

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations.

APPLICANT: Case Design Remodeling Inc.

LOCATION: Old and Historic Alexandria District
401 North Lee Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.

Note: Staff coupled the applications for a Permit to Demolish (BAR #2026-00181) and Certificate of Appropriateness (BAR #2026-00182) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

Permit to Demolish/Capsulate

The applicant is proposing to demolish a garden wall – approximately 125 sf - and remove an existing 2'-6" x 6'-6" second-story iron balcony (Figure 1).

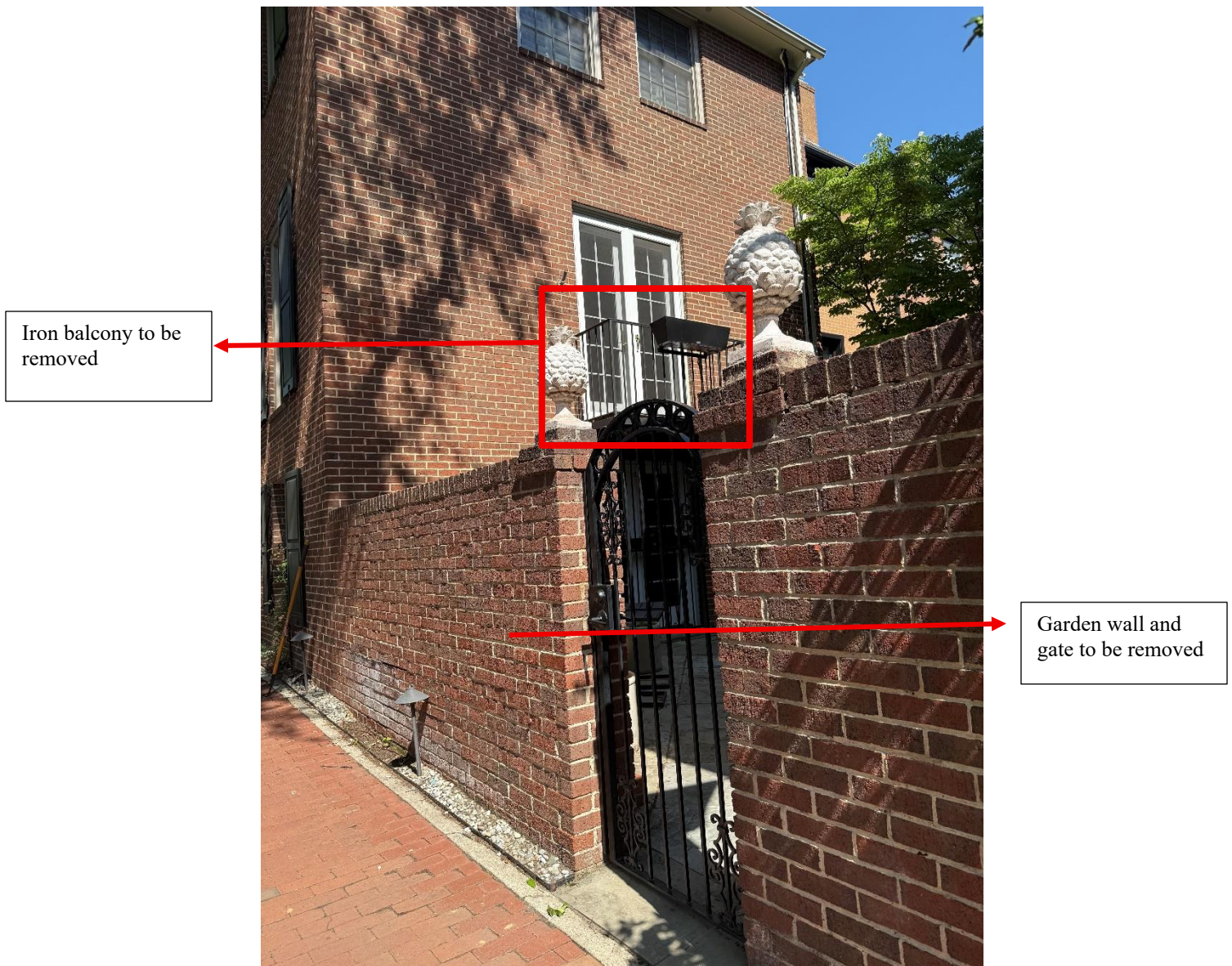


Figure 1 - Princess Street Visibility

Certificate of Appropriateness

The project outline:

- Remove and rebuild the existing rear garden wall and gate on the rear south property line adding a new top iron rail,
- Remove the existing iron gate and reinstall it on the west side of the new garden wall,
- Replace existing 6'-7" wood fence on the north property line with a 7'-0" height wood fence with top trellis,
- Replace the existing 2'-6" x 6'-6" iron balcony with a larger 12'-0" x 4'-6" new iron balcony to be anchored to the ground.
- Replace the existing rooftop deck railing with new aluminum railing.
- Replace the rooftop deck access hatch (not visible from any public way),
- Replace the rear light fixtures,
- Relocate the existing HVAC inside the backyard.

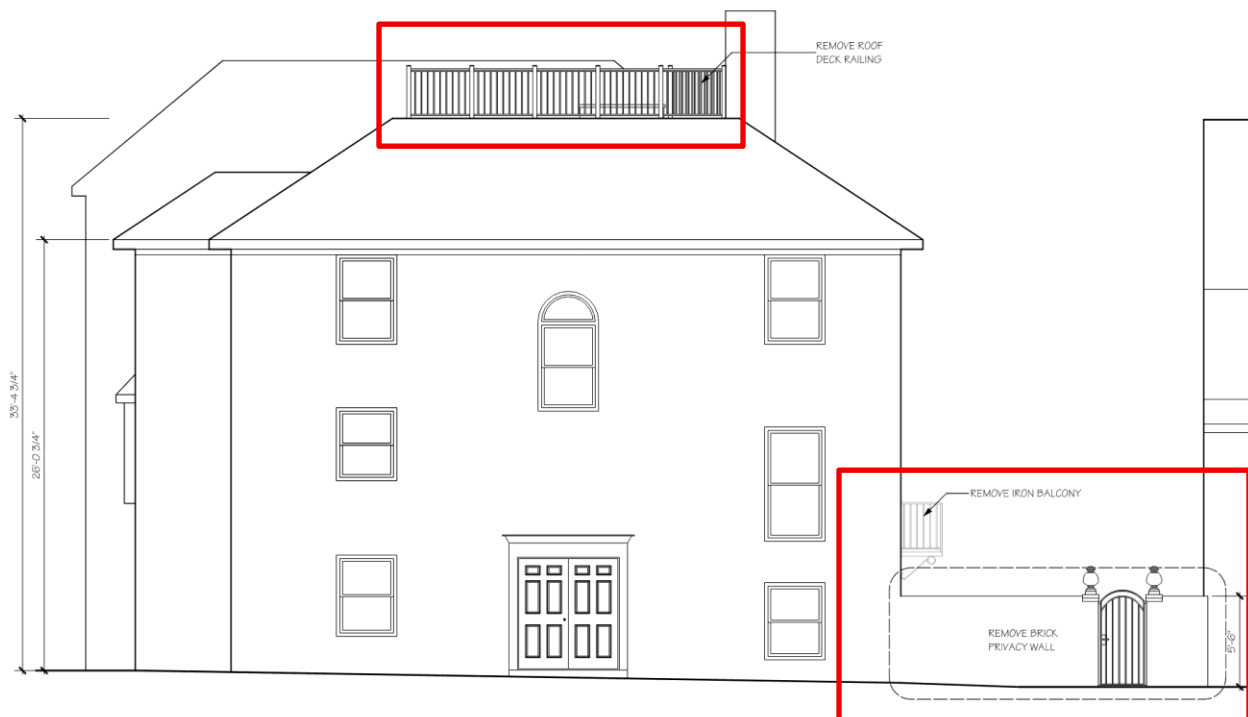


Figure 2 - Existing Conditions – South Elevation

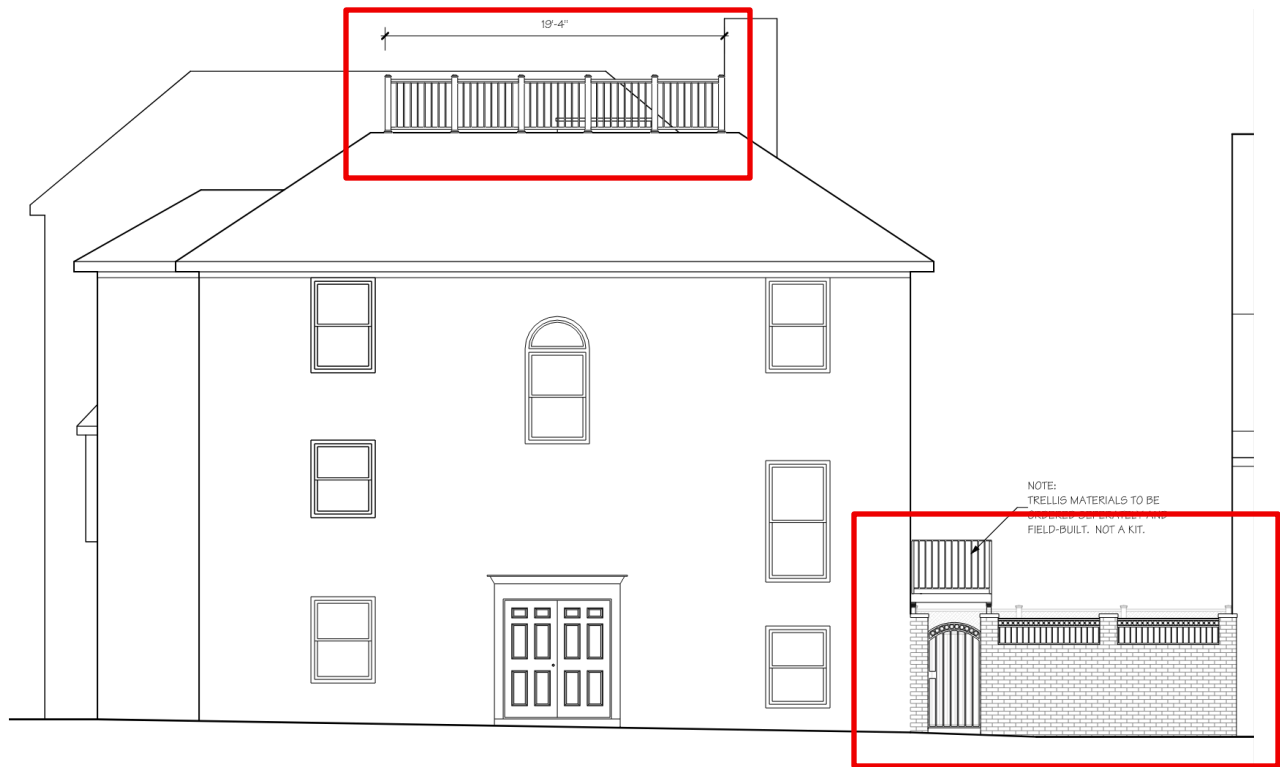


Figure 3 - Proposed South Elevation

Site Context

The property sits at the southeast corner of Princess and North Lee intersection. There is no alley running adjacent to the building, however, due to its corner location, the building's south, west, and east elevations are visible from North Lee and Princess streets (Figure 4).



Figure 4 - Property Visibility

II. HISTORY

The dwelling at 401 N Lee Street is one of a group of 86 three-story brick townhouses bounded by North Union, North Lee, Queen and Oronoco streets which was approved by the City Council in 1968 (Special Use Permit #1084) and constructed in **1971**. At the time the area was developed, it was not within the boundaries of the Old and Historic Alexandria District (OHAD). The development was added to the district in 1984.

Previous BAR Approvals

BAR96-00139 – approval for windows and shutters.

BAR2004-00055 – approval for several alterations

BAR2018-00507 and BAR2018-00508 – approval for roof deck and alterations.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No
(7)	In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project?	No
(8)	Would retention of the building or structure help maintain the scale and character of the neighborhood?	No

Staff does not believe that the proposed demolition meets any of the criteria above, as the structure was constructed in 1971 and has not achieved historic significance in its own merit through time or as the work of a recognized architect or contractor. The proposed demolition does not compromise the integrity of any character defining features of uncommon design or historic merit, does not compromise the integrity of historic areas of the district and will not be a detriment to the public interest. Therefore, staff supports the application for a permit to Demolish/Capsulate, as submitted.

Certificate of Appropriateness

The Design Guidelines state that “Fences, gates, garden walls, and retaining walls are important visual features of the historic districts. They contribute to distinctive streetscapes while also providing a sense of privacy and enclosure for property owners.” Furthermore, the guidelines also state that fences and walls should be made of wood, metal, and/or masonry and should be style appropriate. The proposed masonry garden wall and wood fence comply with the BAR aesthetics requirements however both fences are above the height limit of 6’. Board approval of the fences’ height is required for zoning compliance.

The BAR doesn’t have guideline for balconies, thus, the deck chapter of the OHAD and Parker-Gray Design Guidelines of 1993 state that “Decks (balconies) should not hide, obscure or cause the removal of historic architectural details. Decks should be made of materials generally found in the historic districts.” Staff has no objections to the proposed second-story iron balcony replacement with a larger one since the balcony is an existing architectural feature on the building and will not obscure, remove, or hide any architectural detail.

The proposed rooftop deck railing and light fixtures comply with the BAR policies and guidelines.

In cases such as this, where there is no historic context to protect, the BAR has given applicants a good deal of latitude to alter the original architectural features to accommodate personal taste – as long as the proposal itself was well designed and an improvement over the existing. Staff recommends approval of the project. Staff notes the recommendations of Alexandria Archaeology.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning
Julie Weisgerber, Historic Preservation Principal Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed replacement of existing roof deck railing, roof hatch, brick wall repair, new gate and HVAC reconfiguration will comply with Zoning.

- C-2 Proposed replacement of existing fence, new fence and the trellis will comply with Zoning per conditions.
- C-3 Proposed trellis must not exceed 10 feet in height, length must not exceed 15 feet, and the top must remain 80% open.
- C-4 Property cannot reduce open space below its current percentage.
- F-1 Property is supposed to maintain 35% open space, but existing conditions have it below the required 35%.
- F-2 Trellis will not count towards floor area or against open space if it complies with the conditions of 7-202(A)(5) of the Zoning Ordinance.
- F-3 Proposed fences exceed six feet in height and therefore require the BAR to waive the zoning requirements.

Code Administration

- C-1 Building permit is required.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties

and to the satisfaction of the Director of Transportation & Environmental Services. (Sec. 5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 According to historic maps, this block face was built out by the mid-19th century. A cooper shop stood on the corner for many years after the Civil War. The cooper shop remained in place for nearly 50 years. By the early twentieth century the cooper shop had been removed and the lot remained vacant until the latter twentieth century.

Archaeology Recommendations

- *1. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- *2. The applicant/developer shall not allow any metal detection to be conducted on the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology,
3. The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

1 – Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs

2 – Supplemental Materials

- Public comment, if applicable
- Any other supporting documentation

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 401 N Lee Street, Alexandria VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*

Name: Case Design Remodeling Inc.

Address: [REDACTED]

City: [REDACTED]

Phone: [REDACTED]

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ Contractor

Name: Gizem Ozkaya

Phone: [REDACTED]

E-mail: [REDACTED]

Legal Property Owner:

Name: Marc A. Claybon

Address: [REDACTED]

City: [REDACTED]

Phone: [REDACTED]

NATURE OF PROPOSED WORK: *Please check all that apply*☐ NEW CONSTRUCTION☒ EXTERIOR ALTERATION: *Please check all that apply.*☐ awning☒ fence, gate or garden wall☐ HVAC equipment☐ shutters☐ doors☐ windows☐ siding☐ shed☒ lighting☒ pergola/trellis☐ painting unpainted masonry☒ other

Replace Rooftop hatch access and replace roof top railing.

☐ ADDITION☒ DEMOLITION/ENCAPSULATION☐ SIGNAGE**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Construct a new rear yard trellis with railing and perform exterior site and architectural improvements designed to blend with the historic character of the property and surrounding Alexandria Historic District. Work includes removal and reconstruction of the existing cracked bricked yard wall with new reinforced footings and materials to match the existing exterior appearance; installation of a new metal railing above the new yard wall ; re installation of existing yard gate which will be preserved; replacement of existing patio with a new broom-finish concrete patio; replacement of rooftop deck railings with a new code compliant railing to blend; replacement of the existing roof hatch maintaining existing curb opening; relocating one existing patio door light fixture on 1st floor level to opposite side of the door opening and installation of one new light fixture to blend existing on second floor patio door; relocation of one existing HVAC out side unit to the other side of the second existing HVAC outside unit, replace existing PT yard fence with new PT yard fence to match neighboring properties.

SUBMITTAL REQUIREMENTS:

☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: *G. Ozkaya*

Printed Name: Gizem Ozkaya

Date: 5/10/2026

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Case Design Remodeling		0%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____(address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Marc A. Claybon		100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

5/11/2026

Date

Gulder Gizem Ozkaya

Printed Name

Gulder Gizem Ozkaya

Signature



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. Street Address Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement

First Floor

Second Floor

Third Floor

Attic

Porches

Balcony/Deck

Lavatory***

Other**

Allowable Exclusions**

Basement**

Stairways**

Mechanical**

Attic less than 7'**

Porches**

Balcony/Deck**

Lavatory***

Other**

Other**

B1. Sq. Ft.
Existing Gross Floor Area*

B2. Sq. Ft.
Allowable Floor Exclusions**

B3. Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. **Total Gross** B2. **Total Exclusions**

C. Proposed Gross Floor Area

Proposed Gross Area

Basement

First Floor

Second Floor

Third Floor

Attic

Porches

Balcony/Deck

Lavatory***

Other

Allowable Exclusions**

Basement**

Stairways**

Mechanical**

Attic less than 7'**

Porches**

Balcony/Deck**

Lavatory***

Other**

Other**

C1. Sq. Ft.
Proposed Gross Floor Area*

C2. Sq. Ft.
Allowable Floor Exclusions**

C3. Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. **Total Gross** C2. **Total Exclusions**

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Kevin Shore Date: _____

ALTERATION AND HOME IMPROVEMENT PROJECT

401 N LEE STREET ALEXANDRIA, VA 22314

The applicant proposes a comprehensive series of exterior modifications and maintenance repairs to the rear elevation and yard of the subject property. The primary goal of this project is to address structural deterioration while enhancing site security and historical architectural continuity.

1. Structural Repairs & Security Enhancements

Yard Wall Replacement: The existing masonry yard retaining wall, currently exhibiting significant stress cracks, will be replaced. The new wall will utilize brick selected to match the color, size, and mortar profile of the existing historic masonry as closely as possible.

- **Demolition/Encapsulation Items #4& 5:**

We will be demolishing the existing yard wall which is 102 sq. ft.

The existing yard wall shows significant settlement cracking throughout multiple sections, indicating ongoing movement and failure within the structure and its foundation. These conditions are indicative of structural instability rather than surface-level deterioration. As a result of this settlement and cracking, the overall integrity of the wall has been compromised, and it can no longer reliably perform its intended function. Several alternatives to full demolition and reconstruction of the existing yard wall were considered, including localized crack repair, repointing of masonry joints, and partial underpinning or reinforcement of isolated sections. Surface-level repairs such as crack filling or patching would address only the visible symptoms of distress and would not resolve the underlying settlement issues affecting the wall's foundation. As a result, these measures would likely be temporary and subject to recurring failure. More extensive interventions, such as underpinning or segmental reconstruction, were also evaluated. However, the observed cracking is distributed across multiple sections of the wall, indicating systemic movement rather than isolated failure. This makes it difficult to identify stable portions of the structure that could reliably remain in place. Attempting to stabilize select areas would introduce uncertainty in long-term performance and may not meet current structural or safety standards. Given the extent of settlement and the compromised integrity of the wall, none of these alternatives provide a dependable or code-compliant long-term solution. Therefore, full demolition and reconstruction is considered the most appropriate course of action to ensure structural stability, safety, and durability.

Safety & Security Railing: To address security concerns arising from the proximity of the first-floor patio door to the public street, a new ornamental metal railing will be installed atop the yard wall. The increased combined height of the wall and railing is designed to deter unauthorized access and "jump-over" entry, providing essential protection for the residence.

Gate Preservation: The existing yard gate will be carefully salvaged and reinstalled within the new wall/railing assembly to maintain original look.

2. Rear Elevation Modifications

Trellis Construction: A new steel trellis is proposed for the rear elevation, designed with traditional proportions to blend seamlessly with the historic district aesthetic to replace the current Juliet balcony residing at second floor patio door. This new structure will be fully compliant with all City of Alexandria open space requirements, setback regulations, and height allowances.

Fenestration & Lighting: One existing outdoor light fixture at the first-floor patio level will be relocated to allow space for the trellis post. A new, matching fixture will be installed at the second-floor patio door, vertically aligned with the first-floor unit to create a balanced, intentional architectural appearance. Light fixtures to blend with the look of the historic district and blend existing.

3. Hardscape & Utility Improvements:

Patio & Fencing: The existing rear patio will be replaced with new concrete patio with broom-finish surface. The existing pressure-treated (PT) wood yard fence will be replaced with a new wood fence designed to match the style and height of neighboring properties, ensuring visual harmony along the block.

Mechanical Relocation: One existing outdoor HVAC unit will be relocated adjacent to the second existing unit to consolidate mechanical equipment and reduce visual clutter within the yard.

Utility Remediation: Existing exposed wiring running along the side of the down spout located rear left corner of the property away from the street will be concealed within low-profile conduits running neatly in vertical and horizontal orientations. To ensure minimal visual impact on the historic district, all conduit covers will be a color to blend with existing brick siding.

4. Roof Top Deck Improvements:

Roof Access: The existing metal roof hatch—which is **not visible from the public right-of-way**—will be replaced with a motorized skylight-style hatch to improve access and natural light. The existing curb opening will be maintained, roofing will be patched around the curb.

Roof Top Railing: Roof top railing may be replaced as part of this project with railing to blend in profile and style to the existing roof top railing.

EXTERIOR PHOTO– FRONT ELEVATION



EXTERIOR PHOTO- RIGHT CORNER



EXTERIOR PHOTO– RIGHT ELEVATION



EXTERIOR PHOTO— BACK ELEVATION



EXTERIOR PHOTO- YARD WALL

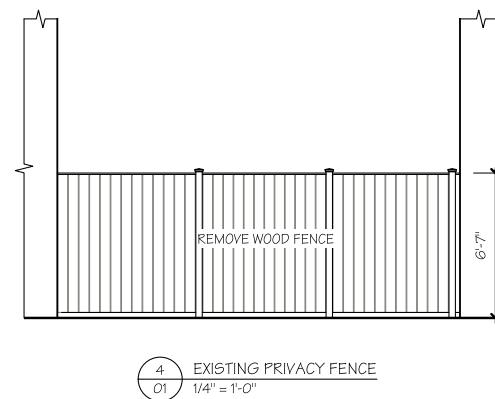


EXTERIOR PHOTO- YARD FENCE



EXTERIOR PHOTO- ROOF TOP DECK





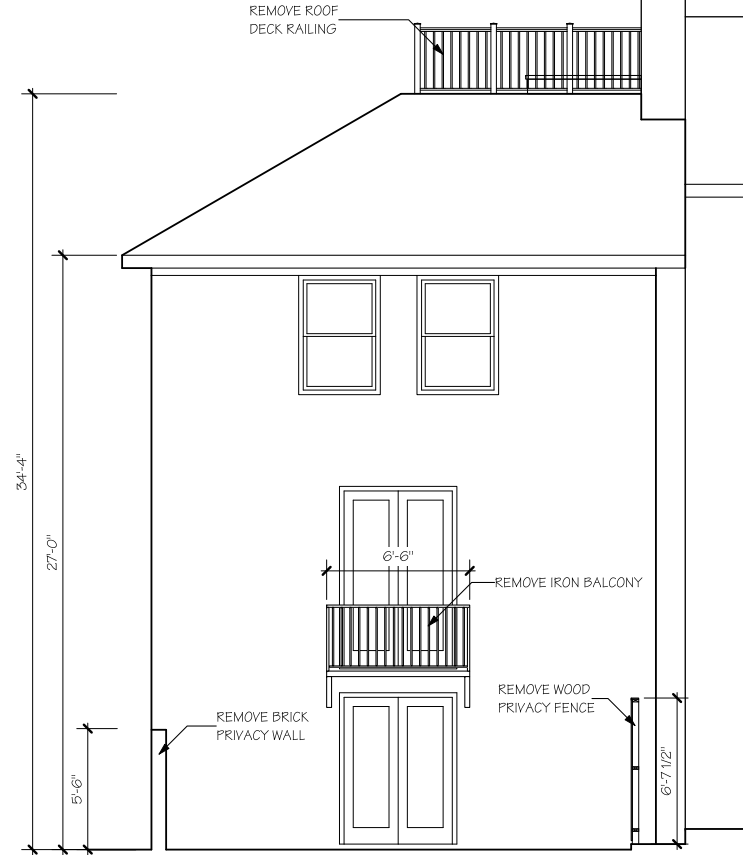
4 EXISTING PRIVACY FENCE
01 1/4" = 1'-0"

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY

Date: 6/3/2026	Scale: 1/4" = 1'-0"		Drawing Log	Clayton Residence 401 N. Lee Street Alexandria, VA 22314 Existing Courtyard Drawings
Sheet: 01	Of: 7			



1
02 EXISTING FRONT ELEVATION
1/4" = 1'-0"

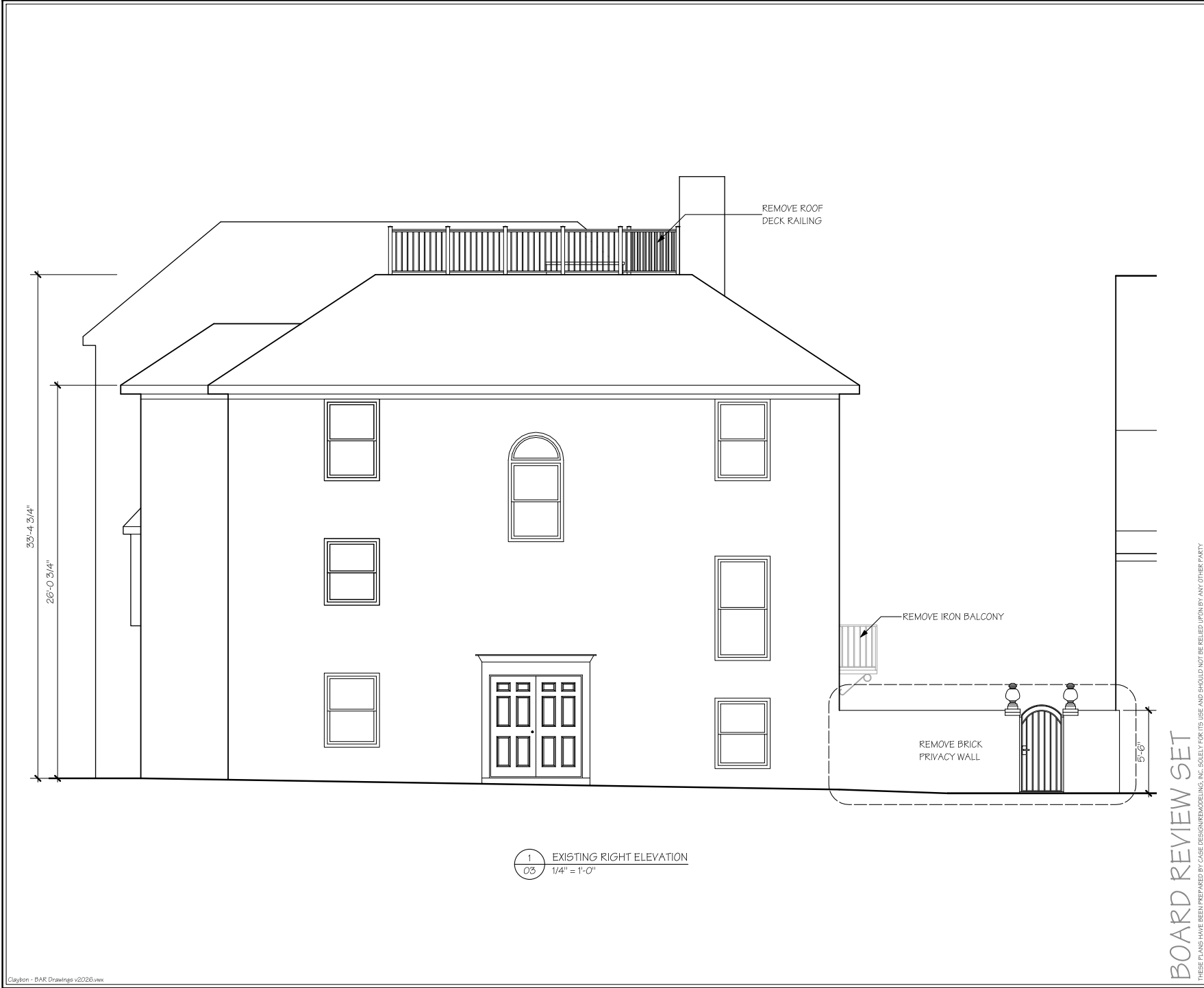


2
02 EXISTING REAR ELEVATION
1/4" = 1'-0"

BOARD REVIEW SET

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY.

Date: 6/3/2026 Scale: 1/4" = 1'-0"		Drawing Log		Clayton Residence 401 N. Lee Street Alexandria, VA 22314		Project No:		Development: G. Ozaya		CASE® 119 N. Washington St. Alexandria, VA 22304 (703) 660-4663 (703) 228-3065	
Sheet: 02		Of: 7		Existing Elevations		Design: K. Shore		Management: J. Burdick		Existing: Washington, DC 1327 14th Street NW North York, State 40 Bethesda, MD 20816 (202) 228-4600 (202) 228-3465 Field Office: 701 First Avenue Falls Church, VA 22046 (703) 660-4663 (703) 228-3465	

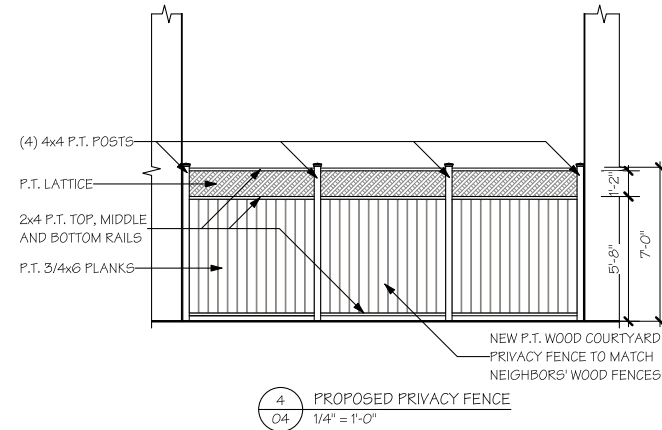
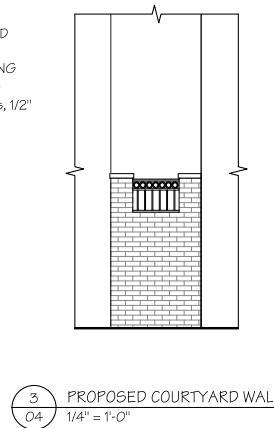
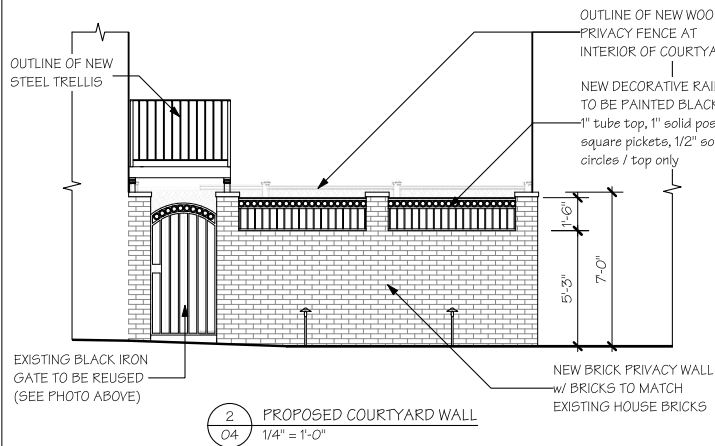
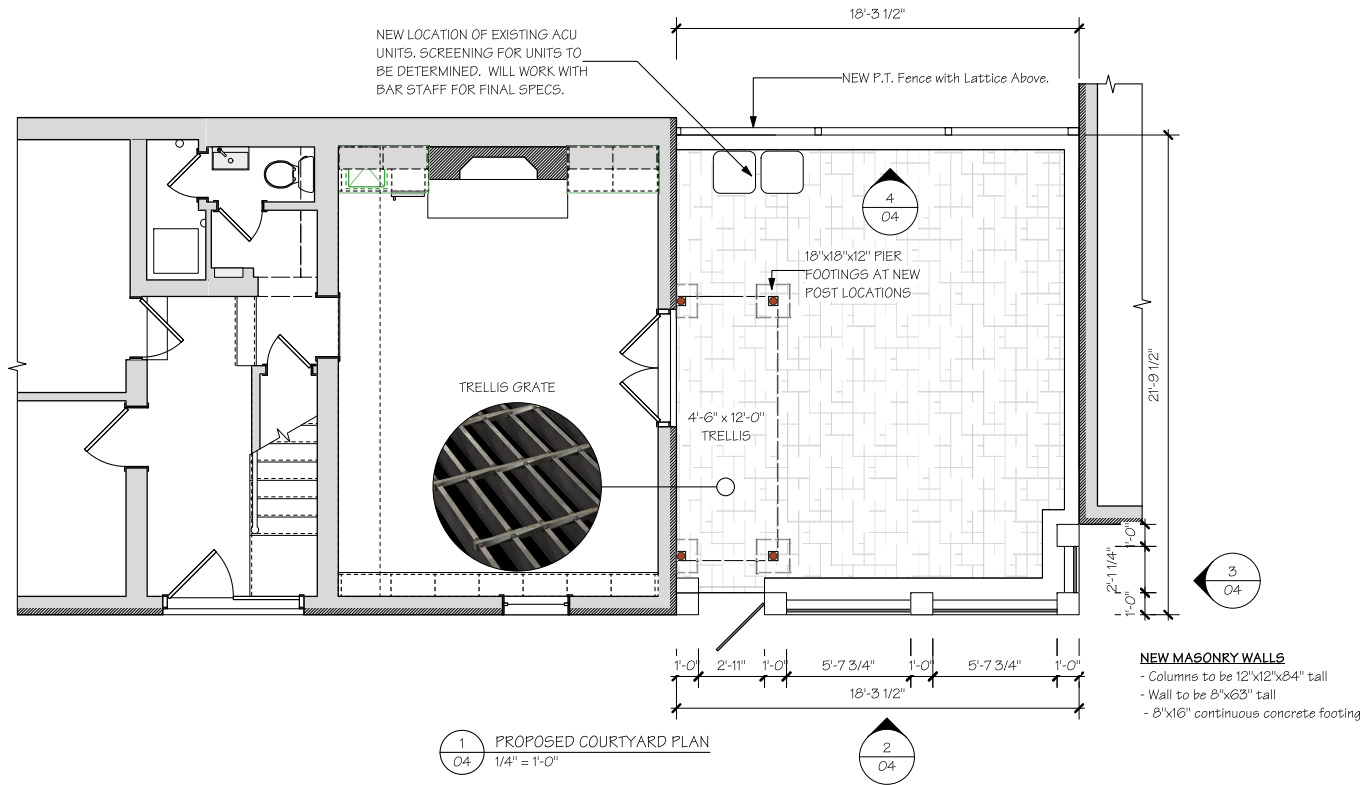


BOARD REVIEW SET

Claybon Residence 401 N. Lee Street Alexandria, VA 22314		EXISTING ELEVATION	
Date: 6/3/2026	Scale: 1/4" = 1'-0"	Drawing Log	Project No: G. Chakya
Sheet: 03	Of: 7	Design: K. Shore	Development: G. Chakya
CASE Alexandria, VA 22304 (703) 660-4663 (703) 228-3665		Washington, DC 1327 14th Street NW Washington, DC 20005 (202) 338-2275 (202) 338-3665	
Richmond, VA 4701 Sycamore Road North Point, Suite 40 Bethesda, MD 20896 (301) 591-0000 (301) 591-2300		Falls Church, VA 701 First Avenue Falls Church, VA 22046 (703) 281-0000 (703) 281-0200	



PHOTO OF EXISTING GATE TO BE REUSED



BOARD REVIEW SET

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY.

Drawing Log

Date: 6/3/2026

Scale: 1/4" = 1'-0"

Sheet: 04

Of: 7

Clayton Residence
401 N. Lee Street
Alexandria, VA 22314

Proposed Courtyard Drawings

Project No:

Development: G. Chakya

Design: K. Shore

Management: J. Burdick

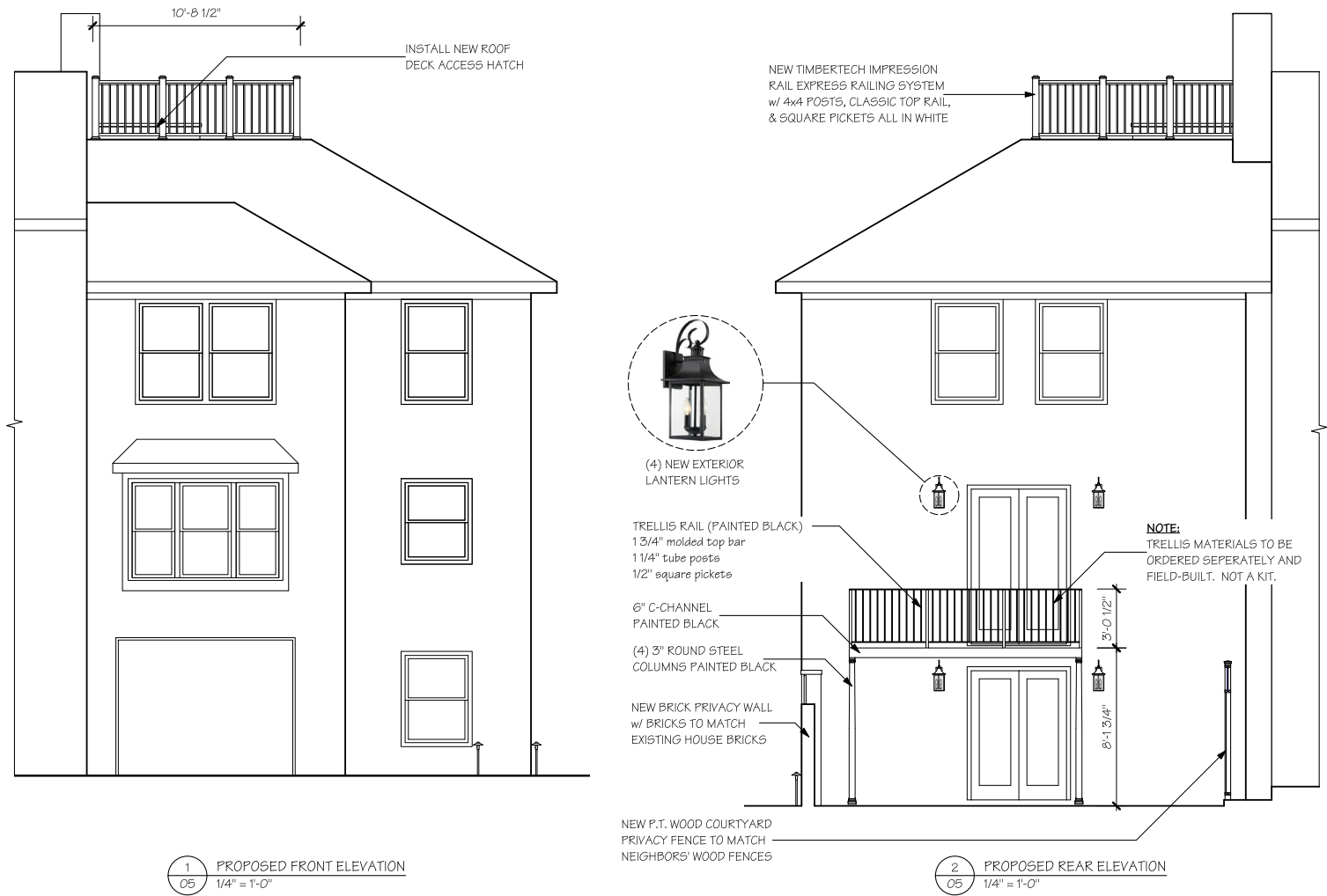
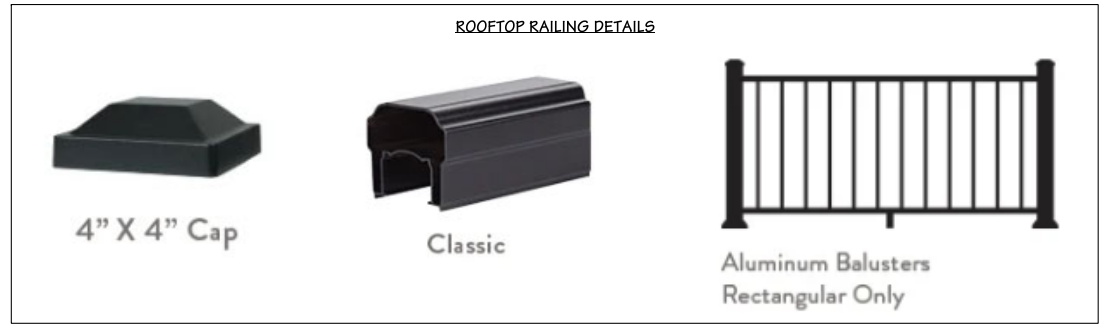
CASE

Alexandria
189 N. Washington St.
Alexandria, VA 22304
(703) 228-3065
(703) 228-3066

Washington, DC
1327 14th Street NW
Washington, DC 20005
(202) 228-3275
(202) 228-3276
(202) 228-3277

Edinburg, VA
4701 Edinburg Road
North Platte, NE 68901
(402) 494-4600
(402) 494-4601
(402) 494-4602

Fall Church, VA
701 First Avenue
Fall Church, VA 22046
(703) 228-3065
(703) 228-3066
(703) 228-3067



1
05 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

2
05 PROPOSED REAR ELEVATION
1/4" = 1'-0"

BOARD REVIEW SET

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY.

		Alexandria 119 N. Washington St. Alexandria, VA 22304 (703) 660-4663 (703) 228-3465		Falls Church 701 Park Avenue Falls Church, VA 22046 (703) 228-3465 (703) 228-3465	
Development G. Okeaya		Management J. Burdick			
Project No: 05		Design: K. Shone			
Clayton Residence 401 N. Lee Street Alexandria, VA 22314					
Proposed Elevations					
Drawing Log 05					
Date: 6/3/2026		Scale: 1/4" = 1'-0"		Sheet: 05	
		OF: 7			

EXTERIOR FIXTURE SCHEDULE							
AREA	MANUFACTURER	MODEL / STYLE	COLOR	DIMENSIONS			NOTES
				W	L	H	
PATIO LIGHT	QUOIZEL	CCR840BK	MYSTIC BLACK				2 new lights at 1st floor and 2nd floor patio doors
DUCT/WIRE CONDUIT	CESTLUCK		BROWN				New brown conduit to conceal exterior wiring

EXTERIOR FINISH SCHEDULE							
AREA	MATERIAL	MODEL/ STYLE	COLOR	DIMENSIONS			NOTES
				W	L	H	
YARD WALL	Brick	Blend Existing	Blend Existing	Refer to Plans			Brick Material & Mortar To Blend Existing.
PATIO	Concrete	Broom-Finish	None	Refer to Plans			Concrete patio w/ Broom-Finish. 8" wide river stone border. 1" fill.
TRELLIS	Steel	Custom	Black Painted	Refer to Plans			Custom trellis per plans w/ round steel posts, steel frame and bar grated floor 80% open.
TRELLIS RAILING	Steel	Custom	Black Painted	Refer to Plans			Custom metal railing picket style per plans.
YARD WALL RAILING	Steel	Custom	Black Painted	Refer to Plans			Custom picket railing with ring cresting detail per plans.
YARD WALL GATE	Existing	Existing	Black Painted	Refer to Plans			Re-Install Existing Yard Gate.
YARD FENCE	P.T. Boards /Lattice	Custom	Unfinished	Refer to Plans			1x4 P.T. Pickette and Lattice Top Detail with 4x4 Posts.
ROOF TOP RAILING	Aluminum	TimberTech Impression	White	Refer to Plans			Aluminum Powder Coated 4x4 Post w/ Post Cap and Rectangular Baluster Infill.



1
06 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

CASE
119 N. Washington St.
Alexandria, VA 22304
(703) 660-4653
(703) 228-3695

Edith Church
701 First Avenue
Falls Church, VA 22046
(703) 281-5000
(703) 228-3695

Washington, DC
1327 14th Street NW
Washington, DC 20005
(202) 331-5000
(202) 331-5000

Richmond
4701 Seward Road
North Plains, VA 22640
Richmond, VA 23060
(804) 281-5000
(804) 228-3695

Development:
G. Ozaya

Project No:

Design:
K. Shore

Management:
J. Burdette

Claydon Residence
401 N. Lee Street
Alexandria, VA 22314

Proposed Elevations

Drawing Log

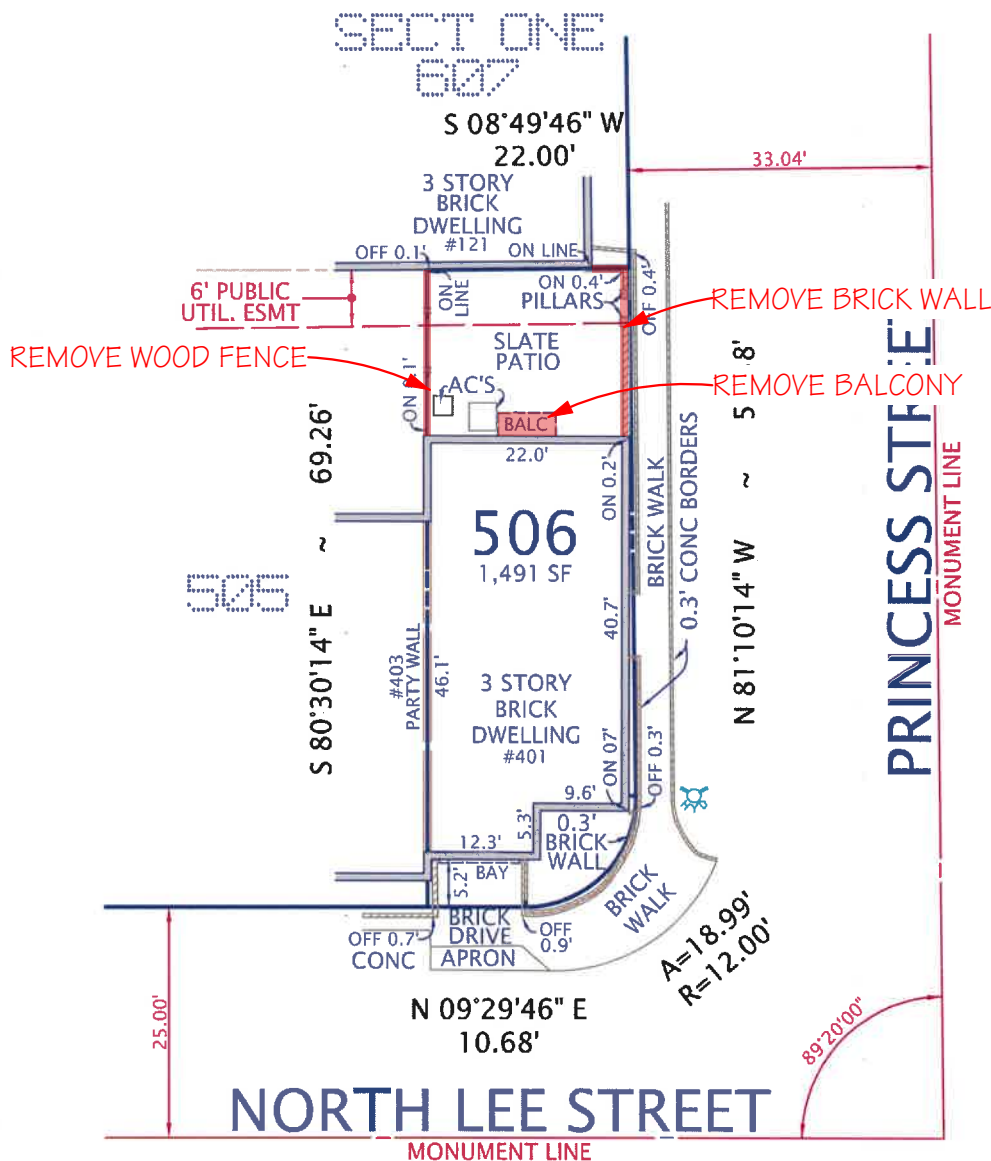
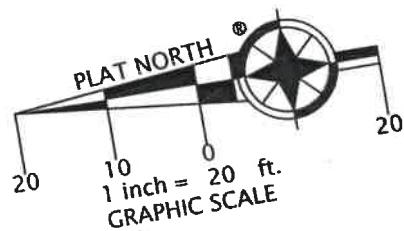
Date:
6/3/2026

Scale:
1/4" = 1'-0"

Sheet:
06

Of:
7

- NOTES: 1. FENCES ARE FRAME.
2. UTILITIES ARE UNDERGROUND.
3. RETAINING WALLS ARE 0.7' BRICK UNLESS NOTED.



PLAT
SHOWING HOUSE LOCATION ON
LOT 506, SECTION TWO
OLD TOWNE
(DEED BOOK 704, PAGE 11)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' MARCH 4, 2024

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.
NO CORNER MARKERS SET.



Ordered by:

Modern Settlements

5425 Wisconsin Ave.
Suite 600
Chevy Chase, MD 20815
Ph: 202-660-1825

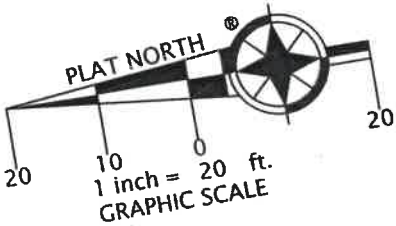


DOMINION

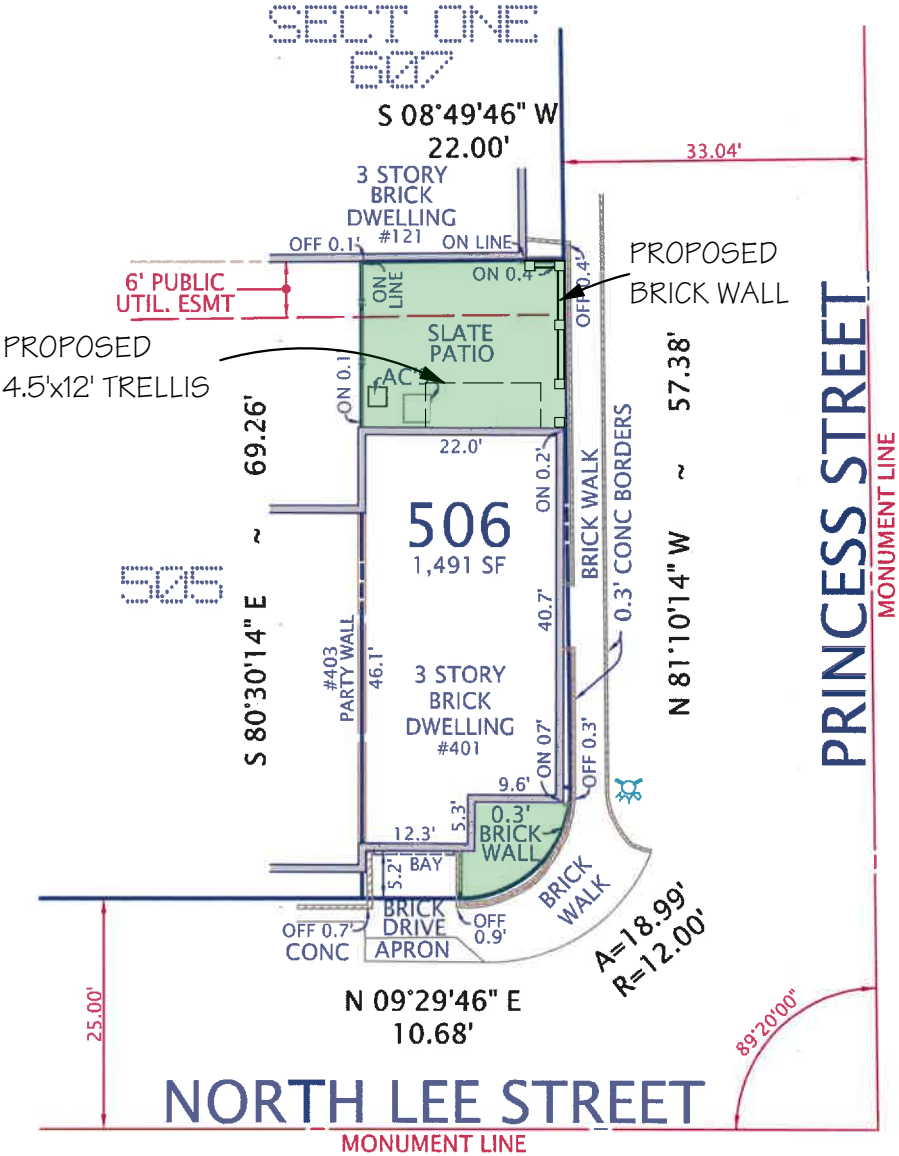
Surveyors
Inc.®

8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
www.dominionsurveyors.com

- NOTES: 1. FENCES ARE FRAME.
2. UTILITIES ARE UNDERGROUND.
3. RETAINING WALLS ARE 0.7' BRICK UNLESS NOTED.



 DENOTES OPEN SPACE
AREA - 474 SQ FT



PLAT
SHOWING HOUSE LOCATION ON
LOT 506, SECTION TWO
OLD TOWNE
(DEED BOOK 704, PAGE 11)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' MARCH 4, 2024

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703-619-6555
www.dominionsurveyors.com

401 N. LEE STREET PROPOSED FIXTURES & FINISHES

1. ROOF TOP RAILING:

MANUFACTURER: TIMBERTECH

SERIES: IMPRESSIONS

MATERIAL: ALUMINUM

STYLE: 4X4 POST SLEEVE SKU: AZTIX4X4PS39W, 4X4 POST CAP SKU: AZTIX4X4PCW, POST SKIRT: AZTIX4X4PSKW, CLASSIC RAIL SKU: AZTIXCSTR6W, PANEL KIT WITH SQUARE BALUSTERS SKU: AZTIX36UNLP6W

COLOR: WHITE

DIMENSIONS: AS SHOWN BELOW ON COMPONENTS & PROFILE

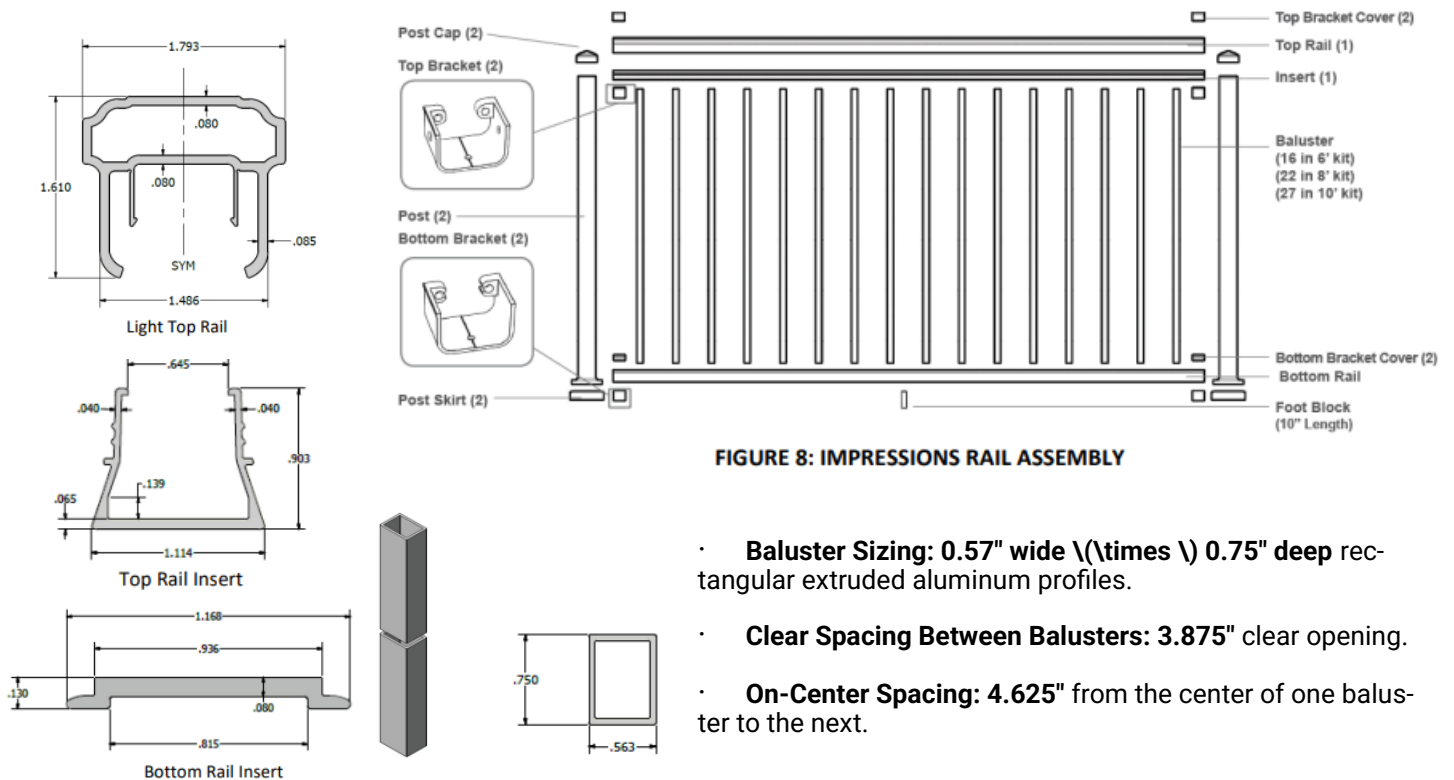


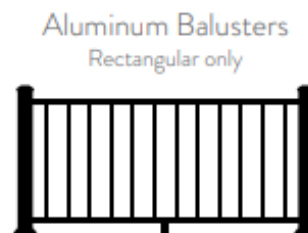
FIGURE 8: IMPRESSIONS RAIL ASSEMBLY

- **Baluster Sizing:** 0.57" wide $\times$ 0.75" deep rectangular extruded aluminum profiles.
- **Clear Spacing Between Balusters:** 3.875" clear opening.
- **On-Center Spacing:** 4.625" from the center of one baluster to the next.

FIGURE 3: BALUSTER



For 4" Post Applications
4" x 4" Post Sleeve



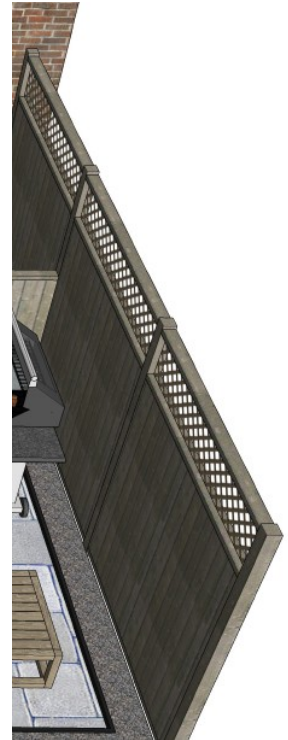
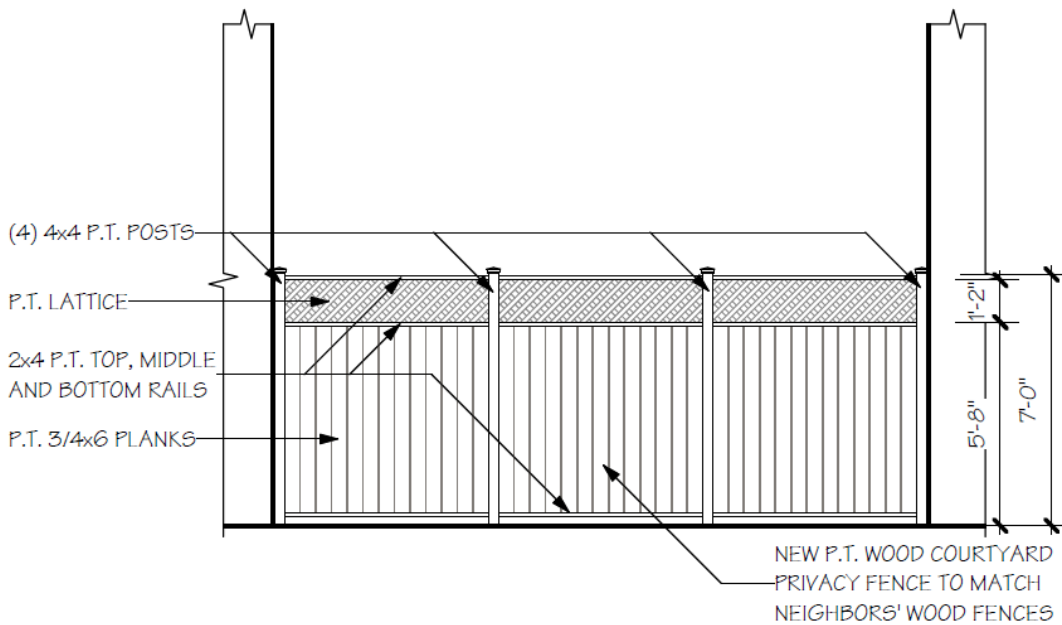
2. YARD FENCE:

CUSTOM FIELD BUILT AND INSTALLED PRESSURE TREATED YARD FENCE.

MATERIAL: PRESSURE TREATED WOOD

FINISH: N/A

STYLE: 4X4 POSTS, 2X4 TOP-MIDDLE AND BOTTOM RAIL, LATTICE DIAGONAL AT TOP WITH 1 1/2" OPENING AND 6"X3/4" BOARDS.



HVAC SCREENING:

(TBD) Movable planter with lattice screen designed to conceal HVAC equipment while maintaining required access for service and ventilation.

MATERIAL: Durable wood or metal

FINISH: TBD

Examples of products similar to potential planter boxes that homeowners may purchase to conceal outdoor HVAC units are provided below for reference only. Based on BAR feedback and approval requirements, a final planter/screening model and finish can be specified to meet the design, material, visibility, and accessibility criteria established for the Historic District.



4. YARD WALL RAIL & GATE:

CUSTOM STEEL RAILING ABOVE YARD WALL.

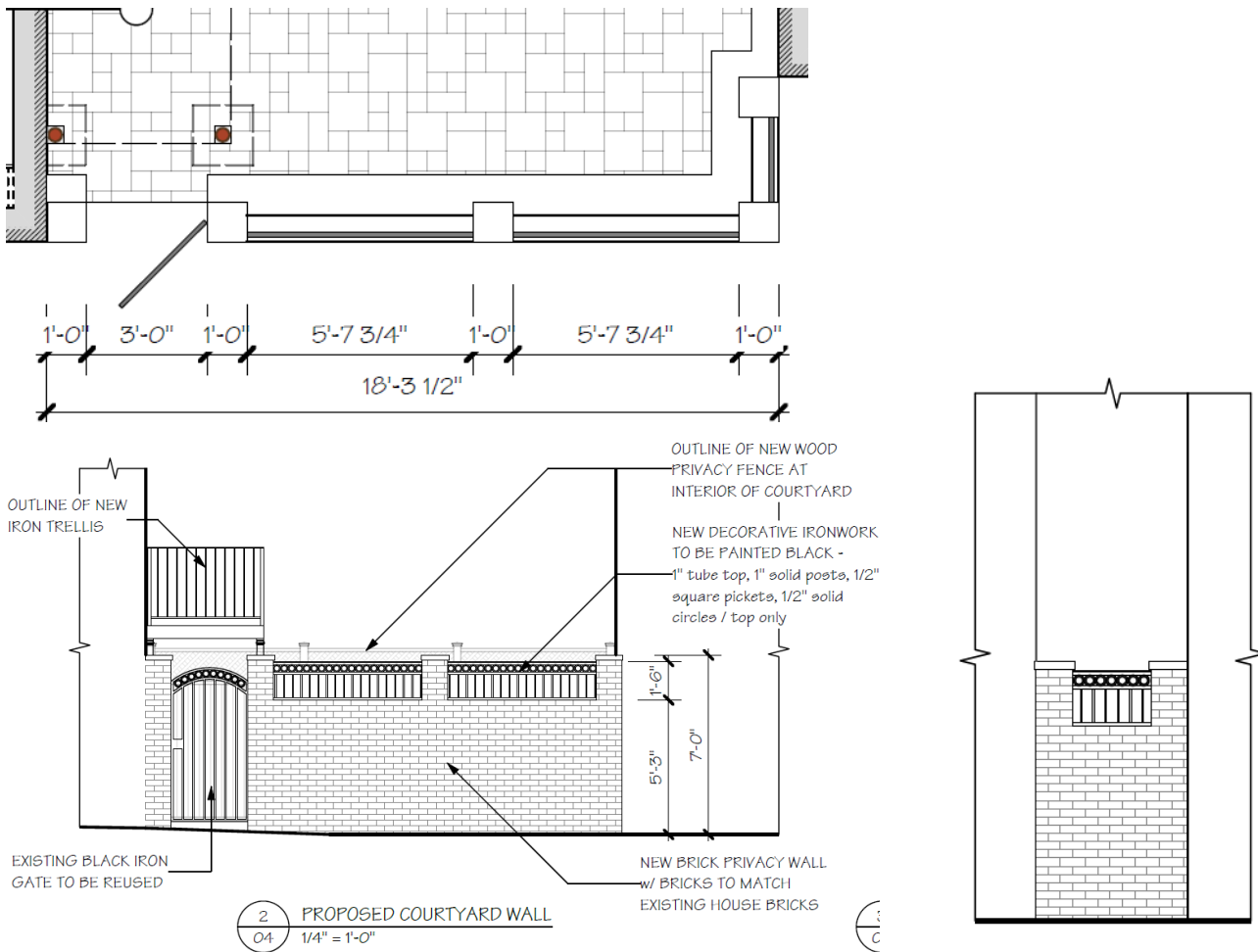
Height: 18" above yard wall.

Railing: Steel railing with 1" tube top, 1" solid posts, 1/2" square pickets, 1/2" solid circles for detail at top only to match existing yard gate which will be re-used.

Finish: Painted Black.

RETAIN EXISTING YARD GATE AND RE-INSTALL:

Size: 31.75" x 69"h with 1" tube frame, 1/2" square pickets, 1/2" solid circles for ring detail at top.



VISUAL RENDERING OF NEW YARD WALL AND NEW CUSTOM METAL RAILING.



4. TRELLIS:

CUSTOM FIELD BUILT TRELLIS WITH BAR GRATED FLOOR AND RAILING.

MATERIAL: STEEL

FINISH: PAINTED BLACK

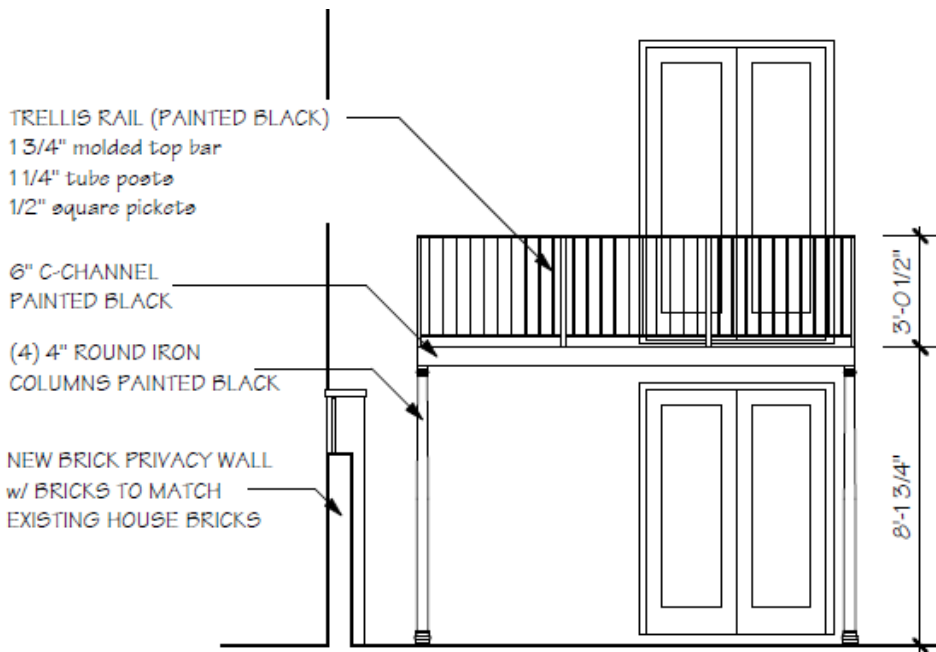
INFORMATION ON STURCTURE:

POSTS: 3" I.D. Steel Pipe Columns with base and cap.

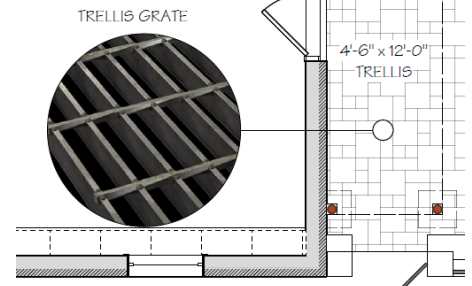
CEILING FRAME: 6" Steel C-Channel.

CEILING/MEZZANINE FLOOR: McNichols GW100, 19-W-4 (1 3/16" spacing), carbon steel, hot rolled, 1"x3/16" rectangular bars, smooth surface.

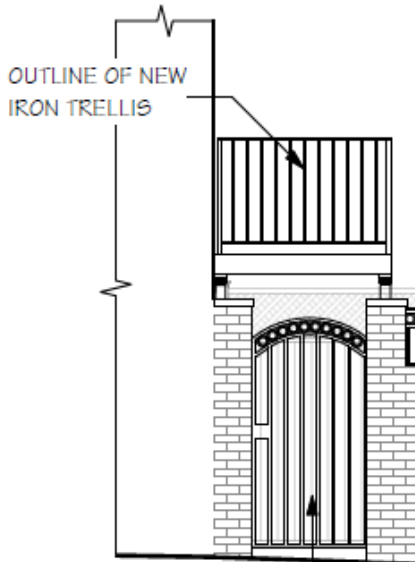
RAIL: Custom Steel railing with 1 3/4" molded top bar , 1 1/4" tube posts, and 1/2" square pickets.



Bar Grating
Trellis Ceiling /
Mezzanine
Floor



VISUAL RENDERING OF NEW TRELLIS STRUCTURE.



5. PATIO DOOR LIGHTS:

MANUFACTURER: QUOIZEL
 MODEL: CCR8408K
 MATERIAL: STEEL
 FINISH: MYSTIC BLACK

Chancellor

Item #CCR8408K

Product Category: Outdoor Lantern
Finish: Black
Suggested Rooms: Outdoor

Height: 19.00"
Width: 8.00"
Depth: 8.75"
Item Weight: 5.94 lbs
Packed Weight: 8.50 lbs
Dimension Weight: 15 lbs



Description

This outdoor group gives you the historic look of lighting from the 19th Century. It features a mystic black finish and will adorn your home with its charming style to make it the best on the block.

Bulb Type: 2 60W Cand Base Bulb(s) Not Supplied

Dimmable: Yes

Base Material: STEEL
Listed Mark: ETL Listed
Listed Mark Rated For: Wet
HCWO: 7.750
Canopy/Backplate: 5.000"H x 6.000" W
Wire Length: 6 In
Voltage: 120
Shade Info: CLEAR GLASS

6. LANDSCAPE PATHWAY LIGHTS:

MANUFACTURER: KICHLER LIGHTING
 MODEL: 15870BKT27R
 MATERIAL: ALUMINUM
 FINISH: TEXTURED BLACK

12V LED PATH & SPREAD

6" DOME



15870 AZT, BBR, BKT

Wiring	30" of usable #18-2, SPT-1-W leads. Cable connectors supplied.									
Mounting Access. (Included)	8" slotted in-ground stake Black/White Deflector									
Optional Accessories	15601 – Surface Mounting Flange 15607 – Surface Mounting Bracket FM127265 – Hexcell Louver									
Incandescent	15470 – on page 116									
Notes	Coordinates with our 15810 & 15811 LED Domed Roof series									
Fixture Photometric (fc)*	Distance from Light	0'	1'	2'	3'	4'	5'	6'	7'	8'
	Footcandles	66.50	30.30	6.20	1.40	0.45	0.17	0.10	0.06	0.05
	W/Black Deflector	30.30	21.10	5.30	1.50	0.50	0.19	0.10	0.05	0.04
	W/White Deflector	35.00	23.50	5.30	1.60	0.50	0.25	0.14	0.10	0.09

Kelvin	2700K – Warm White	3000K – Pure White
Ordering Guide & Finish	15870 AZT27R 15870 BBR27R 15870 BKT27R	15870 AZT30R 15870 BBR30R 15870 BKT30R
Housing	Cast Aluminum, Cast Brass	
Light Source	8 Integrated High Output Nichia® LEDs, tightly binned for color uniformity, and constant current driver	
Color Temp. (CCT) & CRI	2700K (-54/+89) / 80s CRI 3000K (-52/+122) / 80s CRI	
Power Usage at 12V AC Input VA and Watts	4.3 W, 5.8 VA	
Operating Voltage Range	9V-15V AC/DC with no loss in output due to constant current technology	
Lumen Maint.	Tested to an L-70 of 40,000 hours	
Delivered Lumens & Efficacy	2700K = 294 Lm 2700K = 67 Lm/W	3000K = 302 Lm 3000K = 73 Lm/W

ADDENDUM 401 N. LEE STREET PROPOSED FIXTURES & FINISHES

4. TRELLIS:

CEILING / MEZZANINE FLOOR :

Standard-Duty Welded, Rectangular Bar, GW-125-A, 19-W-4 Spacing, Carbon Steel, Hot Rolled, 1-1/4" x 1/8" Rectangular Bar, Smooth Surface, 83% Open Area .

FINISH:

PAINTED BLACK



McNICHOLS® Bar Grating

Standard-Duty Welded, Rectangular Bar, GW-125-A, 19-W-4 Spacing, Carbon Steel, Hot Rolled, 1-1/4" x 1/8" Rectangular Bar, Smooth Surface, 83% Open Area

McNICHOLS® Bar Grating, Standard-Duty Welded, Rectangular Bar, GW-125-A, 19-W-4 Spacing, Carbon Steel, Hot Rolled, Mill Finish, 1-1/4" Height x 1/8" Thick Rectangular Bearing Bars, Spaced 1-3/16" on Center with 1-1/16" Clear Space Between Bearing Bars, Smooth Surface, Bearing Bars Run Parallel to Length of Panel, Cross Bars Spaced 4" on Center, 83% Open Area

7. YARD WALL:

Build per submitted plans.

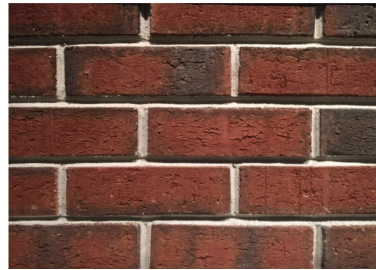
BRICK MATERIAL

Manufacturer: Lee Brick

Color: #610 Pinehurst

Dimension: 7 5/8" x 3 5/8" x 2 1/4"

610 Pinehurst



MORTAR MATERIAL:

Manufacturer: Workrite Cements for Masonry

Type: Masonry Cement Type S

Color: WR2320-BIRCH



8. CONDUIT TO CONCEAL EXTERIOR WIRING:

Brand : Cestluck

Part Number: FXM-420-5M-R-B

ASIN: B0G5989ZZQ

Material: Polypropylene

Dimension: 4"W

Color: Brown

