

DISCOVERY TIME LEARNING CENTER

417 HUME AVE.
ALEXANDRIA, VA 22301

OWNER

DISCOVERY TIME LEARNING CENTER

1509 LESLIE AVE.
ALEXANDRIA, VIRGINIA 22301

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CONTACT: STEPHANIE HARRIS

ARCHITECT

MAGINNISS + DEL NINNO ARCHITECTS

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ALEXANDRIA, VIRGINIA 22314

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ARCHITECTURAL ABBREVIATIONS

ABV ABOVE	F/FIN FACE OF FINISH	PTD PAINT (ED)
AFF ABOVE FINISHED FLOOR	F/MAS FACE OF MASONRY	PNB PANIC BAR
AP ACCESS PANEL	F/STUDS FACE OF STUDS	PTN PARTITION
ACOUS ACOUSTICAL	FCU FAN COIL UNIT	PL PLATE
ACT ACOUSTICAL TILE	FIN FINISH (ED)	PLAM PLASTIC LAMINATE
ADJ ADJACENT	FFL FINISHED FLOOR LINE	PLYWD PLYWOOD
ADJT ADJUSTABLE	FE FIRE EXTINGUISHER	PLYWD PLYWOOD
A/C AIR CONDITIONING	FEC FIRE EXTINGUISHER CABINET	PRT PRESERVATIVE TREATED
ALT ALTERNATE	FLASH FLASHING	PVC POLYVINYL CHLORIDE
ALUM (AL) ALUMINUM	FLX FLEXIBLE	QT QUARRY TILE
AB ANCHOR BOLT	FL FLOOR (ING)	RAD RADIUS
ANOD ANODIZED	FD FLOOR DRAIN	REF REFERENCE
APPROX APPROXIMATE	FTG FOOTING	RB RESILIENT BASE
ARCH ARCHITECT (URAL)	FDN FOUNDATION	RA RETURN AIR
BM BEAM	GA GAGE, GAUGE	REQ'D REQUIRED
BRG BEARING	GALV GALVANIZED	REV REVISION (S), REVISED
BRG PL BEARING PLATE	GC GENERAL CONTRACT (OR)	RD ROOF DRAIN
BLK (G) BLOCK (BLOCKING)	GLA GLASS, GLAZING	RDC ROOF DRAIN CONDUCTOR
BD BOARD	GB GRAB BAR	RO ROUGH OPENING
BLDG BUILDING	GWB GYPSUM WALL BOARD	RTU ROOF TOP UNIT
CAB CABINET	HDW HARDWARE	SHT SHEET
CB CEMENT BOARD	HP HIGH POINT	SIM SIMILAR
CPT CARPET (ED)	HVAC HEATING/VENTILATING/AIR CONDITIONING	SIP STRUCTURAL INSULATION PANELS
CLG CEILING	HT HEIGHT	SC SOLID CORE
CT CERAMIC TILE	HC HOLLOW CORE	SF SQUARE FEET
CMU CONCRETE MASONRY UNIT	HDPE HIGH-DENSITY POLYETHYLENE	SPEC SPECIFICATION (S)
COL COLUMN	HM HOLLOW METAL	SQ SQUARE
CONC CONCRETE	HORIZ HORIZONTAL	SST STAINLESS STEEL
CONST CONSTRUCTION	ID INSIDE DIAMETER	STC SOUND TRANSMISSION COEFFICIENT
CONT CONTINUOUS OR CONTINUE	INSUL INSULATE (D), (ION)	STD STANDARD
CORR CORRUGATED	INT INTERIOR	STL STEEL
CJ CONTROL JOINT	JC JANITOR'S CLOSET	STO STORAGE
CL CENTER LINE	LL LIVE LOAD	STRUC STRUCTURAL
DET DETAIL	LAB LABORATORY	SUSP SUSPENDED
DL DEAD LOAD	LBS POUNDS	TEL TELEPHONE
DIA DIAMETER	MFR MANUFACTURE (ER)	THK THICKNESS
DIM DIMENSION	MAS MASONRY	THRES THRESHOLD
DR DOOR	MO MASONRY OPENING	TRTD TREATED
DS DOWNSPOUT	MAX MAXIMUM	T/SLB TOP OF SLAB
DWG DRAWING	MECH MECHANIC (AL)	TYP TYPICAL
ELEC ELECTRIC (AL)	MED MEDIUM	UL UNDERWRITER'S LAB
EWC ELECTRIC WATER COOLER	MTD MOUNTED	UNO UNLESS NOTED OTHERWISE
ELEV ELEVATOR	MTL METAL	VERT VERTICAL
EMER EMERGENCY	MP METAL PANEL	VIF VERIFY IN FIELD
EQ EQUAL	MIN MINIMUM	VPB VAPOR BARRIER
EQUIP EQUIPMENT	MISC MISCELLANEOUS	VCT VINYL COMPOSITION TILE
ETR EXISTING TO REMAIN	MR MOISTURE RESISTANT	VPB VAPOR BARRIER
EX EXPOSED	NRC NOISE REDUCTION COEFFICIENT	WWF WELDED WIRE FABRIC
EXH EXHAUST	NOM NOMINAL	WIN WINDOW
EXIST EXISTING	NIC NOT IN CONTRACT	W/ WITH
EB EXPANSION BOLT	NTS NOT TO SCALE	W/O WITHOUT
EJ EXPANSION JOINT	OC ON CENTER (S)	WD WOOD
EXPD EXPOSED	OPNG OPENING	WP WATER PROOFING
EXT EXTERIOR	OPP OPPOSITE	WPT WORKING POINT
F/CONC FACE OF CONCRETE	OD OUTSIDE DIAMETER	WR WATER RESISTANT

ARCHITECTURAL SYMBOLS

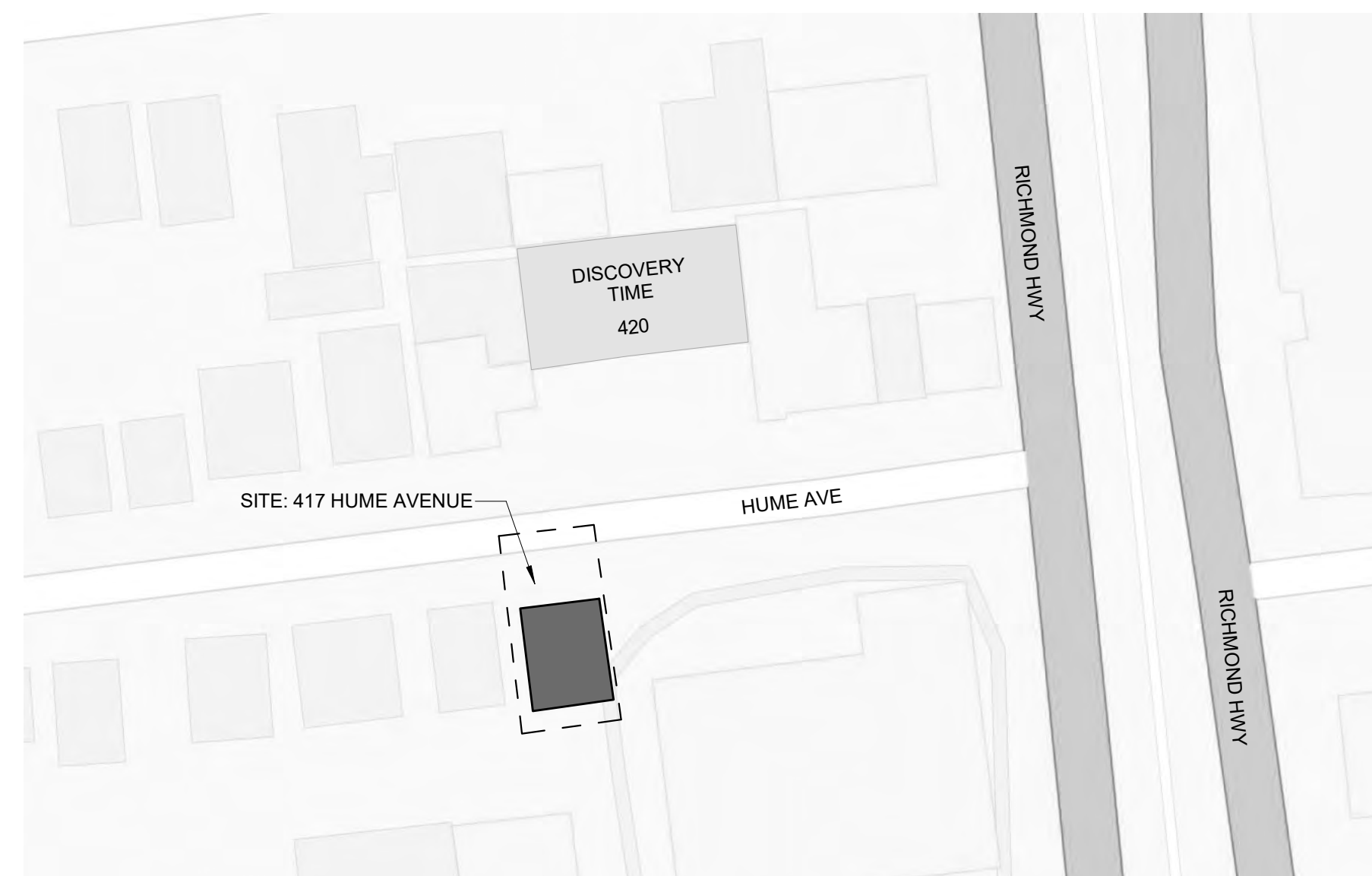
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW CONSTRUCTION
	CENTER LINE
	MATCH LINE
	EXTERIOR ELEVATION REFERENCE
	SECTION SYMBOL REFERENCE
	INTERIOR ELEVATION REFERENCE
	DETAIL REFERENCE
	ELEVATION MARKER
	DOOR REFERENCE TAG REFER TO SCHEDULE
	ROOM REFERENCE TAG
	WINDOW TYPE
	WALL/PARTITION TYPE
	KEYNOTE

MAGINNISS+
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VICINITY PLAN



DRAWING SHEET INDEX

COVER	COVER SHEET
CODE.1	PLAT & ZONING COMPLIANCE
CODE.2	FAR & BUILDING CODE PLANS
CODE.3	MEETING MINUTES
A0.0	ARCHITECTURAL SITE AND ROOF PLAN
D1.0	EXISTING PLANS
D1.1	DEMOLITION PLANS
A0.1	NEW WORK - FIRST FLOOR PLAN
A0.2	NEW WORK - SECOND FLOOR PLAN
A1.0	ATTIC PLANS
A2.0	EXISTING ELEVATIONS
A2.1	PROPOSED BUILDING ELEVATIONS
A3.0	BUILDING SECTIONS
A4.6	BUILDING SITE DETAILS
A4.7	BUILDING SITE DETAILS

GENERAL NOTES

- DO NOT SCALE DRAWINGS. IF ADDITIONAL INFORMATION OR DIMENSIONS ARE REQUIRED, CONTACT THE ARCHITECT.
- DIMENSIONS ON PLAN ARE GIVEN FROM FACE OF SHEATHING OR FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED (= -) OR "VERIFY" INDICATE REFERENCE DIMENSIONS THAT MUST BE CONFIRMED IN THE FIELD.

PROJECT DESCRIPTION

THE WORK IS FOR THE RENOVATION OF AN EXISTING BUILDING AND THE DEMOLITION AND RECONSTRUCTION OF A SMALL, DILAPIDATED TWO STORY ADDITION AT THE REAR. A CHILD CARE CENTER WILL OCCUPY THE BUILDING, WHICH WILL REQUIRE NEW MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT.

BUILDING INFORMATION

APPLICABLE CODE: 2018 VIRGINIA CONSTRUCTION CODE,
2018 VIRGINIA EXISTING BUILDING CODE

CONSTRUCTION TYPE: EXISTING V/PROPOSED VB

USE GROUP CLASSIFICATION: SEPARATE MIXED USE E & I-4

NO. OF STORIES/ HEIGHT (MATCH EXISTING): 2

NO.	DATE	DESCRIPTION
5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN

Discovery Time Learning Center
Support a Guide to Empower
Serving infants, toddlers, preschoolers
and their families in Del Ray.

417 Hume Ave.
Alexandria VA 22301

DRAWING TITLE:

COVER SHEET

COMM. NO:
210400

DRAWN :

LS

CHECKED :

ZS

SCALE:

1/16" = 1'-0"

DATE:

DRAWING NUMBER:

COVER

APPLICABLE BUILDING CODE REGULATIONS

CODE	SECTION	REQUIREMENT
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WINDOW AND DOORS WILL COMPLY WITH TABLE C402.4 OPERABLE WINDOW U-FACTOR OF 0.45 SHGC 0.36, ENTRY DOORS U-FACTOR OF 0.77. SKYLIGHTS WILL MEET A U FACTOR OF 0.5 AND SHGC OF 0.4.

CHAPTER 6: TYPES OF CONSTRUCTION

2018 VCC	TABLE 601	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)
	CONSTRUCTION TYPE VB	PRIMARY STRUCTURAL FRAME 0
		BEARING WALLS EXTERIOR 0
		BEARING WALLS INTERIOR 0
		NONBEARING WALLS/PARTITIONS INTERIOR 0
		FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS 0
		ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS 0

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

2018 VCC	705.8 TABLE 705.8	OPENINGS 10 TO LESS THAN 15 FEET SPRINKLERED - 45% ALLOWABLE AREA
2018 VCC	706.4	FIRE WALLS FIRE RESISTANCE RATINGS
2018 VCC	707	FIRE RESISTANCE RATING FOR GROUP E, 1 - 3 HR
2018 VCC	713.4	FIRE BARRIERS FIRE RESISTANCE RATINGS REQUIREMENTS FOR FIRE BARRIER OR HORIZONTAL ASSEMBLIES FIRE RESISTANCE RATING FOR GROUP E, 1 - 2 HR
2018 VCC	716 TABLE 716.1	SHAFT ENCLOSURES CONNECTING LESS THAN 4 STORIES = 1 HR FIRE RATING
2018 VCC	716 TABLE 716.1	OPENING FIRE PROTECTION ASSEMBLIES PROVIDE AS FOLLOWS: 1 HR FIRE PARTITIONS = 3/4 HR RATED OPENING 2 HR FIRE PARTITIONS = 1-1/2 HR RATED OPENING 1 HR STAIRS = 3/4 HR RATED OPENING 3 HR FIRE WALLS = 3 HR RATED OPENING

CHAPTER 8: INTERIOR FINISHES

2018 VCC	TABLE 803.13	INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY
		FOR OCCUPANCY GROUP I-4: CLASS B: INTERIOR EXIT STAIRWAYS CLASS B: CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS CLASS B: ROOMS AND ENCLOSED SPACES
		FOR OCCUPANCY GROUP E: CLASS B: INTERIOR EXIT STAIRWAYS CLASS C: CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS CLASS C: ROOMS AND ENCLOSED SPACES

CHAPTER 9: FIRE PROTECTION SYSTEMS

2018 VCC	903	AUTOMATIC SPRINKLER SYSTEMS
2018 VCC	903.2.6 GROUP 1 EXCEPTION 3	IN BUILDINGS WHERE GROUP I-4 DAY CARE IS PROVIDED ON LEVELS OTHER THAN THE LEVEL OF EXIT DISCHARGE, AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 SHALL BE INSTALLED ON THE ENTIRE FLOOR WHERE CARE IS PROVIDED, ALL FLOORS BETWEEN THE LEVEL OF CARE AND THE LEVEL OF EXIT DISCHARGE.
2018 VCC	903.2.3 GROUP E NOTE 2	THE GROUP E FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES.
2018 VCC	903.3.1.1	SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13.
2018 VCC	906.1	PORTABLE FIRE EXTINGUISHERS PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS. 1. IN GROUPS A, B, E, F, H, I, M, R-1, R-4, AND S OCCUPANCIES.
2018 VCC	907	FIRE ALARM AND DETECTION SYSTEMS
2018 VCC	907.2.3 GROUP E	A MANUAL FIRE ALARM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM MEETING THE REQUIREMENTS OF SECTION 907.5 AND INSTALLED IN ACCORDANCE WITH SECTION 907.6 SHALL BE INSTALLED IN GROUP E OCCUPANCIES, WHEN AUTOMATIC SPRINKLER SYSTEMS OR SMOKE DETECTORS ARE INSTALLED, SUCH SYSTEMS OR DETECTORS SHALL BE CONNECTED TO THE BUILDING FIRE ALARM SYSTEM.
2018 VCC	EXCEPTION 3	MANUAL FIRE ALARM BOXES SHALL NOT BE REQUIRED IN GROUP E OCCUPANCIES WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, THE OCCUPANT NOTIFICATION SYSTEM WILL ACTIVATE ON SPRINKLER WATER FLOW AND MANUAL ACTIVATION IS PROVIDED FROM A NORMALLY OCCUPIED LOCATION.
2018 VCC	907.2.6	A MANUAL FIRE ALARM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5 SHALL BE INSTALLED IN GROUP I OCCUPANCIES, AN AUTOMATIC SMOKE DETECTION SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5 SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 907.2.6.1, 907.2.6.2 AND 907.2.6.3.3.
2018 VCC	TABLE 1004.5	DAY CARE OCCUPANT LOAD FACTOR 35 NET
2018 VCC	1005.3	REQUIRED CAPACITY BASED ON OCCUPANT LOAD EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM PER SECTION 903.3.1.1 OR 903.3.1.2 STAIRWAYS: 0.2 INCHES PER OCCUPANT

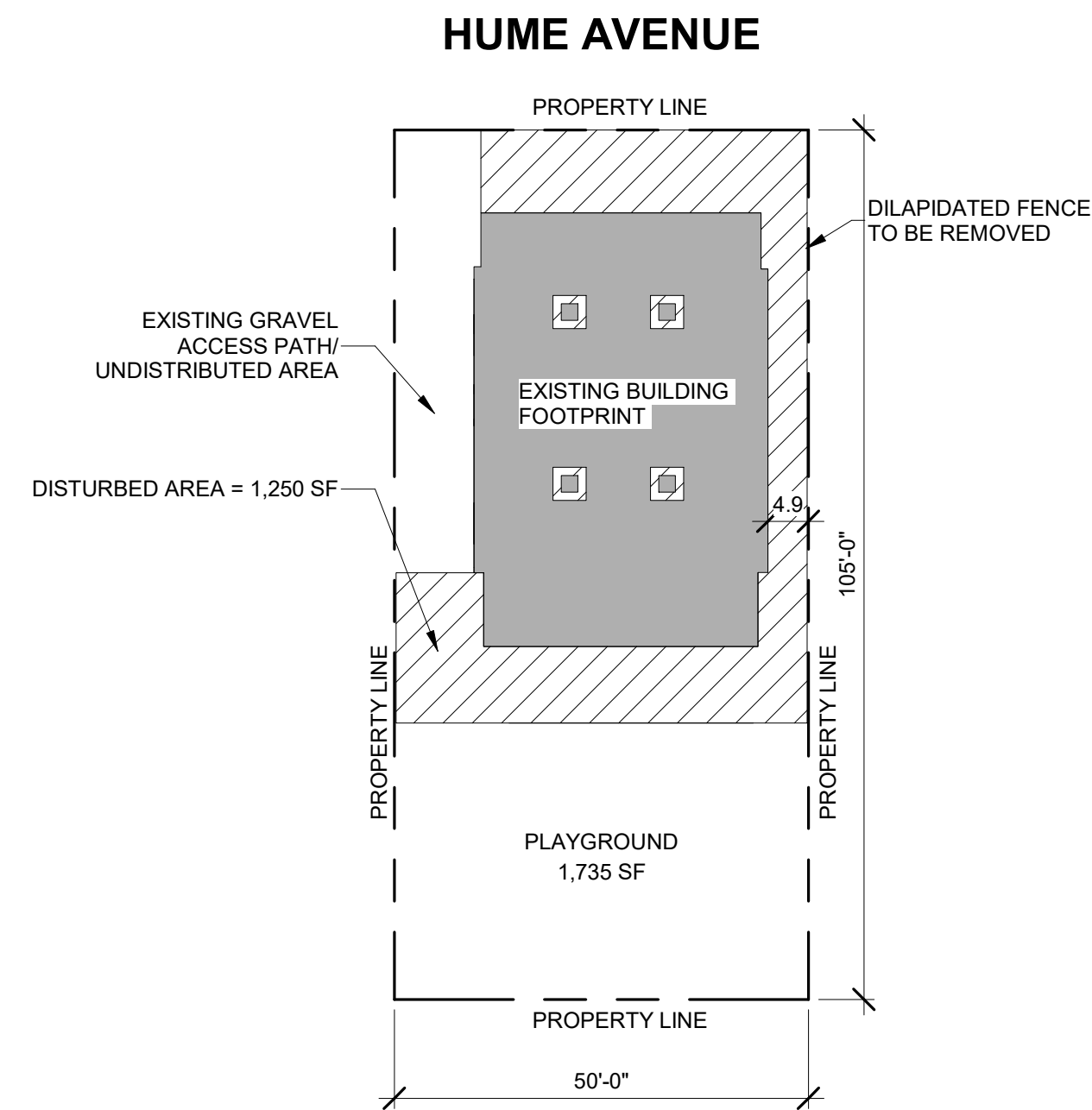
CHAPTER 10: MEANS OF EGRESS

2018 VCC	1011.2	MINIMUM WIDTH SHALL BE NOT LESS THAN 44 INCHES
		EXCEPTIONS: 1. STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES.
2018 VCC	1006.2.2.4	GROUP I-4 FACILITIES, ROOMS OR SPACES WHERE CARE IS PROVIDED FOR MORE THAN 10 CHILDREN THAT ARE 2 1/2 YEARS OF AGE OR LESS, SHALL HAVE ACCESS TO NOT LESS THAN TWO EXITS OR EXIT ACCESS DOORWAYS.
2018 VCC	1019.3	OCCUPANCIES OTHER THAN GROUPS I-2 AND I-3, IN OTHER THAN GROUP I-2 AND I-3 OCCUPANCIES, FLOOR OPENINGS CONTAINING EXIT ACCESS STAIRWAYS OR RAMPS THAT DO NOT COMPLY WITH ONE OF THE CONDITIONS LISTED IN THIS SECTION SHALL BE ENCLOSED WITH A SHAFT ENCLOSURE CONSTRUCTED IN ACCORDANCE WITH SECTION 713.
2018 VCC	1019.3 EXCEPTION 1:	EXIT ACCESS STAIRWAYS AND RAMPS THAT SERVE OR ATMOSPHERICALLY COMMUNICATE BETWEEN ONLY TWO STORIES. SUCH INTERCONNECTED STORIES SHALL NOT BE OPEN TO OTHER STORIES.
2018 VCC	TABLE 1020.2	MINIMUM CORRIDOR WIDTH ANY FACILITY NOT LISTED IN THIS TABLE - 44 INCHES

CHAPTER 11: ACCESSIBILITY

2018 VCC	1104.2	WITHIN A SITE MINIMUM OF ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, FACILITIES, ELEMENTS, AND SPACES ON THE SAME SITE.
2018 VCC	1104.4 EXCEPTION 2:	STORIES, MEZZANINES OR OCCUPIED ROOFS THAT DO NOT CONTAIN ACCESSIBLE ELEMENTS OR OTHER SPACES AS DETERMINED BY SECTION 1107 OR 1108 ARE NOT REQUIRED TO BE SERVED BY AN ACCESSIBLE ROUTE FROM AN ACCESSIBLE LEVEL.
2018 VCC	1109.2	OTHER FEATURES AND FACILITIES EACH TOILET ROOM AND BATHING ROOM SHALL BE ACCESSIBLE. WHERE A FLOOR LEVEL IS NOT REQUIRED TO BE CONNECTED BY AN ACCESSIBLE ROUTE, THE ONLY TOILET ROOMS OR BATHING ROOMS PROVIDED WITHIN THE FACILITY SHALL NOT BE LOCATED ON THE INACCESSIBLE FLOOR. EXCEPT AS PROVIDED FOR IN SECTIONS 1109.2.2 THROUGH 1109.2.4, AT LEAST ONE OF EACH TYPE OF FIXTURE, ELEMENT, CONTROL OR DISPENSER IN EACH ACCESSIBLE TOILET ROOM AND BATHING ROOM SHALL BE ACCESSIBLE.

DISTURBED AREA PLAN



SCALE 1" = 20'

PROJECT INFORMATION

ZONING INFORMATION

EXISTING ZONING :	CSL/COMMERCIAL SERVICES LOW ZONE	EXISTING	NEW
LOT SIZE :	50'-0" X 105'-0" = 5,250 SF	BUILDING SPRINKLERED?	N Y
F.A.R. (FLOOR AREA RATIO) :	.5 X 5,250 SF = 2,625 SF	FIRE ALARM SYSTEM?	N Y
PARCEL #:	RPC #025.01-03-23		
2.0 BUILDING HEIGHT	50 FT - 2 STORIES (3 ABOVE GRADE IF FULLY SPRINKLERED)	EXISTING: 26'-4" - 2 STORIES	NEW: NO CHANGE - 26'-4" - 2 STORIES
3.0 SIDE YARD	25 FEET MIN.	EXISTING: NOT IN COMPLIANCE	NO CHANGE

ALEXANDRIA ZONING ORDINANCE

CITY OF ALEXANDRIA ZONING ORDINANCE: SUPP. NO. 79

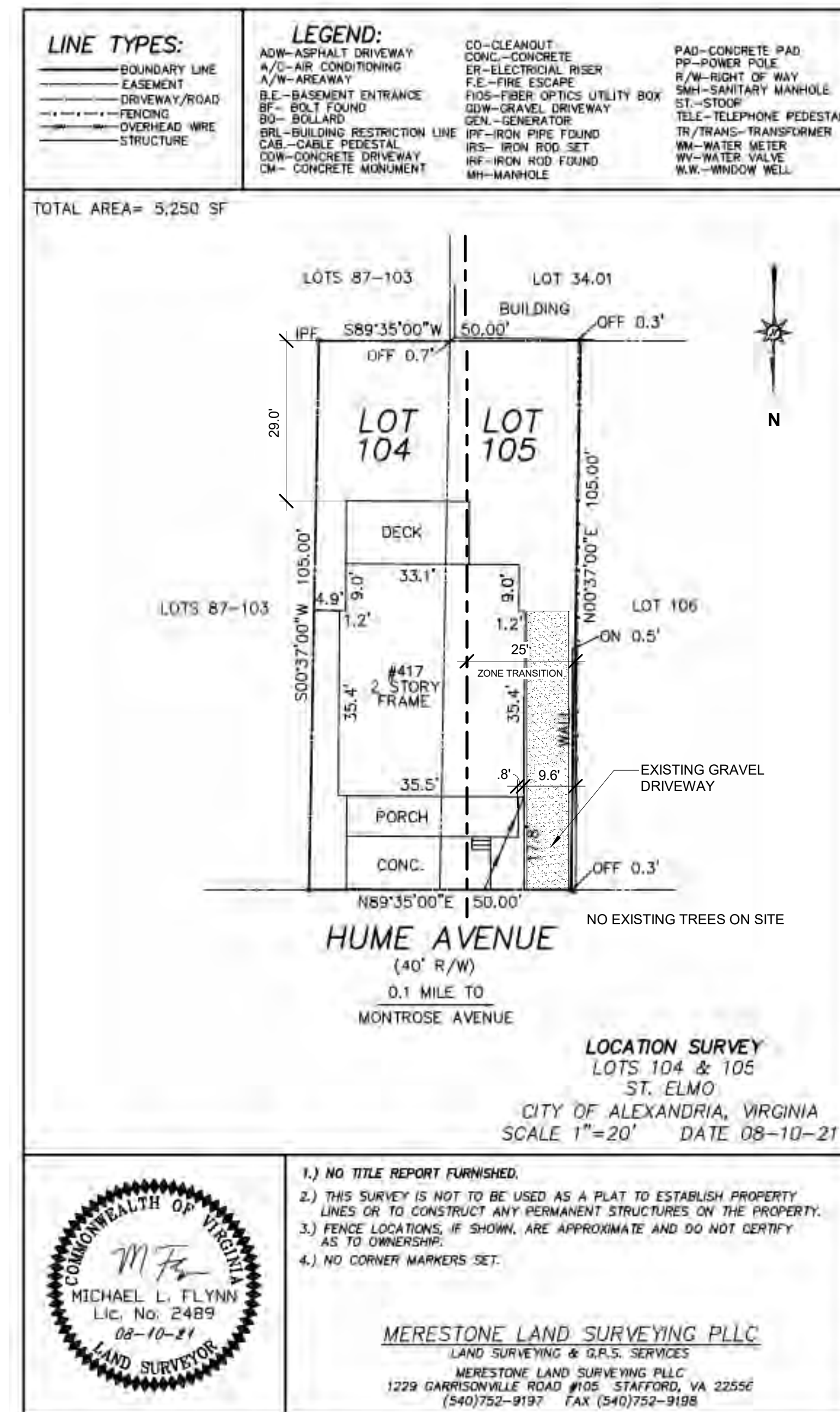
ARTICLE II DEFINITIONS:

SECTION 2-145 FLOOR AREA

B. FOR PROPERTIES EXCEPT FOR THOSE SPECIFIED IN SUBSECTION A. ABOVE, THE FLOOR AREA OF THE BUILDING OR BUILDINGS ON A LOT OR TRACT OR TRACT OF LAND (WHETHER MAIN OR ACCESSORY) IS THE SUM OF ALL GROSS HORIZONTAL AREAS UNDER ROOF ON A LOT. THESE AREAS SHALL BE MEASURED FROM THE EXTERIOR FACES OF WALLS OR ANY EXTENDED AREA UNDER ROOF. EXCLUDED FROM FLOOR AREA SHALL BE:

- (1) STAIRS AND ELEVATORS. THE TERM STAIRS INCLUDES RAMPS AND OTHER SIMILAR STRUCTURES DEEMED NECESSARY TO PROVIDE ACCESS TO PERSONS WITH DISABILITIES.
- (2) FLOOR SPACE USED FOR UTILITIES, WHICH MAY INCLUDE ACCESSORY WATER TANKS, COOLING TOWERS, MECHANICAL AND ELECTRICAL EQUIPMENT, AND ANY SIMILAR CONSTRUCTION NOT SUSCEPTIBLE TO STORAGE OR OCCUPANCY.
- (3) LAVATORIES OF WHICH ONLY A MAXIMUM OF 50 SQUARE FEET OF EACH LAVATORY CAN BE EXCLUDED. THE MAXIMUM TOTAL OF EXCLUDABLE AREA FOR LAVATORIES SHALL BE NO GREATER THAN OF TEN PERCENT OF GROSS FLOOR AREA.
- (7) SPACE UNDER OPEN BALCONIES AND SIMILAR STRUCTURES PROJECTING FROM A FLOOR ABOVE THE FIRST FLOOR UP TO A MAXIMUM OF DEPTH OF EIGHT FEET.
- (15) AREAS WITH A CEILING HEIGHT OF LESS THAN SEVEN FEET, EXCEPT IN AN ABOVE GRADE PARKING GARAGE CONSTRUCTED AFTER MARCH 17, 2018. AREAS IN A PARKING GARAGE CONSTRUCTED AFTER THAT DATE, REGARDLESS OF HEIGHT, MAY NOT BE EXCLUDED.

PLAT OF SURVEY - EXISTING CONDITIONS



1.) NO TITLE REPORT FURNISHED.
2.) THIS SURVEY IS NOT TO BE USED AS A PLAT TO ESTABLISH PROPERTY LINES OR TO CONSTRUCT ANY PERMANENT STRUCTURES ON THE PROPERTY.
3.) FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE AND DO NOT CERTIFY AS TO OWNERSHIP.
4.) NO CORNER MARKERS SET.

MERESTONE LAND SURVEYING PLLC
LAND SURVEYING & D.R.S. SERVICES
MERESTONE LAND SURVEYING PLLC
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MAGINNIS+ DEL NINNO ARCHITECTS
pc

500 Montgomery St. Ste 550,
Alexandria, VA 22314
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Scale: 1/8" = 1'-0"
0 4' 8' 16' 24' 32'

NO.	DATE	DESCRIPTION
5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN

BUILDING GROSS AREA TABULATION

FLOOR AREA	EXISTING	NEW	CODE ALLOWABLE	TOTAL	USE GROUP
LEVEL 1	1,842 SF	0 SF	14,500 SF	1,398 SF	E
LEVEL 2	1,554 SF	0 SF	14,500 SF	1,554 SF	E
TOTAL : GROSS AREA	3,396 SF	0 SF	29,000 SF	3,378 SF	

* SQUARE FOOTAGE CALCULATIONS INCLUDE PHASE II : 120 SF.

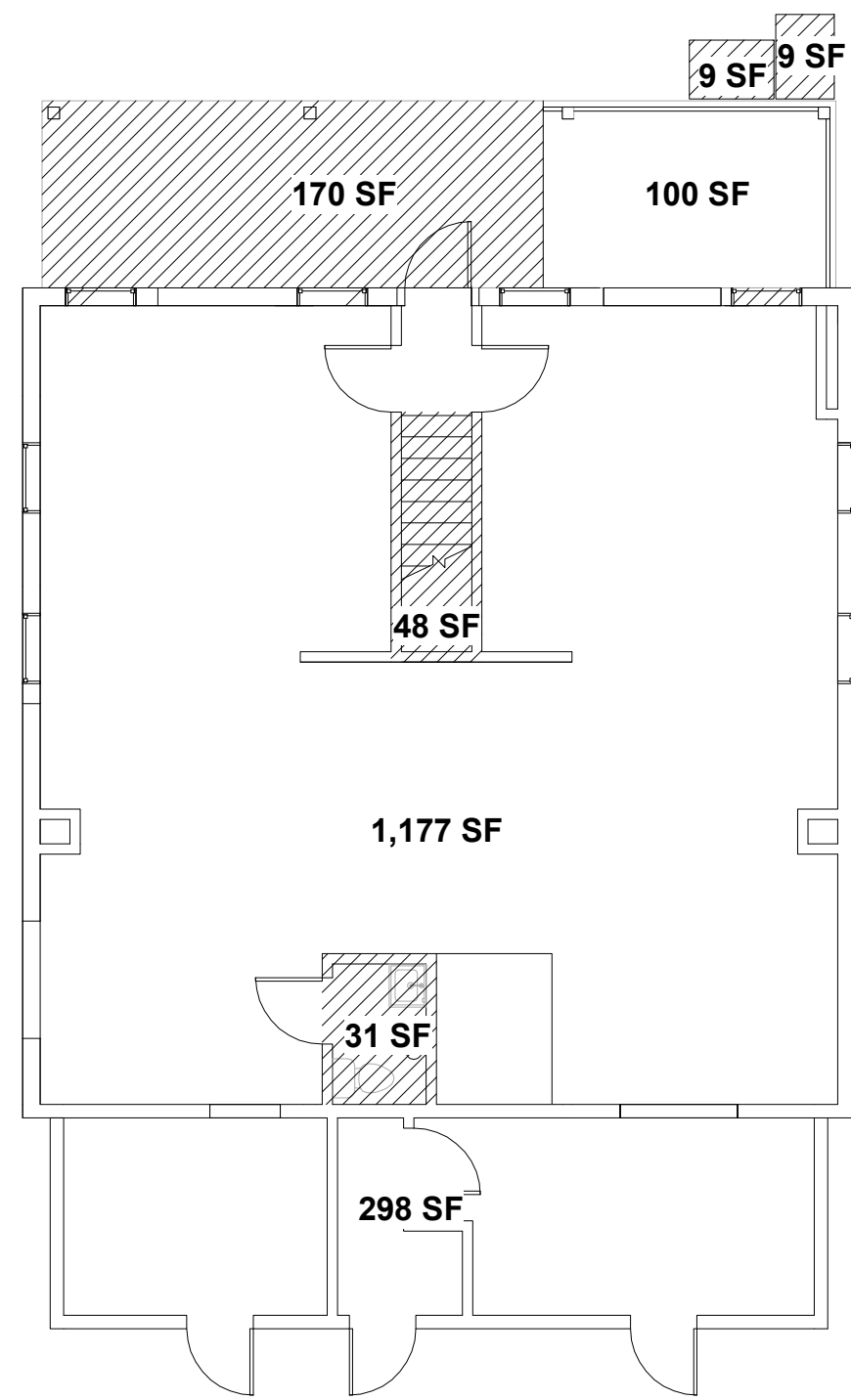
GREEN BUILDING POLICY STATEMENT

TO COMPLY WITH THE CITY'S GREEN BUILDING POLICY, THE EXISTING BUILDING ENVELOPE WILL BE RETROFITTED TO BE INSULATED BEYOND VCC ENERGY REQUIREMENTS. ADDITIONALLY, UPON COMPLETION OF THE WORK, AN EUI ANALYSIS WILL BE COMPLETED, AND WE PROPOSE TO PURSUE BUILDING CERTIFICATION UNDER THE U.S. EPA'S ENERGY STAR BUILDING CERTIFICATION PROGRAM.

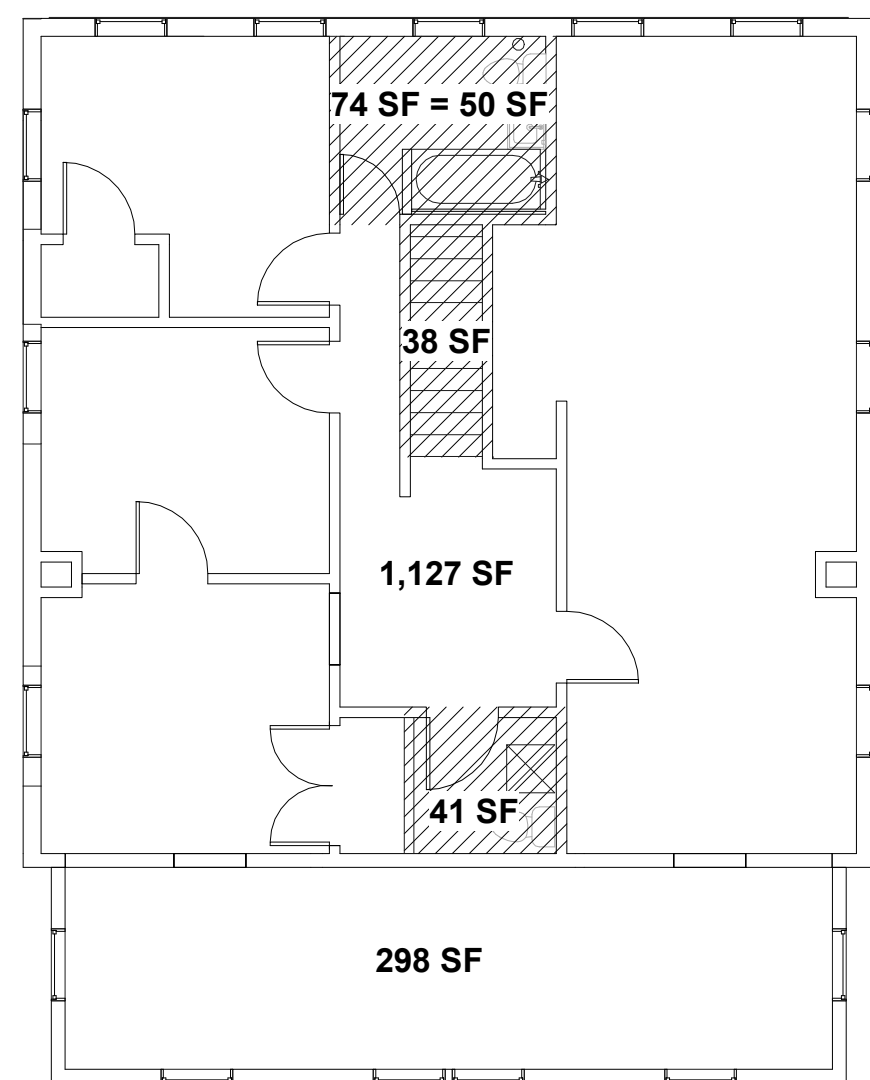
DRAWING TITLE:
PLAT & ZONING COMPLIANCE

COMM. NO: 210400	DRAWING NUMBER:
DRAWN : Author	CODE.1
CHECKED : Checker	
SCALE: As indicated	
DATE:	

EXISTING FAR CALCULATION PLANS

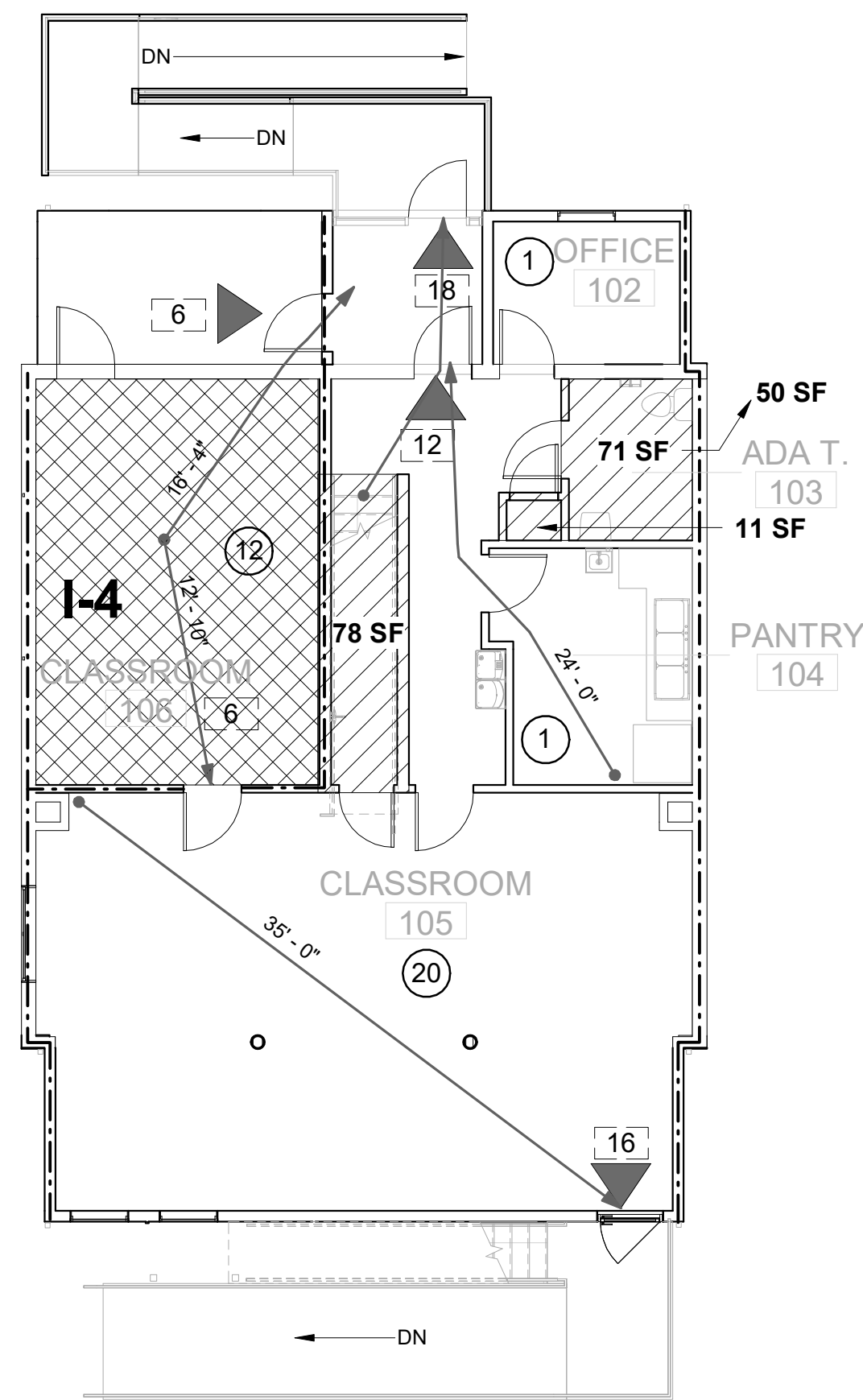


FIRST FLOOR PLAN

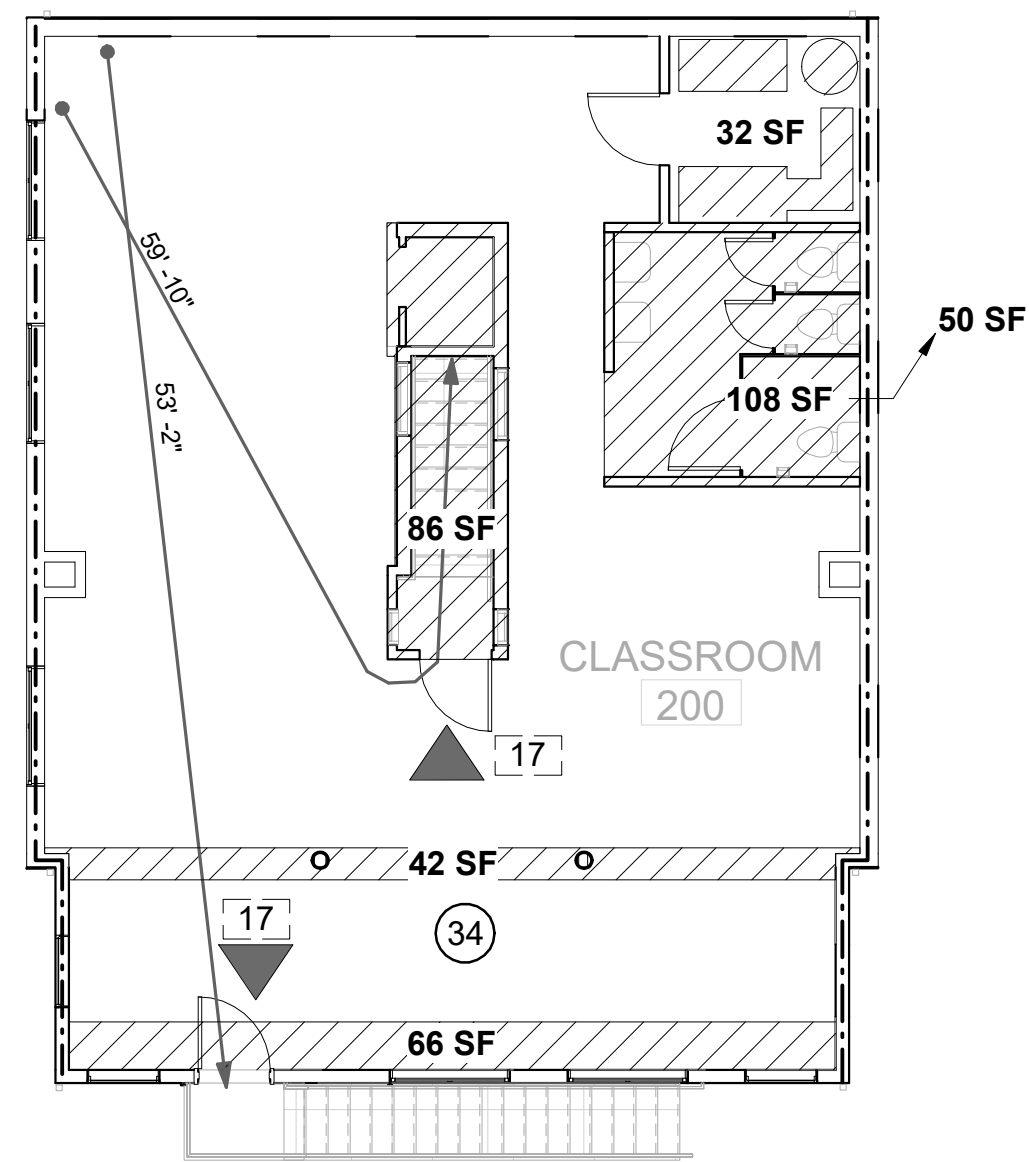


SECOND FLOOR PLAN

BUILDING CODE COMPLIANCE + FAR CALCULATION PLANS



FIRST FLOOR CODE PLAN



SECOND FLOOR CODE PLAN

MEANS OF EGRESS SIZING CODE REQUIREMENTS 1005.3.1
 FOR USE GROUPS WITH A SPRINKLER SYSTEM AND EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM, THE EGRESS CAPACITY FACTOR FOR DOORS IS 0.15 INCHES PER OCCUPANT. (240 OCCUPANTS FOR A 3'-0" DOOR)
 FOR OTHER THAN GROUPS H AND I-2 OCCUPANCIES, THE CAPACITY, IN INCHES (MM), OF MEANS OF EGRESS STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH STAIRWAY BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.2 INCH (5.1 MM) PER OCCUPANT IN BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2
 TRAVEL DISTANCE: (TABLE 1016.1)
 E - 250 FEET ALLOWED, XX PROPOSED COMMON PATH OF TRAVEL = 75 FT ALLOWED (1014.3), 59'-10" PROPOSED
 I - 200 FEET ALLOWED, XX PROPOSED COMMON PATH OF TRAVEL = 75 FT ALLOWED (1014.3), 59'-10" PROPOSED

LEGEND

	1 HR FIRE RATED CONSTRUCTION		MAXIMUM NUMBER OF OCCUPANTS CALCULATED BY CODE
	COMMON PATH OF TRAVEL		CODE REQUIRED OCCUPANTS EXITING
	AREA EXCLUDED FROM FLOOR AREA PER ZONING		I-4 OCCUPANCY

FLOOR AREA RATIO

Department of Planning and Zoning
 Floor Area Ratio and Open Space Calculations

A. Property Information
 A1: 417 HUME AVENUE ALEXANDRIA, VA 22301
 A2: 6,290.00 Total Lot Area
 X: 0.50 Floor Area Ratio Allowed by Zone
 = 2,625.00 Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area	Allowable Exclusions**	
Basement: 0.00	Basement** 0.00	B1: 3,396.00 Sq. Ft.
First Floor: 1,521.00	Stairways** 86.00	B2: 378.00 Sq. Ft.
Second Floor: 1,463.00	Mechanical** 0.00	B3: 3,018.00 Sq. Ft.
Third Floor: 0.00	Attic less than 7'** 0.00	
Attic: 0.00	Porches** 170.00	
Porches: 270.00	Balcony/Deck** 0.00	
Balcony/Deck: 0.00	Lavatory** 122.00	
Lavatory** 122.00	Other** 0.00	
Other** 18.00	Other** 0.00	
B1: Total Gross 3,396.00	B2: Total Exclusions 378.00	

C. Proposed Gross Floor Area

Proposed Gross Area	Allowable Exclusions**	
Basement: 0.00	Basement** 0.00	C1: 3,513.00 Sq. Ft.
First Floor: 1,774.00	Stairways** 164.00	C2: 550.00 Sq. Ft.
Second Floor: 1,504.00	Mechanical** 32.00	C3: 2,963.00 Sq. Ft.
Third Floor: 0.00	Attic less than 7'** 135.00	
Attic: 135.00	Porches** 0.00	
Porches: 0.00	Balcony/Deck** 0.00	
Balcony/Deck: 0.00	Lavatory** 100.00	
Lavatory** 100.00	Other** 11.00	
Other** 0.00	Other** 108.00	
C1: Total Gross 3,513.00	C2: Total Exclusions 550.00	

D. Total Floor Area
 D1: 2,963.00 Sq. Ft. Total Floor Area (C3)
 D2: 2,425.00 Sq. Ft. Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)
 E1: Existing Open Space
 E2: Required Open Space
 E3: Proposed Open Space

Notes
 **Gross Floor Area is the sum of all areas under roof of a building, excluding from the base of exterior walls, including basements, garages, sheds, porches, guest buildings and other accessory buildings.
 ***Zonings may be overlaid up to a maximum of 50 square feet per lavatory. The maximum total of available area for lavatories shall not greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.
 Signature: Theresa del Ninno Date: 21-9-2022

* SQUARE FOOTAGE CALCULATIONS INCLUDE PHASE II : 120 SF.

MAGINNIS+
 DEL NINNO
 ARCHITECTS
 pc
 500 Montgomery St. Ste 550,
 Alexandria, VA 22314
 P: 703/548-0460 mdnarch.com



2	10/20/2022	DSP SUBMISSION
1	10/03/2022	REVISION 2
NO.	DATE	DESCRIPTION

Discovery Time Learning Center
 Support a Guide to Empower
 Serving infants, toddlers, preschoolers and their families in Del Ray.
 417 Hume Ave.
 Alexandria VA 22301

DRAWING TITLE:
 FAR & BUILDING CODE PLANS

COMM. NO: 210400	DRAWING NUMBER: CODE.2
DRAWN : Author	
CHECKED : Checker	
SCALE: As indicated	
DATE:	

MEETING MINUTES
Discovery Time at 417 Hume
Meeting Date: 03/10/22

Maginniss + del Ninno Architects
Proj. No. 210400
Meeting with City of Alexandria Planning

ATTENDEES:
Name, (Initials) Affiliation *Sent via email*

Tony LaColla	City of Alexandria	anthony.lacolla@alexandriava.gov
Richard Lawrence	City of Alexandria	Richard.Lawrence@alexandriava.gov
Anna Franco	City of Alexandria	anna.franco@alexandriava.gov
Theresa del Ninno, AIA	MdN	tdelninno@mdnarch.com
Zaira Suarez, AIA	MdN	zsuzarez@mdnarch.com

DISTRIBUTION: Attendees, Stephanie Harris, Discovery Time Learning Center

RECORD:
These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.

I. INTRODUCTION OF PROJECT

- Theresa introduced the project, noting that Discovery Time Learning Center has purchased 417 Hume for a preschool use. The following comments were made about the property:
 - Prior to purchase, the design team met with members of Planning and Zoning to discuss development options, given this site is in the Oakville Triangle. The small area plan shows a future road along the east end of the property. The City would not support a completely new development on the site. The City would support a development that would be less expensive, using the existing building.
 - The existing building was previously used as a catering business.
 - The two-story wood framed structure has approximately 3,500 sf, including the front covered porch.
 - The site, according to tax records, is zoned CSL. (Lot size: = 5,250 SF Allowable Floor Area Ratio: 0.5 = Allowed Building square footage is 2,625 SF.0).
 - The existing building is a non-complying structure given its square footage and proximity to the property lines.
 - The contractor exposed some of the wood framing for examination by the structural engineer. The engineer noted:
 - The existing wood frame is deteriorated with water and insect damage.
 - The existing brick masonry foundation is in good condition.
 - The expense of sistering all the studs and joists would be significantly greater than building on existing foundations.

II. DISCUSSION

- Theresa asked whether the wood frame structure could be removed and new framing built on top of the existing foundations. Tony referred to section 12-102B of the zoning code that would allow a non-complying structure to be reconstructed, no greater in height or square footage than the existing structure.
- Richard asked whether the building is historic or would need a review through the Town of Potomac. Tony noted the property might be listed as a contributing structure in the Town of Potomac National Historic District, however, there is no City review or guidelines that would need to be followed since there is not a local historic district for the neighborhood.
- Richard asked whether the building's roof and fenestration would be replicated. Theresa showed a roof plan of a long shed roof and noted that new prefabricated trusses would most likely span in the shorter direction.
- Tony noted the site abuts a residential zone and future playground structures would need to have a 25' setback from the shared property line.
- Anna noted the site may need a DSUP if the site disturbance is greater than the allowable threshold for a grading permit. She encouraged the design team to discuss the site improvements with Melanie Mason at T+ES.
- Anna noted a DSUP process would consist of concept plans, two preliminary site plans, planning commission and city council hearings. An optimistic estimate would be a 7 month process before a final site plan process would begin. Theresa noted the site disturbance is limited given the framing would be constructed on the existing foundations and the existing stacked parking would remain. A new ADA ramp would be developed at the entry. Services of a civil engineer are currently not anticipated. In keeping with the recommendation of the City to limit expenses, the design team will develop options to avoid a lengthy entitlement process for the preschool.
- Tony noted the building would be exempt from the DSUP process as per the zoning code section 11-404c if the total gross square footage of the newly constructed floors is less than 3,000 sf.

MEETING MINUTES
Discovery Time at 417 Hume
Meeting Date: 03/22/22

Maginniss + del Ninno Architects
Proj. No. 210400
Meeting with City of Alexandria
Transportation + Environmental Services

ATTENDEES:
Name, (Initials) Affiliation *Sent via email*

Alex Boulden	City of Alexandria	alex.boulden@alexandriava.gov
Melanie Mason	City of Alexandria	melanie.mason@alexandriava.gov
Theresa del Ninno, AIA	MdN	tdelninno@mdnarch.com
Zaira Suarez, AIA	MdN	zsuzarez@mdnarch.com
Lauren Sughrue	MdN	lsughrue@mdnarch.com

DISTRIBUTION: Attendees and Stephanie Harris, discoverytimelearningcenter@gmail.com.

RECORD:
These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.

I. INTRODUCTION OF PROJECT

- Discovery Time Learning Center has purchased 417 Hume for a preschool use.
Note:
 - The existing building is zoned CSL commercial. It was previously used as a catering business
 - The existing masonry foundation that comes up a couple of feet from the ground will be reused to keep the identical footprint of the existing structure.
 - The wood walls above the existing masonry foundation are damaged, from water and termite damage and beyond repair. Constructing new wood walls would cost much less than trying to salvage and sister the existing wood stud walls. The project will provide new walls above the existing masonry foundation.
 - A new accessible entrance will need to be provided at the front of the property.
 - The dilapidated wood deck at the back of the building will be removed.
 - A playground area will be provided at the rear of the property observing the require side setback. Adequate ground covering will be used to provide permeability. Mulch has been suggested.

II. DISCUSSION

- In August 2021, prior to the purchase of the lot, we had meetings with the offices of the Planning and Zoning Department to discuss the implications of the small area plan and any other zoning related items that would affect the development in this location. We did not say this precisely.

Another meeting was held a couple weeks ago with Tony LaColla, Richard Lawrence and Anna Franco. At that time, it was suggested we reach out to Transportation & Environmental Services to determine how the land owner can move forward with the project without a grading or site plan.
- Melanie noted that 2,500 or more SF of site disturbance would require submitting a grading plan to T&ES.
 - Although the removal of the wood deck at the rear of the site would improve the porosity of the site, it would contribute to the land disturbance SF.
 - A play surface is considered disturbance if the porosity of the site or the grade is a change from the existing condition. Mulch is generally not considered disturbance if the existing grade is unchanged. The installation of playground equipment would be considered site disturbance.
 - Melanie also noted that we must include the a 10'-0" wide construction entrance and indicate the required length of vehicle access. - is required. It was noted the site already has a paved driveway.
- Alex Boulden noted that residential structures require a grading plan if 50% or more is demolished. Tony LaColla had noted that as a commercial structure, this would not apply to the property.
- Alex noted that he will discuss the demolition internally and will reach back out to the design team in a few days.

A sprinkler system will be required in the building which will require connection to water utilities in the street. This work will require an excavation permit through T+ES if a grading permit is not required.
- MdN Architects will provide Alex Boulden and Melanie Mason the property plat and photos of the existing building conditions.

END OF MINUTES

MEETING MINUTES
Discovery Time at 417 Hume
Meeting Date: 04/01/22

Maginniss + del Ninno Architects
Proj. No. 210400
Meeting with City of Alexandria Planning

ATTENDEES:
Name, (Initials) Affiliation *Sent via email*

Tony LaColla (TLC)	City of Alexandria	anthony.lacolla@alexandriava.gov
Richard Lawrence (RL)	City of Alexandria	richard.lawrence@alexandriava.gov
Alex Boulden (AB)	City of Alexandria	alex.boulden@alexandriava.gov
Melanie Mason (MM)	City of Alexandria	melanie.mason@alexandriava.gov
Theresa del Ninno (TdN)	MdN	tdelninno@mdnarch.com
Zaira Suarez (ZS)	MdN	zsuzarez@mdnarch.com
Lauren Sughrue (LS)	MdN	lsughrue@mdnarch.com

DISTRIBUTION: Attendees, Stephanie Harris, Discovery Time Learning Center

RECORD:
These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.

I. DISCUSSION

- TdN reintroduced the project, noting there is an existing non-compliant commercial building onsite that is deteriorating. During the two prior meetings, one with planning and zoning and the other with transportation and environmental services, the discussion centered around whether the project would need a site plan submission.
- RL asked whether a site plan would be required given the existing square footage is over 3,000 sq. ft. TdN responded that the square footage is close but with accounting for the allowed exceptions for the bathrooms, mechanical space, open porch and stairs, the project should be under 3,000 gsf.
- MM noted that from a stormwater perspective, a grading plan is needed if we disturb more than 2,500 square feet. MM noted that work disturbing more than 2,500 sf would stop work on site. MM stated that a grading plan would require 7-8 sheets of civil and landscape drawings. She will forward a complete checklist to the design team.
- Discussion of whether a site plan would be required centered around the exceptions in Section 11-404. If the replacement of the existing wood frame structure on the existing foundations would be considered under 11-404b or 11-404c. If the building is considered under 404c, requiring new buildings to be 66' minimum from a residential zone, the project would require a site plan (the width of the lot is 50').

- ZS presented plan diagrams showing the disturbance area will be under 2,500 sf whether the existing gravel drive is considered or not. She notes that there is an existing driveway of gravel and that could be used as the construction entrance. MM noted that T+ES should make a site visit to observe the drive. RL asked about whether the existing foundations would need remedial work. ZS stated the structural engineer observed some of the piers and noted they are in good condition. TdN stated the continuous masonry spread footing will support a two-story wood frame replacement of the existing two-story wood frame structure.
- TdN requested a determination from Planning and Zoning as to where to the project falls in Section 11-404. If removing the deteriorating wood structure and replacing it with new on the existing foundations is considered a new building, she asked for the quantity of wood structure that would be allowed for removal so that the building would fall under exception 11-404b.
- TLC stated he will evaluate and discuss Section 11-404 with his department and gaff T+ES and let us know how it will be interpreted for this property.

END OF MINUTES

MEETING MINUTES
Discovery Time at 417 Hume
Meeting Date: 09/29/22

Maginniss + del Ninno Architects
Proj. No. 210400
Meeting with City of Alexandria Planning

ATTENDEES:
Name, (Initials) Affiliation *Sent via email*

Mary Christesen (MC)	City of Alexandria	mary.christesen@alexandriava.gov
Nathan Randall (NR)	City of Alexandria	nathan.randall@alexandriava.gov
Russell Gage (RG)	Russell Gage Corporation	russell@russellgage.com
Milton Benites (MB)	Russell Gage Corporation	milton@russellgage.com
Theresa del Ninno, AIA (TdN)	MdN	tdelninno@mdnarch.com
Zaira Suarez, AIA (ZS)	MdN	zsuzarez@mdnarch.com

DISTRIBUTION: Attendees, Stephanie Harris, Discovery Time Learning Center

RECORD:
These notes summarize and record the important items discussed during the referenced meeting. Please provide any corrections or additions to this record to Theresa del Ninno.

I. DISCUSSION

- First floor plan was reviewed showing the area of the covered porch proposed to be enclosed that is within the 25'-0" zone transition setback. This area is intended to be part of the infant classroom. The affected area is just less than 120 sf.
- MC stated the City attorney referenced the Alexandria Zoning Ordinance section 7-903 and that a zoning variance, would likely not be supported by the City. Instead, the site plan process would be required.
- NR explained that although a site plan process would be required, the application would not require a civil engineer. The application cost will be \$2,100. He noted the application would be a simplified version of submission and he will shortly send the requirements to the architects. A hearing before the Planning Commission would be required if not in December, then in January.
- TdN explained several meetings were held last spring with planning and zoning. At that time, the work had been reviewed and cleared for proceeding as designed with the condition that existing exterior walls and the higher roof be maintained. However, the planning entitlement schedule is now greatly affecting the client's schedule and budget, causing a hardship. Also, as winter approaches, ground frost will prohibit the construction of required work. The building itself is structurally unsound, with rotted wood and failing roofs, walls, and floors. The collapse of the building is a foreseeable event.
- MC and NR noted the enclosure of the 120 square foot area could be removed from the permit and the majority of the work could begin including the new ADA concrete ramp at the entrance. The structural foundation plan was reviewed. TdN asked whether the new porch roof could be developed and large areas left open so that this portion of the porch could be open and considered not enclosed. MC explained that zoning regulation will not allow any walls be built on the existing porch within the zone transition setback, and with the change of pitch on the porch roof, the roof is a little higher than the existing porch roof.
- RG asked if demolition and framing permits could be pursued to begin work before conditions noted in note #4 come to pass. MC stated that code issues are not something that she can respond to and that the submission would be handled by the permitting department. Demo permits are for whole building demolition.
- TdN asked for a point of contact going forward.
- NR stated he will let the architect know what will be required for site plan submission and if it can be presented to the Planning Commission for the December meeting given this item has been in Planning and Zoning's court for some time.

END OF MINUTES



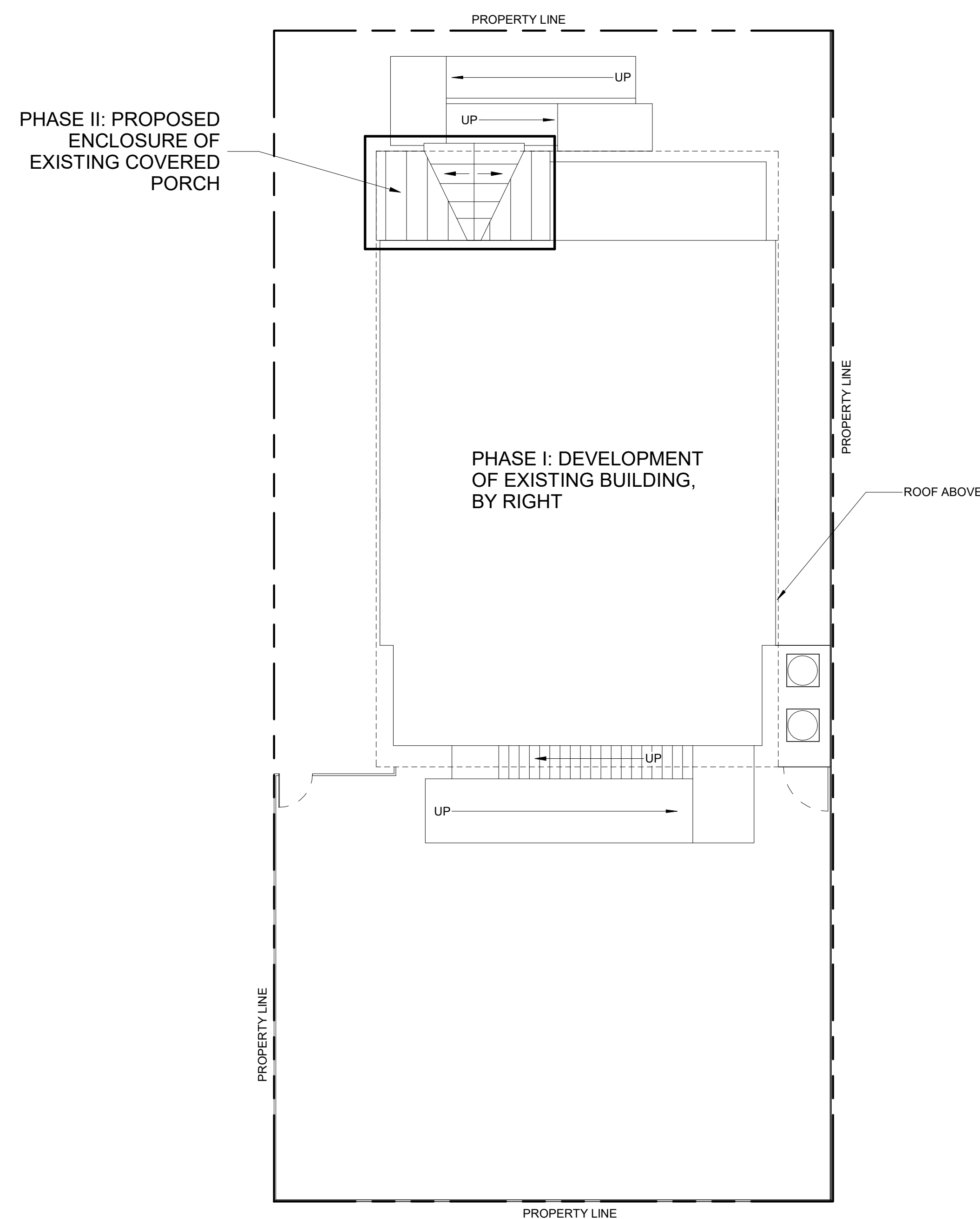
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4	10/20/2022	DSP SUBMISSION
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN

Discovery Time Learning Center
Support a Guide to Empower
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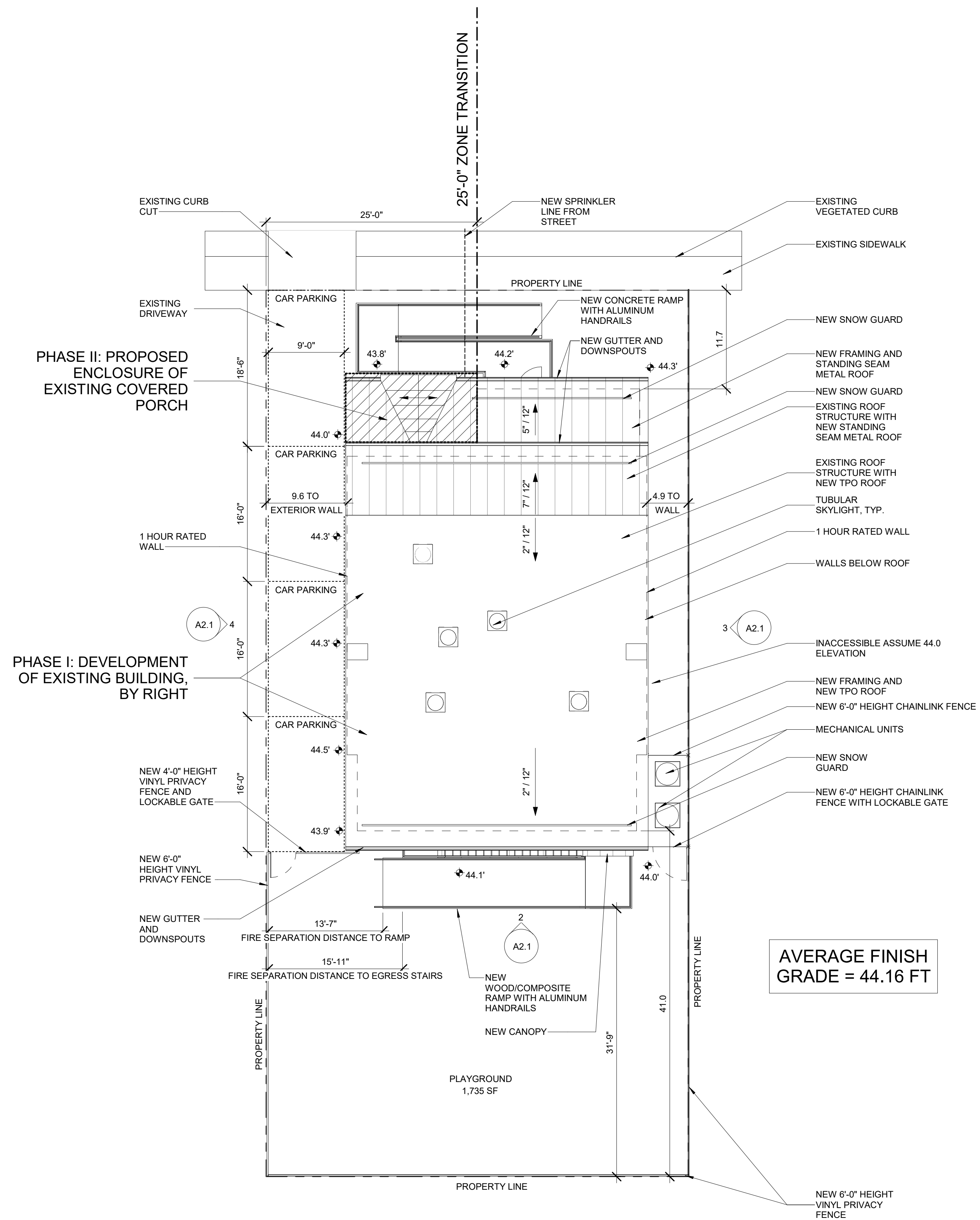
417 Hume Ave.
Alexandria VA 22301

DRAWING TITLE:
MEETING MINUTES

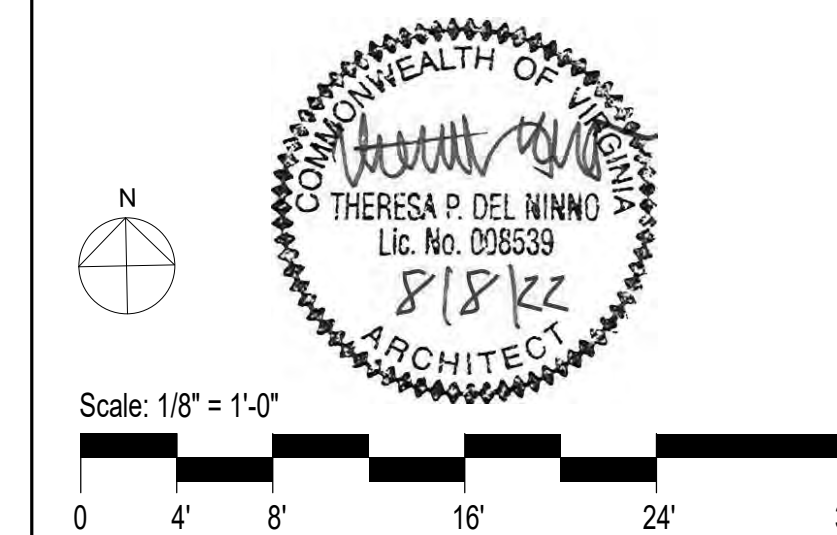
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CHECKED : ZS	
SCALE: 12" = 1'-0"	
DATE:	



2
A0.0 PHASING SITE PLAN
1/8" = 1'-0"



1
A0.0 PROPOSED CONDITIONS - ARCHITECTURAL SITE
AND ROOF PLAN
1/8" = 1'-0"

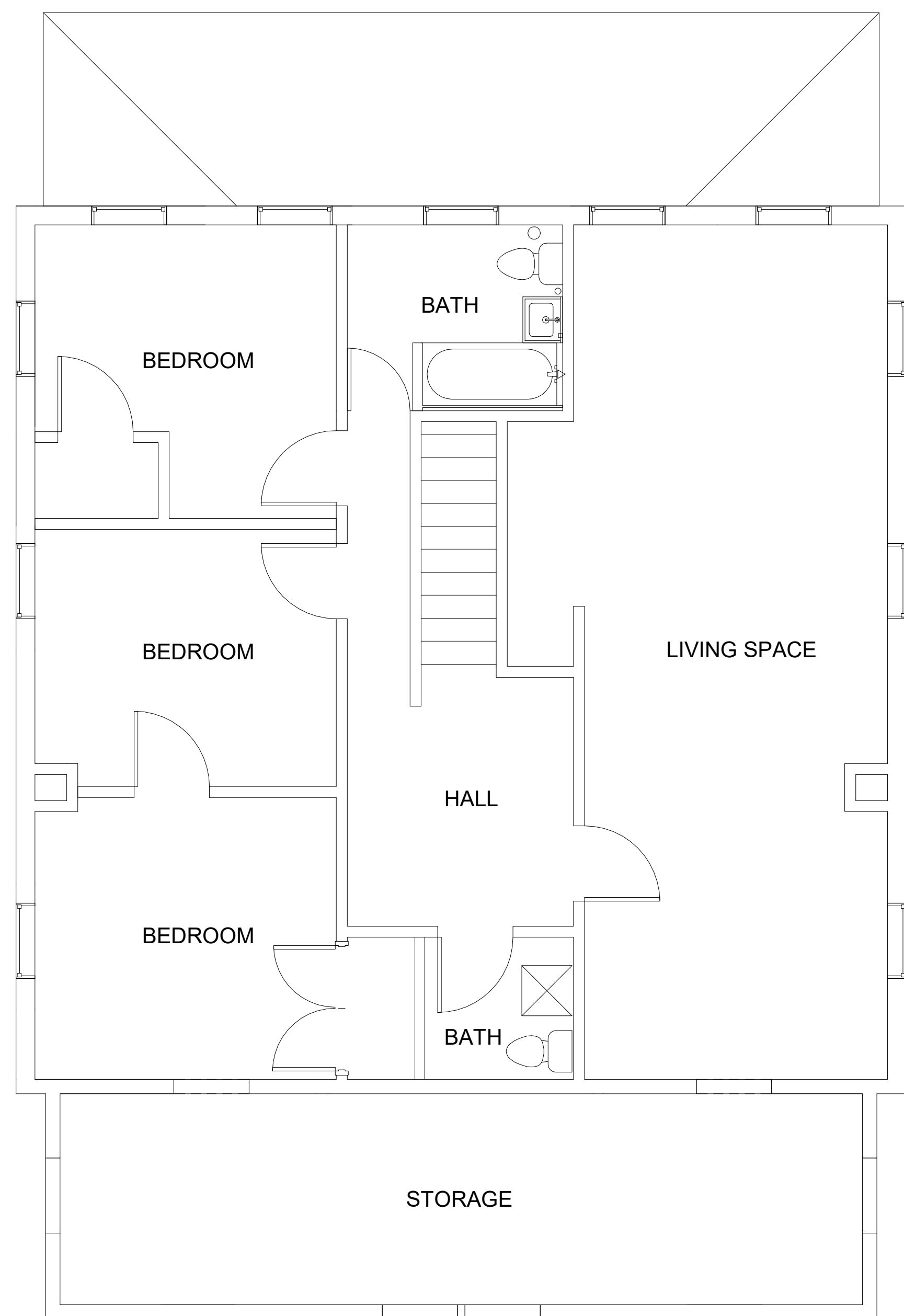


NO.	DATE	DESCRIPTION
6	10/20/2022	DSP SUBMISSION
5	10/03/2022	REVISION 2
4	08/11/2022	REVISION 1
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN

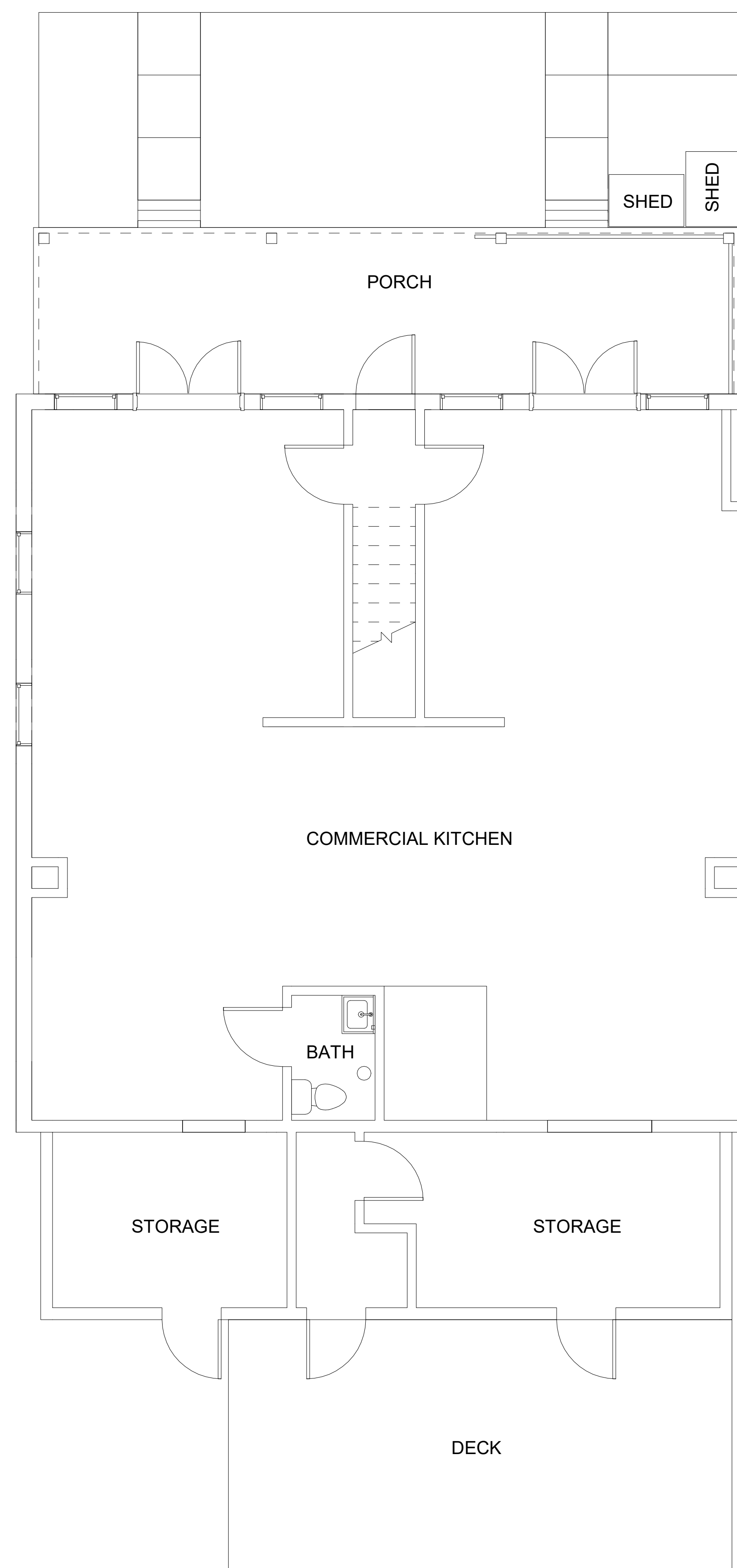
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and their families in Del Ray.
417 Hume Ave.
Alexandria VA 22301

DRAWING TITLE:
ARCHITECTURAL SITE AND
ROOF PLAN

COMM. NO.: 210400	DRAWING NUMBER: A0.0
DRAWN : LS	
CHECKED : ZS	
SCALE: 1/8" = 1'-0"	
DATE:	



1
D1.0 SECOND FLOOR - EXISTING PLAN
1/4" = 1'-0"



2
D1.0 FIRST FLOOR - EXISTING PLAN
1/4" = 1'-0"



NO.	DATE	DESCRIPTION
1	10/20/2022	DSP SUBMISSION



417 Hume Ave.
Alexandria VA 22301

DRAWING TITLE:
EXISTING PLANS

COMM. NO:
210400
DRAWN :
Author
CHECKED :
Checker
SCALE:
1/4" = 1'-0"
DATE:

DRAWING NUMBER:

D1.0

KEYNOTES

D01	EXISTING ROOF ABOVE SHEATHING AND WOOD SHINGLES TO BE DEMOLISHED. REFER TO STRUCTURAL DRAWINGS FOR ITEMS TO REMAIN.
D02	REMOVE EXISTING PLUMBING FIXTURES AND TRUNCATE AND CAP PLUMBING LINES
D03	REMOVE EXISTING SIDING AND PREPARE SURFACES FOR NEW WORK. EXISTING WOOD WALL FRAMING TO REMAIN.
D04	REMOVE STRIP FLOORING. EXISTING JOISTS TO REMAIN. REFER TO STRUCTURAL DRAWINGS FOR LIMITS OF DEMOLITION
D05	REMOVE ANY EXISTING MECHANICAL UNITS AND ASSOCIATED UTILITIES
D06	REMOVE EXISTING CONCRETE STEPS. COORDINATE WITH STRUCTURAL DRAWINGS
D07	ALL EXISTING DOORS, FRAMES AND HARDWARE TO BE DEMOLISHED.
D08	REMOVE ALL EXISTING WINDOWS AND FRAMES, TYP.
D09	EXISTING EXTERIOR WOOD DOOR, FRAME AND HARDWARE TO BE DEMOLISHED.
D10	CUT NEW OPENING IN EXISTING WALL. REFER TO NEW WORK DRAWINGS
D11	INFILL OPENINGS IN EXISTING WALL. REFER TO SHEET A.9.0 AND STRUCTURAL DRAWINGS
D12	DEMOLISH EXISTING STAIRS.
D13	DEMOLISH ALL EXISTING INTERIOR WALLS.
D15	EXISTING WOOD PORCH ROOF TO BE DEMOLISHED. REFER TO STRUCTURAL DRAWINGS FOR ITEMS TO REMAIN.
D17	EXISTING WOOD COLUMNS TO BE DEMOLISHED.
D21	EXISTING SANITARY LINE.
D22	DEMOLISH DILAPIDATED PORCH STRUCTURE. EXISTING MASONRY FOUNDATION TO REMAIN.
D23	DEMOLISH DILAPIDATED ADDITION. EXISTING MASONRY FOUNDATION TO REMAIN.
D25	DEMOLISH CONCRETE PAD. REFER TO STRUCTURAL DRAWINGS FOR ITEMS TO REMAIN.
D26	DEMOLISH CONCRETE SIDEWALK. REFER TO STRUCTURAL DRAWINGS FOR ITEMS TO REMAIN.
D28	REMOVE STORAGE SHEDS.
D29	REMOVE PORCH SCREEN WALLS.

Scale: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
4	10/20/2022	DSP SUBMISSION
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN

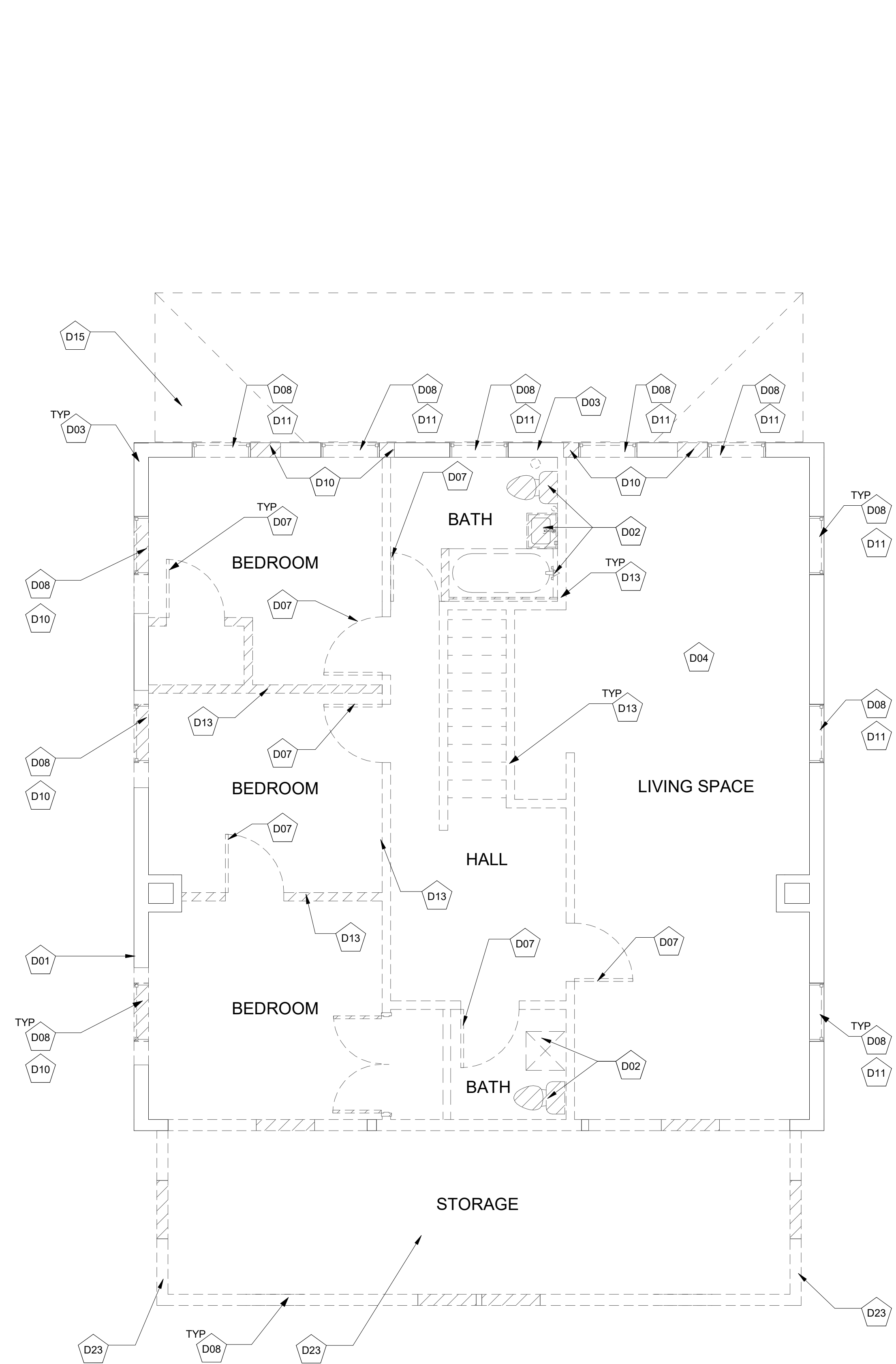
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417 Hume Ave.
Alexandria VA 22301

DRAWING TITLE:
DEMOLITION PLANS

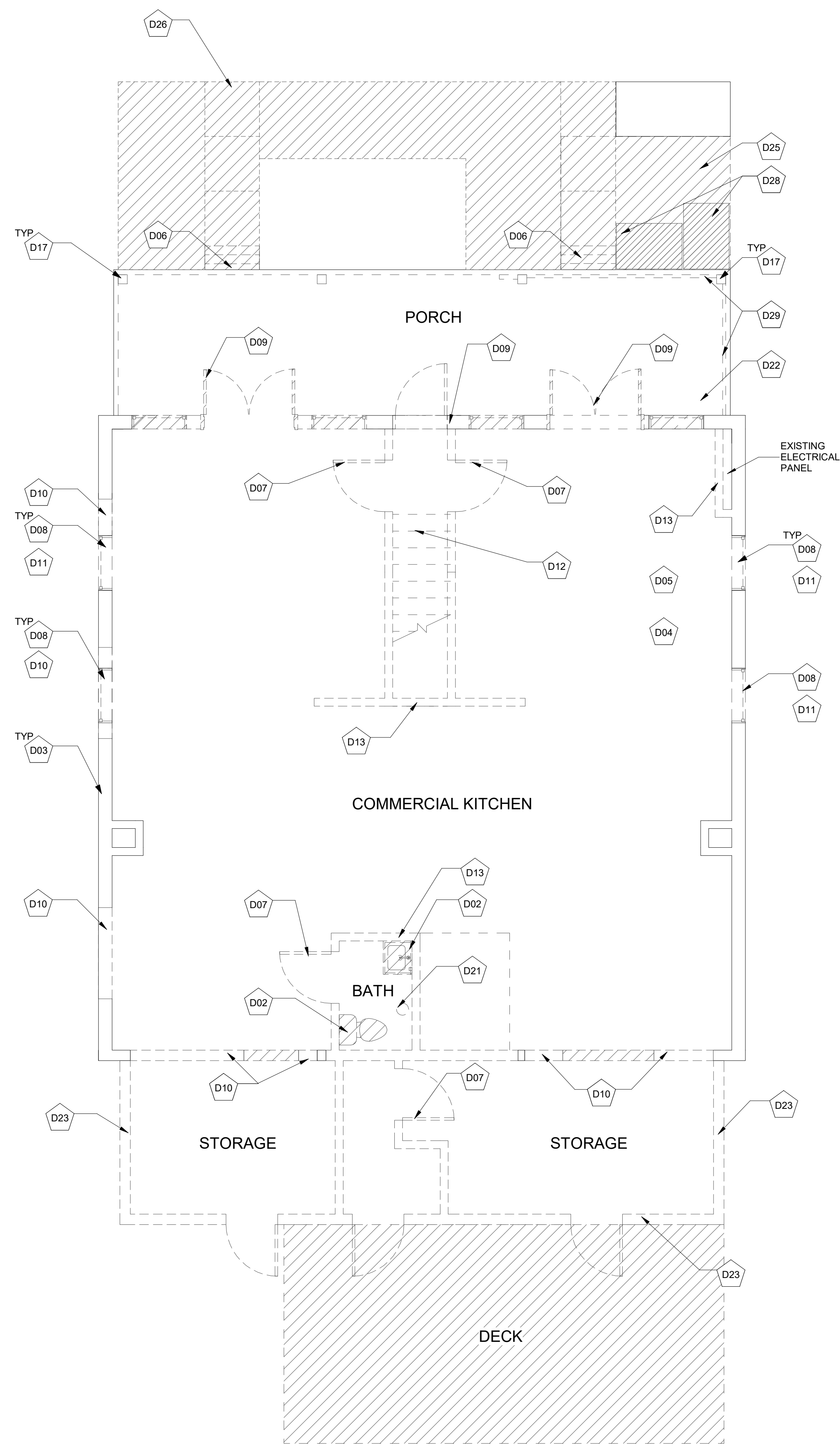
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DRAWN : LS	
CHECKED : ZS	
SCALE: As indicated	
DATE:	

GENERAL DEMOLITION NOTES

- ALL WORK SHOWN IS EXISTING TO REMAIN UNLESS NOTED OR INDICATED AS DASHED LINES TO BE REMOVED. THE EXTENT OF DEMOLITION WORK SHALL INCLUDE ALL INCIDENTAL DEMOLITION WORK NECESSARY TO PROPERLY PROVIDE ALL NEW WORK SHOWN AND SPECIFIED, TO INCLUDE MECHANICAL, ELECTRICAL, & PLUMBING ITEMS.
- ALL EXISTING STRUCTURE SHALL REMAIN, UNLESS NOTED OTHERWISE.
- ALL EXISTING SURFACES TO REMAIN SHALL BE PROTECTED, PATCHED IF DAMAGED AND CLEANED PRIOR TO APPLICATION OF FINISHES.
- CONTRACTOR TO PROTECT ALL EQUIPMENT AND OTHER ELEMENTS IN AREA OF NEW OR DEMOLITION WORK. DEMOLITION WORK SHOWN IS BASED ON EXISTING DRAWINGS AND INSPECTIONS. THE CONTRACTOR SHALL VISUALLY INSPECT ALL EXISTING CONDITIONS, AND IS RESPONSIBLE FOR PERFORMING THE INDICATED DEMOLITION WORK EVEN IF ACTUAL CONDITIONS DIFFER FROM THESE SHOWN ON THE DRAWINGS.
- DEMOLITION CONTRACTOR SHALL COORDINATE WITH NEW WORK SECTIONS FOR ADDITIONAL INFORMATION RELATED TO EXTENT OF DEMOLITION.
- REFER TO ALL OTHER DRAWINGS IN THIS SET FOR INCIDENTAL DEMOLITION WORK NOT NOTED ON THE DEMOLITION PLANS.
- THE OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGE ITEMS. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS. DO NOT STOCKPILE DEBRIS ON SITE.
- ITEMS TO BE DEMOLISHED SHALL BE REMOVED COMPLETELY INCLUDING ALL ANCHORS, HANGERS, FASTENERS, PIPES, CONDUITS, DUCTS, ETC. UNLESS OTHERWISE INDICATED TO BE ABANDONED IN PLACE.
- CONC. SLAB PATCHES MUST BE FLUSH WITH REMAINING SURFACES TO PERMIT APPLICATION OF FINISHES. PROVIDE WELDED WIRE MESH IN PATCH AREAS LARGER THAN (4) FOUR SQUARE FEET.
- CONCRETE SLABS TO REMAIN SHALL BE PATCHED, SCRAPPED, LEVELED, AND CLEANED TO PROVIDE SURFACE SUITABLE FOR NEW FINISHES.
- WHERE RENOVATED AREAS ARE RECEIVING NEW UNDERGROUND MECHANICAL, PLUMBING, ELECTRICAL, OR ADDITIONAL FOUNDATION WORK, REFER TO MECHANICAL, PLUMBING, ELECTRIC, AND STRUCTURAL DRAWINGS, AS WELL AS ARCHITECTURAL DRAWINGS TO DETERMINE EXTENT OF REQUIRED CUT AND PATCH OF EXISTING SLAB. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CONCRETE SLAB DEMOLITION AND REPLACE AS NECESSARY TO INSTALL THE NEW WORK. BACKFILL ALL BELOW GRADE DEMOLITION WORK WITH SUITABLE FILL MEETING STRUCTURAL REQUIREMENTS FOR NEW WORK.
- CONTRACTOR SHALL CONFIRM PARTITIONS SHOWN TO BE REMOVED INCLUDING TYPE OF PARTITION AND EXACT LOCATION. COMPLETELY REMOVE PARTITIONS FROM FLOOR TO STRUCTURE ABOVE INCLUDING BASE, ALL FASTENERS, GROUTS, SEAL ANTS, ETC., UNLESS NOTED OTHERWISE. MASONRY PARTITIONS WHICH EXTEND THROUGH THE SLAB SHALL BE REMOVED TO 8" BELOW FINISH FLOOR. FILL SLAB OPENING WITH CONCRETE FILL TO RECEIVE FINISH FLOOR. WHERE WALLS SCHEDULED TO BE REMOVED SIT ON SLABS, GRIND SLAB TO RECEIVE FINISH FLOOR.
- REMOVE, PATCH AND REPAIR PORTIONS OF WALL PARTITIONS WHICH CONFLICT WITH NEW WORK TO BE INSTALLED, EVEN IF NOT SPECIFICALLY NOTED TO BE DEMOLISHED ON PLANS.
- COORDINATE DEMOLITION OF ALL STRUCTURAL ITEMS (COLUMNS, BEAMS, SLABS, ETC.) WITH STRUCTURAL DWGS. EXTENT OF DEMOLITION AREA SHALL BE IN ACCORDANCE WITH STRUCTURAL REQUIREMENTS AND COORDINATED WITH ALL NEW WORK.
- TEMPORARILY SUPPORT ALL BEAMS, LINTELS, PORTIONS OF WALLS ETC., TO BE DISTURBED BY DEMOLITION WORK, UNTIL THEY ARE RE-SUPPORTED BY NEW WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF EXISTING BUILDING ELEMENTS TO REMAIN THROUGHOUT SEQUENCE OF WORK. ANY DAMAGE TO EXISTING BUILDING CONDITIONS SHOWN TO REMAIN SHALL BE RESTORED TO NEW WORK CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- WINDOWS AND DOORS SCHEDULED FOR REMOVAL SHALL BE REMOVED COMPLETELY. FASTENERS MAY BE CUT FLUSH WITH HEAD, JAMBS, AND SILLS IF THE NEW UNIT WILL CONCEAL FASTENER. PROTECT EXISTING SILLS SCHEDULED TO REMAIN. ALL EXISTING OPENINGS MUST BE FIELD MEASURED PRIOR TO SUBMITTAL OF SHOP DRAWINGS.
- WHERE FINISHES ARE INDICATED TO BE REMOVED, REMOVAL SHALL INCLUDE ANY GROUT, ADHESIVES, FASTENERS, AND ALL OTHER ITEMS USED TO ATTACH THE FINISHES TO THE SURFACES THAT THEY COVER. WHERE CEILINGS ARE TO BE REMOVED, ALL CEILING SYSTEMS INCLUDING GRID, TRIM HANGER, CLIPS, ETC. SHALL BE REMOVED. NO DOUBLE CEILINGS ARE NOT PERMITTED UNLESS OTHERWISE NOTED.
- REMOVE MECHANICAL, ELECTRICAL AND PLUMBING ITEMS AS NOTED ON MECHANICAL, ELECTRICAL AND PLUMBING PLANS. COORDINATE WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING, FOR ADDITIONAL DEMOLITION NOTES. REMOVAL WORK IS INTENDED TO INCLUDE ALL ASSOCIATED ITEMS SUCH AS ELECTRICAL OUTLETS, SWITCHES, CONDUITS, CONTROLS, PIPING, MOUNTING BLOCKS, ETC., AS NOTED. THE CONTRACTOR SHALL REFER TO ALL CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR PROCEDURES CONCERNING RELATED TRADES IN AREAS WHICH REQUIRE DEMOLITION. REPAIR AND PATCH ANY AREAS DAMAGED DURING REMOVAL WORK.



2
D1.1
SECOND FLOOR - DEMOLITION PLAN
1/4" = 1'-0"



1
D1.1
FIRST FLOOR - DEMOLITION PLAN
1/4" = 1'-0"

KEYNOTES

- 01 PROVIDE PLUMBING CONNECTION. REFER TO PLUMBING DRAWINGS.
- 02 NEW RESILIENT FLOORING. REFER TO SPECIFICATIONS
- 04 FIBER CEMENT LAP SIDING. REFER TO SPECIFICATIONS
- 06 ALUMINUM AND GLASS STOREFRONT. REFER TO SPECIFICATIONS
- 08 NEW WOOD STAIRS. REFER TO STRUCTURAL DRAWINGS
- 09 ADA DRINKING FOUNTAIN WITH BOTTLE FILLER
- 10 PLASTIC LAMINATE BASE AND WALL CABINETS
- 14 NEW WINDOW ABOVE. 45 MINUTE GLASS. REFER TO SHEET A.6.2
- 15 EXISTING CONCRETE SLAB. FILL, PATCH, AND SMOOTH, AND SEAL AS REQUIRED TO CREATE SEAMLESS SURFACE
- 43 PORCELAIN TILE FLOORING. REFER TO SPECIFICATIONS
- 44 G/WB COLUMN WRAP. PTD.
- 47 UNDERGROUND STORM TO CURB
- 61 NEW VINYL PRIVACY FENCE
- 62 HOSE BIBB. REFER TO PLUMBING DRAWINGS
- 67 MOSAIC TILE AT SHOWER.
- 68 PROVIDE SHOWERHEAD AND RECTANGULAR DRAIN.

GENERAL NOTES

- 1. DIMENSIONS ARE TO FACE OF WALL. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. COORDINATE FTD WITH OWNER.
- 2. ALL WINDOWS TO INCLUDE ROLLER SHADES. REFER TO SPECIFICATIONS.
- 4. PATCH AND REPAIR ALL EXISTING WALLS, BRICK.

Scale: 1/4" = 1'-0"

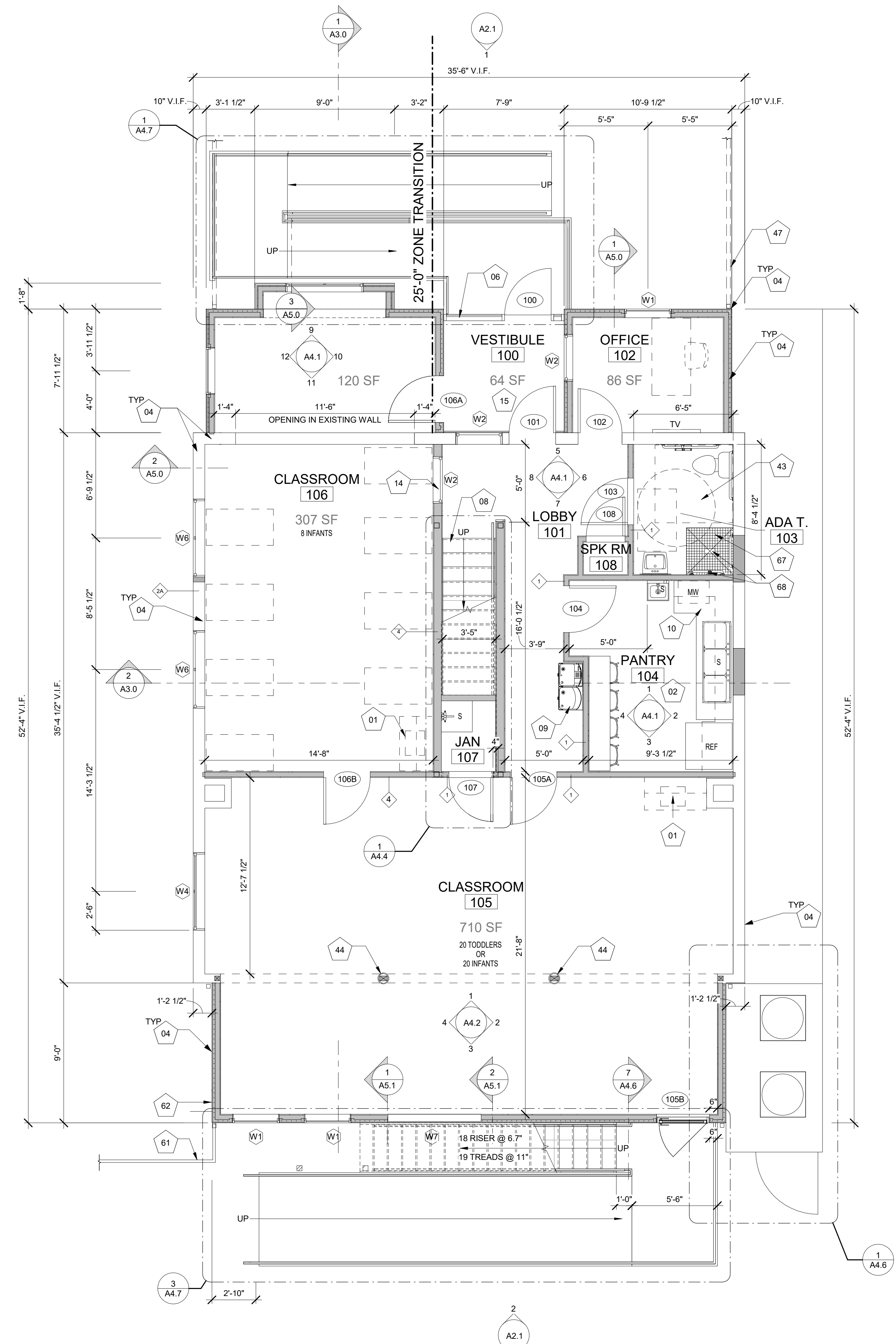
6	10/20/2022	DSP SUBMISSION
5	10/03/2022	REVISION 2
4	08/11/2022	REVISION 1
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
NO.	DATE	DESCRIPTION

Serving infants, toddlers, preschoolers and their families in Del Ray.

417 Hume Ave.
Alexandria VA 22301

DRAWING TITLE:
NEW WORK - FIRST FLOOR PLAN

COMM. NO: 210400	DRAWING NUMBER: A0.1
DRAWN : LS	
CHECKED : ZS	
SCALE: 1/4" = 1'-0"	
DATE:	



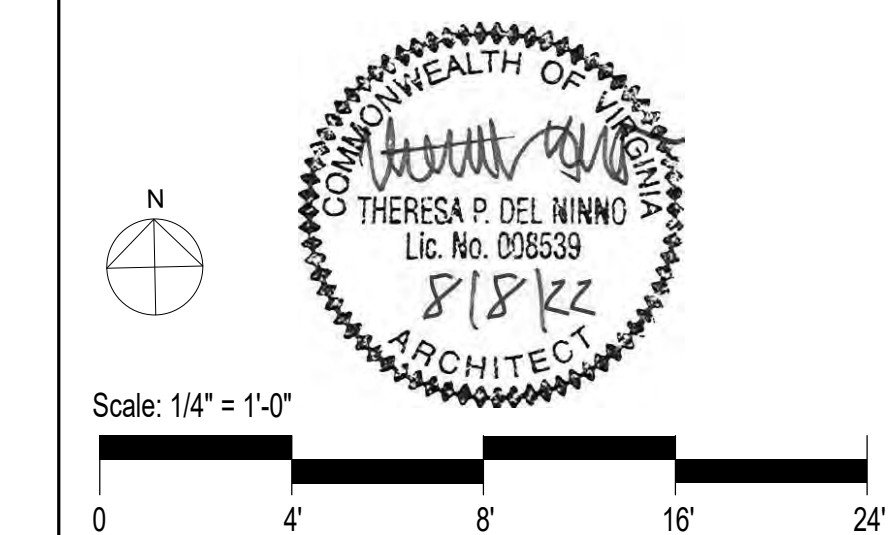
1
A0.1
NEW WORK - FIRST FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

- 01 PROVIDE PLUMBING CONNECTION. REFER TO PLUMBING DRAWINGS.
- 02 NEW RESILIENT FLOORING. REFER TO SPECIFICATIONS
- 04 FIBER CEMENT LAP SIDING. REFER TO SPECIFICATIONS
- 05 STANDING SEAM METAL ROOFING. REFER TO SPECIFICATIONS
- 08 NEW WOOD STAIRS. REFER TO STRUCTURAL DRAWINGS BY OWNER
- 32 ACCESS CEILING HATCH WITH PULL DOWN STAIRS TO STRUCTURAL AND MECHANICAL DRAWINGS
- 38 MECHANICAL UNIT ON HOUSEKEEPING PAD. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS
- 44 GWB COLUMN WRAP. PTD.

GENERAL NOTES

- 1. DIMENSIONS ARE TO FACE OF WALL. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
- 2. COORDINATE FTD WITH OWNER.
- 3. ALL WINDOWS TO INCLUDE ROLLER SHADES. REFER TO SPECIFICATIONS.
- 4. PATCH AND REPAIR ALL EXISTING WALLS, BRICK.

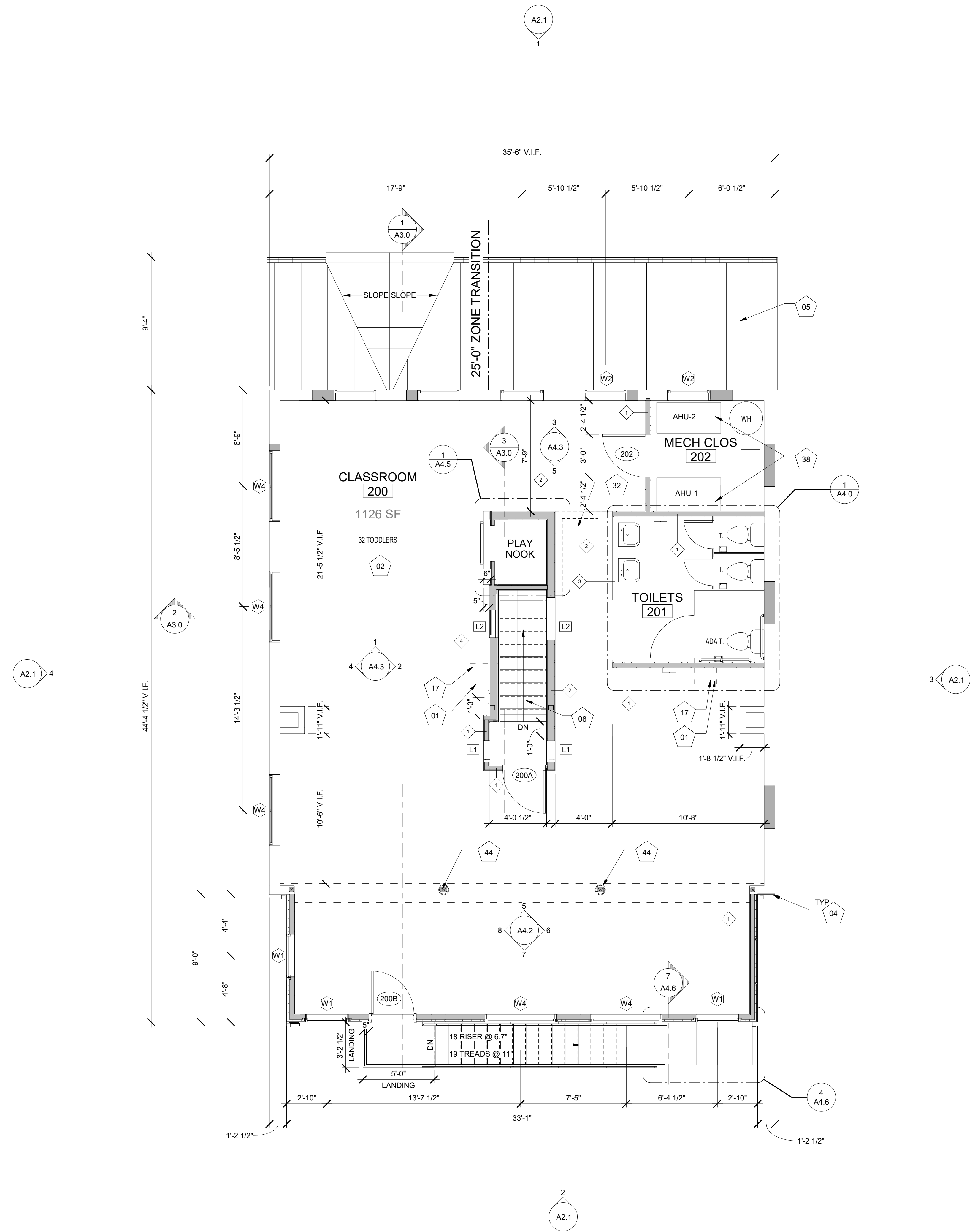


NO.	DATE	DESCRIPTION
5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN

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DRAWING TITLE:
NEW WORK - SECOND FLOOR PLAN

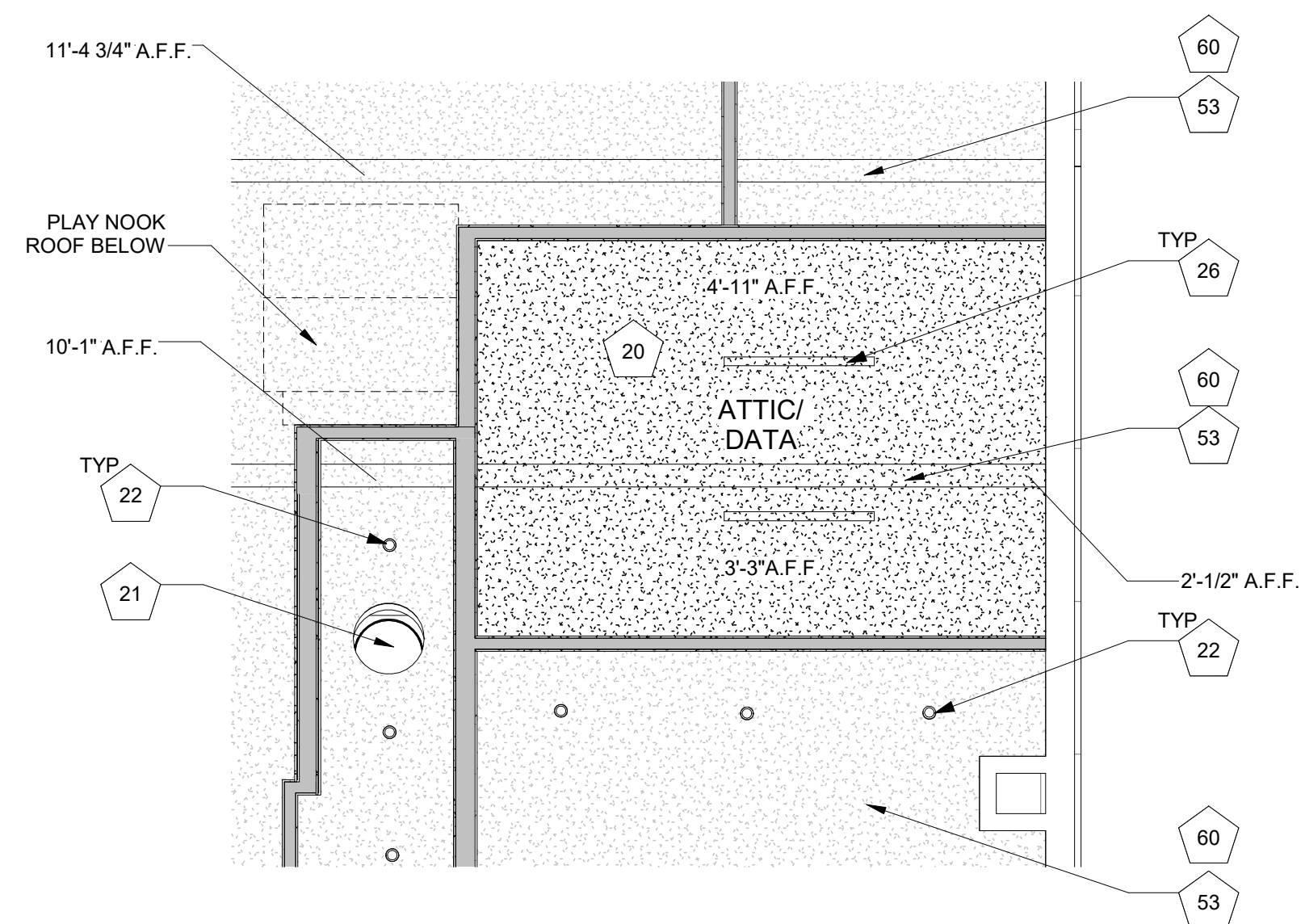
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DRAWN : LS	
CHECKED : ZS	
SCALE: 1/4" = 1'-0"	
DATE:	



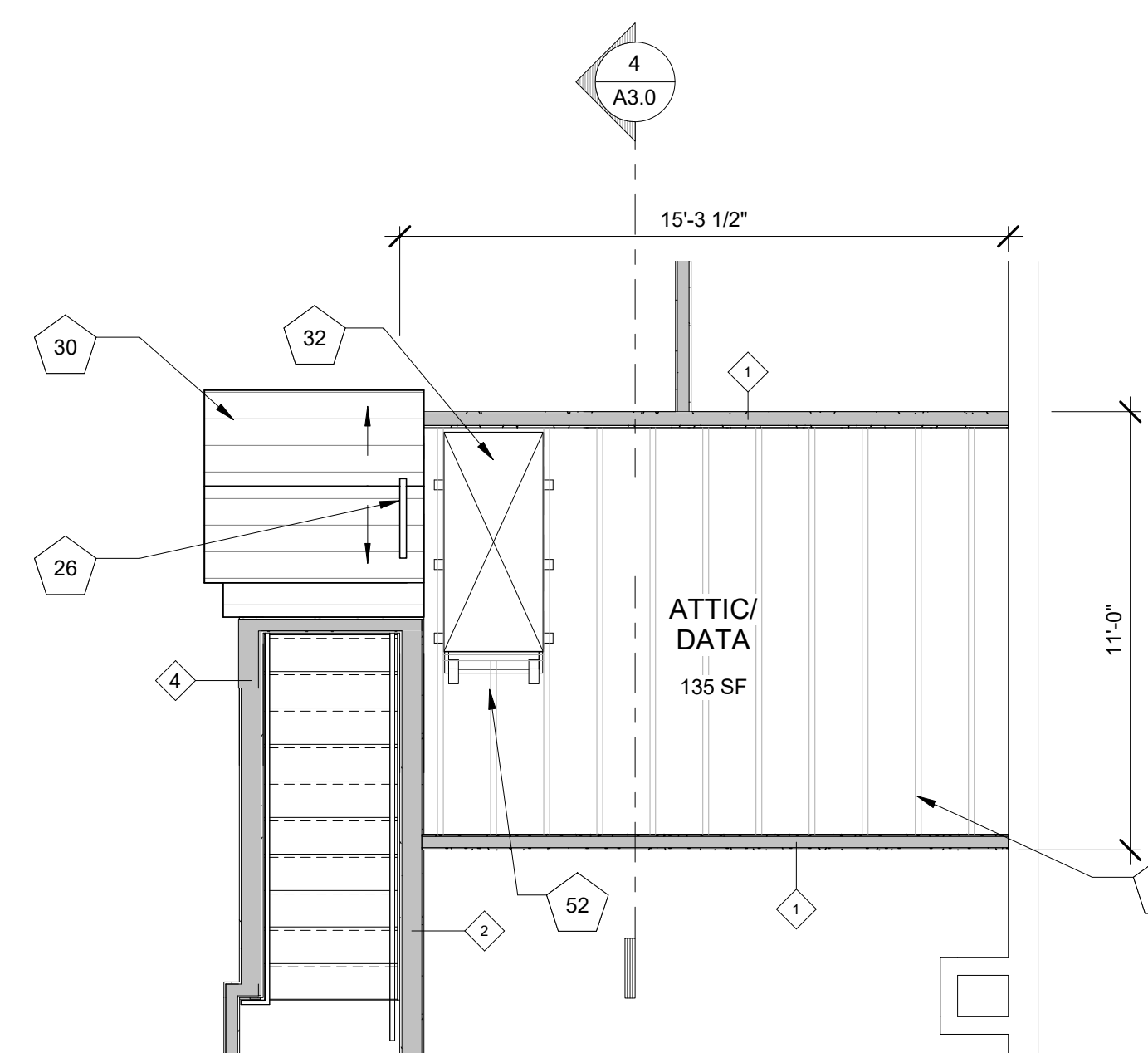
NEW WORK - SECOND FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

- 20 NEW GWB CEILING, PTD. REFER TO SPECIFICATIONS
- 21 TUBULAR SKYLIGHT
- 22 RECESSED DOWNLIGHT FIXTURE. REFER TO SPECIFICATIONS
- 26 SURFACE MOUNTED LIGHT FIXTURE. REFER TO SPECIFICATIONS
- 30 PLAY NOOK ROOF
- 32 ACCESS CEILING HATCH WITH PULL DOWN STAIRS
- 51 2X10 MEZZANINE JOISTS @16" O.C. REFER TO STRUCTURAL DRAWINGS
- 52 2X10. REFER TO STRUCTURAL DRAWINGS
- 53 7X20 LVLs. REFER TO STRUCTURAL DRAWINGS
- 60 NEW GWB AROUND ALL CEILING STRUCTURAL MEMBERS, PTD.



2 ATTIC REFLECTED CEILING PLAN
A1.0 1/4" = 1'-0"



1 ATTIC PLAN
A1.0 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

Scale bar: 0, 4', 8', 16', 24'

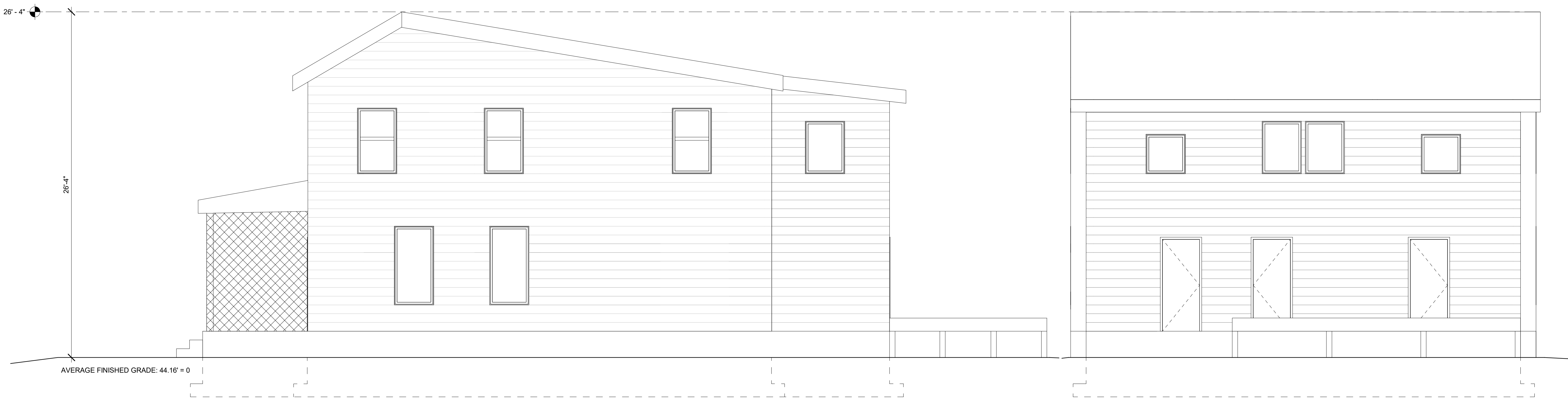
NO.	DATE	DESCRIPTION
4	10/20/2022	DSP SUBMISSION
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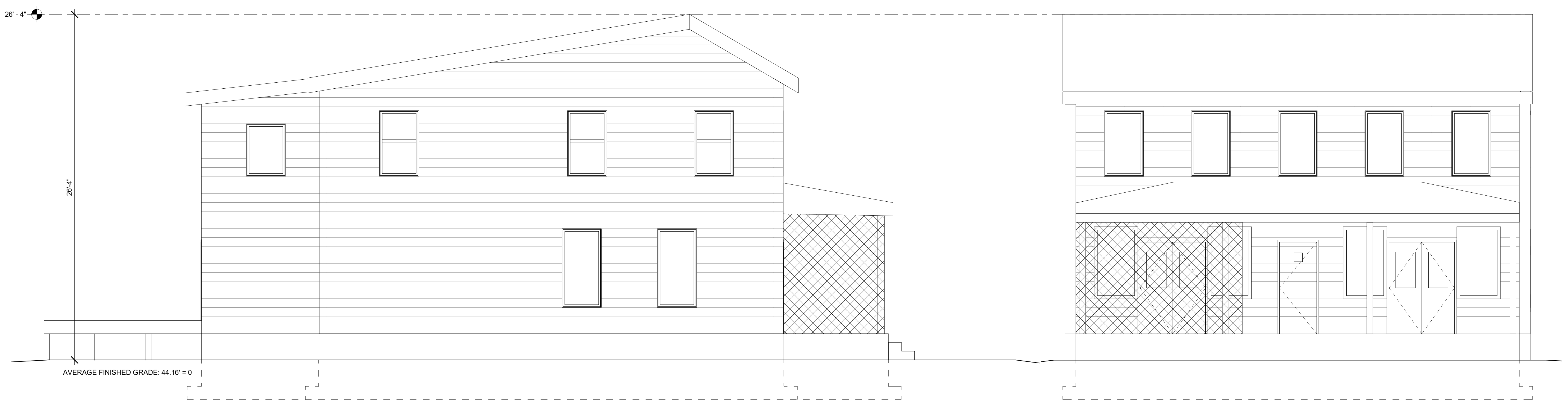
DRAWING TITLE:
ATTIC PLANS

COMM. NO: 210400	DRAWING NUMBER: A1.0
DRAWN : LS	
CHECKED : ZS	
SCALE: 1/4" = 1'-0"	
DATE:	



4
A2.0
EXISTING WEST ELEVATION
1/4" = 1'-0"

2
A2.0
EXISTING SOUTH ELEVATION
1/4" = 1'-0"



3
A2.0
EXISTING EAST ELEVATION
1/4" = 1'-0"

1
A2.0
EXISTING NORTH ELEVATION
1/4" = 1'-0"

NOTE: NEW WORK WILL BE USING EXISTING WOOD STUD EXTERIOR WALLS OF THE MAIN STRUCTURE. BUILDING HEIGHT IS UNCHANGED.



NO.	DATE	DESCRIPTION
2	10/20/2022	DSP SUBMISSION
1	10/03/2022	REVISION 2

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DRAWING TITLE:
EXISTING ELEVATIONS

COMM. NO: 210400	DRAWING NUMBER: A2.0
DRAWN : Author	
CHECKED : Checker	
SCALE: 1/4" = 1'-0"	
DATE:	

KEYNOTES

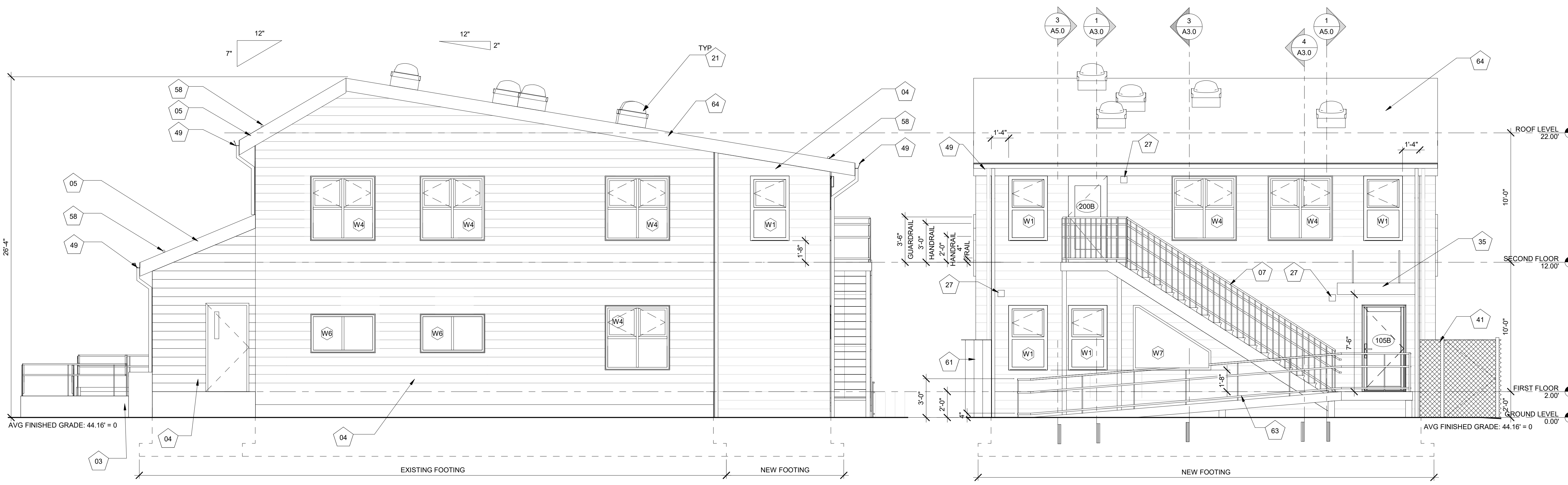
- 03 WOOD RAMP WITH DARK BRONZE ANODIZED ALUMINUM HANDRAILS
- 04 FIBER CEMENT LAP SIDING. REFER TO SPECIFICATIONS
- 05 STANDING SEAM METAL ROOFING. REFER TO SPECIFICATIONS
- 07 WOOD STAIRS WITH ANODIZED DARK BRONZE ALUMINUM HANDRAILS
- 21 TUBULAR SKYLIGHT
- 27 WALL MOUNTED LIGHT FIXTURE. REFER TO SPECIFICATIONS
- 35 NEW PREMANUFACTURED CANOPY
- 38 MECHANICAL UNIT ON HOUSEKEEPING PAD, REFER TO STRUCTURAL AND MECHANICAL DRAWINGS
- 41 NEW CHAIN LINK FENCE ENCLOSURE WITH LOCKABLE GATE FOR MECHANICAL UNITS
- 49 ALUMINUM GUTTER AND DOWNSPOUT
- 50 ARCHITECTURAL PANEL SIDING, REFER TO SPECIFICATIONS
- 58 NEW SNOW GUARD
- 61 NEW VINYL PRIVACY FENCE
- 63 WOOD RAMP WITH ANODIZED DARK BRONZE ALUMINUM HANDRAILS
- 64 NEW TPO ROOFING
- 65 1/2" THICK CAST ALUMINUM LETTERS WITH BAKED KYNAR FINISH ON ANODIZED ALUMINUM RODS
- 66 ETCHED ALUMINUM PLAQUE WITH BAKED KYNAR FINISH ON STAINLESS STEEL POST MOUNTS

NO.	DATE	DESCRIPTION
6	10/20/2022	DSP SUBMISSION
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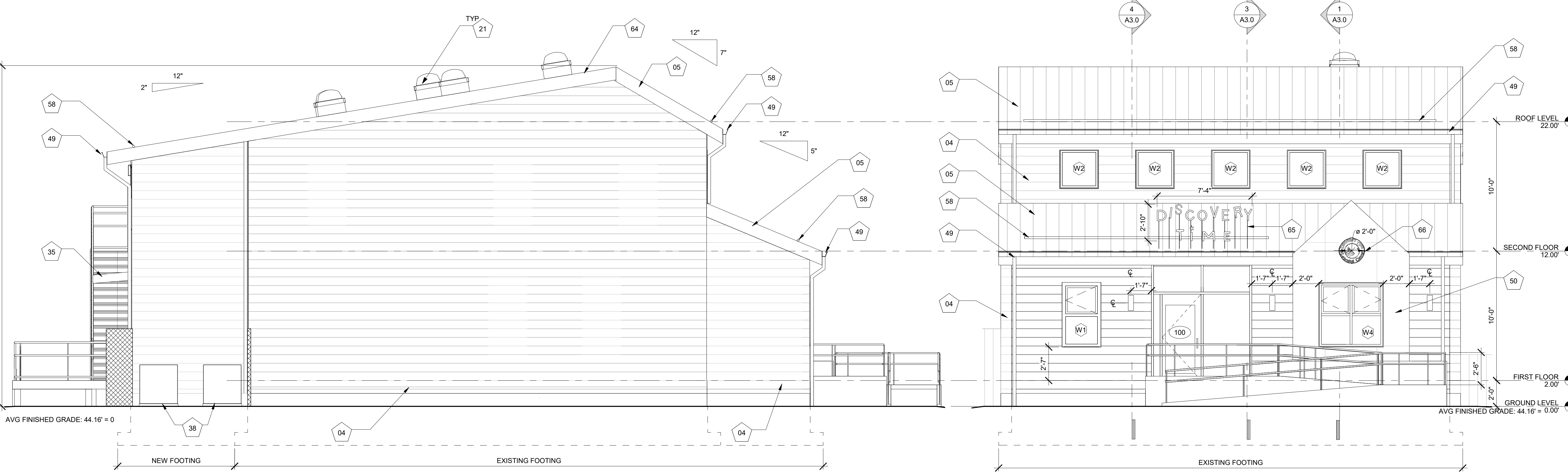
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PROPOSED BUILDING ELEVATIONS

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DRAWN : ZS	
CHECKED : Checker	
SCALE: 1/4" = 1'-0"	
DATE:	



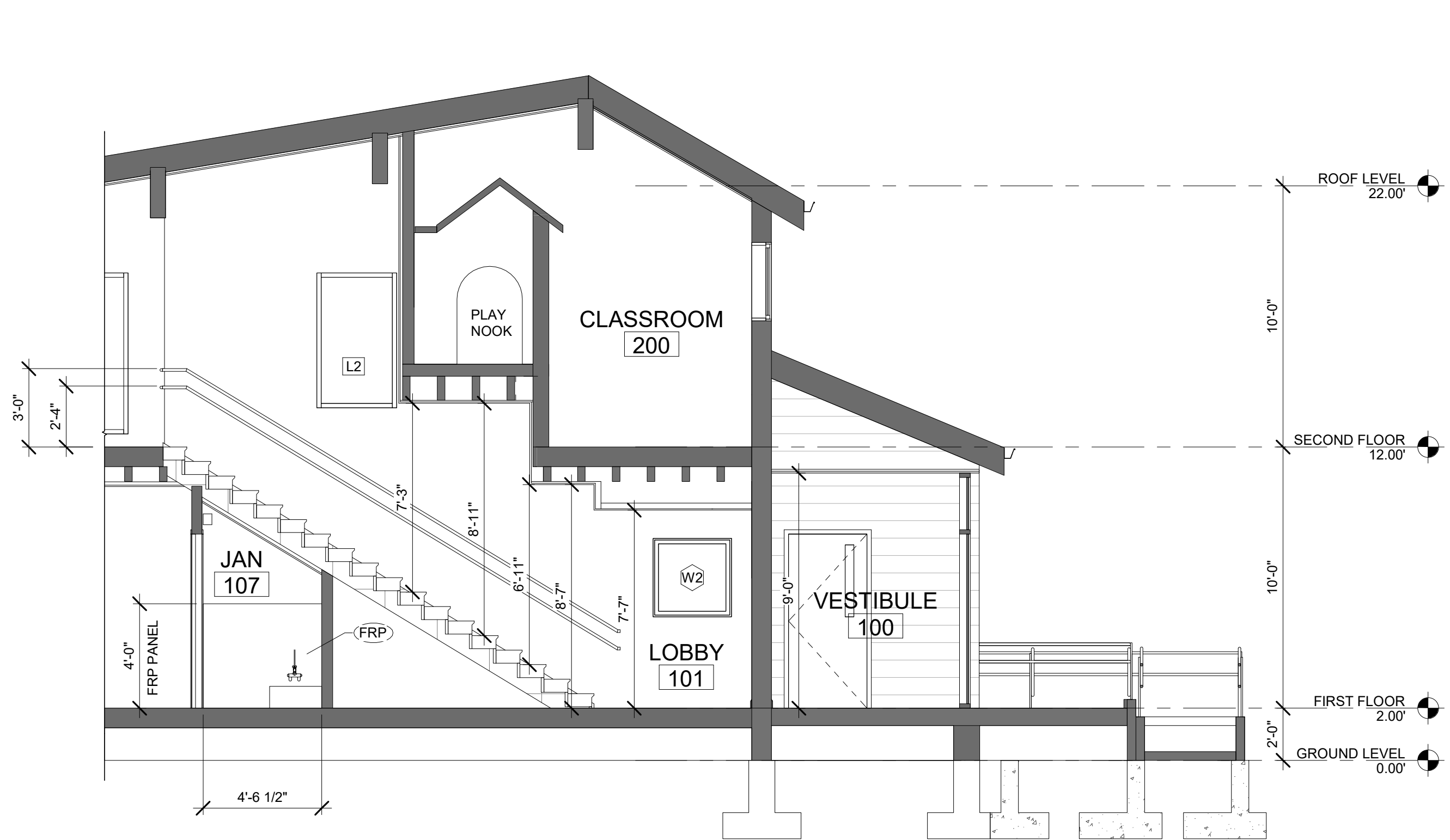
4 WEST ELEVATION
1/4" = 1'-0"

2 SOUTH ELEVATION
1/4" = 1'-0"

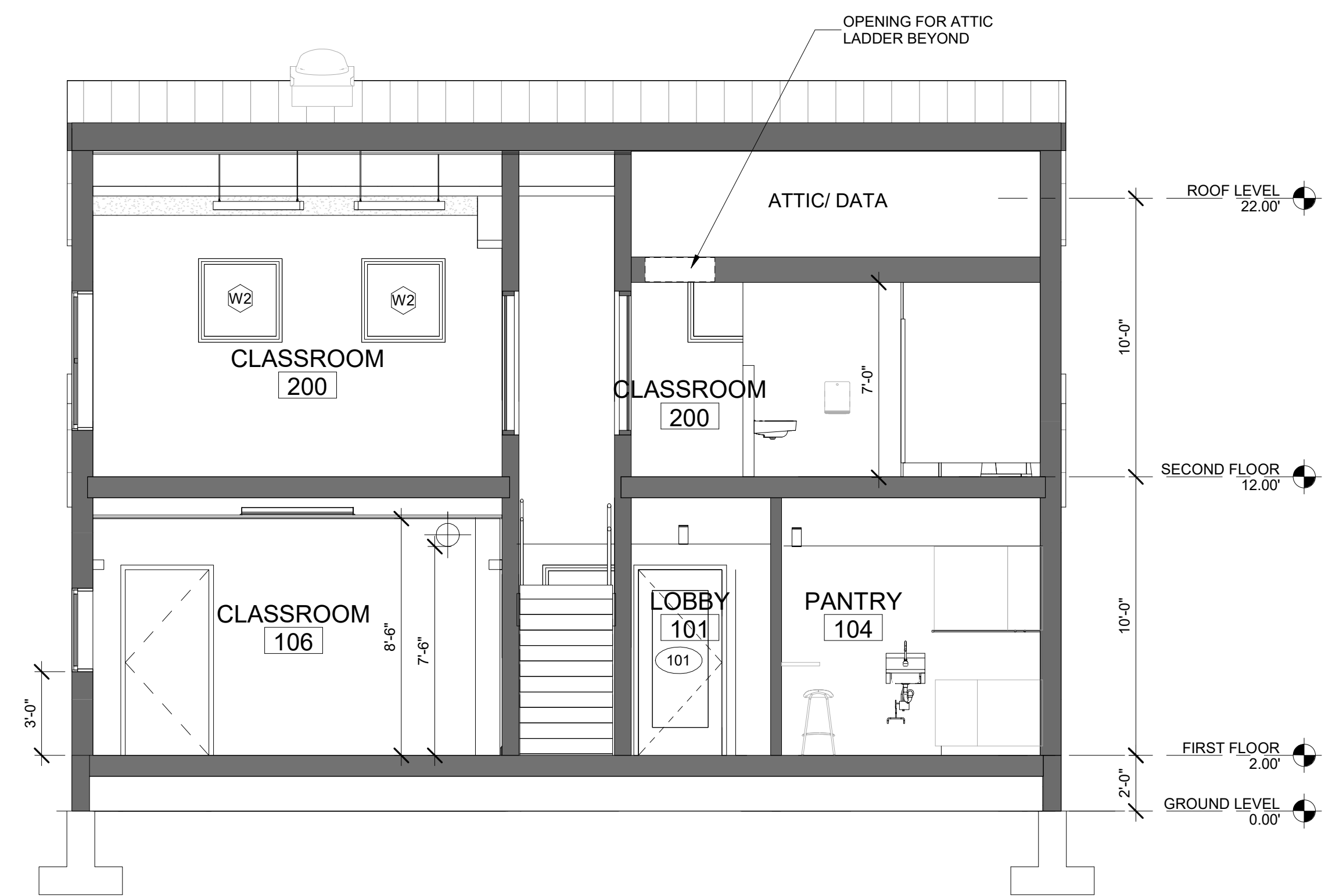


3 EAST ELEVATION
1/4" = 1'-0"

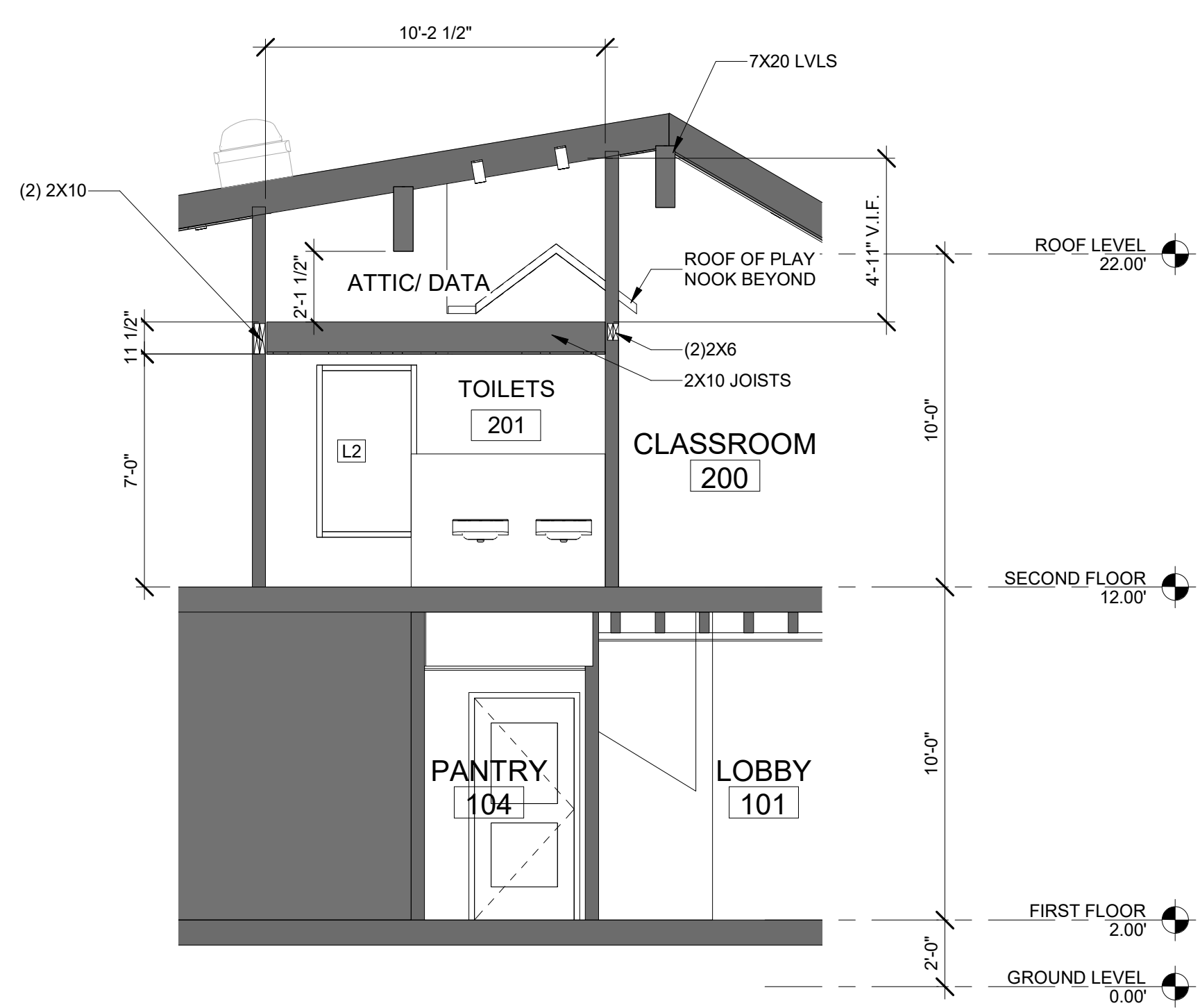
1 NORTH ELEVATION
1/4" = 1'-0"



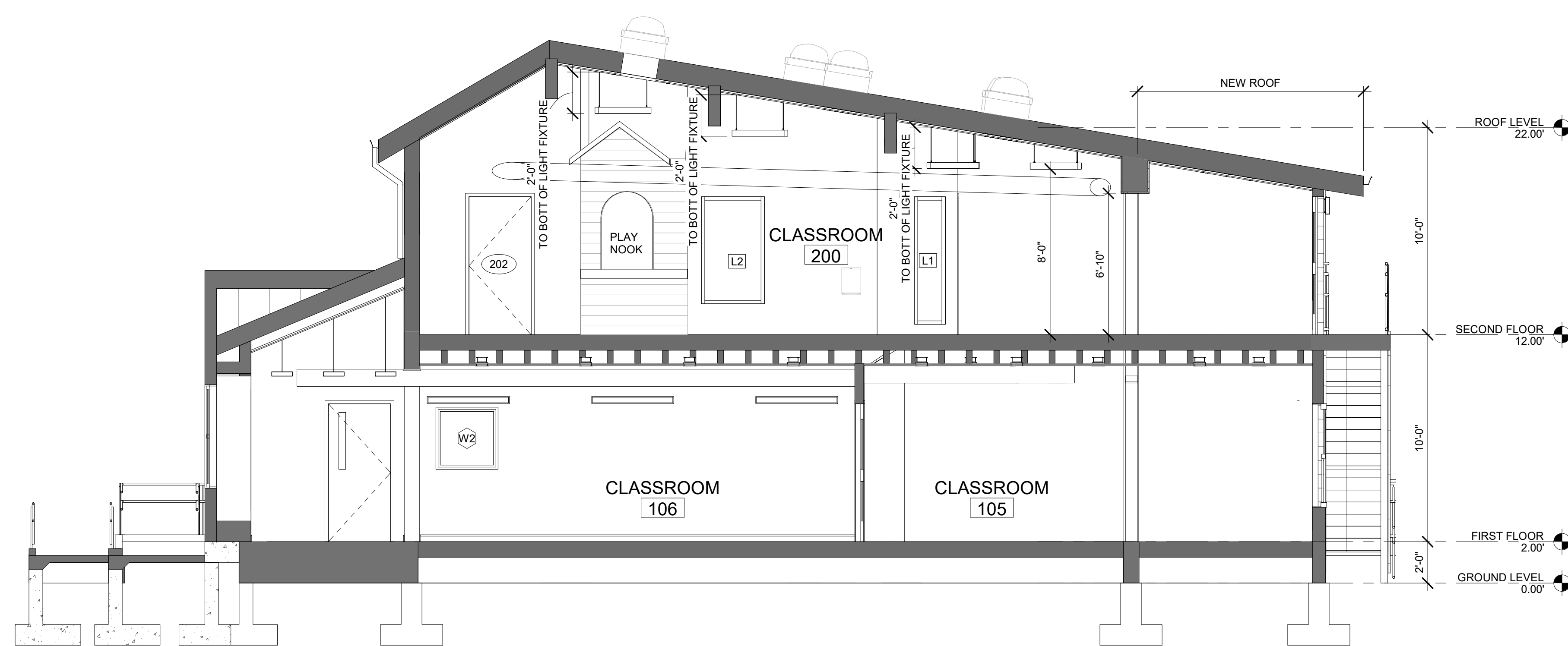
3 BUILDING SECTION C
A3.0 1/4" = 1'-0"



2 BUILDING SECTION B
A3.0 1/4" = 1'-0"



4 BUILDING SECTION D
A3.0 1/4" = 1'-0"



1 BUILDING SECTION A
A3.0 1/4" = 1'-0"

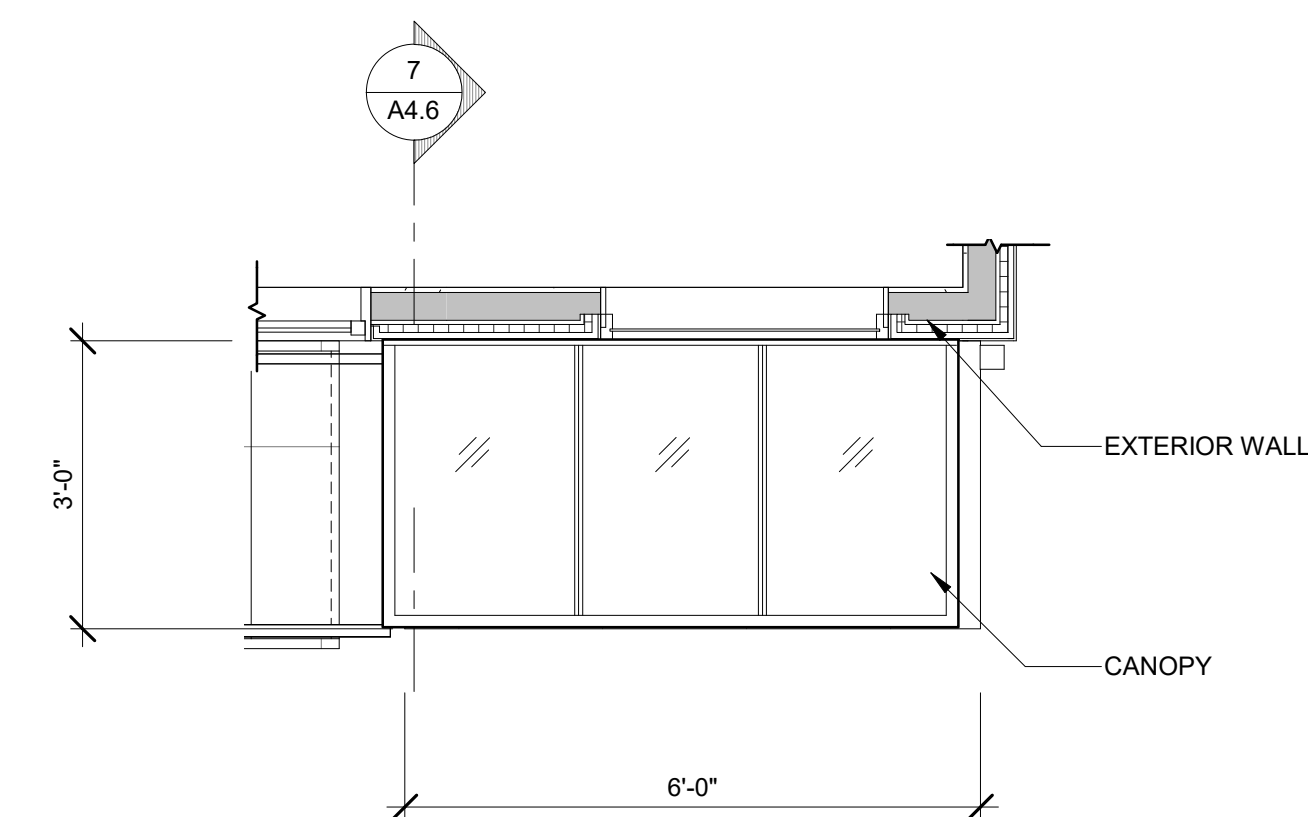


NO.	DATE	DESCRIPTION
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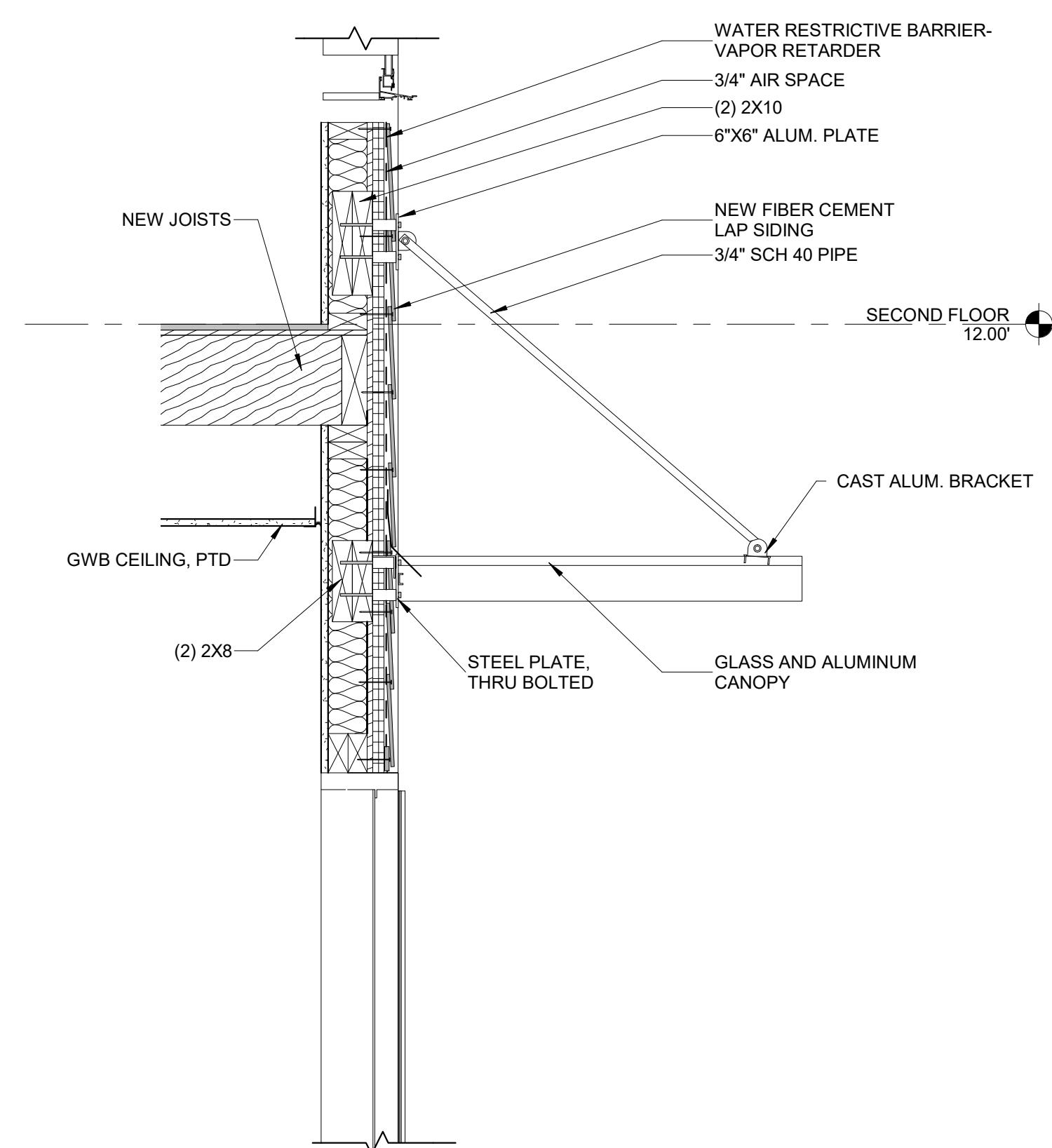
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DRAWING TITLE:
BUILDING SECTIONS

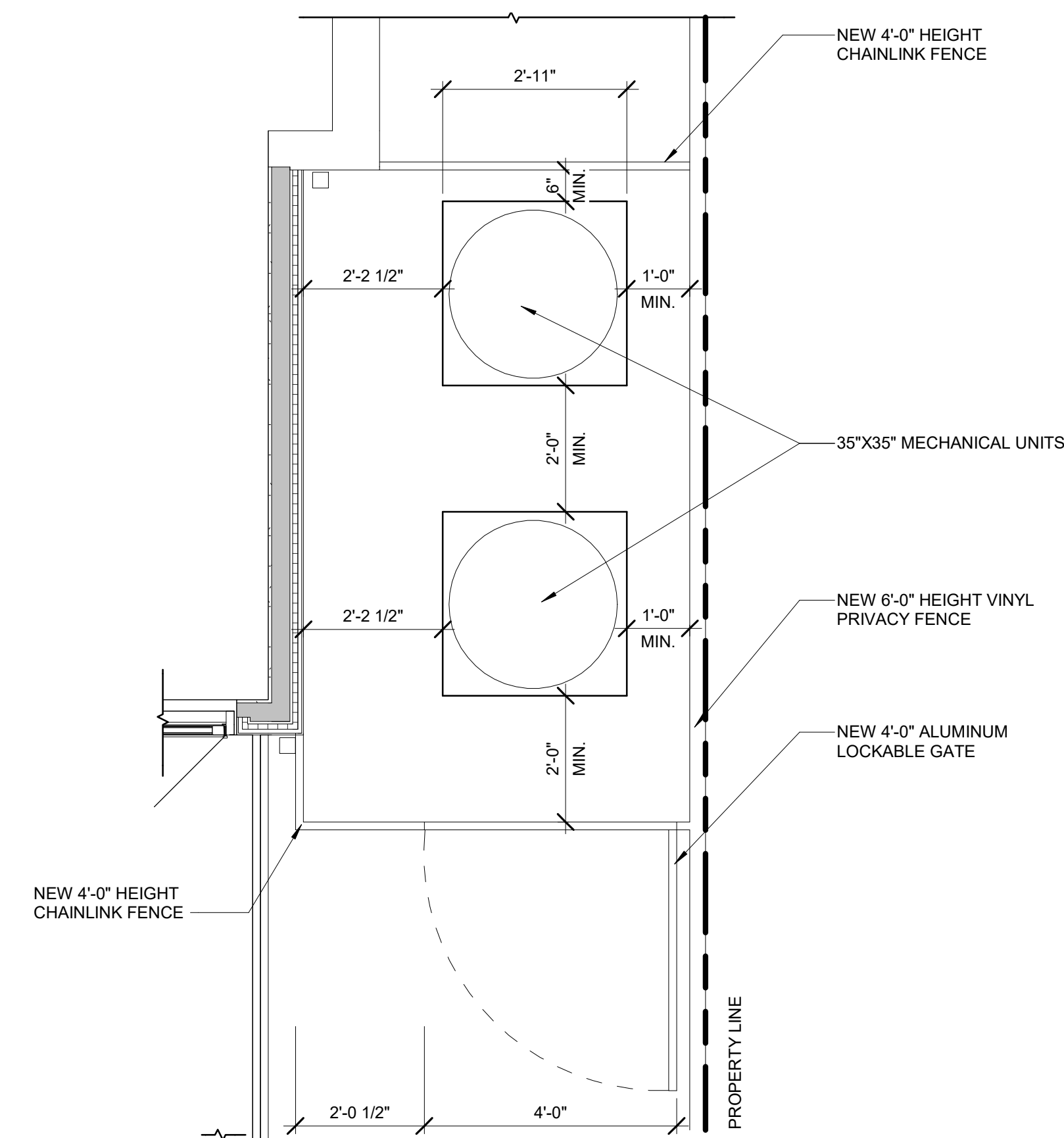
COMM. NO: 210400	DRAWING NUMBER: A3.0
DRAWN : Author	
CHECKED : Checker	
SCALE: 1/4" = 1'-0"	
DATE:	



4 CANOPY PLAN
1/2" = 1'-0"



7 CANOPY SECTION
1" = 1'-0"



1 MECHANICAL ENCLOSURE PLAN
1/2" = 1'-0"



NO.	DATE	DESCRIPTION
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ISSUE



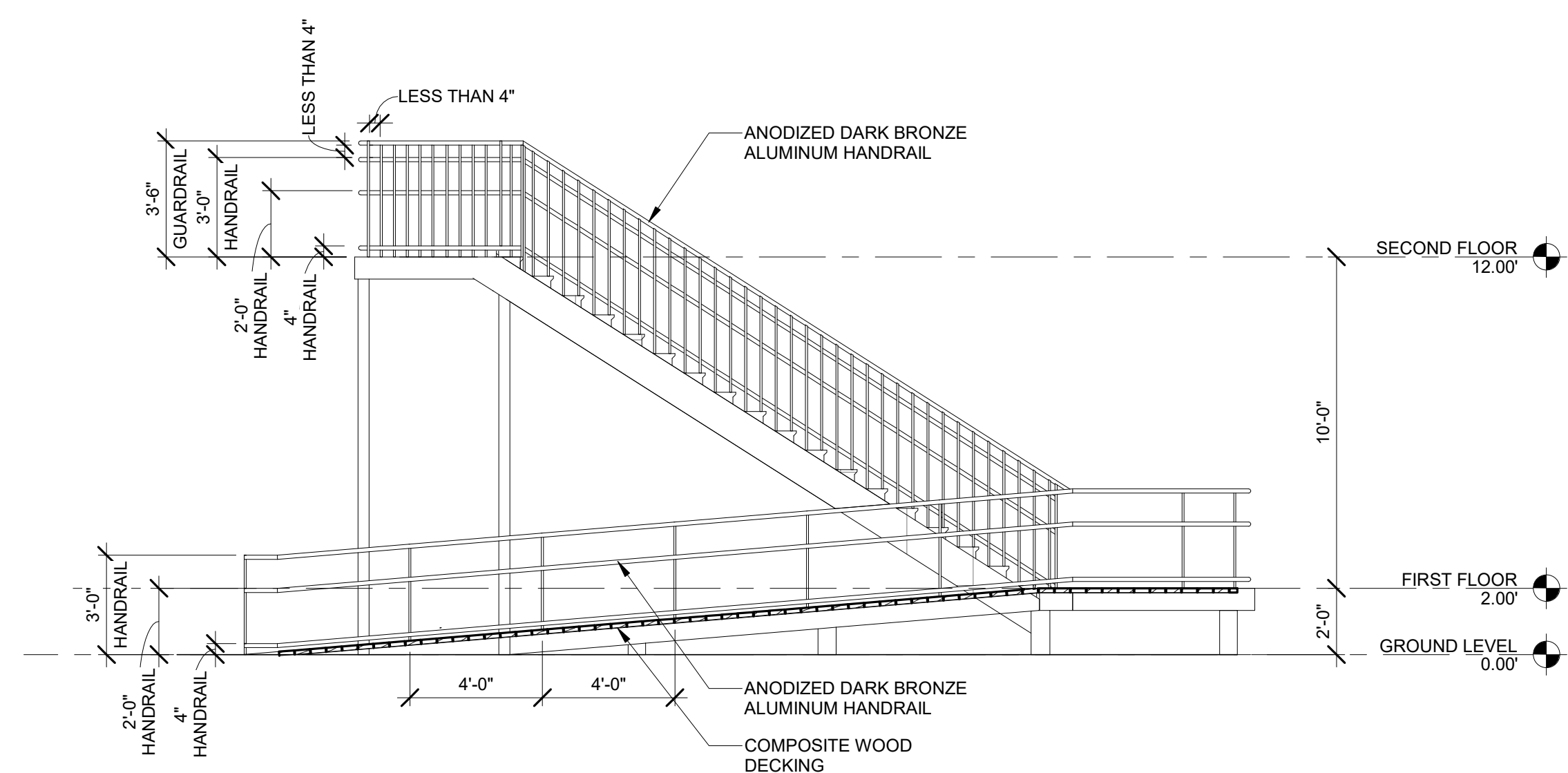
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Alexandria VA 22301

DRAWING TITLE:
BUILDING SITE DETAILS

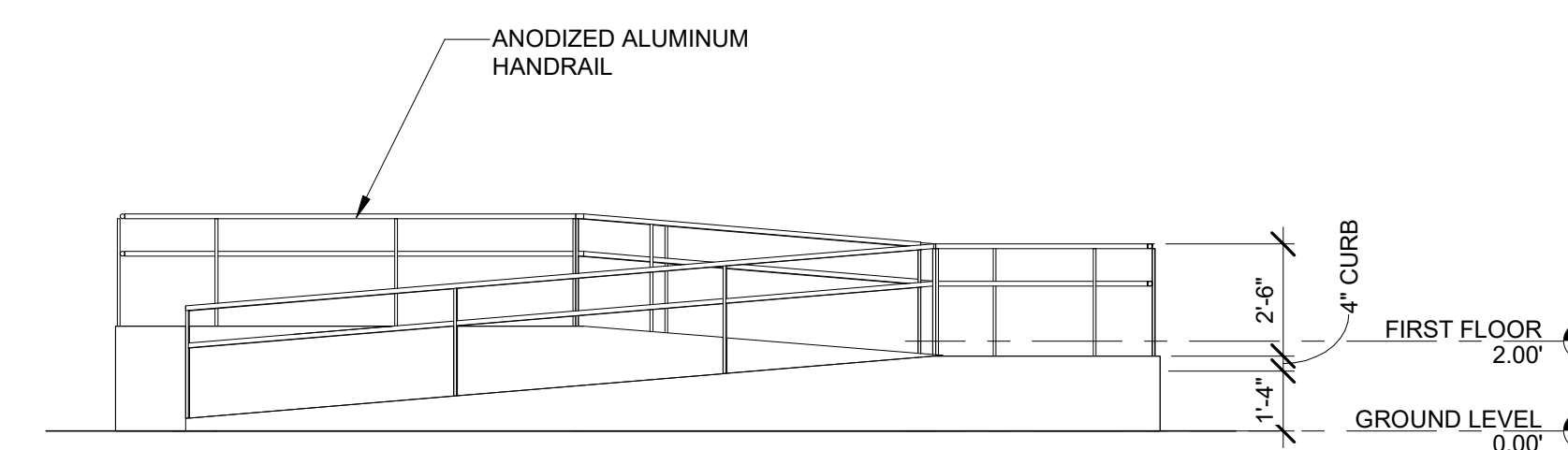
COMM. NO:
210400
DRAWN :
Author
CHECKED :
Checker
SCALE:
As indicated
DATE:

DRAWING NUMBER:

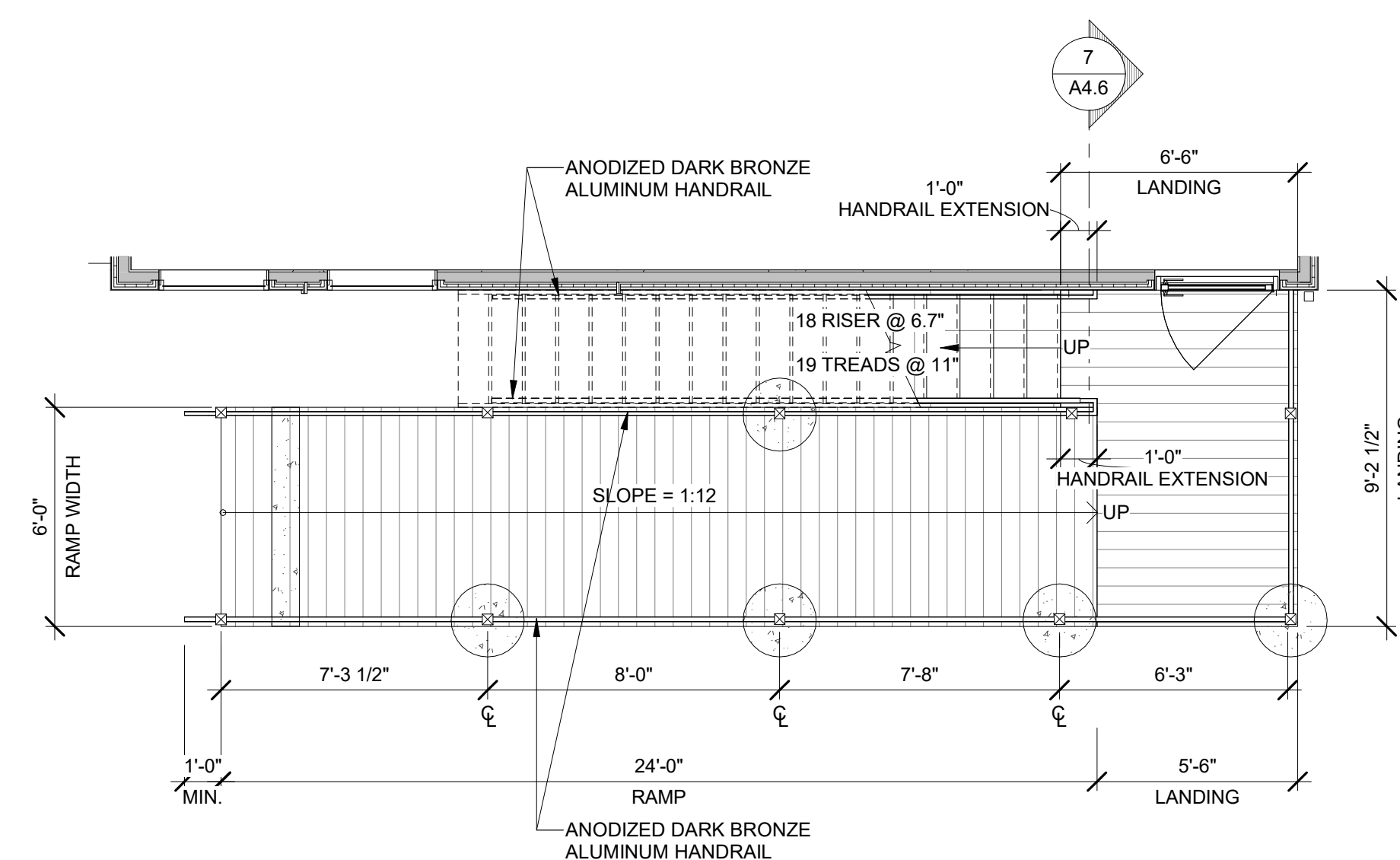
A4.6



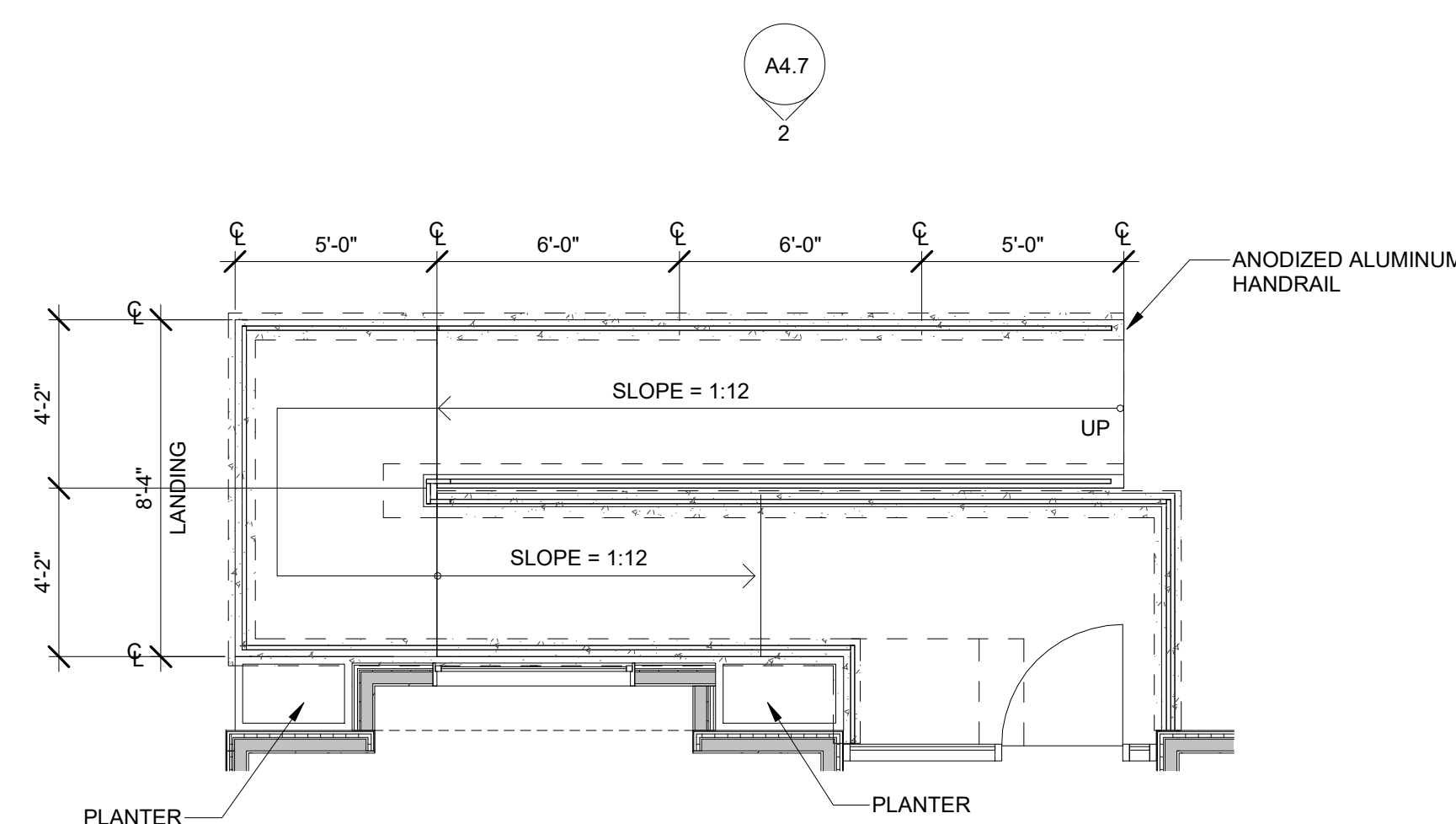
5
A4.7 REAR RAMP & STAIR ELEVATION
1/4" = 1'-0"



2
A4.7 ENTRY RAMP ELEVATION
1/4" = 1'-0"



3
A4.7 REAR RAMP & STAIR PLAN
1/4" = 1'-0"



1
A4.7 ENTRY RAMP PLAN
1/4" = 1'-0"



NO.	DATE	DESCRIPTION
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DRAWING TITLE:
BUILDING SITE DETAILS

COMM. NO.: 210400	DRAWING NUMBER: A4.7
DRAWN : Author	
CHECKED : Checker	
SCALE: 1/4" = 1'-0"	
DATE:	