

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition.

**APPLICANT:** Leslie and William Golden

**LOCATION:** Old and Historic Alexandria District  
426 South Lee Street

**ZONE:** RM/Residential Townhouse Zone

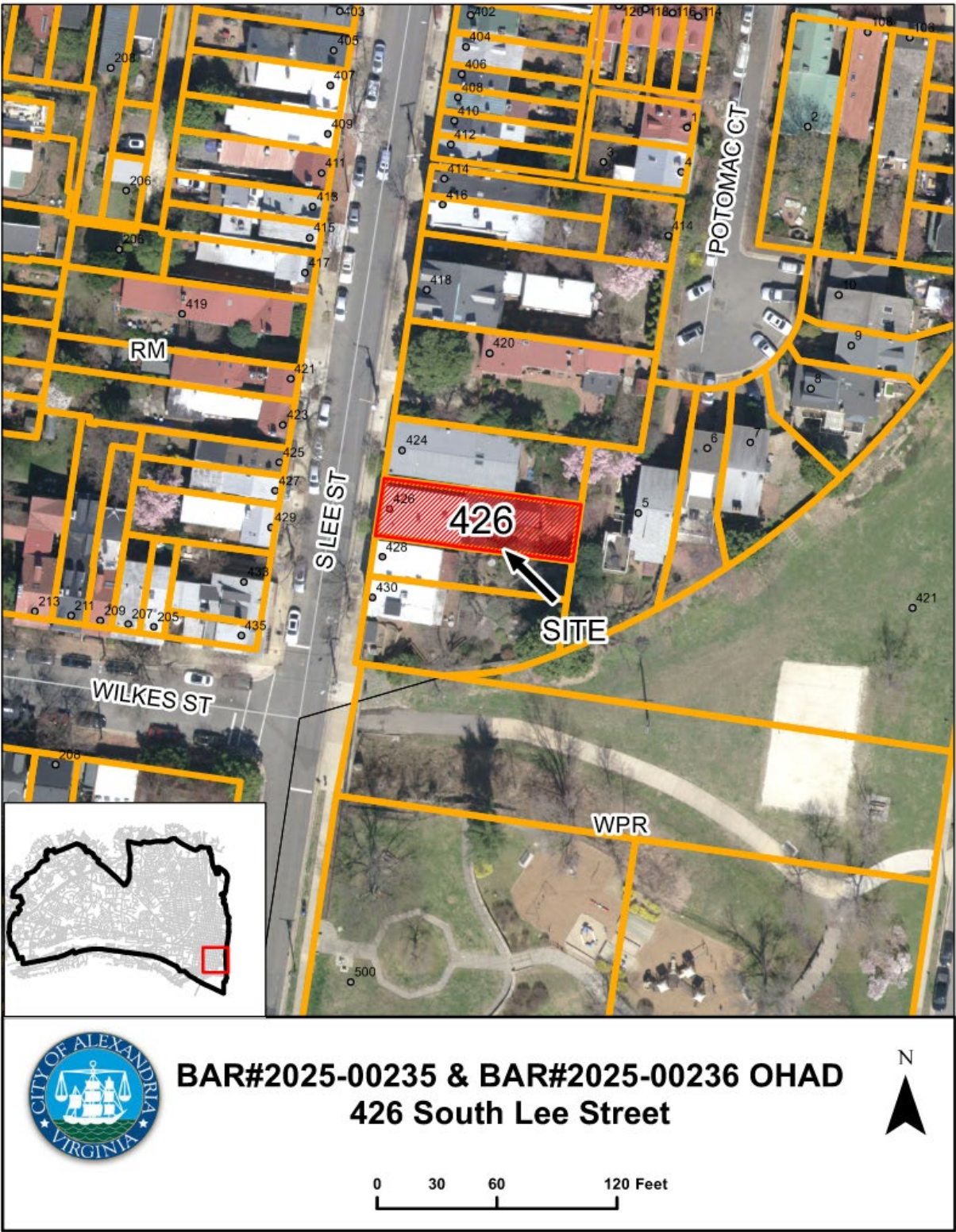
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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness for alterations and addition with the condition that the proposed addition doors comply with the BAR policy.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Permit Center, 4850 Mark Center Drive, Suite 2015, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.





**Note:** Staff coupled the applications for a Permit to Demolish (BAR #2025-00236) and Certificate of Appropriateness (BAR #2025-00235) for clarity and brevity. The Permit to Demolish requires a roll call vote.

## I. APPLICANT'S PROPOSAL

The applicant is proposing to encapsulate the rear wall, approximately 160 sf (20'x 8') to add a new one-story addition to the property's rear/south elevation, adding a second story onto the existing rooftop terrace.

### Site context

The subject property sits on the east side of the 400 Block of South Lee Street. There is no alley running adjacent to the property; however, its rear/east elevation faces Potomac View Park and is visible from the public park (Figure 1).

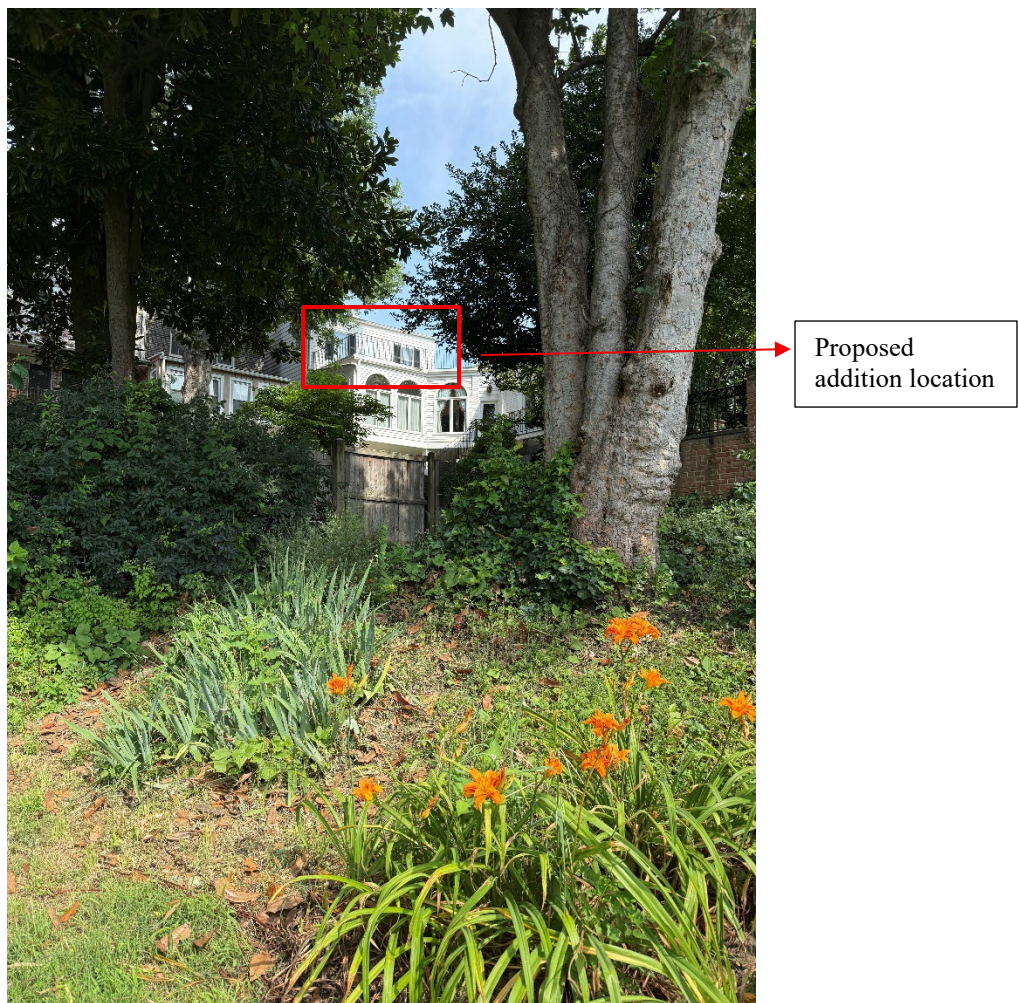


Figure 1 - rear/east elevation view from Potomac View Park

## **II. HISTORY**

The four-bay, two-story, Italianate style building consists of a wood clapboard siding main block with a one-story enclosed porch and brick addition at the rear (Permit# 01458 – 10/26/1988). The single-family house was constructed between **1877**, shown a vacant lot in the G.M. Hopkins Atlas of Alexandria and **1902**, when it first appears on the Sanborn Fire insurance Map. Permit #01458, indicates that the existing rear/south addition and rooftop terrace were constructed between October 24, 1988 and January 19, 1989.

### *Previous BAR Approvals*

08/13/1953 – brick siding (denied)

09/14/1960 – aluminum siding

07/21/1971 – new porch

1988 – new porch and rear addition

BAR2020-00045 & BAR2020-00046 – add two windows (03/04/2020)

BAR2021-00560 – painting unpainted brick (10/05/2021)

BAR2022-00059 & BAR2022-00060 – garden wall demolition and new gate (02/10/2022)

## **III. ANALYSIS**

### Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

<b>Standard</b>	<b>Description of Standard</b>	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into an historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No



(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No
(7)	In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project?	N/A

In the opinion of staff, none of the criteria for demolition and capsulation are met. Most of the demolition/capsulation will take place in the rear and will be minimally visible from the Potomac View Park. The capsulation does not remove any portion of the building containing character-defining features of uncommon design or historic merit and does not compromise the integrity of the main block. As noted above, this portion of the building was constructed between 1988 and 1989. Staff therefore has no objection to the demolition/capsulation and recommends **approval** of the Permit to Demolish/Capsulate, as submitted.

#### Certificate of Appropriateness

The applicant is proposing to construct a one-story addition 20.9' x 7.5' at the rear/east elevation onto the existing roof deck above the family room. The addition will have a flat roof, clad with composite lap siding to match the existing. Two doors will give access to the remaining portion of the roof deck. Door specs were not provided.

The *Design Guidelines* state that: "The design of an addition should respect the heritage of the historic building to which it is attached as well as adjacent buildings. The Boards generally prefer addition designs that are respectful of the existing structure, and which seek to be background statements, or which echo the design elements of the existing structure." Furthermore, "...the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of the late 20th [21st] century while still being compatible with the historic character of the districts." In evaluating the compatibility of new construction, the Board generally focuses on height, scale, mass and architectural character, while also reviewing material selection, fenestration and architectural detailing on a more micro level. The proposed addition is small and blends well with the existing building, it does not diminish or detract from the historic character of the main historic building or the historic district. Therefore, staff recommends approval of the project on the condition that the two doors on the new addition comply with the BAR policy.

#### **STAFF**

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

##### **Zoning**

C-1 Proposed second story addition over the existing second story deck will comply with Zoning.

F-1 Staff has emailed applicants updated FAR sheet (6/16/2025).

##### **Code Administration**

C-1 A building permit is required.

##### **Transportation and Environmental Services**

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley adjacent to the parcel is to be used at any point of the construction process, the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

No archaeology comments

**V. ATTACHMENTS**

1 – Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs

2 – Supplemental Materials

- Public comment, if applicable
- Any other supporting documentation



BAR CASE#

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 426 S. Lee Street, Alexandria, VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker - Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 075.03-08-26 ZONING: RM

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: Leslie and William Golden

Address: [REDACTED]

City: [REDACTED]

State: [REDACTED]

Phone: [REDACTED]

E-mail: [REDACTED]

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ Contractor - Builder

Name: Trent Sorensen

Phone: [REDACTED]

E-mail: [REDACTED]

Legal Property Owner:

Name: Leslie and William Golden

Address: [REDACTED]

City: [REDACTED]

State: [REDACTED]

Phone: [REDACTED]

E-mail: [REDACTED]

BAR CASE# \_\_\_\_\_

(OFFICE USE ONLY)

**NATURE OF PROPOSED WORK:** Please check all that apply

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: Please check all that apply.
- |                                      |   |   |                                   |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning      | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors       | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting    | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____ |   |   |                                   |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** Please describe the proposed work in detail (Additional pages may be attached).

minor demolition required to build a second floor rear addition (approx 154 SF) off two existing second floor rear bedrooms. The addition will be constructed into a portion of an existing roof deck (above finished living space). There will be no change to the building footprint.

**SUBMITTAL REQUIREMENTS:**

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**BAR CASE#** \_\_\_\_\_

(OFFICE USE ONLY)

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



BAR CASE# \_\_\_\_\_

(OFFICE USE ONLY)

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: 

Printed Name: Trent Sorensen

Date: 6/6/2025

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <i>Leslie and William Golden</i>	[REDACTED]	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 426 S. Lee Street, Alex. VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <i>Leslie and William Golden</i>	[REDACTED]	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. <i>N/A</i>		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6/6/2025      Trent Sorensen      [Signature]  
 Date                      Printed Name                      Signature

426 S LEE STREET - RENOVATION  
EXISTING ELEVATIONS

ISSUE DATE: 06-03-25

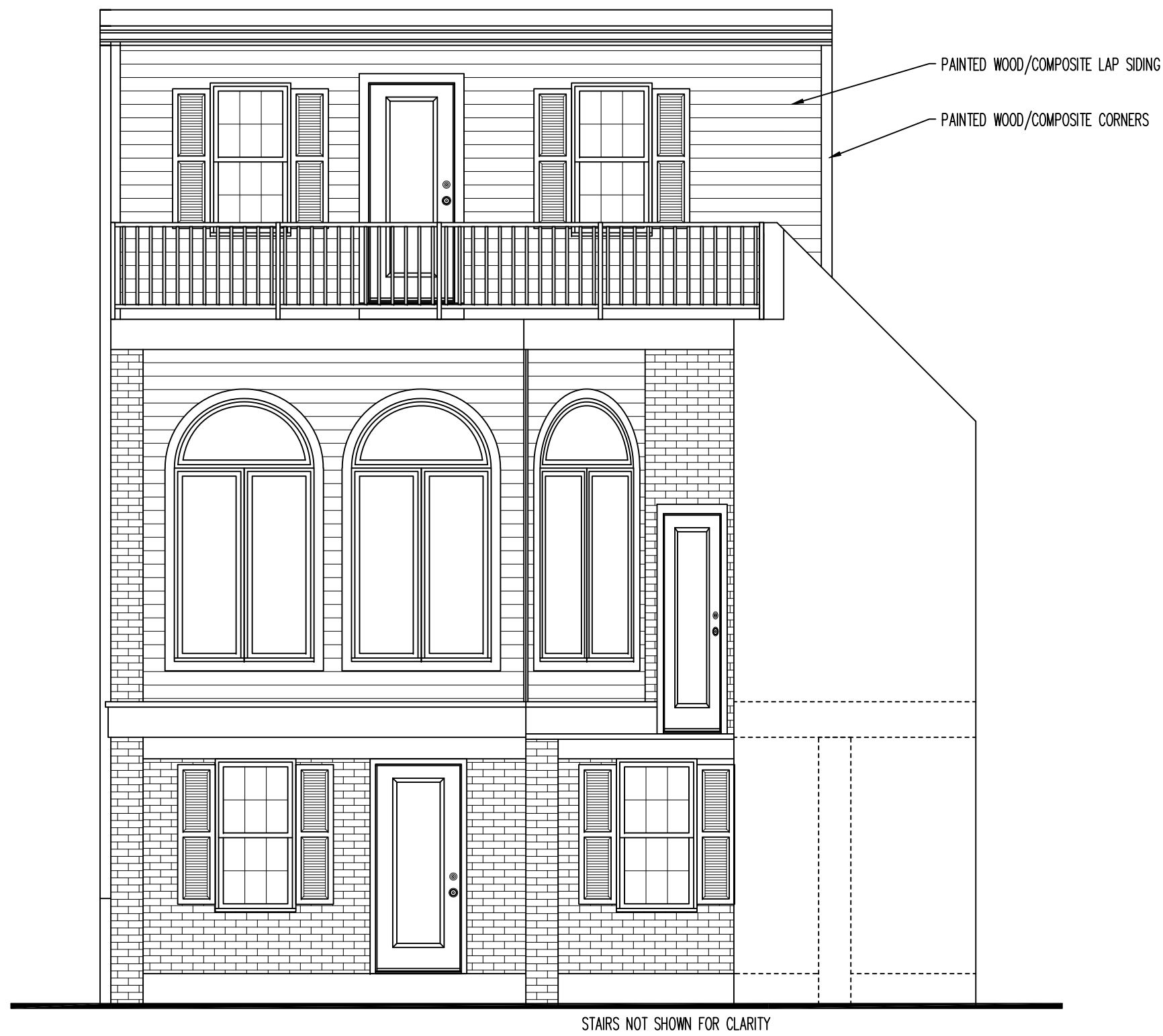
PERMIT SET

Project Info:  
BUILDING CODE: 2021 VRC

Date	Revision/Issue

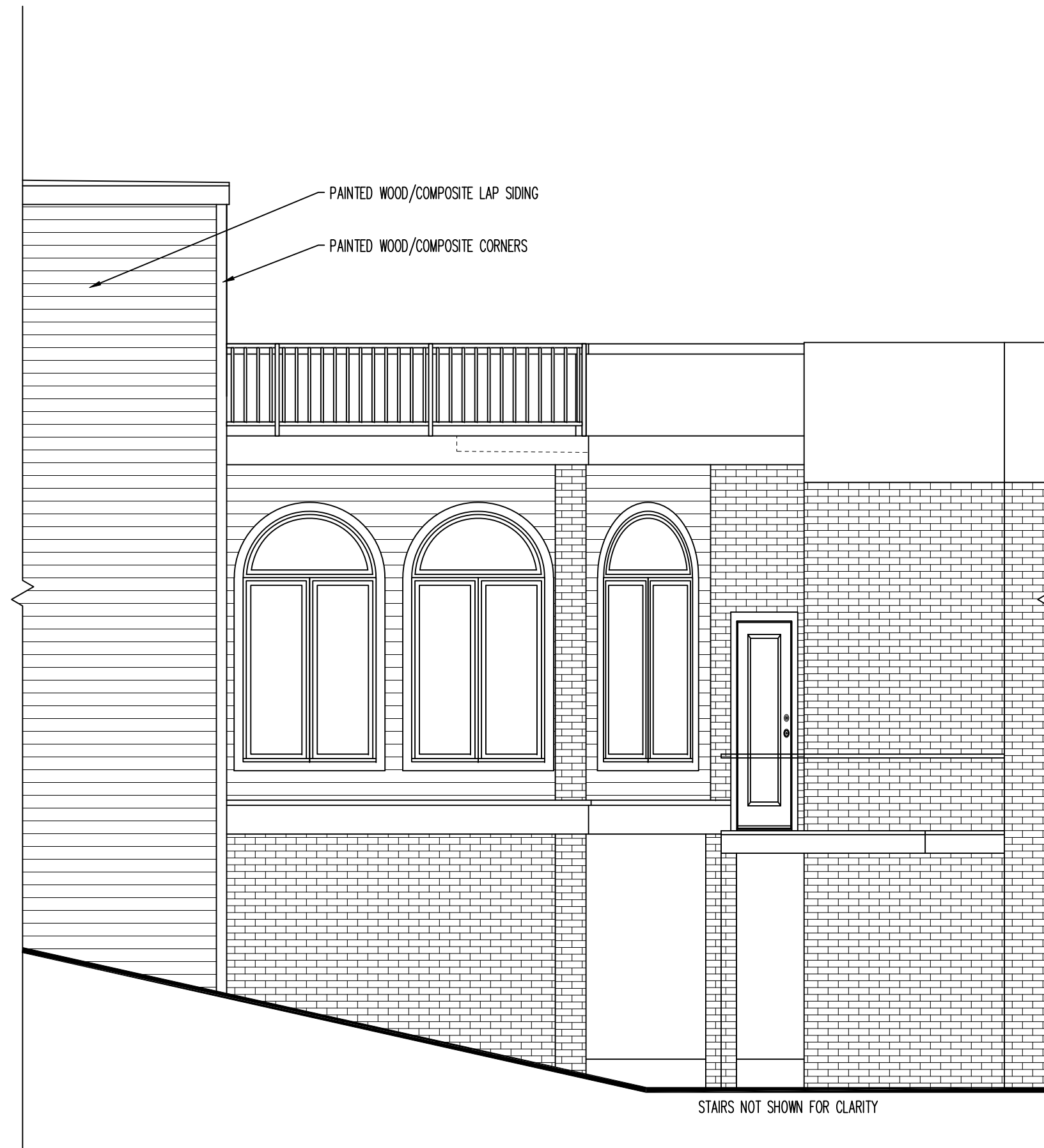
DRAWN BY:	JAWM
PROJECT CODE:	25.085

A100



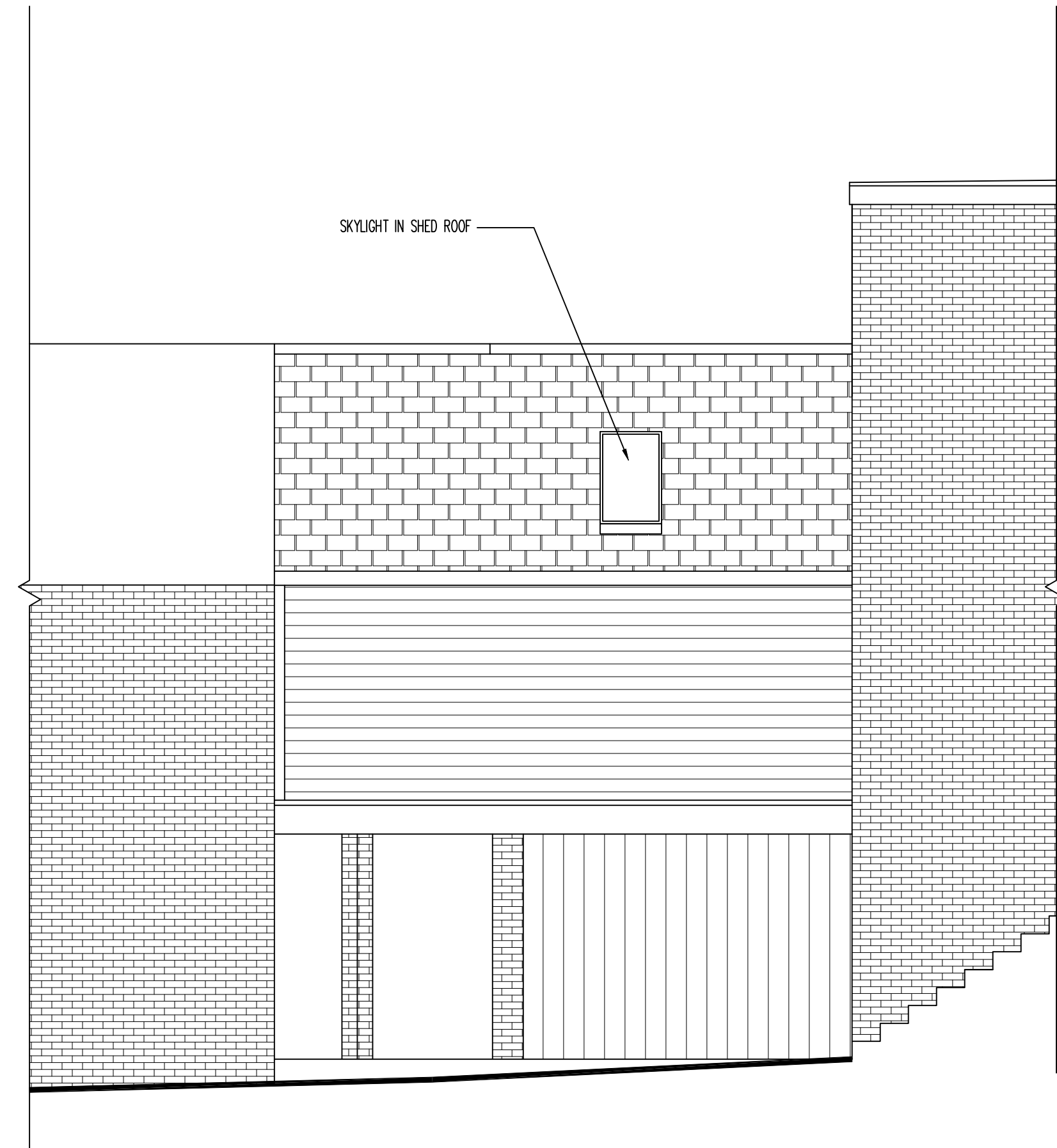
EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING PARTIAL RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



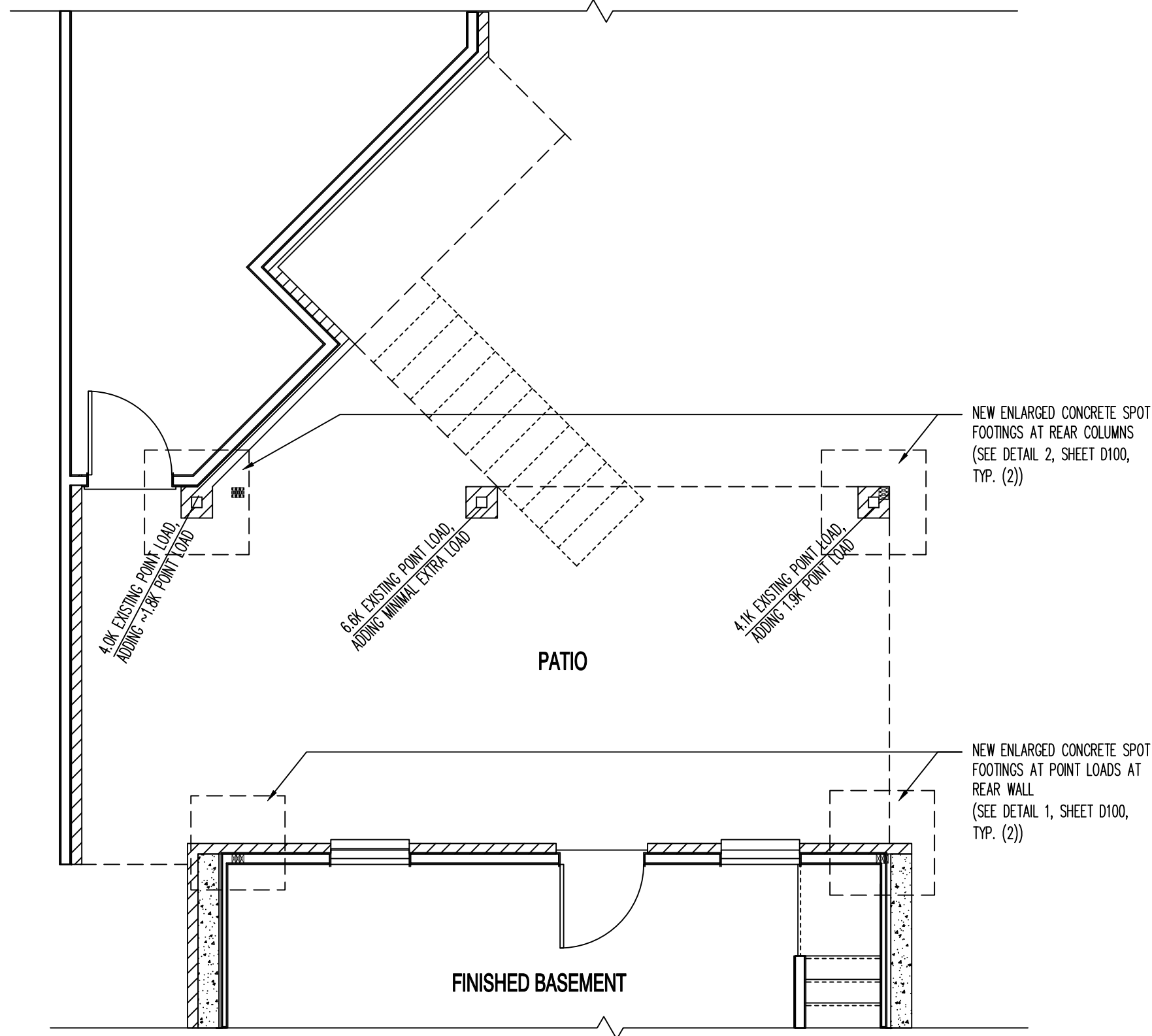
EXISTING PARTIAL LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

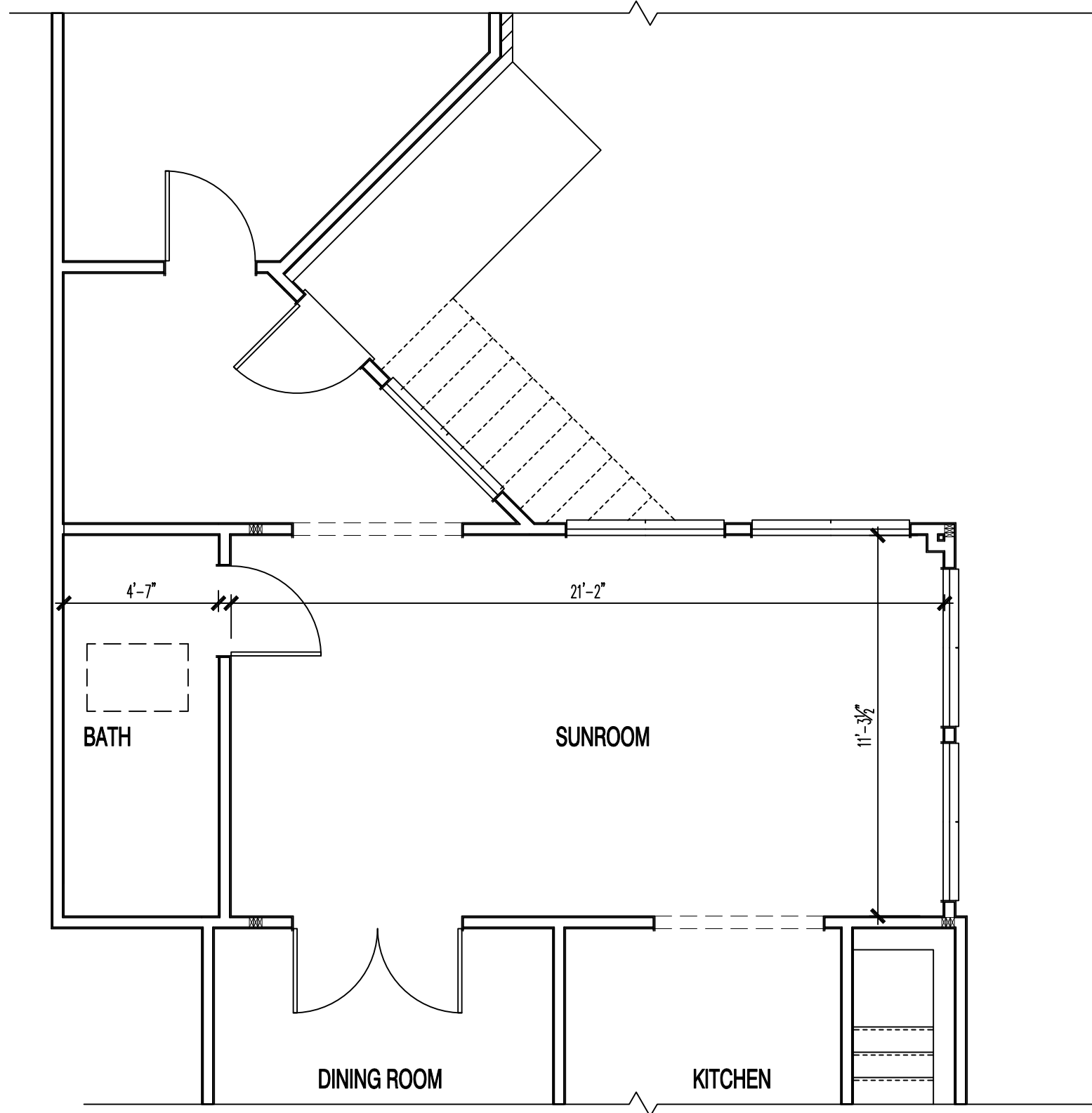


Date	Revision/Issue

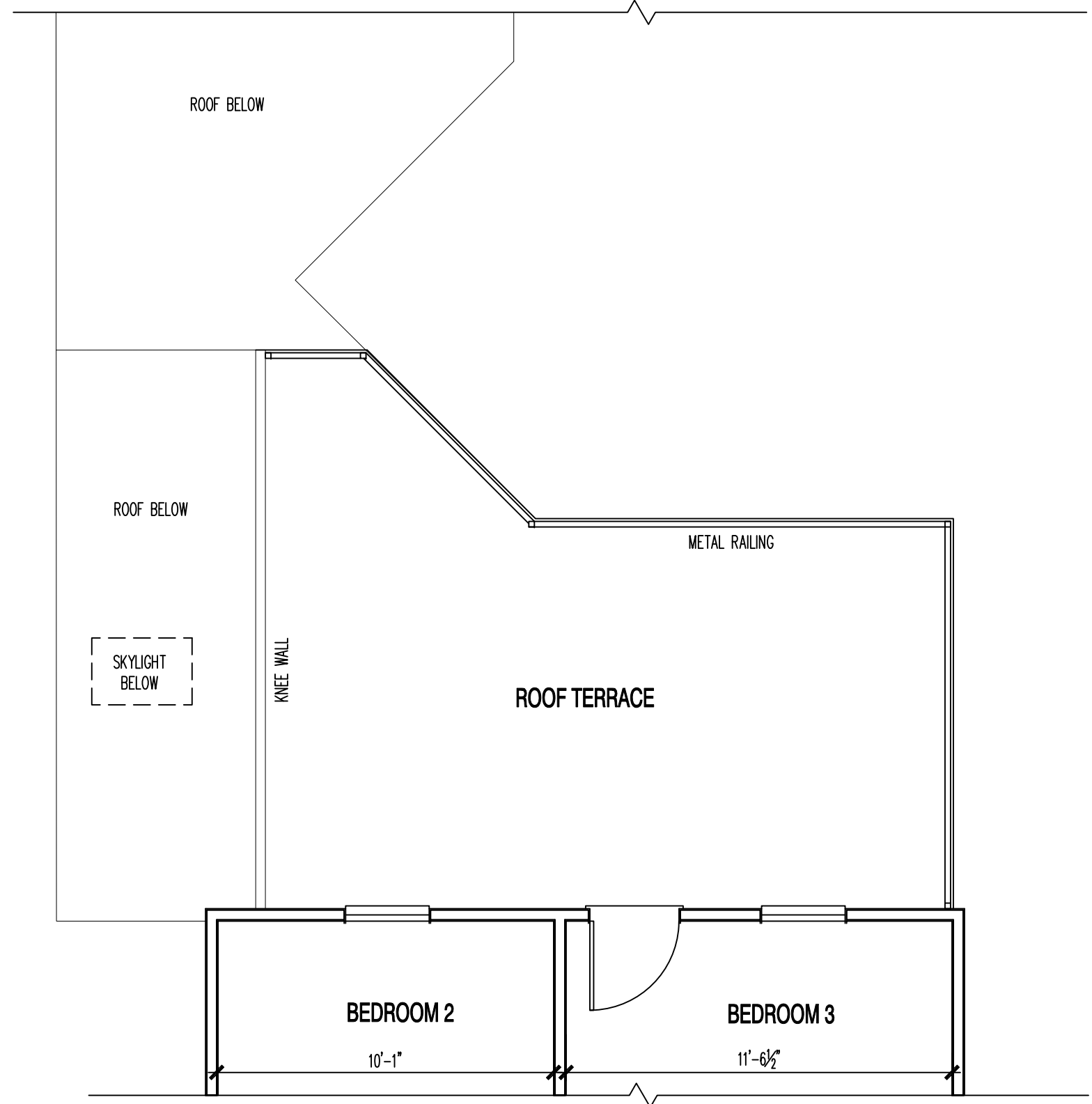
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PROJECT CODE:	25.085



EXISTING PARTIAL GROUND FLOOR LAYOUT  
SCALE: 1/4" = 1'-0"



EXISTING PARTIAL FIRST FLOOR LAYOUT  
SCALE: 1/4" = 1'-0"



EXISTING PARTIAL SECOND FLOOR LAYOUT  
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

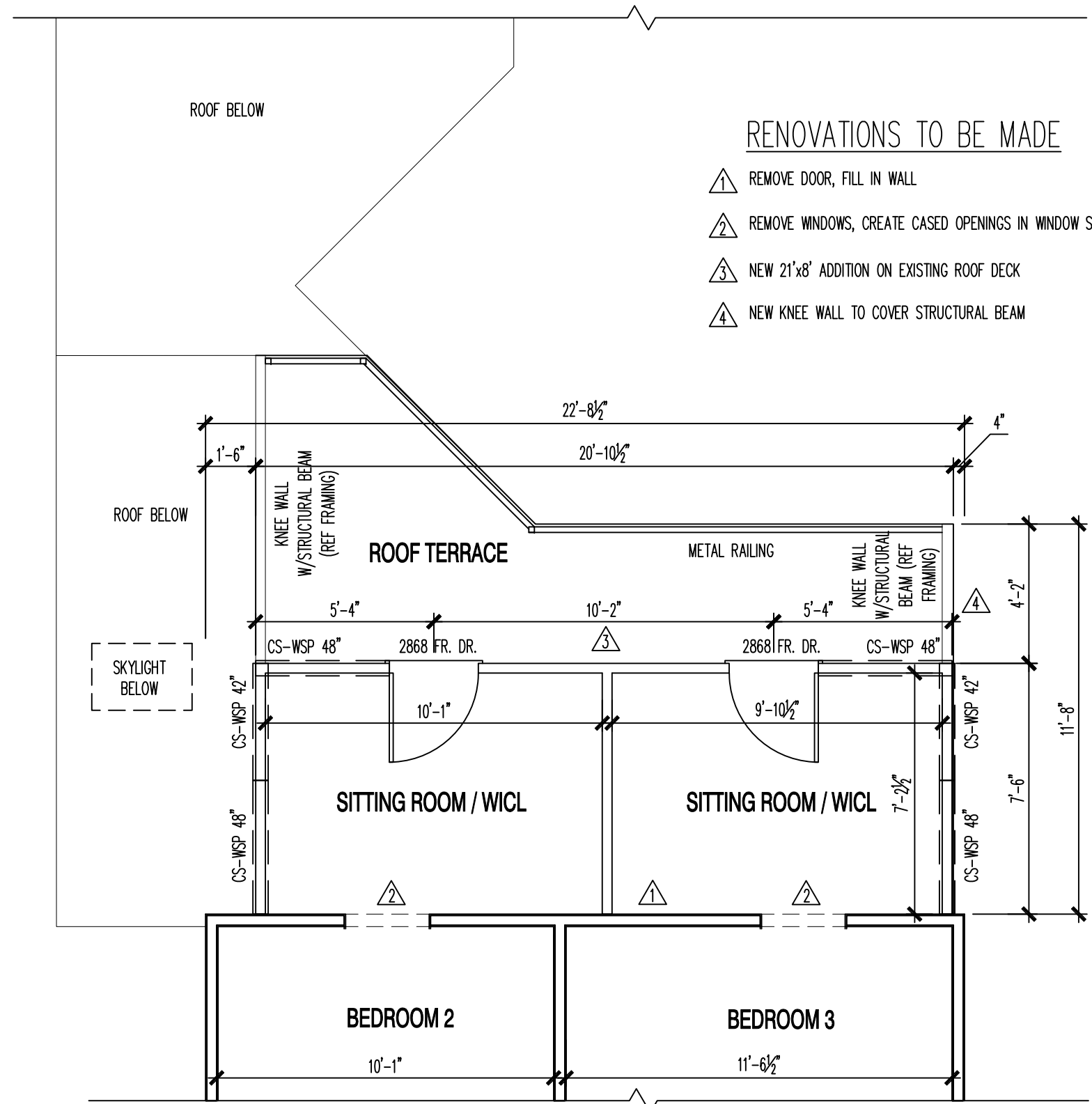
1. DIMENSIONS FOR EXISTING CONDITIONS MEASURE TO FACE OF FINISH GYPSUM BOARD.
2. DIMENSIONS FOR NEW STUD WALLS MEASURE TO FACE OF STUD.
3. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD
4. ALL DOORS TO BE 6'-8" IN HEIGHT U.N.O.
5. COORDINATE HVAC REVISIONS AND RE-ROUTING W/CONTRACTOR

TYPICAL CONSTRUCTION

- 1 TYPICAL EXTERIOR FRAME WALL CONSTRUCTION  
CEMENT BOARD SIDING, BUILDING PAPER, 1/2" PLYMD. OR OSB SHEATHING, 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD.
- 2 TYPICAL FLOOR/CEILING CONSTRUCTION  
3/4" NOM. T&G OSB PLYMD SUBFLOOR, GLUED AND SCREWED ON EXISTING FLOOR SYSTEM, PROVIDE 1/2" GYP. BD. CEILING
- 3 TYPICAL INTERIOR AND EXTERIOR BEARING WALLS  
2X4 STUD WALL @ 16" O.C. WITH DOUBLE TOP PLATE (UNLESS SPECIFIED OTHERWISE)
- 4 TYPICAL INTERIOR NON-BEARING WALLS  
2X4 STUD WALL @ 24" O.C. WITH SINGLE TOP PLATE (UNLESS SPECIFIED OTHERWISE) W/ 1/2" GYPSUM BOARD EACH SIDE
- 5 CONNECTORS  
ALL CONNECTORS EXPOSED TO WEATHER SHALL BE GALVANIZED OR CORROSION RESISTANT.
- 6 TYPICAL ROOF CONSTRUCTION  
Drip Edge, RUBBER MEMBRANE, OVER SLEEPERS ON 7/16" OSB SHEATHING W/ CLIPS, ROOF JOISTS (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING
- 9 ICE SHIELD UNDERLAYMENT  
AN ICE BARRIER THAT CONSISTS OF A LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

115 MPH (3-Second Gust) - Braced Wall Schedule				
BRACED WALL SCHEDULE - SEE ARCHITECTURAL COVERSHEET FOR CODE REFERENCE				
MARK	TYPE	LENGTH	DESCRIPTION	DETAIL
CS-WSP	PREScriptive BRACED WALL (CS-WSP)	LENGTH PER PLAN (EITHER SIDE OF WALL)	7/16" OSB SHEATHING ATTACHED TO STUDS (BLOODED) WITH 0.131"x2-3/8" NAILS @ 6" O/C INTO 2X SP#2 FRAMING MEMBERS AT ALL BOUNDARY EDGES.	-

1. ALL BRACED WALLS AND SHEAR WALLS ASSUME A CONTINUOUSLY SHEATHED STRUCTURE IN ACCORDANCE WITH IRC SECTION 602.10.5
2. ALL VALUES SHOWN HAVE BEEN REDUCED TO REFLECT A S.G. = 0.43 FOR STUD FRAMING
3. ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS
4. FIELD NAILING SHALL BE AT 12" O/C, U.N.O.
5. BLOCK ALL EDGES AT BRACED WALL PANELS ONLY

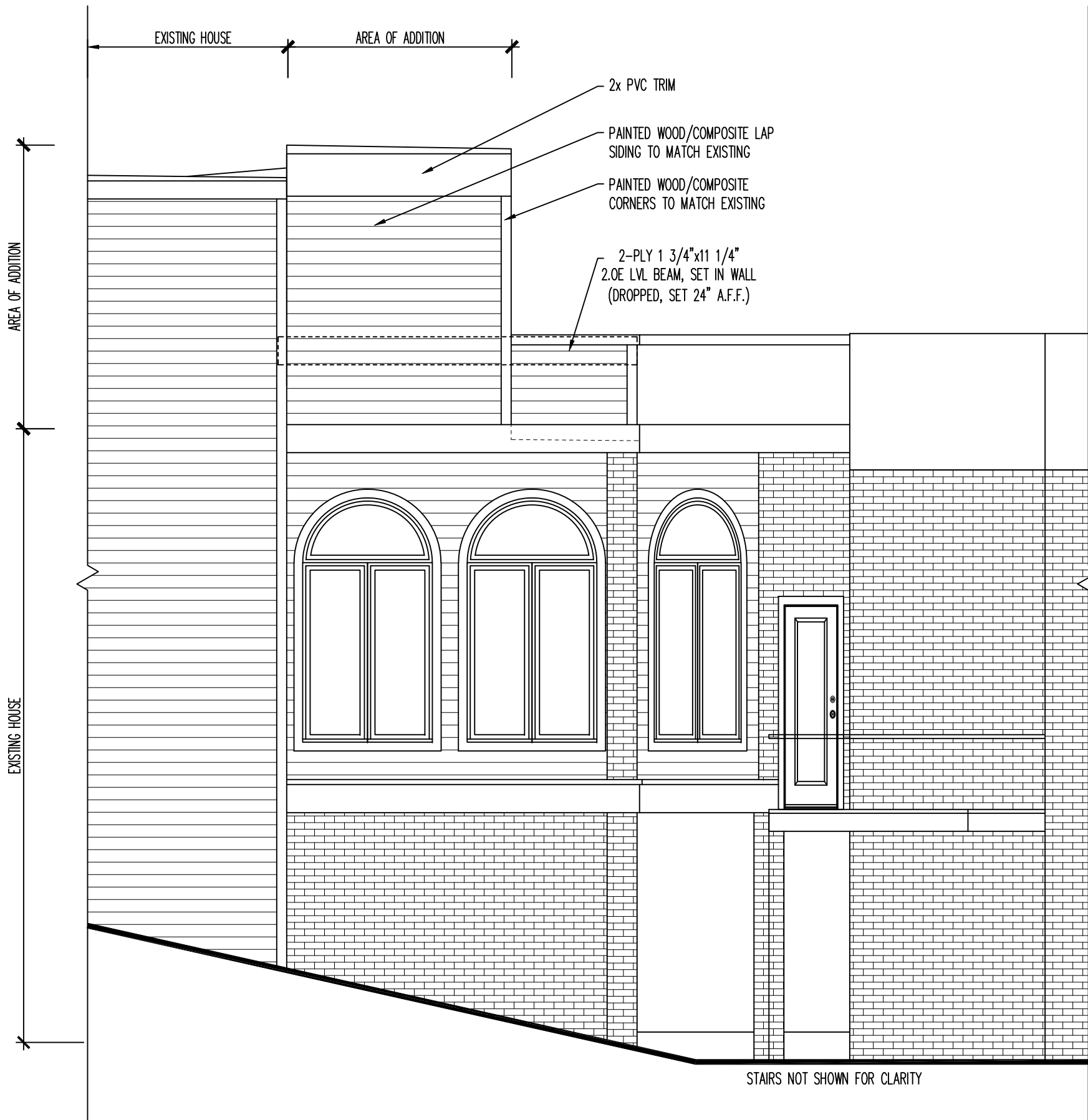


PROPOSED PARTIAL SECOND FLOOR LAYOUT  
SCALE: 1/4" = 1'-0"



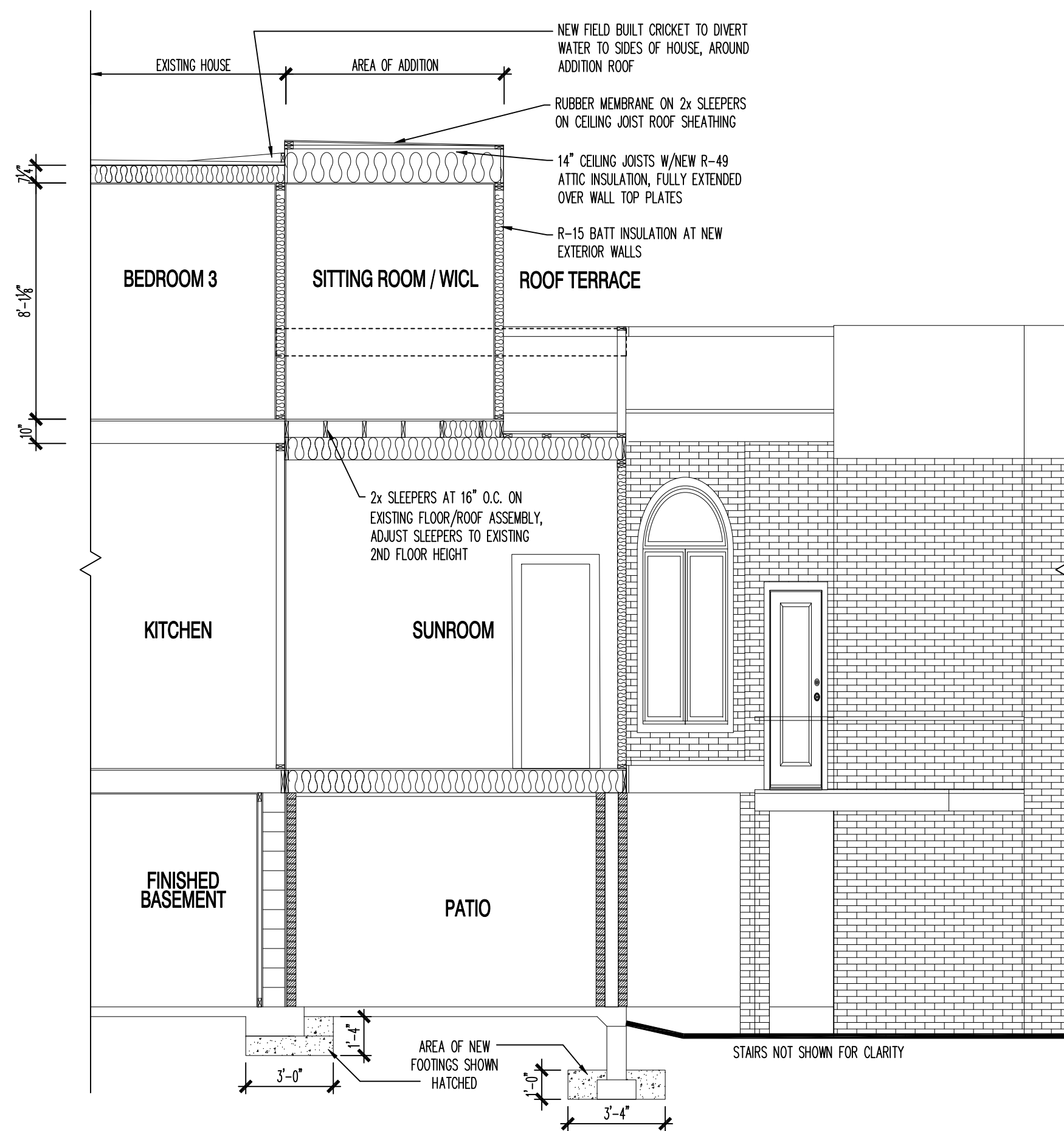
REAR ELEVATION W/ADDITION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION W/ADDITION

SCALE: 1/4" = 1'-0"

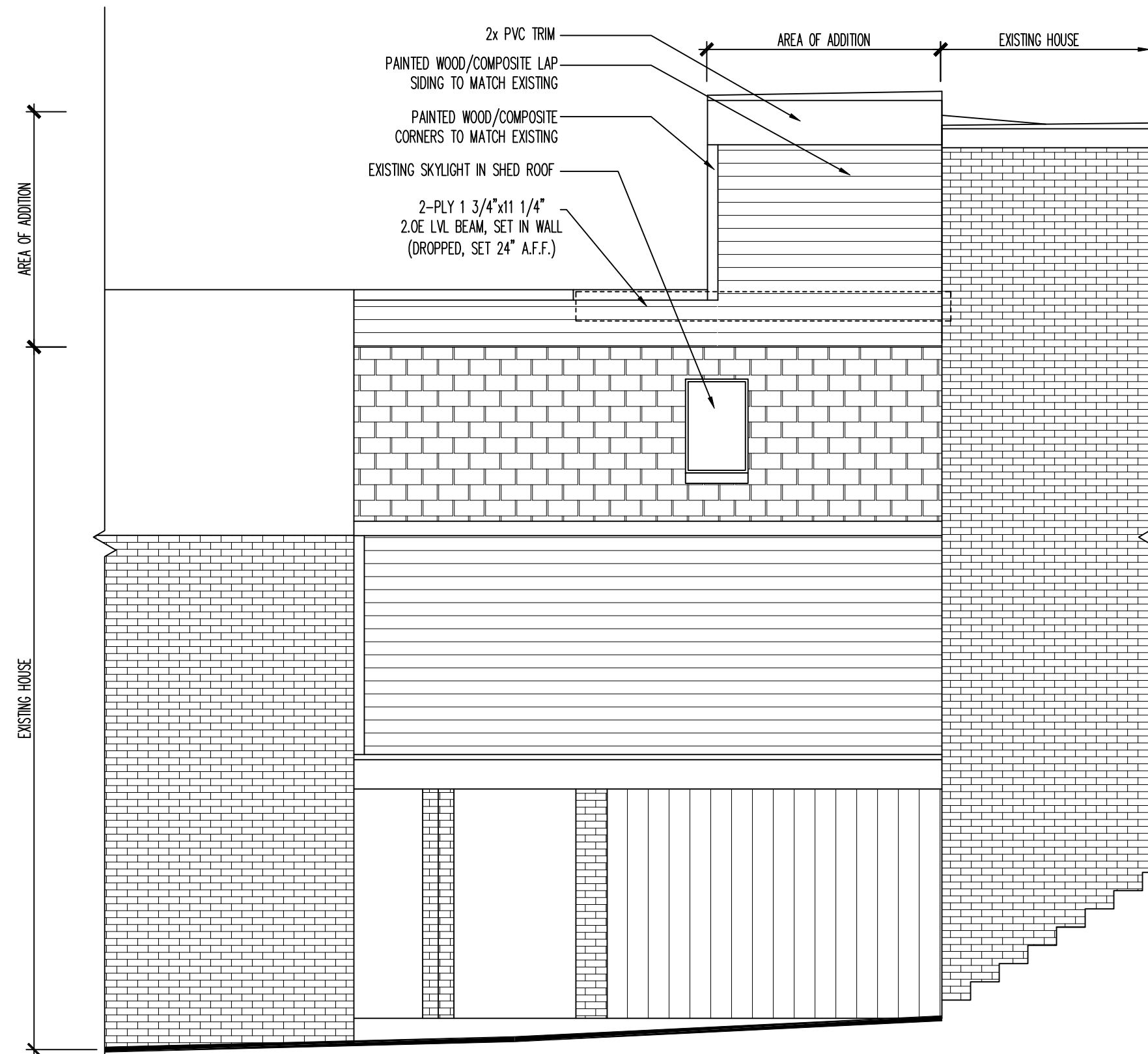


PARTIAL SECTION THROUGH ADDITION

SCALE: 1/4" = 1'-0"

TYPICAL CONSTRUCTION

1. TYPICAL EXTERIOR FRAME WALL CONSTRUCTION  
CEMENT BOARD SIDING, BUILDING PAPER, 1/2" PLYMD. OR OSB SHEATHING, 2X4 STUD WALL (OR AS INDICATED), W/ R-15 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD.
2. TYPICAL FLOOR/CEILING CONSTRUCTION  
3/4" NOM. T&G OSB PLYMD SUBFLOOR, CLUED AND SCREWED ON EXISTING FLOOR SYSTEM, PROVIDE 1/2" GYP. BD. CEILING
3. TYPICAL INTERIOR AND EXTERIOR BEARING WALLS  
2X4 STUD WALL @ 16" O.C. WITH DOUBLE TOP PLATE (UNLESS SPECIFIED OTHERWISE)
4. TYPICAL INTERIOR NON-BEARING WALLS  
2X4 STUD WALL @ 24" O.C. WITH SINGLE TOP PLATE (UNLESS SPECIFIED OTHERWISE) W/ 1/2" GYPSUM BOARD EACH SIDE
5. CONNECTORS  
ALL CONNECTORS EXPOSED TO WEATHER SHALL BE GALVANIZED OR CORROSION RESISTANT.
6. TYPICAL ROOF CONSTRUCTION  
DRIP EDGE, RUBBER MEMBRANE, OVER SLEEPERS ON 7/16" OSB SHEATHING W/ CLIPS, ROOF JOISTS (SEE ROOF FRAMING PLANS FOR CONFIGURATION AND SPACING), PROVIDE R-49 INSULATION, VAPOR BARRIER, AND 1/2" GYP. BD. CEILING
9. ICE SHIELD UNDERLAYMENT  
AN ICE BARRIER THAT CONSISTS OF A LEAST TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.



LEFT SIDE ELEVATION W/ADDITION

SCALE: 1/4" = 1'-0"

ENERGY CODE COMPLIANCE FOR RESIDENTIAL (VUSBC 2021) (PRESCRIPTIVE METHOD)

TABLE N1102.1.3 (R402.1.3)

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT<sup>a</sup>

ALL OF VIRGINIA	WINDOWS AND DOORS			INSULATION				FOUNDATION		
	FENESTRATION U-FACTOR <sup>b</sup>	SKYLIGHT <sup>b</sup> U-FACTOR	GLAZED FENESTRATION SHGC <sup>b,e</sup>	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE <sup>i</sup>	FLOOR R-VALUE	BASEMENT <sup>g</sup> WALL R-VALUE	SLAB <sup>d</sup> R-VALUE & DEPTH	CRAWL SPACE <sup>e</sup> WALL R-VALUE
4A	.30	.55	.40	60	15 OR 13+1 <sup>h</sup>	8/13	19	10/13	10, 4 FT	10/13

- a. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
- b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL FENESTRATION.
- c. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
- d. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.
- e. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.
- f. BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE N1101.10 AND TABLE 1101.10.
- h. FIRST VALUE IS CAVITY INSULATION, SECOND IS CONTINUOUS INSULATION OR INSULATED SIDING, SO "13+1" MEANS R-13 CAVITY INSULATION PLUS R-1 CONTINUOUS INSULATION OR INSULATED SIDING. IF STRUCTURAL SHEATHING COVERS 40 PERCENT OR LESS OF THE EXTERIOR, CONTINUOUS INSULATION R-VALUE SHALL BE PERMITTED TO BE REDUCED BY NO MORE THAN R-3 IN THE LOCATIONS WHERE STRUCTURAL SHEATHING IS USED - TO MAINTAIN A CONSISTENT TOTAL SHEATHING THICKNESS.
- i. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

N1102.2.1 (R402.2.1) CEILINGS WITH ATTICS

WHERE SECTION N1102.1.2 REQUIRES R-60 INSULATION IN THE CEILING OR ATTIC, INSTALLING R-49 OVER 100 PERCENT OF THE CEILING OR ATTIC AREA REQUIRING INSULATION SHALL SATISFY THE REQUIREMENT FOR R-60 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-49 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE INSULATION AND FENESTRATION CRITERIA IN SECTION N1102.1.2 AND THE TOTAL UA ALTERNATIVE IN SECTION N1102.1.5.

ALL COMPONENTS HAVE INSULATION VALUES EQUAL TO OR BETTER THAN THOSE LISTED ABOVE  
(SEE SHEET 001, A102)



426 S LEE STREET - RENOVATION  
ELEVATIONS AND SECTIONS

ISSUE DATE: 06-03-25

PERMIT SET

Project Info  
BUILDING CODE: 2021 VRC

Date Revision/Issue

DRAWN BY: JAWM  
PROJECT CODE: 25.085

A102

F.A.R. Notes

426 S. Lee St.

Basement

Stairs

$$3 \times 13 = 39$$

$$3 \times 1.5 = 4.5$$

$$43.5$$

$$A = 24.3$$

$$\times 40.3$$

$$979.3$$

+

$$B \quad 282.7$$

$$1,262.0 \text{ Gross } \phi$$

$$B: \quad 124$$

$$+ 158.7$$

$$282.7$$

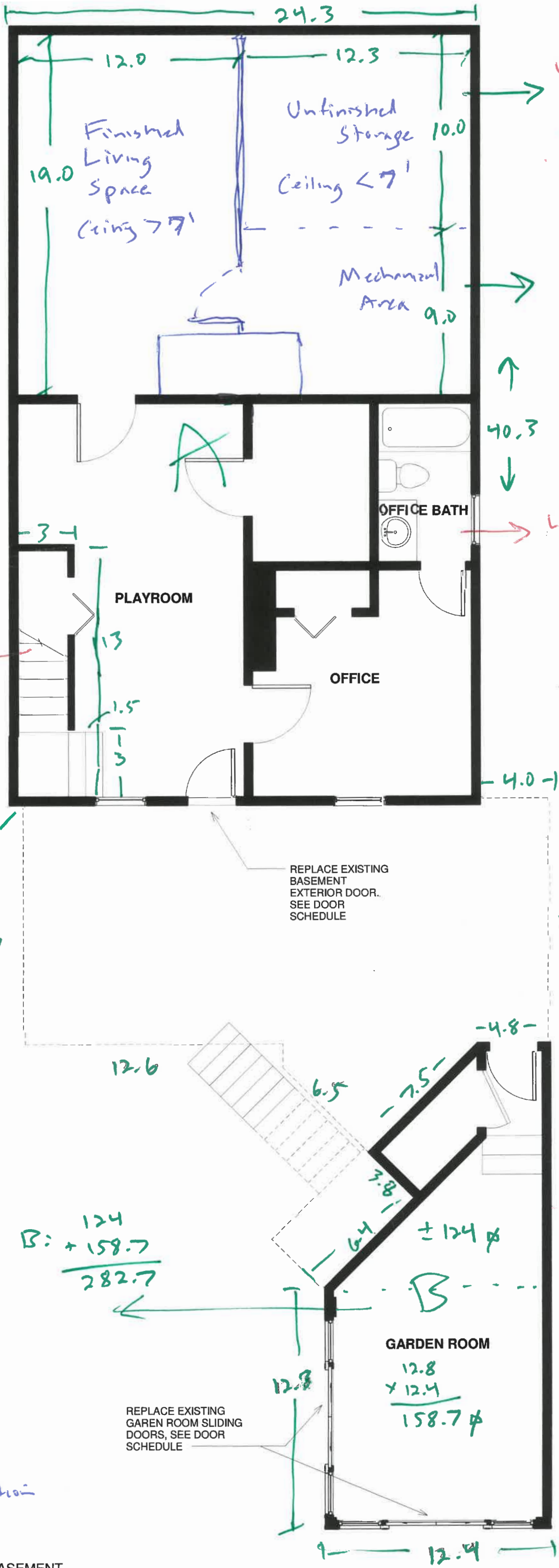
Drawn by

Trent Sorensen

Sorensen Construction

6/5/25

1 BASEMENT



Unfin- Storage less to 7' ceiling

$$12.3$$

$$\times 10$$

$$123$$

Mechanical

$$12.3$$

$$\times 9$$

$$110.7$$

Landing 4

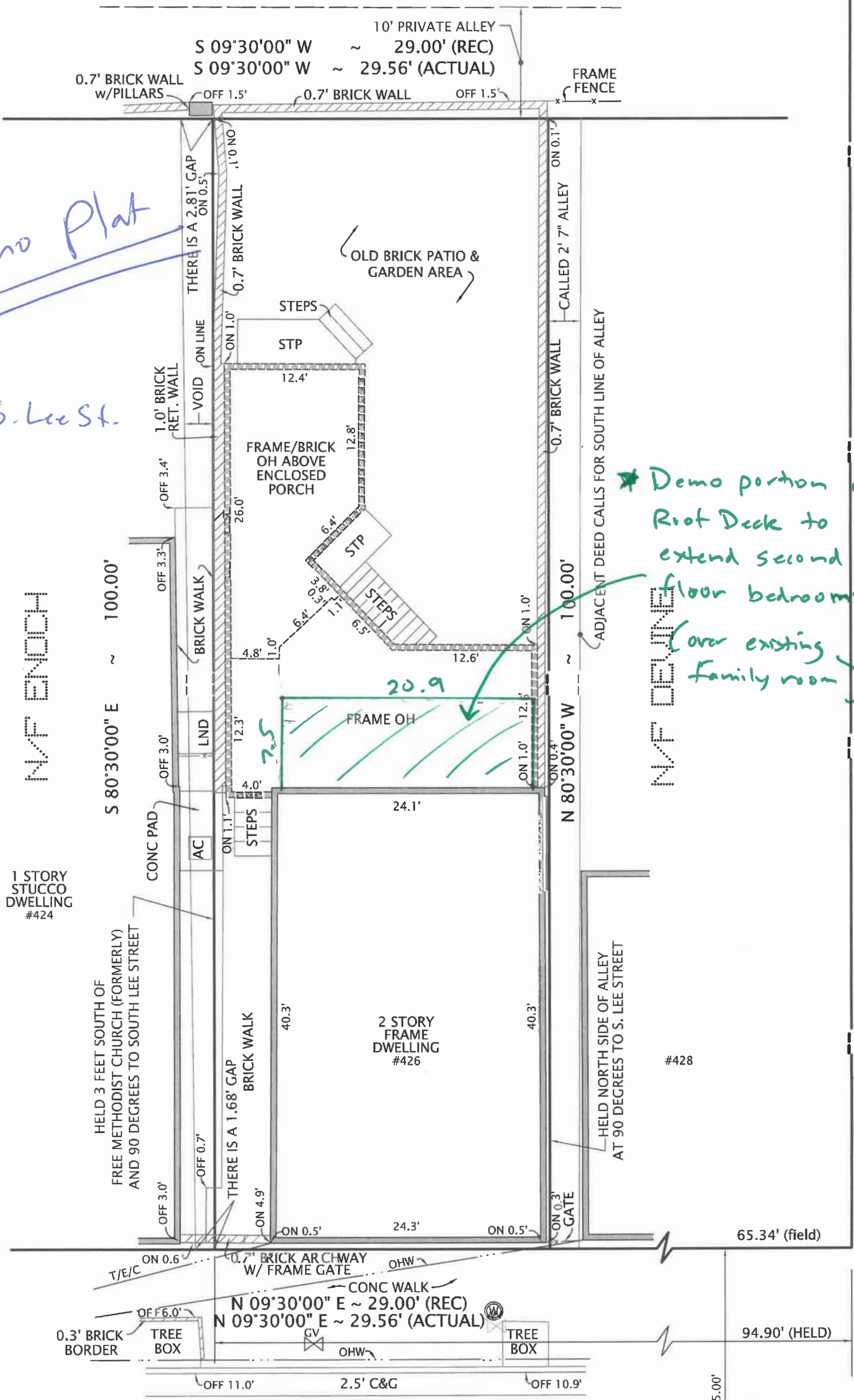
$$80$$







POTOMAC COURT SUBDIVISION  
LOT 6

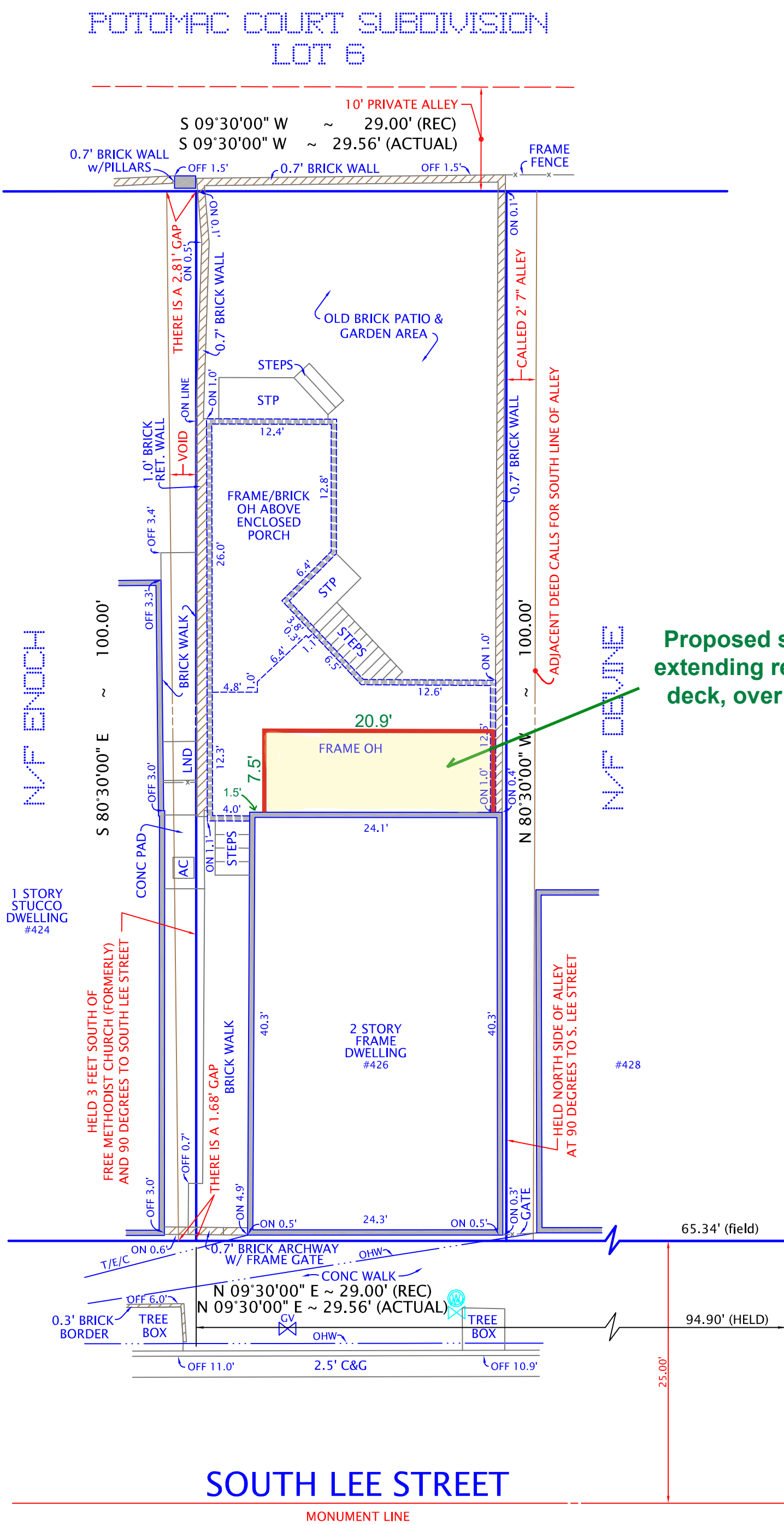
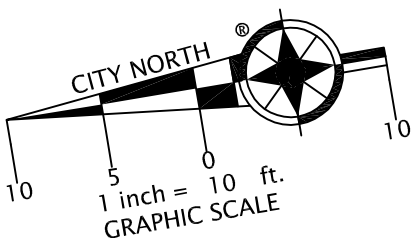


SOUTH LEE STREET

MONUMENT LINE



NOTES: 1. AREA = 2,956 SF (COMP)



## Proposed Addition Plat

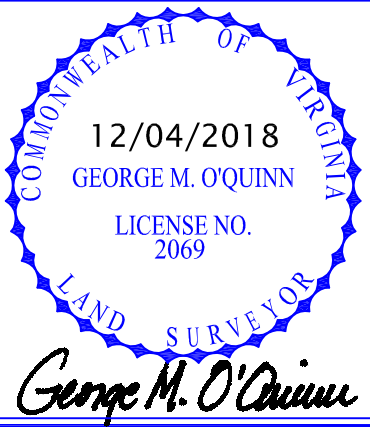
Proposed second floor Addition,  
extending rear bedrooms into roof  
deck, over existing family room.

Drawn by Trent Sorensen  
Sorensen Construction  
6/5/25

PLAT  
SHOWING HOUSE LOCATION ON  
THE PROPERTY LOCATED AT  
**#426 SOUTH LEE STREET**  
(INSTRUMENT NO. 100007216)  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 10'      DECEMBER 04, 2018

I HEREBY CERTIFY THAT THE POSITIONS OF  
ALL THE EXISTING IMPROVEMENTS HAVE BEEN  
CAREFULLY ESTABLISHED BY A CURRENT FIELD  
SURVEY AND UNLESS SHOWN THERE ARE NO  
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO  
RESTRICTIONS OF RECORD.  
A TITLE REPORT WAS NOT FURNISHED.  
NO CORNER MARKERS SET.



Ordered by:  
**MBH**  
Settlement Group, L.C.  
228 S. Washington Street  
Suite 100  
Alexandria, VA 22314  
PH: 703-739-0100  
Fax: 703-739-8339

**DOMINION** Surveyors  
Inc.®  
8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
FAX: 703-799-6412

CASE NAME: HALL ~ GOLDEN

CASE NO: OTA1811042

#181113013



# Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

**B**

## A. Property Information

A1. 426 S. Lee Street, Alexandria, VA 22314  
Street Address

RM

Zone

A2. 2,960.00

Total Lot Area

x

1.50

Floor Area Ratio Allowed by Zone

=

4,440.00

Maximum Allowable Floor Area

## B. Existing Gross Floor Area

### Existing Gross Area

Basement 1,212.00

First Floor 1,582.80

Second Floor 879.30

Third Floor

Attic

Porches

Balcony/Deck 362.50

Lavatory\*\*\* 200.00

Other\*\*

### Allowable Exclusions\*\*

Basement\*\* 173.00

Stairways\*\* 127.50

Mechanical\*\* 110.70

Attic less than 7\*\*\*

Porches\*\*

Balcony/Deck\*\* 22.40

Lavatory\*\*\* 200.00

Other\*\*

Other\*\*

B1. 4,236.60 Sq. Ft.

Existing Gross Floor Area\*

B2. 633.60 Sq. Ft.

Allowable Floor Exclusions\*\*

B3. 3,603.00 Sq. Ft.

Existing Floor Area Minus Exclusions  
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. **Total Gross** 4,236.60

B2. **Total Exclusions** 633.60

## C. Proposed Gross Floor Area

### Proposed Gross Area

Basement

First Floor

Second Floor 154.00

Third Floor

Attic

Porches

Balcony/Deck -154.00

Lavatory\*\*\*

Other

### Allowable Exclusions\*\*

Basement\*\*

Stairways\*\*

Mechanical\*\*

Attic less than 7\*\*\*

Porches\*\*

Balcony/Deck\*\*

Lavatory\*\*\*

Other\*\*

Other\*\*

C1. 0.00 Sq. Ft.

Proposed Gross Floor Area\*

C2. 0.00 Sq. Ft.

Allowable Floor Exclusions\*\*

C3. 0.00 Sq. Ft.

Proposed Floor Area Minus Exclusions  
(subtract C2 from C1)

C1. **Total Gross** 0.00

C2. **Total Exclusions** 0.00

## D. Total Floor Area

D1. 3,603.00 Sq. Ft.

Total Floor Area (add B3 and C3)

D2. 4,440.00 Sq. Ft.

Total Floor Area Allowed  
by Zone (A2)

## E. Open Space

E1. Sq. Ft.

Existing Open Space

E2. Sq. Ft.

Required Open Space

E3. Sq. Ft.

Proposed Open Space

## Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

*[Signature]*

Date:

6/6/2025









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