

417 HUME AVE.  
ALEXANDRIA, VA 22301

OWNER

1509 LESLIE AVE.  
ALEXANDRIA, VIRGINIA 22301

PHONE: 703.930.9043

CONTACT: STEPHANIE HARRIS

ARCHITECT

500 MONTGOMERY STREET, SUITE 550  
ALEXANDRIA, VIRGINIA 22314  
PHONE: 703.548.0460

CONTACT: THERESA DEL NINNO, AIA

MEP ENGINEER

9161 LIBERIA AVE., SUITE 204B  
MANASSAS, VA 20110

PHONE: 703.688.2049

CONTACT: HIRDAY GILL, PE

STRUCTURAL ENGINEER

19309 WINMEADE DRIVE, SUITE 322  
LEESBURG, VA 20176

PHONE: 703.309.3044

CONTACT: SEAN P. KENNEDY, PE


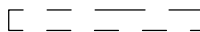
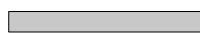
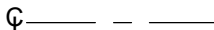

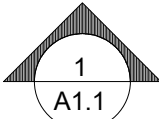
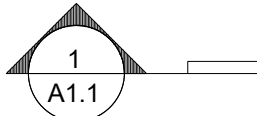
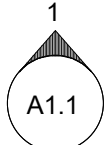

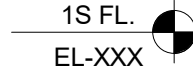
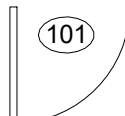

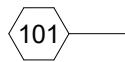
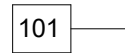
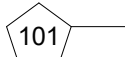
## VICINITY PLAN



## ARCHITECTURAL ABBREVIATIONS

ABV	ABOVE	F/FIN	FACE OF FINISH	PTD	PAINT (ED)
AFF	ABOVE FINISHED FLOOR	F/MAS	FACE OF MASONRY	PNB	PANIC BAR
AP	ACCESS PANEL	F/STUDS	FACE OF STUDS	PTN	PARTITION
ACOUS	ACOUSTICAL	FCU	FAN COIL UNIT	PL	PLATE
ACT	ACOUSTICAL TILE	FIN	FINISH (ED)	PLAM	PLASTIC LAMINATE
ADJ	ADJACENT	FFL	FINISHED FLOOR LINE	PLYWD	PLYWOOD
ADJT	ADJUSTABLE	FE	FIRE EXTINGUISHER	PLYWD	PLYWOOD
A/C	AIR CONDITIONING	FEC	FIRE EXTINGUISHER CABINET	PRT	PRESERVATIVE TREATED
ALT	ALTERNATE	FLASH	FLASHING	PVC	POLYVINYL CHLORIDE
ALUM (AL)	ALUMINUM	FLX	FLEXIBLE	QT	QUARRY TILE
AB	ANCHOR BOLT	FL	FLOOR (ING)	RD	RADIUS
ANOD	ANODIZED	FD	FLOOR DRAIN	REF	REFERENCE
APPROX	APPROXIMATE	FTG	FOOTING	RB	RESILIENT BASE
ARCH	ARCHITECT (URAL)	FDN	FOUNDATION	RA	RETURN AIR
BM	BEAM	GA	GAGE, GAUGE	REQ'D	REQUIRED
BRG	BEARING	GALV	GALVANIZED	REV	REVISION (S), REVISED
BRG PL	BEARING PLATE	GC	GENERAL CONTRACT (OR)	RD	ROOF DRAIN
BLK (G)	BLOCK (BLOCKING)	GLA	GLASS, GLAZING	RDC	ROOF DRAIN CONDUCTOR
BD	BOARD	GB	GRAB BAR	RO	ROUGH OPENING
BLDG	BUILDING	GBW	GYPSUM WALL BOARD	RTU	ROOF TOP UNIT
CAB	CABINET	HDW	HARDWARE	SHT	SHEET
CB	CEMENT BOARD	HP	HIGH POINT	SIM	SIMILAR
CPT	CARPET (ED)	HVAC	HEATING/VENTILATING/AIR CONDITIONING	SIP	STRUCTURAL INSULATION PANELS
CLG	CEILING	HT	HEIGHT	SC	SOLID CORE
CT	CERAMIC TILE	HC	HOLLOW CORE	SF	SQUARE FEET
CMU	CONCRETE MASONRY UNIT	HDPE	HIGH-DENSITY POLYETHYLENE	SPEC	SPECIFICATION (S)
COL	COLUMN	HM	HOLLOW METAL	SQ	SQUARE
CONC	CONCRETE	HORIZ	HORIZONTAL	SST	STAINLESS STEEL
CONST	CONSTRUCTION	ID	INSIDE DIAMETER	STC	SOUND TRANSMISSION COEFFICIENT
CONT	CONTINUOUS OR CONTINUE	INSUL	INSULATE (D), (ION)	STD	STANDARD
CORR	CORRUGATED	INT	INTERIOR	STL	STEEL
CJ	CONTROL JOINT	JC	JANITOR'S CLOSET	STO	STORAGE
CL	CENTER LINE	LL	LIVE LOAD	STRUC	STRUCTURAL
DET	DETAIL	LAB	LABORATORY	SUSP	SUSPENDED
DL	DEAD LOAD	LBS	POUNDS	TEL	TELEPHONE
DIA	DIAMETER	MFR	MANUFACTURE (ER)	THK	THICKNESS
DIM	DIMENSION	MAS	MASONRY	THRES	THRESHOLD
DR	DOOR	MO	MASONRY OPENING	TRTD	TREATED
DS	DOWNSPOUT	MAX	MAXIMUM	T/SLB	TOP OF SLAB
DWG	DRAWING	MECH	MECHANIC (AL)	TYP	TYPICAL
ELEC	ELECTRIC (AL)	MED	MEDIUM	UL	UNDERWRITER'S LAB
EW	ELECTRIC WATER COOLER	MTD	MOUNTED	UNO	UNLESS NOTED OTHERWISE
ELEV	ELEVATOR	MTL	METAL	VERT	VERTICAL
EMER	EMERGENCY	MP	METAL PANEL	VIF	VERIFY IN FIELD
EQ	EQUAL	MIN	MINIMUM	VPB	VAPOR BARRIER
EQUIP	EQUIPMENT	MISC	MISCELLANEOUS	VCT	VINYL COMPOSITION TILE
ETR	EXISTING TO REMAIN	MR	MOISTURE RESISTANT	VPB	VAPOR BARRIER
EX	EXPOSED	NRC	NOISE REDUCTION COEFFICIENT	WWF	WELDED WIRE FABRIC
EXH	EXHAUST	NOM	NOMINAL	WIN	WINDOW
EXIST	EXISTING	NIC	NOT IN CONTRACT	W/	WITH
EB	EXPANSION BOLT	NTS	NOT TO SCALE	W/O	WITHOUT
EJ	EXPANSION JOINT	OC	ON CENTER (S)	WD	WOOD
EXPD	EXPOSED	OPNG	OPENING	WP	WATER PROOFING
EXT	EXTERIOR	OPP	OPPOSITE	WPT	WORKING POINT
F/CONC	FACE OF CONCRETE	OD	OUTSIDE DIAMETER	WR	WATER RESISTANT

## ARCHITECTURAL SYMBOLS

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW CONSTRUCTION
	CENTER LINE
	MATCH LINE
	EXTERIOR ELEVATION REFERENCE
	SECTION SYMBOL REFERENCE
	INTERIOR ELEVATION REFERENCE
	DETAIL REFERENCE
	ELEVATION MARKER
	DOOR REFERENCE TAG REFER TO SCHEDULE
	ROOM REFERENCE TAG
	WINDOW TYPE
	WALL/PARTITION TYPE
	KEYNOTE

## DRAWING SHEET INDEX

COVER	COVER SHEET
CODE.1	PLAT & ZONING COMPLIANCE
CODE.2	FAR & BUILDING CODE PLANS
CODE.3	MEETING MINUTES
A0.0	ARCHITECTURAL SITE AND ROOF PLAN
D1.0	EXISTING PLANS
D1.1	DEMOLITION PLANS
A0.1	NEW WORK - FIRST FLOOR PLAN
A0.2	NEW WORK - SECOND FLOOR PLAN
A1.0	ATTIC PLANS
A2.0	EXISTING ELEVATIONS
A2.1	PROPOSED BUILDING ELEVATIONS
A3.0	BUILDING SECTIONS
A4.6	BUILDING SITE DETAILS
A4.7	BUILDING SITE DETAILS

## GENERAL NOTES

1. DO NOT SCALE DRAWINGS. IF ADDITIONAL INFORMATION OR DIMENSIONS ARE REQUIRED, CONTACT THE ARCHITECT.
2. DIMENSIONS ON PLAN ARE GIVEN FROM FACE OF SHEATHING OR FACE OF FOUNDATION WALL UNLESS NOTED OTHERWISE.
3. DIMENSIONS NOTED (= -) OR "VERIFY" INDICATE REFERENCE DIMENSIONS THAT MUST BE CONFIRMED IN THE FIELD.

## PROJECT DESCRIPTION

THE WORK IS FOR THE RENOVATION OF AN EXISTING BUILDING AND THE DEMOLITION AND RECONSTRUCTION OF A SMALL, DILAPIDATED TWO STORY ADDITION AT THE REAR. A CHILD CARE CENTER WILL OCCUPY THE BUILDING, WHICH WILL REQUIRE NEW MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT.

## BUILDING INFORMATION

APPLICABLE CODE: 2018 VIRGINIA CONSTRUCTION CODE,  
2018 VIRGINIA EXISTING BUILDING CODE

CONSTRUCTION TYPE: EXISTING V/PROPOSED VE

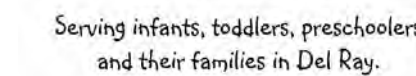
USE GROUP CLASSIFICATION: SEPARATE MIXED USE E & I-4

NO. OF STORIES/ HEIGHT (MATCH EXISTING): 2

500 Montgomery St, Ste 550,  
Alexandria, VA 22314  
P: 703/548-0460 [mdnarch.com](http://mdnarch.com)



5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
NO.	DATE	DESCRIPTION
<b>ISSUE</b>		



417 Hume Ave.  
Alexandria VA 22301

DRAWING TITLE:

## COVER SHEET

**COMM. NO:**  
210400

**DRAWN :**  
LS

**CHECKED :**  
ZS

**SCALE:**  
1/16" = 1'-0"

DATE:

DRAWING NUMBER:

COVER

APPLICABLE BUILDING CODE REGULATIONS

CODE SECTION REQUIREMENT

WINDOW AND DOORS WILL COMPLY WITH TABLE C402.4 OPERABLE WINDOW U-FACTOR OF 0.45 SHGC 0.36, ENTRY DOORS U-FACTOR OF 0.77. SKYLIGHTS WILL MEET A U FACTOR OF 0.5 AND SHGC OF 0.4.

CHAPTER 6: TYPES OF CONSTRUCTION

2018 VCC	TABLE 601	FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)
	CONSTRUCTION TYPE VB	PRIMARY STRUCTURAL FRAME 0
		BEARING WALLS EXTERIOR 0
		INTERIOR 0
		NONBEARING WALLS/PARTITIONS INTERIOR 0
		FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS 0
		ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS 0

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

2018 VCC	705.8 TABLE 705.8	OPENINGS 10 TO LESS THAN 15 FEET SPRINKLERED - 45% ALLOWABLE AREA
2018 VCC	706.4	FIRE WALLS FIRE RESISTANCE RATINGS
		FIRE RESISTANCE RATING FOR GROUP E, I - 3 HR
2018 VCC	707	FIRE BARRIERS FIRE RESISTANCE RATINGS REQUIREMENTS FOR FIRE BARRIER OR HORIZONTAL ASSEMBLIES FIRE RESISTANCE RATING FOR GROUP E, I - 2 HR
2018 VCC	713.4	SHAFT ENCLOSURES CONNECTING LESS THAN 4 STORIES = 1 HR FIRE RATING
2018 VCC	716 TABLE 716.1	OPENING FIRE PROTECTION ASSEMBLIES PROVIDE AS FOLLOWS:  1 HR FIRE PARTITIONS = 3/4 HR RATED OPENING 2 HR FIRE PARTITIONS = 1-1/2 HR RATED OPENING 1 HR STAIRS = 3/4 HR RATED OPENING 3 HR FIRE WALLS =3 HR RATED OPENING

CHAPTER 8: INTERIOR FINISHES

2018 VCC	TABLE 803.13	INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY
		FOR OCCUPANCY GROUP I-4: <b>CLASS B:</b> INTERIOR EXIT STAIRWAYS <b>CLASS B:</b> CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS <b>CLASS B:</b> ROOMS AND ENCLOSED SPACES
		FOR OCCUPANCY GROUP E: <b>CLASS B:</b> INTERIOR EXIT STAIRWAYS <b>CLASS C:</b> CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS <b>CLASS C:</b> ROOMS AND ENCLOSED SPACES

CHAPTER 9: FIRE PROTECTION SYSTEMS

2018 VCC	903	AUTOMATIC SPRINKLER SYSTEMS
	903.2.6 GROUP I EXCEPTION 3	IN BUILDINGS WHERE GROUP I-4 DAY CARE IS PROVIDED ON LEVELS OTHER THAN THE LEVEL OF EXIT DISCHARGE, AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 SHALL BE INSTALLED ON THE ENTIRE FLOOR WHERE CARE IS PROVIDED, ALL FLOORS BETWEEN THE LEVEL OF CARE AND THE LEVEL OF EXIT DISCHARGE.
	903.2.3 GROUP E NOTE 2	THE GROUP E FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES.
	903.3.1.1	SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13.
2018 VCC	906.1	PORTABLE FIRE EXTINGUISHERS PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS. 1.IN GROUPS A, B, E, F, H, I, M, R-1, R-4, AND S OCCUPANCIES.
2018 VCC	907	FIRE ALARM AND DETECTION SYSTEMS
	907.2.3 GROUP E	A MANUAL FIRE ALARM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM MEETING THE REQUIREMENTS OF SECTION 907.5 AND INSTALLED IN ACCORDANCE WITH SECTION 907.6 SHALL BE INSTALLED IN GROUP E OCCUPANCIES. WHEN AUTOMATIC SPRINKLER SYSTEMS OR SMOKE DETECTORS ARE INSTALLED, SUCH SYSTEMS OR DETECTORS SHALL BE CONNECTED TO THE BUILDING FIRE ALARM SYSTEM.
	EXCEPTION 3	MANUAL FIRE ALARM BOXES SHALL NOT BE REQUIRED IN GROUP E OCCUPANCIES WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1, THE OCCUPANT NOTIFICATION SYSTEM WILL ACTIVATE ON SPRINKLER WATER FLOW AND MANUAL ACTIVATION IS PROVIDED FROM A NORMALLY OCCUPIED LOCATION.
	907.2.6	A MANUAL FIRE ALARM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5 SHALL BE INSTALLED IN GROUP I OCCUPANCIES. AN AUTOMATIC SMOKE DETECTION SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5 SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 907.2.6.1, 907.2.6.2 AND 907.2.6.3.3.
2018 VCC	TABLE 1004.5	DAY CARE OCCUPANT LOAD FACTOR 35 NET
2018 VCC	1005.3	REQUIRED CAPACITY BASED ON OCCUPANT LOAD EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM PER SECTION 903.3.1.1 OR 903.3.1.2
		STAIRWAYS: 0.2 INCHES PER OCCUPANT

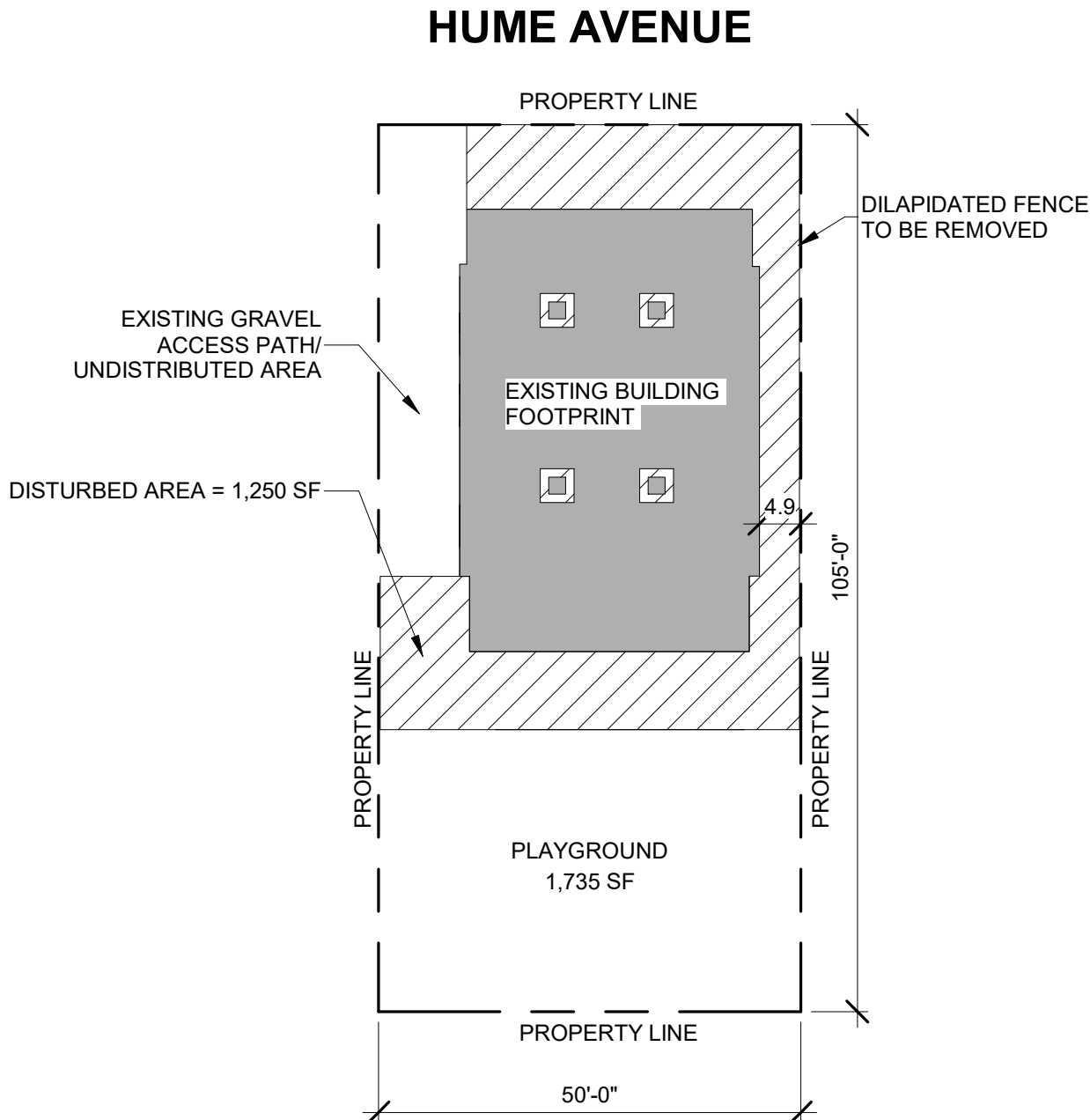
CHAPTER 10: MEANS OF EGRESS

2018 VCC	1011.2	MINIMUM WIDTH SHALL BE NOT LESS THAN 44 INCHES
		EXCEPTIONS: 1. STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES.
2018 VCC	1008.2.2.4	GROUP I-4 FACILITIES, ROOMS OR SPACES WHERE CARE IS PROVIDED FOR MORE THAN 10 CHILDREN THAT ARE 2 1/2 YEARS OF AGE OR LESS, SHALL HAVE ACCESS TO NOT LESS THAN TWO EXITS OR EXIT ACCESS DOORWAYS.
2018 VCC	1019.3	OCCUPANCIES OTHER THAN GROUPS I-2 AND I-3. IN OTHER THAN GROUP I-2 AND I-3 OCCUPANCIES, FLOOR OPENINGS CONTAINING EXIT ACCESS STAIRWAYS OR RAMPS THAT DO NOT COMPLY WITH ONE OF THE CONDITIONS LISTED IN THIS SECTION SHALL BE ENCLOSED WITH A SHAFT ENCLOSURE CONSTRUCTED IN ACCORDANCE WITH SECTION 713.
	1019.3 EXCEPTION 1:	EXIT ACCESS STAIRWAYS AND RAMPS THAT SERVE OR ATMOSPHERICALLY COMMUNICATE BETWEEN ONLY TWO STORIES. SUCH INTERCONNECTED STORIES SHALL NOT BE OPEN TO OTHER STORIES.
	TABLE 1020.2 MINIMUM CORRIDOR WIDTH	ANY FACILITY NOT LISTED IN THIS TABLE - 44 INCHES

CHAPTER 11: ACCESSIBILITY

2018 VCC	1104.2	WITHIN A SITE MINIMUM OF ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, FACILITIES, ELEMENTS, AND SPACES ON THE SAME SITE.
2018 VCC	1104.4 EXCEPTION 2:	STORIES, MEZZANINES OR OCCUPIED ROOFS THAT DO NOT CONTAIN ACCESSIBLE ELEMENTS OR OTHER SPACES AS DETERMINED BY SECTION 1107 OR 1108 ARE NOT REQUIRED TO BE SERVED BY AN ACCESSIBLE ROUTE FROM AN ACCESSIBLE LEVEL.
2018 VCC	1109.2	OTHER FEATURES AND FACILITIES EACH TOILET ROOM AND BATHING ROOM SHALL BE ACCESSIBLE. WHERE A FLOOR LEVEL IS NOT REQUIRED TO BE CONNECTED BY AN ACCESSIBLE ROUTE, THE ONLY TOILET ROOMS OR BATHING ROOMS PROVIDED WITHIN THE FACILITY SHALL NOT BE LOCATED ON THE INACCESSIBLE FLOOR. EXCEPT AS PROVIDED FOR IN SECTIONS 1109.2.2 THROUGH 1109.2.4, AT LEAST ONE OF EACH TYPE OF FIXTURE, ELEMENT, CONTROL OR DISPENSER IN EACH ACCESSIBLE TOILET ROOM AND BATHING ROOM SHALL BE ACCESSIBLE.

DISTURBED AREA PLAN



SCALE 1" = 20'

PROJECT INFORMATION

ZONING INFORMATION

EXISTING ZONING : CSL/COMMERCIAL SERVICES LOW ZONE	EXISTING	NEW
LOT SIZE : 50'-0" X 105'-0" = 5,250 SF	BUILDING SPRINKLERED?	N Y
F.A.R. (FLOOR AREA RATIO) : .5 X 5,250 SF= 2,625 SF	FIRE ALARM SYSTEM?	N Y
PARCEL #:	RPC #025.01-03-23	
2.0 BUILDING HEIGHT	50 FT - 2 STORIES (3 ABOVE GRADE IF FULLY SPRINKLERED)	EXISTING: 26'-4" - 2 STORIES NEW: NO CHANGE - 26'-4" - 2 STORIES
3.0 SIDE YARD	25 FEET MIN.	EXISTING: NOT IN COMPLIANCE NO CHANGE

ALEXANDRIA ZONING ORDINANCE

CITY OF ALEXANDRIA ZONING ORDINANCE: SUPP.NO.79

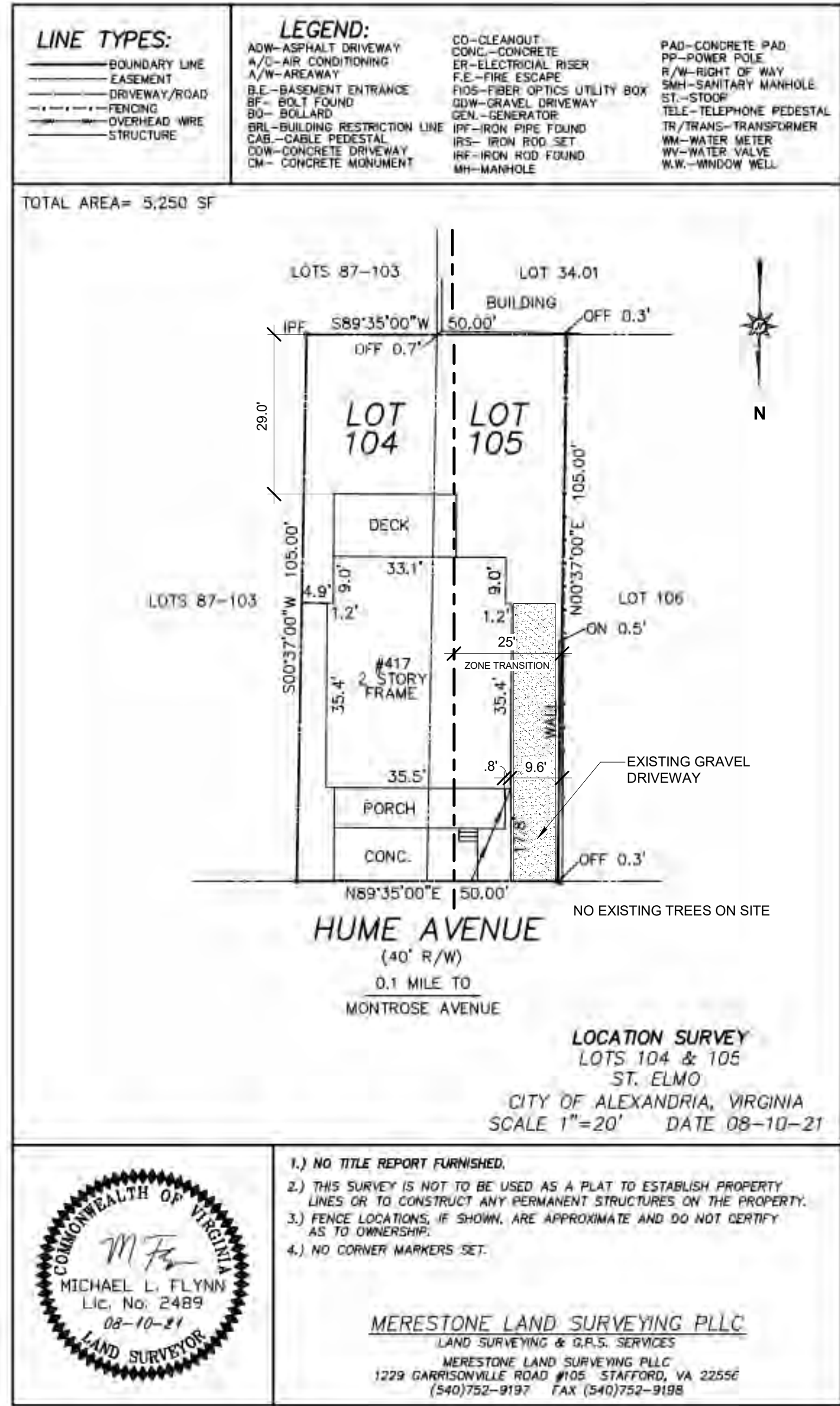
ARTICLE II DEFINITIONS:

SECTION 2-145 FLOOR AREA

B. FOR PROPERTIES EXCEPT FOR THOSE SPECIFIED IN SUBSECTION A. ABOVE, THE FLOOR AREA OF THE BUILDING OR BUILDINGS ON A LOT OR TRACT OR TRACT OF LAND (WHETHER MAIN OR ACCESSORY) IS THE SUM OF ALL GROSS HORIZONTAL AREAS UNDER ROOF ON A LOT. THESE AREAS SHALL BE MEASURED FROM THE EXTERIOR FACES OF WALLS OR ANY EXTENDED AREA UNDER ROOF. EXCLUDED FROM FLOOR AREA SHALL BE:

- (1) STAIRS AND ELEVATORS. THE TERM STAIRS INCLUDES RAMPS AND OTHER SIMILAR STRUCTURES DEEMED NECESSARY TO PROVIDE ACCESS TO PERSONS WITH DISABILITIES.
- (2) FLOOR SPACE USED FOR UTILITIES, WHICH MAY INCLUDE ACCESSORY WATER TANKS, COOLING TOWERS, MECHANICAL AND ELECTRICAL EQUIPMENT, AND ANY SIMILAR CONSTRUCTION NOT SUSCEPTIBLE TO STORAGE OR OCCUPANCY.
- (3) LAVATORIES OF WHICH ONLY A MAXIMUM OF 50 SQUARE FEET OF EACH LAVATORY CAN BE EXCLUDED. THE MAXIMUM TOTAL OF EXCLUDABLE AREA FOR LAVATORIES SHALL BE NO GREATER THAN OF TEN PERCENT OF GROSS FLOOR AREA.
- (7) SPACE UNDER OPEN BALCONIES AND SIMILAR STRUCTURES PROJECTING FROM A FLOOR ABOVE THE FIRST FLOOR UP TO A MAXIMUM OF DEPTH OF EIGHT FEET.
- (15) AREAS WITH A CEILING HEIGHT OF LESS THAN SEVEN FEET, EXCEPT IN AN ABOVE GRADE PARKING GARAGE CONSTRUCTED AFTER MARCH 17, 2018. AREAS IN A PARKING GARAGE CONSTRUCTED AFTER THAT DATE, REGARDLESS OF HEIGHT, MAY NOT BE EXCLUDED.

PLAT OF SURVEY - EXISTING CONDITIONS



BUILDING GROSS AREA TABULATION

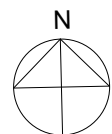
FLOOR AREA	EXISTING	NEW	CODE ALLOWABLE	TOTAL	USE GROUP
LEVEL 1	1,842 SF	0 SF	14,500 SF	1,398 SF	E
LEVEL 2	1,554 SF	0 SF	14,500 SF	1,554 SF	E
TOTAL : GROSS AREA	3,396 SF	0 SF	29,000 SF	3,378 SF	
* SQUARE FOOTAGE CALCULATIONS INCLUDE PHASE II : 120 SF.					

GREEN BUILDING POLICY STATEMENT

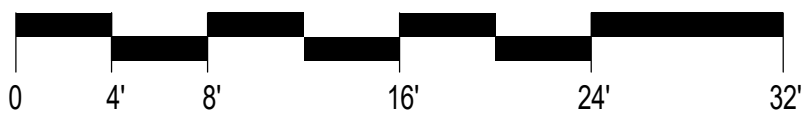
TO COMPLY WITH THE CITY'S GREEN BUILDING POLICY, THE EXISTING BUILDING ENVELOPE WILL BE RETROFITTED TO BE INSULATED BEYOND VCC ENERGY REQUIREMENTS. ADDITIONALLY, UPON COMPLETION OF THE WORK, AN EUI ANALYSIS WILL BE COMPLETED, AND WE PROPOSE TO PURSUE BUILDING CERTIFICATION UNDER THE U.S. EPA'S ENERGY STAR BUILDING CERTIFICATION PROGRAM.

MAGINNIS+  
DEL NINNO  
ARCHITECTS  
pc

500 Montgomery St, Ste 550,  
Alexandria, VA 22314  
P: 703/548-0460 mdnarch.com



Scale: 1/8" = 1'-0"



5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
NO.	DATE	DESCRIPTION
ISSUE		



Serving infants, toddlers, preschoolers  
and their families in Del Ray.

417 Hume Ave.  
Alexandria VA 22301

DRAWING TITLE:  
PLAT & ZONING COMPLIANCE

COMM. NO:  
210400

DRAWN :

Author

CHECKED :

Checker

SCALE:

As indicated

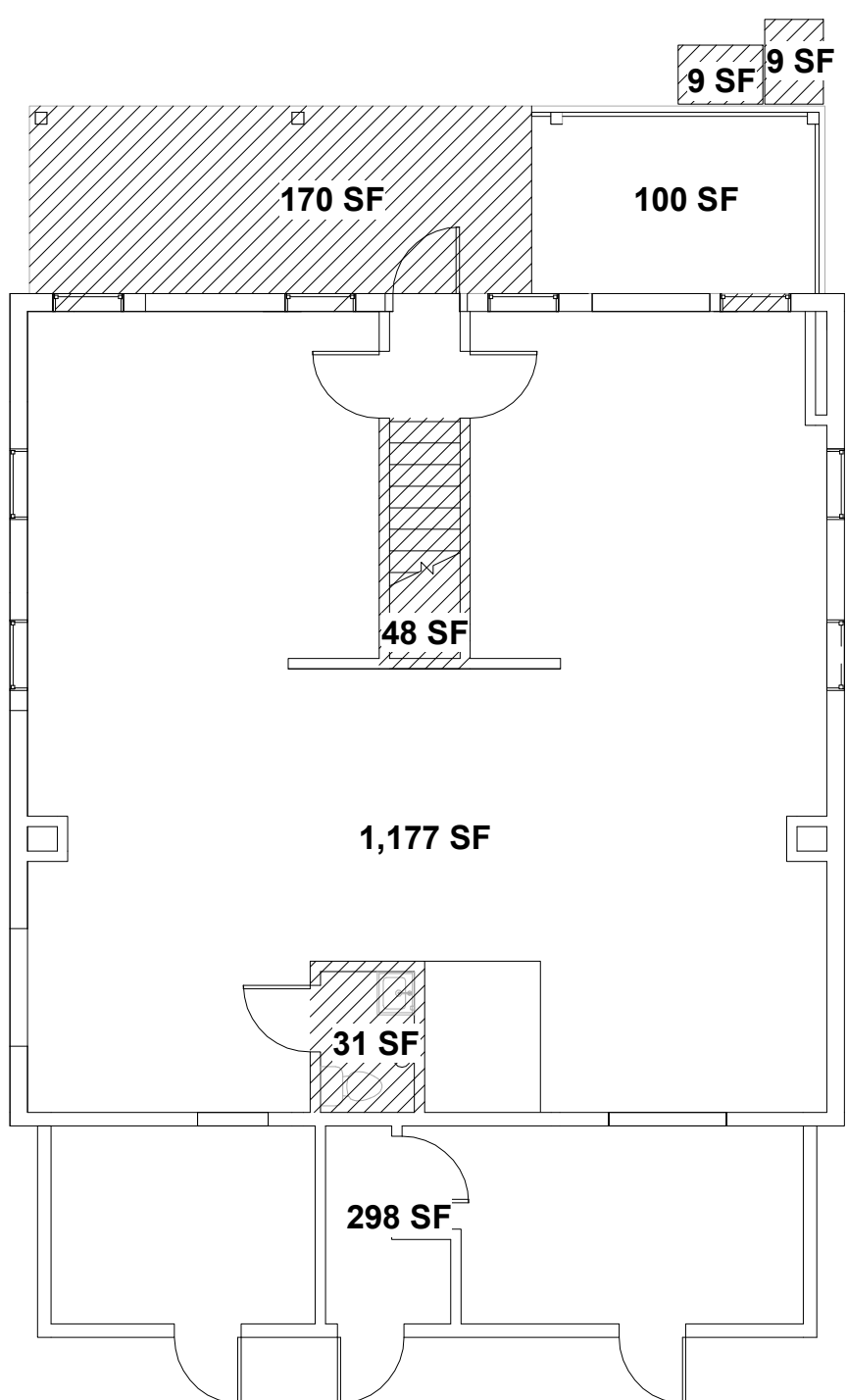
DATE:

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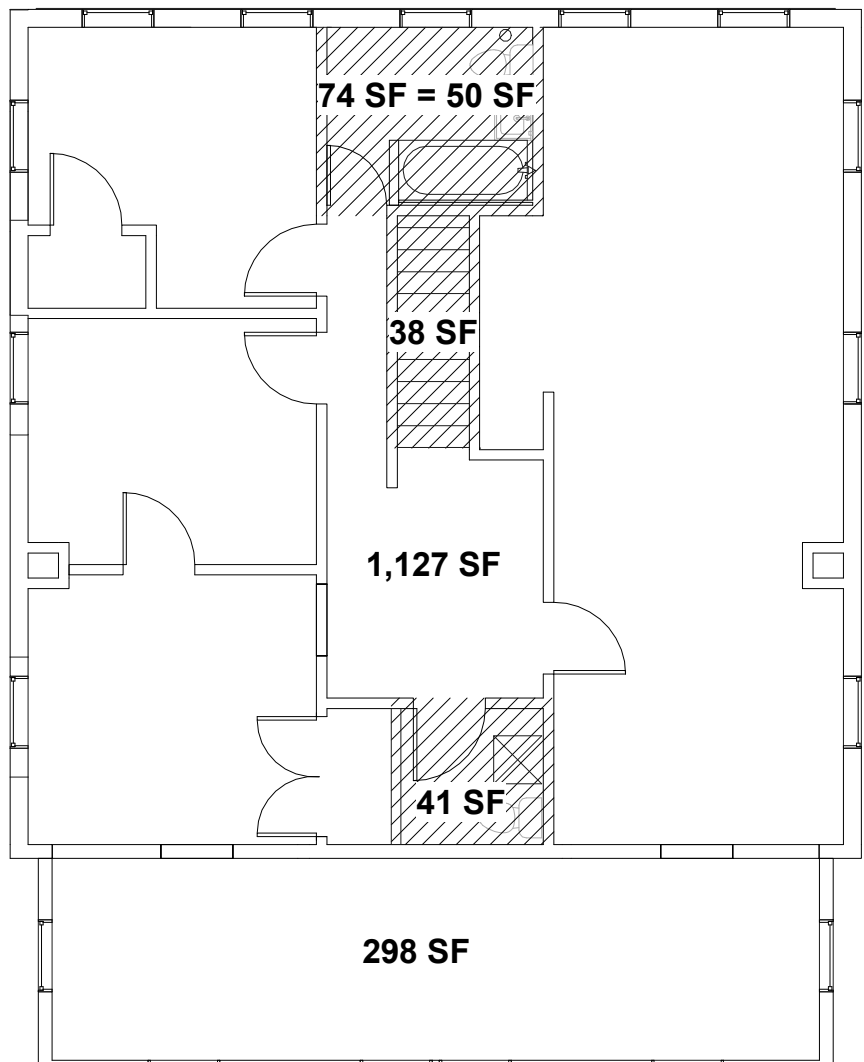
CODE.1



EXISTING FAR CALCULATION PLANS

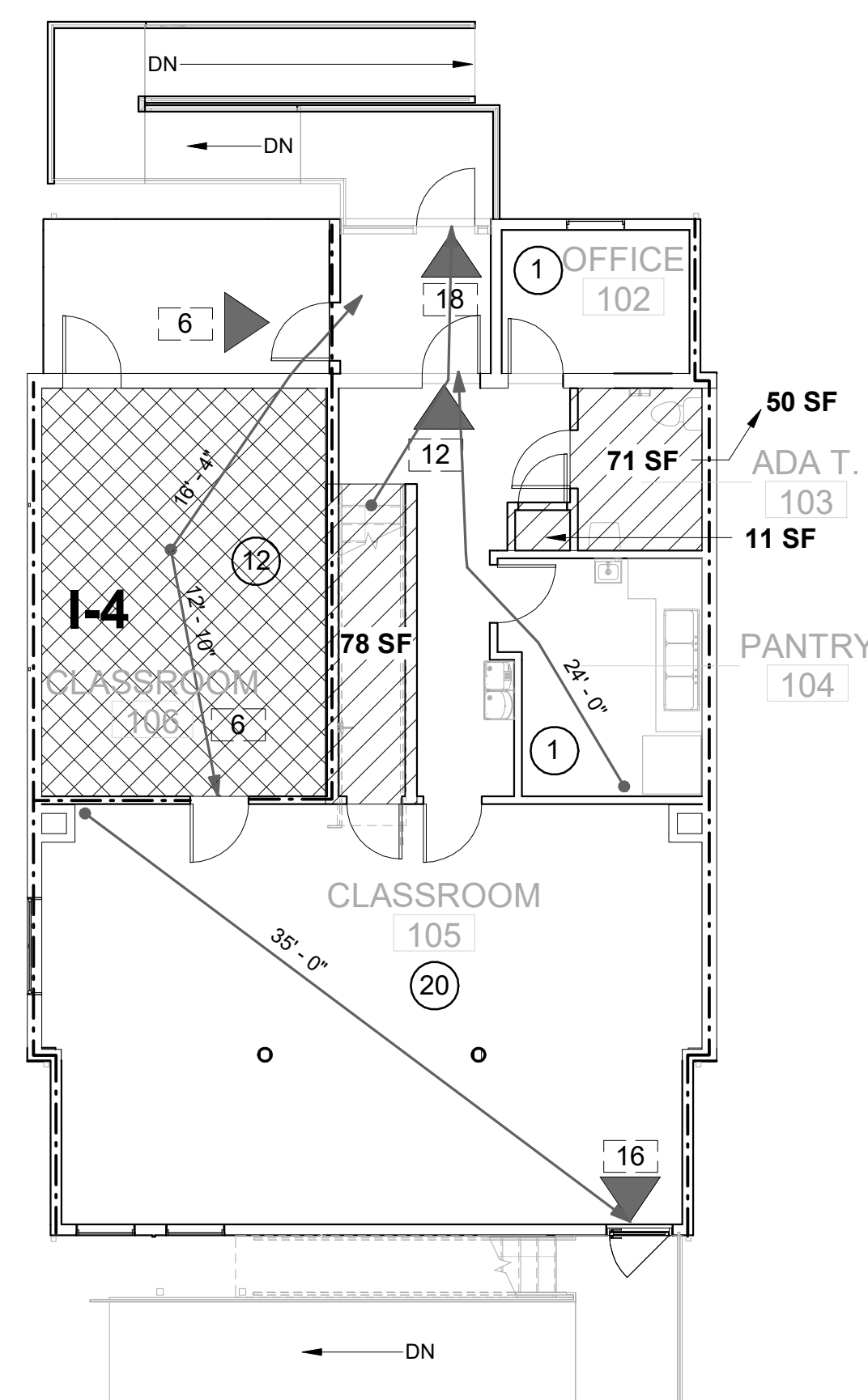


FIRST FLOOR PLAN

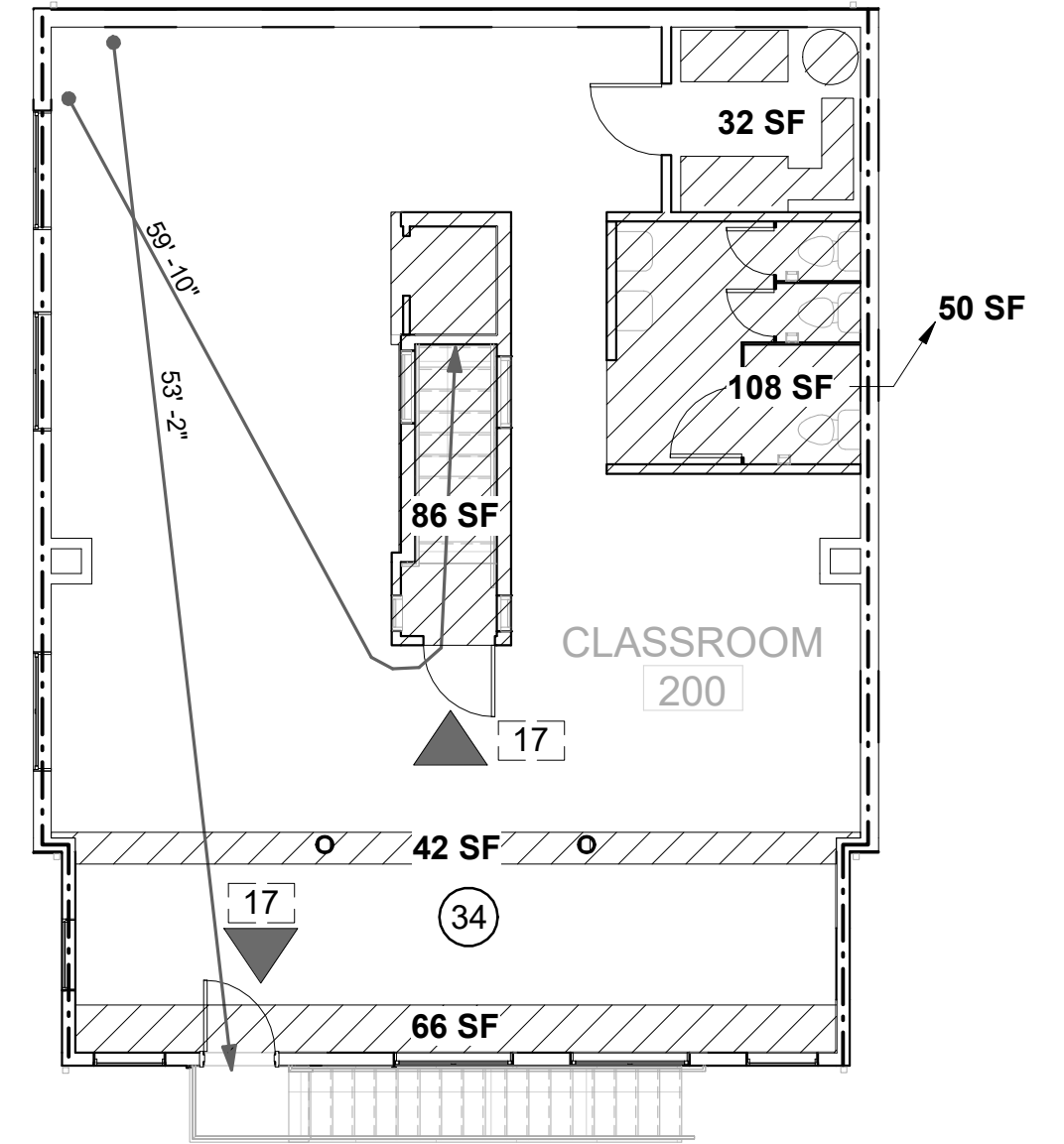


SECOND FLOOR PLAN

BUILDING CODE COMPLIANCE + FAR CALCULATION PLANS



FIRST FLOOR CODE PLAN



SECOND FLOOR CODE PLAN

MEANS OF EGRESS SIZING CODE REQUIREMENTS 1005.3.1

FOR USE GROUPS WITH A SPRINKLER SYSTEM AND EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM, THE EGRESS CAPACITY FACTOR FOR DOORS IS 0.15 INCHES PER OCCUPANT. (240 OCCUPANTS FOR A 3'-0" DOOR)

FOR OTHER THAN GROUPS H AND I-2 OCCUPANCIES, THE CAPACITY, IN INCHES (MM), OF MEANS OF EGRESS STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH STAIRWAY BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.2 INCH (5.1 MM) PER OCCUPANT IN BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.

TRAVEL DISTANCE: (TABLE 1016.1)

E - 250 FEET ALLOWED, XX PROPOSED COMMON PATH OF TRAVEL = 75 FT ALLOWED (1014.3), 59'-10" PROPOSED

I - 200 FEET ALLOWED, XX PROPOSED COMMON PATH OF TRAVEL = 75 FT ALLOWED (1014.3), 59'-10" PROPOSED

ADA T.

PANTRY

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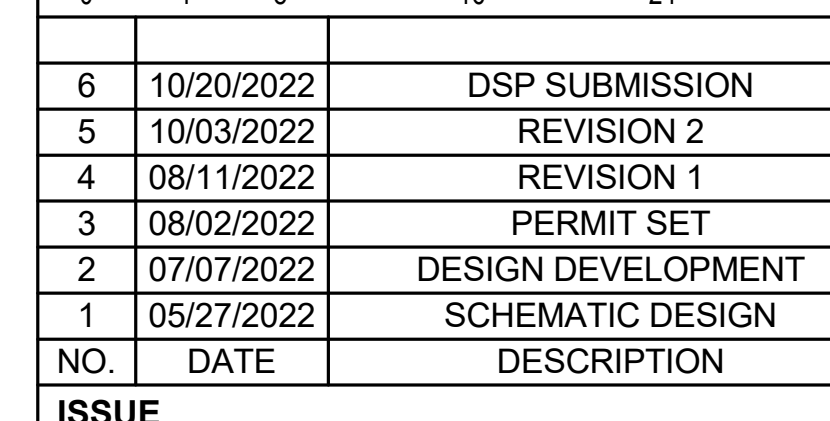
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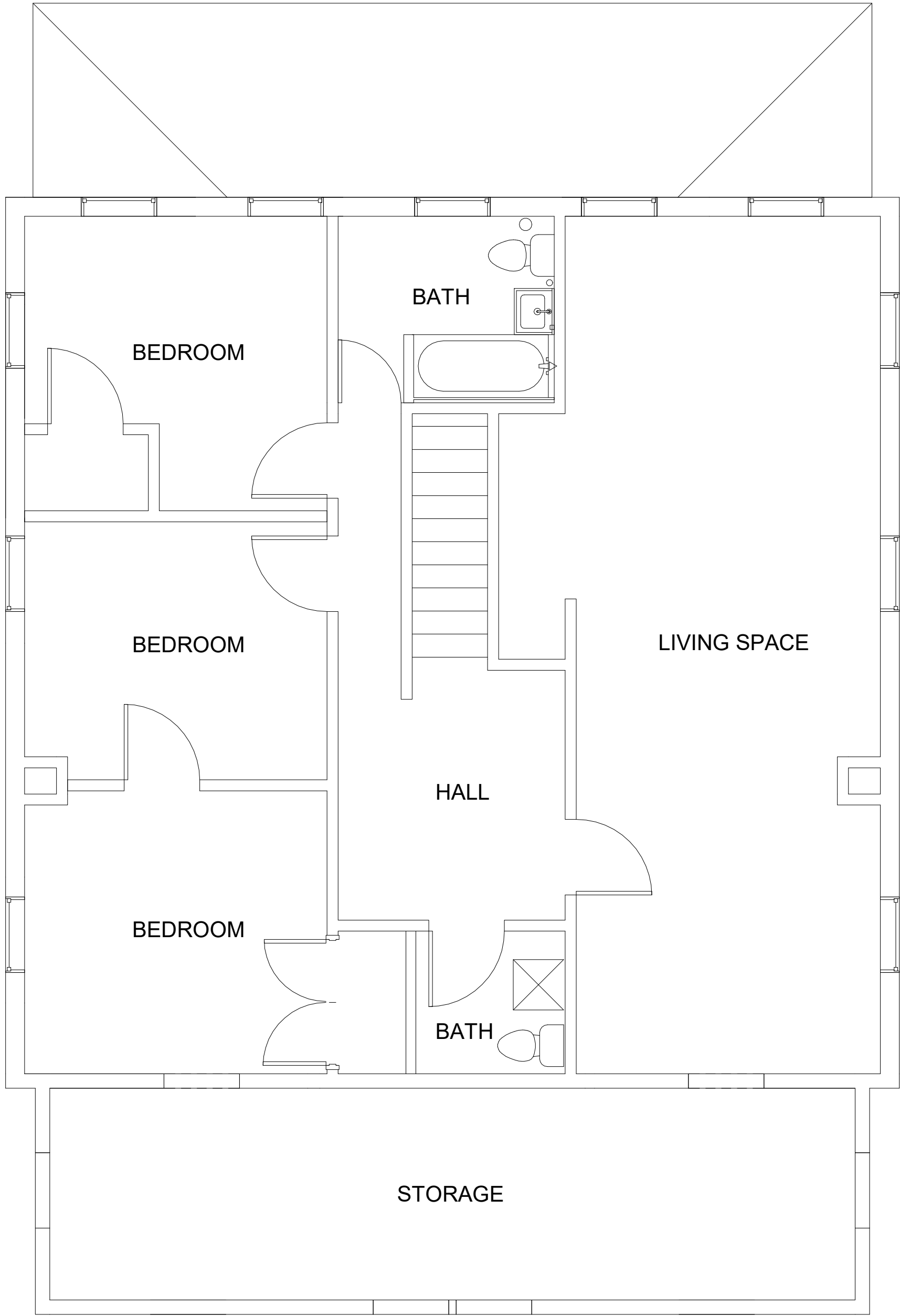




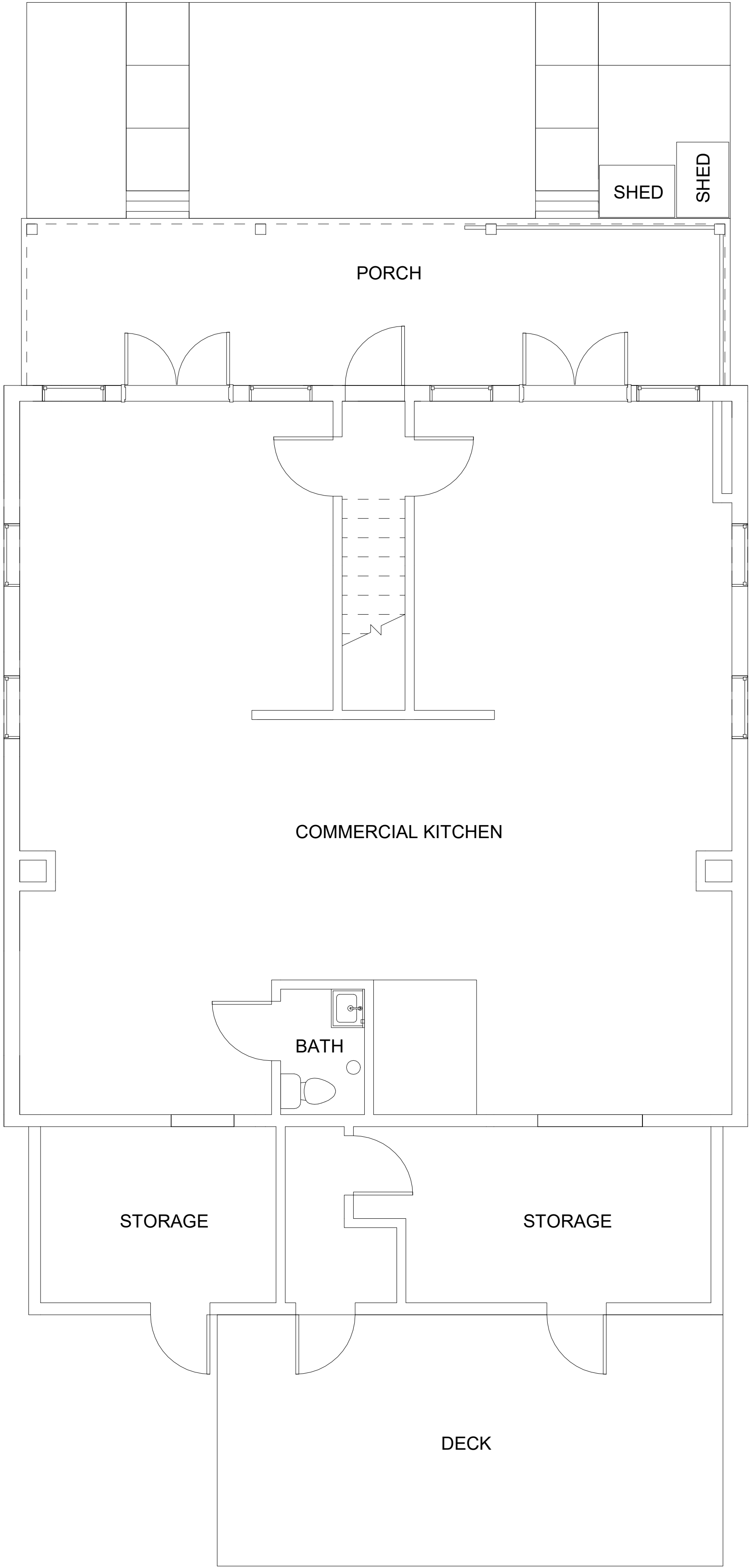


**DRAWING TITLE:**  
ARCHITECTURAL SITE AND  
ROOF PLAN

<b>COMM. NO:</b> 210400	<b>DRAWING NUMBER:</b>
<b>DRAWN :</b>  LS	
<b>CHECKED :</b>  ZS	
<b>SCALE:</b>  1/8" = 1'-0"	
<b>DATE:</b>	



**1**  
D1.0  
**SECOND FLOOR - EXISTING PLAN**  
1/4" = 1'-0"



**2**  
D1.0  
**FIRST FLOOR - EXISTING PLAN**  
1/4" = 1'-0"

**MAGINNIS+  
DEL NINNO  
ARCHITECTS**  
pc

500 Montgomery St. Ste 550,  
Alexandria, VA 22314  
P: 703/548-0460 mdnarch.com



1	10/20/2022	DSP SUBMISSION
NO.	DATE	DESCRIPTION
ISSUE		



417 Hume Ave.  
Alexandria VA 22301

**DRAWING TITLE:**  
**EXISTING PLANS**

COMM. NO:	DRAWING NUMBER:
210400	<b>D1.0</b>
<b>DRAWN :</b> Author	
<b>CHECKED :</b> Checker	
<b>SCALE:</b> 1/4" = 1'-0"	
<b>DATE:</b>	



- MAGNINISS+  
DEL NINNO  
ARCHITECTS  
pc

## KEYNOTES

4	10/20/2022	DSP SUBMISSION
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
NO.	DATE	DESCRIPTION
<b>ISSUE</b>		



**DRAWING TITLE:**  
DEMOLITION PLANS

**DRAWING TITLE:**  
DEMOLITION PLANS

**COMM. NO:**  
210400

**DRAWN :**  
LS

**CHECKED :**  
ZS

**SCALE:**  
As indicated

DATE:

**DRAWING NUMBER:**

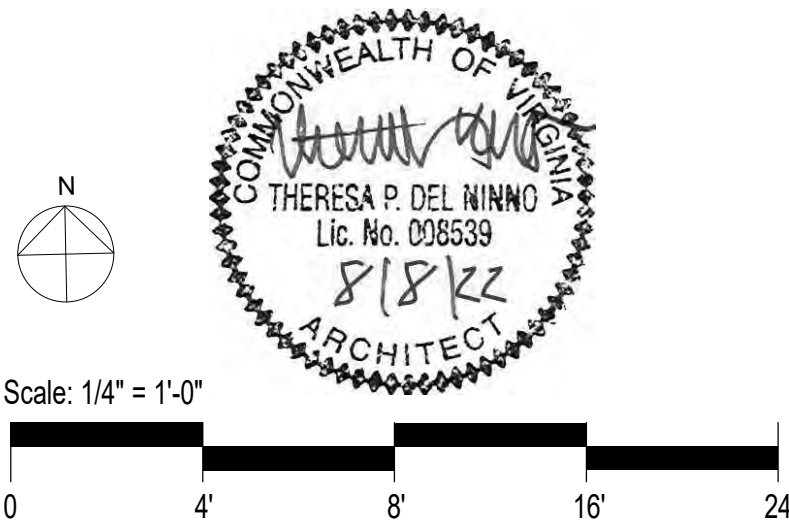
## D1.1

## KEYNOTES

- 01 PROVIDE PLUMBING CONNECTION. REFER TO PLUMBING DRAWINGS.
- 02 NEW RESILIENT FLOORING. REFER TO SPECIFICATIONS.
- 04 FIBER CEMENT LAP SIDING. REFER TO SPECIFICATIONS.
- 06 ALUMINUM AND GLASS STOREFRONT. REFER TO SPECIFICATIONS.
- 08 NEW WOOD STAIRS. REFER TO STRUCTURAL DRAWINGS.
- 09 ADA DRINKING FOUNTAIN WITH BOTTLE FILLER.
- 10 PLASTIC LAMINATE BASE AND WALL CABINETS.
- 14 NEW WINDOW ABOVE. 45 MINUTE GLASS. REFER TO SHEET A.6.2.
- 15 EXISTING CONCRETE SLAB. FILL, PATCH, AND SMOOTH, AND SEAL AS REQUIRED TO CREATE SEAMLESS SURFACE.
- 43 PORCELAIN TILE FLOORING. REFER TO SPECIFICATIONS.
- 44 GWB COLUMN WRAP. PTD.
- 47 UNDERGROUND STORM TO CURB.
- 61 NEW VINYL PRIVACY FENCE.
- 62 HOSE BIBB. REFER TO PLUMBING DRAWINGS.
- 67 MOSAIC TILE AT SHOWER.
- 68 PROVIDE SHOWERHEAD AND RECTANGULAR DRAIN.

## GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF WALL. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
2. COORDINATE FTD WITH OWNER.
3. ALL WINDOWS TO INCLUDE ROLLER SHADES. REFER TO SPECIFICATIONS.
4. PATCH AND REPAIR ALL EXISTING WALLS, BRICK.



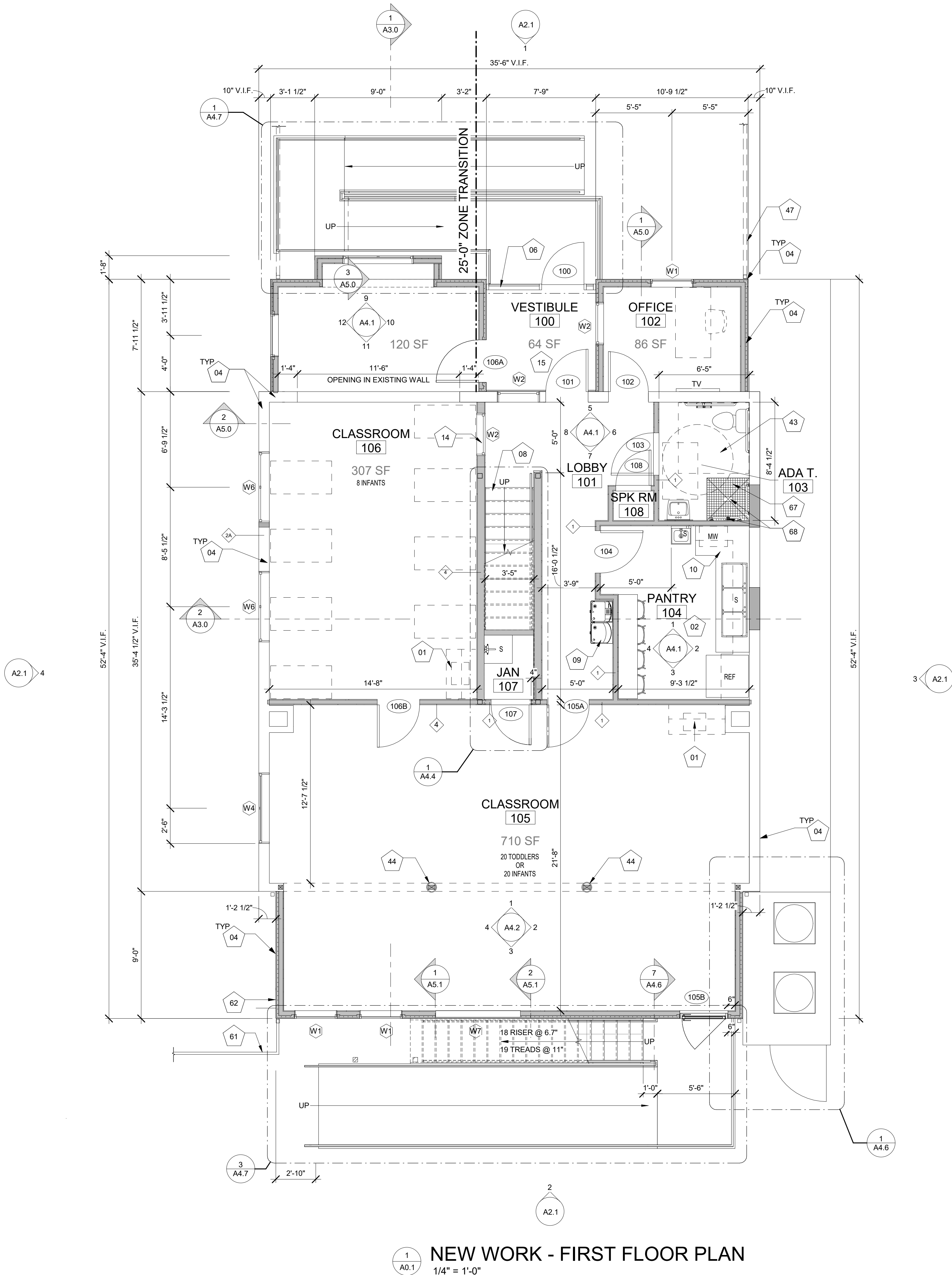
NO.	DATE	DESCRIPTION
6	10/20/2022	DSP SUBMISSION
5	10/03/2022	REVISION 2
4	08/11/2022	REVISION 1
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN
ISSUE		



417 Hume Ave.  
Alexandria VA 22301

**DRAWING TITLE:**  
NEW WORK - FIRST FLOOR  
PLAN

COMM. NO:	DRAWING NUMBER:
210400	A0.1
<b>DRAWN :</b> LS	
<b>CHECKED :</b> ZS	
<b>SCALE:</b> 1/4" = 1'-0"	
<b>DATE:</b>	



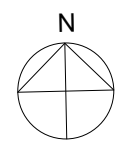


## KEYNOTES

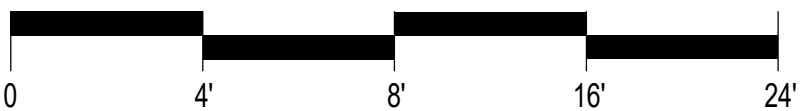
- |    |  |
|----|--|
| 01 | PROVIDE PLUMBING CONNECTION. REFER TO PLUMBING DRAWINGS.                         |
| 02 | NEW RESILIENT FLOORING. REFER TO SPECIFICATIONS                                  |
| 04 | FIBER CEMENT LAP SIDING. REFER TO SPECIFICATIONS                                 |
| 05 | STANDING SEAM METAL ROOFING. REFER TO SPECIFICATIONS                             |
| 08 | NEW WOOD STAIRS. REFER TO STRUCTURAL DRAWINGS                                    |
| 17 | BY OWNER   |
| 32 | ACCESS CEILING HATCH WITH PULL DOWN STAIRS                                       |
| 38 | MECHANICAL UNIT ON HOUSEKEEPING PAD. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS |
| 44 | GWB COLUMN WRAP, PTD.  |

## GENERAL NOTES

- DIMENSIONS ARE TO FACE OF WALL. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
- COORDINATE FTD WITH OWNER.
- ALL WINDOWS TO INCLUDE ROLLER SHADES. REFER TO SPECIFICATIONS.
- PATCH AND REPAIR ALL EXISTING WALLS, BRICK.



Scale: 1/4" = 1'-0"



NO.	DATE	DESCRIPTION
5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
3	08/02/2022	PERMIT SET
2	07/07/2022	DESIGN DEVELOPMENT
1	05/27/2022	SCHEMATIC DESIGN

### ISSUE



Serving infants, toddlers, preschoolers  
and their families in Del Ray.

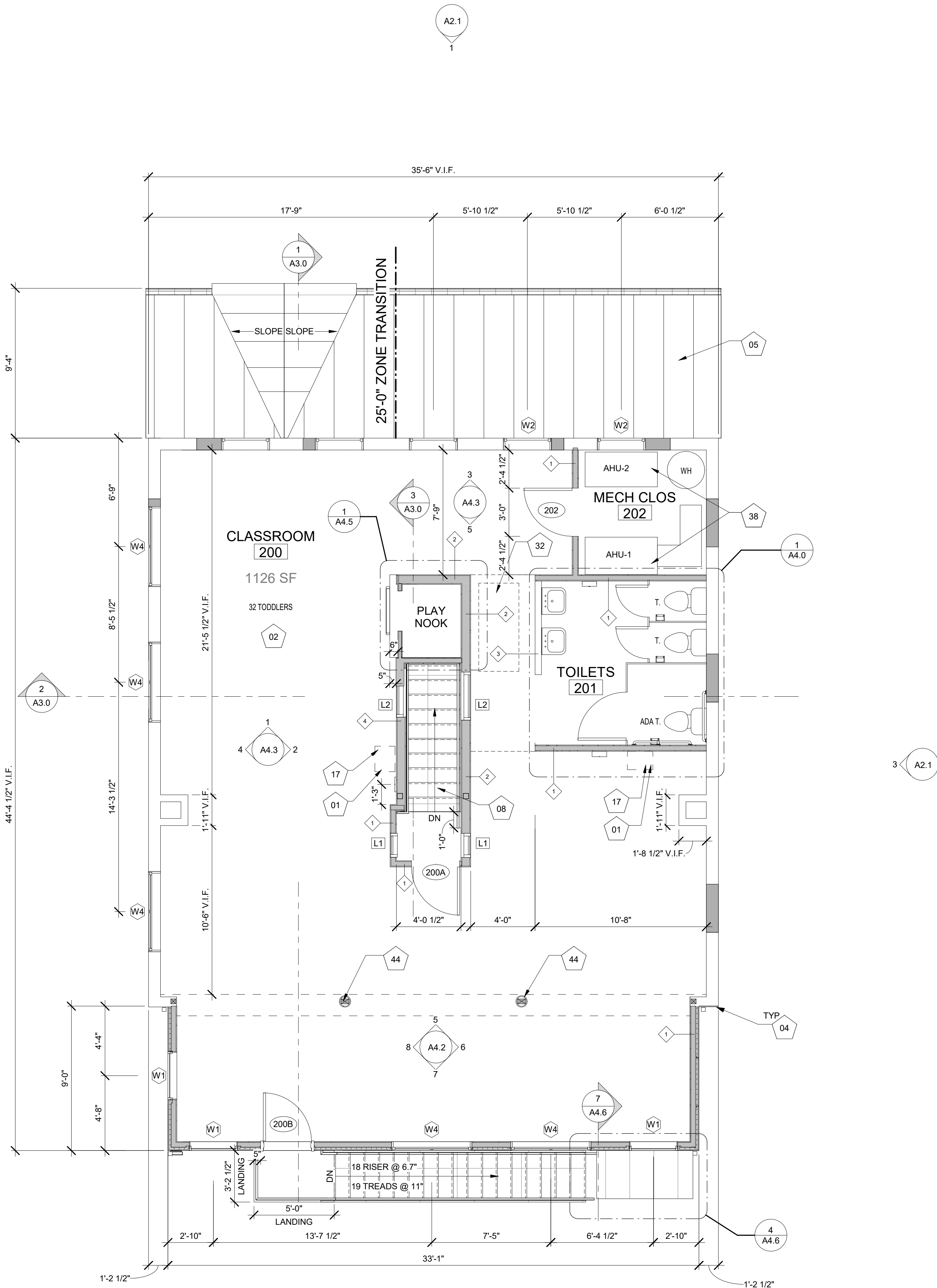
417 Hume Ave.  
Alexandria VA 22301

**DRAWING TITLE:**  
NEW WORK - SECOND FLOOR  
PLAN

**COMM. NO:**  
210400  
**DRAWN :**  
LS  
**CHECKED :**  
ZS  
**SCALE:**  
1/4" = 1'-0"  
**DATE:**

**DRAWING NUMBER:**

A0.2

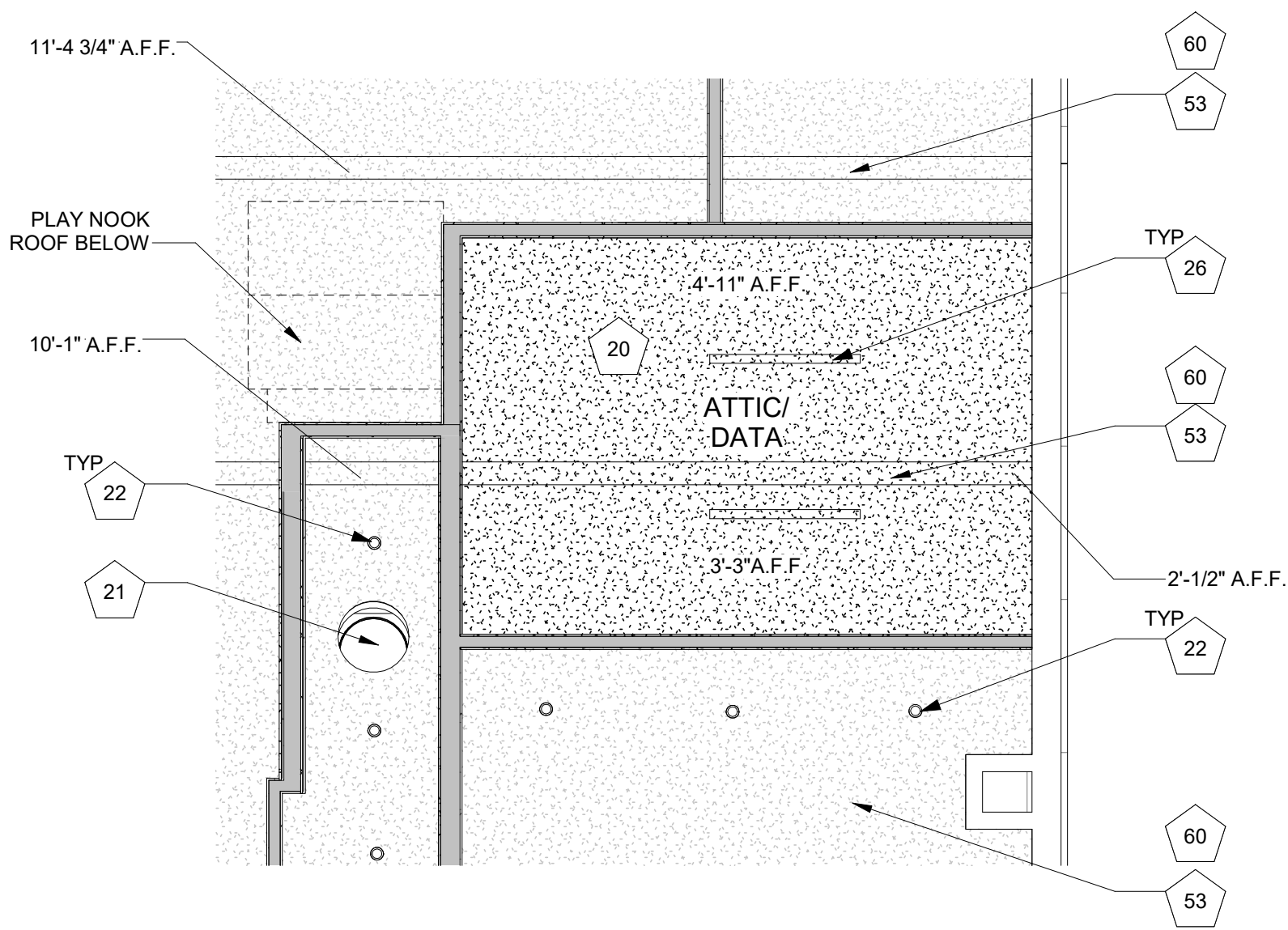


## NEW WORK - SECOND FLOOR PLAN

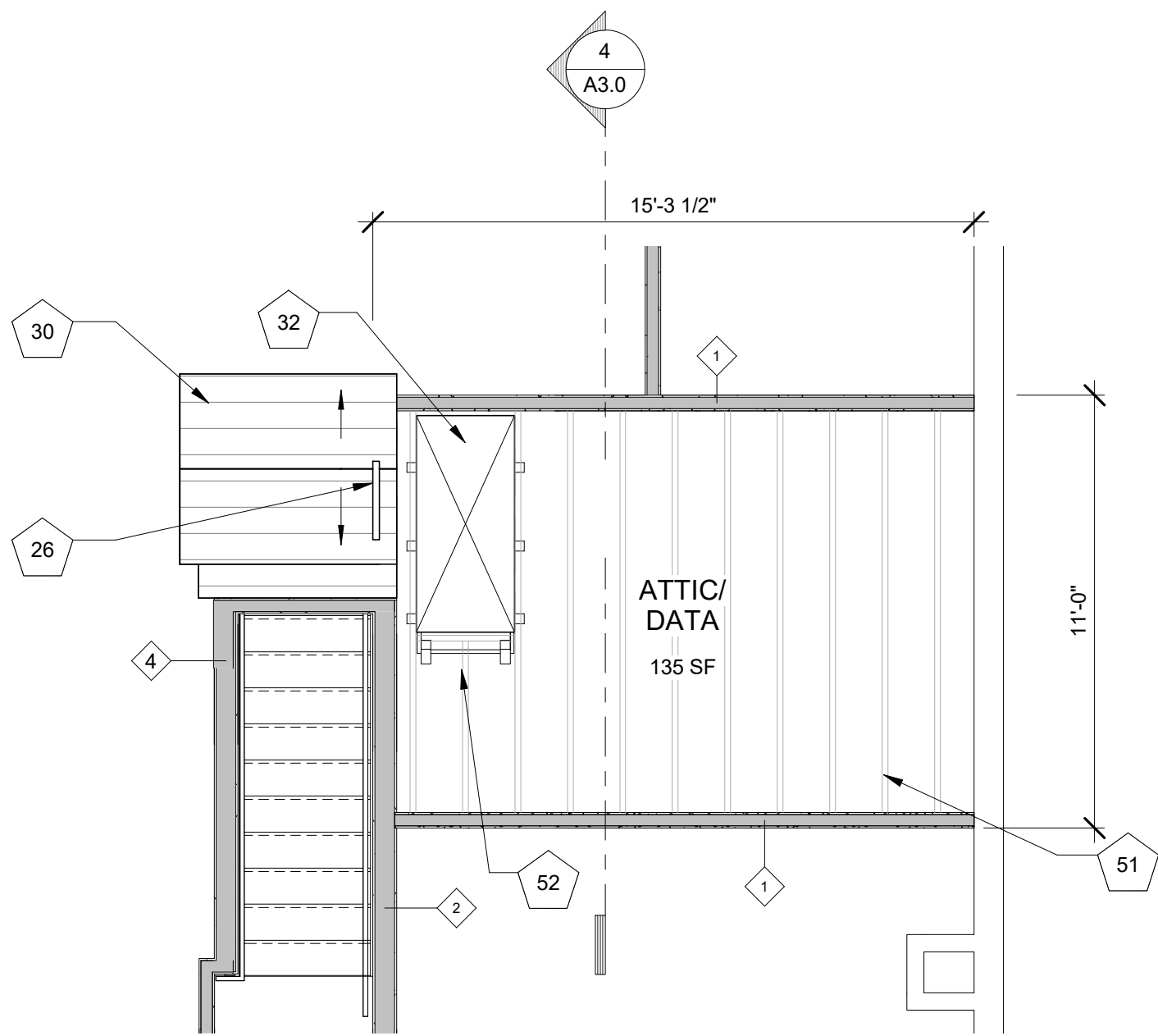
1/4" = 1'-0"

KEYNOTES

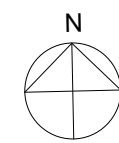
- 20 NEW GWB CEILING, PTD. REFER TO SPECIFICATIONS
- 21 TUBULAR SKYLIGHT
- 22 RECESSED DOWNLIGHT FIXTURE, REFER TO SPECIFICATIONS
- 26 SURFACE MOUNTED LIGHT FIXTURE, REFER TO SPECIFICATIONS
- 30 PLAY NOOK ROOF
- 32 ACCESS CEILING HATCH WITH PULL DOWN STAIRS
- 51 2X10 MEZZANINE JOISTS @16" O.C. REFER TO STRUCTURAL DRAWINGS
- 52 2X10, REFER TO STUCTURAL DRAWINGS
- 53 7X20 LVLs, REFER TO STUCTURAL DRAWINGS
- 60 NEW GWB AROUND ALL CEILING STRUCTURAL MEMBERS, PTD.



2 ATTIC REFLECTED CEILING PLAN  
A1.0 1/4" = 1'-0"



1 ATTIC PLAN  
A1.0 1/4" = 1'-0"



Scale: 1/4" = 1'-0"



NO.	DATE	DESCRIPTION
4	10/20/2022	DSP SUBMISSION
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1	05/27/2022	SCHEMATIC DESIGN

ISSUE



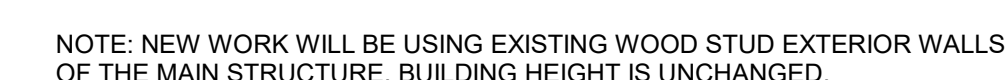
Serving infants, toddlers, preschoolers  
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Alexandria VA 22301

DRAWING TITLE:  
ATTIC PLANS

COMM. NO: 210400	DRAWING NUMBER:  A1.0
DRAWN : LS	
CHECKED : ZS	
SCALE: 1/4" = 1'-0"	
DATE:	





2	10/20/2022	DSP SUBMISSION
1	10/03/2022	REVISION 2
NO.	DATE	DESCRIPTION
<b>ISSUE</b>		



Serving infants, toddlers, preschoolers  
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**DRAWING TITLE:**  
EXISTING ELEVATIONS

<b>COMM. NO:</b> 210400	<b>DRAWING NUMBER:</b>
<b>DRAWN :</b> Author	
<b>CHECKED :</b> Checker	
<b>SCALE:</b> 1/4" = 1'-0"	
<b>DATE:</b>	

## KEYNOTES

- 03 WOOD RAMP WITH DARK BRONZE ANODIZED ALUMINUM HANDRAILS
- 04 FIBER CEMENT LAP SIDING. REFER TO SPECIFICATIONS
- 05 STANDING SEAM METAL ROOFING. REFER TO SPECIFICATIONS
- 07 WOOD STAIRS WITH ANODIZED DARK BRONZE ALUMINUM HANDRAILS
- 21 TUBULAR SKYLIGHT
- 27 WALL MOUNTED LIGHT FIXTURE. REFER TO SPECIFICATIONS
- 35 NEW PREMANUFACTURED CANOPY
- 38 MECHANICAL UNIT ON HOUSEKEEPING PAD. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS
- 41 NEW CHAIN LINK FENCE ENCLOSURE WITH LOCKABLE GATE FOR MECHANICAL UNITS
- 49 ALUMINUM GUTTER AND DOWNSPOUT
- 50 ARCHITECTURAL PANEL SIDING. REFER TO SPECIFICATIONS
- 58 NEW SNOW GUARD
- 61 NEW VINYL PRIVACY FENCE
- 63 WOOD RAMP WITH ANODIZED DARK BRONZE ALUMINUM HANDRAILS
- 64 NEW TPO ROOFING
- 65 1/2" THICK CAST ALUMINUM LETTERS WITH BAKED KYNAR FINISH ON ANODIZED ALUMINUM RODS
- 66 ETCHED ALUMINUM PLAQUE WITH BAKED KYNAR FINISH ON STAINLESS STEEL POST MOUNTS



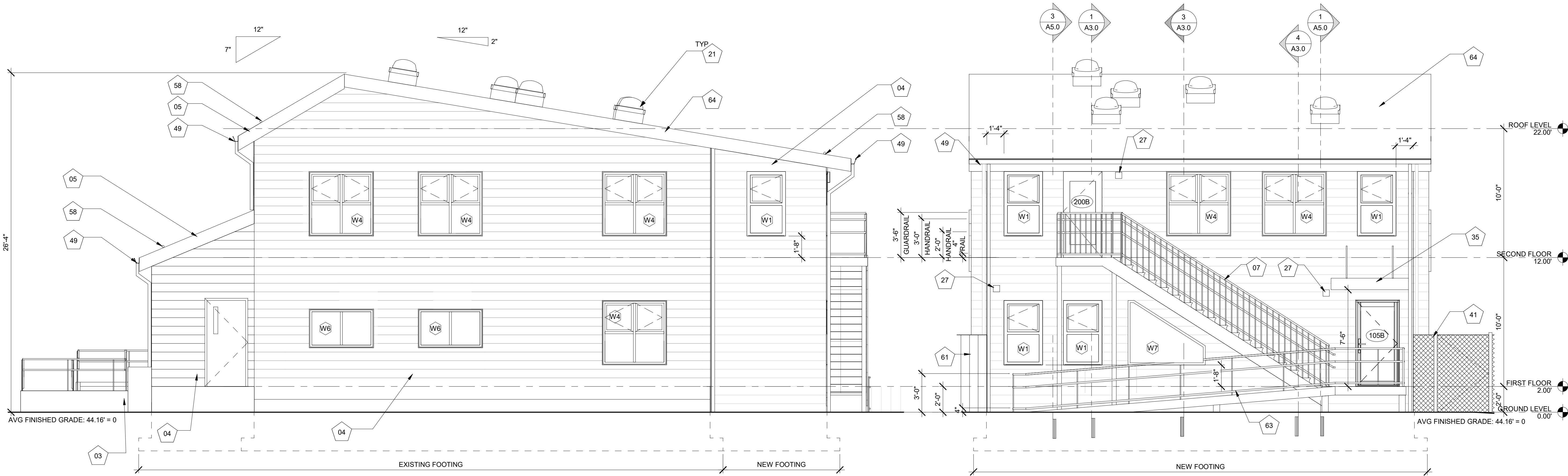
NO.	DATE	DESCRIPTION
6	10/20/2022	DSP SUBMISSION
5	10/03/2022	REVISION 2
4	08/11/2022	REVISION 1
3	08/02/2022	PERMIT SET
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1	05/27/2022	SCHEMATIC DESIGN

**Discovery Time**  
Learning Center  
Support to Guide & Empower  
Serving infants, toddlers, preschoolers  
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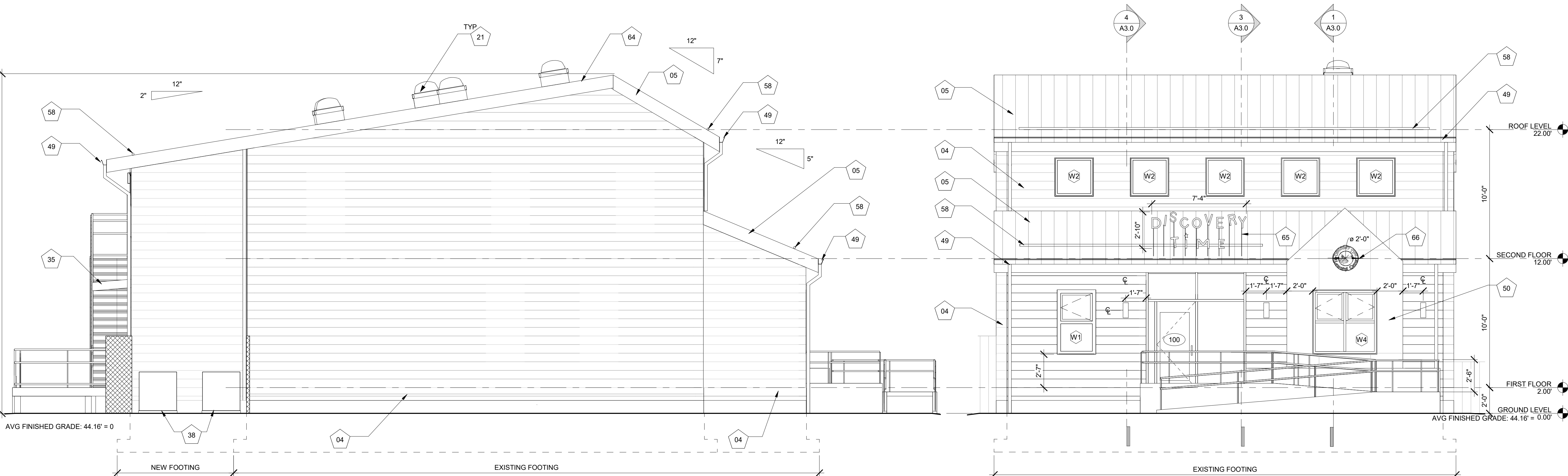
**DRAWING TITLE:**  
PROPOSED BUILDING  
ELEVATIONS

<b>COMM. NO:</b> 210400	<b>DRAWING NUMBER:</b>
<b>DRAWN :</b> ZS	<b>A2.1</b>
<b>CHECKED :</b> Checker	
<b>SCALE:</b> 1/4" = 1'-0"	
<b>DATE:</b>	



**WEST ELEVATION**  
1/4" = 1'-0"

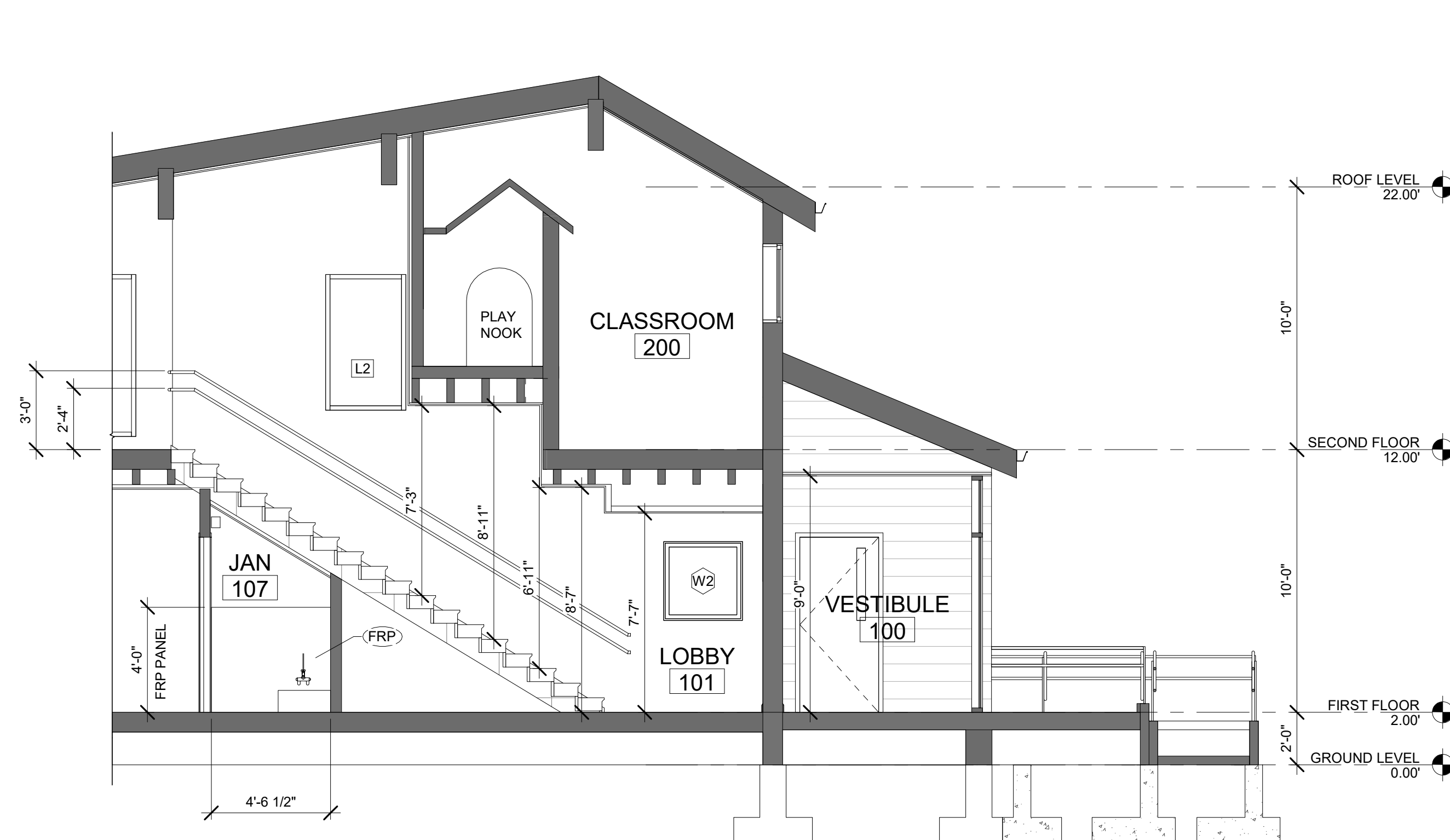
**SOUTH ELEVATION**  
1/4" = 1'-0"



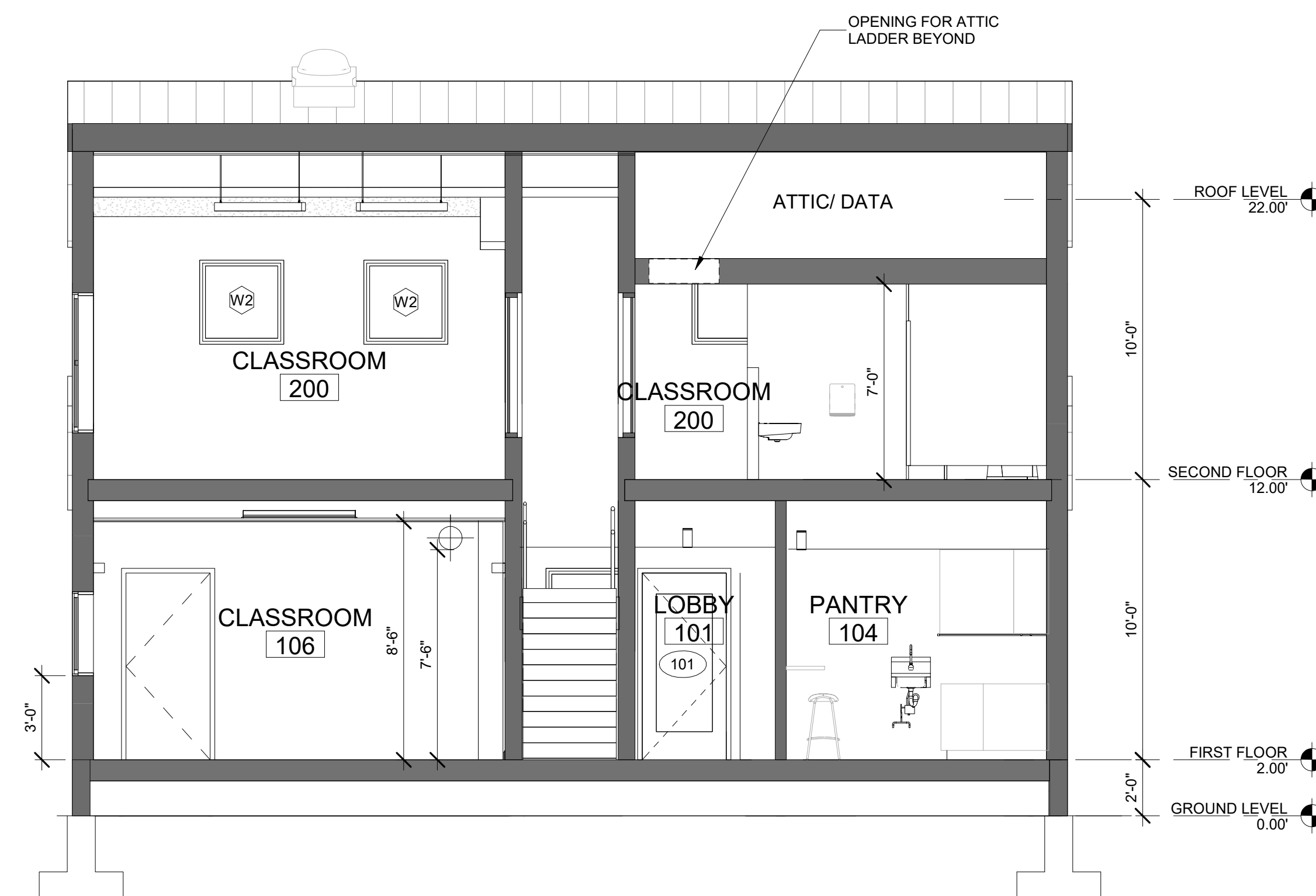
**EAST ELEVATION**  
1/4" = 1'-0"

**NORTH ELEVATION**  
1/4" = 1'-0"

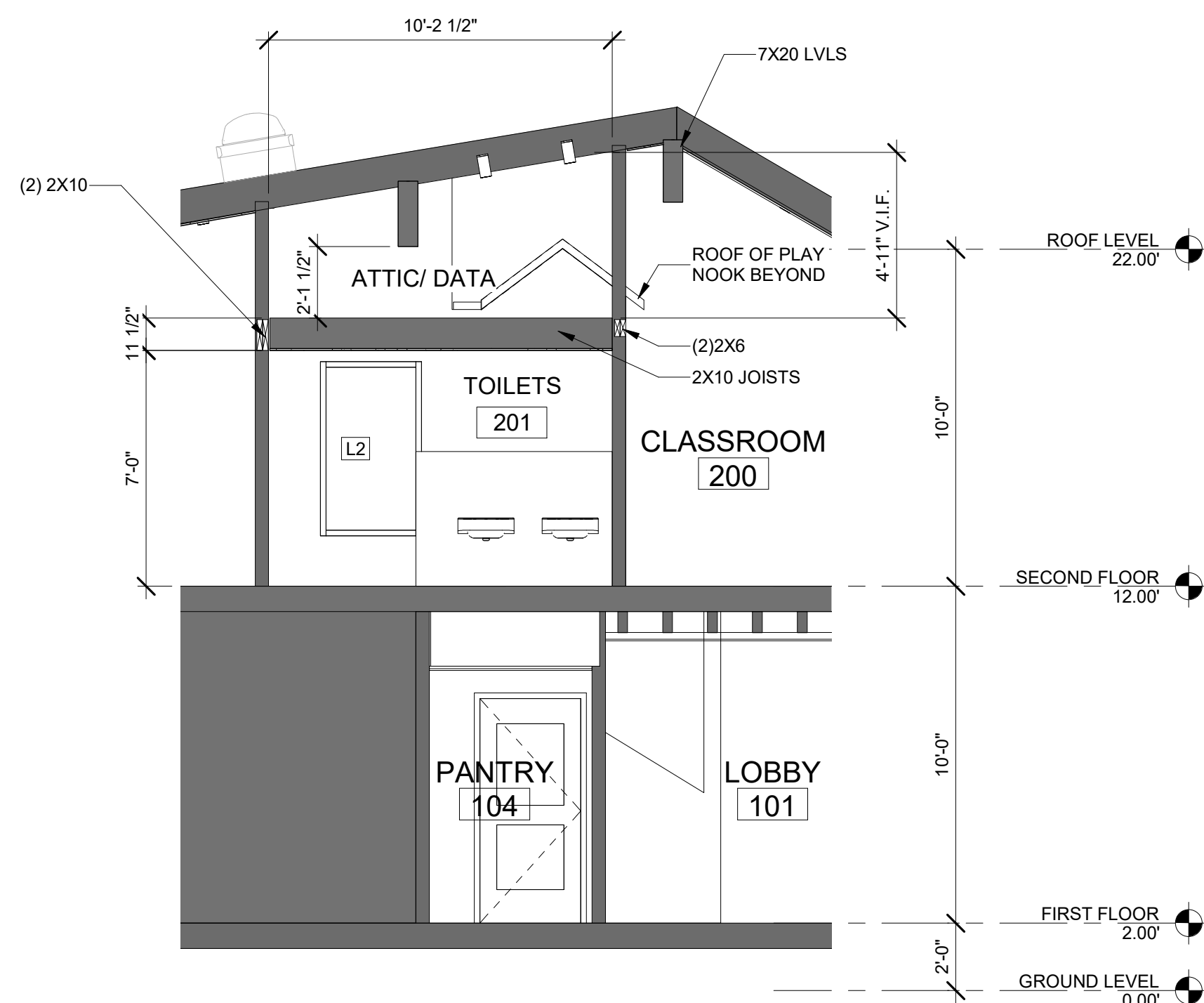




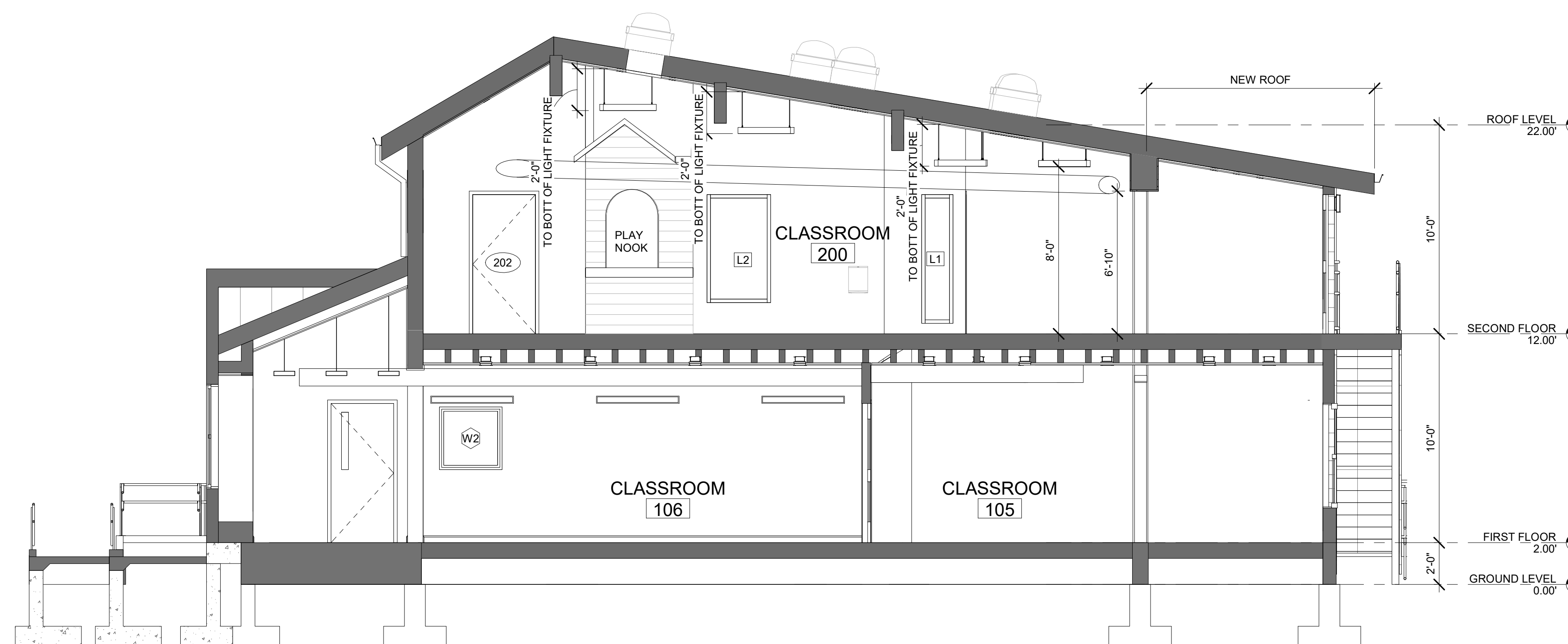
3  
A3.0  
BUILDING SECTION C  
1/4" = 1'-0"



2  
A3.0  
BUILDING SECTION B  
1/4" = 1'-0"



4  
A3.0  
BUILDING SECTION D  
1/4" = 1'-0"



1  
A3.0  
BUILDING SECTION A  
1/4" = 1'-0"

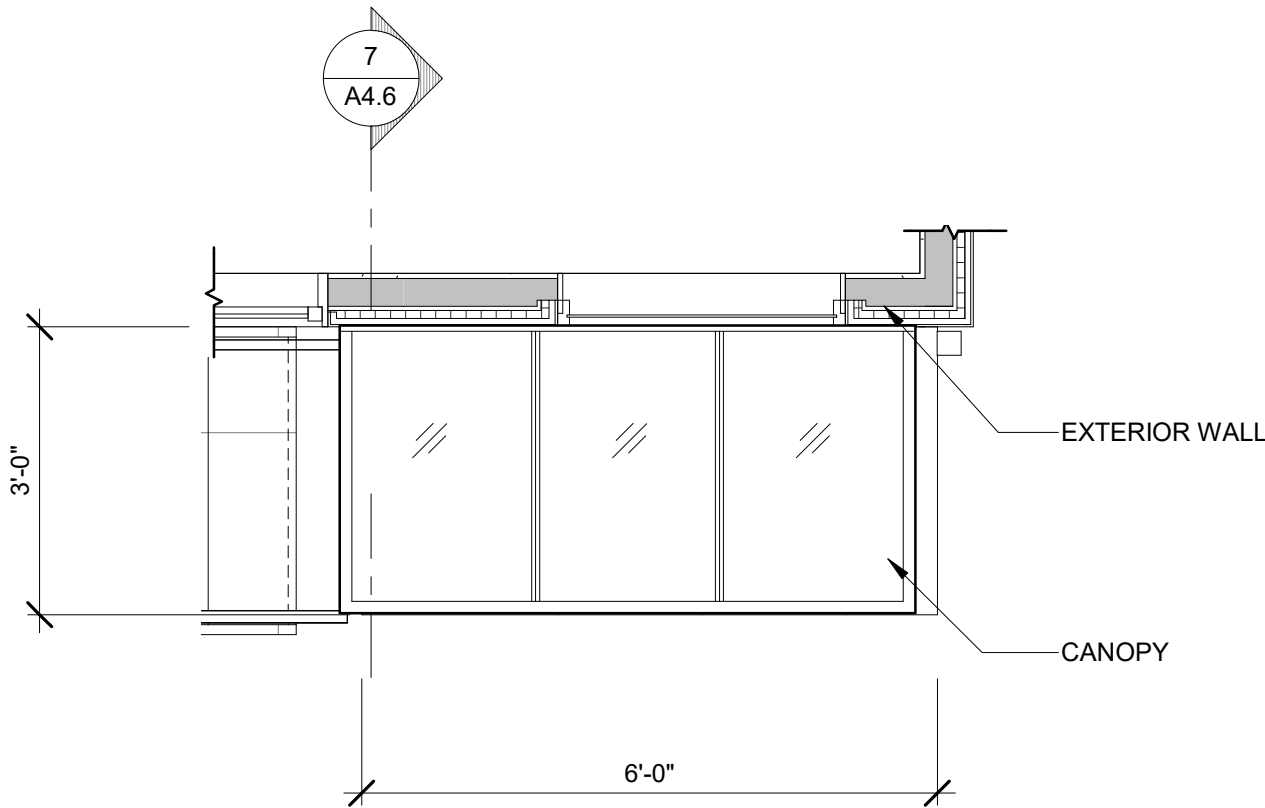


NO.	DATE	DESCRIPTION
5	10/20/2022	DSP SUBMISSION
4	10/03/2022	REVISION 2
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1	05/27/2022	SCHEMATIC DESIGN

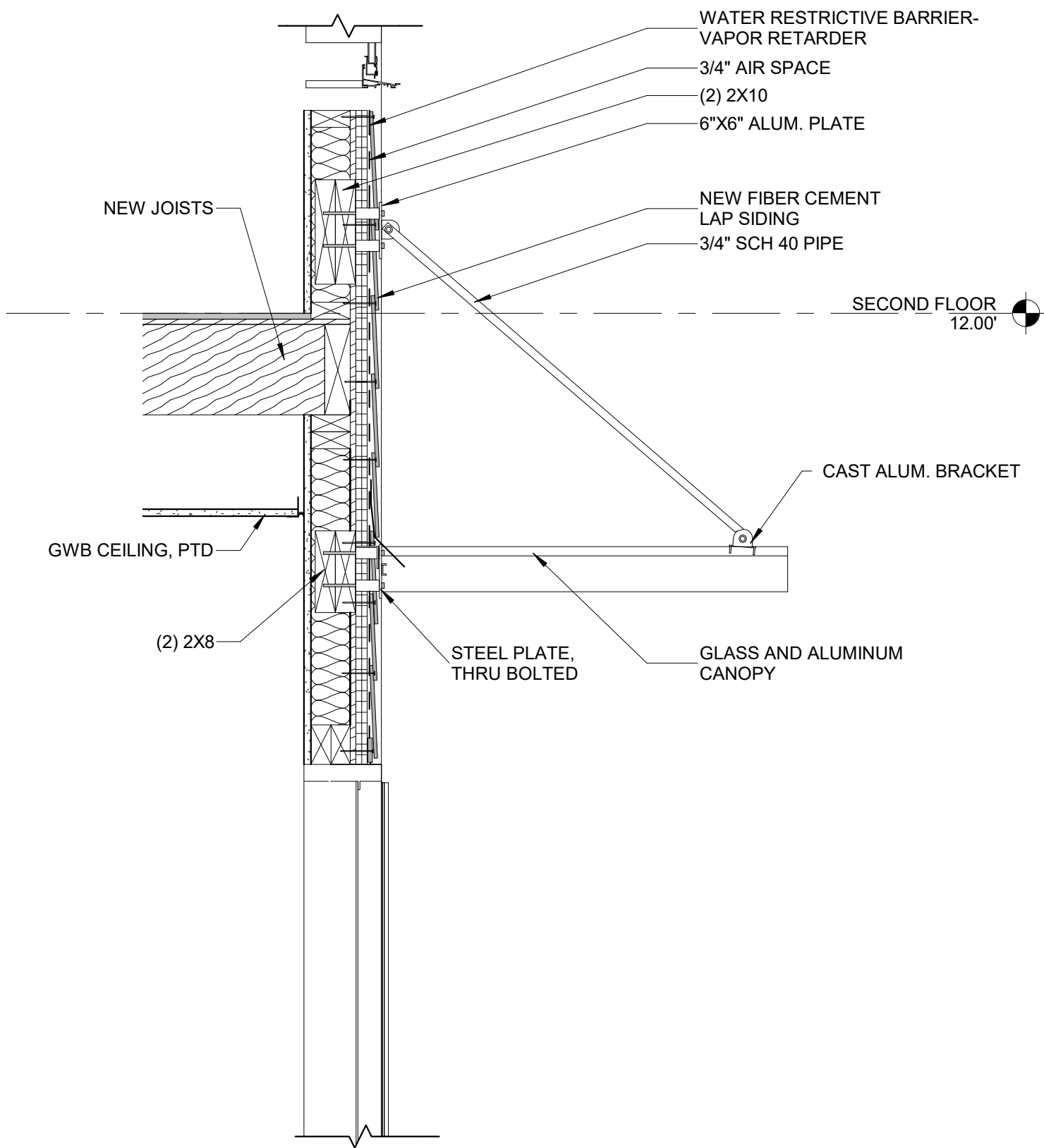
**Discovery Time**  
Learning Center  
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and their families in Del Rey.  
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DRAWING TITLE:  
BUILDING SECTIONS

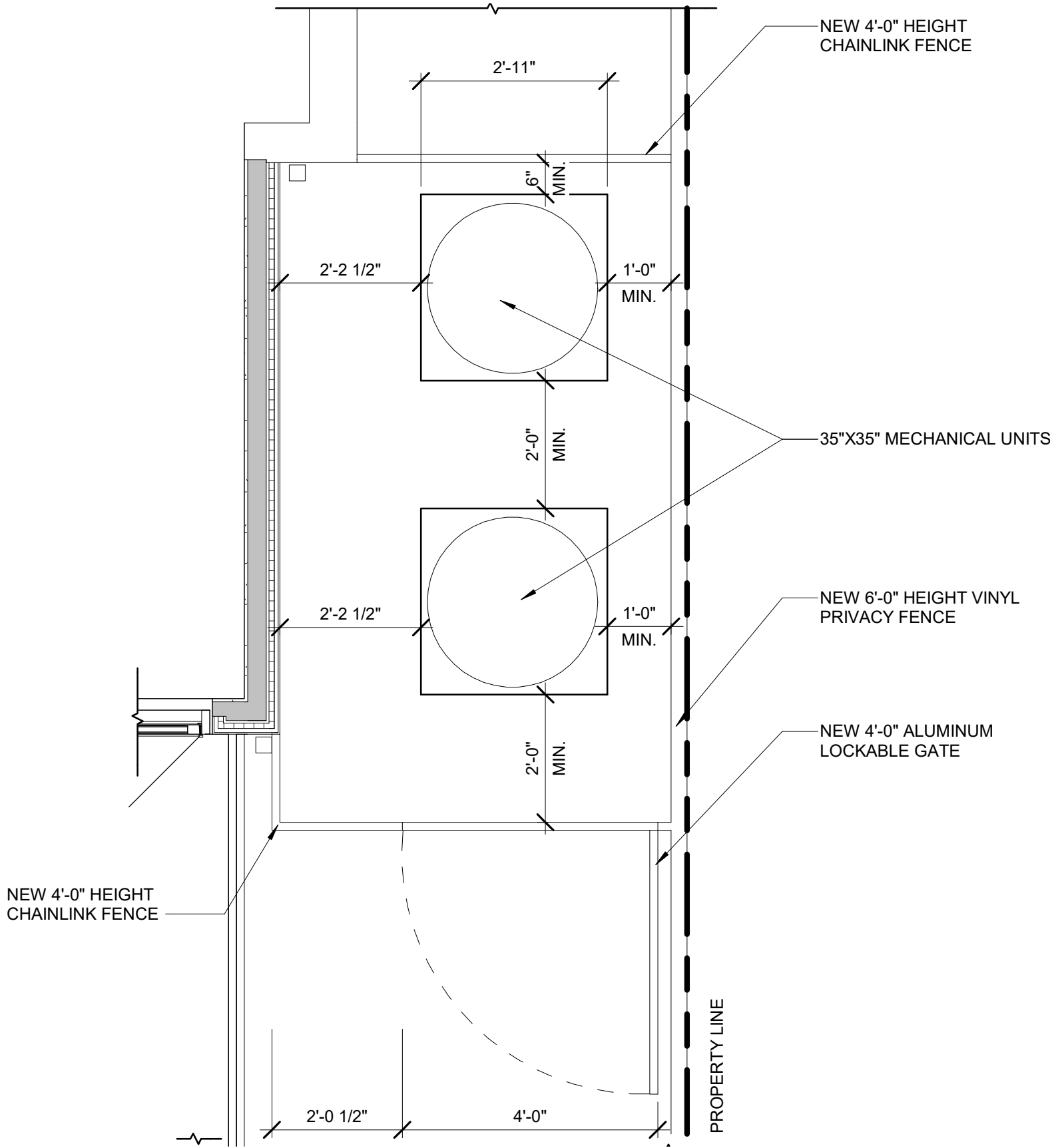
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DRAWN : Author	A3.0
CHECKED : Checker	
SCALE: 1/4" = 1'-0"	
DATE:	



4  
A4.6  
CANOPY PLAN  
1/2" = 1'-0"



7  
A4.6  
CANOPY SECTION  
1" = 1'-0"



1  
A4.6  
MECHANICAL ENCLOSURE PLAN  
1/2" = 1'-0"



NO.	DATE	DESCRIPTION
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1	05/27/2022	SCHEMATIC DESIGN
ISSUE		



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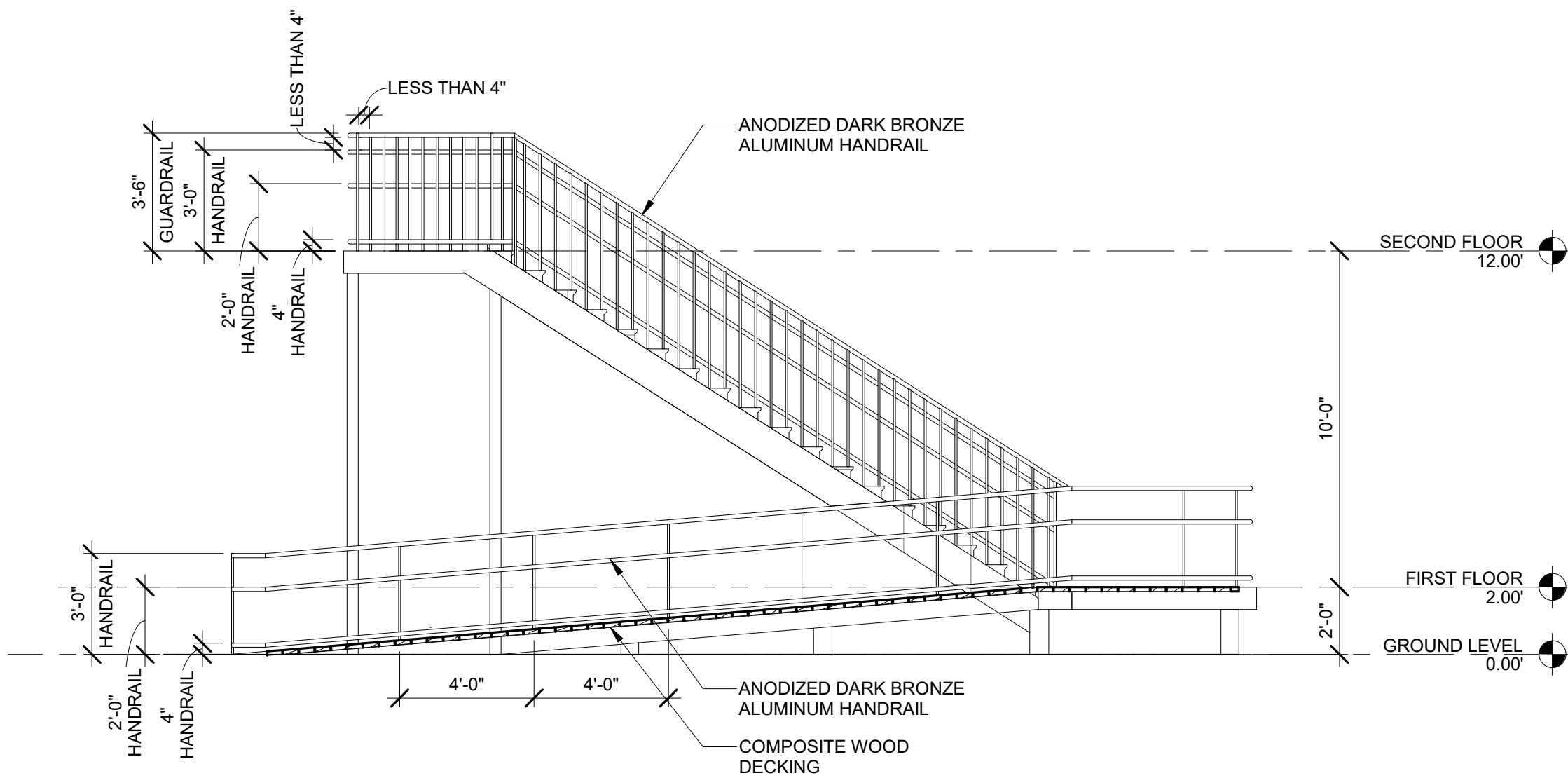
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BUILDING SITE DETAILS

COMM. NO:  
210400  
DRAWN :  
Author  
CHECKED :  
Checker  
SCALE:  
As indicated  
DATE:

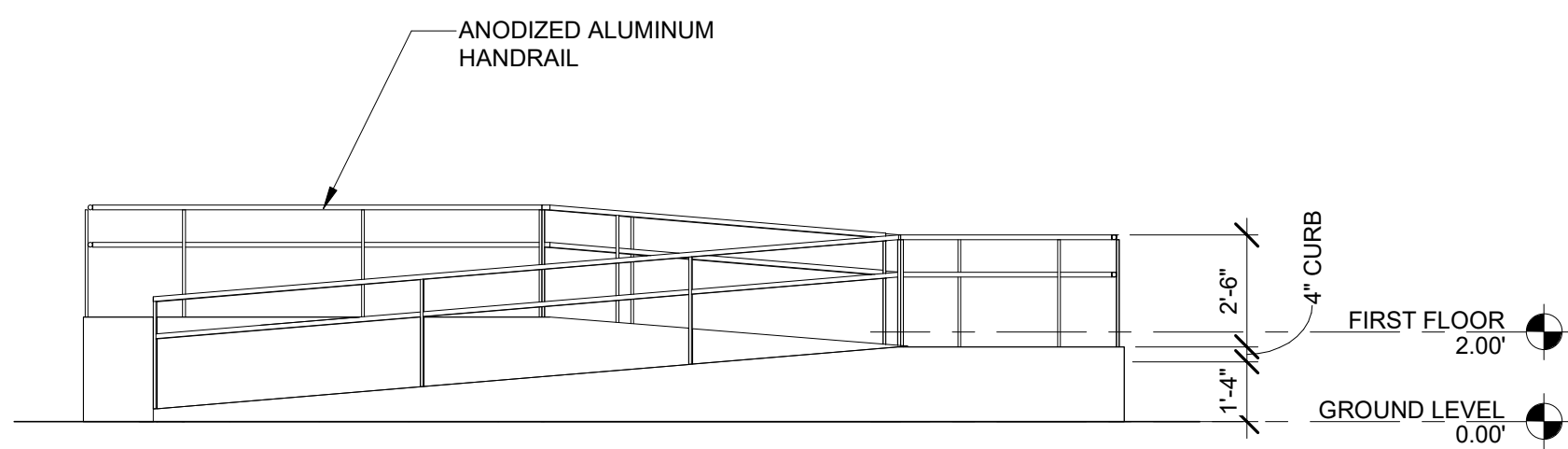
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A4.6

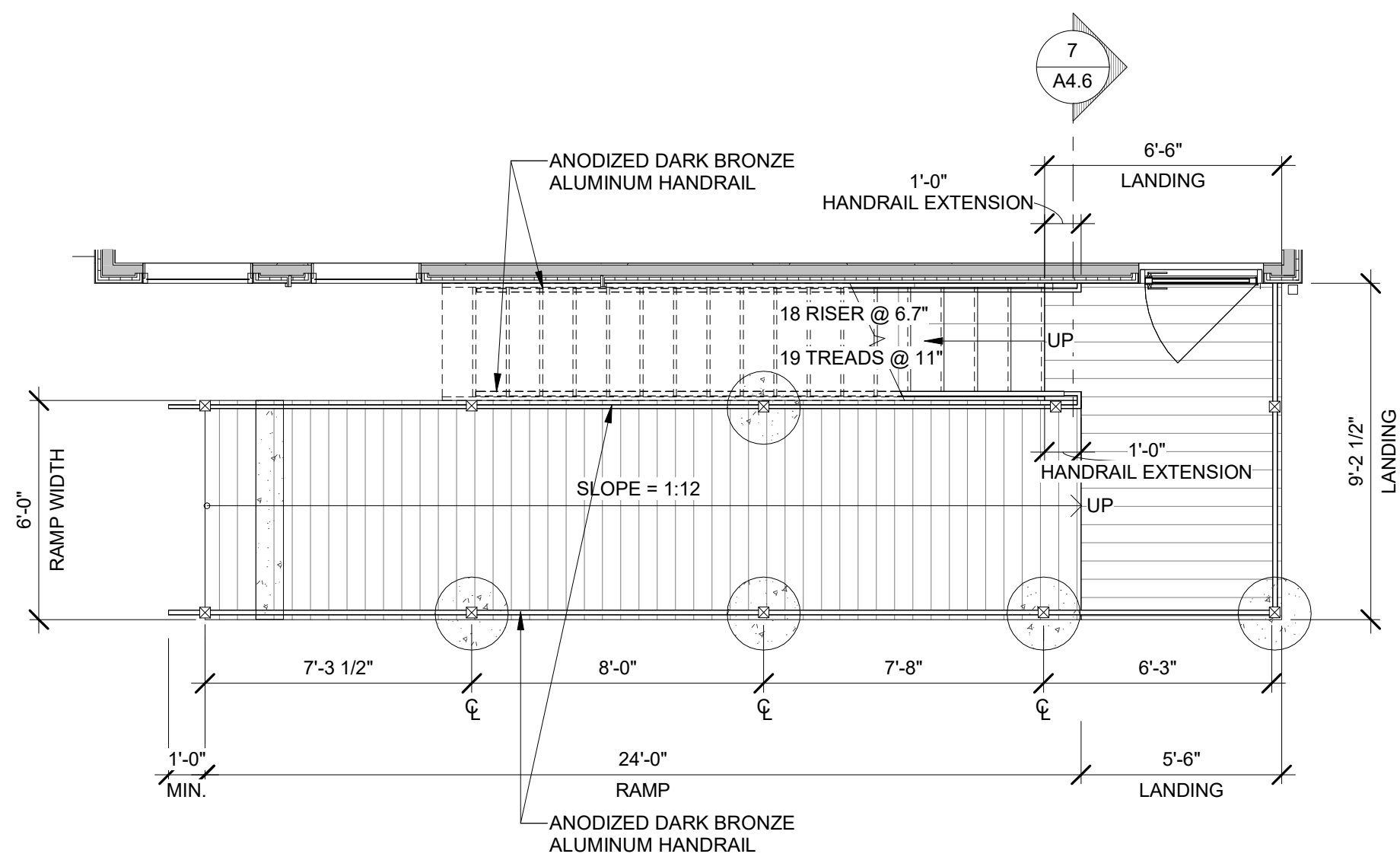




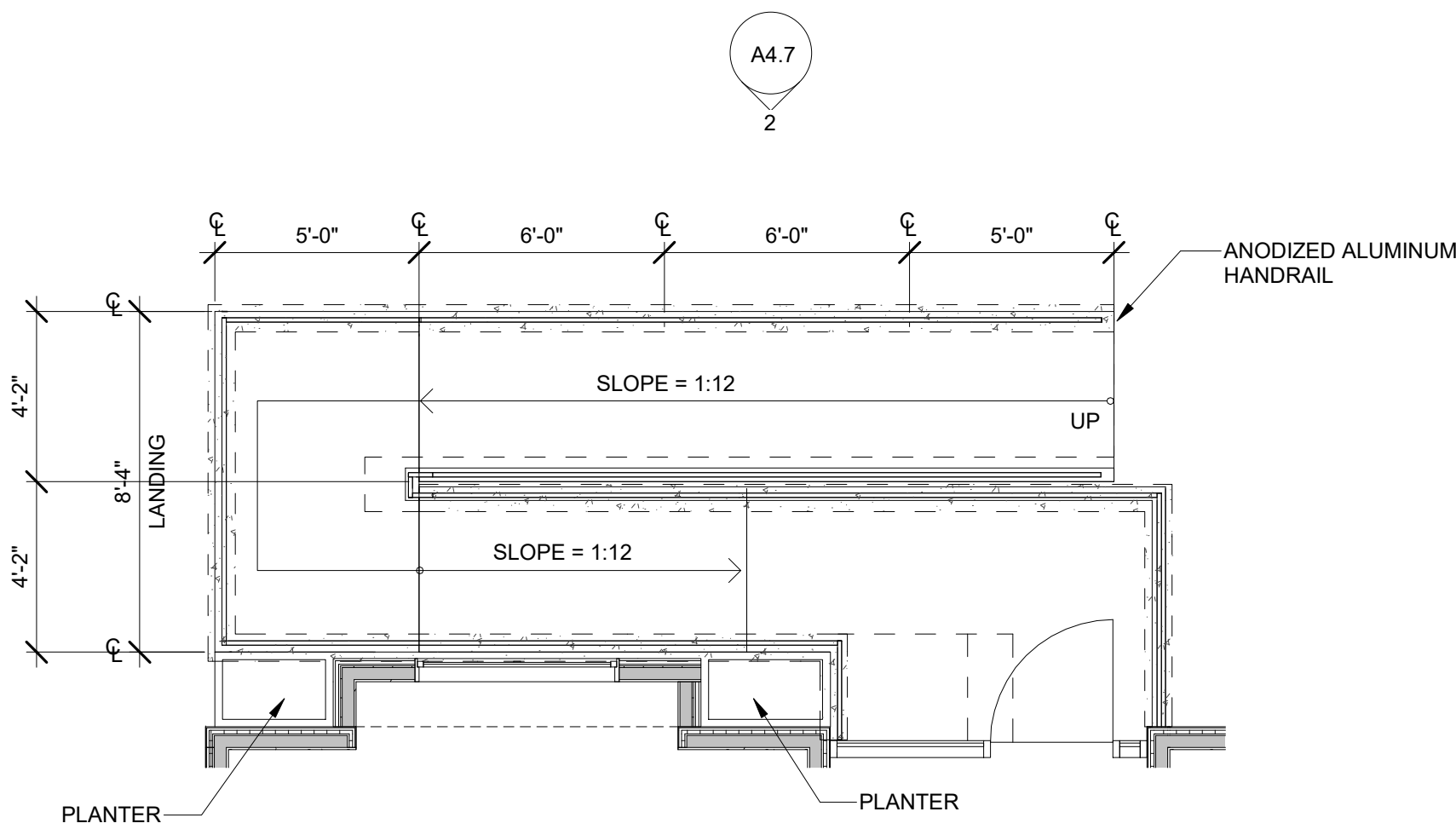
5  
A4.7  
REAR RAMP & STAIR ELEVATION  
1/4" = 1'-0"



2  
A4.7  
ENTRY RAMP ELEVATION  
1/4" = 1'-0"



3  
A4.7  
REAR RAMP & STAIR PLAN  
1/4" = 1'-0"



1  
A4.7  
ENTRY RAMP PLAN  
1/4" = 1'-0"



NO.	DATE	DESCRIPTION
5	10/20/2022	DSP SUBMISSION
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ISSUE



417 Hume Ave.  
Alexandria VA 22301

DRAWING TITLE:  
BUILDING SITE DETAILS

COMM. NO:  
210400  
DRAWN :  
Author  
CHECKED :  
Checker  
SCALE:  
1/4" = 1'-0"  
DATE:

DRAWING NUMBER:

A4.7