

# DISCOVERY TIME LEARNING CENTER

417 HUME AVE.  
ALEXANDRIA, VA 22301

## OWNER

### DISCOVERY TIME LEARNING CENTER

1509 LESLIE AVE.  
ALEXANDRIA, VIRGINIA 22301

CONTACT: STEPHANIE HARRIS

## ARCHITECT

### MAGINNIS + DEL NINNO ARCHITECTS

500 MONTGOMERY STREET, SUITE 550  
ALEXANDRIA, VIRGINIA 22314

CONTACT: THERESA DEL NINNO, AIA

## MEP ENGINEER

### GILL ENGINEERING GROUP PLC

9161 LIBERIA AVE., SUITE 204B  
MANASSAS, VA 20110

CONTACT: HIRDY GILL, PE

## STRUCTURAL ENGINEER

### KENNEDY STRUCTURAL ENGINEERS

19309 WINNEMADE DRIVE, SUITE 322  
LEESBURG, VA 20176

CONTACT: SEAN P. KENNEDY, PE

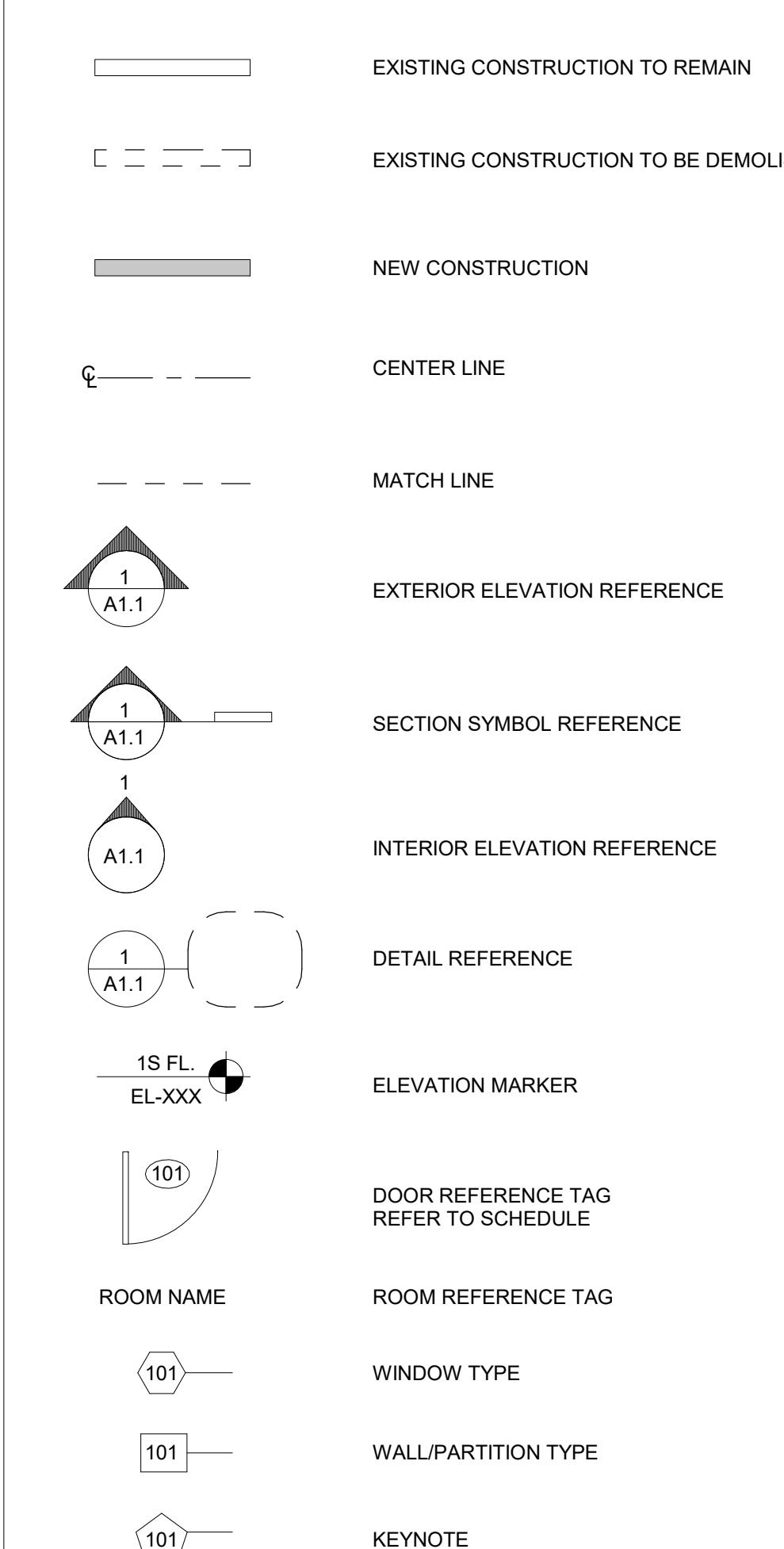
## VICINITY PLAN



## ARCHITECTURAL ABBREVIATIONS

ABV	ABOVE	F/FIN	FACE OF FINISH	PTD	PAINT (ED)
AFF	ABOVE FINISHED FLOOR	F/MAS	FACE OF MASONRY	PNB	PANIC BAR
AP	ACCESS PANEL	F/STUDS	FACE OF STUDS	PTN	PARTITION
ACOUS	ACOUSTICAL	FCU	FAN COIL UNIT	PL	PLATE
ACT	ACOUSTICAL TILE	FIN	FINISH (ED)	PLAM	PLASTIC LAMINATE
ADJ	ADJACENT	FFL	FINISHED FLOOR LINE	PLYWD	PLYWOOD
ADJT	ADJUSTABLE	FE	FIRE EXTINGUISHER	PLYWD	PLYWOOD
A/C	AIR CONDITIONING	FEC	FIRE EXTINGUISHER CABINET	PRT	PRESERVATIVE TREATED
ALT	ALTERNATE	FLASH	FLASHING	PVC	POLYVINYL CHLORIDE
ALUM (AL)	ALUMINUM	FLX	FLEXIBLE	QT	QUARRY TILE
AB	ANCHOR BOLT	FL	FLOOR (ING)	RAD	RADIUS
ANOD	ANODIZED	FD	FLOOR DRAIN	REF	REFERENCE
APPROX	APPROXIMATE	FTG	FOOTING	RB	RESILIENT BASE
ARCH	ARCHITECT (URAL)	FDN	FOUNDATION	RA	RETURN AIR
BM	BEAM	GA	GAGE, GAUGE	REQ'D	REQUIRED
BRG	BEARING	GALV	GALVANIZED	REV	REVISION (S), REVISED
BRG PL	BEARING PLATE	GC	GENERAL CONTRACT (OR)	RD	ROOF DRAIN
BLK (G)	BLOCK (BLOCKING)	GLA	GLASS, GLAZING	RDC	ROOF DRAIN CONDUCTOR
BD	BOARD	GB	GRAB BAR	RO	ROUGH OPENING
BLDG	BUILDING	GWB	GYPSUM WALL BOARD	RTU	ROOF TOP UNIT
CAB	CABINET	HDW	HARDWARE	SHT	SHEET
CB	CEMENT BOARD	HP	HIGH POINT	SIM	SIMILAR
CPT	CARPET (ED)	HVAC	HEATING/VENTILATING/AIR CONDITIONING	SIP	STRUCTURAL INSULATION PANELS
CLG	CEILING	HT	HEIGHT	SC	SOLID CORE
CT	CERAMIC TILE	HC	HOLLOW CORE	SPEC	SPECIFICATION (S)
CMU	CONCRETE MASONRY UNIT	HOPE	HIGH-DENSITY POLYETHYLENE	SQ	SQUARE
COL	COLUMN	HM	HOLLOW METAL	SST	STAINLESS STEEL
CONC	CONCRETE	HORIZ	HORIZONTAL	STC	SOUND TRANSMISSION COEFFICIENT
CONST	CONSTRUCTION	ID	INSIDE DIAMETER	STD	STANDARD
CONT	CONTINUOUS OR CONTINUE	INSUL	INSULATE (D), (ION)	STL	STEEL
CORR	CORRUGATED	INT	INTERIOR	STO	STORAGE
CJ	CONTROL JOINT	JC	JANITOR'S CLOSET	STRUC	STRUCTURAL
CL	CENTER LINE	LL	LIVE LOAD	SUSP	SUSPENDED
DET	DETAIL	LAB	LABORATORY	TEL	TELEPHONE
DL	DEAD LOAD	LBS	POUNDS	THK	THICKNESS
DIA	DIAmeter	MFR	MANUFACTURE (ER)	THRES	THRESHOLD
DIM	DIMENSION	MAS	MASONRY	TRTD	TREATED
DR	DOOR	MO	MASONRY OPENING	T/SLB	TOP OF SLAB
DS	DOWNSPOUT	MAX	MAXIMUM	TP	TYPICAL
DWG	DRAWING	MECH	MECHANIC (AL)	UL	UNDERWRITER'S LAB
ELEC	ELECTRIC (AL)	MED	MEDIUM	UNO	UNLESS NOTED OTHERWISE
EWC	ELECTRIC WATER COOLER	MTD	MOUNTED	VERT	VERTICAL
ELEV	ELEVATOR	MTL	METAL	VIF	VERIFY IN FIELD
EMER	EMERGENCY	MP	METAL PANEL	VPB	VAPOR BARRIER
EQ	EQUAL	MIN	MINIMUM	VCT	VINYL COMPOSITION TILE
EQUIP	EQUIPMENT	MISC	MISCELLANEOUS	VPB	VAPOR BARRIER
ETR	EXISTING TO REMAIN	MR	MOISTURE RESISTANT	WWF	WELDED WIRE FABRIC
EX	EXPOSED	NRC	NOISE REDUCTION COEFFICIENT	WIN	WINDOW
EXH	EXHAUST	NOM	NOMINAL	W/	WITH
EXIST	EXISTING	NIC	NOT IN CONTRACT	W/O	WITHOUT
EB	EXPANSION BOLT	NTS	NOT TO SCALE	WD	WOOD
EJ	EXPANSION JOINT	OC	ON CENTER (S)	WP	WATER PROOFING
EXPD	EXPOSED	OPNG	OPENING	WPT	WORKING POINT
EXT	EXTERIOR	OPP	OPPOSITE	WR	WATER RESISTANT
F/CONC	FACE OF CONCRETE	OD	OUTSIDE DIAMETER		

## ARCHITECTURAL SYMBOLS



MAGINNIS +  
DEL NINNO  
ARCHITECTS  
PC

500 Montgomery St, Ste 550,  
Alexandria, VA 22314  
P: 703/548-0460 mdnarch.com



5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
NO.	DATE	DESCRIPTION



417 Hume Ave.  
Alexandria VA 22301

DRAWING TITLE:  
COVER SHEET

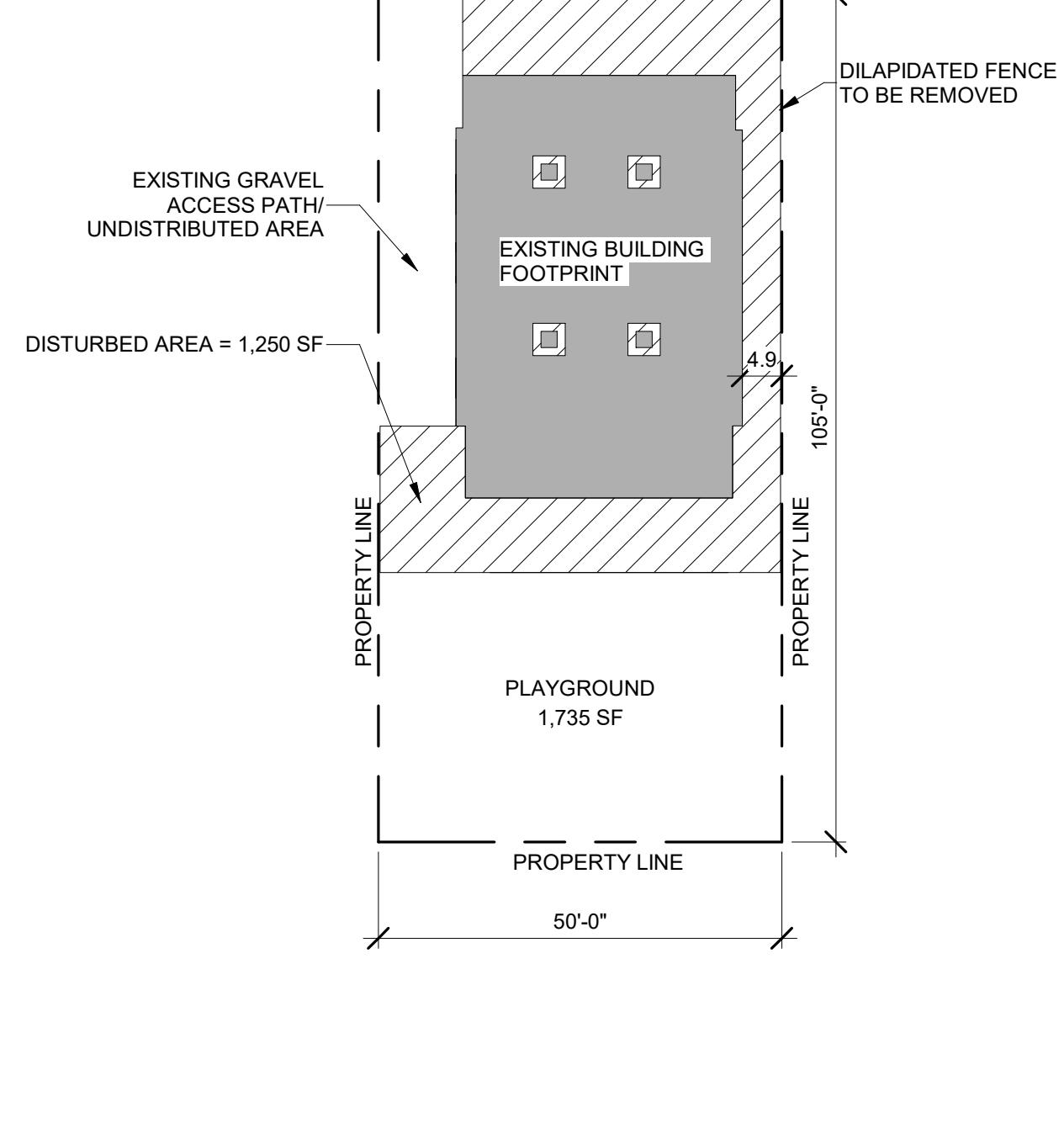
COMM. NO:	DRAWING NUMBER:
210400	
DRAWN :	
LS	
CHECKED :	
ZS	
SCALE:	
1/16" = 1'-0"	
DATE:	

COVER

APPLICABLE BUILDING CODE REGULATIONS		
CODE	SECTION	REQUIREMENT
WINDOW AND DOORS WILL COMPLY WITH TABLE C402.4 OPERABLE WINDOW U-FACTOR OF 0.45 SHGC 0.36, ENTRY DOORS U-FACTOR OF 0.75, SKYLIGHTS WILL MEET A U FACTOR OF 0.5 AND SHGC OF 0.4.		
<b>CHAPTER 6: TYPES OF CONSTRUCTION</b>		
2018 VCC TABLE 601	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)	
CONSTRUCTION TYPE VB	PRIMARY STRUCTURAL FRAME	0
BEARING WALLS	EXTERIOR	0
INTERIOR	0	
NONBEARING WALLS/PARTITIONS	INTERIOR	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS		0
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS		0
<b>CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES</b>		
2018 VCC TABLE 705.8	OPENINGS 10 TO LESS THAN 15 FEET SPRINKLERED - 45% ALLOWABLE AREA	
2018 VCC 706.4	FIRE WALLS FIRE RESISTANCE RATINGS	
2018 VCC 707	FIRE RESISTANCE RATING FOR GROUP E, I- 3 HR	
2018 VCC 708	FIRE BARRIERS FIRE RESISTANCE RATINGS REQUIREMENTS FOR FIRE BARRIER OR HORIZONTAL ASSEMBLIES	
2018 VCC 713.4	FIRE RESISTANCE RATING FOR GROUP E, 1- 2 HR SHAFT ENCLOSURES CONNECTING LESS THAN 4 STORIES = 1 HR FIRE RATING	
2018 VCC 716 TABLE 716.1	OPENING FIRE PROTECTION ASSEMBLIES PROVIDE AS FOLLOWS:	
	1 HR FIRE PARTITIONS = 3/4 HR RATED OPENING	
	2 HR FIRE PARTITIONS = 1-1/2 HR RATED OPENING	
	1 HR STAIRS = 3/4 HR RATED OPENING	
	3 HR FIRE WALLS = 3 HR RATED OPENING	
<b>CHAPTER 8: INTERIOR FINISHES</b>		
2018 VCC TABLE 803.13	INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY	
	FOR OCCUPANCY GROUP I-4:	
	CLASS B: INTERIOR EXIT STAIRWAYS	
	CLASS B: CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS	
	CLASS B: ROOMS AND ENCLOSED SPACES	
	FOR OCCUPANCY GROUP E:	
	CLASS B: INTERIOR EXIT STAIRWAYS	
	CLASS C: CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS	
	CLASS C: ROOMS AND ENCLOSED SPACES	
<b>CHAPTER 9: FIRE PROTECTION SYSTEMS</b>		
2018 VCC 903	AUTOMATIC SPRINKLER SYSTEMS	
903.2.6 GROUP I EXCEPTION 3	IN BUILDINGS WHERE GROUP I-4 DAY CARE IS PROVIDED ON LEVELS OTHER THAN THE LEVEL OF EXIT DISCHARGE, AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 SHALL BE INSTALLED ON THE ENTIRE FLOOR WHERE CARE IS PROVIDED, ALL FLOORS BETWEEN THE LEVEL OF CARE AND THE LEVEL OF EXIT DISCHARGE.	
903.2.3 GROUP E NOTE 2	THE GROUP E FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES.	
903.3.1.1	SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13.	
2018 VCC 906.1	PORTABLE FIRE EXTINGUISHERS PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS. 1.N IN GROUPS A, B, E, F, H, I, M, R-1, R-4, AND S OCCUPANCIES.	
2018 VCC 907	FIRE ALARM AND DETECTION SYSTEMS	
907.2.3 GROUP E	A MANUAL FIRE ALARM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM MEETING THE REQUIREMENTS OF SECTION 907.5 AND INSTALLED IN ACCORDANCE WITH SECTION 907.6 SHALL BE INSTALLED IN GROUP E OCCUPANCIES. WHEN AUTOMATIC SPRINKLER SYSTEMS OR SMOKE DETECTORS ARE INSTALLED, SUCH SYSTEMS OR DETECTORS SHALL BE CONNECTED TO THE BUILDING FIRE ALARM SYSTEM.	
EXCEPTION 3	MANUAL FIRE ALARM BOXES SHALL NOT BE REQUIRED IN GROUP E OCCUPANCIES WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1, THE OCCUPANT NOTIFICATION SYSTEM WILL ACTIVATE ON SPRINKLER WATER FLOW AND MANUAL ACTIVATION IS PROVIDED FROM A NORMALLY OCCUPIED LOCATION	
907.2.6	A MANUAL FIRE ALARM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5 SHALL BE INSTALLED IN GROUP I OCCUPANCIES. AN AUTOMATIC SMOKE DETECTION SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5 SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 907.2.6.1, 907.2.6.2 AND 907.2.6.3.	
2018 VCC TABLE 1004.5	DAY CARE OCCUPANT LOAD FACTOR 35 NET	
2018 VCC 1005.3	REQUIRED CAPACITY BASED ON OCCUPANT LOAD EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM PER SECTION 903.3.1.1 OR 903.3.1.2 STAIRWAYS: 0.2 INCHES PER OCCUPANT	
<b>CHAPTER 10: MEANS OF EGRESS</b>		
2018 VCC 1011.2	MINIMUM WIDTH SHALL BE NOT LESS THAN 44 INCHES	
	EXCEPTIONS:	
	1. STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES.	
2018 VCC 1006.2.2.4	GROUP I-4 FACILITIES, ROOMS OR SPACES WHERE CARE IS PROVIDED FOR MORE THAN 10 CHILDREN THAT ARE 2 1/2 YEARS OF AGE OR LESS, SHALL HAVE ACCESS TO NOT LESS THAN TWO EXITS OR EXIT ACCESS DOORWAYS.	
2018 VCC 1019.3	OCCUPANCIES OTHER THAN GROUPS I-2 AND I-3. IN OTHER THAN GROUP I-2 AND I-3 OCCUPANCIES, FLOOR OPENINGS CONTAINING EXIT ACCESS STAIRWAYS OR RAMPS THAT DO NOT COMPLY WITH ONE OF THE CONDITIONS LISTED IN THIS SECTION SHALL BE ENCLOSED WITH A SHAFT ENCLOSURE CONSTRUCTED IN ACCORDANCE WITH SECTION 713.	
1019.3 EXCEPTION 1:	EXIT ACCESS STAIRWAYS AND RAMPS THAT SERVE OR ATMOSPHERICALLY COMMUNICATE BETWEEN ONLY TWO STORIES. SUCH INTERCONNECTED STORIES SHALL NOT BE OPEN TO OTHER STORIES.	
TABLE 1020.2 MINIMUM CORRIDOR WIDTH	ANY FACILITY NOT LISTED IN THIS TABLE - 44 INCHES	
<b>CHAPTER 11: ACCESSIBILITY</b>		
2018 VCC 1104.2	WITHIN A SITE MINIMUM OF ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, FACILITIES, ELEMENTS, AND SPACES ON THE SAME SITE.	
2018 VCC 1104.4 EXCEPTION 2:	STORIES, MEZZANINES OR OCCUPIED ROOFS THAT DO NOT CONTAIN ACCESSIBLE ELEMENTS OR OTHER SPACES AS DETERMINED BY SECTION 1107 OR 1108 ARE NOT REQUIRED TO BE SERVED BY AN ACCESSIBLE ROUTE FROM AN ACCESSIBLE LEVEL.	
2018 VCC 1109.2	OTHER FEATURES AND FACILITIES EACH TOILET ROOM AND BATHING ROOM SHALL BE ACCESSIBLE, WHERE A FLOOR LEVEL IS NOT REQUIRED TO BE CONNECTED BY AN ACCESSIBLE ROUTE, THE ONLY TOILET ROOMS OR BATHING ROOMS PROVIDED WITHIN THE FACILITY SHALL NOT BE LOCATED ON THE INACCESSIBLE FLOOR, EXCEPT AS PROVIDED FOR IN SECTIONS 1109.2.2 THROUGH 1109.2.4, AT LEAST ONE OF EACH TYPE OF FIXTURE, ELEMENT, CONTROL OR DISPENSER IN EACH ACCESSIBLE TOILET ROOM AND BATHING ROOM SHALL BE ACCESSIBLE.	

## DISTURBED AREA PLAN

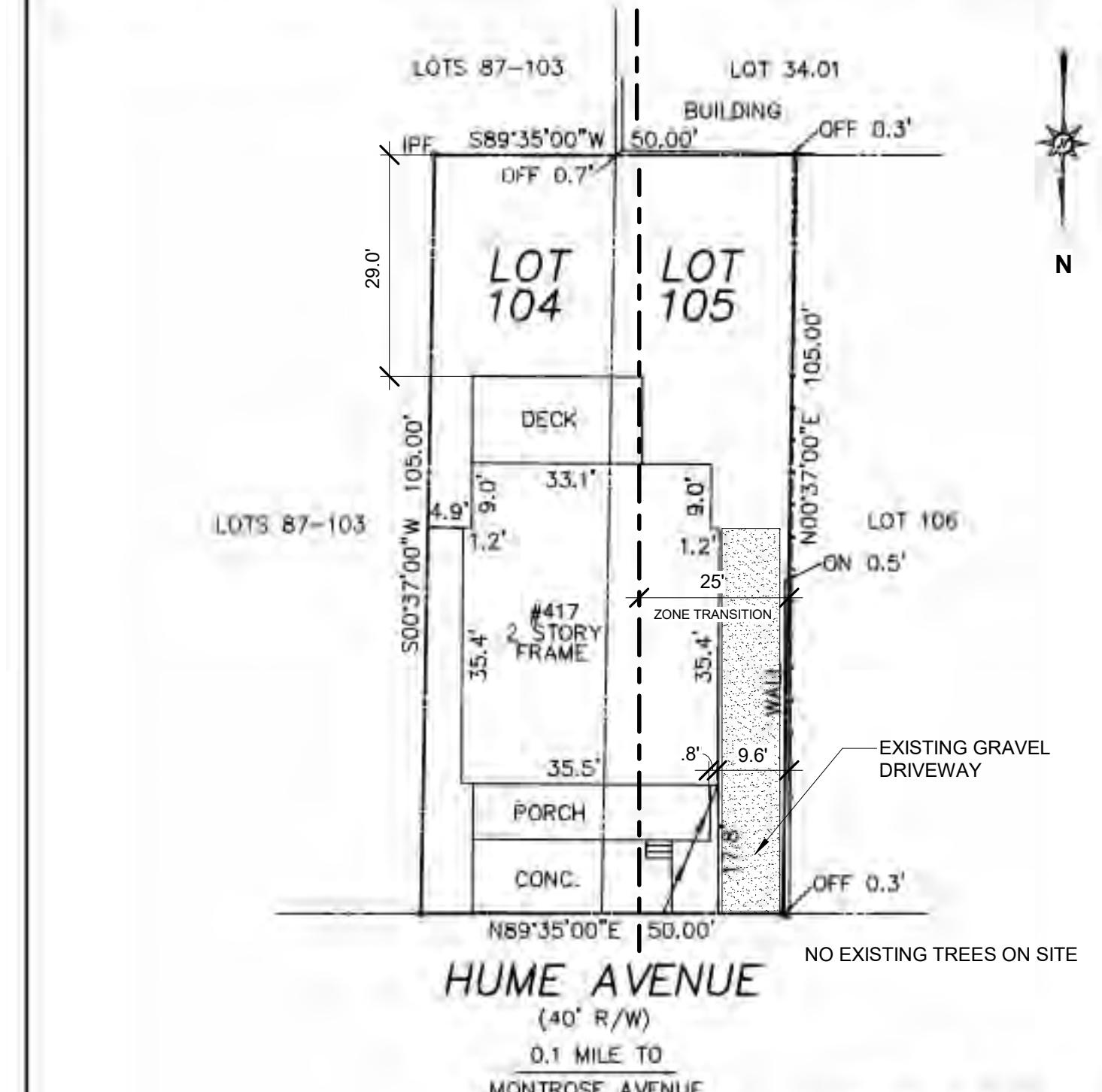
### HUME AVENUE



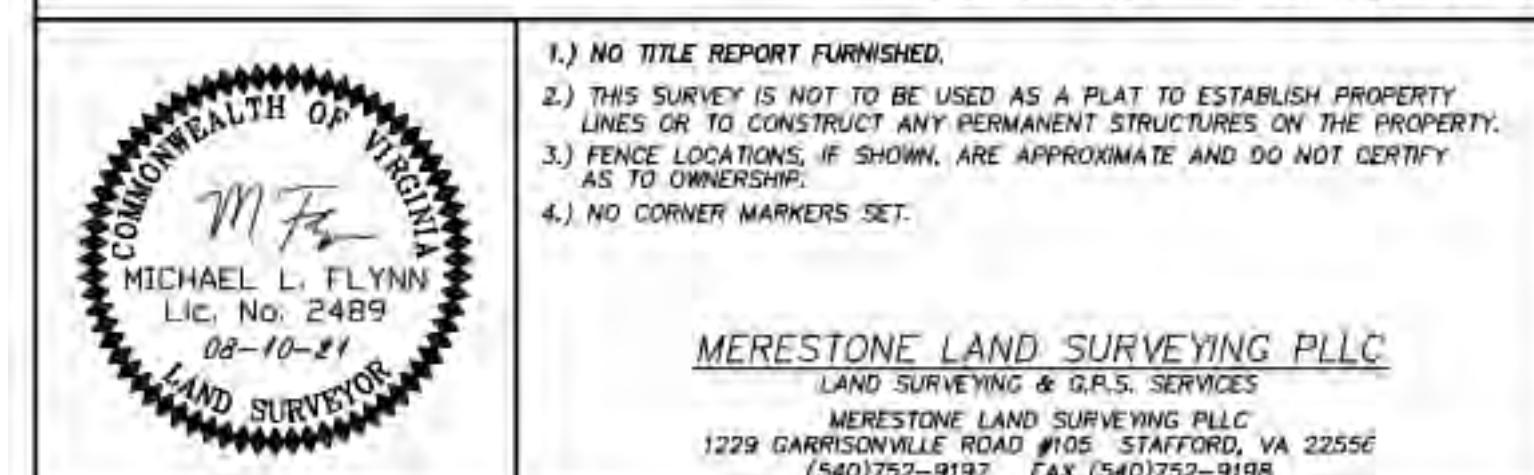
## PLAT OF SURVEY - EXISTING CONDITIONS

LINE TYPES:	LEGEND:
— BOUNDARY LINE	ADW-ASPHALT DRIVEWAY
— EASEMENT	CONC.-CONCRETE
— DRIVEWAY	PP-POWER POLE
— A/W-AREAWAY	F/W-RIGHT OF WAY
— FENCE	FDS-FIBER OPTICS UTILITY BOX
— OVERHEAD WIRE	SMH-SANITARY MANHOLE
— STRUCTURE	ST-DOOR
—	TEL-TELEPHONE PEDESTAL
—	TR/TRANS-TRANSFORMER
—	IRF-IRON ROD SET.
—	IRF-IRON ROD FOUND.
—	WM-WATER METER
—	WV-WATER VALVE
—	WW-WINDOW WELL

TOTAL AREA= 5,250 SF



LOCATION SURVEY  
LOTS 104 & 105  
ST. ELMO  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE 1"=20' DATE 08-10-21



## PROJECT INFORMATION

### ZONING INFORMATION

		EXISTING	NEW
EXISTING ZONING : CSL/COMMERCIAL SERVICES LOW ZONE			
LOT SIZE : 50'-0" X 105'-0" = 5,250 SF	BUILDING SPRINKLERED?	N	Y
F.A.R. (FLOOR AREA RATIO) : .5 X 5,250 SF= 2,625 SF	FIRE ALARM SYSTEM?	N	Y
PARCEL #:	RPC #0201-03-23		
2.0 BUILDING HEIGHT	50 FT - 2 STORIES (3 ABOVE GRADE IF FULLY SPRINKLERED)	EXISTING: 26'-4" - 2 STORIES	NEW: NO CHANGE - 26'-4" - 2 STORIES
3.0 SIDE YARD	25 FEET MIN.	EXISTING: NOT IN COMPLIANCE	NO CHANGE

### ALEXANDRIA ZONING ORDINANCE

CITY OF ALEXANDRIA ZONING ORDINANCE: SUPP.NO.79
ARTICLE II DEFINITIONS:
SECTION 2-145 FLOOR AREA
B. FOR PROPERTIES EXCEPT FOR THOSE SPECIFIED IN SUBSECTION A. ABOVE, THE FLOOR AREA OF THE BUILDING OR BUILDINGS ON A LOT OR TRACT OR TRACT OF LAND (WHETHER MAIN OR ACCESSORY) IS THE SUM OF ALL GROSS HORIZONTAL AREAS UNDER ROOF ON A LOT. THESE AREAS SHALL BE MEASURED FROM THE EXTERIOR FACES OF WALLS OR ANY EXTENDED AREA UNDER ROOF. EXCLUDED FROM FLOOR AREA SHALL BE:
(1) STAIRS AND ELEVATORS. THE TERM STAIRS INCLUDES RAMPS AND OTHER SIMILAR STRUCTURES DEEMED NECESSARY TO PROVIDE ACCESS TO PERSONS WITH DISABILITIES.
(2) FLOOR SPACE USED FOR UTILITIES, WHICH MAY INCLUDE ACCESSORY WATER TANKS, COOLING TOWERS, MECHANICAL AND ELECTRICAL EQUIPMENT, AND ANY SIMILAR CONSTRUCTION NOT SUSCEPTIBLE TO STORAGE OR OCCUPANCY.
(3) LAVATORIES OF WHICH ONLY A MAXIMUM OF 50 SQUARE FEET OF EACH LAVATORY CAN BE EXCLUDED. THE MAXIMUM TOTAL OF EXCLUDABLE AREA FOR LAVATORIES SHALL BE NO GREATER THAN TEN PERCENT OF GROSS FLOOR AREA.
(7) SPACE UNDER OPEN BALCONIES AND SIMILAR STRUCTURES PROJECTIONS FROM A FLOOR ABOVE THE FIRST FLOOR UP TO A MAXIMUM OF DEPTH OF EIGHT FEET.
(15) AREAS WITH A CEILING HEIGHT OF LESS THAN SEVEN FEET, EXCEPT IN AN ABOVE GRADE PARKING GARAGE CONSTRUCTED AFTER MARCH 17, 2018. AREAS IN A PARKING GARAGE CONSTRUCTED AFTER THAT DATE, REGARDLESS OF HEIGHT, MAY NOT BE EXCLUDED.

### BUILDING GROSS AREA TABULATION

FLOOR AREA	EXISTING	NEW	CODE ALLOWABLE	TOTAL	USE GROUP
LEVEL 1	1,842 SF	0 SF	14,500 SF	1,398 SF	E
				426 SF	I-4
LEVEL 2	1,554 SF	0 SF	14,500 SF	1,554 SF	E

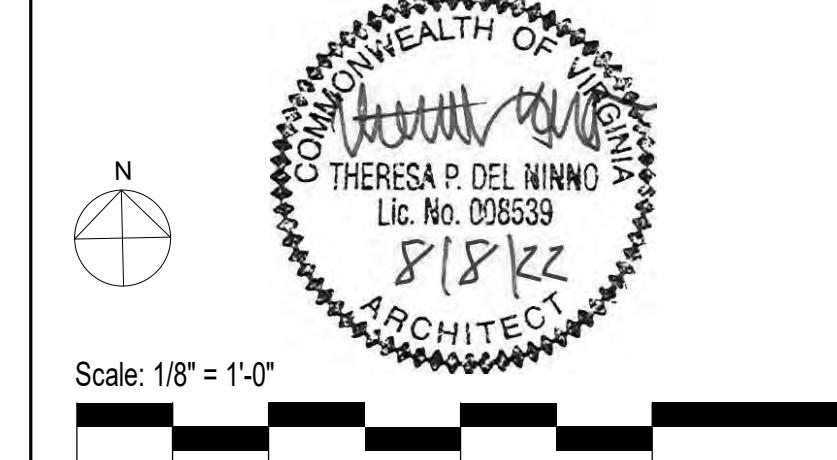
\* SQUARE FOOTAGE CALCULATIONS INCLUDE PHASE II : 120 SF.

### GREEN BUILDING POLICY STATEMENT

TO COMPLY WITH THE CITY'S GREEN BUILDING POLICY, THE EXISTING BUILDING ENVELOPE WILL BE RETROFITTED TO BE INSULATED BEYOND VCC ENERGY REQUIREMENTS. ADDITIONALLY, UPON COMPLETION OF THE WORK, AN EUI ANALYSIS WILL BE COMPLETED, AND WE PROPOSE TO PURSUE BUILDING CERTIFICATION UNDER THE U.S. EPA'S ENERGY STAR BUILDING CERTIFICATION PROGRAM.

MAGINNIS+  
DEL NINNO  
ARCHITECTS  
PC

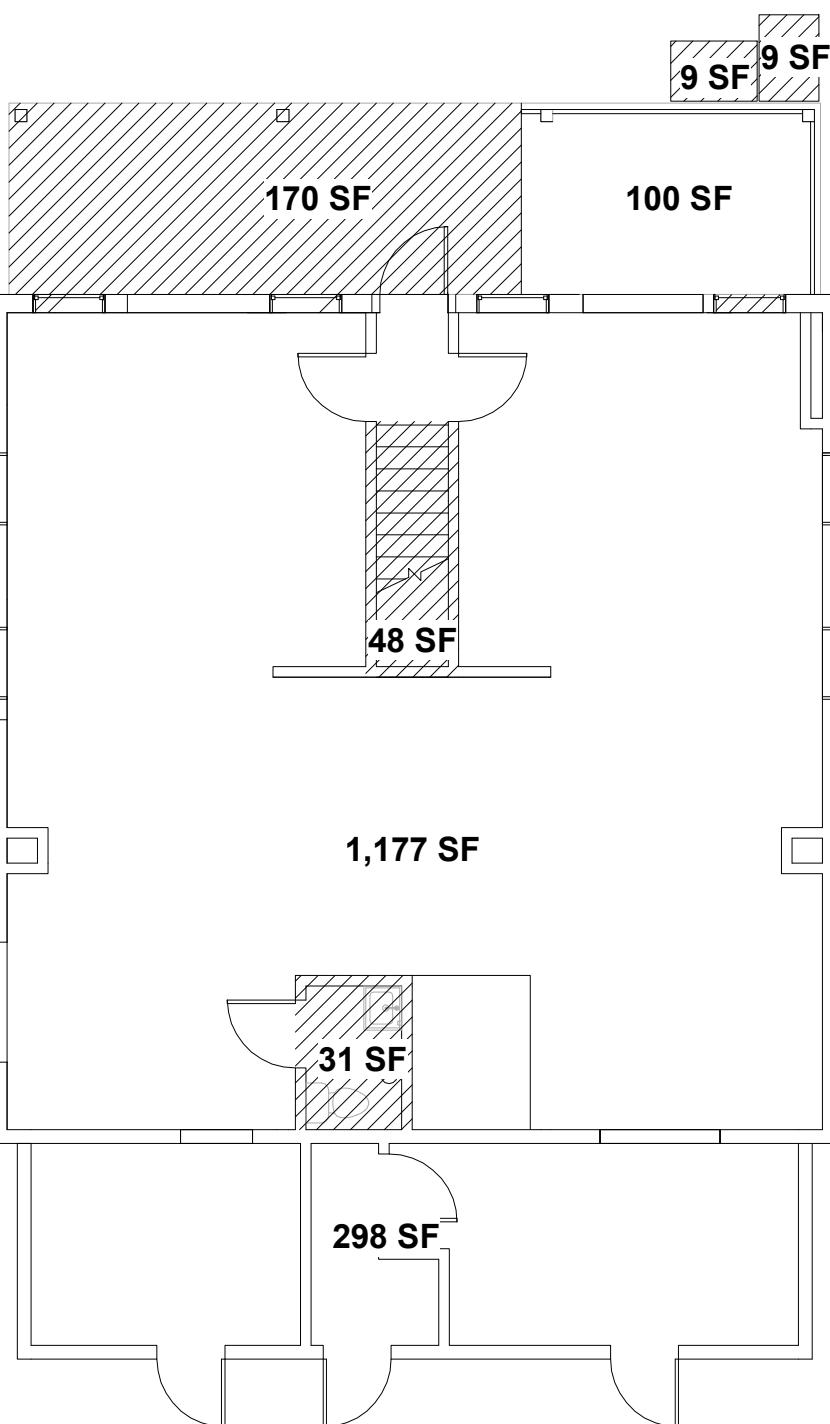
500 Montgomery St, Ste 550,  
Alexandria, VA 22314  
P: 703/548-0460 mdnarch.com



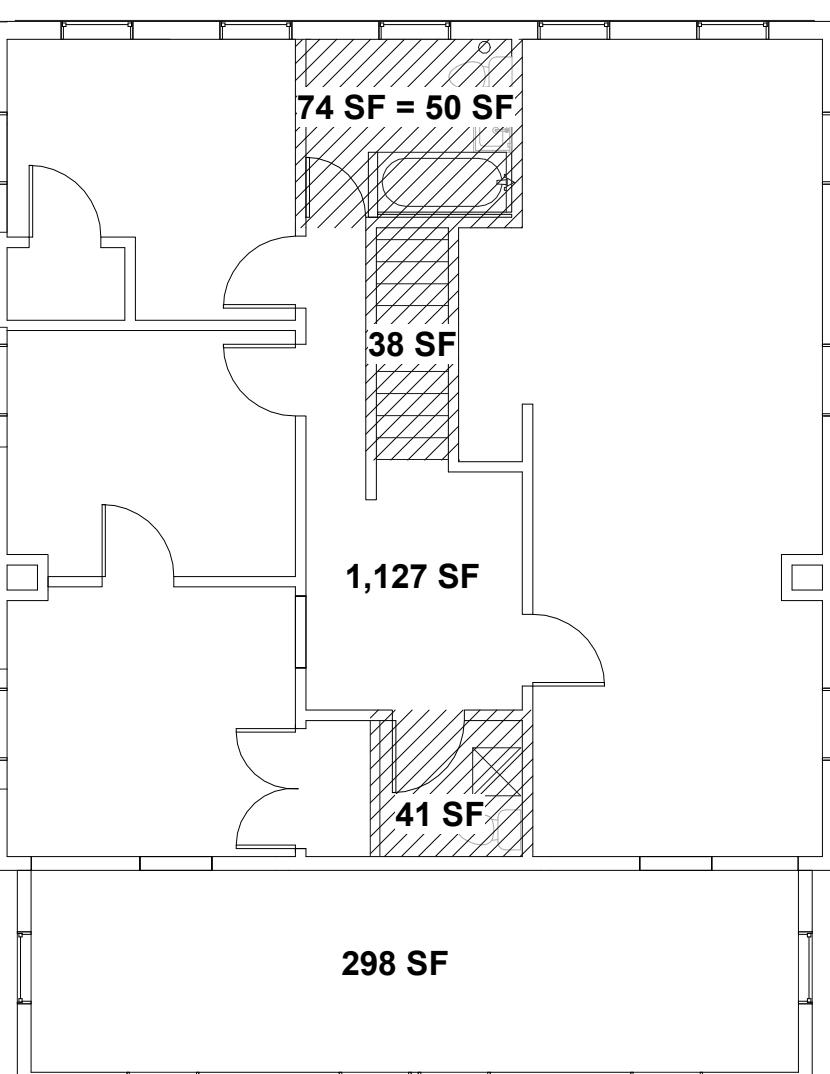
DRAWING TITLE:  
PLAT & ZONING COMPLIANCE

CODE.1  
COMM. NO: 210400  
DRAWN : Author  
CHECKED : Checker  
SCALE: As indicated  
DATE: DATE:

## EXISTING FAR CALCULATION PLANS

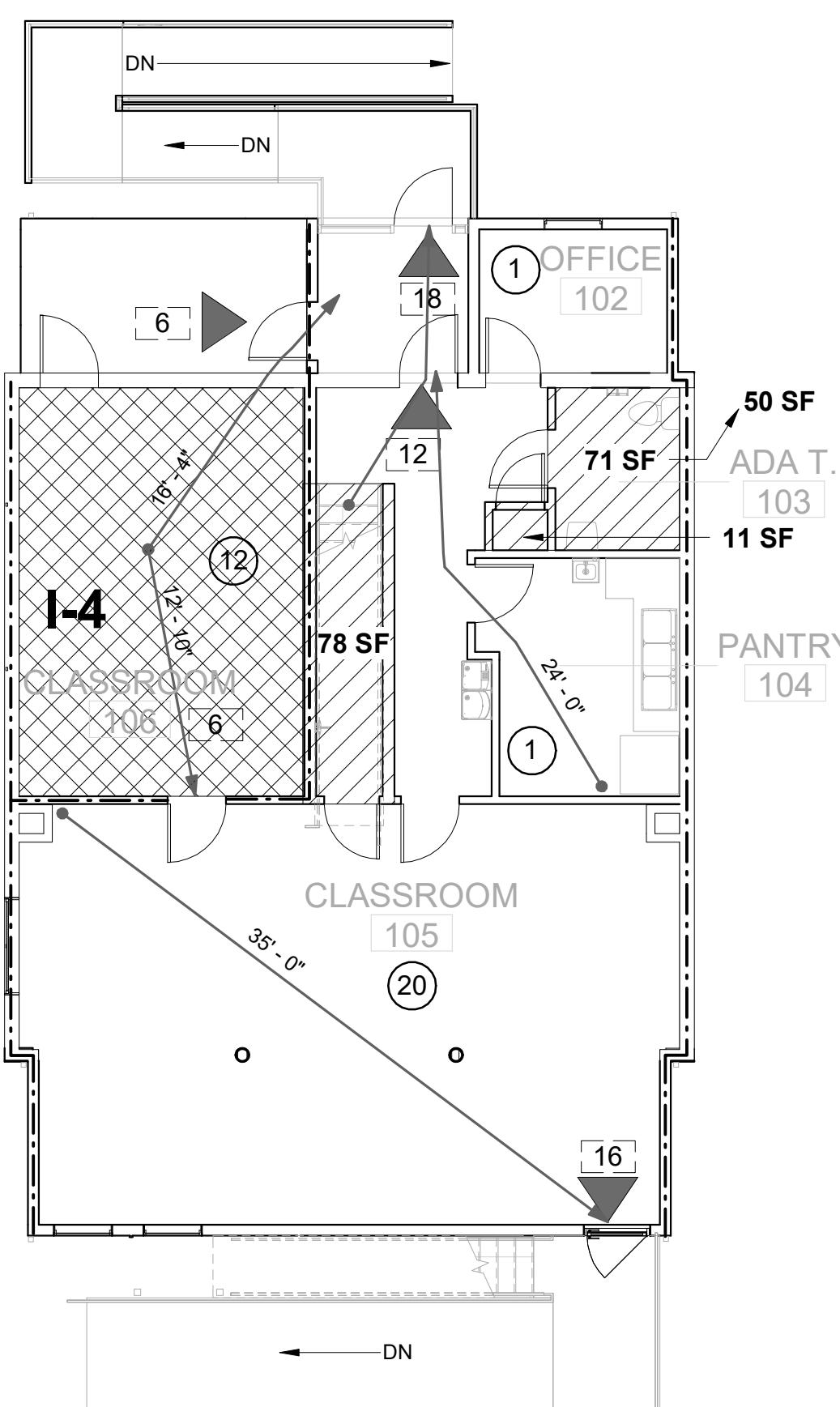


FIRST FLOOR PLAN

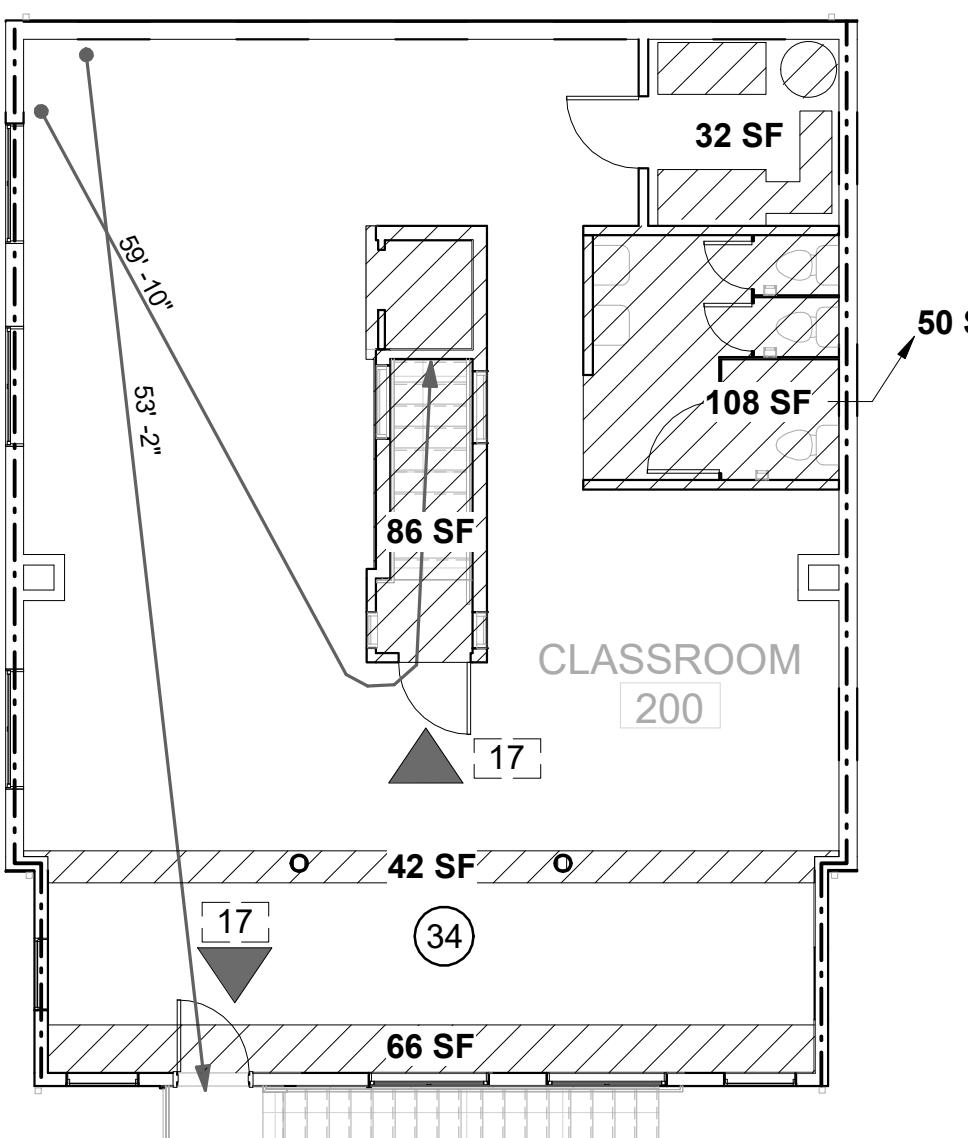


SECOND FLOOR PLAN

## BUILDING CODE COMPLIANCE + FAR CALCULATION PLANS



FIRST FLOOR CODE PLAN



SECOND FLOOR CODE PLAN

### LEGEND

— — — 1 HR FIRE RATED CONSTRUCTION	(XX) MAXIMUM NUMBER OF OCCUPANTS CALCULATED BY CODE
— — — COMMON PATH OF TRAVEL	(XX) CODE REQUIRED OCCUPANTS EXITING
— — — AREA EXCLUDED FROM FLOOR AREA PER ZONING	
— — — I-4 OCCUPANCY	

## FLOOR AREA RATIO



### Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

#### A. Property Information

A1: 417 HUME AVENUE ALEXANDRIA, VA 22301

Street Address

A2: 5,250.00

Total Lot Area

x 0.50

Floor Area Ratio Allowed by Zone

CSL/ COMMERCIAL  
SERVICES LOW ZONE  
Zone  
= 2.625.00  
Maximum Allowable Floor Area

#### B. Existing Gross Floor Area

##### Existing Gross Area

	Allowable Exclusions**
Basement	0.00
First Floor	1,523.00
Second Floor	1,463.00
Third Floor	0.00
Attic	0.00
Porches	270.00
Balcony/Deck	0.00
Lavatory***	122.00
Other**	0.00
Other**	18.00
<b>B1. Total Gross</b>	<b>3,396.00</b>
<b>B2. Total Exclusions</b>	<b>378.00</b>

B1. 3,396.00 Existing Gross Floor Area\*\* Sq. Ft.

B2. 378.00 Allowable Floor Exclusions\*\* Sq. Ft.

B3. 3,018.00 Existing Floor Area Minus Exclusions (subtract B2 from B1) Sq. Ft.

Comments for Existing Gross Floor Area

other\*\* is two enclosed sheds

#### C. Proposed Gross Floor Area

##### Proposed Gross Area

	Allowable Exclusions**
Basement	0.00
First Floor	1,774.00
Second Floor	1,504.00
Third Floor	0.00
Attic	135.00
Porches	0.00
Balcony/Deck	0.00
Lavatory***	100.00
Other**	11.00
Other**	108.00
<b>C1. Total Gross</b>	<b>3,513.00</b>
<b>C2. Total Exclusions</b>	<b>550.00</b>

C1. 3,513.00 Proposed Gross Floor Area\*\* Sq. Ft.

C2. 550.00 Allowable Floor Exclusions\*\* Sq. Ft.

C3. 2,963.00 Proposed Floor Area Minus Exclusions (subtract C2 from C1) Sq. Ft.

Notes

\*Gross floor area is the sum of all areas (gross and net) measured from the face of exterior walls, including porches, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)(1)) and contact with Zoning Staff for information regarding zoning requirements. Zoning may also be reviewed for some exclusions.

\*\*\*Lavatories may be ventilated up to a maximum of 500 square feet per fixture. The maximum total of ventilated areas for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Theresa del Ninno

Date: 21-9-2022

\* SQUARE FOOTAGE CALCULATIONS INCLUDE PHASE II : 120 SF.

MAGINNIS+  
DEL NINNO  
ARCHITECTS  
PC

500 Montgomery St, Ste 550,  
Alexandria, VA 22314  
P: 703/548-0460 mdnarch.com



2	10/20/2022	DSP SUBMISSION
1	10/03/2022	REVISION 2
NO. DATE	DESCRIPTION	ISSUE



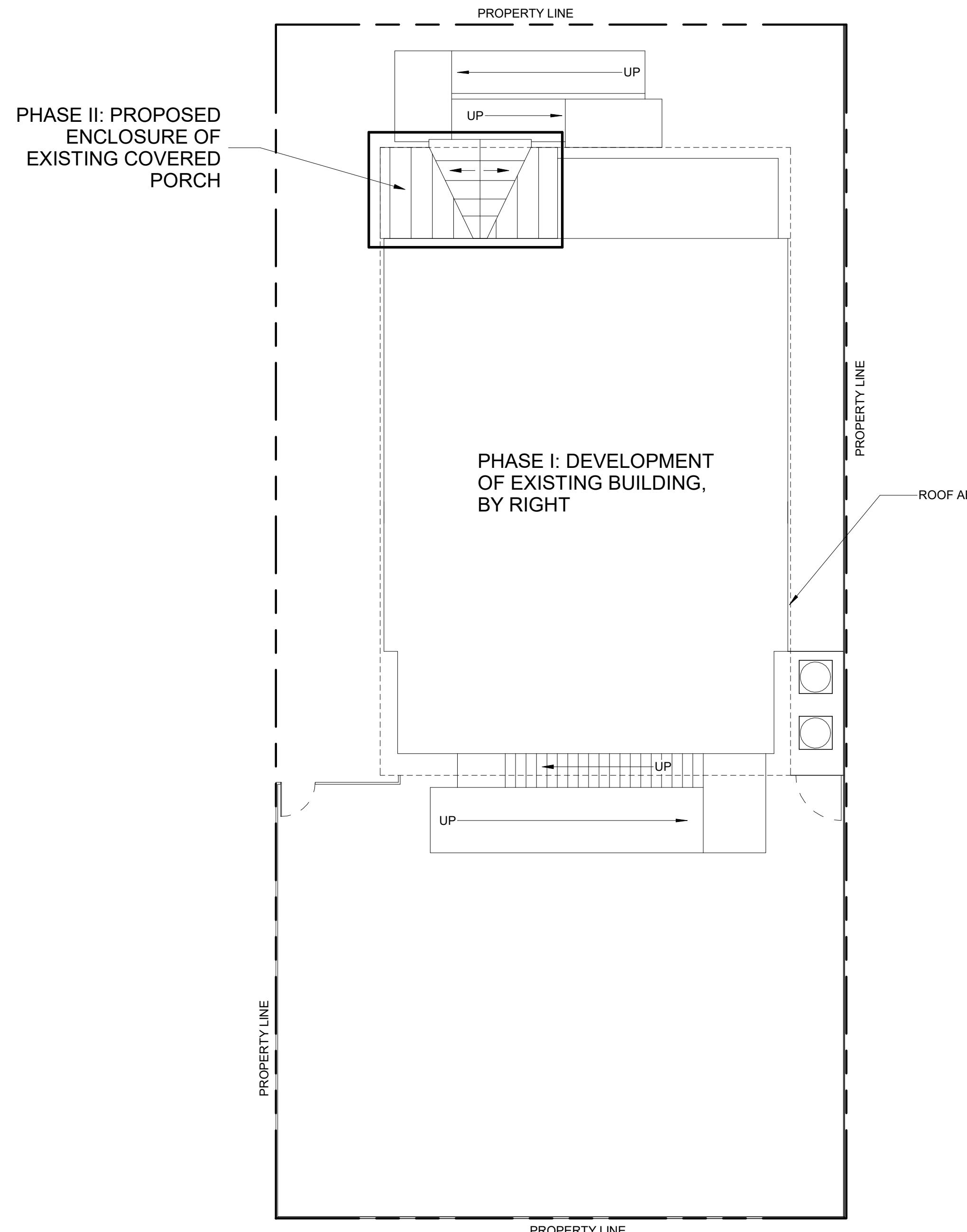
417 Hume Ave.  
Alexandria VA 22301

DRAWING TITLE:	FAR & BUILDING CODE PLANS
----------------	---------------------------

COMM. NO:	DRAWING NUMBER:
210400	
DRAWN :	
Author	
CHECKED :	
Checker	
SCALE:	
As indicated	
DATE:	

CODE.2

<p><b>MEETING MINUTES</b> Discovery Time at 417 Hume Meeting Date: 03/10/22</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>Tony LaColla      City of Alexandria Richard Lawrence      City of Alexandria Anna Franco      City of Alexandria Theresa del Ninno, AIA      MdN Zaira Suarez, AIA      MdN</p> <p><b>DISTRIBUTION:</b> Attendees, Stephanie Harris, Discovery Time Learning Center</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p> <p><b>I. INTRODUCTION OF PROJECT</b></p> <p>1. Theresa introduced the project, noting that Discovery Time Learning Center has purchased 417 Hume for a preschool use. The following comments were made about the property:</p> <ul style="list-style-type: none"> <li>a. Prior to purchase, the design team met with members of Planning and Zoning to discuss development options, given this site is in the Oakville Triangle. The small area plan shows a future road along the east end of the property. The City would not support a completely new development on the site. The City would support a development that would be less expensive, using the existing building.</li> <li>b. The existing building was previously used as a catering business.</li> <li>c. The two-story wood framed structure has approximately 3,500 sf, including the front covered porch.</li> <li>d. The site, according to tax records, is zoned CSL (Lot size = 5,250 SF Allowable Floor Area Ratio: 0.5 = Allowed Building square footage is 2,625 SF.0).</li> <li>e. The existing building is a non-complying structure given its square footage and proximity to the property lines.</li> <li>f. The contractor exposed some of the wood framing for examination by the structural engineer. The engineer noted: <ul style="list-style-type: none"> <li>i. The existing wood frame is deteriorated with water and insect damage.</li> <li>ii. The existing brick masonry foundation is in good condition.</li> <li>iii. The expense of sistering all the studs and joists would be significantly greater than building on existing foundations.</li> </ul> </li> </ul> <p><b>II. DISCUSSION</b></p> <p>1. Theresa asked whether the wood frame structure could be removed and new framing built on top of the existing foundations. Tony referred to section 12-1028 of the zoning code that would allow a non-complying structure to be reconstructed, no greater in height or square footage than the existing structure.</p> <p>2. Richard asked whether the building is historic or would need a review through the Town of Potomac. Tony noted the property might be listed as a contributing structure in the Town of Potomac National Historic District; however, there is no City review or guidelines that would need to be followed since there is not a local historic district for the neighborhood.</p> <p>3. Richard asked whether the building's roof and fenestration would be replicated. Theresa showed a roof plan of a long shed roof and noted that new prefabricated trusses would most likely span in the shorter direction.</p> <p>4. Tony noted the site abuts a residential zone and future playground structures would need to have a 25' setback from the shared property line.</p> <p>5. Anna noted the site may need a DSUP if the site disturbance is greater than the allowable threshold for a grading permit. She encouraged the design team to discuss the site improvements with Melanie Mason at T+ES.</p> <p>6. Tony noted a DSUP process would consist of concept plans, two preliminary site plans, planning commission and city council hearings. An optimistic estimate would be a 7 month process before a final site plan process would begin. Theresa noted the site disturbance is limited given the framing would be constructed on the existing foundations and the existing stacked parking would remain. A new ADA ramp would be developed at the entry. Services of a civil engineer are currently not anticipated. In keeping with the recommendation of the City to limit expenses, the design team will develop options to avoid a lengthy entitlement process for the preschool.</p> <p>7. Tony noted the building would be exempt from the DSUP process as per the zoning code section 11-404C if the total gross square footage of the newly constructed floors is less than 3,000 sf.</p>	<p><b>Maginnis + del Ninno Architects</b> Proj. No. 210400 Meeting with City of Alexandria Planning</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>anthony.lacolla@alexandriava.gov Richard.Lawrence@alexandriava.gov anna.franco@alexandriava.gov tdelnino@mdnarch.com zsuarez@mdnarch.com</p> <p><b>DISTRIBUTION:</b> Attendees, Stephanie Harris, Discovery Time Learning Center</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p> <p><b>I. INTRODUCTION OF PROJECT</b></p> <p>1. In August 2021, prior to the purchase of the lot, we had meetings with the offices of the Planning and Zoning Department to discuss the implications of the small area plan and any other zoning related items that would affect the development in this location. We did not say this precisely.</p> <p>Another meeting was held a couple weeks ago with Tony LaColla, Richard Laurence and Anna Franco. At that time, it was suggested we reach out to Transportation &amp; Environmental Services to determine how the land owner can move forward with the project without a grading or site plan.</p> <p>2. Melanie noted that 2,500 or more SF of site disturbance would require submitting a grading plan to T+ES.</p> <ul style="list-style-type: none"> <li>a. Although the removal of the wood deck at the rear of the site would improve the porosity of the site, it would contribute to the land disturbance SF.</li> <li>b. A play surface is considered disturbance if the porosity of the site or the grade is a change from the existing condition. Mulch is generally not considered disturbance if the existing grade is unchanged. The installation of playground equipment would be considered site disturbance.</li> <li>c. Melanie also noted that we must include the a 10'-0" wide construction entrance and indicate the required length of vehicle access, - is required. It was noted the site already has a paved driveway.</li> </ul> <p>3. Alex Boulden noted that residential structures require a grading plan if 50% or more is demolished. Tony LaColla had noted that as a commercial structure, this would not apply to the property.</p> <p>4. Alex noted that he will discuss the demolition internally and will reach back out to the design team in a few days.</p> <p>A sprinkler system will be required in the building which will require connection to water utilities in the street. This work will require an excavation permit through T+ES if a grading permit is not required.</p> <p>5. MdN Architects will provide Alex Boulden and Melanie Mason the property plat and photos of the existing building conditions.</p>	<p>1. Discovery Time Learning Center has purchased 417 Hume for a preschool use. Note:</p> <ul style="list-style-type: none"> <li>a. The existing building is zoned CSL commercial. It was previously used as a catering business</li> <li>b. The existing masonry foundation that comes up a couple of feet from the ground will be reused to keep the identical footprint of the existing structure.</li> <li>c. The wood walls above the existing masonry foundation are damaged, from water and termite damage and beyond repair. Constructing new wood walls would cost much less than trying to salvage and sister the existing wood stud walls. The project will provide new walls above the existing masonry foundation.</li> <li>d. A new accessible entrance will need to be provided at the front of the property.</li> <li>e. The dilapidated wood deck at the back of the building will be removed.</li> <li>f. A playground area will be provided at the rear of the property observing the required side setback. Adequate ground covering will be used to provide permeability. Mulch has been suggested.</li> </ul> <p><b>II. DISCUSSION</b></p> <p>1. In August 2021, prior to the purchase of the lot, we had meetings with the offices of the Planning and Zoning Department to discuss the implications of the small area plan and any other zoning related items that would affect the development in this location. We did not say this precisely.</p> <p>Another meeting was held a couple weeks ago with Tony LaColla, Richard Laurence and Anna Franco. At that time, it was suggested we reach out to Transportation &amp; Environmental Services to determine how the land owner can move forward with the project without a grading or site plan.</p> <p>2. Melanie noted that 2,500 or more SF of site disturbance would require submitting a grading plan to T+ES.</p> <ul style="list-style-type: none"> <li>a. Although the removal of the wood deck at the rear of the site would improve the porosity of the site, it would contribute to the land disturbance SF.</li> <li>b. A play surface is considered disturbance if the porosity of the site or the grade is a change from the existing condition. Mulch is generally not considered disturbance if the existing grade is unchanged. The installation of playground equipment would be considered site disturbance.</li> <li>c. Melanie also noted that we must include the a 10'-0" wide construction entrance and indicate the required length of vehicle access, - is required. It was noted the site already has a paved driveway.</li> </ul> <p>3. Alex Boulden noted that residential structures require a grading plan if 50% or more is demolished. Tony LaColla had noted that as a commercial structure, this would not apply to the property.</p> <p>4. Alex noted that he will discuss the demolition internally and will reach back out to the design team in a few days.</p> <p>A sprinkler system will be required in the building which will require connection to water utilities in the street. This work will require an excavation permit through T+ES if a grading permit is not required.</p> <p>5. MdN Architects will provide Alex Boulden and Melanie Mason the property plat and photos of the existing building conditions.</p>	<p>5. ZS presented plan diagrams showing the disturbance area will be under 2,500 sf whether the existing gravel drive is considered or not. She notes that there is an existing driveway of gravel and that could be used as the construction entrance. MM noted that T+ES should make a site visit to observe the drive. RL asked about whether the existing foundations would need remedial work. ZS stated the structural engineer observed some of the piers and noted they are in good condition. TdN stated the continuous masonry spread footing will support a two-story wood frame replacement of the existing two-story wood frame structure.</p> <p>6. TdN requested a determination from Planning and Zoning and T+ES as to where the project falls in Section 11-404. If removing the deteriorating wood structure and replacing it with new on the existing foundations is considered a new building, she asked for the quantity of wood structure that would be allowed for removal so that the building would fall under exception 11-404b.</p> <p>7. TLC stated he will evaluate and discuss Section 11-404 with his department and gaff T+ES and let us know how it will be interpreted for this property.</p>
<p><b>END OF MINUTES</b></p>			
<p><b>MEETING MINUTES</b> Discovery Time at 417 Hume Meeting Date: 09/29/22</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>Mary Christensen (MC)      City of Alexandria Nathan Randal (NR)      City of Alexandria Russell Gage (RG)      Russell Gage Corporation Milton Boniles (MB)      Russell Gage Corporation Theresa del Ninno, AIA (TdN)      MdN Zaira Suarez, AIA (ZS)      MdN</p> <p><b>DISTRIBUTION:</b> Attendees, Stephanie Harris, Discovery Time Learning Center</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p>	<p><b>Maginnis + del Ninno Architects</b> Proj. No. 210400 Meeting with City of Alexandria Planning</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>mary.christensen@alexandriava.gov nathan.randal@alexandriava.gov russell.gage@alexandriava.gov milton.boniles@alexandriava.gov tdelnino@mdnarch.com zsuarez@mdnarch.com</p> <p><b>DISTRIBUTION:</b> Attendees, Stephanie Harris, Discovery Time Learning Center</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p>	<p><b>MEETING MINUTES</b> Discovery Time at 417 Hume Meeting Date: 09/29/22</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>Mary Christensen (MC)      City of Alexandria Nathan Randal (NR)      City of Alexandria Russell Gage (RG)      Russell Gage Corporation Milton Boniles (MB)      Russell Gage Corporation Theresa del Ninno, AIA (TdN)      MdN Zaira Suarez, AIA (ZS)      MdN</p> <p><b>DISTRIBUTION:</b> Attendees, Stephanie Harris, Discovery Time Learning Center</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p>	
<p><b>MEETING MINUTES</b> Discovery Time at 417 Hume Meeting Date: 04/01/22</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>Tony LaColla (TLC)      City of Alexandria Richard Lawrence (RL)      City of Alexandria Alex Boulden (AB)      City of Alexandria Melanie Mason (MM)      City of Alexandria Theresa del Ninno (TdN)      MdN Zaira Suarez (ZS)      MdN Lauren Sughrue (LS)      MdN</p> <p><b>DISTRIBUTION:</b> Attendees, Stephanie Harris, Discovery Time Learning Center</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p>	<p><b>Maginnis + del Ninno Architects</b> Proj. No. 210400 Meeting with City of Alexandria Planning</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>anthony.lacolla@alexandriava.gov richard.lawrence@alexandriava.gov alex.boulden@alexandriava.gov melanie.mason@alexandriava.gov tdelnino@mdnarch.com zsuarez@mdnarch.com lsughrue@mdnarch.com</p> <p><b>DISTRIBUTION:</b> Attendees, Stephanie Harris, Discovery Time Learning Center</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p>	<p><b>MEETING MINUTES</b> Discovery Time at 417 Hume Meeting Date: 04/01/22</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>Tony LaColla (TLC)      City of Alexandria Richard Lawrence (RL)      City of Alexandria Alex Boulden (AB)      City of Alexandria Melanie Mason (MM)      City of Alexandria Theresa del Ninno (TdN)      MdN Zaira Suarez (ZS)      MdN Lauren Sughrue (LS)      MdN</p> <p><b>DISTRIBUTION:</b> Attendees, Stephanie Harris, Discovery Time Learning Center</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p>	
<p><b>MEETING MINUTES</b> Discovery Time at 417 Hume Meeting Date: 03/22/22</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>Alex Boulden      City of Alexandria Melanie Mason      City of Alexandria Theresa del Ninno, AIA      MdN Zaira Suarez, AIA      MdN Lauren Sughrue      MdN</p> <p><b>DISTRIBUTION:</b> Attendees and Stephanie Harris, discoverytimelearningcenter@gmail.com.</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p>	<p><b>Maginnis + del Ninno Architects</b> Proj. No. 210400 Meeting with City of Alexandria Transportation + Environmental Services</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>alex.boulden@alexandriava.gov melanie.mason@alexandriava.gov tdelnino@mdnarch.com zsuarez@mdnarch.com lsughrue@mdnarch.com</p> <p><b>DISTRIBUTION:</b> Attendees and Stephanie Harris, discoverytimelearningcenter@gmail.com.</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p>	<p><b>MEETING MINUTES</b> Discovery Time at 417 Hume Meeting Date: 03/22/22</p> <p><b>ATTENDEES:</b> Name, (Initials)      Affiliation      <b>Sent via email</b></p> <p>Alex Boulden      City of Alexandria Melanie Mason      City of Alexandria Theresa del Ninno, AIA      MdN Zaira Suarez, AIA      MdN Lauren Sughrue      MdN</p> <p><b>DISTRIBUTION:</b> Attendees and Stephanie Harris, discoverytimelearningcenter@gmail.com.</p> <p><b>RECORD:</b> These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.</p>	
<p><b>I. INTRODUCTION OF PROJECT</b></p> <p>1. Tony LaColla introduced the project, noting that Discovery Time Learning Center has purchased 417 Hume for a preschool use. The following comments were made about the property:</p> <ul style="list-style-type: none"> <li>a. Prior to purchase, the design team met with members of Planning and Zoning to discuss development options, given this site is in the Oakville Triangle. The small area plan shows a future road along the east end of the property. The City would not support a completely new development on the site. The City would support a development that would be less expensive, using the existing building.</li> <li>b. The existing building was previously used as a catering business.</li> <li>c. The two-story wood framed structure has approximately 3,500 sf, including the front covered porch.</li> <li>d. The site, according to tax records, is zoned CSL (Lot size = 5,250 SF Allowable Floor Area Ratio: 0.5 = Allowed Building square footage is 2,625 SF.0).</li> <li>e. The existing building is a non-complying structure given its square footage and proximity to the property lines.</li> <li>f. The contractor exposed some of the wood framing for examination by the structural engineer. The engineer noted: <ul style="list-style-type: none"> <li>i. The existing wood frame is deteriorated with water and insect damage.</li> <li>ii. The existing brick masonry foundation is in good condition.</li> <li>iii. The expense of sistering all the studs and joists would be significantly greater than building on existing foundations.</li> </ul> </li> </ul> <p><b>II. DISCUSSION</b></p> <p>1. Tony LaColla introduced the project, noting that Discovery Time Learning Center has purchased 417 Hume for a preschool use. The following comments were made about the property:</p> <ul style="list-style-type: none"> <li>a. Prior to purchase, the design team met with members of Planning and Zoning to discuss development options, given this site is in the Oakville Triangle. The small area plan shows a future road along the east end of the property. The City would not support a completely new development on the site. The City would support a development that would be less expensive, using the existing building.</li> <li>b. The existing building was previously used as a catering business.</li> <li>c. The two-story wood framed structure has approximately 3,500 sf, including the front covered porch.</li> <li>d. The site, according to tax records, is zoned CSL (Lot size = 5,250 SF Allowable Floor Area Ratio: 0.5 = Allowed Building square footage is 2,625 SF.0).</li> <li>e. The existing building is a non-complying structure given its square footage and proximity to the property lines.</li> <li>f. The contractor exposed some of the wood framing for examination by the structural engineer. The engineer noted: <ul style="list-style-type: none"> <li>i. The existing wood frame is deteriorated with water and insect damage.</li> <li>ii. The existing brick masonry foundation is in good condition.</li> <li>iii. The expense of sistering all the studs and joists would be significantly greater than building on existing foundations.</li> </ul> </li> </ul> <p><b>III. DESIGN</b></p> <p>1. Tony LaColla introduced the project, noting that Discovery Time Learning Center has purchased 417 Hume for a preschool use. The following comments were made about the property:</p> <ul style="list-style-type: none"> <li>a. Prior to purchase, the design team met with members of Planning and Zoning to discuss development options, given this site is in the Oakville Triangle. The small area plan shows a future road along the east end of the property. The City would not support a completely new development on the site. The City would support a development that would be less expensive, using the existing building.</li> <li>b. The existing building was previously used as a catering business.</li> <li>c. The two-story wood framed structure has approximately 3,500 sf, including the front covered porch.</li> <li>d. The site, according to tax records, is zoned CSL (Lot size = 5,250 SF Allowable Floor Area Ratio: 0.5 = Allowed Building square footage is 2,625 SF.0).</li> <li>e. The existing building is a non-complying structure given its square footage and proximity to the property lines.</li> <li>f. The contractor exposed some of the wood framing for examination by the structural engineer. The engineer noted: <ul style="list-style-type: none"> <li>i. The existing wood frame is deteriorated with water and insect damage.</li> <li>ii. The existing brick masonry foundation is in good condition.</li> <li>iii. The expense of sistering all the studs and joists would be significantly greater than building on existing foundations.</li> </ul> </li> </ul> <p><b>IV. CONSTRUCTION</b></p> <p>1. Tony LaColla introduced the project, noting that Discovery Time Learning Center has purchased 417 Hume for a preschool use. The following comments were made about the property:</p> <ul style="list-style-type: none"> <li>a. Prior to purchase, the design team met with members of Planning and Zoning to discuss development options, given this site is in the Oakville Triangle. The small area plan shows a future road along the east end of the property. The City would not support a completely new development on the site. The City would support a development that would be less expensive, using the existing building.</li> <li>b. The existing building was previously used as a catering business.</li> <li>c. The two-story wood framed structure has approximately 3,500 sf, including the front covered porch.</li> <li>d. The site, according to tax records, is zoned CSL (Lot size = 5,250 SF Allowable Floor Area Ratio: 0.5 = Allowed Building square footage is 2,625 SF.0).</li> <li>e. The existing building is a non-complying structure given its square footage and proximity to the property lines.</li> <li>f. The contractor exposed some of the wood framing for examination by the structural engineer. The engineer noted: <ul style="list-style-type: none"> <li>i. The existing wood frame is deteriorated with water and insect damage.</li> <li>ii. The existing brick masonry foundation is in good condition.</li> <li>iii. The expense of sistering all the studs and joists would be significantly greater than building on existing foundations.</li> </ul> </li> </ul> <p><b>V. OPERATION</b></p> <p>1. Tony LaColla introduced the project, noting that Discovery Time Learning Center has purchased 417 Hume for a preschool use. The following comments were made about the property:</p> <ul style="list-style-type: none"> <li>a. Prior to purchase, the design team met with members of Planning and Zoning to discuss development options, given this site is in the Oakville Triangle. The small area plan shows a future road along the east end of the property. The City would not support a completely new development on the site. The City would support a development that would be less expensive, using the existing building.</li> <li>b. The existing building was previously used as a catering business.</li> <li>c. The two-story wood framed structure has approximately 3,500 sf, including the front covered porch.</li> <li>d. The site, according to tax records, is zoned CSL (Lot size = 5,250 SF Allowable Floor Area Ratio: 0.5 = Allowed Building square footage is 2,625 SF.0).</li> <li>e. The existing building is a non-complying structure given its square footage and proximity to the property lines.</li> <li>f. The contractor exposed some of the wood framing for examination by the structural engineer. The engineer noted: <ul style="list-style-type: none"> <li>i. The existing wood frame is deteriorated with water and insect damage.</li> <li>ii. The existing brick masonry foundation is in good condition.</li> <li>iii. The expense of sistering all the studs and joists would be significantly greater than building on existing foundations.</li> </ul> </li> </ul> <p><b>VI. FINANCIALS</b></p> <p>1. Tony LaColla introduced the project, noting that Discovery Time Learning Center has purchased 417 Hume for a preschool use. The following comments were made about the property:</p> <ul style="list-style-type: none"> <li>a. Prior to purchase, the design team met with members of Planning and Zoning to discuss development options, given this site is in the Oakville Triangle. The small area plan shows a future road along the east end of the property. The City would not support a completely new development on the site. The City would support a development that would be less expensive, using the existing building.</li> <li>b. The existing building was previously used as a catering business.</li> <li>c. The two-story wood framed structure has approximately 3,500 sf, including the front covered porch.</li> <li>d. The site, according to tax records, is zoned CSL (Lot size = 5,250 SF Allowable Floor Area Ratio: 0.5 = Allowed Building square footage is 2,625 SF.0).</li> <li>e. The existing building is a non-complying structure given its square footage and proximity to the property lines.</li> <li>f. The contractor exposed some of the wood framing for examination by the structural engineer. The engineer noted: <ul style="list-style-type: none"> <li>i. The existing wood frame is deteriorated with water and insect damage.</li> <li>ii. The existing brick masonry foundation is in good condition.</li> <li>iii. The expense of sistering all the studs and joists would be significantly greater than building on existing foundations.</li> </ul> </li> </ul> <p><b>VI. FINANCIALS</b></p> <p>1. Tony LaColla introduced the project, noting that Discovery Time Learning Center has purchased 417 Hume for a preschool use. The following comments were made about the property:</p> <ul style="list-style-type: none"> <li>a. Prior to purchase, the design team met with members of Planning and Zoning to discuss development options, given this site is in the Oakville Triangle. The small area plan shows a future road along the east end of the property. The City would not support a completely new development on the site. The City would support a development that would be less expensive, using the existing building.</li> <li>b. The existing building was previously used as a catering business.</li> <li>c. The two-story wood framed structure has approximately 3,500 sf, including the front covered porch.</li> <li>d. The site, according to tax records, is zoned CSL (Lot size = 5,250 SF Allowable Floor Area Ratio: 0.5 = Allowed Building square footage is 2,625 SF.0).</li> <li>e. The existing building is a non-complying structure given its square footage and proximity to the property lines.</li> <li>f. The contractor exposed some of the wood framing for examination by the structural engineer. The engineer noted: <ul style="list-style-type: none"> <li>i. The existing wood frame is deteriorated with water and insect damage.</li> <li>ii. The existing brick masonry foundation is in good condition.</li> <li>iii. The expense of sistering all the studs and jo</li></ul></li></ul>			

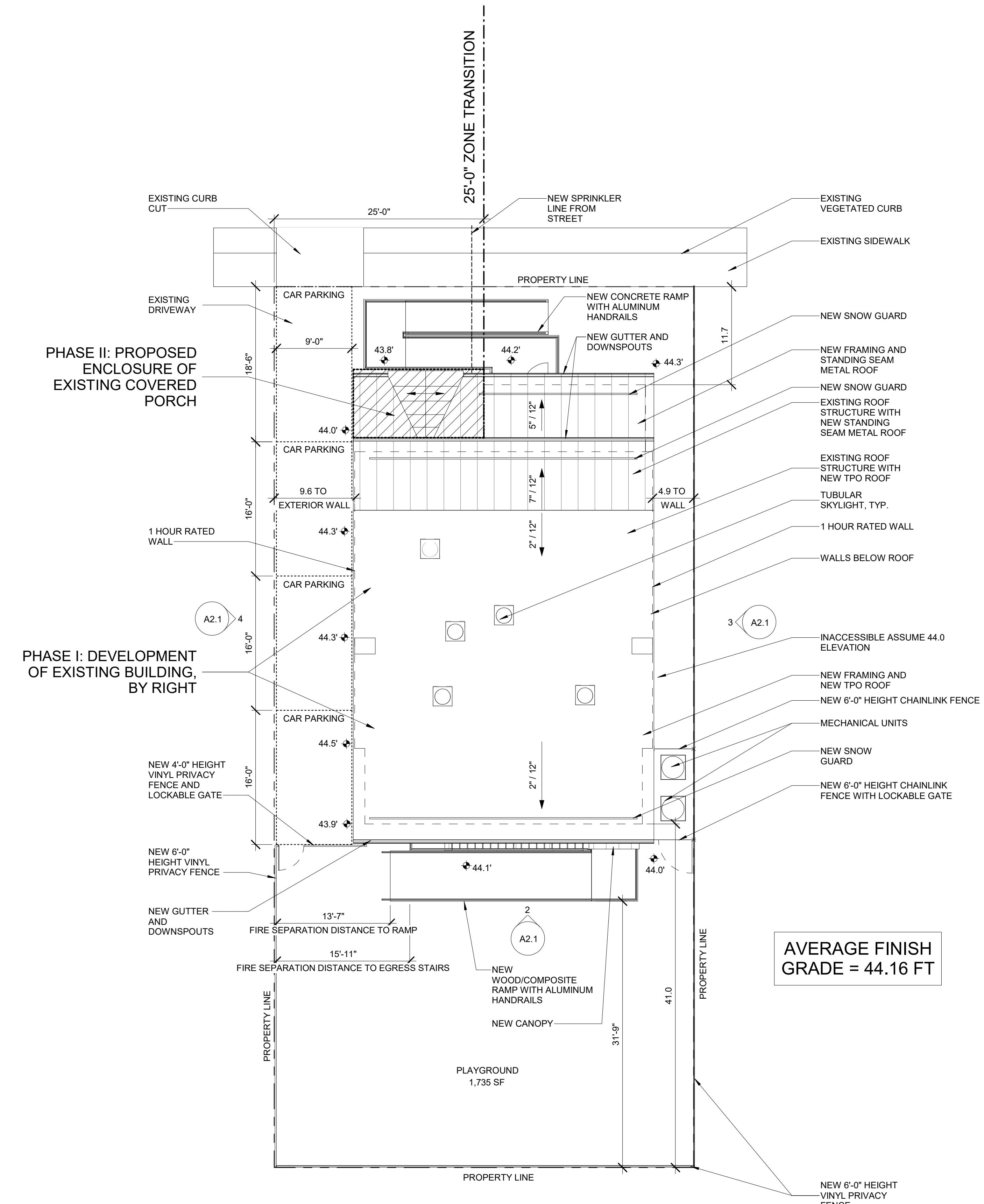




# PHASING SITE PLAN

1/8" = 1'-0"

0.0 1/8" = 1'-0"



# PROPOSED CONDITIONS - ARCHITECTURAL SITE AND ROOF PLAN

0.0 1/8" = 1'-0"

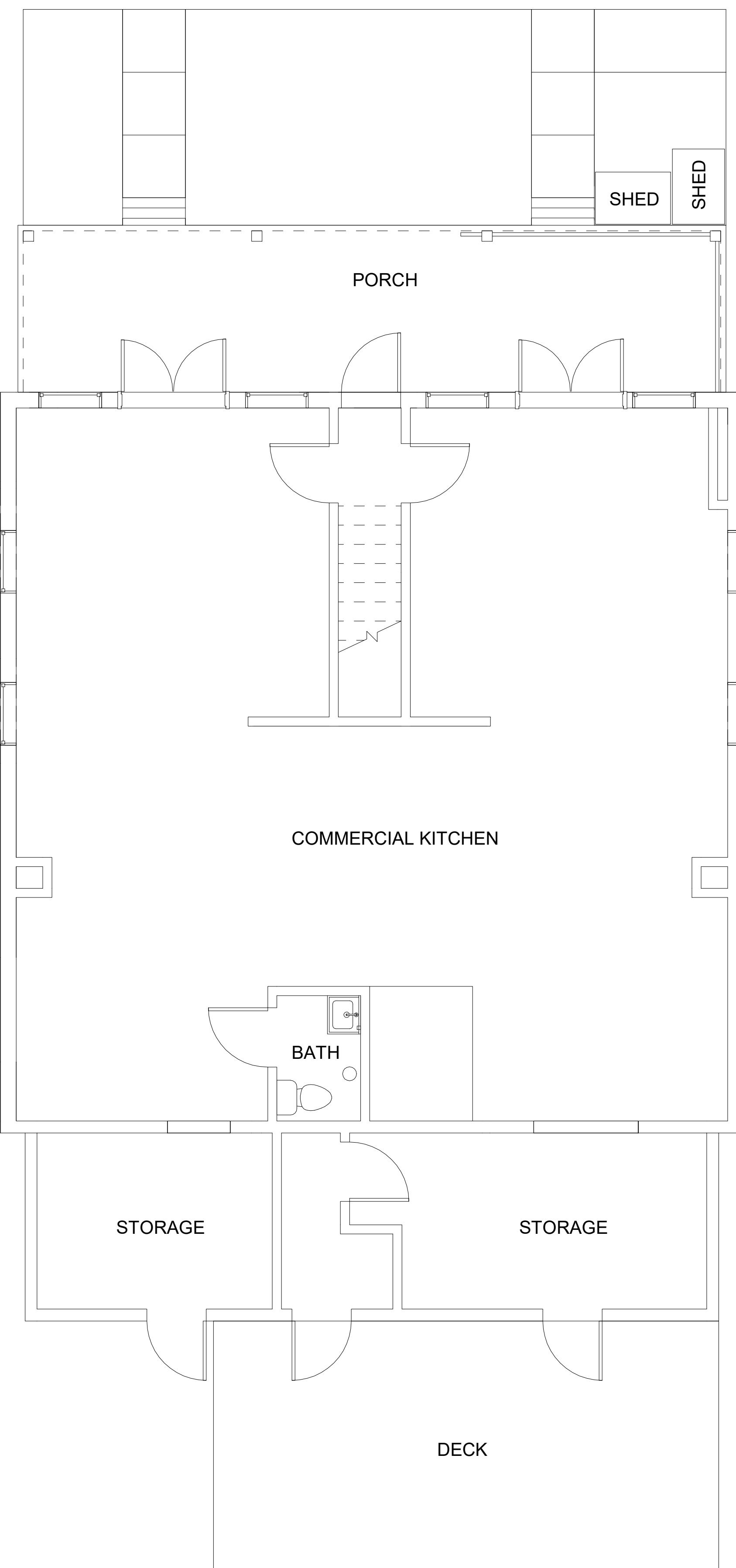
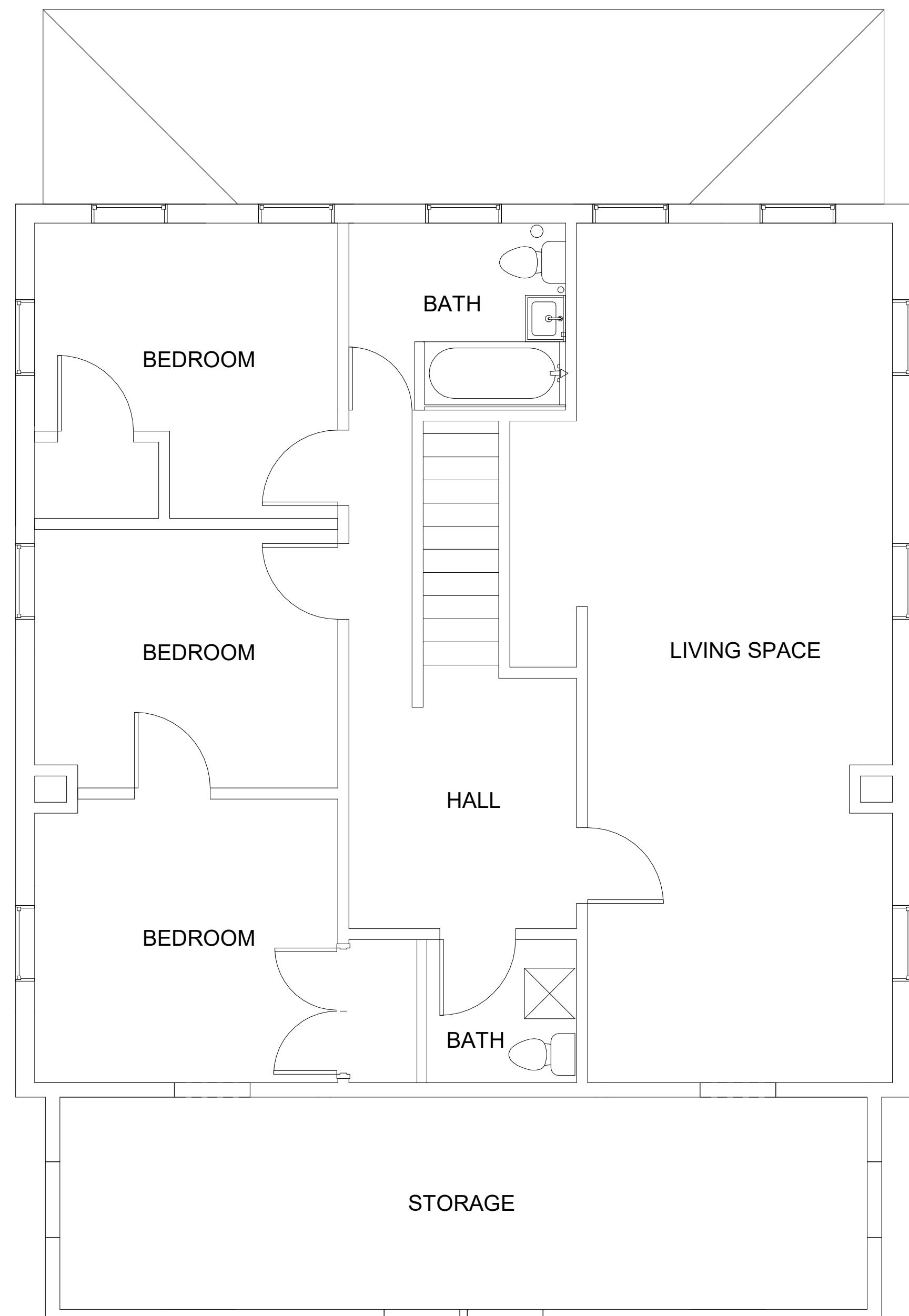


Scale: 1/8" = 1'-0"		
0	4'	8'
	16'	24'
O.	DATE	DESCRIPTION
6	10/20/2022	DSP SUBMISSION
5	10/03/2022	REVISION 2
4	08/11/2022	REVISION 1
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN

---

**DRAWING TITLE:**  
**ARCHITECTURAL SITE AND  
ROOF PLAN**

COMM. NO: 0400	DRAWING NUMBER: A0.0
DRAWN : S	
CHECKED : S	
SCALE: 8" = 1'-0"	
DATE:	



FIRST FLOOR - EXISTING PLAN

2  
D1.0  
1/4" = 1'-0"



1 10/20/2022 DSP SUBMISSION  
NO. DATE DESCRIPTION

ISSUE

Discovery  
Time  
Learning Center  
Support & Guide to Empower  
Serving infants, toddlers, preschoolers  
and their families in Del Ray.

417 Hume Ave.  
Alexandria VA 22301

DRAWING TITLE:  
EXISTING PLANS

COMM. NO: 210400	DRAWING NUMBER: D1.0
DRAWN : Author	
CHECKED : Checker	
SCALE: 1/4" = 1'-0"	
DATE:	

D1.0

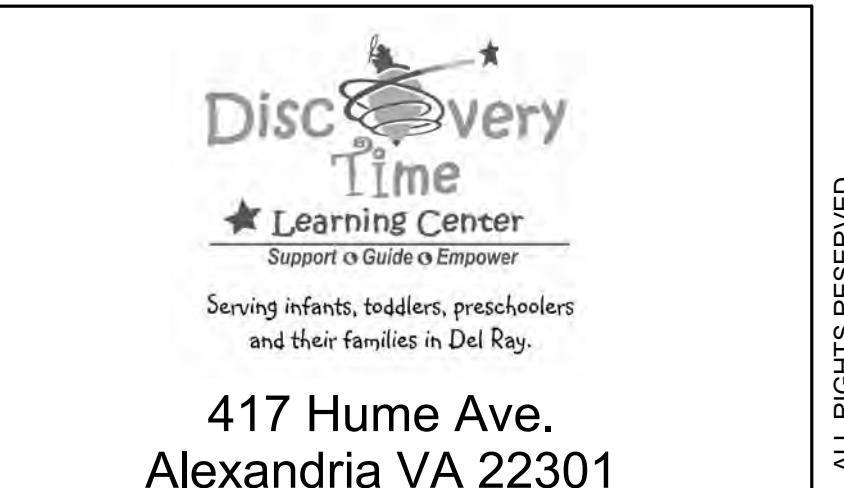
KEYNOTES

D01 EXISTING ROOF ABOVE SHEATHING AND WOOD SHINGLES TO BE DEMOLISHED. REFER TO STRUCTURAL DRAWINGS FOR ITEMS TO REMAIN.  
 D02 REMOVE EXISTING PLUMBING FIXTURES AND TRUNCATE AND CAP PLUMBING LINES  
 D03 REMOVE EXISTING SIDING AND PREPARE SURFACES FOR NEW WORK. EXISTING WOOD WALL FRAMING TO REMAIN.  
 D04 REMOVE STRIP FLOORING. EXISTING JOISTS TO REMAIN. REFER TO STRUCTURAL DRAWINGS FOR LIMITS OF DEMOLITION  
 D05 REMOVE ANY EXISTING MECHANICAL UNITS AND ASSOCIATED UTILITIES  
 D06 REMOVE EXISTING CONCRETE STEPS. COORDINATE WITH STRUCTURAL DRAWINGS  
 D07 REMOVE ALL EXISTING DOORS, FRAMES AND HARDWARE TO BE DEMOLISHED.  
 D08 REMOVE ALL EXISTING WINDOWS AND FRAMES, TYP.  
 D09 EXISTING EXTERIOR WOOD DOOR, FRAME AND HARDWARE TO BE DEMOLISHED.  
 D10 CUT NEW OPENING IN EXISTING WALL. REFER TO NEW WORK DRAWINGS  
 D11 INFILL OPENINGS IN EXISTING WALL. REFER TO SHEET A.6 AND STRUCTURAL DRAWINGS  
 D12 DEMOLISH EXISTING STAIRS.  
 D13 DEMOLISH ALL EXISTING INTERIOR WALLS.  
 D15 EXISTING WOOD PORCH ROOF TO BE DEMOLISHED. REFER TO STRUCTURAL DRAWINGS FOR ITEMS TO REMAIN.  
 D17 EXISTING WOOD COLUMNS TO BE DEMOLISHED.  
 D21 EXISTING SANITARY LINE.  
 D22 DEMOLISH DILAPIDATED PORCH STRUCTURE. EXISTING MASONRY FOUNDATION TO REMAIN.  
 D23 DEMOLISH DILAPIDATED ADDITION. EXISTING MASONRY FOUNDATION TO REMAIN.  
 D25 DEMOLISH CONCRETE PAD. REFER TO STRUCTURAL DRAWINGS FOR ITEMS TO REMAIN.  
 D26 DEMOLISH CONCRETE SIDEWALK. REFER TO STRUCTURAL DRAWINGS FOR ITEMS TO REMAIN.  
 D28 REMOVE STORAGE SHEDS.  
 D29 REMOVE PORCH SCREEN WALLS.



Scale: 1/4" = 1'-0"
0
4'
8'
16'
24'
4 10/20/2022 DSP SUBMISSION
3 08/02/2022 PERMIT SET
2 07/07/2022 DESIGN DEVELOPMENT
1 05/27/2022 SCHEMATIC DESIGN
NO. DATE DESCRIPTION

ISSUE



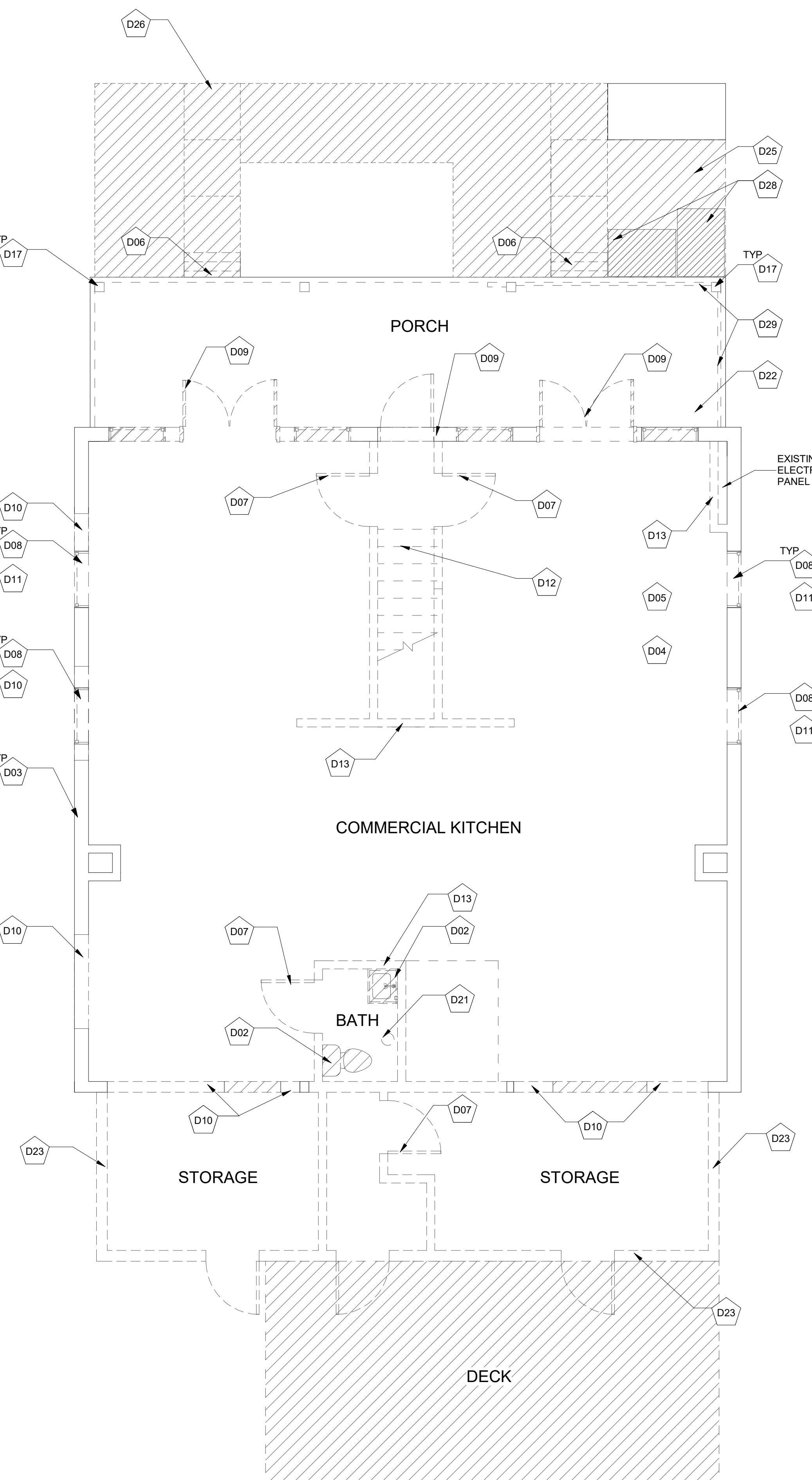
417 Hume Ave.  
Alexandria VA 22301

DRAWING TITLE:	DEMOLITION PLANS
----------------	------------------

COMM. NO:	DRAWING NUMBER:
210400	
DRAWN :	
LS	
CHECKED :	
ZS	
SCALE:	
As indicated	
DATE:	

D1.1

SECOND FLOOR - DEMOLITION PLAN  
1/4" = 1'-0"



FIRST FLOOR - DEMOLITION PLAN  
1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- ALL WORK SHOWN IS EXISTING TO REMAIN UNLESS NOTED OR INDICATED AS DASHED LINES TO BE REMOVED. EXTENT OF DEMOLITION WORK SHALL INCLUDE ALL INCIDENTAL DEMOLITION WORK NECESSARY TO PROPERLY REMOVE ALL NEW WORK SHOWN AND SPECIFIED. TO INCLUDE MECHANICAL, ELECTRICAL, & PLUMBING ITEMS.
- ALL EXISTING STRUCTURE SHALL REMAIN, UNLESS NOTED OTHERWISE.
- ALL EXISTING SURFACES TO REMAIN SHALL BE PROTECTED, PATCHED IF DAMAGED AND CLEANED PRIOR TO APPLICATION OF FINISHES.
- CONTRACTOR TO PROTECT ALL EQUIPMENT AND OTHER ELEMENTS IN AREA OF NEW OR DEMOLITION WORK.
- DEMOLITION CONTRACTOR SHALL BASICALLY EXECUTE DRAWINGS AND INSPECTIONS. THE CONTRACTOR SHALL VISUALLY INSPECT ALL EXISTING CONDITIONS, AND IS RESPONSIBLE FOR PERFORMING THE INDICATED DEMOLITION WORK EVEN IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS.
- DEMOLITION CONTRACTOR SHALL COORDINATE WITH NEW WORK SECTIONS FOR ADDITIONAL INFORMATION RELATED TO EXTENT OF DEMOLITION.
- REFER TO ALL OTHER DRAWINGS IN THIS SET FOR INCIDENTAL DEMOLITION WORK NOT NOTED ON THE DEMOLITION PLANS.
- OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS. DO NOT STOCKPILE DEBRIS ON SITE.
- ITEMS TO BE DEMOLISHED SHALL BE REMOVED COMPLETELY INCLUDING ALL ANCHORS, HANGERS, FASTENERS, PIPES, CONDUCTS, DUCTS, ETC. UNLESS OTHERWISE INDICATED TO BE ABANDONED IN PLACE.
- CONCRETE SLAB PATCHES MUST BE FLUSH WITH REMAINING SURFACES TO PERMIT APPLICATION OF FINISHES. PROVIDE WELDED WIRE MESH IN PATCH AREAS LARGER THAN (4) FOUR SQUARE FEET.
- CONCRETE SLABS TO REMAIN SHALL BE PATCHED, REPAIRS MADE AND CLEANED TO PROVIDE SURFACE SUITABLE FOR NEW FINISHES.
- WHERE RENOVATED AREAS ARE RECEIVING NEW UNDERGROUND MECHANICAL, PLUMBING, ELECTRICAL, OR ADDITIONAL FOUNDATION WORK, SEE MECHANICAL, PLUMBING, ELECTRIC, AND STRUCTURAL DRAWINGS, AS WELL AS ARCHITECTURAL DRAWINGS TO DETERMINE EXTENT OF REQUIRED CUT AND PATCH OF EXISTING SLAB. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CONCRETE SLAB DEMOLITION AND REPLACE AS NECESSARY TO INSTALL THE NEW WORK. BACKFILL ALL BELOW GRADE DEMOLITION WORK WITH SUITABLE FILL, SEEETING TO GRADE REQUIREMENTS FOR NEW WORK. CONTRACTOR SHALL CONSIDER PARTITIONS TO BE REMOVED INCLUDING TYPE OF PARTITION AND EXACT LOCATION. COMPLETELY REMOVE PARTITIONS FROM FLOOR TO STRUCTURE ABOVE INCLUDING BASE, ALL FASTENERS, GROUTS, SEALANTS, ETC. UNLESS NOTED OTHERWISE. MASONRY PARTITIONS WHICH EXTEND THROUGH THE SLAB SHALL BE REMOVED TO 8" BELOW FINISH FLOOR. FILL SLAB OPENING WITH CONCRETE FILL TO RECEIVE FINISH FLOOR. WHERE WALLS SCHEDULED TO BE REMOVED SET ON SLAB, GRIND SLAB TO RECEIVE FINISH FLOOR.
- CUT, REMOVE, PATCH AND REPAIR PORTIONS OF WALL PARTITIONS WHICH CONFLICT WITH NEW WORK TO BE INSTALLED, EVEN IF NOT SPECIFICALLY NOTED TO BE DEMOLISHED ON PLANS.
- COORDINATE DEMOLITION OF ALL STRUCTURAL ITEMS (COLUMNS, BEAMS, SLABS, ETC.) WITH STRUCTURAL DWGS. EXTENT OF DEMOLITION AREA SHALL BE IN ACCORDANCE WITH STRUCTURAL REQUIREMENTS AND COORDINATED WITH ALL NEW WORK.
- TEMPORARILY SUPPORT ALL BEAMS, LINTELS, PORTIONS OF WALLS ETC. TO BE DISTURBED BY DEMOLITION WORK, UNTIL THEY ARE RE-SUPPORTED BY NEW WORK.
- PROTECT EXISTING CONCRETE ELEMENTS FOR MAINTAINING THE INTEGRITY OF EXISTING BUILDING ELEMENTS TO REMAIN THROUGHOUT SEQUENCE OF WORK. ANY DAMAGE TO EXISTING BUILDING CONDITIONS SHOWN TO REMAIN SHALL BE RESTORED TO NEW WORK CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- WINDOWS AND DOORS SCHEDULED FOR REMOVAL SHALL BE REMOVED COMPLETELY. FASTENERS MAY BE CUT FLUSH WITH HEAD, JAMBS, AND SILLS IF THE NEW UNIT WILL CONCEAL FASTENER. PROTECT EXISTING SILLS SCHEDULED TO REMAIN. ALL EXISTING OPENINGS MUST BE FIELD MEASURED PRIOR TO SUBMITAL OF SHOP DRAWINGS.
- EXISTING FINISHES ARE INDICATED TO BE REMOVED. REMOVAL SHALL INCLUDE ANY GROUT, ADHESIVES, FASTENERS, AND ALL OTHER ITEMS USED TO ATTACH THE FINISHES TO THE SURFACES THAT THEY COVER.
- WHERE CEILINGS ARE TO BE REMOVED, ALL CEILINGS SYSTEMS INCLUDING GRID, TRIM HANGER, CLIPS, ETC. SHALL BE REMOVED. NO DOUBLE CEILINGS ARE NOT PERMITTED UNLESS OTHERWISE NOTED.
- REMOVE MECHANICAL, ELECTRICAL AND PLUMBING ITEMS AS NOTED ON MECHANICAL, ELECTRICAL AND PLUMBING PLANS. COORDINATE WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING, FOR ACTUAL DEMOLITION. THIS WORK IS NOT INTENDED TO INCLUDE ALL ASSOCIATED ITEMS SUCH AS ELECTRICAL OUTLETS, SWITCHES, CONDUITS, CONTROLS, PIPING, MOUNTING BLOCKS, ETC. AS NOTED. THE CONTRACTOR SHALL REFER TO ALL CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR PROCEDURES CONCERNING RELATED TRADES IN AREAS WHICH REQUIRE DEMOLITION, REPAIR AND PATCH ANY AREAS DAMAGED DURING REMOVAL WORK.

KEYNOTES

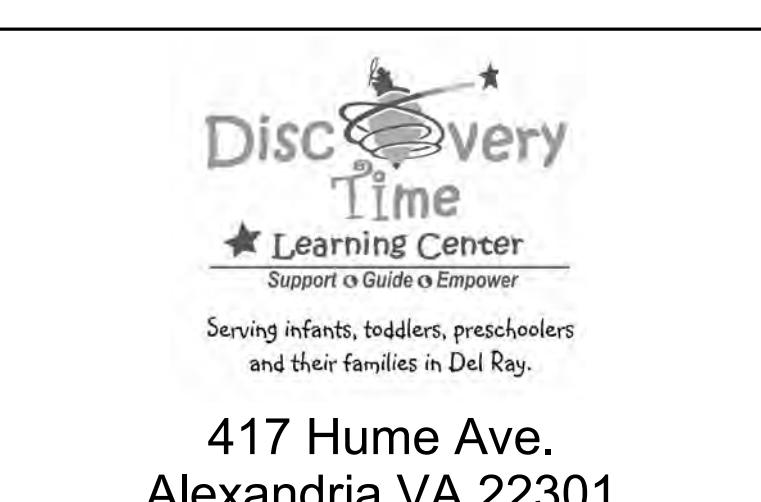
- 01 PROVIDE PLUMBING CONNECTION. REFER TO PLUMBING DRAWINGS.
- 02 NEW RESILIENT FLOORING. REFER TO SPECIFICATIONS
- 04 FIBER CEMENT LAP SIDING. REFER TO SPECIFICATIONS
- 06 ALUMINUM AND GLASS STOREFRONT. REFER TO SPECIFICATIONS
- 08 NEW WOOD STAIRS. REFER TO STRUCTURAL DRAWINGS
- 09 ADA DRINKING FOUNTAIN WITH BOTTLE FILLER
- 10 PLASTIC LAMINATE BASE AND WALL CABINETS
- 14 NEW WINDOW ABOVE. 45 MINUTE GLASS. REFER TO SHEET A.6.2
- 15 EXISTING CONCRETE SLAB. FILL, PATCH, AND SMOOTH, AND SEAL AS REQUIRED TO CREATE SEAMLESS SURFACE
- 43 PORCELAIN TILE FLOORING. REFER TO SPECIFICATIONS
- 44 GWB COLUMN WRAP, PTD.
- 47 UNDERGROUND STORM TO CURB
- 61 NEW VINYL PRIVACY FENCE
- 62 HOSE BIBB. REFER TO PLUMBING DRAWINGS
- 67 MOSAIC TILE AT SHOWER.
- 68 PROVIDE SHOWERHEAD AND RECTANGULAR DRAIN.

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF WALL. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
2. COORDINATE FTD WITH OWNER.
3. ALL WINDOWS TO INCLUDE ROLLER SHADES. REFER TO SPECIFICATIONS.
4. PATCH AND REPAIR ALL EXISTING WALLS, BRICK.



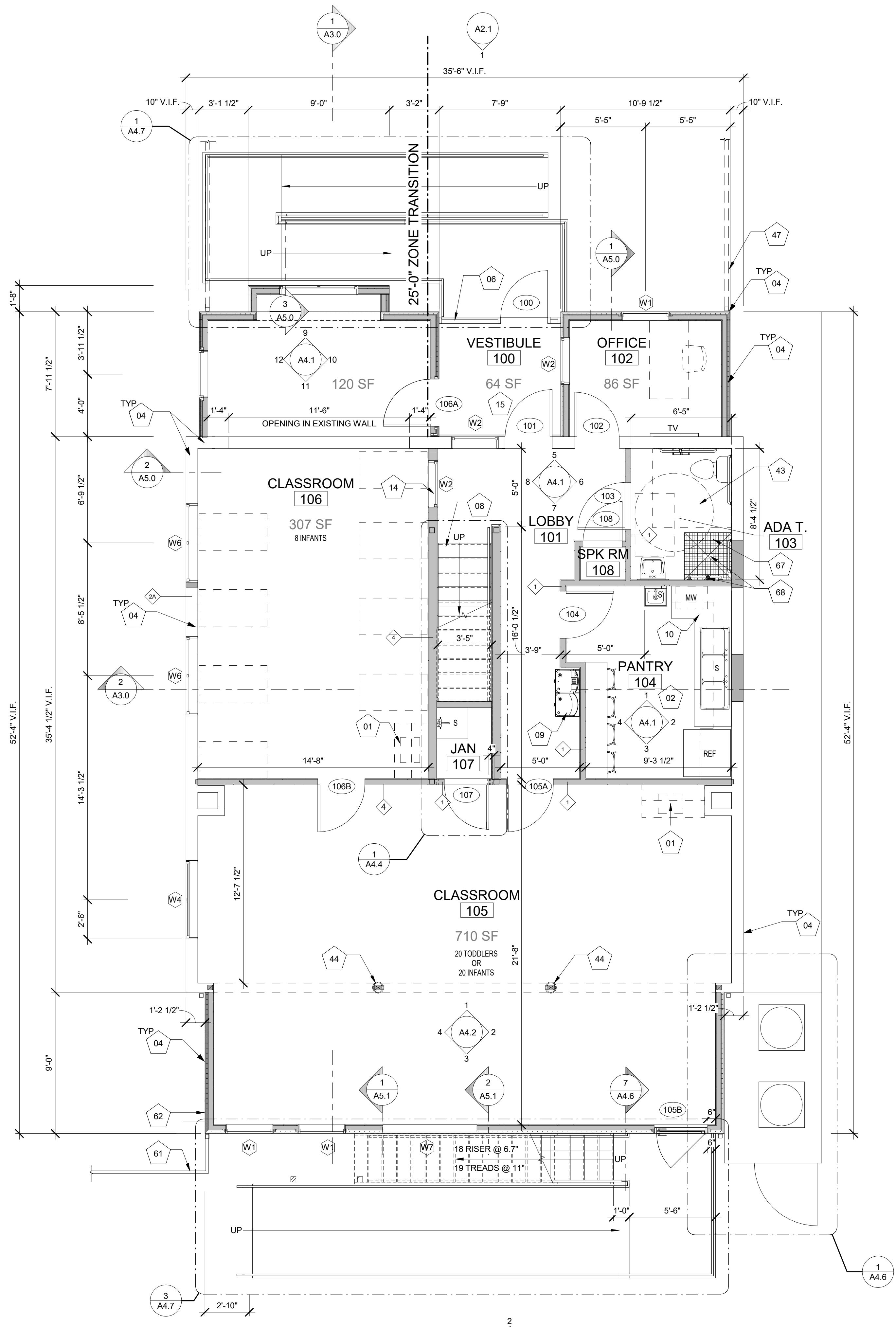
NO.	DATE	DESCRIPTION
6	10/20/2022	DSP SUBMISSION
5	10/03/2022	REVISION 2
4	08/11/2022	REVISION 1
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
		ISSUE



417 Hume Ave.  
Alexandria VA 22301

DRAWING TITLE:  
NEW WORK - FIRST FLOOR  
PLAN

COMM. NO:	DRAWING NUMBER:
210400	
DRAWN :	
LS	
CHECKED :	
ZS	
SCALE:	1/4" = 1'-0"
DATE:	A0.1



NEW WORK - FIRST FLOOR PLAN  
1/4" = 1'-0"

KEYNOTES

01 PROVIDE PLUMBING CONNECTION. REFER TO PLUMBING DRAWINGS.  
02 NEW RESILIENT FLOORING. REFER TO SPECIFICATIONS.  
04 FIBER CEMENT LAP SIDING. REFER TO SPECIFICATIONS.  
05 STANDING SEAM METAL ROOFING. REFER TO SPECIFICATIONS.  
08 NEW WOOD STAIRS. REFER TO STRUCTURAL DRAWINGS.  
17 BY OWNER  
32 ACCESS CEILING HATCH WITH PULL DOWN STAIRS  
38 MECHANICAL UNIT ON HOUSEKEEPING PAD. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS  
44 GWB COLUMN WRAP, PTD.

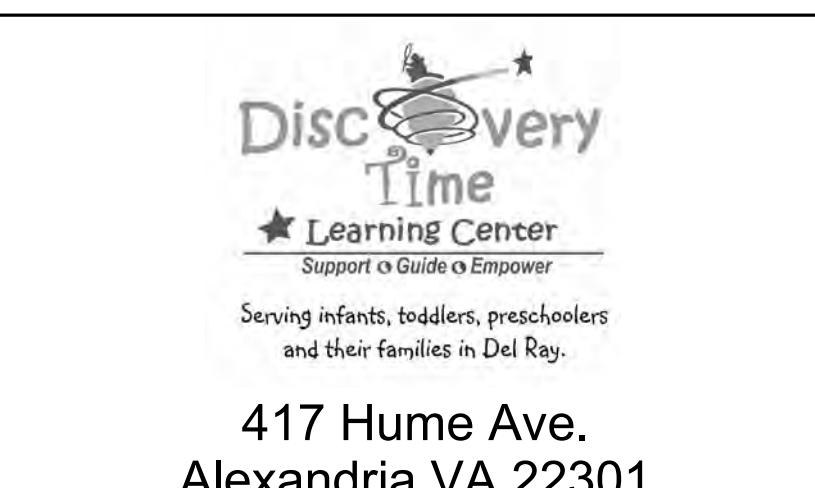
GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF WALL, EXTERIOR.  
2. COORDINATE FTD WITH OWNER.  
3. ALL WINDOWS TO INCLUDE ROLLER SHADES. REFER TO SPECIFICATIONS.  
4. PATCH AND REPAIR ALL EXISTING WALLS, BRICK.



NO.	DATE	DESCRIPTION
5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
NO.	DATE	DESCRIPTION

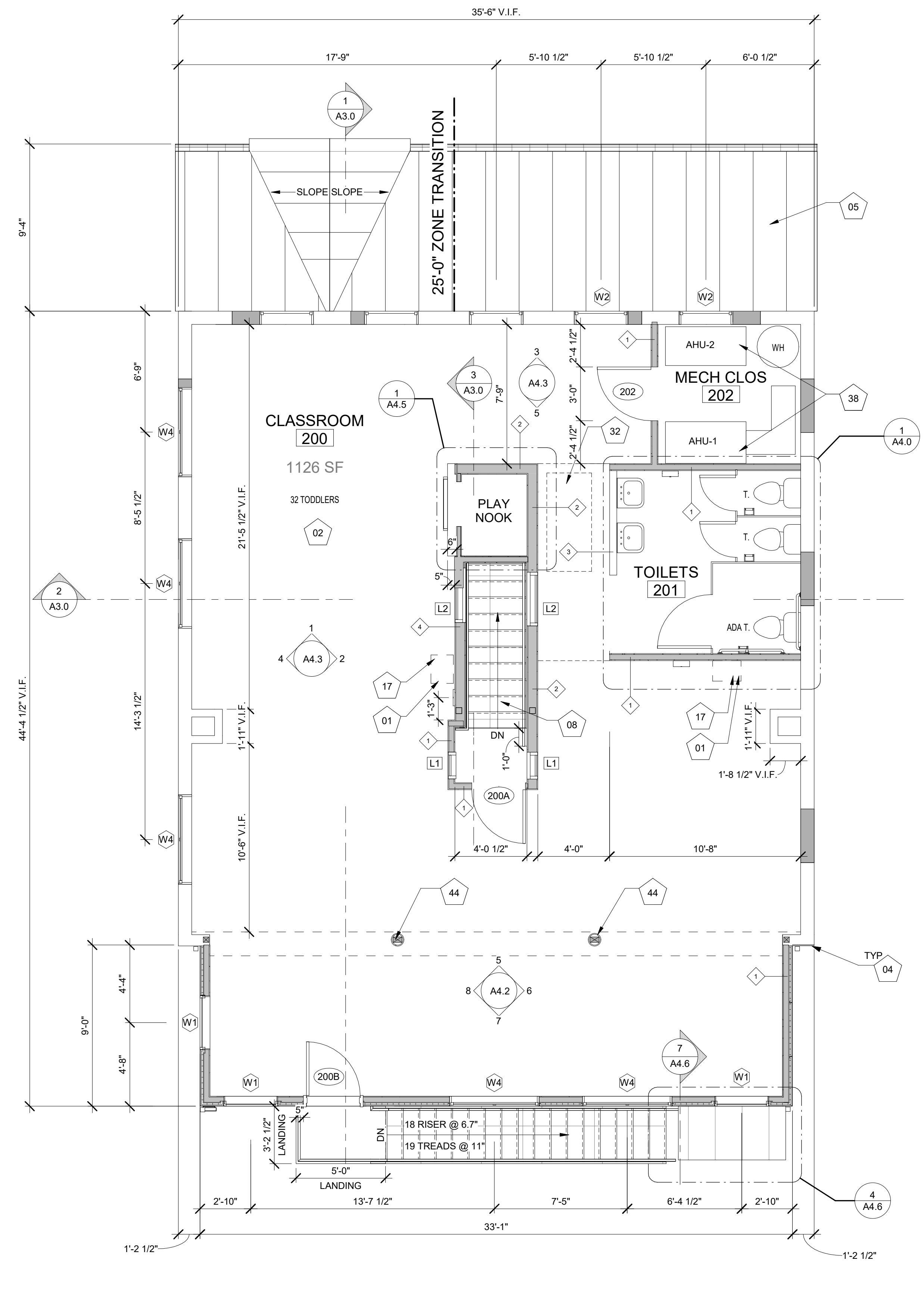
ISSUE



417 Hume Ave.  
Alexandria VA 22301

DRAWING TITLE:  
NEW WORK - SECOND FLOOR  
PLAN

COMM. NO:	DRAWING NUMBER:
210400	
DRAWN :	
LS	
CHECKED :	
ZS	
SCALE:	1/4" = 1'-0"
DATE:	A0.2

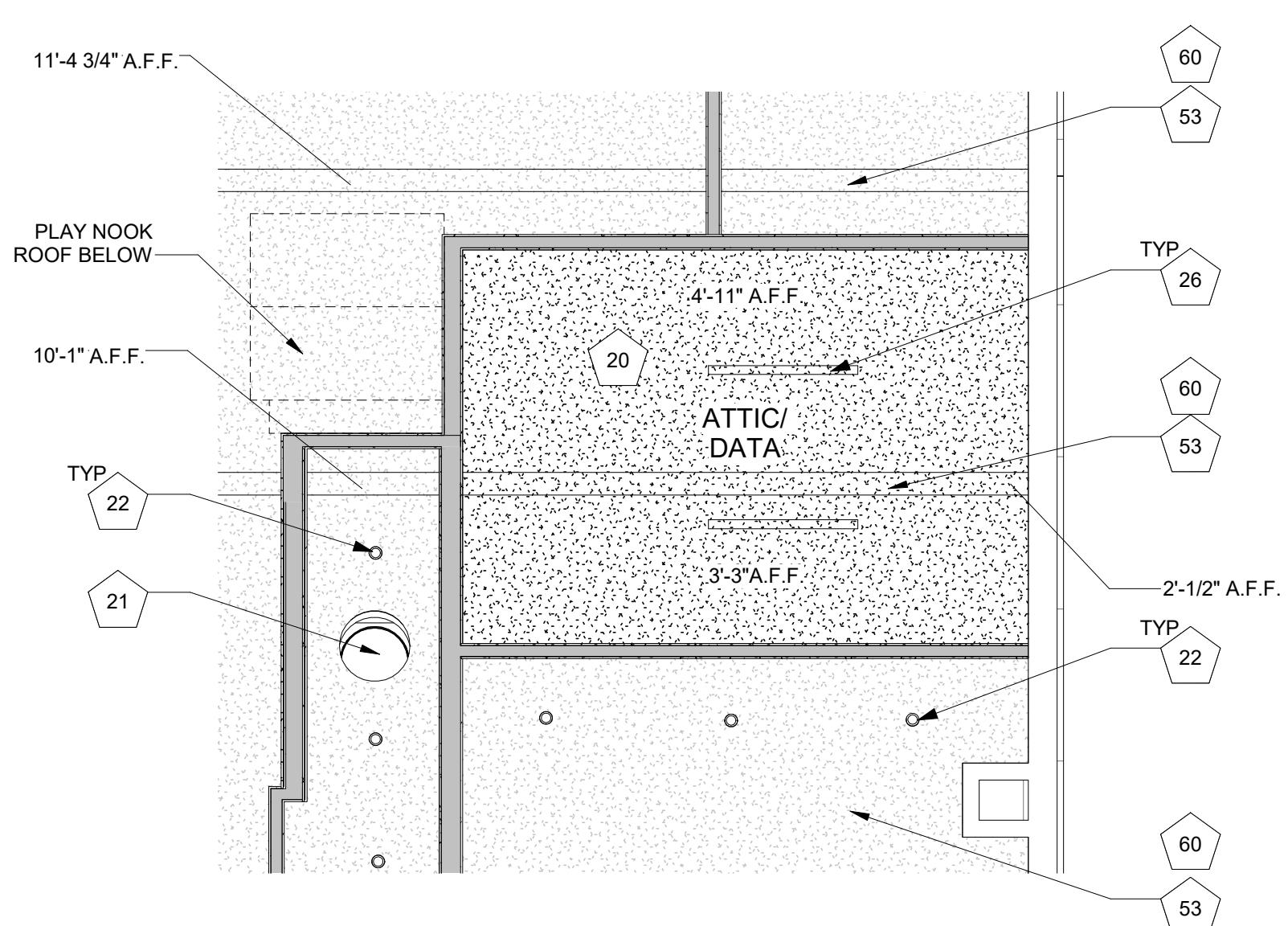


NEW WORK - SECOND FLOOR PLAN

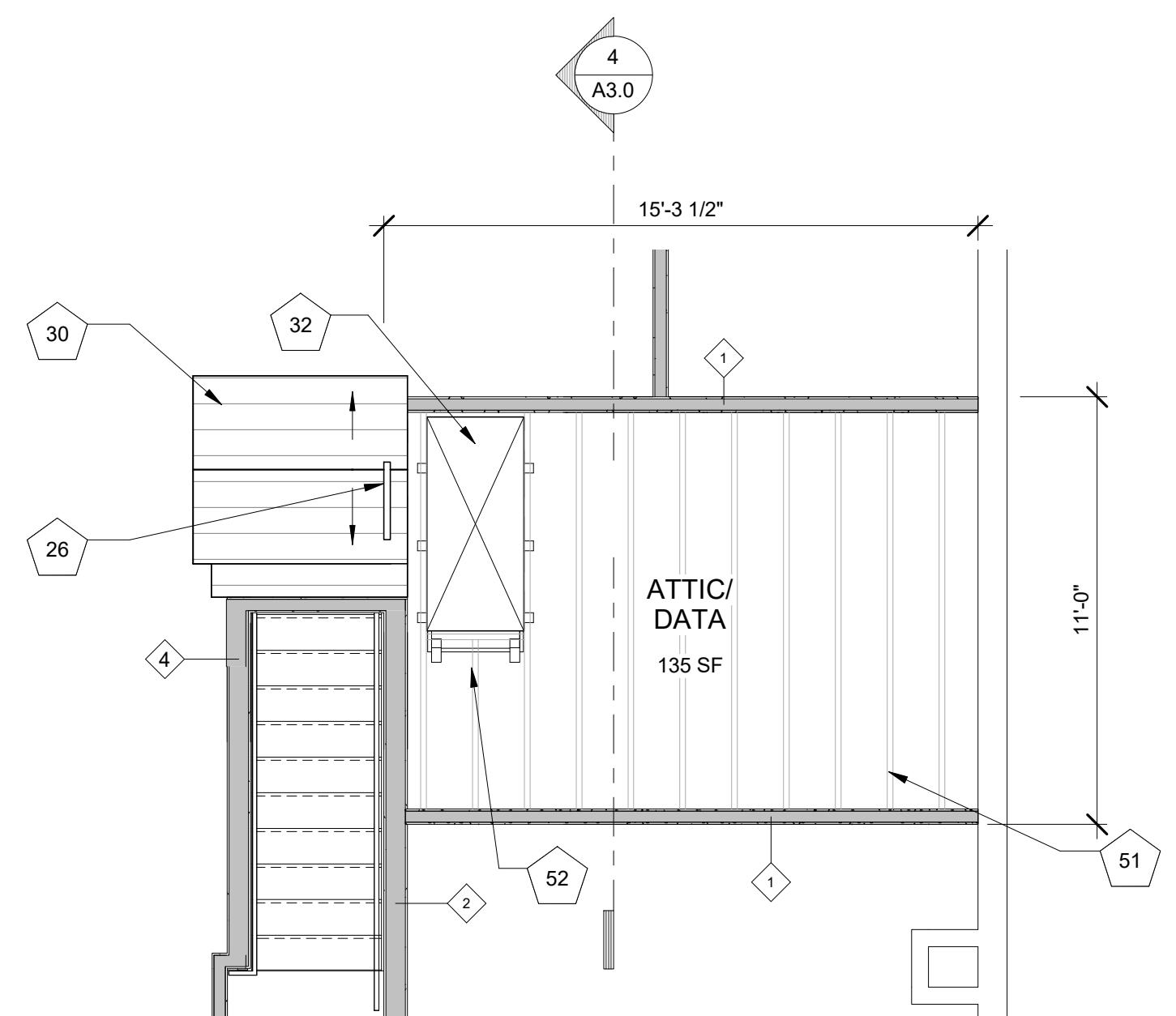
1/4" = 1'-0"

KEYNOTES

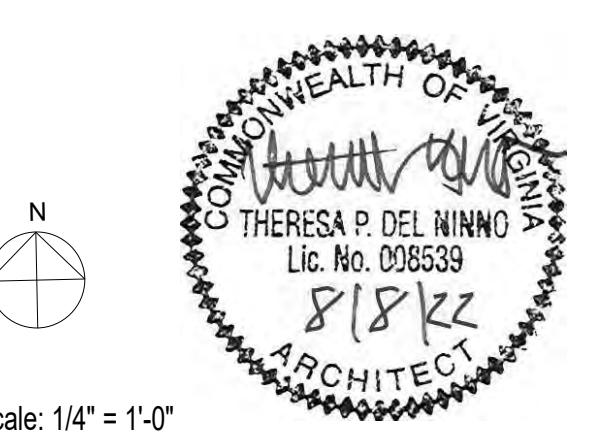
20	NEW GWB CEILING, PTD. REFER TO SPECIFICATIONS
21	TUBULAR SKYLIGHT
22	RECESSED DOWNLIGHT FIXTURE. REFER TO SPECIFICATIONS
26	SURFACE MOUNTED LIGHT FIXTURE. REFER TO SPECIFICATIONS
30	PLAY NOOK ROOF
32	ACCESS CEILING HATCH WITH PULL DOWN STAIRS
51	2X10 MEZZANINE JOISTS @16" O.C. REFER TO STRUCTURAL DRAWINGS
52	2X10. REFER TO STUCTURAL DRAWINGS
53	7X20 LVLs. REFER TO STUCTURAL DRAWINGS
60	NEW GWB AROUND ALL CEILING STRUCTURAL MEMBERS, PTD.



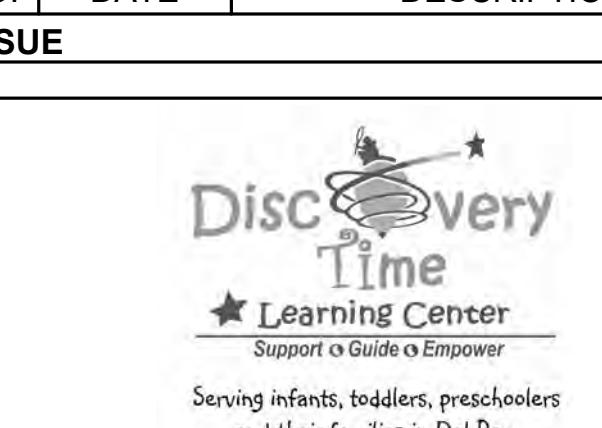
2 ATTIC REFLECTED CEILING PLAN  
A1.0 1/4" = 1'-0"



1 ATTIC PLAN  
A1.0 1/4" = 1'-0"



Scale: 1/4" = 1'-0"
0 4 8 16 24
4 10/20/2022 DSP SUBMISSION
3 08/02/2022 PERMIT SET
2 07/07/2022 DESIGN DEVELOPMENT
1 05/27/2022 SCHEMATIC DESIGN
NO. DATE DESCRIPTION

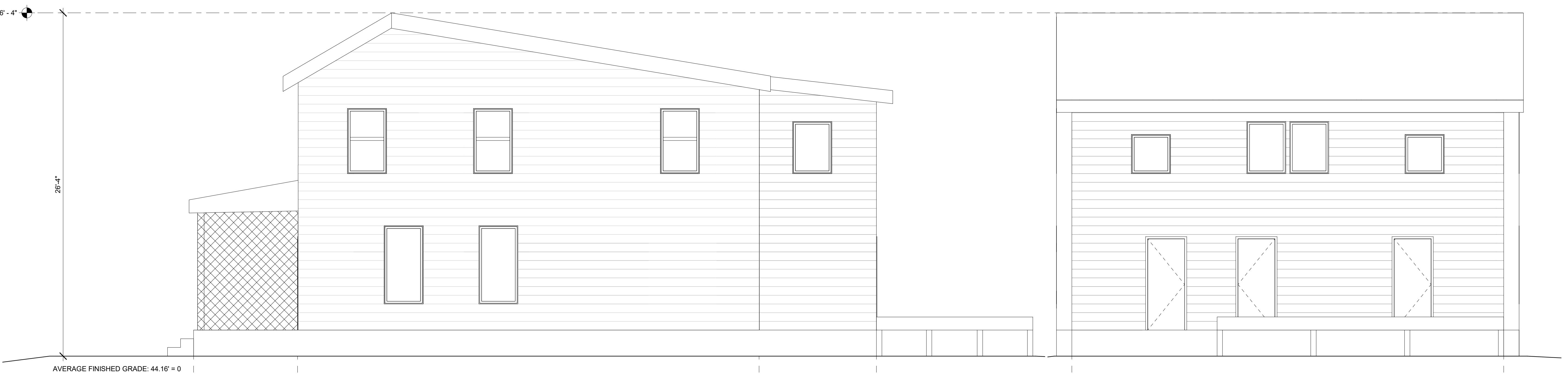


417 Hume Ave.  
Alexandria VA 22301

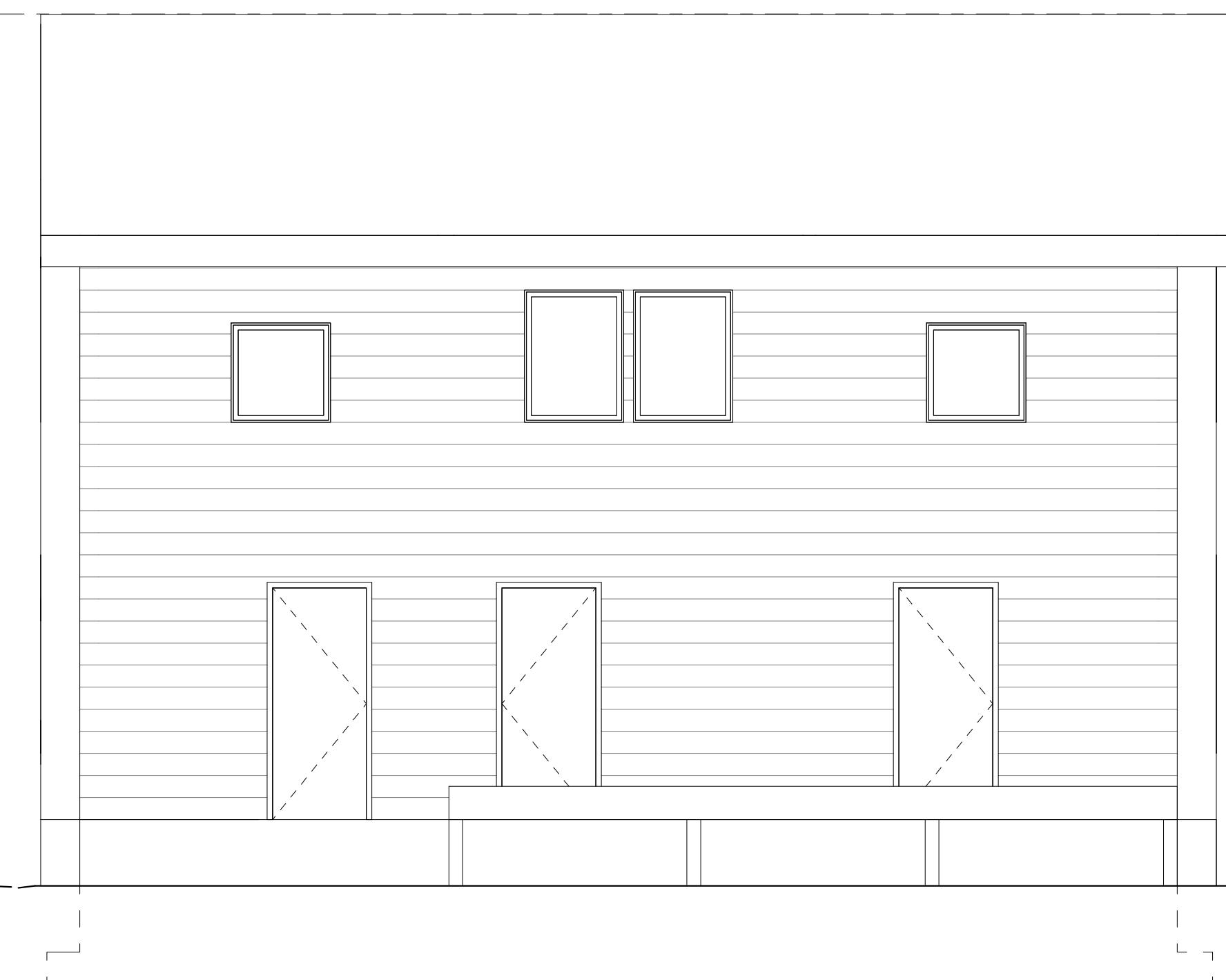
DRAWING TITLE:
ATTIC PLANS

COMM. NO:
210400
DRAWN :
LS
CHECKED :
ZS
SCALE:
1/4" = 1'-0"
DATE:

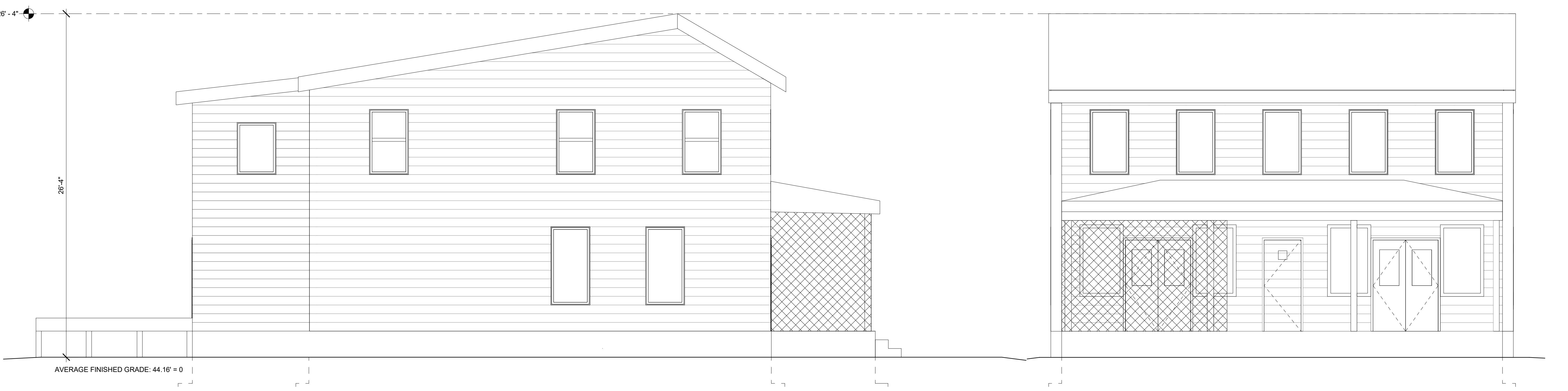
A1.0



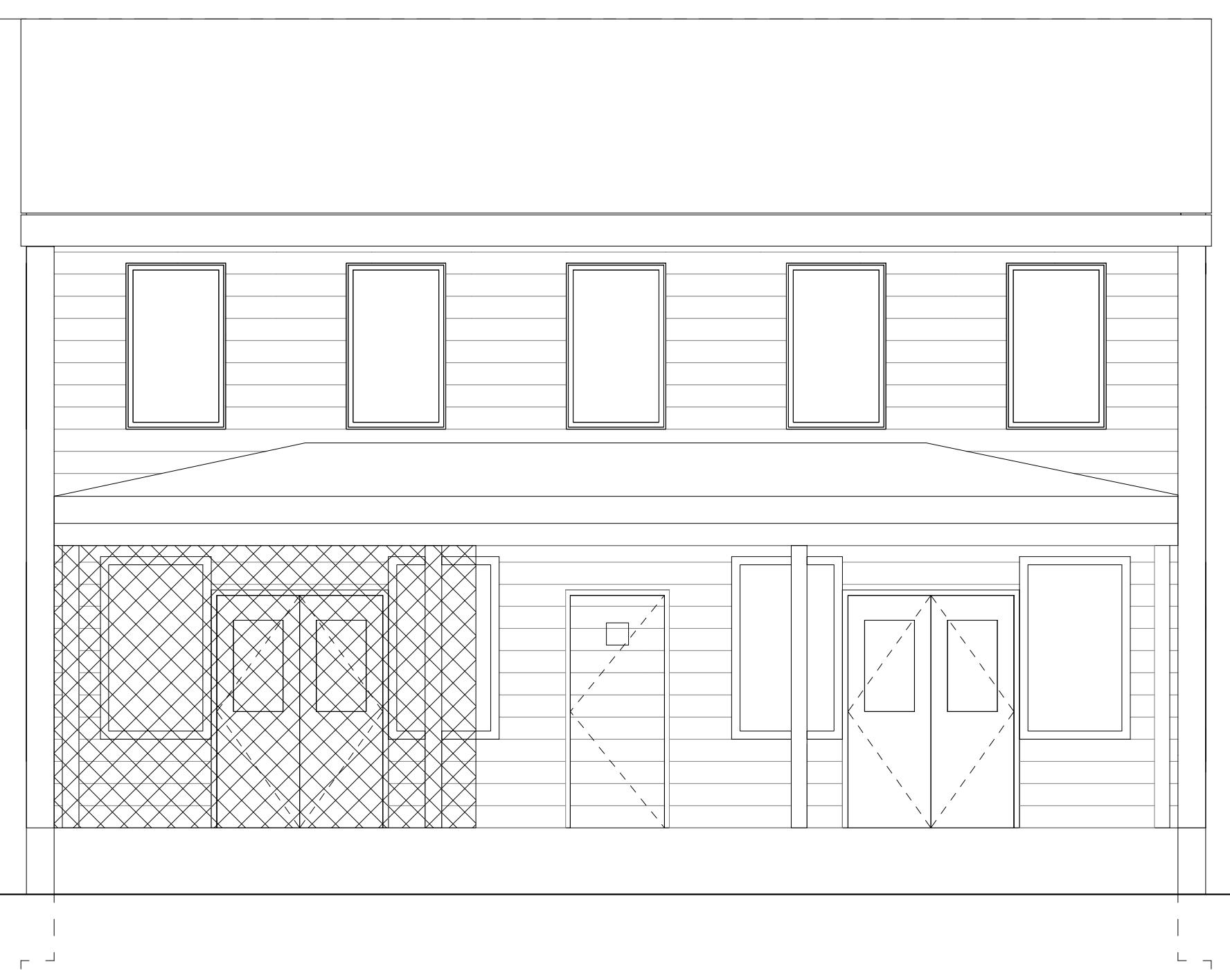
EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION

NOTE: NEW WORK WILL BE USING EXISTING WOOD STUD EXTERIOR WALLS  
OF THE MAIN STRUCTURE. BUILDING HEIGHT IS UNCHANGED.



2	10/20/2022	DSP SUBMISSION
1	10/03/2022	REVISION 2
NO.	DATE	DESCRIPTION

ISSUE

 <b>Discovery Time</b> <b>Learning Center</b> <i>Support &amp; Guide to Empower</i> <i>Serving infants, toddlers, preschoolers and their families in Del Ray.</i> 417 Hume Ave. Alexandria VA 22301		
--	--	--

DRAWING TITLE:  
EXISTING ELEVATIONS

COMM. NO:	DRAWING NUMBER:
210400	A2.0
DRAWN :	
Author	
CHECKED :	
Checker	
SCALE:	1/4" = 1'-0"
DATE:	

A2.0

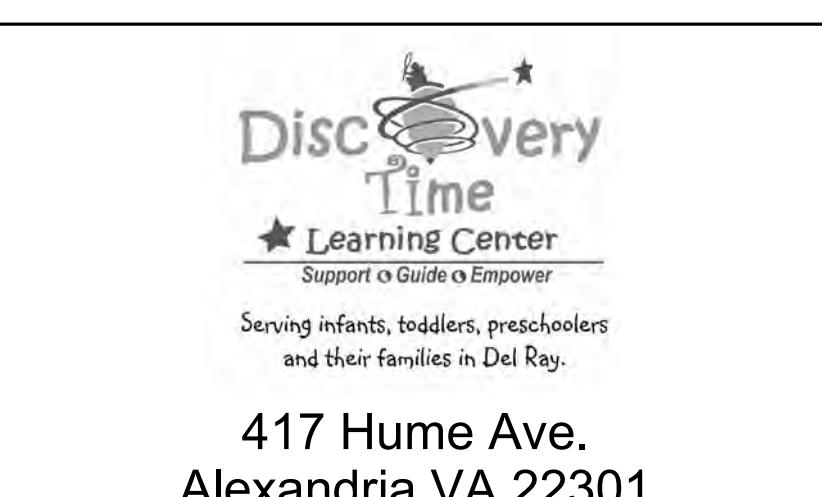
KEYNOTES

03 WOOD RAMP WITH DARK BRONZE ANODIZED ALUMINUM HANDRAILS  
04 FIBER CEMENT LAP SIDING, REFER TO SPECIFICATIONS  
05 STANDING SEAM METAL ROOFING, REFER TO SPECIFICATIONS  
07 WOOD STAIRS WITH ANODIZED DARK BRONZE ALUMINUM HANDRAILS  
21 TUBULAR SKYLIGHT  
27 WALL MOUNTED LIGHT FIXTURE, REFER TO SPECIFICATIONS  
35 NEW PREMANUFACTURED CANOPY  
38 MECHANICAL UNIT ON HOUSEKEEPING PAD, REFER TO STRUCTURAL AND MECHANICAL DRAWINGS  
41 NEW CHAIN LINK FENCE ENCLOSURE WITH LOCKABLE GATE FOR MECHANICAL UNITS  
49 ALUMINUM GUTTER AND DOWNSPOUT  
50 ARCHITECTURAL PANEL SIDING, REFER TO SPECIFICATIONS  
58 NEW SNOW GUARD  
61 NEW VINYL PRIVACY FENCE  
63 WOOD RAMP WITH ANODIZED DARK BRONZE ALUMINUM HANDRAILS  
64 NEW TPO ROOFING  
65 1/2" THICK CAST ALUMINUM LETTERS WITH BAKED KYNAR FINISH ON ANODIZED ALUMINUM RODS  
66 ETCHED ALUMINUM PLAQUE WITH BAKED KYNAR FINISH ON STAINLESS STEEL POST MOUNTS



6	10/20/2022	DSP SUBMISSION
5	10/03/2022	REVISION 2
4	08/11/2022	REVISION 1
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
NO.	DATE	DESCRIPTION

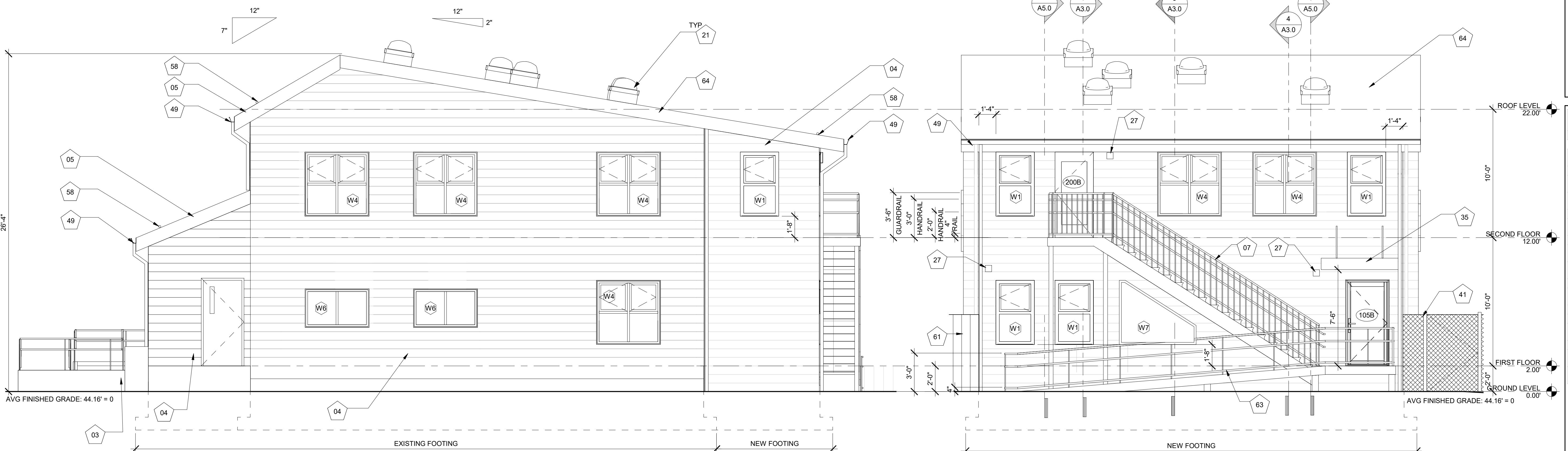
ISSUE

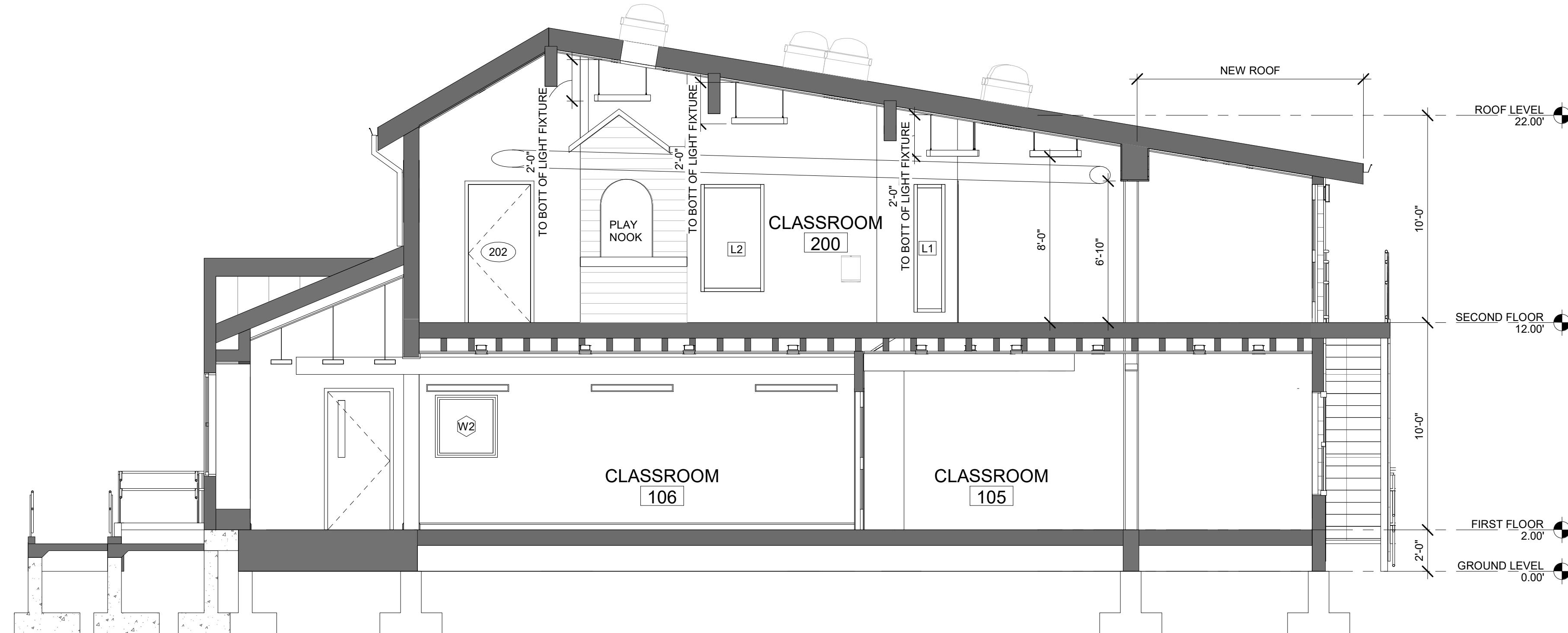
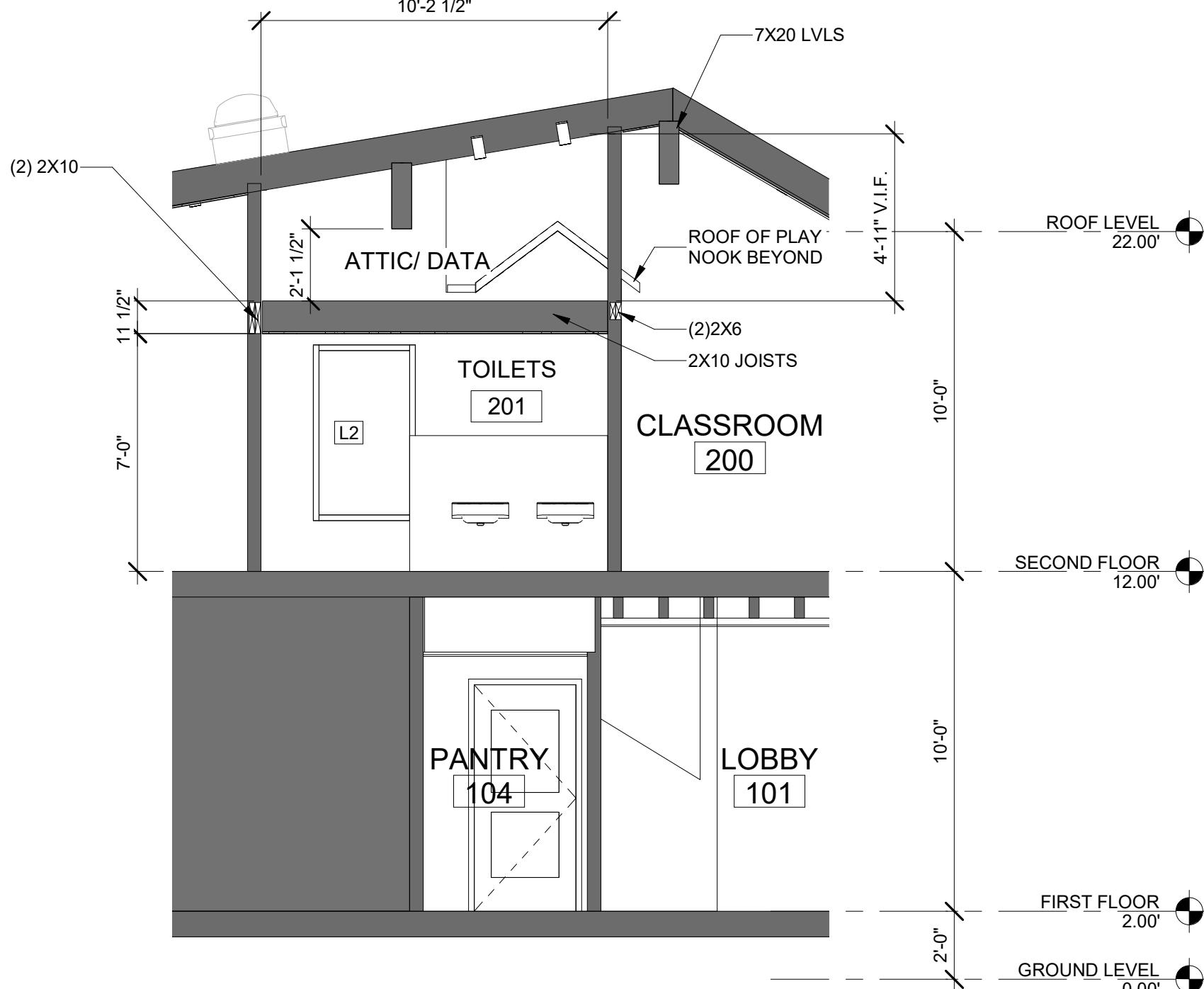
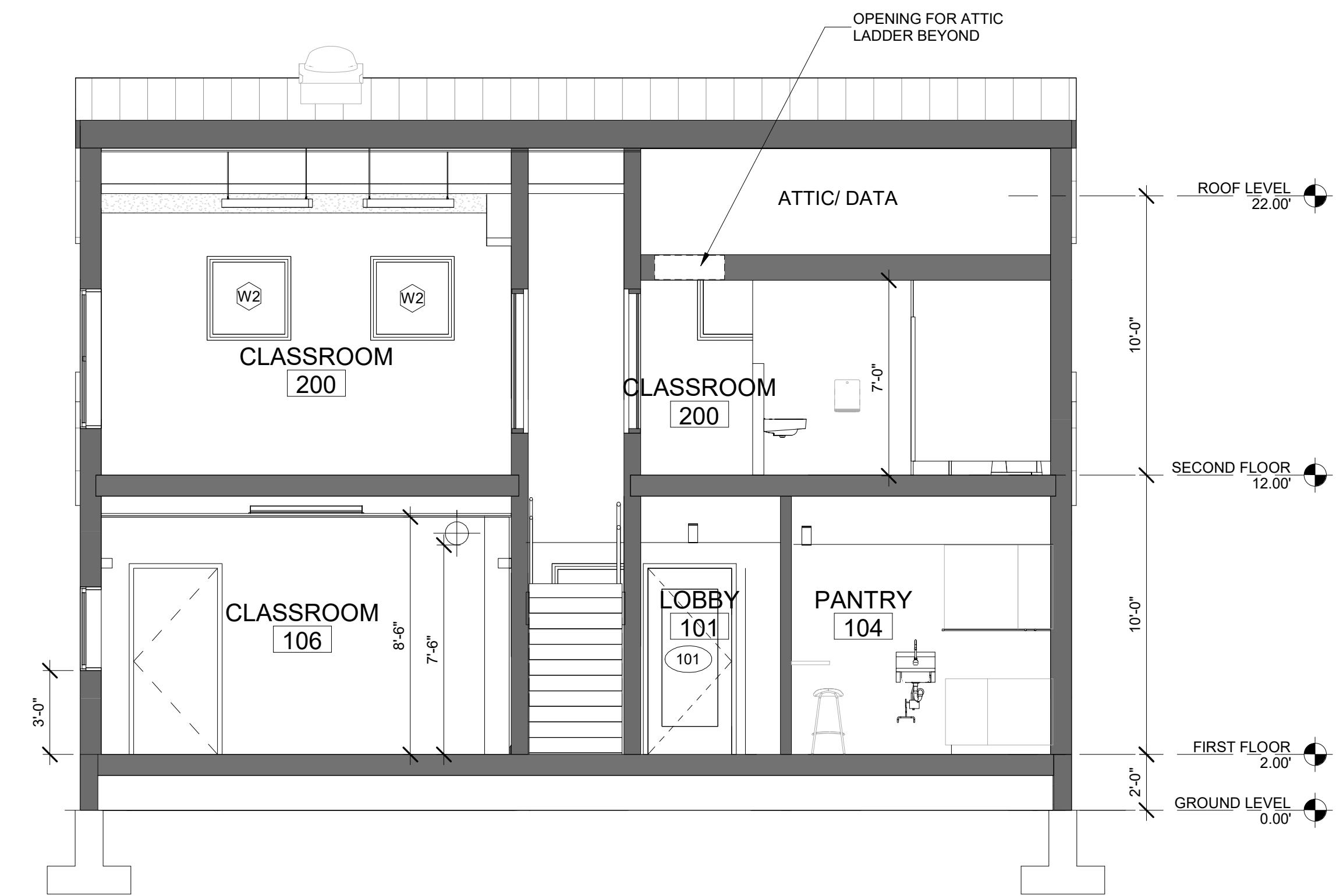
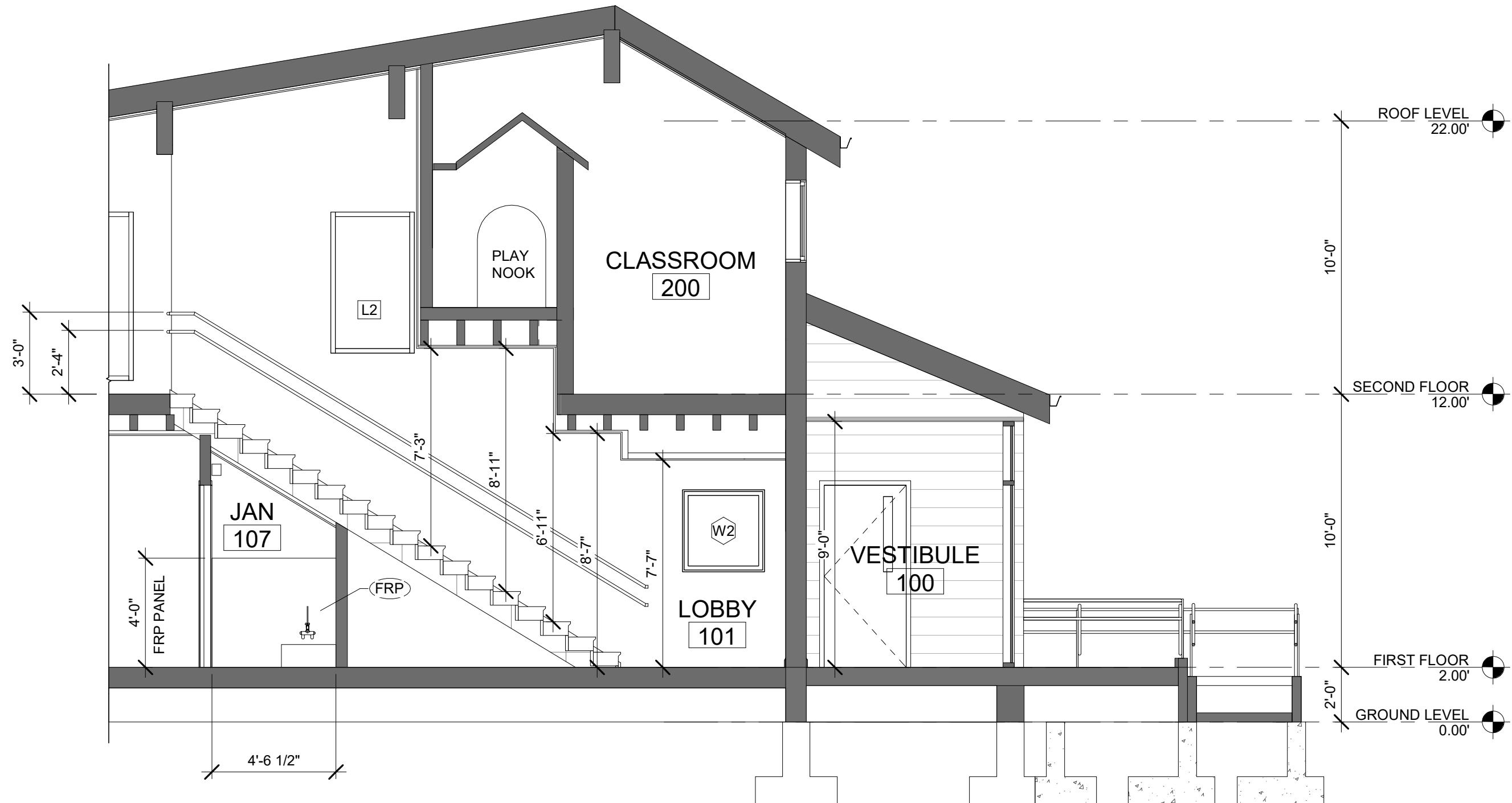


DRAWING TITLE:  
PROPOSED BUILDING  
ELEVATIONS

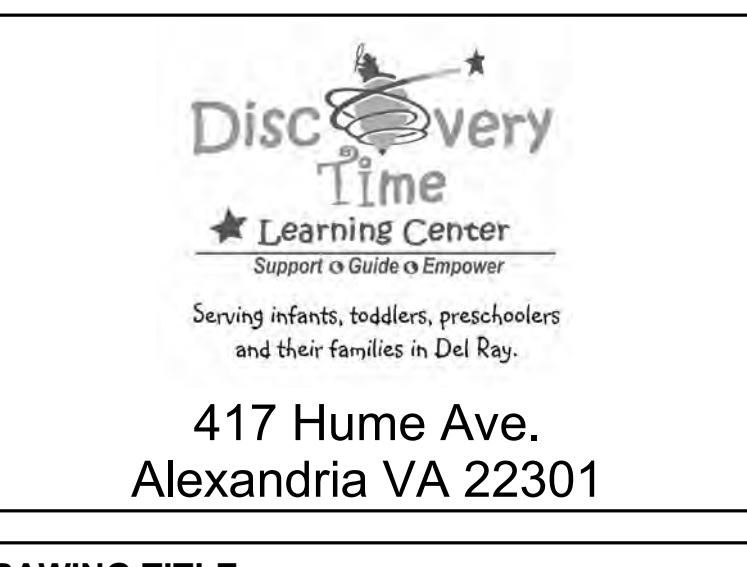
COMM. NO:	DRAWING NUMBER:
210400	
DRAWN :	
ZS	
CHECKED :	
Checker	
SCALE:	1/4" = 1'-0"
DATE:	

A2.1





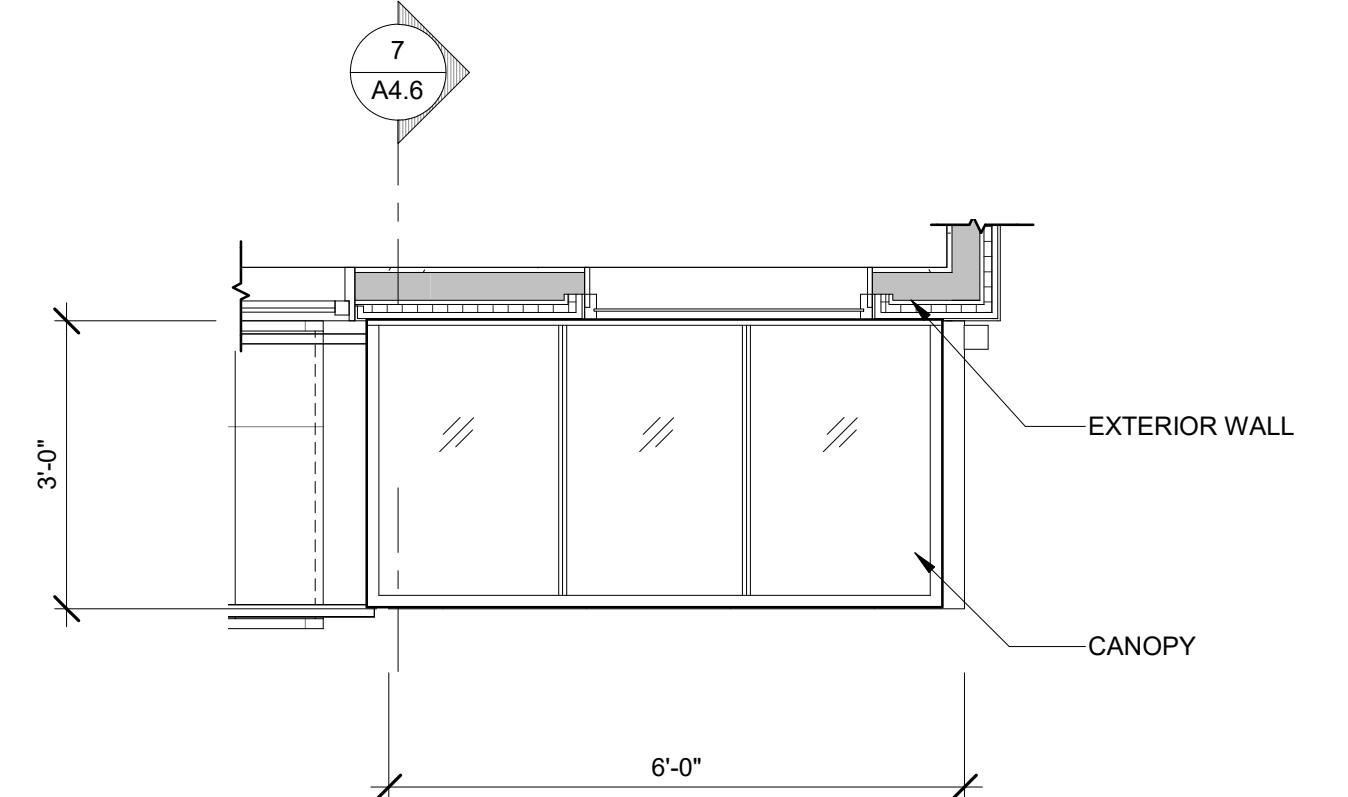
5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
NO.	DATE	DESCRIPTION



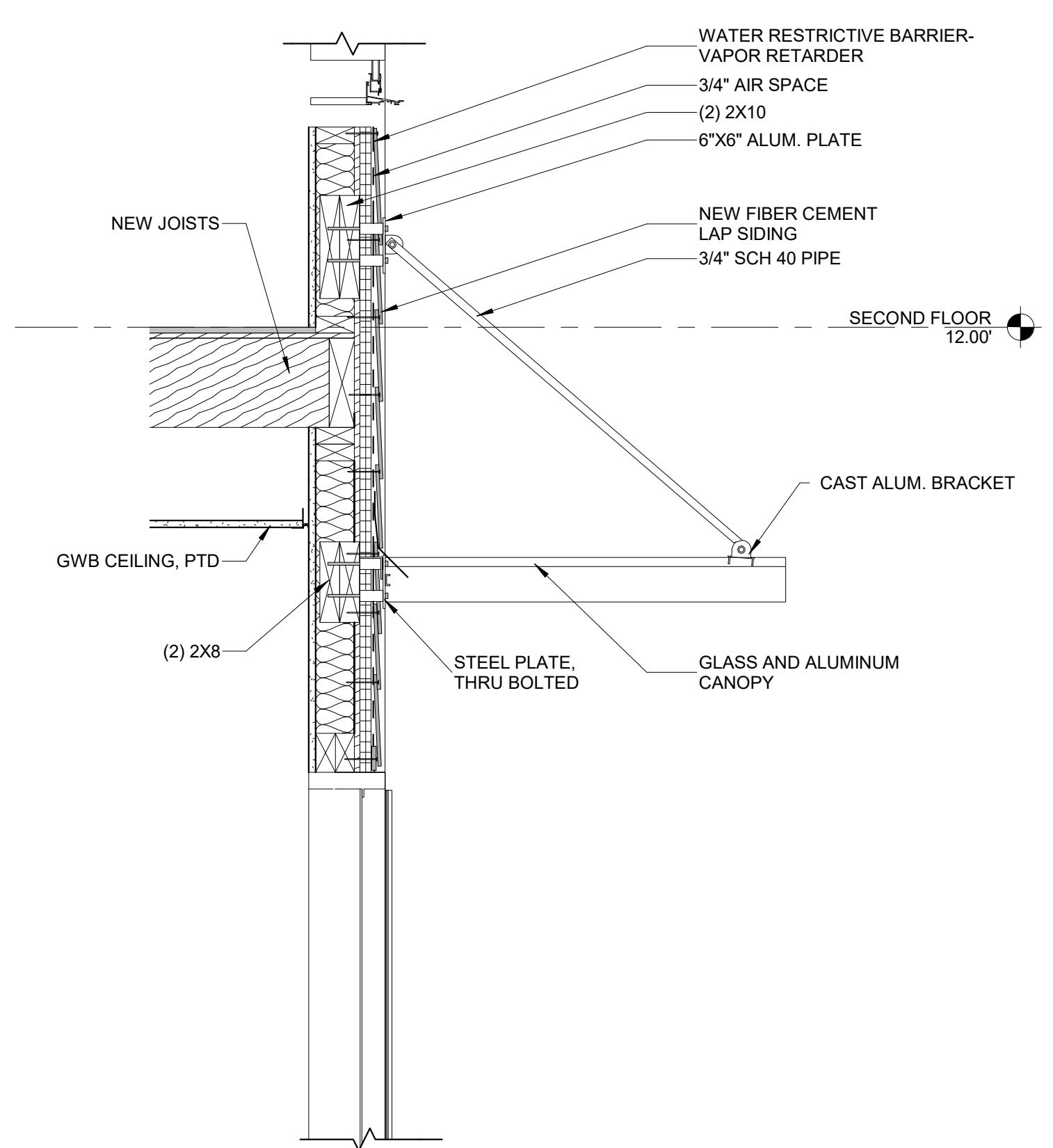
DRAWING TITLE:  
BUILDING SECTIONS

COMM. NO.: 210400  
DRAWN : Author  
CHECKED : Checker  
SCALE: 1/4" = 1'-0"  
DATE:

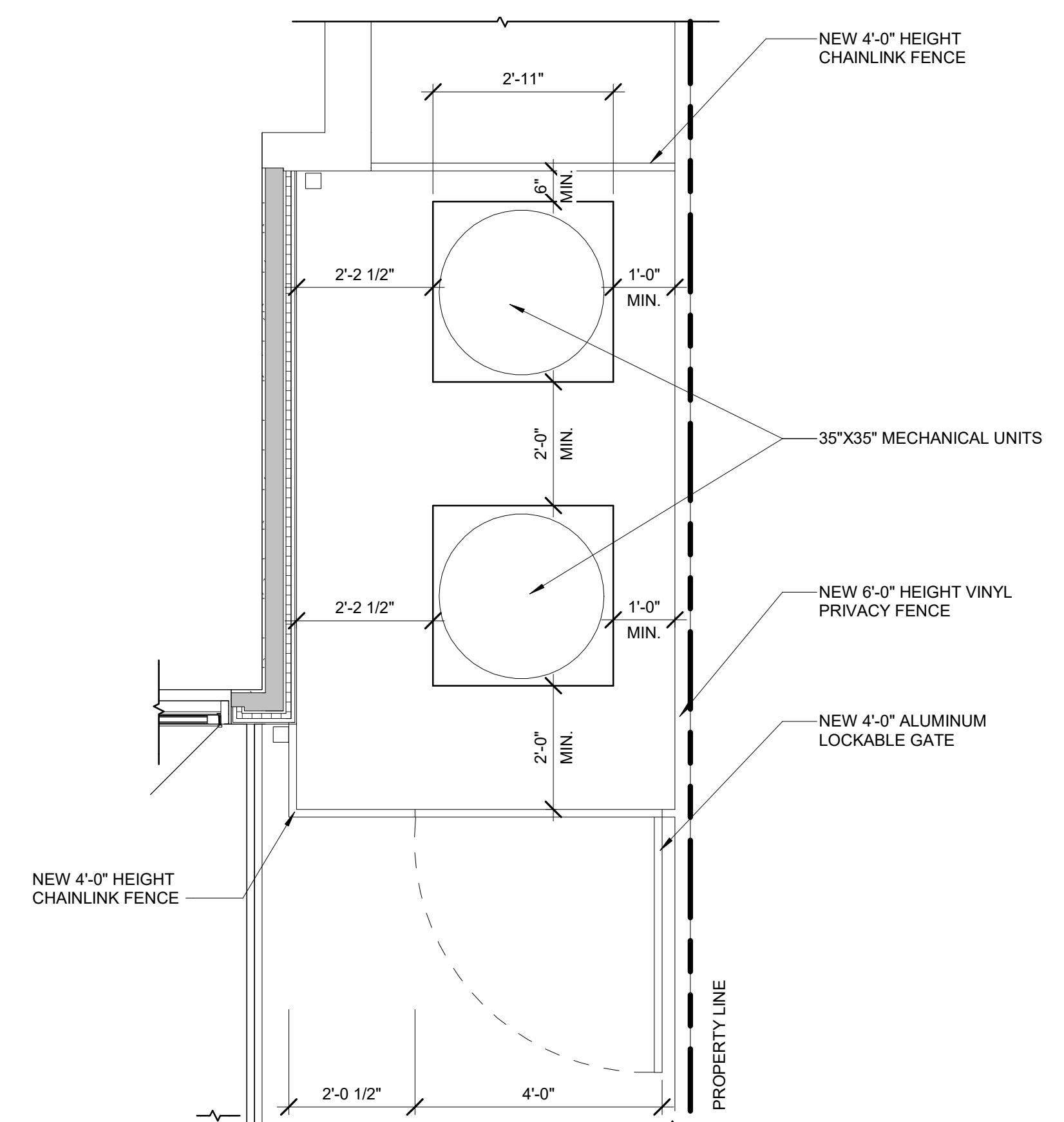
DRAWING NUMBER: A3.0



CANOPY PLAN  
1/2" = 1'-0"



CANOPY SECTION  
1" = 1'-0"



MECHANICAL ENCLOSURE PLAN  
1/2" = 1'-0"



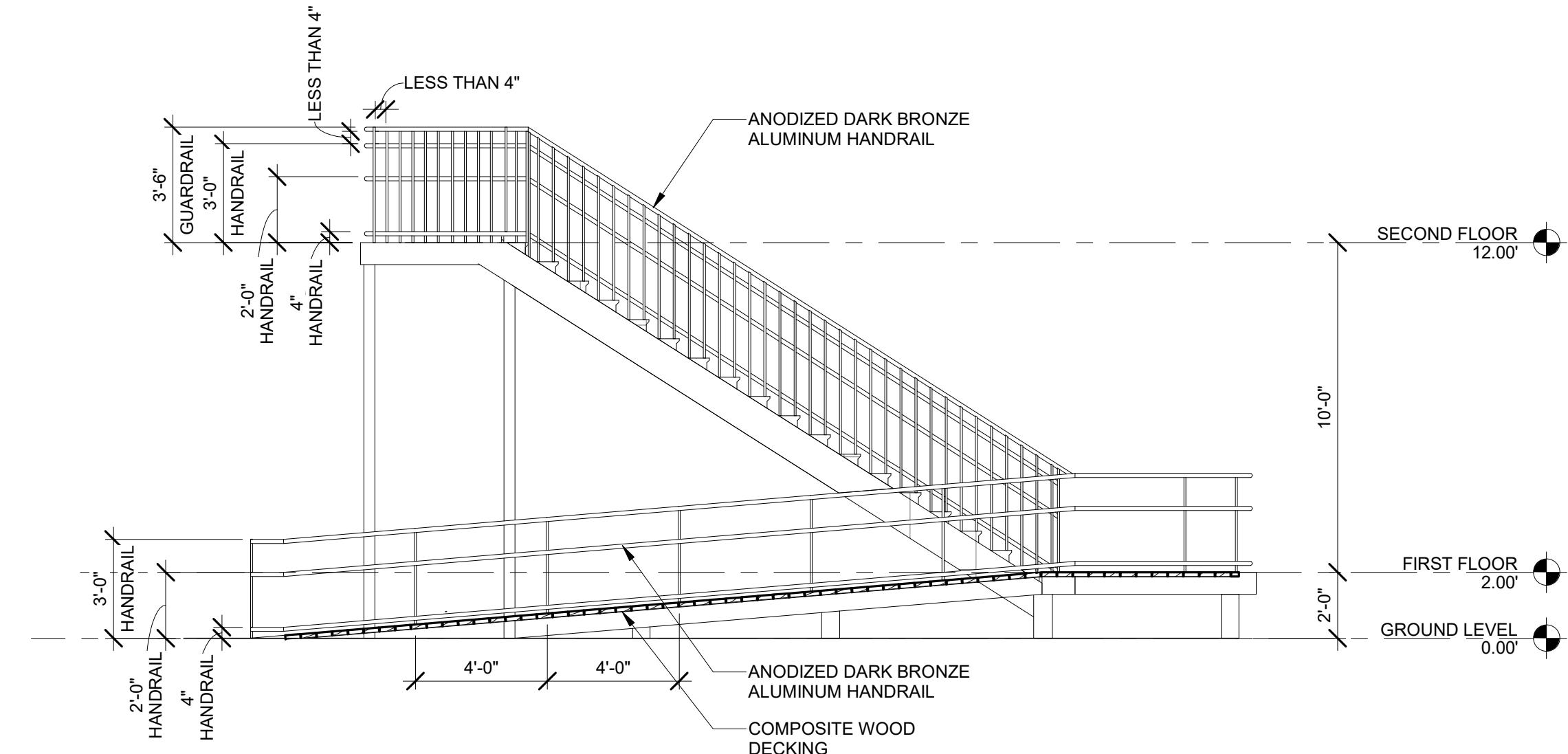
4	10/20/2022	DSP SUBMISSION
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
NO.	DATE	DESCRIPTION



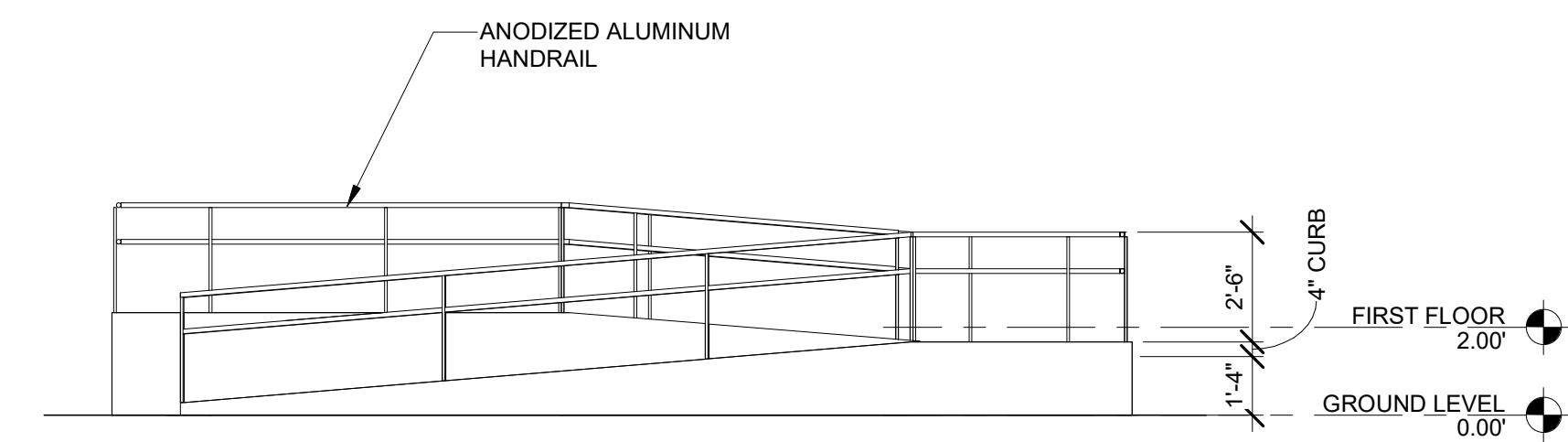
DRAWING TITLE:  
BUILDING SITE DETAILS

COMM. NO:	DRAWING NUMBER:
210400	
DRAWN :	
Author	
CHECKED :	
Checker	
SCALE:	
As indicated	
DATE:	

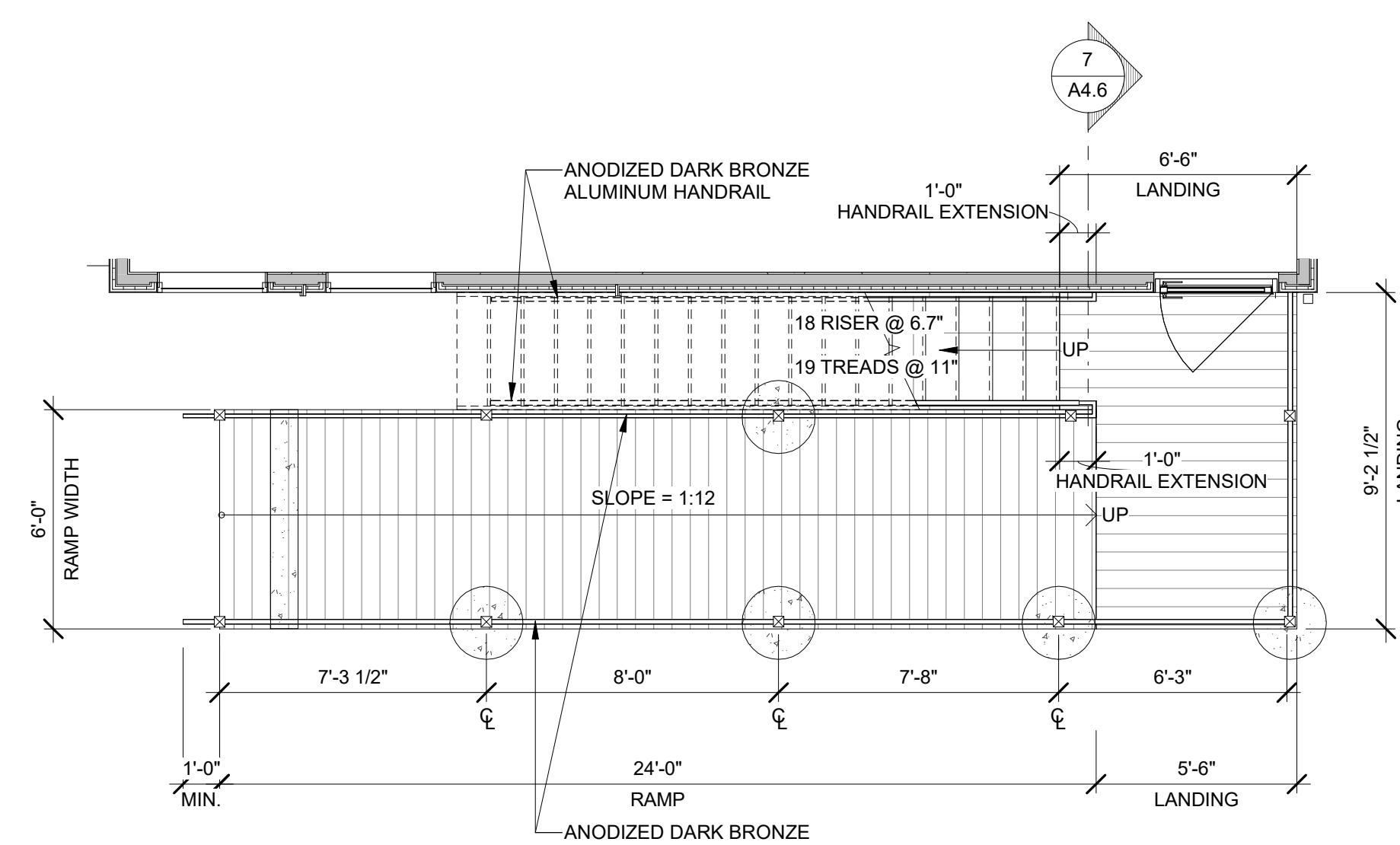
A4.6



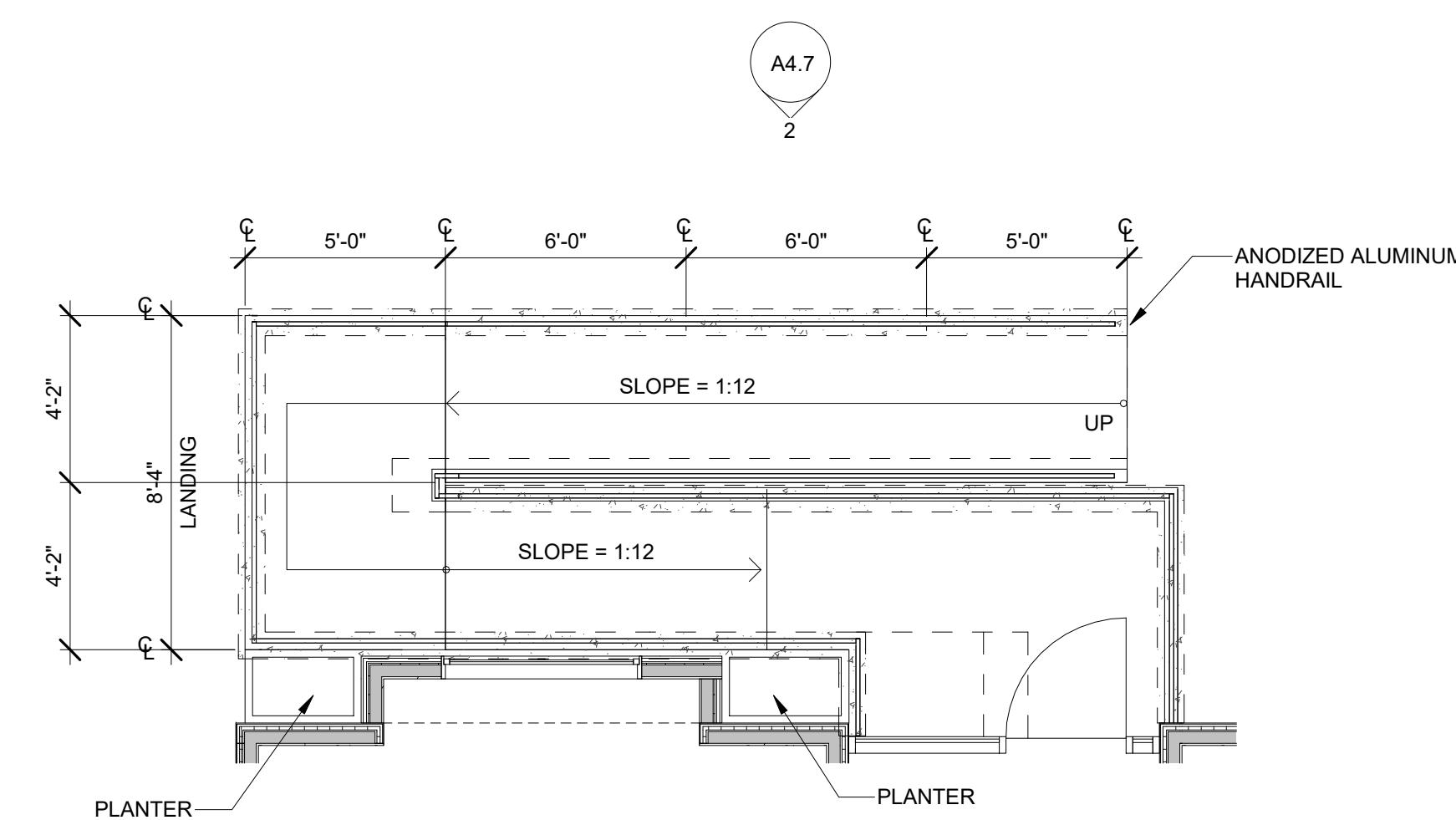
REAR RAMP & STAIR ELEVATION



ENTRY RAMP ELEVATION



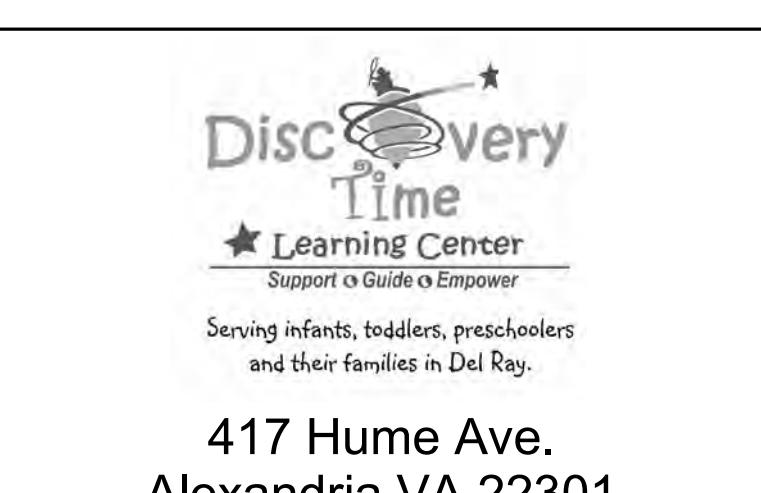
REAR RAMP & STAIR PLAN



ENTRY RAMP PLAN



ISSUE	DATE	DESCRIPTION
5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
		DATE



DRAWING TITLE:  
BUILDING SITE DETAILS

COMM. NO:	DRAWING NUMBER:
210400	
DRAWN :	
Author	
CHECKED :	
Checker	
SCALE:	1/4" = 1'-0"
DATE:	A4.7