

ISSUE: Permit to Demolish/Capsulate (partial)

APPLICANT: Ashley F. & Ryan J. Carmen

LOCATION: Old and Historic Alexandria District
919 Cameron Street

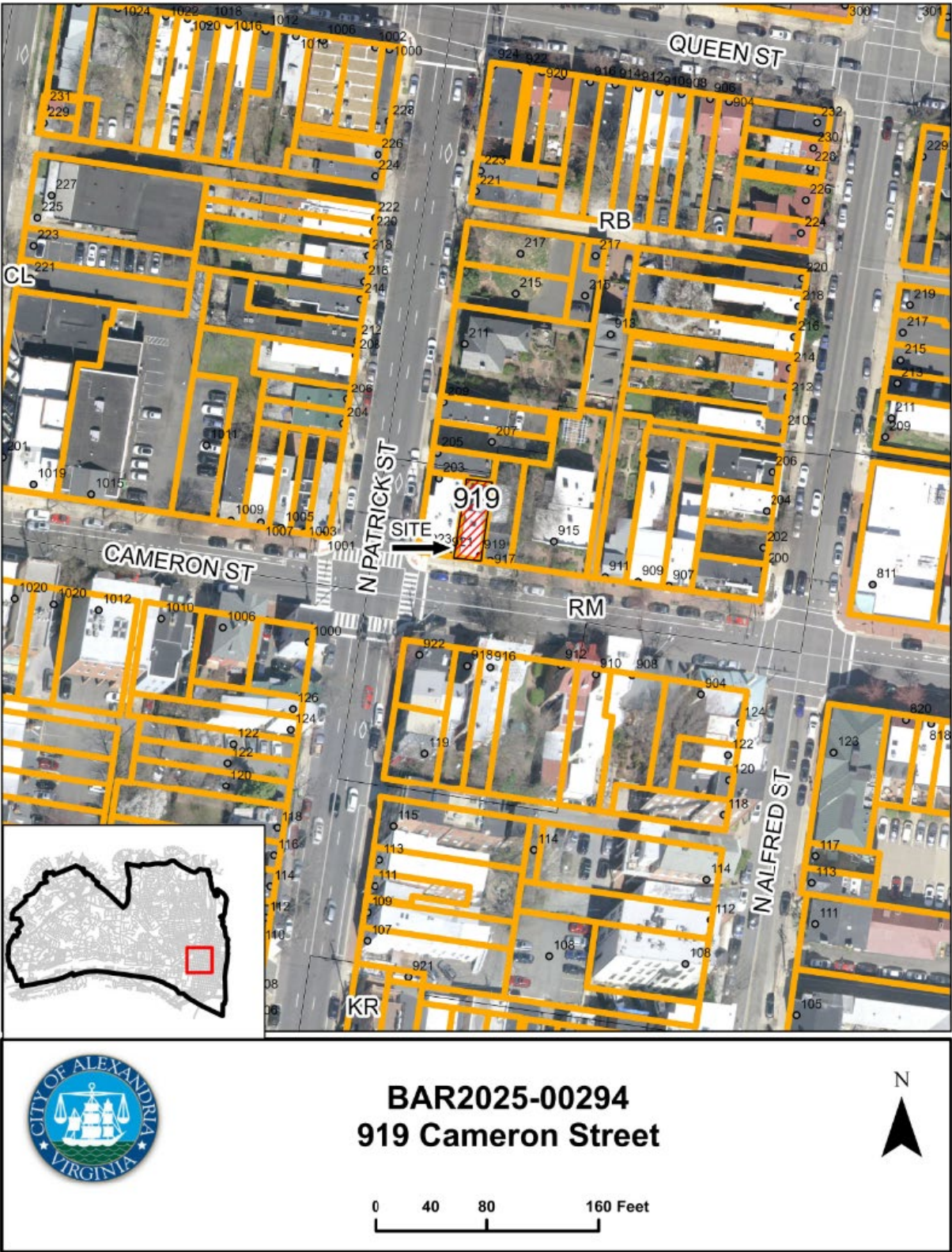
ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulation as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate to demolish approximately 64 square feet of the building's north/rear elevation to add a pair of French doors and infill the existing door opening with brick to match the wall, approximately 21 square feet (Figure 1 and 2), at 919 Cameron Street.

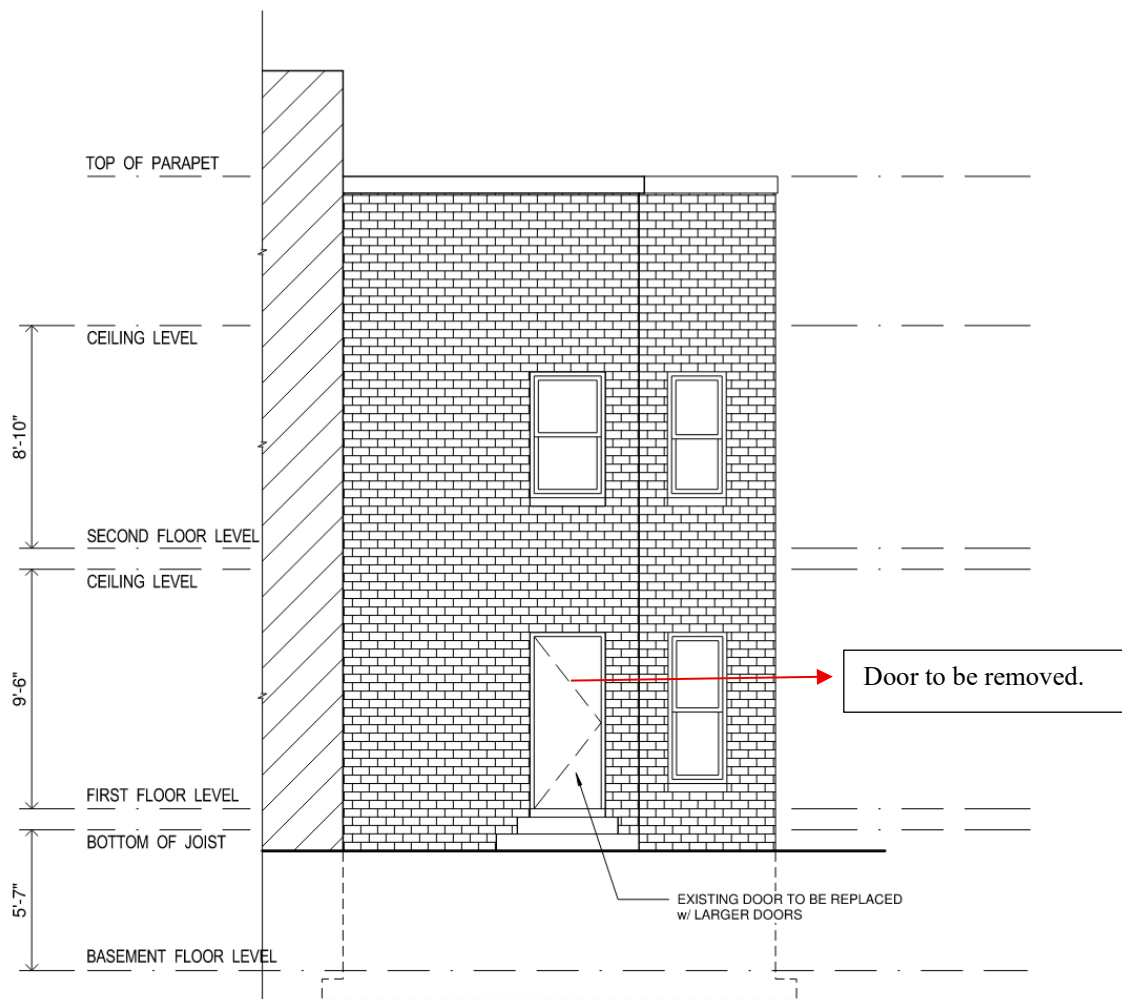


Figure 1 - Existing rear/north elevation

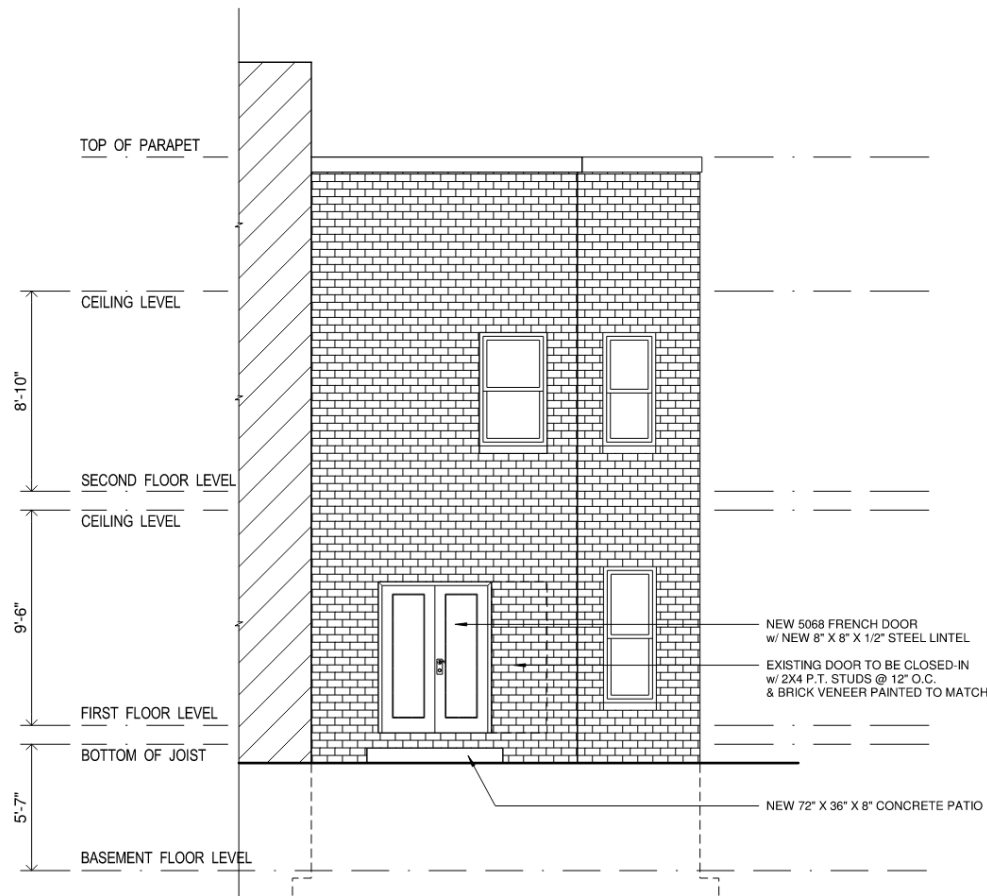


Figure 2 - Proposed rear/north elevation

Site context

The subject property sits on the north side of the 900 Block of Cameron Street. There is no alley adjacent to the property and the north/rear elevation is not visible from any public way, therefore, the proposed design is not under the BAR purview.

II. HISTORY

The two-story, brick, Queen Anne vernacular semi-detached house was built between **1891** and **1896**. The Sanborn Fire Insurance map of 1891 shows a two-story *frame* dwelling on the lot that was probably demolished to give room to the two-story brick dwelling shown on the 1896 Sanborn map. The building features a corbeled brick cornice with low sloped roof, brick segmental arch over the one/over/one windows and door, and a projecting bay.

Previous BAR Approvals

Staff did not find any BAR approval for the property

III. ANALYSIS

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall area proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The area to be demolished is only 64 square feet not visible from a public way. Furthermore, the Board routinely approves changes to the rear of historic buildings to accommodate a more modern and functional interior layout as tastes and technology evolve.

Therefore, with the conditions above, staff recommends approval of the project. Staff notes the recommendations of Alexandria Archaeology.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed new door and demo of rear wall will comply with Zoning.

Code Administration

C-1 A building permit is required.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2)

(T&ES)

- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeology comments.

V. ATTACHMENTS

- Application Materials
- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs
- Public comment, if applicable
- Any other supporting documentation

BAR2025-00294

BAR CASE#

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 919 Cameron Street Alexandria VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 064.03-06-10 ZONING: RM

APPLICATION FOR: (Please check all that apply)

☐ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: Ashley F. & Ryan J. Carmen

Address:

City:

State:

Zip:

Phone:

E-mail:

Authorized Agent (if applicable):

☐ Attorney

☐ Architect

☒

Agent

Name: Janene Neely

Phone:

E-mail:

Legal Property Owner:

Name: Ashley F. & Ryan J. Carmen

Address:

City:

State:

Zip:

Phone:

E-mail:

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|---|---|---|-----------------------------------|
| ☐ awning | ☐ fence, gate or garden wall | ☐ HVAC equipment | ☐ shutters |
| ☒ doors | ☐ windows | ☐ siding | ☐ shed |
| ☐ lighting | ☐ pergola/trellis | ☐ painting unpainted masonry | |
| ☐ other _____ | | | |
- ☐ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

*Close-In An Existing Rear Single Door At The First Floor Rear Wall.

*Demo Portion Of Rear First Floor Wall To Install A New Rear Centered 5' Wide French Door At The Rear First Floor Wall As Part Of A Kitchen Renovation.

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☒ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature:



Printed Name:

Ashley F. & Ryan J. Carmen

Date: 2025 August 19 | 13:50:39 EDT

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Ashley F. Carmen		50%
2. Ryan J. Carmen		50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 919 Cameron Street Alexandria VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Ashley F. Carmen		50%
2. Ryan J. Carmen		50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A	N/A	N/A
2. N/A	N/A	N/A
3. N/A	N/A	N/A

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7/13/2025

Ryan and Ashley Carmen



Date

Printed Name

Signature

1. DESIGN LOADS

USE	LL(p.s.f.)	DL(p.s.f.)
FLOOR	40	10
SLEEPING ROOMS	30	10
DECKS	40	10

USE	LL(p.s.f.)	DL(p.s.f.)
EXTERIOR BALCONY	60	10
GROUND SNOW LOAD	30	17
ROOFS	20	17

2. LATERAL LOADS

- WIND 115 Miles Per Hour

3. SOIL VALUE

- ASSUMED TO BE 1500 PSF BEARING CAPACITY.
- WATER TABLE, MIN. 2'-0" BELOW BOTTOM OF ALL CONCRETE SLABS AND FOOTINGS.
- SOIL TYPES, FOOTINGS, FOUNDATIONS, WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.

4. FOOTINGS

- BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 2' BELOW FINISHED GRADE.
- FOOTINGS FOR SOLID MASONRY PIERS SHALL PROJECT 9" EACH SIDE OF THE PIER ABOVE AND SHALL BE 1'-6" DEEP UNLESS OTHERWISE NOTED.

5. CONCRETE

- ALL CONCRETE SHALL BE 3500 PSI @ 28 DAYS. (EXCEPT STOOP & GARAGE WHICH SHALL BE 3500 PSI @ 28 DAYS.) MAXIMUM SLUMP OF 5".
- CONCRETE TEST CYLINDERS SHALL BE TAKEN IN ACCORDANCE WITH ACI CODE AND CONTRACT SPECIFICATIONS.
- REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
- WELDED WIRE MESH SHALL CONFORM TO ASTM 185.
- ALL EXPOSED EXTERIOR CONCRETE SHALL BE 6 +/- 1% AIR ENTRAINED.
- DETAILS OF REINFORCING SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS:

EXPOSED				
	NOT EXPOSED	#5 OR SMALLER	#6 OR LARGER	EARTH FORMED
SLABS	3/4"	1-1/2"	2"	3"
BEAMS	1-1/2"	1-1/2"	2"	3"
COLUMNS	1-1/2"	1-1/2"	2"	-
WALLS	3/4"	1-1/2"	2"	-
FOOTINGS	-	3"	3"	3"

6. CONCRETE FOUNDATION WALLS

- SEE DETAILS FOR 45# AND 60# LATERAL PRESSURE.
- FOOTINGS FOR 8" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10"
- FOOTINGS FOR 10" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10".
- FOOTINGS FOR 12" MASONRY OR CONCRETE WALLS SHALL BE 20" x 10".
- STEP FOOTINGS 2 HORIZONTAL UNITS TO 1 VERTICAL UNIT.
- FOOTINGS FOR MASONRY PIERS AND CHIMNEY SHALL HAVE 6" PROJECTIONS x 12" DEPTH.
- ALL FOOTINGS TO BE SIZED AS ABOVE UNLESS OTHERWISE NOTED.

7. CONCRETE SLABS ON GRADE

- UNLESS OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK POURED CONCRETE AND REINFORCED WITH 6 x 6 W1.4 x W1.4 (#10/10) WELDED WIRE FABRIC IN THE MIDDLE PORTION OF THE SLAB THICKNESS. CONCRETE TO BE POURED ON 6 MIL POLYETHYLENE VAPOR BARRIER OVER 4" THICK GRAVEL.
- PLACING, LAP, ETC., SHALL CONFORM TO WRI STANDARDS.
- FILLING UNDER SLABS ON GRADE SHALL BE MADE WITH MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER AND SHALL BE COMPACTED IN A MANNER THAT WILL NOT DAMAGE FOUNDATION WALLS.

8. CONCRETE RETAINING WALLS

- FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS OR 24" WHICHEVER IS GREATER INTO WALL.
- PROVIDE WEAKENED PLANE CONTRACTION VERTICAL JOINTS AT APPROXIMATELY 25' O.C. STOP ALL HORIZONTAL BARS IN INSIDE FACE AT JOINTS.
- PROVIDE CONTINUOUS DRAINAGE SYSTEM BEHIND WALLS IN ACCORDANCE WITH SECTION R405.

9. MASONRY

- PIERS, PILASTERS, CHIMNEYS AND BEARING UNDER BEAMS SHALL BE SOLID MASONRY WITH TYPE S MORTAR ASTM C-270.
- BOND ALL MASONRY WITH METAL JOINT REINFORCEMENT EVERY 16" VERTICALLY.
- WALLS LESS THAN 5'-0" BELOW FINISHED GRADE SHALL BE 8" THICK MASONRY, 5'-0" TO 8'-0" SHALL BE 12" THICK MASONRY REINFORCED WITH #4'S @ 24" O.C. INTO THE FOOTING TO TOP OF THE WALL WITH CELLS OR VOIDS FILLED WITH PEA GRAVEL CONCRETE.
- TIE ALL BRICK VENEER TO WOOD STUD BACK-UP WITH CORRUGATED METAL TIES AT 24" O.C. (MAX).
- ALL MORTAR BELOW GRADE TO BE TYPE H.
- PROVIDE 3 COURSES OF SOLID BRICK OR 1 COURSE OF 100% SOLID (NOT FILLED) BLOCK CONTINUOUS BY 8" WIDTH UNDER ALL WOOD TRUSSES AND CONCRETE SLABS BEARING ON MASONRY WALLS.
- UNLESS OTHERWISE NOTED, PROVIDE 6 COURSES OF SOLID BRICK OR 2 COURSES OF 100% SOLID BLOCK, 8" WIDTH BY 2'-8" MINIMUM LENGTH AT ALL STRUCTURAL STEEL BEARING.
- PIERS INDICATED AS SOLID MASONRY SHALL BE 100% SOLID FROM TOP OF FOOTING TO BEAM BEARING.
- PIERS SHALL BE BONDED WITH HEADER COURSES.
- PROVIDE THOROUGH MASONRY CONTINUITY (CEMENT GROUT) WHERE PIERS EXTEND ABOVE STEEL BEAMS.

SPECIFICATION:

- EARTHQUAKE SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS 0.16 @ 1 SECOND PERIOD 0.053
- RESIDENTIAL SEISMIC DESIGN CATEGORY-B
- WEATHERING PROBABILITY FOR CONCRETE - SEVERE
- TERMITE INFESTATION PROBABILITY - MODERATE TO SEVERE
- DECAY PROBABILITY - SLIGHT TO MODERATE
- ICE SHIELD UNDERLAYMENT REQUIRED - YES
- FLOOR HAZARDS (3-15-1990) NATIONAL FLOOD PROGRAM DATE
- WINTER DESIGN TEMPERATURE 17 DEGREES F
- AIR FREEZING INDEX < OR 1500 DEGREES F
- MEAN ANNUAL TEMPERATURE 50 DEGREES F

- CONSTRUCTION CLASSIFICATION TYPE - 5B
- USE GROUP CLASSIFICATION - R5
- ALL 3", 3 1/2", AND 4" DIAMETER ADJUSTABLE STEEL COLUMNS ARE TAPCO MONOPOST 40-300 SERIES U.N.O. AND CONFORM TO ASTM A513 STEEL.
- ALL SMOKE / CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED & INTERCONNECTED PER THE 2021 USBC, 315.1 & 315.2 & LISTED IN ACCORDANCE w/ UL2034 & UL217.
- THESE PLANS HAVE BEEN DESIGNED TO COMPLY WITH THE 2021 USBC AND THE 2021 INTERNATIONAL BUILDING CODES.

10. MASONRY RETAINING WALLS

- FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS OR 24" WHICHEVER IS GREATER INTO WALL.
- CONCRETE BLOCKS SHALL BE 2 CELL UNITS CONFORMING TO ASTM C-90.
- KEEP CELLS TO RECEIVE BARS CLEAN OF MORTAR DROPPINGS. TIE VERTICAL BARS TO DOWELS AT BOTTOMS AND SECURE WITH WIRE TIES AND SPACERS AT TOP TO ASSURE THAT BARS REMAIN IN POSITION DURING GROUTING.
- FILL ALL CELLS CONTAINING DOWELS AND VERTICAL BARS WITH PEA GRAVEL CONCRETE, 2500 PSI @ 28 DAYS, OR MASONRY GROUT PER ASTM C-476. - CLOSE CLEANOUTS ONLY AFTER GROUT FLOWS FULLY TO BOTTOM OF WALL. VIBRATE CONCRETE DURING PLACEMENT TO ELIMINATE ALL AIR POCKETS.
- MORTAR SHALL CONFORM TO ASTM C-270 TYPE H.
- PROVIDE DUROWAL (OR EQUAL) 8" O.C. VERTICALLY.

11. BACKFILL COMPACTION

- PER GEOTECHNICAL REQUIREMENTS.

12. WOOD FRAMING

- ALL SPANS UP TO 15'-0" FRAMING TIMBERS SHALL BE NO. 2 HEM FIR, OR BETTER (Fb = 850, E = 1,300,000 PSI), Fv = 135 PSI.
- ALL SPANS OVER 15'-0" FRAMING TIMBERS SHALL BE NO. 1 YELLOW PINE, OR BETTER (Fb = 1,300, E = 1,700,000 PSI), Fv = 175 PSI. 2x12 FB=1250 psi
- PROVIDE ANCHORAGE INTO FOUNDATION WALLS WITH 1/2" DIA. A307 ANCHOR BOLTS @ 4'-0" O.C., 9" INTO CONCRETE, AND A MAXIMUM OF 12" FROM ANY CORNER.
- PROVIDE TECO FRAMING ANCHORS, OR EQUIVALENT, AT EACH ROOF JOIST BEARING POINT.
- STUDS SHALL BE MIN. S-P-F S-DRY, CONSTRUCTION GRADE.
- ALL EXTERIOR LUMBER TO BE P.T. SOUTHERN PINE #2 OR BETTER
- LUMBER IN CONTACT w/ GROUND SHALL BE RATED AS "GROUND CONTACT"

13. WOOD TRUSSES (PREFAB/PREEND.)

- FLOOR TRUSSES SHALL BE DESIGNED AND SPECIFIED BY MANUFACTURER TO CARRY THE ABOVE LISTED DESIGN LOADS WITH A MAX. DEFLECTION OF L/360 SPAN. REFER TO FLOOR TRUSS MANUFACTURER'S RECOMMENDATIONS FOR ERECTION BRACING, INSTALLATION METHODS, HANDLING OF TRUSSES, STORAGE, ALLOWABLE HOLE SIZES, STIFFENERS AND BEARING DETAILS.
- TRUSSES ARE DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH NFPA STANDARDS.
- TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES (TPI-78), PUBLISHED BY THE TRUSS PLATE INSTITUTE, AND FABRICATED IN ACCORDANCE WITH TPI QUALITY CONTROL MANUAL (QCM-77).
- ERECTION LAYOUT, CALCULATIONS, JOINT STRENGTH INFORMATION (ALLOWABLE LOAD PER SQUARE INCH OR PER NAIL, ALLOWABLE EDGE DISTANCES AND END DISTANCES), LOAD TEST DATA, AND DETAILS FOR TRUSS-TO-TRUSS CONNECTIONS AND ANY OTHER INFORMATION DEEMED NECESSARY BY THE ENGINEER SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
- TRUSS DESIGN SHALL BE CERTIFIED BY A REGISTERED ENGINEER AND SHALL BE SHOP INSPECTED BY AN APPROVED INDEPENDENT TESTING LABORATORY.
- ROOF TRUSSES SHALL BE SECURED AT BEARING WITH ONE TECO OR EQUIVALENT FRAMING ANCHOR EACH END.
- ALL TRUSSES SHALL BE SECURELY BRACED BOTH DURING ERECTION AND AFTER PERMANENT INSTALLATION IN THE STRUCTURE IN ACCORDANCE WITH BRACING WOOD TRUSSES (BTW-76), AS PUBLISHED BY TPI.

14. MICRO-LAM BEAMS

- SHALL HAVE AN EXTREME FIBER BENDING STRESS OF FB-3100 PSI, E-2,000,000 PSI, Fv-285 PSI AND SHALL BE INSTALLED AS RECOMMENDED BY MANUFACTURER.

15. PLYWOOD WEB JOISTS

- JOISTS SHALL BE MANUFACTURED AND ERECTED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS. THEY SHALL BE CAPABLE OF SUPPORTING THE DESIGN LIVE LOADS SHOWN ON THE DRAWINGS IN ADDITION TO THE DEAD LOADS SHOWN BUT NOT LESS THAN 10 PSF.

16. STRUCTURAL STEEL

- STRUCTURAL STEEL BELOW GRADE SHALL HAVE A MINIMUM OF 3" CONCRETE OR 4" SOLID MASONRY COVER.
- ALL WELDING SHALL CONFORM TO THE AWS STRUCTURAL WELDING CODE. WELDS SHALL BE INSTALLED BY WELDERS QUALIFIED IN ACCORDANCE WITH AWS PROCEDURES FOR WELDERS QUALIFICATION.
- ONE SHOP COAT OF PAINT, SOUTHERN COATING 1-0476 OF 0730, OR AN APPROVED EQUIVALENT, TWO MILS DRY FILM THICKNESS SHALL BE APPLIED TO ALL STRUCTURAL MEMBERS.
- PROVIDE MASONRY FRAMING ANCHORS AT EACH BEAM END BEARING UPON MASONRY.
- STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS FOR BUILDINGS, AND UNLESS OTHERWISE NOTED, IT SHALL CONFORM TO ASTM A-572 GR-50
- STRUCTURAL TUBING SHALL CONFORM TO ASTM A-501 WITH A MINIMUM YIELD OF 36 KSI (ROUND ONLY). SQUARE AND RECTANGULAR SHALL CONFORM TO ASTM A-500 GR-B FY=46 KSI
- SHOP CONNECTIONS SHALL BE WELDED.
- FIELD CONNECTIONS SHALL BE MADE WITH HIGH STRENGTH BOLTS UNLESS OTHERWISE NOTED.
- HIGH STRENGTH BOLTS SHALL BE TIGHTENED BY THE TURN-OF-NUT METHOD.

17. MISCELLANEOUS

- HANDRAILS ARE TO BE BUILT & INSTALLED PER 2021 USBC.
- STAIRWAYS ARE TO BE ILLUMINATED WITH A MINIMUM OF 10 FOOT CANDLES PER TREAD
- OUTSIDE LIGHTING IS TO BE PROVIDED SO THAT DECK STAIRS ARE ILLUMINATED PER CODE.
- ALL STUCCO FINISH HOUSES ARE TO BE INSTALLED WITH STRICT COMPLIANCE TO MANUFACTURER'S RECOMMENDATIONS.
- ALL FOAM PLASTIC MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH 2021 IRC SECTION R316.

INDEX

DESCRIPTION	SHEET	CHECKED
COVER SHEET	C	4-03-2025
EXISTING BUILDING ELEVATIONS	A1	4-03-2025
EXISTING FLOOR PLANS	A2	4-03-2025
PROPOSED BUILDING ELEVATIONS	A3	4-03-2025
PROPOSED FLOOR PLANS	A4	4-03-2025

WORK DESCRIPTION:

- RENOVATE EXISTING KITCHEN
- REPLACE REAR DOOR
- RENOVATE EXISTING SECOND FLOOR BATHROOM

NOTES TO ALL PARTIES INVOLVED:

1. THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE w/ THE VIRGINIA RESIDENTIAL CODE (VRC) 2021
2. THIS PLAN IS A BASIC PLAN FOR THE USE OF OBTAINING A BUILDING PERMIT AND PROVIDING A LAYOUT OF THE PROPOSED WORK FOR ALL SPECIFICATIONS, NOTES, REGULATIONS, SAFETY REQUIREMENTS, BUILDING CODES, ELECTRICAL CODES, PLUMBING CODES. OTHER APPLICABLE CODES AND ETC NOT SHOWN ON THIS PLAN, PLEASE REFER TO THE VRC 2021 VRC CODE FOR CLARIFICATION.
3. THIS PLAN IS NOT FOR THE USE OF OBTAINING MECHANICAL, ELECTRICAL, AND PLUMBING PERMITS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER OF THIS PROPERTY-ACTING AS CONTRACTOR, TO CONSTRUCT THIS PROPOSED RESIDENTIAL STRUCTURE PER THESE APPROVED PLANS AND IN ACCORDANCE WITH THE VRC 2021 CODE.
4. IF THE CONTRACTOR AND/OR PROPERTY OWNER SHOULD HAVE ANY QUESTIONS AND/OR CONCERNS AT ANY TIME BEFORE OR THROUGHOUT THE CONSTRUCTION OF THIS PROJECT, THEN HE OR SHE SHOULD STOP WORK IMMEDIATELY AND CONTACT THE PERSON WHO PREPARED THESE PLANS, IN ORDER TO CLARIFY AND/OR CORRECT ANY CONFUSION AND/OR CONCERNS. THIS WILL HELP TO PREVENT UNNECESSARY MISTAKES, INJURIES, COST & ETC.
5. This proposed structure should be built per the plans, only after they have been approved by the appropriate county/city jurisdiction. And for any parts of this plan that may appear to be incorrect or contradictory to the VRC 2021 Code (even if they are already approved and construction is under way). Then it is the responsibility of the contractor and/or property owner to contact the person who prepared these plans, in order to clarify such concerns. If it is necessary, revision will need to be made through the appropriate county/city jurisdiction prior to construction. This structure must be constructed per the VCR 2021 code.
6. It is the responsibility of the contractor and/or property owner to ensure that all required permits are obtained, that they do not expire and that all required inspections are scheduled and approved. It is also the responsibility of the contractor and/or property owner to ensure that all of the required permits remain active until all of the required permits are finalized / approved with the appropriate county/city inspection office.
7. The contractor and/or property owner is responsible and liable for the lives and safety of any and/or all occupants of the property, their visitors and the people performing the labor/trade construction services-before, during, and after construction of this project – on this property. The contractor and/or property owner is also responsible and liable for any and/or all damage(s) to this property- before, during, and after the construction of this project. The contractor and/or property owner will be responsible for using the correct materials specified and not specified in this plan and that those materials will be of good quality. The contractor and/or property owner is also responsible for ensuring that all individuals(s) performing any work are knowledgeable and competent enough to perform construction labor/trade services and that they are using safe construction practices at all times. The contractor and/or property owner is responsible for ensuring that any individual(s) performing any type of construction services at any time of this project, that he or she can comprehend these plans and is familiar with and understandingof the VRC 2021 code.
8. It is the responsibility of the contractor and/or property owner to ensure that all existing site conditions are verified in the field. He or she must also verify that all existing site conditions in the field correspond with what is shown on these plans that are approved by the appropriate county/city jurisdiction. It is the responsibility of the contractor and /or property owner to ensure that all existing field conditions meet the VRC 2021 code. If it is discovered that the existing site/structure(s) does not meet current applicable state, county and city codes and ordinances, then the contractor and/or property owner is responsible for modifying/upgrading the existing site/structure(s), in order to meet any and all such current codes. The contractor and/or property owner is responsible for verifying that any and all existing structure(s) is in good condition and can sustain any alterations and/or additional loads being added as shown in this plan, prior to construction.
9. Once the contractor and/or property owner has taken possession of these approved plans for whatever intent or purpose, he or she is certifying that they agree with all of the notes, statements, and conditions listed above and that he or she comprehends exactly what each statement is saying. Also the contractor and/or property owner is responsible for ensuring that every requirement of these statements are performed.
10. It is the responsibility of the contractor and/or homeowner to verify that all of the existing structures dimensions, measurements, conditions, etc. match what has been proposed in this plan. These specifications need to be verified and addressed prior to the ordering of materials and prior to any demo or construction being performed, for any part of this proposed work. The contractor and/or homeowner is liable and financially responsible for all costs, fees, and etc. that may occur throughout construction, even if these plans are incorrect or different that the conditions on the site or different from previous conversations and requests. The contractor and/or homeowner are responsible for any additional costs for additional materials, corrections, engineering, labor and etc. that may occur throughout this project.

REVISIONS

EZ PLAN & CONSULTING, LLC

4393 KEVIN WALKER DR. #156
DUMFRIES, VA 22025

PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

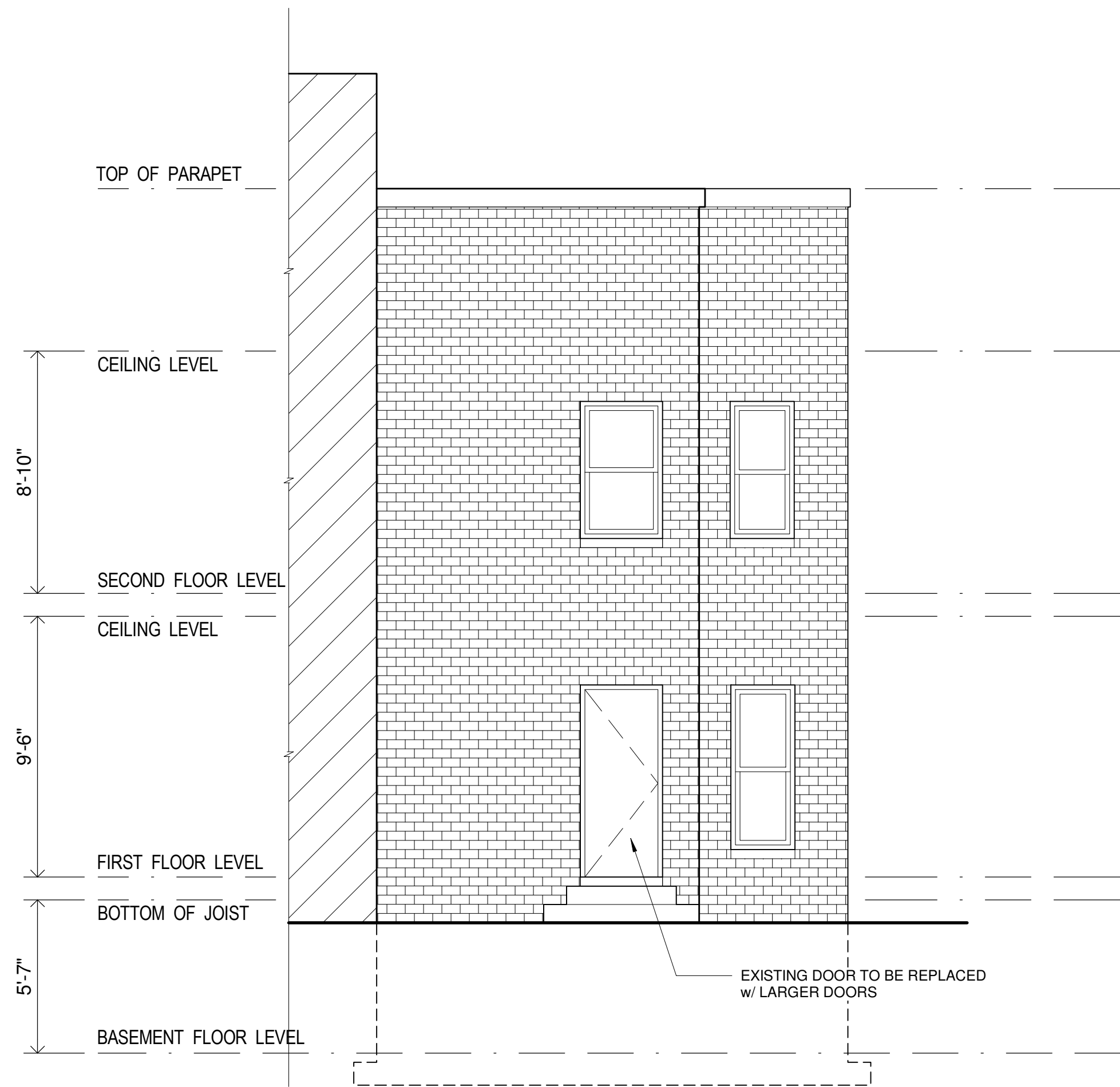
919 CAMERON STREET

ALEXANDRIA, VA 22314

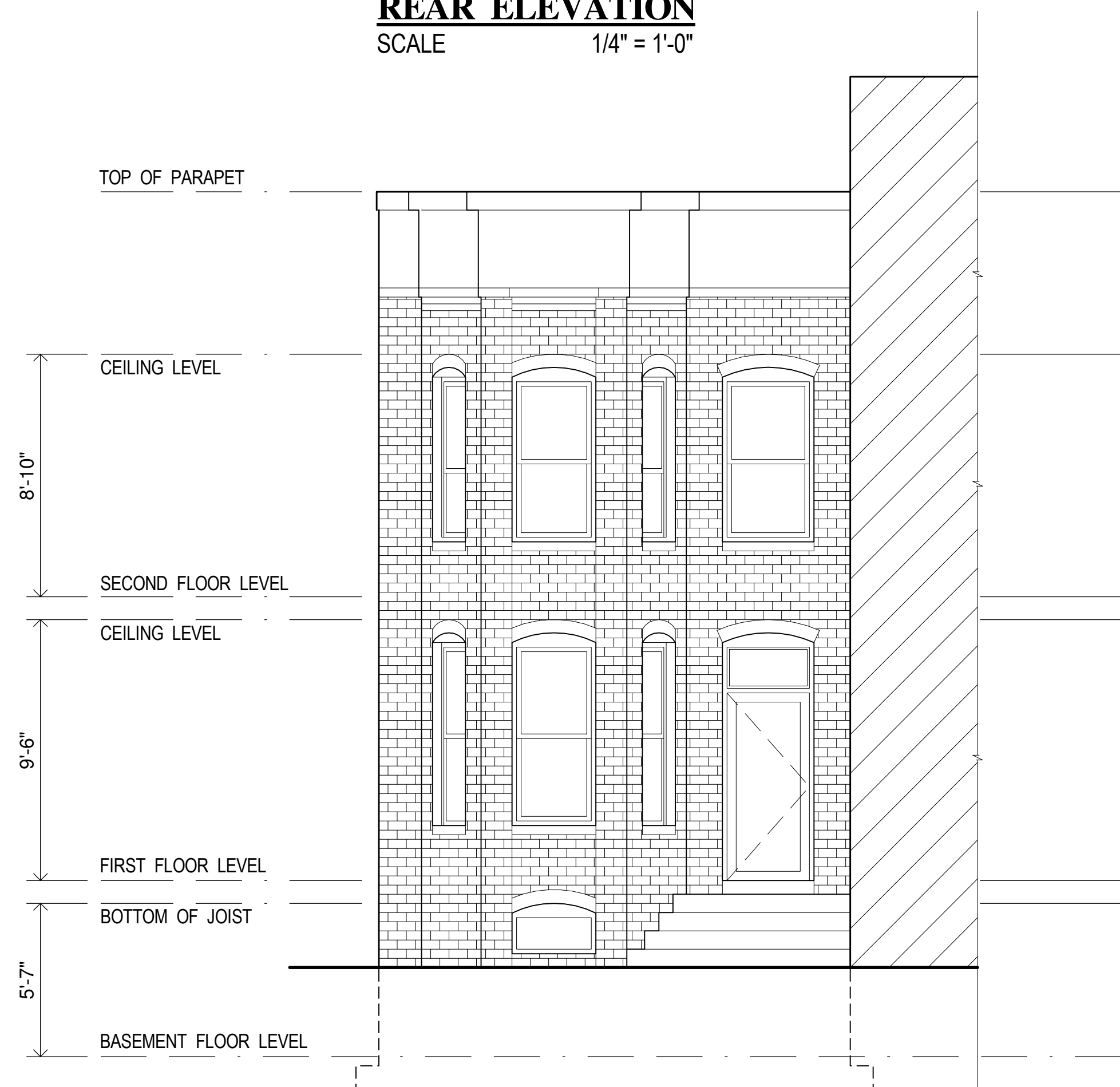
COVER SHEET

C

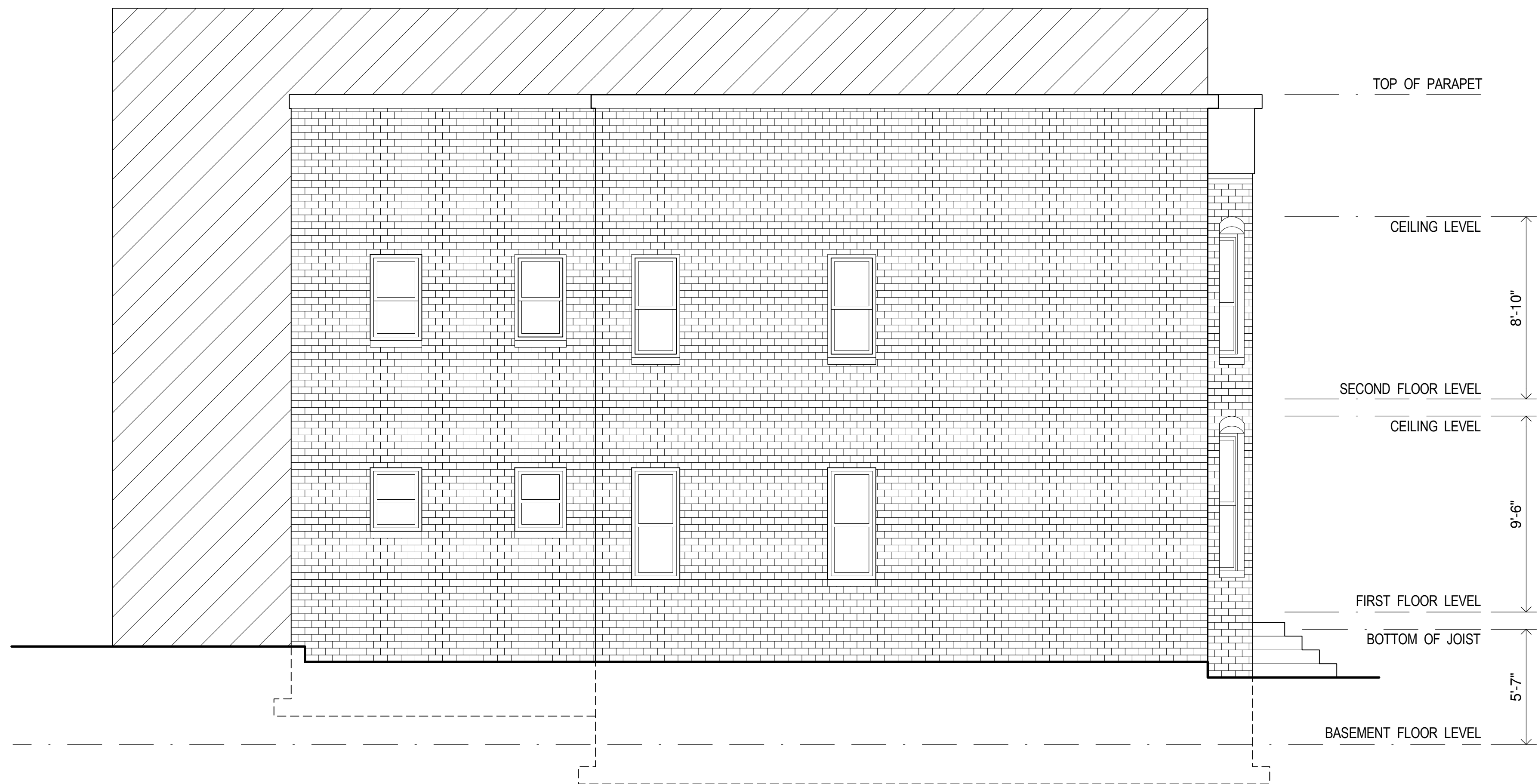
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**EXISTING
REAR ELEVATION**
SCALE 1/4" = 1'-0"



**EXISTING
FRONT ELEVATION (NO CHANGE)**
SCALE 1/4" = 1'-0"



**EXISTING
LEFT ELEVATION (NO CHANGE)**
SCALE 1/4" = 1'-0"

REVISIONS

EZ PLAN & CONSULTING, LLC
4393 KEVIN WALKER DR. #156
DUMFRIES, VA 22025

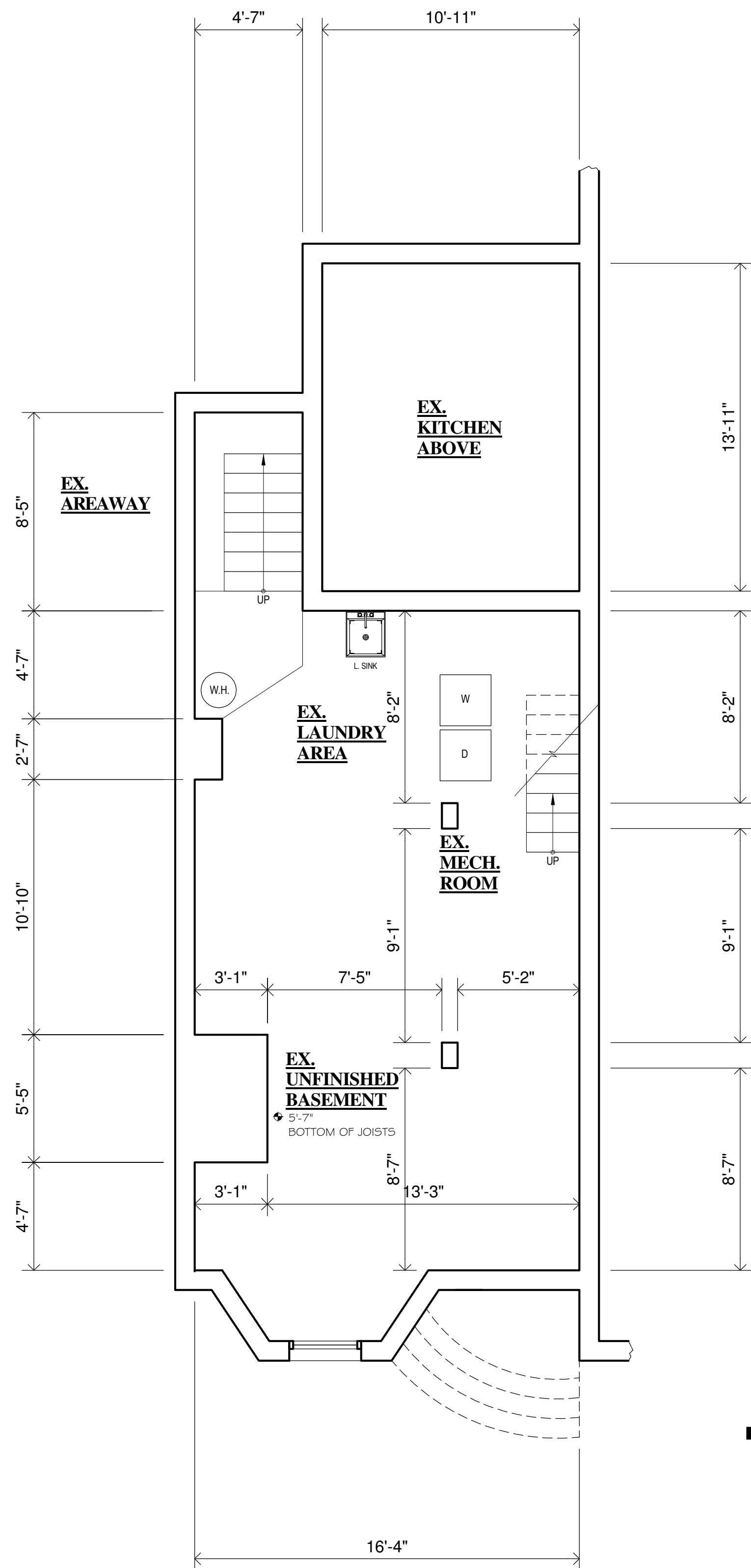
PREPARED BY:
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EXISTING BUILDING
ELEVATIONS

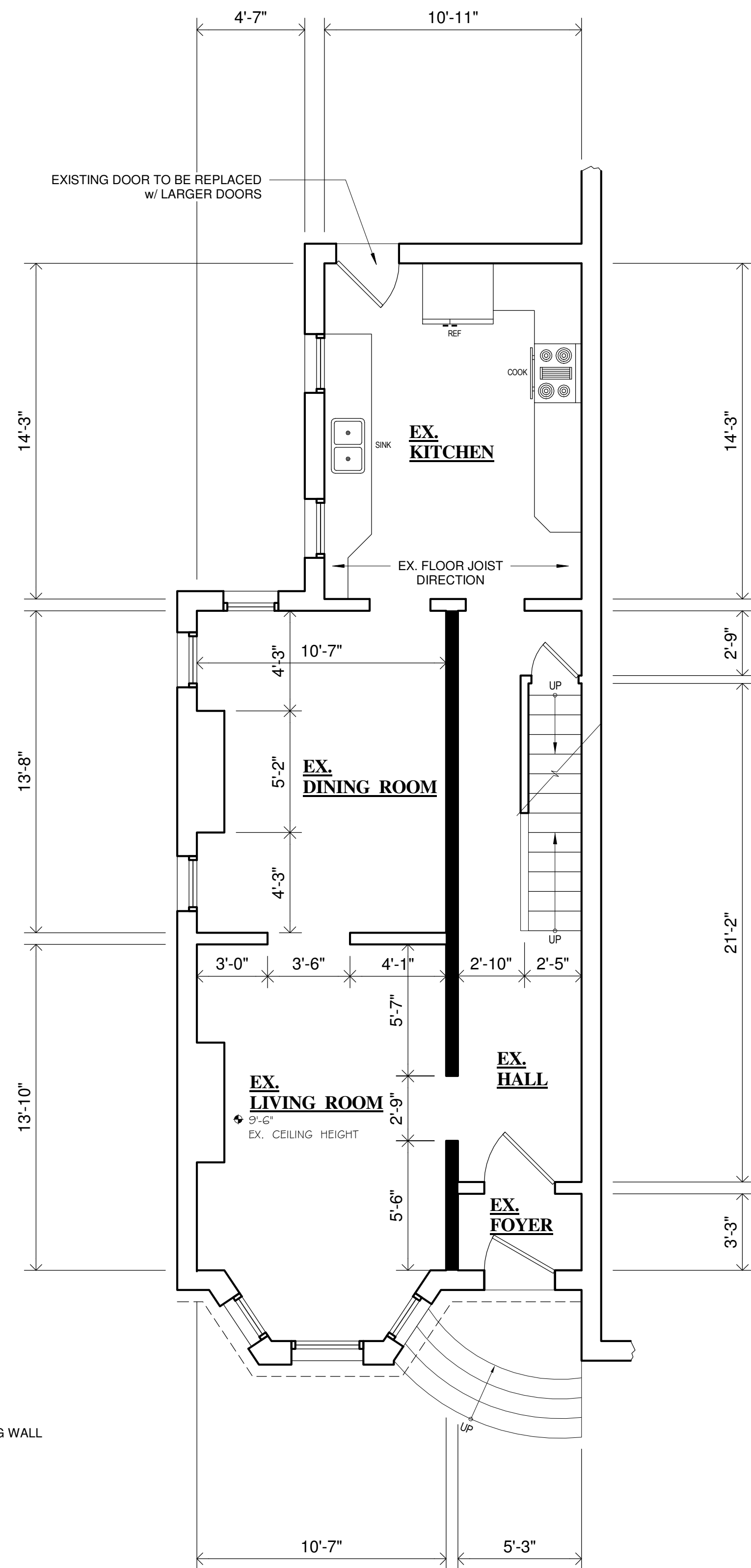
919 CAMERON STREET
ALEXANDRIA, VA 22314

A1

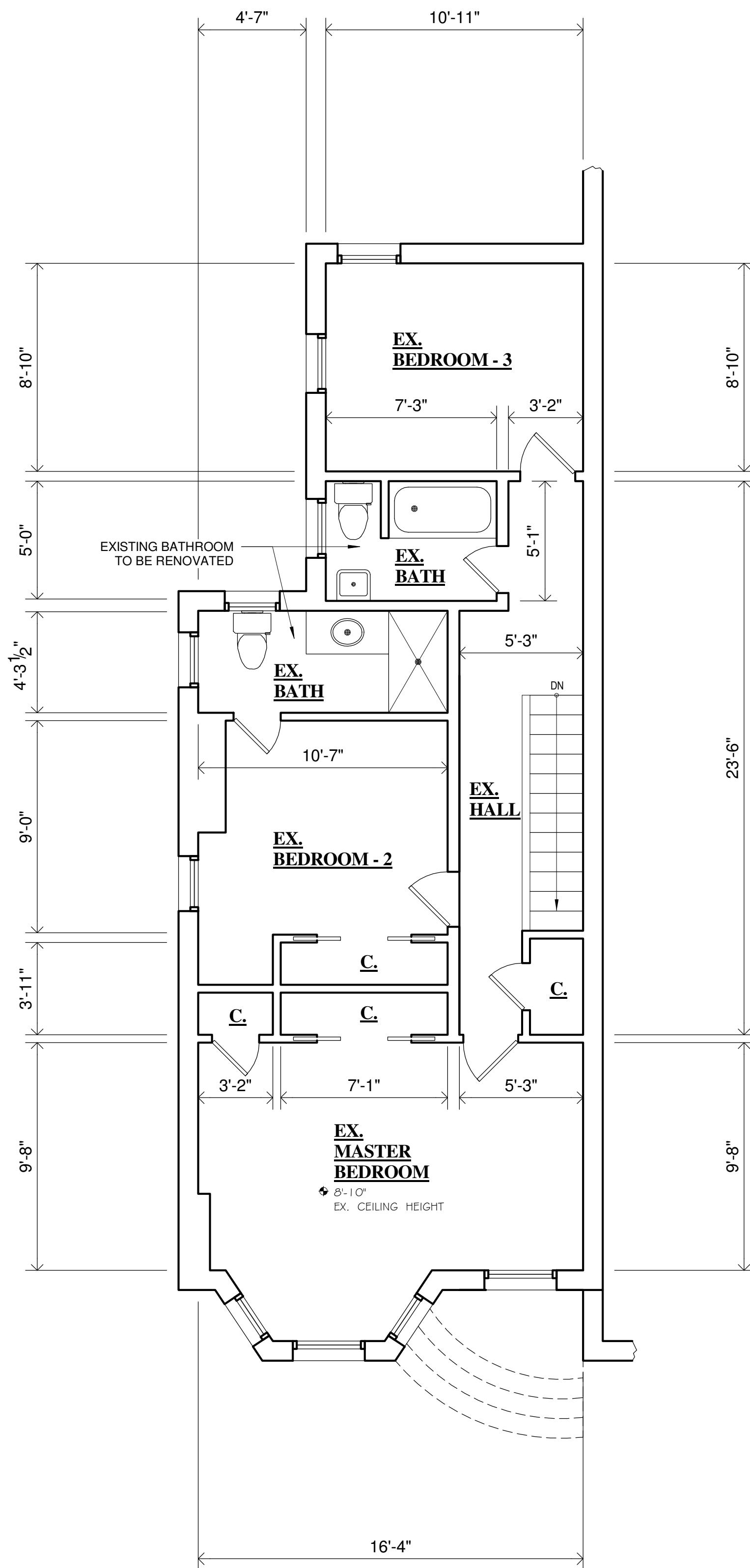
SCALE: 1/4" = 1'-0"



**EXISTING
BASEMENT FLOOR PLAN (NO CHANGE)**
SCALE 1/4" = 1'-0"

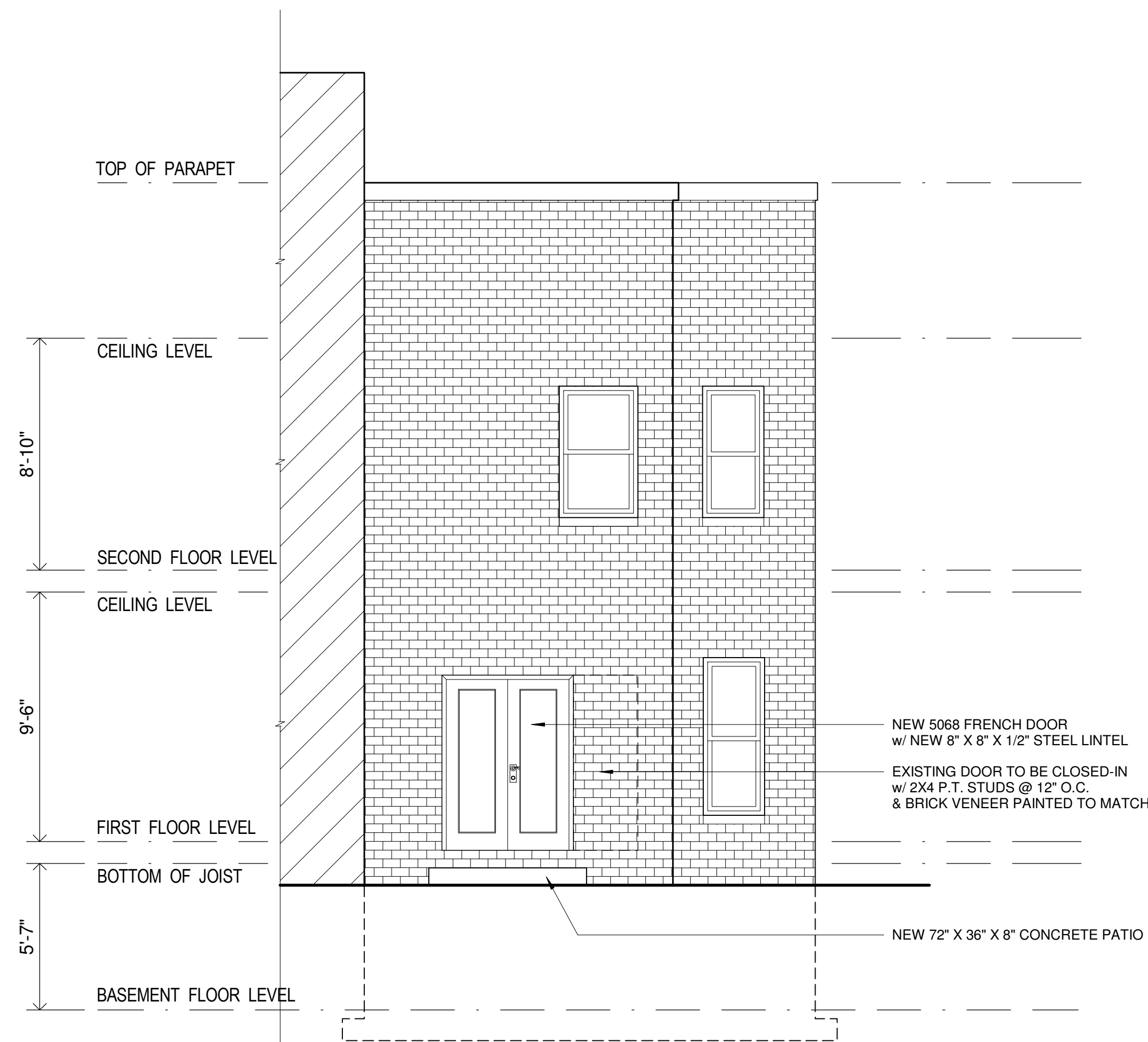


**EXISTING
FIRST FLOOR PLAN**
SCALE 1/4" = 1'-0"



**EXISTING
SECOND FLOOR PLAN**
SCALE 1/4" = 1'-0"

REVISIONS	
EZ PLAN & CONSULTING, LLC 4393 KEVIN WALKER DR. #156 DUMFRIES, VA 22025	
PREPARED BY: BURNS DRAFTING & DESIGN, LLC	
EXISTING FLOOR PLANS	
919 CAMERON STREET ALEXANDRIA, VA 22314	
A2	
SCALE: 1/4" = 1'-0"	



**PROPOSED
REAR ELEVATION**
SCALE 1/4" = 1'-0"

- CLOSE-IN EXISTING DOOR & NEW PAINT TO MATCH
- INSTALL NEW DOOR
- NEW CONCRETE PATIO

REVISIONS

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4393 KEVIN WALKER DR. #156
DUMFRIES, VA 22025

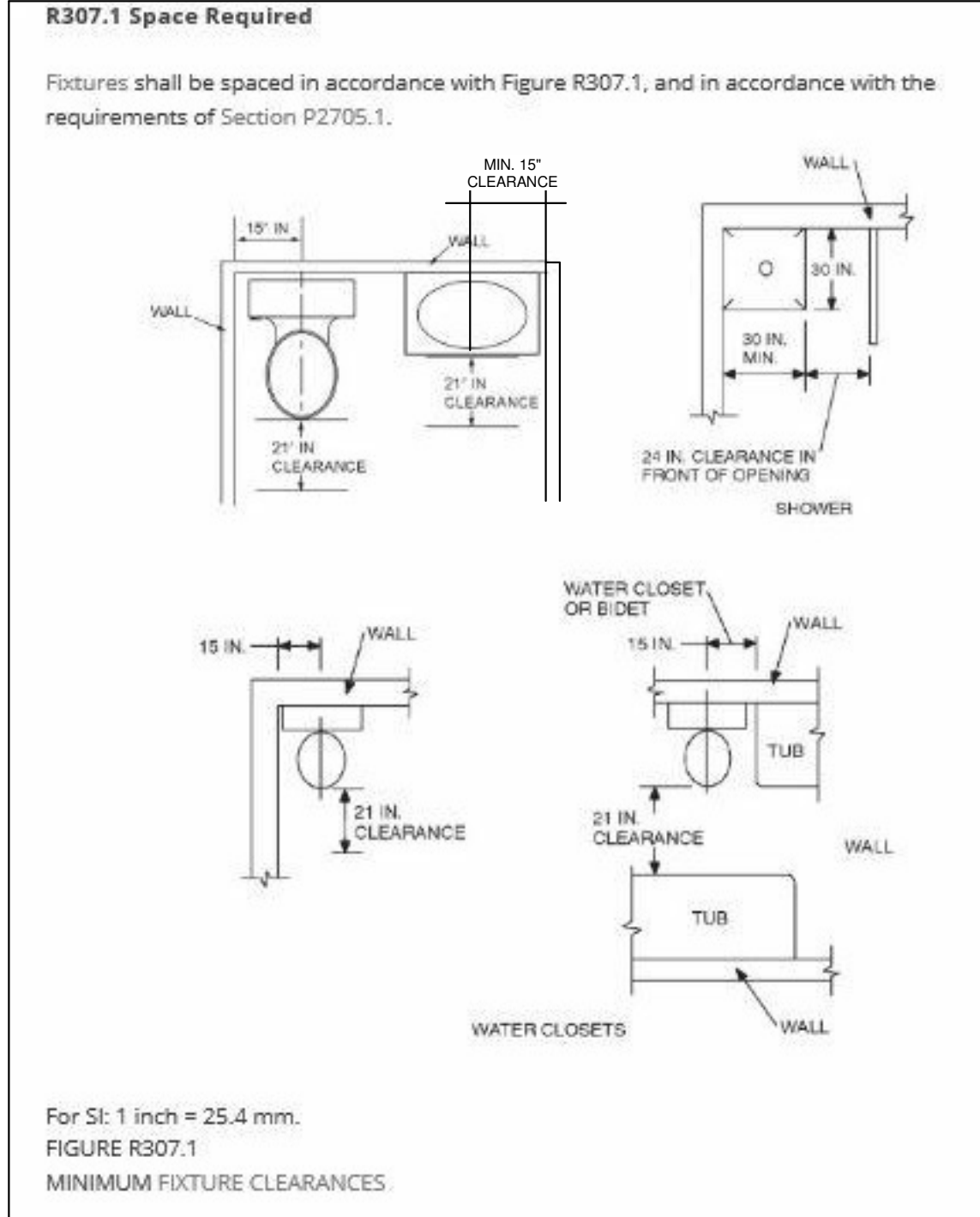
PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

**PROPOSED BUILDING
ELEVATIONS**

919 CAMERON STREET
ALEXANDRIA, VA 22314

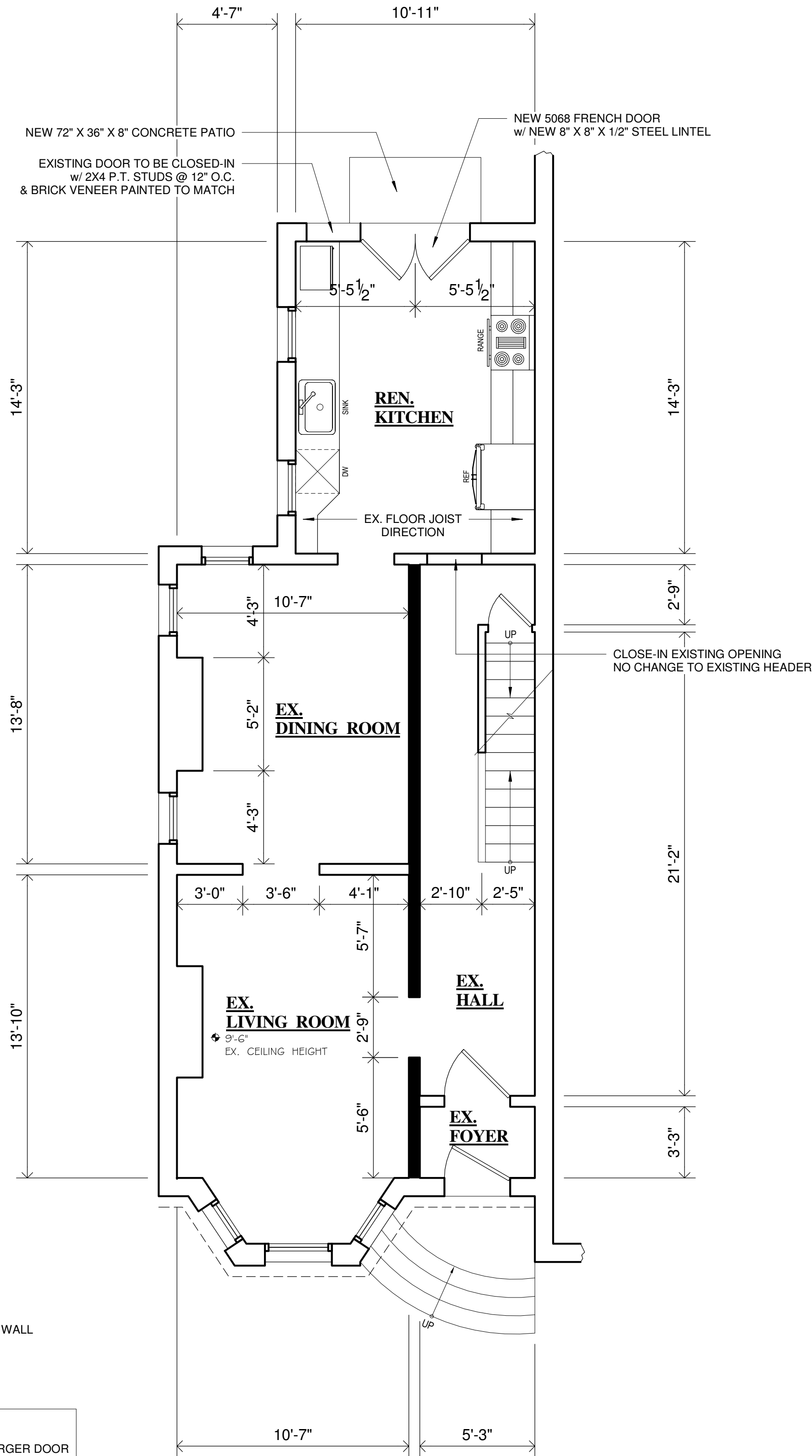
A3

SCALE: 1/4" = 1'-0"



█ = EXISTING INTERIOR LOAD BEARING WALL

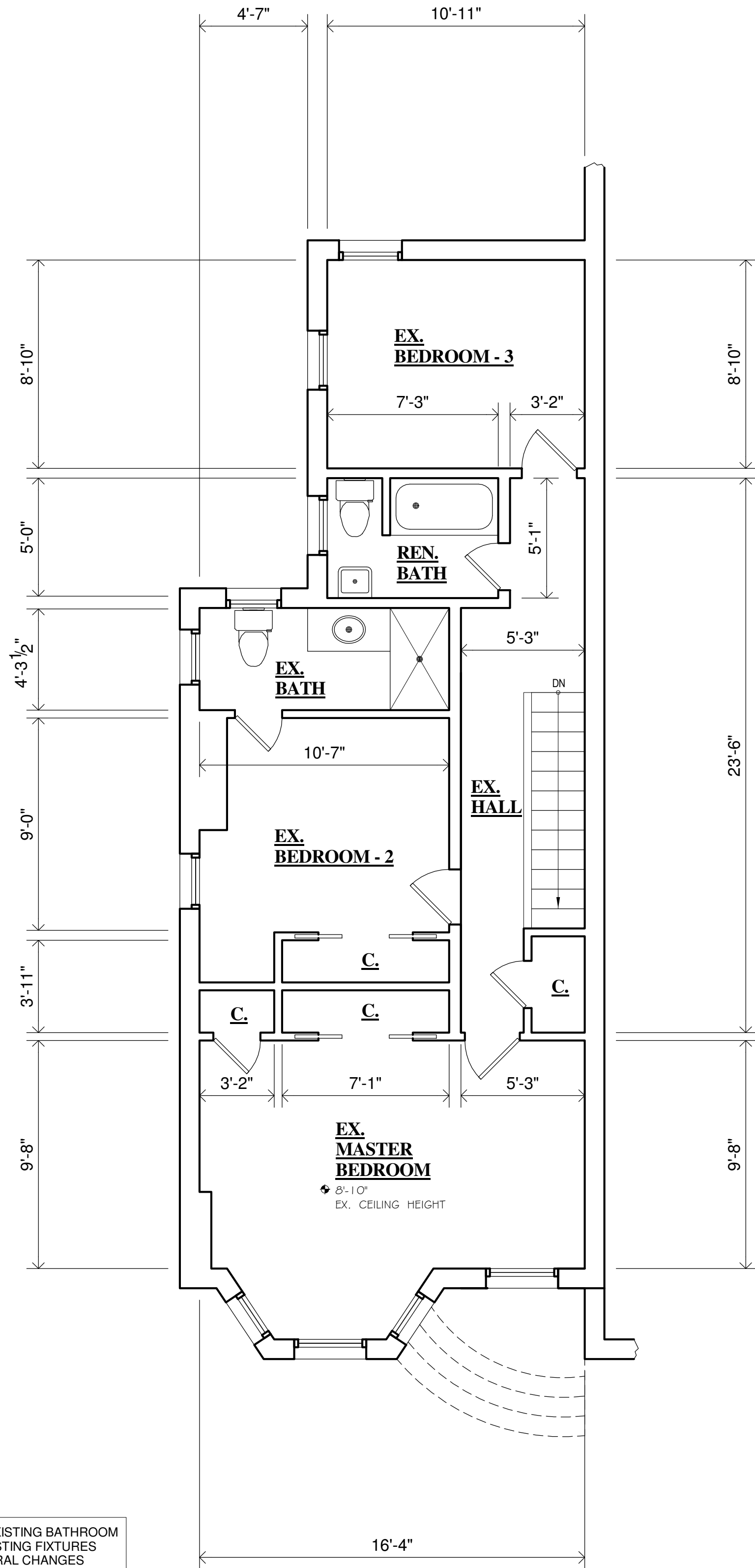
- RENOVATE EXISTING KITCHEN
- REPLACE EXISTING FIXTURES
- REPLACE EXISTING DOOR w/ LARGER DOOR
- NEW CONCRETE PATIO



**PROPOSED
FIRST FLOOR PLAN**

SCALE 1/4" = 1'-0"

- RENOVATE EXISTING BATHROOM
- REPLACE EXISTING FIXTURES
- NO STRUCTURAL CHANGES



**PROPOSED
SECOND FLOOR PLAN**

SCALE 1/4" = 1'-0"

REVISIONS

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4393 KEVIN WALKER DR. #156
DUMFRIES, VA 22025

PREPARED BY:
BURNS DRAFTING & DESIGN, LLC

**PROPOSED FLOOR
PLAN**

919 CAMERON STREET
ALEXANDRIA, VA 22314

A4

SCALE: 1/4" = 1'-0"

Quote Form



TW PERRY - SPRINGFIELD
7740 SOUTHERN DRIVE PO BOX 827
SPRINGFIELD VA 22150
703-451-6500



Project Information (ID #9238508 Revision #13646177)

[Hide](#)

Project Name: DP-FRENCH

Quote Date: 6/18/2025

Customer:

Submitted Date:

Contact Name:

PO#:

Phone (Main):

Phone (Cell):

Sales Rep Name: Laura Padgett

Customer Type:

Salesperson:

Terms:

Delivery Information

[Hide](#)

Shipping Contact:

Comments:

Shipping Address:

City:

State:

Zip:

Unit Detail

[Hide All Configuration Options](#)

Item: 0001: Ext 60" x 80" S128-FXG RHI 8" FrameSaver

Location: FIBERGLASS

Quantity: 1



Exterior View

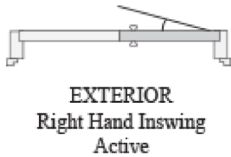
Smooth Star 60"x80" Double Door



Interior View

Configuration Options [Hide](#)

- **Product Category:** Exterior Doors
- **Manufacturer:** Reeb - Smooth Star
- **Product Material:** Smooth Star Fiberglass
- **Material Type:** Smooth Star
- **Product Type:** Entry
- **Brand:** Therma-Tru
- **Configuration (Units viewed from Exterior):** Double Door
- **Reeb Finish:** No
- **Slab Width:** 60"
- **Slab Height:** 80"
- **Product Style:** Full Lite
- **Glass Type:** Clear



- **Glass Style:** Fixed Grille
- **Glazing Type:** Insert
- **Insulation:** Insulated Glass
- **Model:** S128-FXG
- **Frame Material:** FrameSaver
- **Handing:** Right Hand Inswing
- **Casing/Brickmould Pattern:** None
- **Hinge Type:** Ball Bearing
- **Hinge Brand:** Therma-Tru
- **Hinge Finish:** Black Nickel
- **Jamb Depth:** 8"
- **Sill:** Composite Adjustable
- **Sill Finish:** Bronze Finish w Dark Cap
- **Lock Option:** None
- **Bore:** Double Lock Bore 2-3/8" Backset
- **Face Bore Only Inactive Door:** None
- **Strike Jamb Prep:** No
- **Astragal Material:** Therma-Tru White Aluminum
- **Weatherstrip Type:** Compression
- **Weatherstrip Color:** Bronze
- **Custom Height Option:** No
- **Rough Opening Width:** 63 1/4"
- **Rough Opening Height:** 82 1/2"
- **Total Unit Width(Includes Exterior Casing):** 62 9/16"
- **Total Unit Height(Includes Exterior Casing):** 82"

Unit Summary

[Hide](#)

Item	Location	Description
0001	FIBERGLASS	Ext 60" x 80" S128-FXG RHI 8" FrameSaver

SUBMITTED BY:

ACCEPTED BY:

DATE:

Reeb Warranties



Therma-Tru Energy Star Charts



Additional Information:

I understand that this order will be placed according to these specifications and is non-refundable.

All products are unfinished unless otherwise specified and should be finished as per the instructions provided by the manufacturer.

Images on this quote should be considered a representation of the product and may vary with respect to color, actual finish options and decorative glass privacy ratings. Please verify with sales associate before purchasing.

Unless otherwise noted, prices are subject to change without notice, and orders accepted subject to prices in effect at time of shipment. Prices in this catalog apply only to sizes and descriptions listed; any other specifications will be considered special and invoiced as such.

The level of exposure a door faces directly impacts its longevity and performance. To ensure durability, doors in high-exposure areas should be constructed from robust materials and properly sealed for enhanced protection and you may want to consider an overhang.

The color used by REEB is created from a color match process. The color created and applied by REEB can be affected by various elements which can lead to slight variations from the color you selected. REEB is not affiliated with any paint manufacturer/supplier and may use the paint of any paint manufacturer/supplier to match the selected color.

