

**ISSUE:** Certificate of Appropriateness to construct an accessory structure

**APPLICANT:** Sean Murphy

**LOCATION:** Old and Historic Alexandria District  
417 South Royal Street

**ZONE:** RM/Residential Townhouse Zone

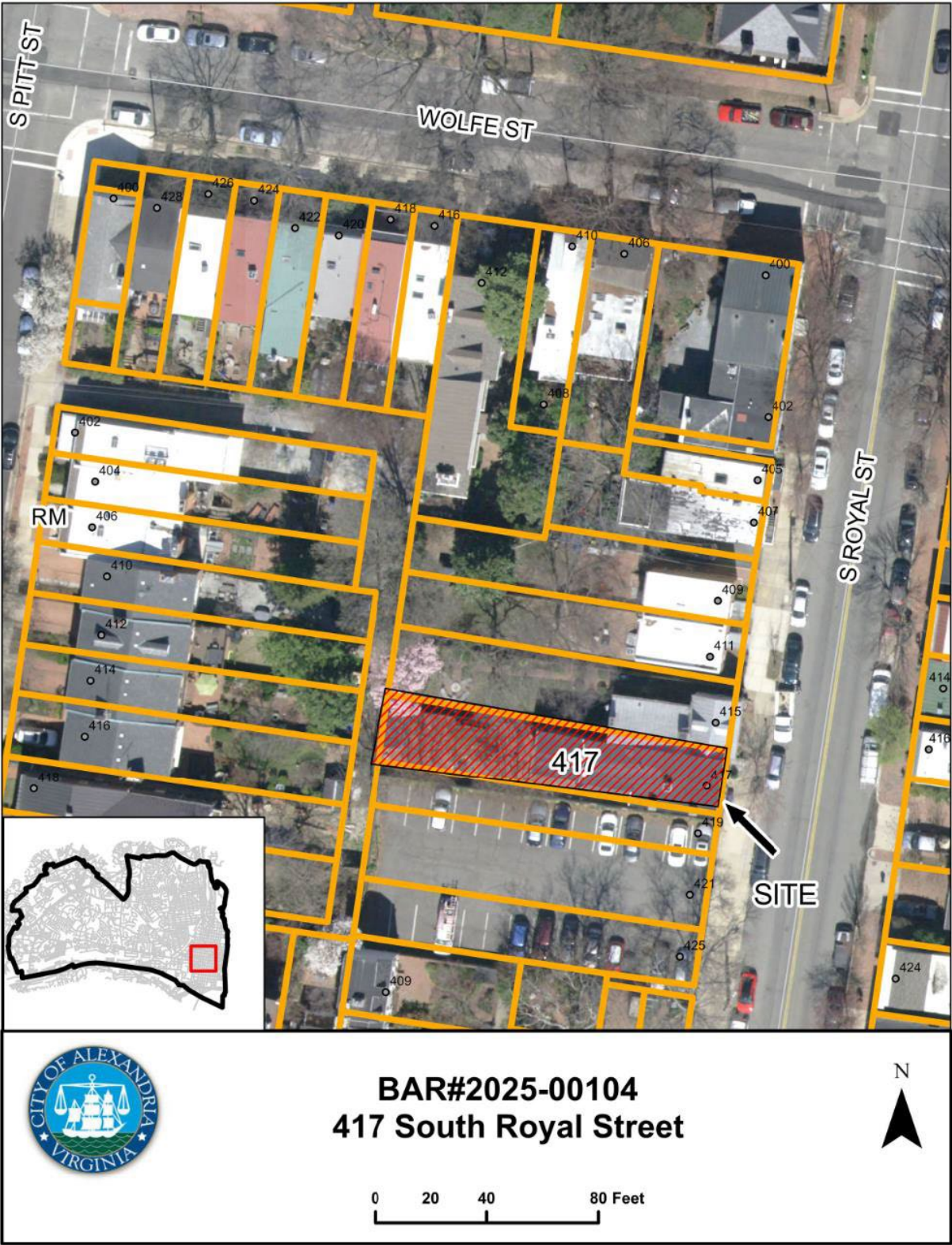
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**STAFF RECOMMENDATION**

Staff recommends approval of the Certificate of Appropriateness, as submitted.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



## I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to construct an accessory dwelling unit at the rear of the property. As part of the proposal, an existing shed will be removed and the fence at the north boundary of the property will be relocated to the property line.

### Site context

The alley to the west, behind the subject property, is private. A private parking lot abuts the south boundary of the property. The proposed structure will be minimally visible from the sidewalk in front of this parking lot. See Figure 1.



Figure 1: Rear yard as seen from sidewalk bounding the parking lot at 419 S. Royal.  
Note that the existing shed is minimally visible.

## II. HISTORY

Based on Sanborn maps, it appears that this dwelling was built **between 1891 and 1896**. The 1891 map shows a two-story frame dwelling with a one-story ell in this location, while the 1896 and later maps show a two-story brick dwelling with a two-story rear ell and noncombustible roofing. As today's building is brick, it would not be the same building as that on the 1891 map. Building permits show various fairly minor alterations over time. Alexandria Living Legend Lois Walker owned the house from 1969 – 2010.

### *Previous BAR Approvals*

BAR2002-00092 and BAR2002-00093: BAR approval of the demolition of a shed at the rear of the property and portions of the 1960 rear frame addition. This also approved the construction of a new porch on the south elevation and an addition to the west elevation.



BAR2014-00386: Administrative approval to add chimney ventilation fans

### III. ANALYSIS

The *Design Guidelines* state that “Free-standing accessory structures should complement, not compete with, the architecture of the main building” and that “...accessory structures were often constructed of simpler materials than the main building. The materials of accessory structures should not detract from the materials of the main building.” The white pine siding of the proposed structure will not detract in any way from the brick and HardiPlank exterior of the main house. The design of the proposed structure is simple and tasteful, with an appropriate appearance for the historic district. See Figure 2. The 240 square feet, 12’ x 20’ size is not overwhelming, nor is the 12’6” height. Locating the building at the western edge of the parcel will further minimize its visibility from any public right of way. As noted above, the existing shed is barely visible from the public sidewalk. Additionally, the proposed accessory dwelling unit has a far more appropriate design and appearance than the existing shed and is therefore an improvement to the property.

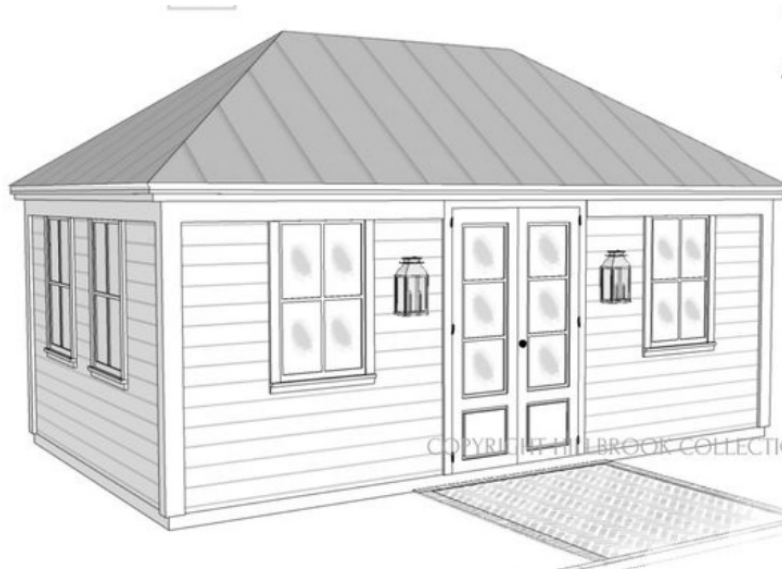


Figure 2: Proposed accessory structure

Staff therefore recommends approval, as submitted.

#### STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning  
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

### IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

#### Zoning

C-1 Proposed rear ADU will comply with Zoning.

- F-1 Zoning staff has reviewed and approved ZAP2025-00016 which is required prior to BAR review.

**Code Administration**

- C-1 A building permit is required.

**Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

- F-1 The property at 417 S. Royal St. likely was built in the first half of the 19th century, based on a review of Mutual Assurance fire insurance maps. Due to its nineteenth-century date of construction, this property may contain significant archaeological deposits related to antebellum Alexandria.
- R-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- R-2 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.

**V. ATTACHMENTS**

- Application Materials
- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs
- Public comment
- Any other supporting documentation

BAR CASE#

BAR2025-000104

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 417 S. Royal Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 074.04-08-19 ZONING: RM

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: Sean Murphy

Address: [REDACTED]

City: [REDACTED] State: [REDACTED] Zip: [REDACTED]

Phone: [REDACTED] E-mail: [REDACTED]

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ [REDACTED]

Name: Christopher Lyon

Phone: [REDACTED]

E-mail: [REDACTED]

Legal Property Owner:

Name: Sean Murphy

Address: [REDACTED]

City: [REDACTED] State: [REDACTED] Zip: [REDACTED]

Phone: [REDACTED] E-mail: [REDACTED]

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☒ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- |                                      |   |   |                                   |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning      | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors       | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting    | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____ |   |   |                                   |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Construct new 240 sf accessory structure in rear yard or existing townhouse dwelling

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**SUBMITTAL REQUIREMENTS:**

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☐ ☐ <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.


**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: 

Printed Name: Chris Lyon

Date: 3/25/2025

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Sean Murphy	[REDACTED]	50%
2. Laura Gustafson	[REDACTED]	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 417 S. Royal Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Sean Murphy	[REDACTED]	50%
2. Laura Gustafson	[REDACTED]	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3/25/2025  
Date

Chris Lyon  
Printed Name

  
Signature



# Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

**B**

## A. Property Information

A1. 417 S Royal Street RM  
Street Address Zone

A2. 3,075 x 1.5 = 4,612.5  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

## B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	0	Basement**		B1. 2,656 Sq. Ft.
First Floor	1237	Stairways**		Existing Gross Floor Area*
Second Floor	1237	Mechanical**		B2. 117 Sq. Ft.
Third Floor	0	Attic less than 7'***		Allowable Floor Exclusions**
Attic	0	Porches**	72	B3. 2,539 Sq. Ft.
Porches	72	Balcony/Deck**	45	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	45	Lavatory***		Comments for Existing Gross Floor Area
Lavatory***		Other**		Includes 65 sf shed, to be demolished
Other**	65	Other**		
B1. <b>Total Gross</b>	2,656	B2. <b>Total Exclusions</b>	117	

## C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	0	Basement**		C1. 2,831 Sq. Ft.
First Floor	1237	Stairways**		Proposed Gross Floor Area*
Second Floor	1237	Mechanical**		C2. 117 Sq. Ft.
Third Floor	0	Attic less than 7'***		Allowable Floor Exclusions**
Attic	0	Porches**	72	C3. 2,714 Sq. Ft.
Porches	72	Balcony/Deck**	45	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	45	Lavatory***		
Lavatory***		Other**		
Other	240	Other**		
C1. <b>Total Gross</b>	2,831	C2. <b>Total Exclusions</b>	117	

## D. Total Floor Area

D1. 2,714 Sq. Ft.  
Total Floor Area (add B3 and C3)

D2. 4,612.5 Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

## E. Open Space

E1. 1,350 Sq. Ft.  
Existing Open Space

E2. 1,076 Sq. Ft.  
Required Open Space

E3. 1,077 Sq. Ft.  
Proposed Open Space

## Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

12

Date: 3/25/2025



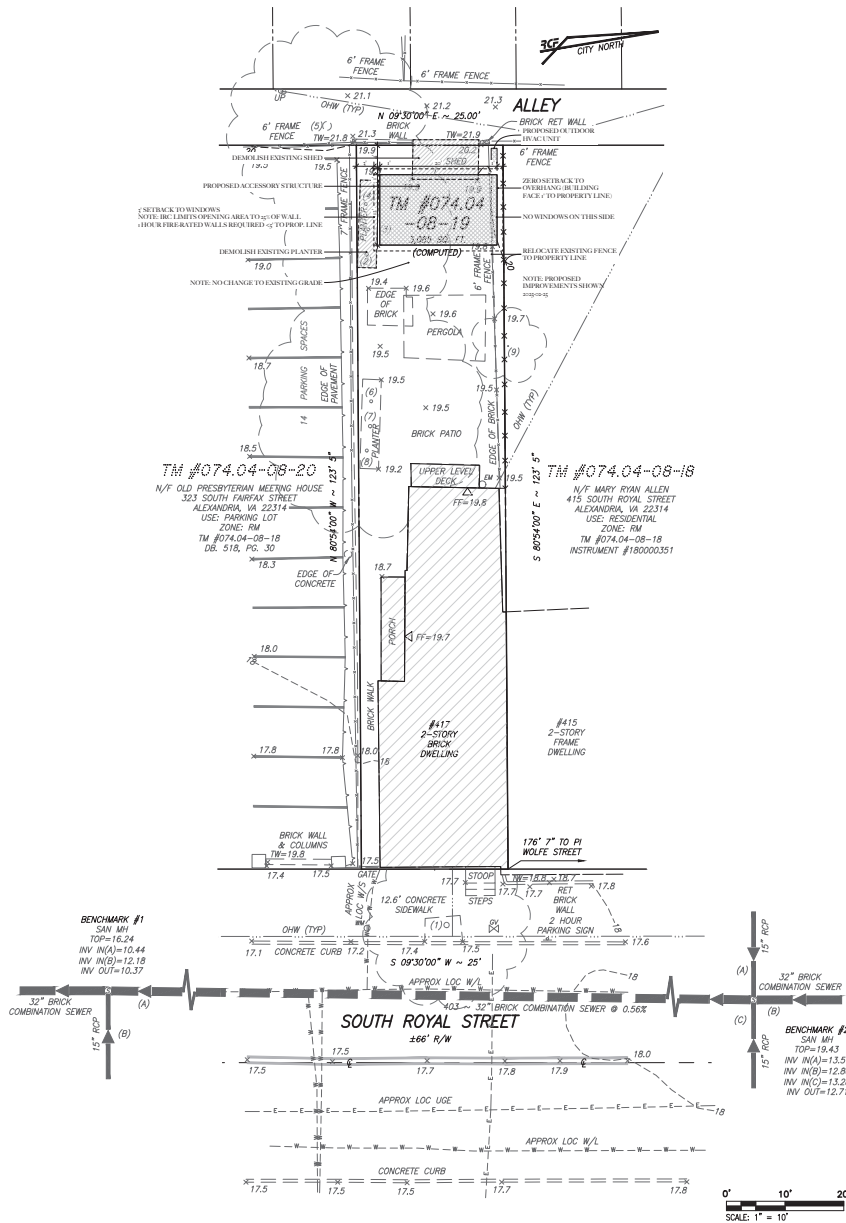
VICINITY MAP  
SCALE 1" = 200'

#### EXISTING TREE TABLE:

- |                    |                    |
|--------------------|--------------------|
| 1) 11" TREE        | 6) 6" TREE CLUSTER |
| 2) 7" TREE CLUSTER | 7) 7" TREE         |
| 3) 6" TREE         | 8) 6" TREE         |
| 4) 6" TREE TWIN    | 9) 2" TREE CLUSTER |
| 5) 18" TREE        |                    |

#### TEXT LEGEND:

- ° = DEGREES  
 ' = MINUTES (OR FEET)  
 " = SECONDS (OR INCHES)  
 % = PERCENT  
 # = NUMBER  
 @ = AT  
 APPROX = APPROXIMATE  
 BF = BASEMENT FLOOR  
 CL = CENTERLINE  
 CONC = CONCRETE  
 SQ. FT. = SQUARE FEET  
 DB = DEED BOOK  
 E = EAST  
 FF = FINISH FLOOR  
 G/L = GAS LINE  
 GM = GAS METER  
 G/S = GAS SERVICE  
 GV = GAS VALVE  
 INV = INVERT  
 INSTR = INSTRUMENT  
 LOC = LOCATION  
 MH = MANHOLE  
 N = NORTH
- N/F = NOW OR FORMERLY  
 OHW = OVERHEAD WIRE  
 P.C. = POINT OF INTERSECTION  
 RCP = REINFORCED CONCRETE PIPE  
 RET = RETAINING  
 R/W = RIGHT-OF-WAY  
 S = SOUTH  
 SAN = SANITARY  
 SEW = SEWER  
 SQ. FT. = SQUARE FEET  
 TM = TAX MAP  
 TOP = TOP OF WALL  
 TYP = TYPICAL  
 UG = UNDERGROUND ELECTRIC  
 UP = UTILITY POLE  
 W = WEST  
 W/L = WATER LINE  
 WM = WATER METER  
 W/S = WATER SERVICE  
 WV = WATER VALVE



#### GENERAL NOTES:

- TAX MAP: #074.04-08-19
- ZONE: RM
- OWNER/CLIENT: SEAN R. MURPHY & LAURA GUSTAFSON  
417 SOUTH ROYAL STREET  
ALEXANDRIA, VA 22314  
INSTRUMENT #230005696
- TOPOGRAPHIC SURVEY WAS FIELD RUN BY THIS FIRM. VERTICAL DATUM = NAVD 83 PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK LEICA SMARTNET.
- A TITLE REPORT WAS NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.
- PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- TOTAL SITE AREA = 3,085 SQ. FT. OR 0.0708 ACRES.

**R.C. FIELDS & ASSOCIATES, INC.**  
ENGINEERING • LAND SURVEYING • PLANNING  
700 S. Washington Street, Suite 220  
Alexandria, Virginia 22314  
(703) 548-5422  
www.rcfields.com

BOUNDARY & TOPOGRAPHIC SURVEY PLAN  
ON THE PROPERTY LOCATED AT  
417 SOUTH ROYAL STREET  
INSTRUMENT #230005696  
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

DATE	REVISION

DRAWN: KKH  
SCALE: 1" = 10'  
DATE: 10/24/2024

BOUNDARY & TOPOGRAPHIC SURVEY

SHEET 1 OF 1

FILE: 24-178

#### TOPOGRAPHY NOTE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF WIM DE SUTTER, LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION. THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON OCTOBER 24, 2024, AND THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA, VIRGINIA.  
© 2024 R.C. FIELDS & ASSOCIATES, INC.

# GUSTAFSON/MURPHY RESIDENCE

## ACCESSORY STRUCTURE PROPOSAL

### MARCH 25, 2025



LYON  
ARCHITECTURE  
P L L C  
205 Hume Avenue  
Alexandria, VA 22301  
703-850-7720  
chris@lyonarchitecture.com

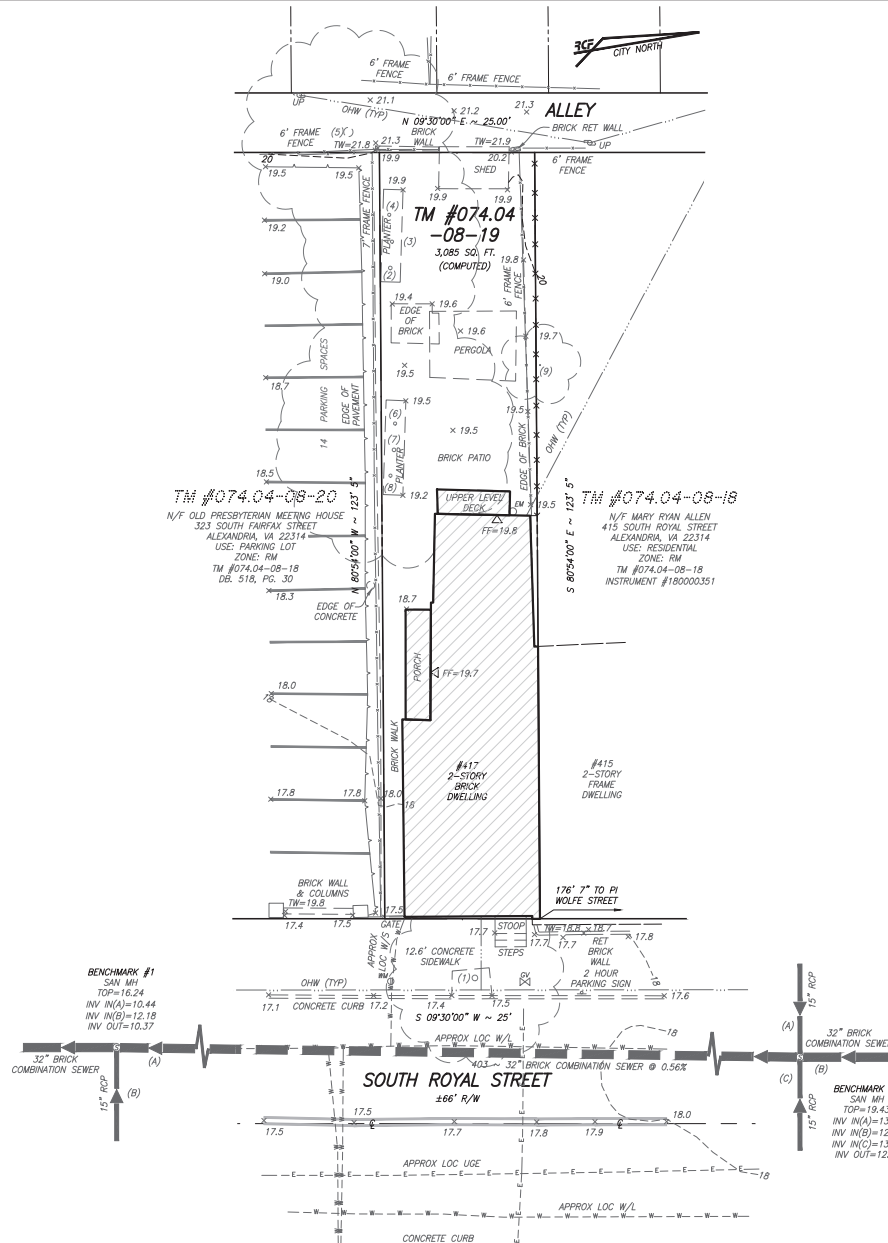
Gustafson/Murphy Residence 417 South Royal Street Alexandria VA 22314	
Accessory Structure Proposal	
O	
Date	3/25/25

© LYON ARCHITECTURE PLLC





VICINITY MAP



SITE PLAN BASED ON  
SURVEY PERFORMED BY  
R.C. FIELDS ON 10/24/2024  
SCALE: 1" = 20'



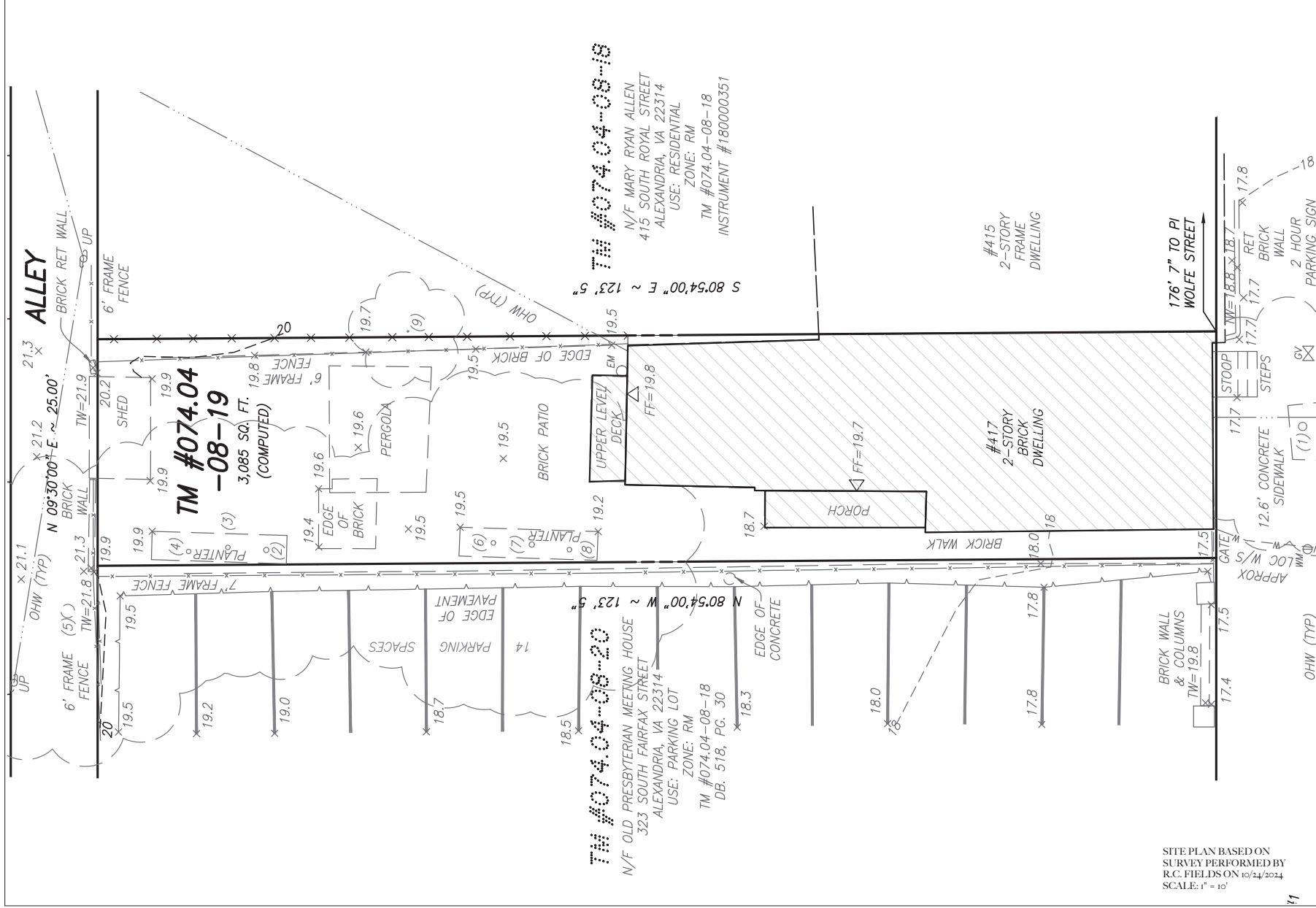
LYON  
ARCHITECTURE  
P L L C  
205 Hume Avenue  
Alexandria, VA 22301  
703-850-7720  
chris@lyonarchitecture.com

Gustafson/Murphy Residence  
417 South Royal Street Alexandria VA 22314

Existing Survey

I

Date 3/25/25



LYON ARCHITECTURE P.L.L.C.  
205 Hume Avenue  
Alexandria, VA 22301  
703-850-7720  
chris@lyonarchitecture.com

**Gustafson/Murphy Residence**  
417 South Royal Street Alexandria VA 22314

## Existing Site Plan

2

Date 3/25/25



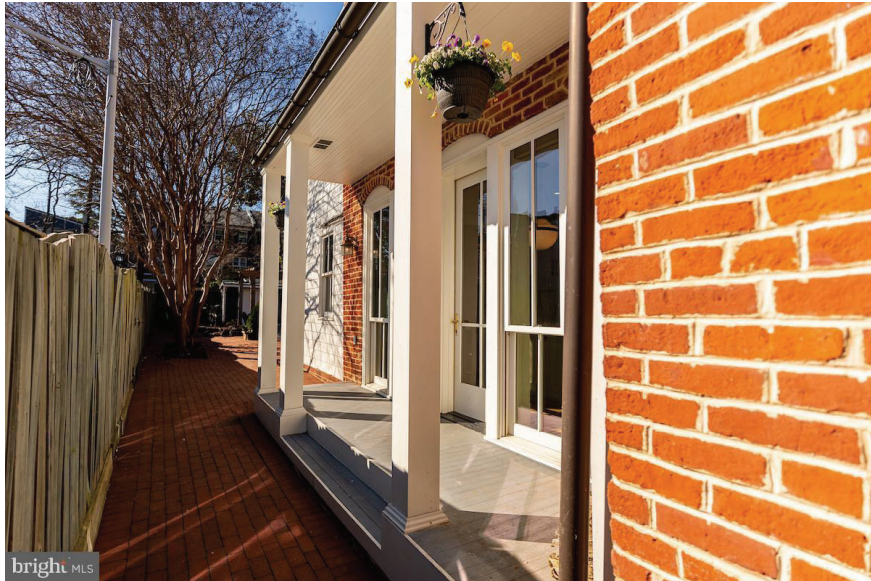




brigh MLS  
FRONT ELEVATION



brigh MLS  
REAR ELEVATION



brigh MLS  
SIDE ELEVATION



brigh MLS  
REAR YARD



LYON  
ARCHITECTURE  
P L L C  
205 Hume Avenue  
Alexandria, VA 22301  
703-850-7720  
chris@lyonarchitecture.com

Gustafson/Murphy Residence  
417 South Royal Street Alexandria VA 22314

Existing Conditions

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**REVISED**  
9:46 am, Apr 02, 2025



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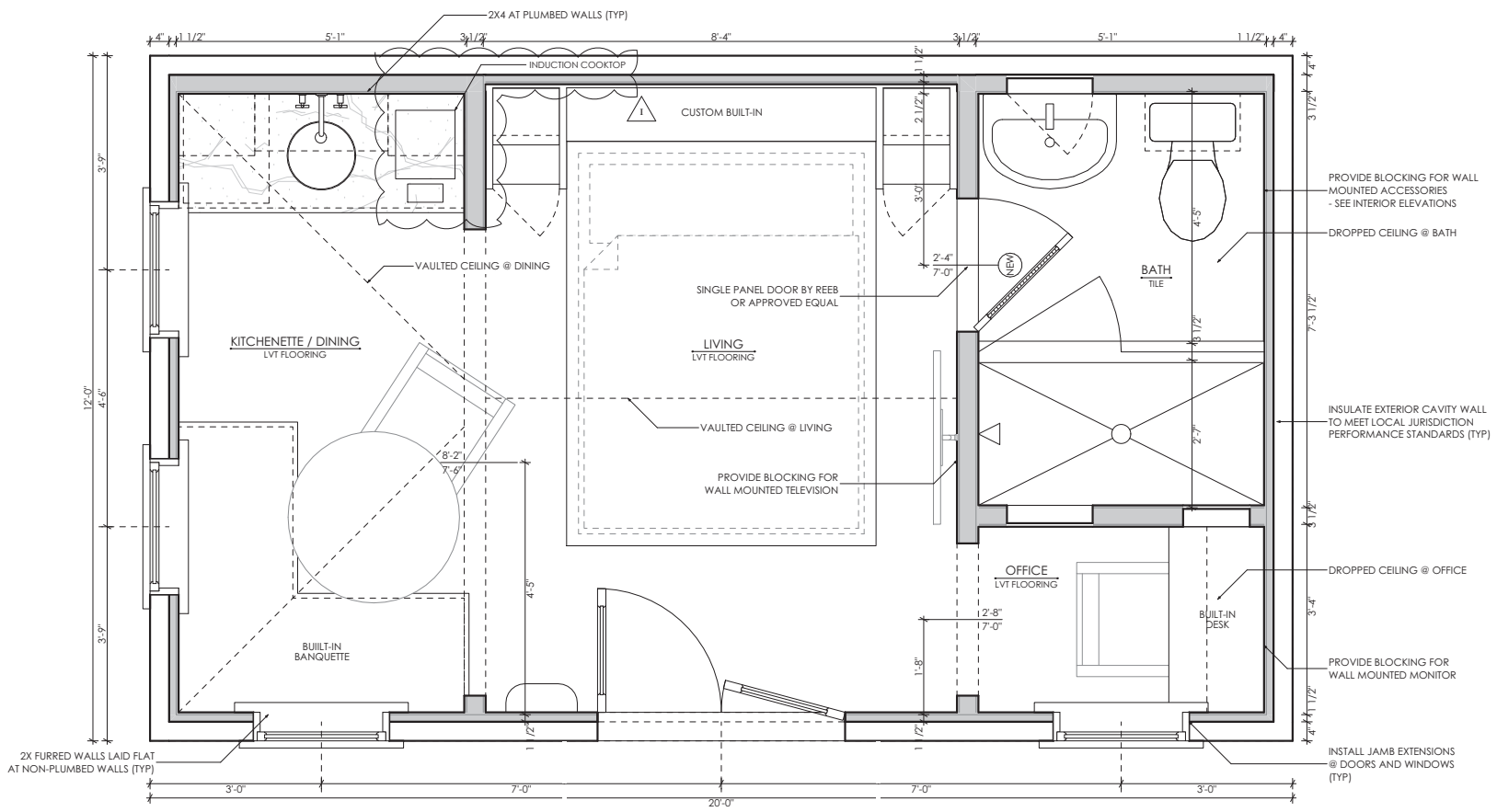
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Proposed Floor Plan

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Rev. 1	3/28/25

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ANNE PULLIAM INTERIORS  
SCALE: 1/2" = 1'-0"



*Hillbrook Collections*

Hillbrook Collections is a reputable provider of custom garden sheds and related high-end structures. The company uses premium materials and ensures careful construction and attractive designs in all of its projects.

Included in this report is detailed information about the structure

**Please note that this is a moveable structure**

Laura Gustafson

12x20 ft.

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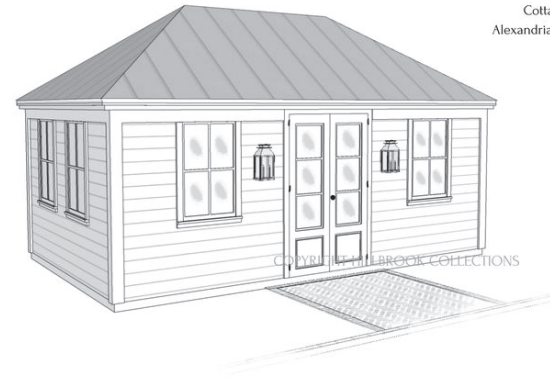


**ORDER** DRAFT  
Customer: Gustafson  
State: Virginia

The Alison  
12x20  
12'6" high  
Residence / Cottage

*Hillbrook Collections*

Laura Gustafson  
Alison 12'x20'x12'6"  
Cottage  
Alexandria, Virginia



Design Details

**MATERIALS**

German style eastern white pine siding  
Fir floor  
Spanish cedar doors and windows

**DOORS**

(2) 3-lite doors with a panel on the front side (26" x 85")

**LANTERNS**

Sourced by Customer

**WINDOWS**

(2) 4-lite windows on the left side (28.5" x 46.5") (spaced 4 ft. apart on center)  
(2) 4-lite windows on either side of the doors (28.5" x 46.5") (each centered between door trim and corner trim)

**ELECTRICAL**

None

**INTERIOR OPTIONS**

(4) Screens for the windows

**PAINT**

Painted outside: BM color match (Farrow & Ball Down Pipe)

**ROOF**

Copper roof

**EXTERIOR OPTIONS**

None

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Proposed Specifications

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Date 3/25/25





## Specifications

### BASE FRAMING

Support Beams: Pressure treated 4x4 beams placed horizontally; one in front, one in back, one in center, and two 6 feet apart on either side of the center 4x4

Rim Joists: Pressure treated 2x4s used as the outer framing, with double 2x4s on the sides

Floor Joists: Pressure treated 2x4s placed perpendicular to the 4x4 beams, spaced 16" on center

Blocking: Pressure treated 2x4s installed between the floor joists for added stability

Flooring: Fir 3" tongue and groove, sanded and finished with a coat of polyurethane

### ROOF

Copper roof

### DOORS

(2) 26" x 85" 3-lite doors with panels on the front 20' side of the building.

\* The doors are 1 3/4" thick and made of Spanish Cedar with tempered glass.

### WINDOWS

(2) 4-lite windows on the left side (28.5" x 46.5")

(2) 4-lite windows on the front side (28.5" x 46.5")

\* The windows are 1 3/4" thick and made of Spanish Cedar with tempered glass.

### SIDING

German Style Eastern White Pine Siding

6" wide x 1" thick

3/4" x 5 1/8" face coverage

The siding is nailed to the framing and glued

### HARDWARE

Solid brass



## Specifications (continued)

### INSIDE FRAMING

Wall Framing: 2x4 studs, 16" on center

Rafters: 2x6, 24" on center

Roof Decking: Pine 8" shiplay, nailed and glued on top of the rafters, with the standing seam metal roof applied on top

Anchoring: Each rafter anchored with a 6" Timberlok screw through the top wall plate (double 2x4s plus soffit) into the rafter for hurricane proofing

### INSULATION

Not supplied by HC

### ELECTRIC

Not supplied by HC

### INTERIOR PAINT

Benjamin Moore

### EXTERIOR PAINT

Benjamin Moore

### OTHER

None



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Proposed Specifications

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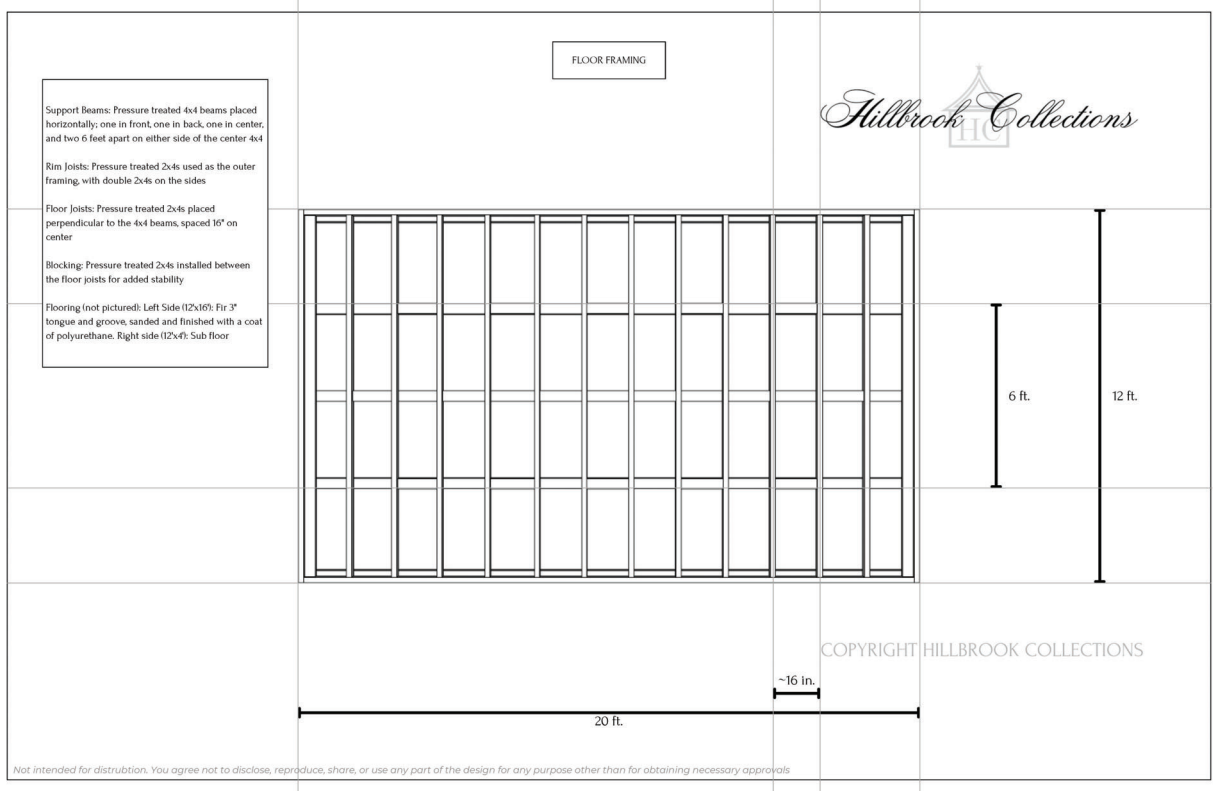
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Proposed Floor Structure

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APPROXIMATE SCALE  
1/4" = 1'-0"

Support Beams: Pressure treated 4x4 beams placed horizontally; one in front, one in back, one in center, and two 6 feet apart on either side of the center 4x4

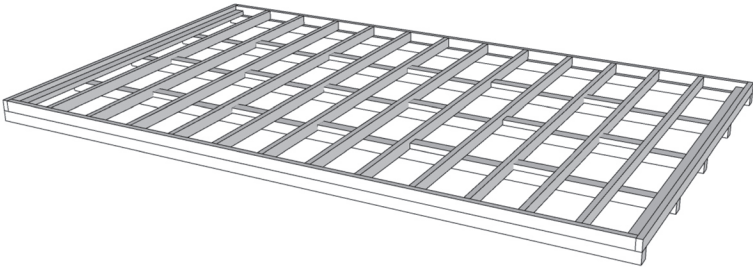
Rim Joists: Pressure treated 2x4s used as the outer framing, with double 2x4s on the sides

Floor Joists: Pressure treated 2x4s placed perpendicular to the 4x4 beams, spaced 16" on center

Blocking: Pressure treated 2x4s installed between the floor joists for added stability

Flooring (not pictured): Left Side (12x16): Fir 3" tongue and groove, sanded and finished with a coat of polyurethane. Right side (12x4): Sub floor

FLOOR FRAMING



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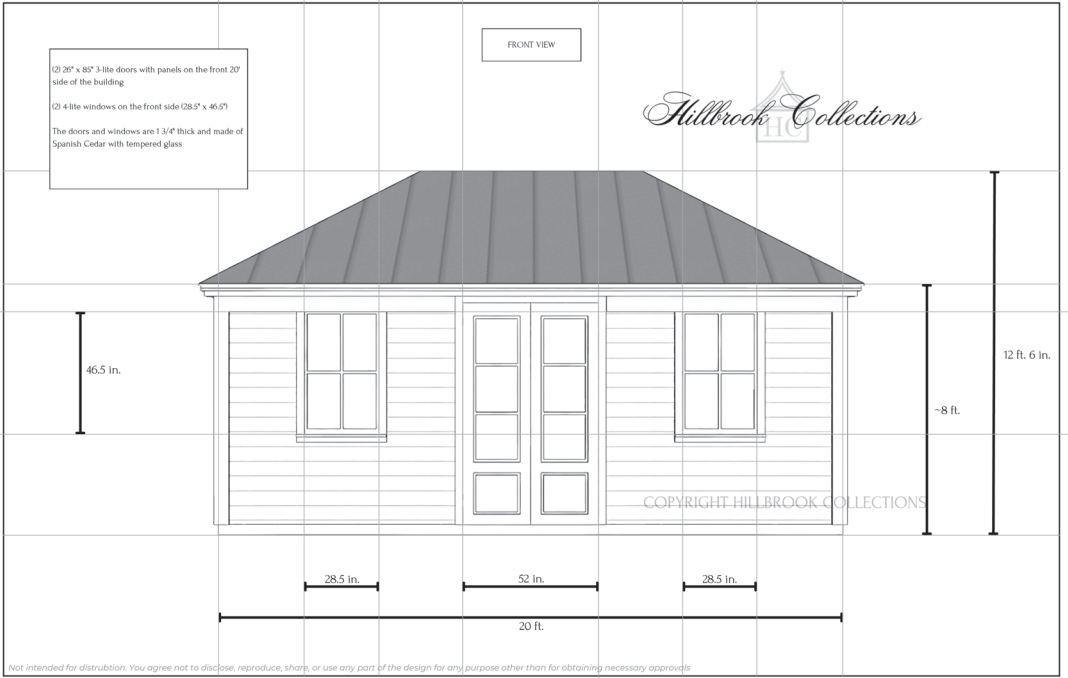
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Proposed Front/East Elevation

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II

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Proposed Left/South Elevation

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1/4" = 1'-0"





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Proposed Rear/West Elevation

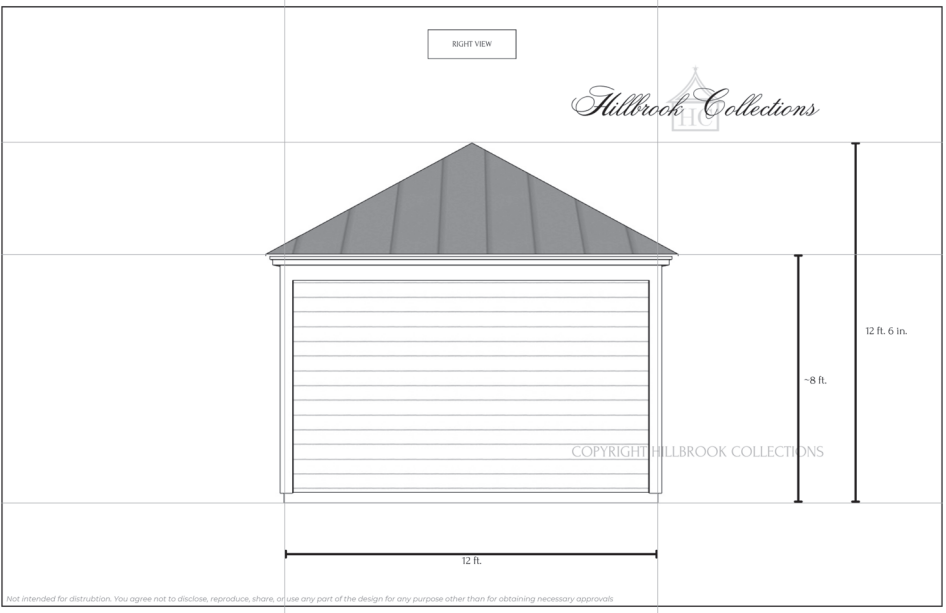
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Proposed Right/North Elevation

I4	
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