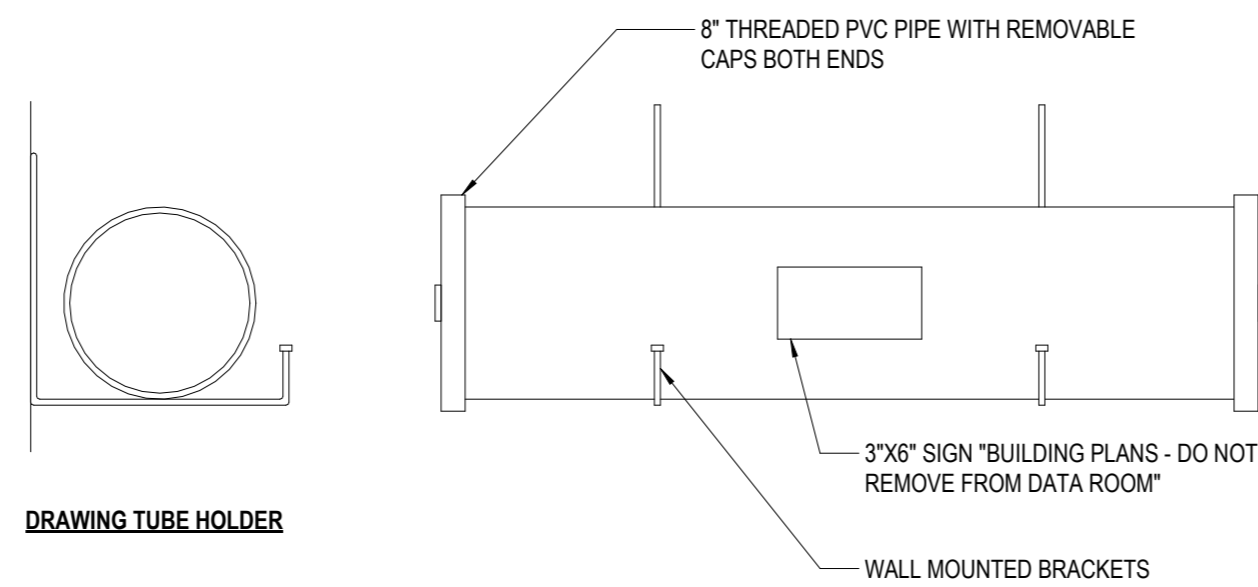
1 METAL WALL @ TYPICAL BACKING



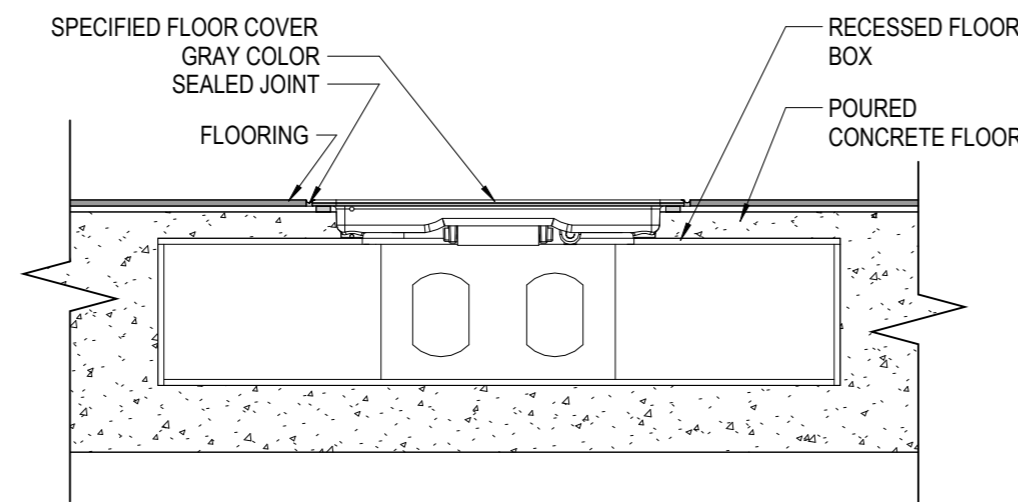
2 WALL - SEMI-RECESSED FEC

PROJECT MANUAL HOLDER
CLEAR PLASTIC SINGLE
POCKET WALL FILE
RUBBERMAID 65972ROS OR
SIMILAR

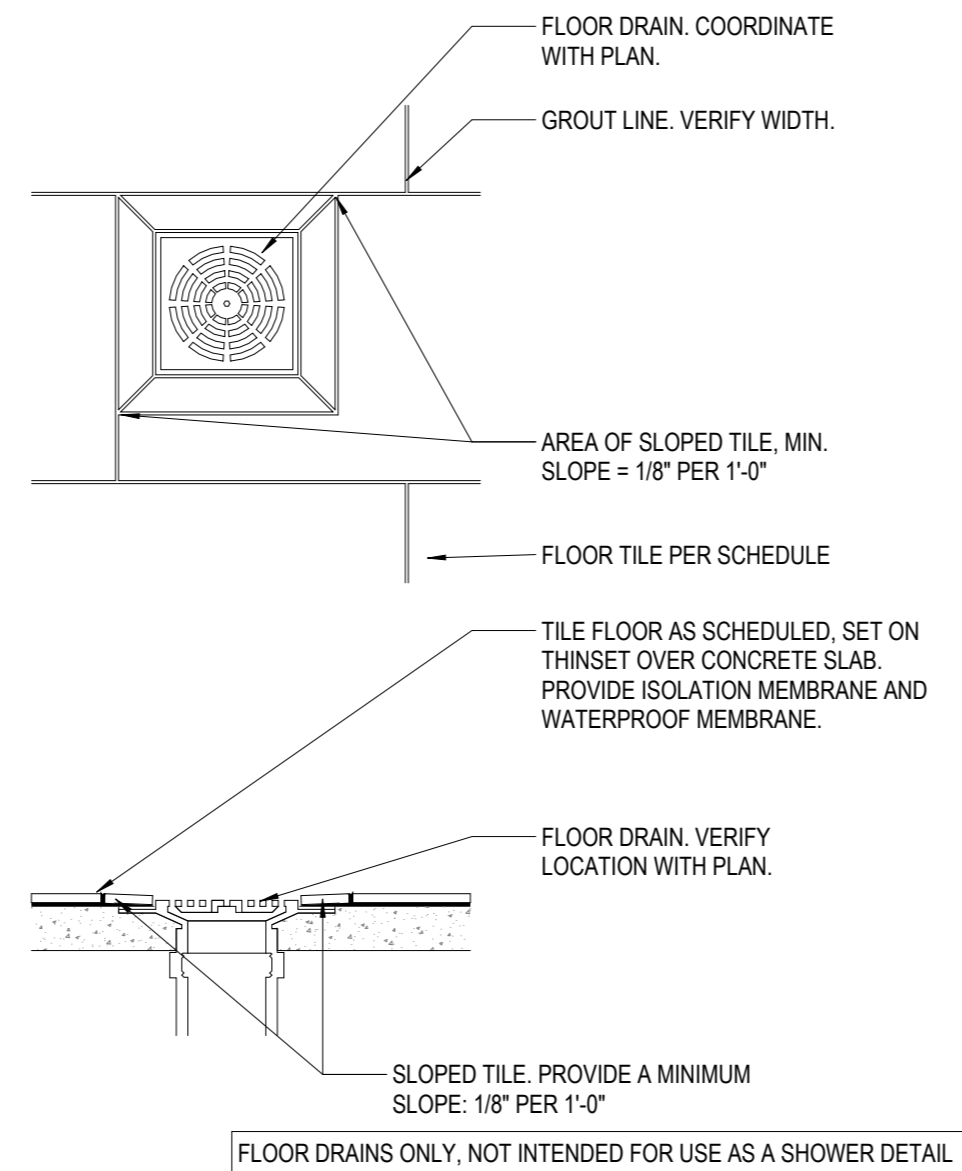
NOTE:
LOCATE OF FINAL SET OF AS-
BUILT DRAWINGS IN THE
ELECTRICAL/DATA ROOM



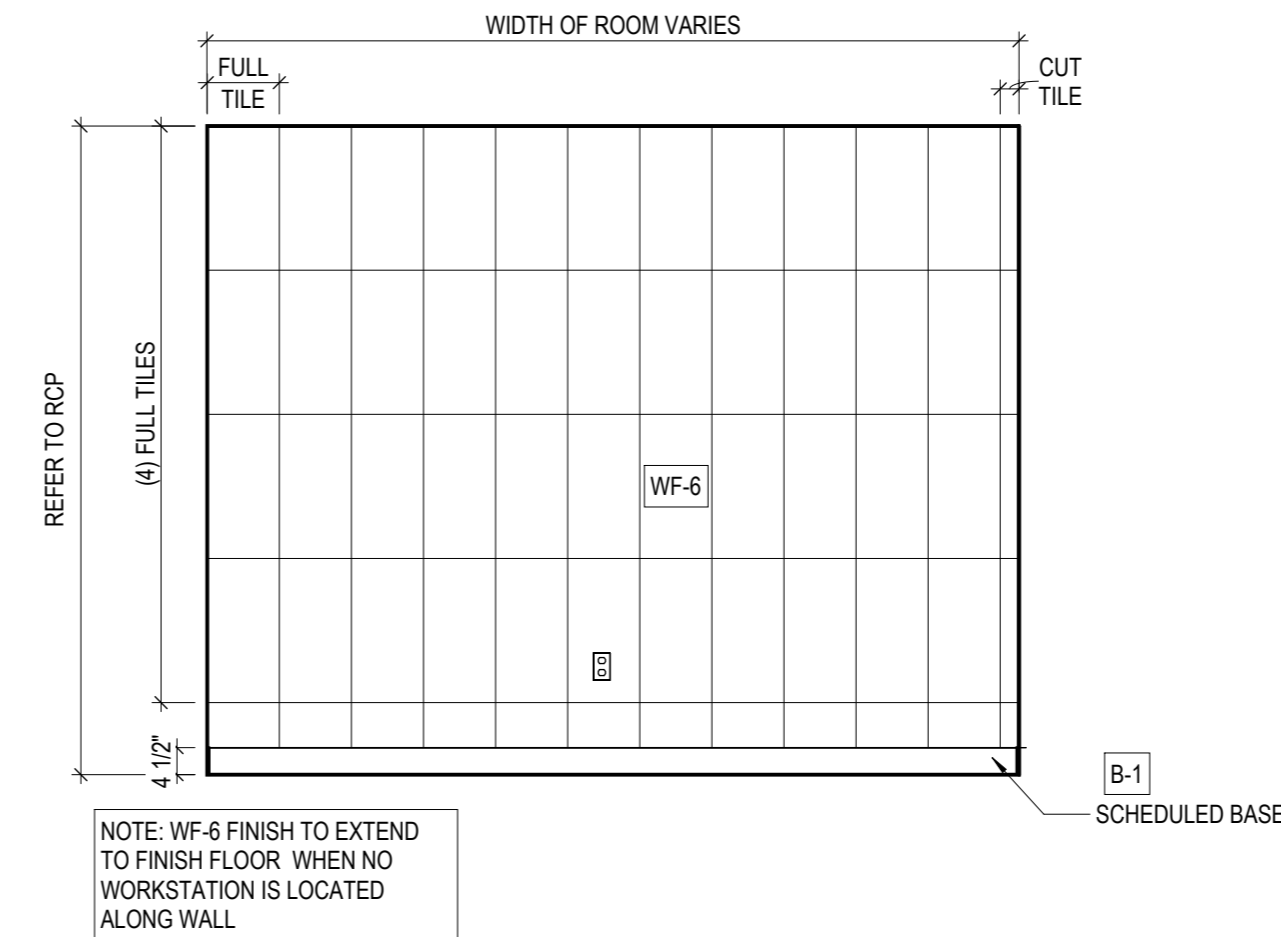
3 DRAWING & PROJECT MANUAL HOLDER LOCATED IN ELEC/DATA



4 FLOOR BOX INSTALLATION



5 FLOOR DRAIN - TILE



7 TYPICAL WF-6 SEAMING ELEVATION - FULL HEIGHT

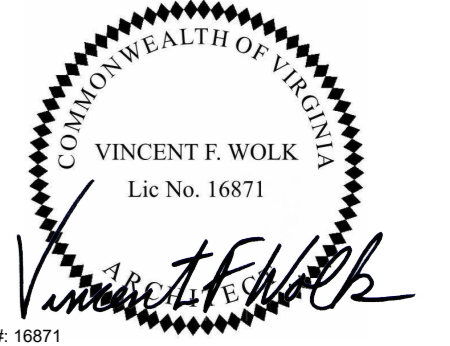


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36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
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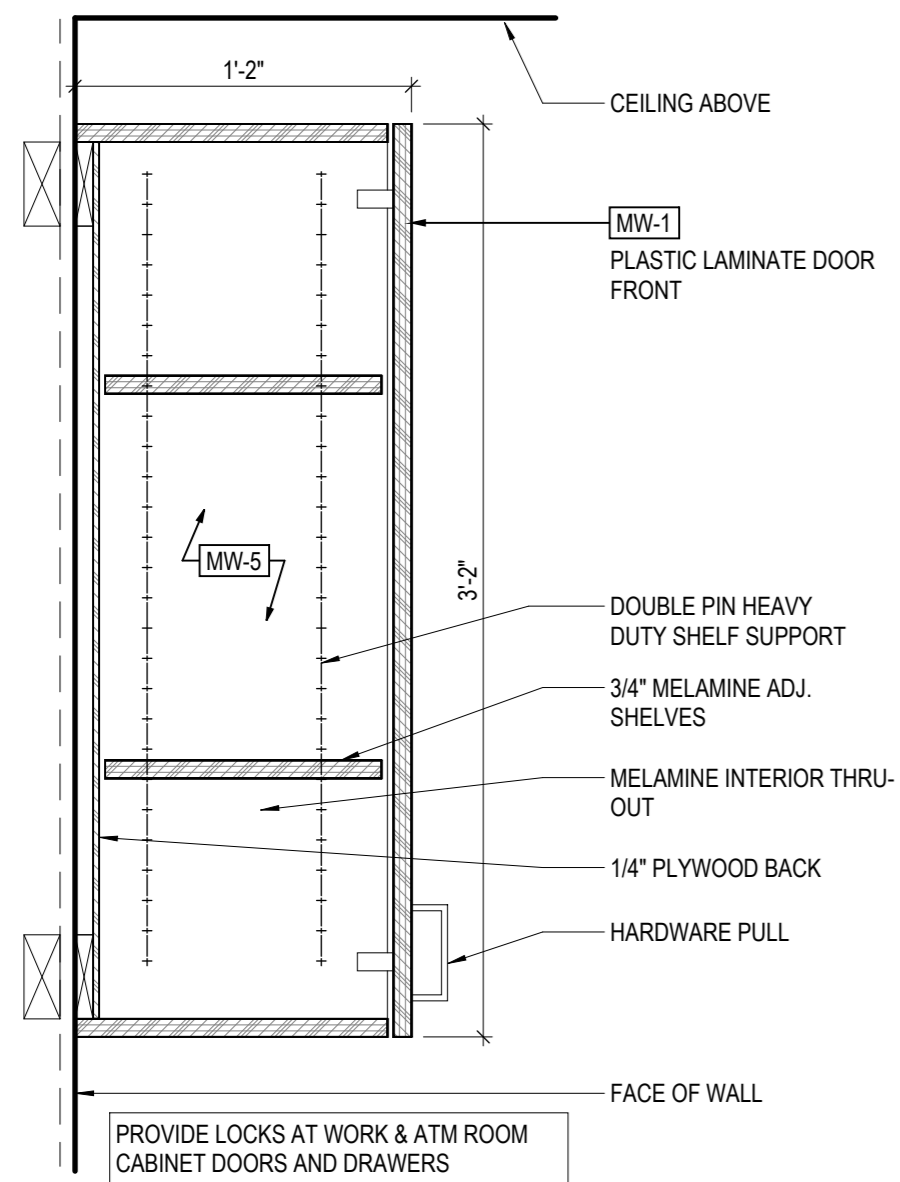
SHEET TITLE

INTERIOR DETAILS - MISCELLANEOUS

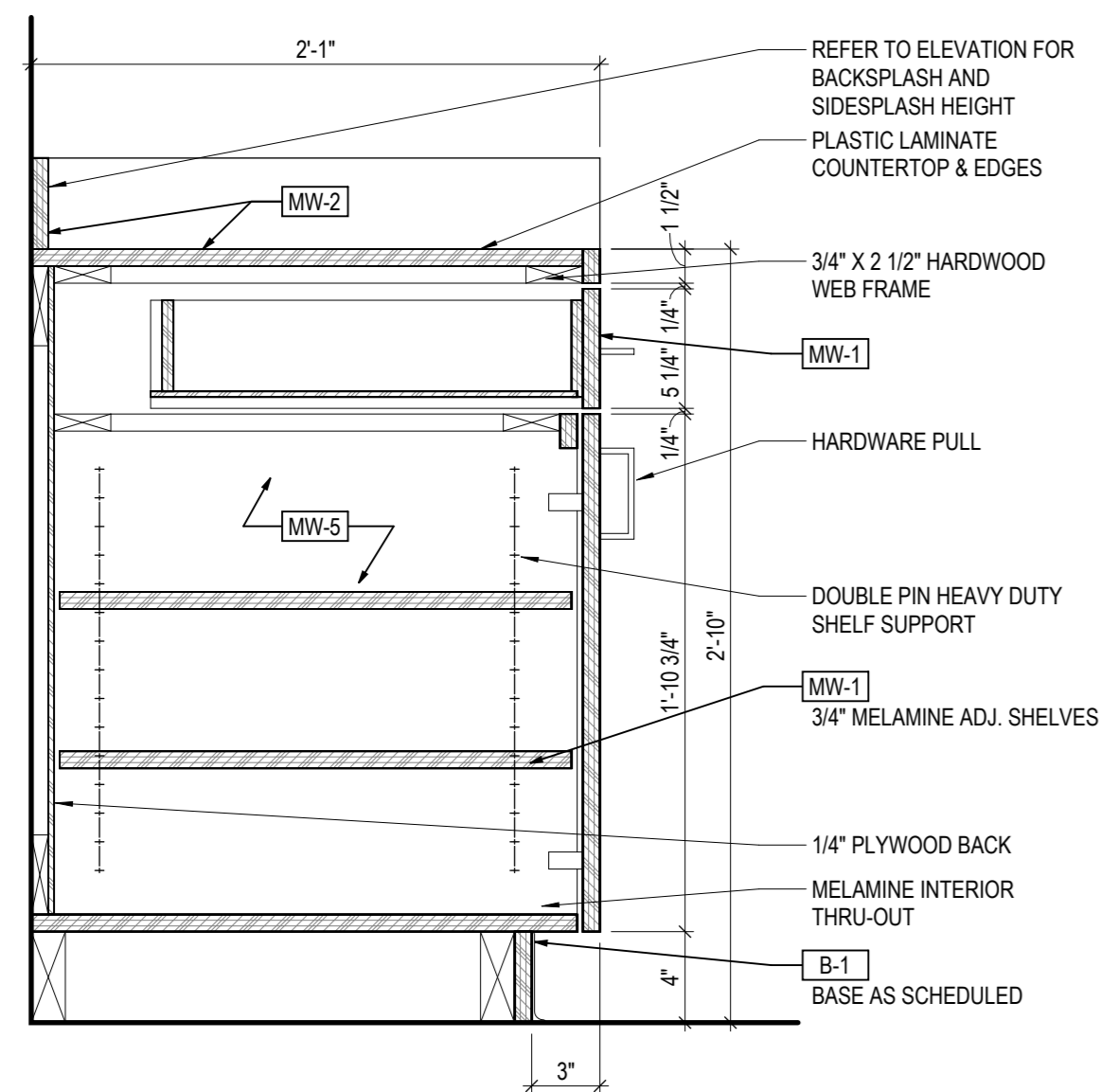
SHEET NUMBER

A7.06

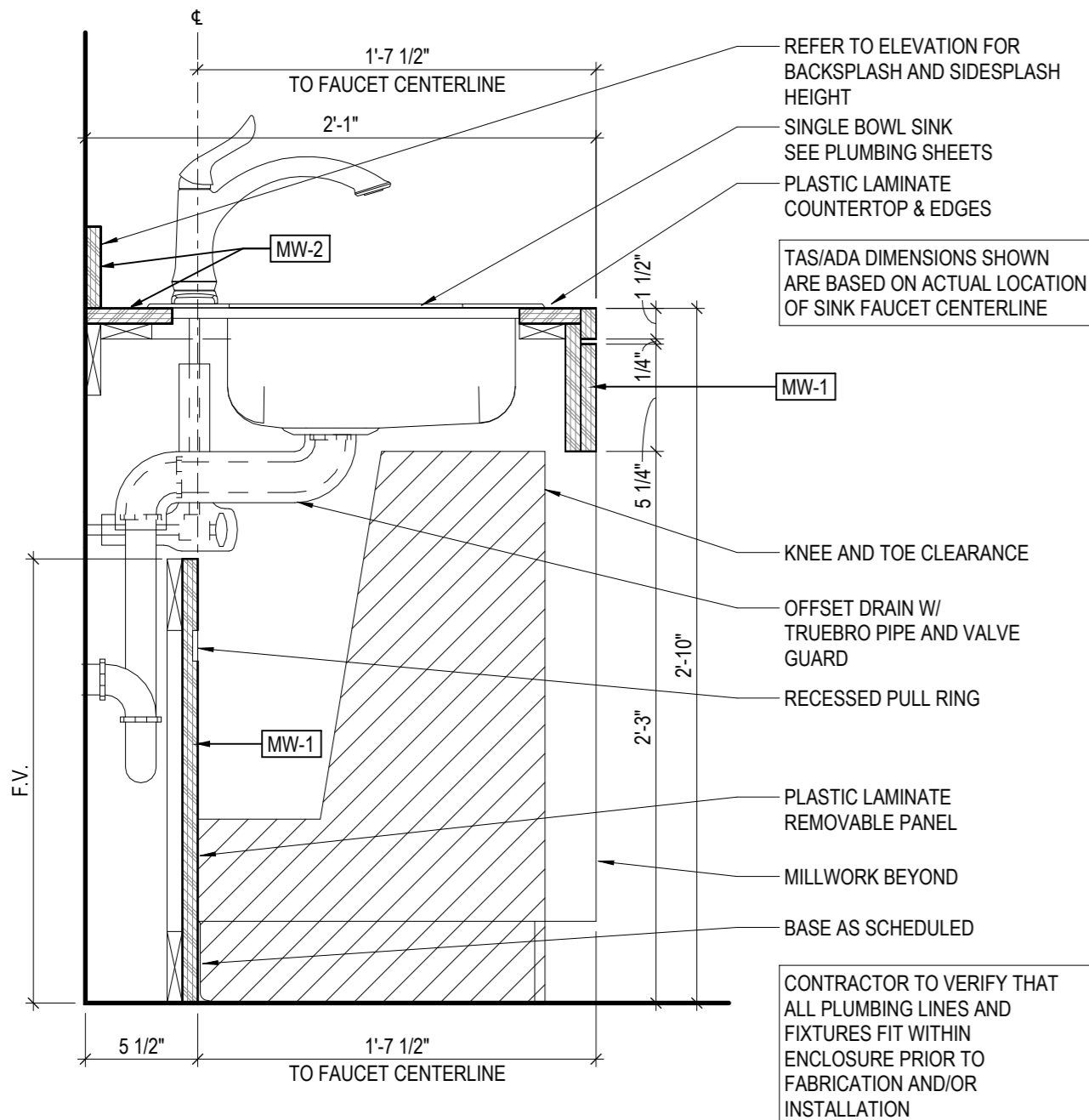
ARCHITECT PROJECT NUMBER
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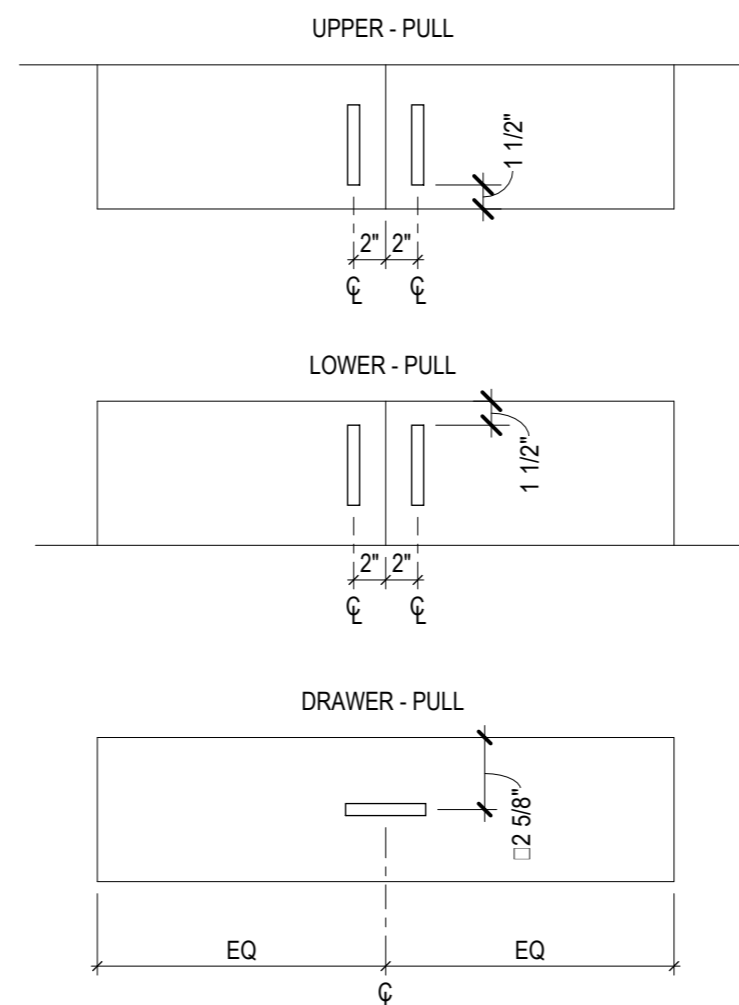
1 UPPER - DOOR

$$1\frac{1}{2}'' = 1'-0''$$


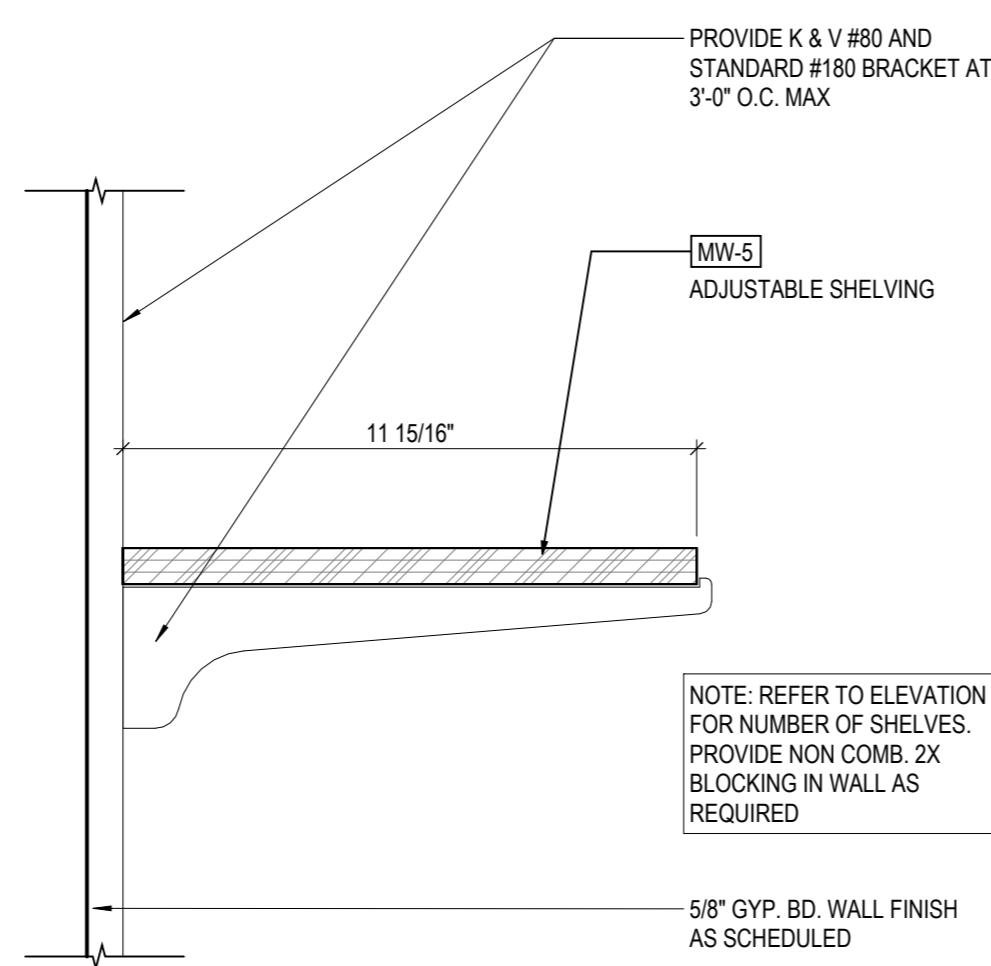
3 BASE - LOWER - DRAWERS

$$1\frac{1}{2}'' = 1'-0''$$


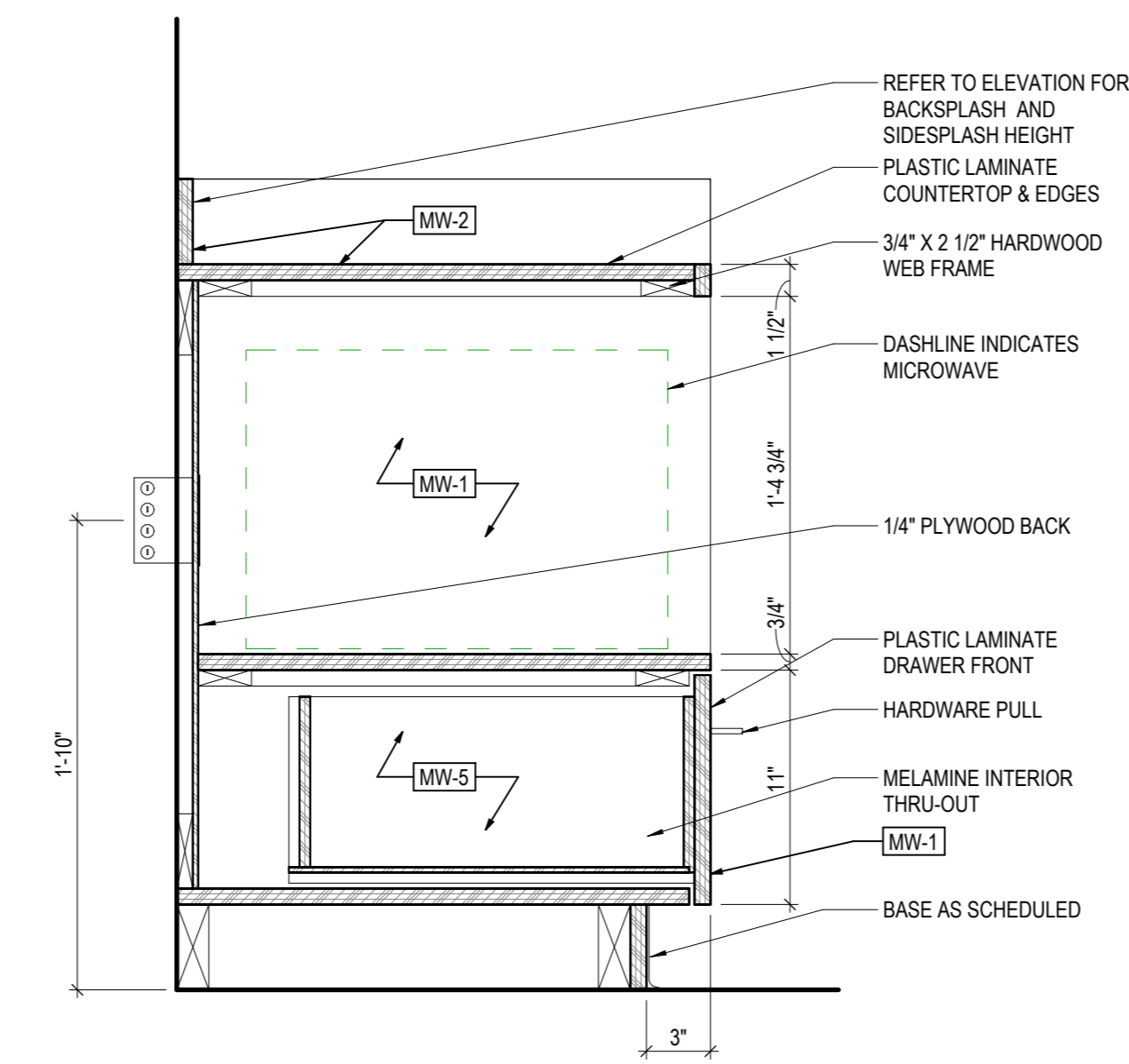
5 MILLWORK W/ SINK - OPEN

$$1 \frac{1}{2}'' = 1'-0''$$


2 MILLWORK - TYP. PULL LAYOUT

$$1'' = 1' - 0''$$


4 ADJUSTABLE STORAGE SHELVES

$$3'' = 1'-0''$$


6 BASE - LOWER - MICROWAVE NICHE

1 1/2" = 1'-0"

MILLWORK HARDWARE

PRIVACY SCREEN PANEL BRACKET (NO SUBSTITUTE)	PRODUCT: LOCATION:	DOUG MOCKETT, PGRP18-94, FOR 3/8" GLASS MILLWORK SERVICE MANAGER, INLINE WITH TELLERS OR FREESTANDING
SHELF STANDARD	PRODUCT: LOCATION:	KNAPE & VOGT #255 FOR ADJUSTABLE SHELVING
SHELF SUPPORT	PRODUCT: LOCATION:	KNAPE & VOGT #256 FOR ADJUSTABLE SHELVING
DRAWING TUBE HOLDER	PRODUCT: LOCATION:	6" PVC PIPE / 6" PVC DWV x FIPT FEMALE ADAPTER / 6" DWV MIPT CLEANOUT PLUG ELECTRIC/DATA ROOM
CABINET LOCK	PRODUCT: LOCATION:	HAFALE CAM LOCK C8053 SERIES ALL GENERAL MILLWORK
CABINET DRAWER GLIDE	PRODUCT: LOCATION:	GRANT 5632 ALL GENERAL MILLWORK
COAT HOOKS	PRODUCT: LOCATION:	RICHELIEU, 235BOV, HEAVY DUTY COAT HOOK, 3-1/2" BRUSHED CHROME ALL GENERAL MILLWORK
GROMMETS	PRODUCT: LOCATION: PRODUCT: LOCATION:	DOUG MOCKETT, TG5, 2" PLATED GROMMET SET (INCLUDES GAP & LNER), WITH 5/8" SLOT, SATIN CHROME (260) APPLIED TO ALL GENERAL MILLWORK THAT REQUIRES A GROMMET. REFER TO MILLWORK DETAILS FOR LOCATION DOUG MOCKETT, OG1, 1" GROMMET SLEEVE ONLY, SATIN CHROME (260) ADA TELLER, VERTICAL DIE WALL
1" ANGLE	PRODUCT: LOCATION:	CRL US ALUMINUM EXTRUDED D1634 SERIES, SATIN ANODIZED ALL GENERAL MILLWORK
CHARGING GROMMET (NO SUBSTITUTE)	PRODUCT: LOCATION:	DOUG MOCKETT, PCS79WC, ILLUMINATED WIRELESS CHARGING GROMMET, PCS79WC, METALLIC SILVER (23) MILLWORK GATEWAY TABLE - TOP OF THE GATEWAY. GROMMET IS RECESSED
POWER OUTLET (NO SUBSTITUTE)	PRODUCT: LOCATION:	DOUG MOCKETT, PCS106A, SYNC I, LOW PROFILE POWER GROMMET, 2 POWER2 USB, NICKEL (17) MILLWORK GATEWAY TABLE - FRONT FASCIA. OUTLET IS RECESSED
LOCK - SLIDING TOP PANEL	PRODUCT: LOCATION:	FJM, FJM-1634 MILLWORK GATEWAY TABLE ONLY INCLUDE LOCKS FOR SLIDING TOP PANEL WHEN THE GATEWAY IS LOCATED INSIDE A 24-HOUR VESTIBULE
TRASH ENCLOSURE FREESTANDING	PRODUCT: PRODUCT: LOCATION:	CARLISLE 15 GALLON TRASH CAN 14" x 14" SATIN STAINLESS STEEL SURROUND, RECESSED DOUG MOCKETT, TM2C, 8" DIA x 3" DEEP, SATIN STAINLESS STEEL GROMMET 24-HOUR VESTIBULE OR ADJACENT TO INTERIOR LOBBY ATM WITHIN THE BRANCH
TRASH ENCLOSURE RECESSED	PRODUCT: PRODUCT: LOCATION:	CARLISLE 15 GALLON TRASH CAN 1" ANGLE CRL US ALUMINUM EXTRUDED D1634 SERIES, SATIN ANODIZED METAL FLIPPER DOOR 24-HOUR VESTIBULE OR ADJACENT TO INTERIOR LOBBY ATM WITHIN THE BRANCH
ADJUSTABLE SHELF PIN	PRODUCT: LOCATION:	HAFALE 202.47.703 FRONT-OF-HOUSE PRINTER & STORAGE MILLWORK
HEAVY DUTY SHELF PIN	PRODUCT: LOCATION:	LOAD CAPACITY: 500 LBS. W/ 4 SUPPORTS FRONT-OF-HOUSE PRINTER & STORAGE MILLWORK
CABINET HINGE	PRODUCT: LOCATION:	BLUM 71T5560 CLIP TOP STANDARD, 120° OPENING HINGE. STYLE: FULL OVERLAY, SELF-CLOSING. FINISH IS NICKEL-PLATED FRONT-OF-HOUSE PRINTER & STORAGE MILLWORK
CABINET LOCK	PRODUCT: LOCATION:	COMPMX NATIONAL 8053, BRIGHT NICKEL FINISH FRONT-OF-HOUSE PRINTER & STORAGE MILLWORK
ELBOW CATCH	PRODUCT: LOCATION:	IVES BY SCHLAGE, IVE-2A15, SATIN NICKEL FRONT-OF-HOUSE PRINTER & STORAGE MILLWORK
HARDWARE PULL FRONT-OF-HOUSE (NO SUBSTITUTE)	PRODUCT: LOCATION:	ELEMENTS, STANTON 625-224 (24MM, 8-13/16" C-TO-C) MATTE BLACK CONCEALED PRINTER/STORAGE MILLWORK
HARDWARE PULL TYPICAL (NO SUBSTITUTE)	PRODUCT: LOCATION:	ELEMENTS, STANTON 625-128SN (128MM, 5-3/8" C-TO-C) MATTE BLACK ALL GENERAL MILLWORK
PENCIL DRAWER (NO SUBSTITUTE)	PRODUCT: PRODUCT: LOCATION:	DOUG MOCKETT, DWR6-90, SINGLE STORAGE DRAWER ORCKETTER OR HAFALE, PENCIL DRAWER, 5 COMPARTMENTS, ITEM NO. 429.59.350 TELLER LINE, TELLER WORK ROOM, ATM ROOM, SERVICE MANAGER. INCLUDE AT ALL MILLWORK LOCATIONS WHERE A COMPUTER & CHAIR ARE PRESENT
CPU BRACKET (NO SUBSTITUTE)	PRODUCT: LOCATION:	SEE SHEET A9 03 - <i>TELLER LINE FORMS RACK, WORK BIN, & CPU SLING</i> FOR DETAILS TELLER, TELLER WORK ROOM, ATM ROOM, SERVICE MANAGER. INCLUDE AT ALL MILLWORK LOCATIONS WHERE A COMPUTER & CHAIR ARE PRESENT
ACRYLIC FORMS RACK AND WORK BIN	PRODUCT: LOCATION:	SEE SHEET A9 03 - <i>TELLER LINE FORMS RACK, WORK BIN, & CPU SLING</i> FOR DETAILS EACH TELLER, TELLER WORK ROOM, ATM ROOM
CABINET HINGE	PRODUCT: LOCATION:	SALICE 120° BARGE 09/16, CR2FP99 ALL GENERAL MILLWORK
HINGES	PRODUCT: LOCATION:	SALICE 105 DEGREE SELF CLOSING HINGE (100 SERIES) FRONT-OF-HOUSE MILLWORK CABINET WITH WATERFALL COUNTERTOP
MAGNETIC PUSH LATCH SINGLE TYPE	PRODUCT: LOCATION:	WURTH LOUIS & COMPANY, FUT50703-BK FRONT-OF-HOUSE MILLWORK CABINET WITH WATERFALL COUNTERTOP

SHEET NOTES

- A. MILLWORK HARDWARE MANUFACTURER AS NOTED OR EQUAL, UNLESS OTHERWISE NOTED.
- B. FOR CLARITY PURPOSES, NOT ALL BLOCKING AND HARDWARE ARE SHOWN ON MILLWORK DETAILS.
- C. BLOCKING AND HARDWARE NOT SHOWN ON MILLWORK DETAILS FOR CLARITY PURPOSES.
- D. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- E. REFER TO SHEET GO.15 FOR FINISH SPECIFICATION SCHEDULE.
- F. MILLWORK TO RECEIVE B-1 SINK/STOVE/WASHER BASINS, UNLESS NOTED OTHERWISE.
- G. COORDINATE PLUMBING WITH HIGHWAY MILLWORK CONFIGURATION, FINAL PLUMBING INSTALLATION AND ALL COLDWATER AND HOTWATER TAPS FOR COFFEE MAKERS, ETC. ALL ARE TO BE LOCATED AS HIGH AS POSSIBLE AND AS FAR TO THE BACK AS POSSIBLE TO ALLOW THE PLACEMENT OF THE REMOVABLE PANEL TO PROVIDE 19" CLEAR SPACE AS REQUIRED FOR AN ACCESSIBLE FRONT APPROACH.
- H. ANY HUB DRAINS REQUIRED ARE TO BE LOCATED IN AN ADJACENT CABINET AND ASSOCIATED PLUMBING TO BE RUN BEHIND THE REMOVABLE PANEL.
- I. FINAL DIMENSIONS AND FIELD COORDINATION OF REMOVABLE PANEL AT SINK CABINET TO BE COMPLETED AFTER FINAL PLUMBING HAS BEEN INSTALLED.
- J. INSTALL INSULATION AT ALL EXPOSED DRAIN AND SUPPLY PIPING.
- K. BACKLASH, SIDEPLASH, COUNTERTOP, AND BASE PER FINISH SCHEDULE.
- L. ALL MILLWORK SHALL BE CONSTRUCTED TO AWE PREMIUM STANDARDS UNLESS NOTED OTHERWISE.

MILLWORK INFORMATION

CABINET BODY	3/4" MDF UNLESS NOTED AS PLYWOOD ON DETAIL WITH PLASTIC LAMINATE AT ALL EXPOSED SURFACES AND PANEL EDGES.
	PROVIDE FINISHED PANELS AT ALL EXPOSED SIDES AND ENDS.
	1/4" MDF BACK WITH MELAMINE MELAMINE FIXED BOTTOM SHELF.
CONCEALED ADJUSTABLE SHELVES	3/4" MDF WITH MELAMINE WITH MATCHING EDGEBANDING AT FRONT EDGE. PROVIDE (4) MTL. SUPPORT CLIPS PER SHELF AND MOUNTING HOLES AT 32 MM OC.
DRAWER INTERIORS	1/2" MDF WITH MELAMINE SIDES, BACK AND FRONT WITH MATCHING EDGE BANDING
	1/4" MATCHING BOTTOM, TYP.
DOOR & DRAWER FACE	3/4" MDF WITH PLASTIC LAMINATE FACE AND BACK WITH MATCHING EDGE BANDING.
DOOR STOPS	AT END CABINET UNITS PROVIDE NYLON CORD AT TOP OF INSIDE CABINET DOOR THAT IS ATTACHED TO BOTTOM OF THE CABINET TO PREVENT DOOR/ DOOR HANDLE FROM HITTING ADJACENT WALL
MISC BRACKETS	WALL MOUNTED MILL/WORK, HAFELE HEBCO, (LOAD CAPACITY 1100 LBS. PER PAIR), MODEL NO. 287.45.459 FINISH: GRAY PRIMED STEEL

TOWNSHIP STAMP

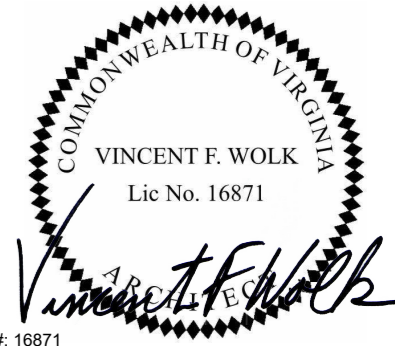


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36 SOUTH STREET
NEW PROVIDENCE N.J. 07974
TELEPHONE (908) 464-9300
FAX (908) 464-3123



VA LIC #: 16871

SEAL

CONSULTANTS

REVISIONS

[illegible]

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SHEET TITLE

INTERIOR DETAILS - MILLWORK

SHEET NUMBER

A7.07

ARCHITECT PROJECT NUMBER
2483



**WF BRANCH
NORTH
WASHINGTON**

LONGO ARCHITECTS
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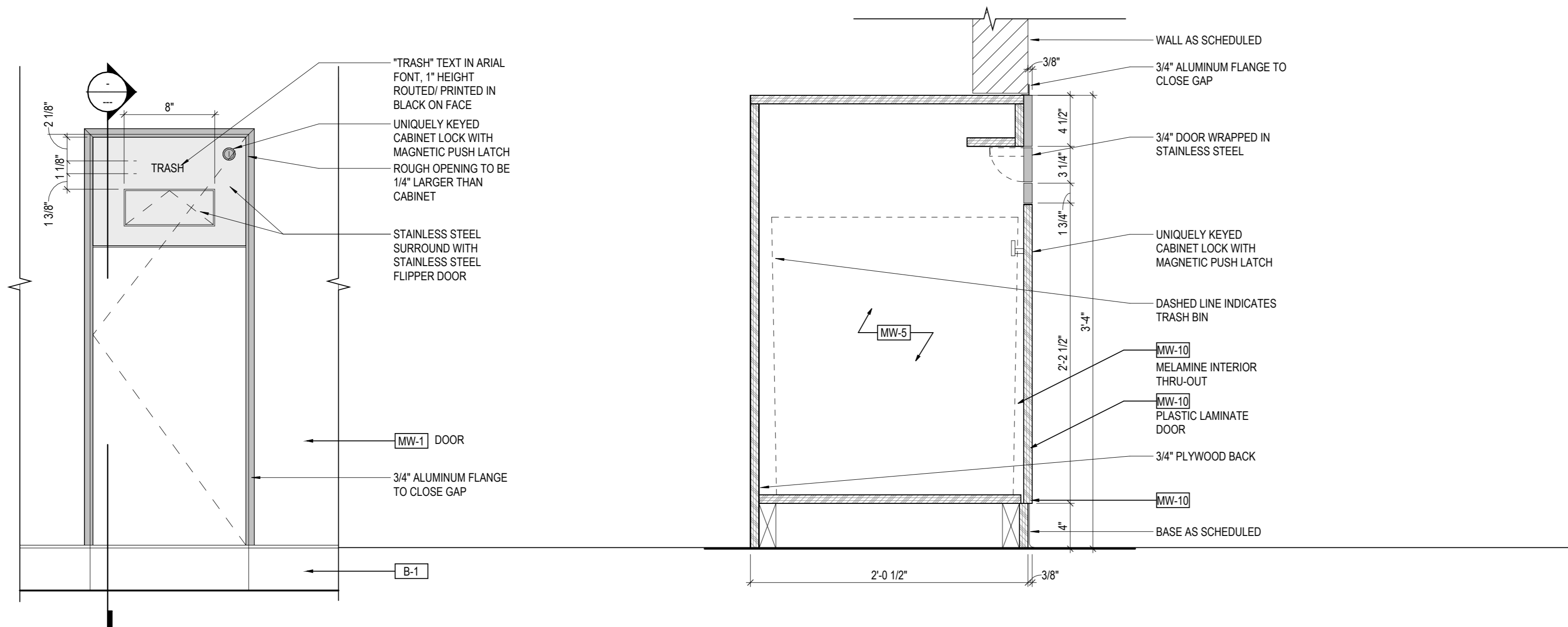
CONSULTANTS

WF PROJ. #392021

INTERIOR DETAILS - MILLWORK

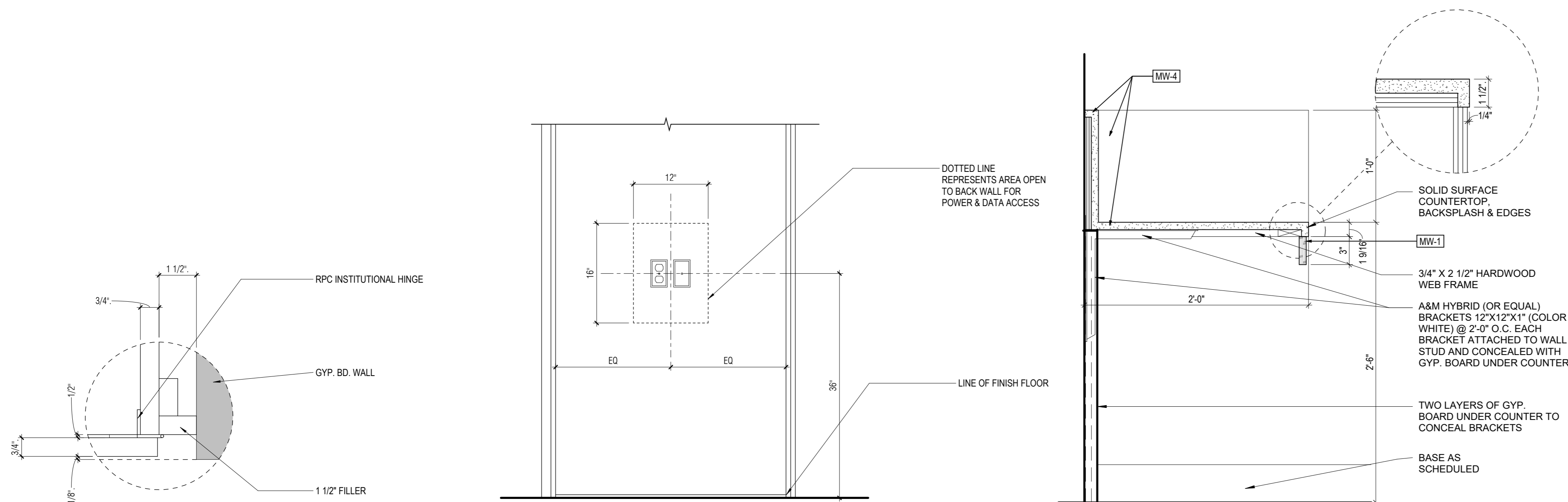
A7.08

ARCHITECT PROJECT NUMBER
2483



1 RECESSED TRASH ENCLOSURE - ELEVATION

2 RECESSED TRASH ENCLOSURE - SECTION



3 PRINTER CAB. FILLER PANEL

4 MFP PANEL OPENING

5 COUPON BOOTH -SECTION

TOWNSHIP STAMP

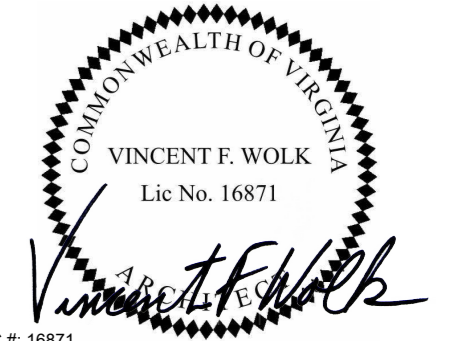


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SHEET TITLE

INTERIOR DETAILS - MILLWORK

SHEET NUMBER

A7.09

ARCHITECT PROJECT NUMBER
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Vincent F. Wolk

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SHEET TITLE

MARKETING ELEMENTS - ELEVATIONS & DETAILS

SET NUMBER

A7.10

ARCHITECT PROJECT NUMBER
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HEET TITLE

GREETER DIGITAL & STATION DETAILS

SHEET NUMBER

A7.11

ARCHITECT PROJECT NUMBER
2483



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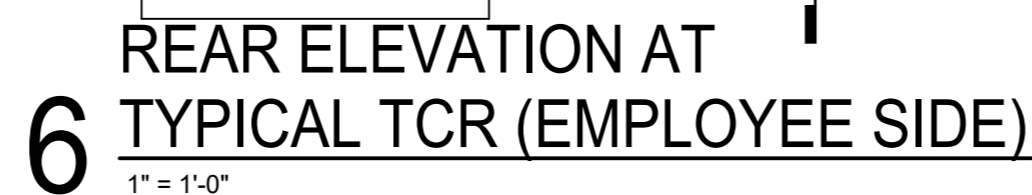
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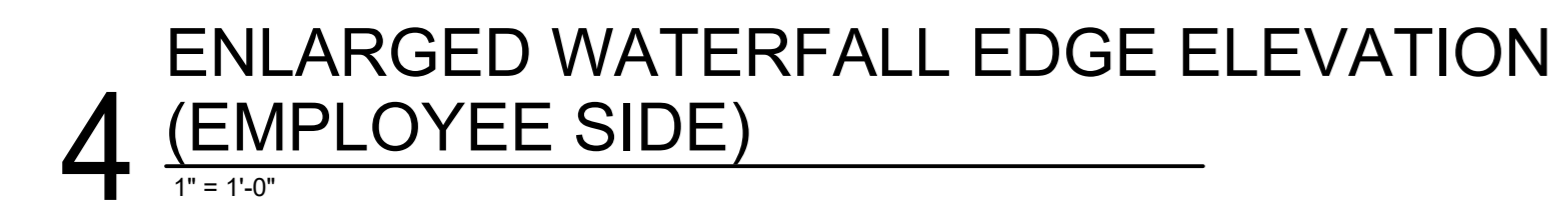
WF PROJ. #392021

CHECK DESK

A7.12

ARCHITECT PROJECT NUMBER
2483





ARCHITECT PROJECT NUMBER
2483



Technical drawing of the front view of the box. The drawing shows a rectangular box with a depth of 5 1/4" and a width of 8 1/2". A callout line points to the top edge of the box, labeled "1/8\" BLACK ACRYLIC".



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