

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: 910 King Street, LLC

LOCATION: Old and Historic Alexandria District
910 King Street

ZONE: KR/King Street Retail Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness with the following conditions:

1. For the window infill at the east elevation, the applicant will work with staff to find a brick that is similar in color to the adjacent wall and the bonding pattern will be similar to the adjacent wall.
2. The applicant will work with staff to identify a stone block to replace the existing broken stone sill that is similar in size and color to the existing stone.
3. The applicant removes the stone sill without damaging the nearby masonry or door trim. Any damage will be repaired to match the existing.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



UPDATE

The Board first reviewed the project (BAR 2025-00114 & 2025-00154) at the May 7, 2025 BAR hearing and provided feedback on the proposal, the applicant requested a deferral to modify the design accordingly. The applicant has chosen to break the original proposal into multiple packages in order to accommodate the construction timeline. This proposal includes some elements included in the previous submission.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish and Certificate of Appropriateness to modify the existing building, the modifications include the following:

Permit to Demolish

- Remove 5 windows on the east elevation.

Certificate of Appropriateness

- Infill one third floor window and four first floor windows on the east elevation with brick set back 1" from the adjacent brick wall.
- Replace the existing broken and damaged stone sill block with new stone to match the existing in color and configuration.
- Install a security camera on the King Street facing elevation, in the location of an existing hole in the masonry wall.

Site context

The building is located on the south side of the 900 block of King Street. Directly to the west of the site is a public parking lot (Figure 1).



Figure 1: View of building from King Street

II. HISTORY

Ethelyn Cox's *Historic Alexandria Virginia Street by Street*, lists the property at 910 King Street as "brick, 3 stories, mid false front, originally 2 stories, shed roof, originally gable roof, probably early 19th century."

According to the research of Ruth Lincoln Kaye, the building originally dates from **1854-1855** with significant revisions to the building since that time. The building was originally a 2 story, Greek Revival style building with a gable roof. In 1871, the building was purchased by the Methodist Church on Washington Street and served as the parsonage for nearly 40 years. During this time, in **1892**, the building was modified to its current configuration. A story was added and a new front façade was constructed, turning it into the 3 story, Victorian building with a shed roof that is seen today.

A rear ell was once attached to the south side of the property that likely pre-dated the construction of the front portion, as it was constructed in 1835. This rear ell was approved for demolition by the BAR in 1984 and demolition commenced within weeks of the approval. The demolition was completed to make room for the 1980s era building that currently sits to the south of the subject property.

The G.M. Hopkins "Atlas of the City of Alexandria, Virginia" of 1877 shows a building at 912 King Street adjacent to the building at 910 King Street. This building remained in place until at some point between 1941 and 1959, when the 1959 Sanborn Insurance Map shows the properties at 912, 918, and 920 as the surface parking lot that exists today. On April 6, 2022, the BAR approved the construction of a multi-unit residential building on the site of the parking lot. The approved building features a public access alley between the new building and the existing building at 910 King Street.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No

(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall areas proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The five windows on the east elevation are not historic; by inseting the new brick the wall openings will remain as part of the building character.

Certificate of Appropriateness

Staff notes that the revised submission is greatly scaled down from the version reviewed at previous BAR hearings, it is the understanding of staff that the applicant intends to return to the BAR at a later date with revisions to the components not included in this submission. Staff finds that the proposed modifications are responsive to the comments from the BAR; however, there are some issues that remain unresolved.

Installation of new security camera

The *BAR Policies for Administrative Approval* indicate that “Security cameras measuring less than one cubic foot each” do not require BAR approval. The proposed security camera at the rear door will be less than this size and therefore does not require approval. The security camera on the King Street elevation will include an extension arm and is thus subject to the approval of the Board.

The applicant has chosen to locate a security camera at the northeast corner of the building, in the location of an existing hole in the masonry wall (Figure 2). Locating the camera in this location will require the use of an extension arm to allow for visibility of the front door, however it also allows for the camera to be mounted without requiring the installation of additional holes in the masonry. While the use of the extension arm may detract from the overall building composition, staff finds that this is preferable to the loss of additional historic fabric associated with mounting

the camera in a more discrete location. The use of the security camera is somewhat temporary in nature and it will likely be removed at some point in the future. Wherever possible, staff prefers that this type of installation be done with as little damage to the building as possible.



Figure 2: Proposed location of security camera in area of existing hole in exterior wall

Threshold block

The existing stone block at the threshold to the entry door on King Street is badly worn and cracked into two pieces (Figure 3). In the current condition it poses a safety risk to pedestrians as they enter the building from the sidewalk. The existing steps are in good shape and being proposed to be retained. In some cases, it has been possible to retain the threshold block, even when it has considerable wear, by turning the stone over and exposing the side without damage. In this case, the stone block is sheared into two pieces, making it impossible to repair. The applicant is proposing to replace the existing stone block with one to match the existing in color and configuration. While staff typically encourages the retention of historic materials wherever possible, in this case the stone is beyond repair and staff supports the proposed replacement in-kind. Staff recommends that the applicant work with staff to identify a stone that matches the original and that any damage to surrounding material occurring during the removal of the stone be repaired to match the original condition.



Figure 3: Existing damaged stone threshold block to be replaced in-kind

Window infill

The applicant is proposing to infill four ground floor windows and one third floor window on the east elevation with brick to match the adjacent wall, set back from the face of the wall by 1" (Figure 4). The existing window frames and sashes do not appear to be historic, exhibiting construction that appears to date from the middle of the twentieth century. The visibility of the existing windows is limited because of the narrow private alley between the building at 908 King Street and the subject building and the metal gate separating this alley from the sidewalk (Figure 5).

Because the window material itself is not historic, and the visibility of the windows is limited, staff supports the proposed infill of the existing windows. The applicant is proposing to infill the window with brick to match the adjacent wall and set back from the face of the wall 1". This will allow the original masonry opening to be visible from the sidewalk.



Figure 4: Windows to be infilled on the east elevation



Figure 5: View from King Street showing window proposed to be infilled

Staff appreciates the changes made to the design in response to comments from staff and the Board. With that, staff recommends approval of the Certificate of Appropriateness with the following conditions:

1. For the window infill at the east elevation, the applicant will work with staff to find a brick that is similar in color to the adjacent wall and the bonding pattern will be similar to the adjacent wall.
2. The applicant will work with staff to identify a stone block to replace the existing broken stone sill that is similar in size and color to the existing stone.
3. The applicant removes the stone sill without damaging the nearby masonry or door trim. Any damage will be repaired to match the existing.

STAFF

Bill Conkey, AIA, Historic Preservation Architect, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed stone sill replacement, window infill, and security cameras will comply with Zoning.

Code Administration

C-1 A building permit was applied for closing window. No comment.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- C-6 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

Alexandria Archaeology

- F-1 No archaeology comments

V. ATTACHMENTS

- BAR 2025-00304 & 2025-00322 Application Materials
- Supplemental Materials

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____

Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|---|--|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input checked="" type="checkbox"/> other | Replace the stone front door sill at the Front Entry | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

- Remove a third floor window on the east elevation of the building and use brick infill that will be held back from the face of the wall brick.
The window is in the shower of a bathroom in the new interior plan of the third floor.
- Replace the existing stone door sill at the front entry to the building. The current stone is cracked and worn away and is a potential tripping hazard. The new stone will closely match the existing stone in make and color as is possible.
- Install a new security camera on the northeast corner of the building above the existing fire alarm where there are holes from a previous mounting. The camera will be on an extension arm that will allow the camera to extend past the bay to survey the area in front of the building and the front door for security.

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Romana J SanchezPrinted Name: Romana J SanchezDate: July 26, 2025

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Regent Company, LLC	[REDACTED]	100
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 910 King St., Alexandria, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. 910 King St., LLC	[REDACTED] Alexandria, VA 22314	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

04/07/25

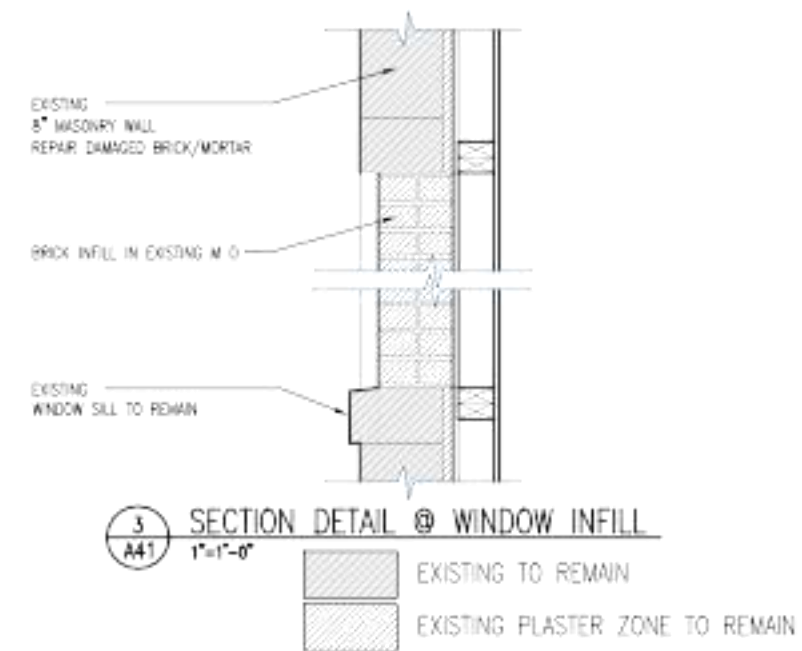
Date

Kahan S. Dhillon, Jr.

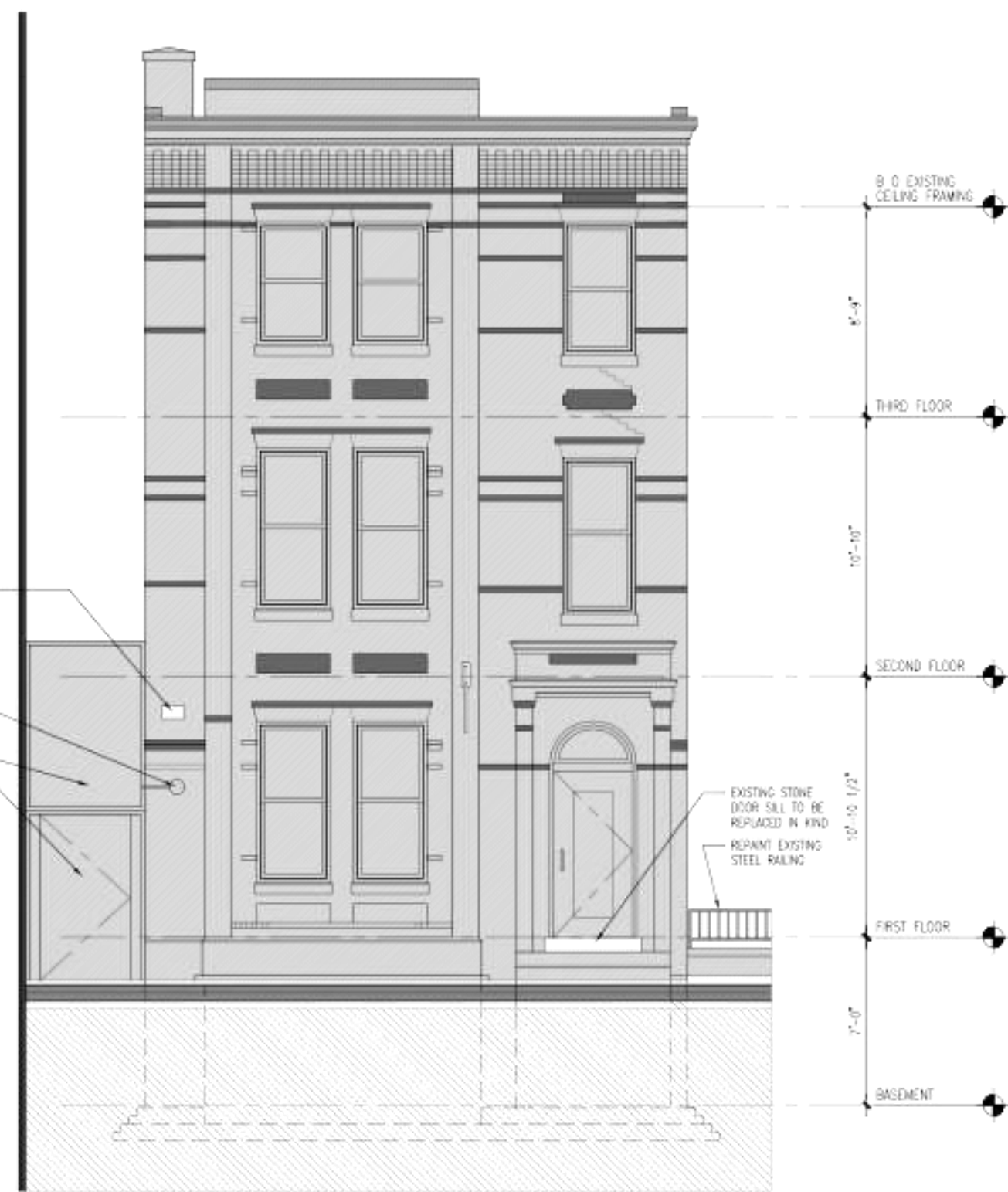
Printed Name

Kahan S. Dhillon Jr.

Signature



2 EAST ELEVATION
A41 1/4"=1'-0"

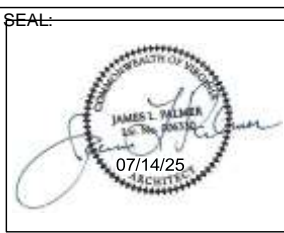


1 NORTH ELEVATION
A41 1/4"=1'-0"

No.: Revision: Date:

Revised Permit Set April 28, 2025

1 Revision 01 July 14, 2025



Sheet Title:

Revised BAR
North and East Elevations
August 08, 2025

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:
25-120 April 28, 2025

SHEET NO.

A41

11 x 17 Sheets are 1/2 Size

East Elevation - 5 windows (3 First Floor Windows and 1 Third Floor Window) to to be removed and opening to be in-filled with brick. New brick to match existing will be held back 1" from the face of the building brick.



Brick-infill 4 First Floor Windows



910 King Street
Exterior Images
910 King Street
Alexandria, VA 22314

SANCHEZ PALMER
ARCHITECTS, PC
215 N Payne Street, Suite 301
Alexandria, Virginia 22314
703 549 4033

No.: Revision: Date:

SEAL:

Sheet Title:

BAR
September 3, 2025
East Elevation
Window

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:
25-120 April 28, 2025

SHEET NO.

3

11 x 17 Sheets are 1/2 Size



Existing Stone Door Sill is badly worn and cracked.



Replace the Front Stone Door Sill In Kind - the existing sill is worn and cracked and will be replaced with new stone in kind and match the color as closely as possible. The existing stone steps will remain as is.



Replace Existing Damaged Stone Door Sill

Locations of New Security Cameras



existing anchor location to be used for front security camera wiring



Similar camera with extension arm



Location of Security Camera on Front Elevation



Rear Entry Security Camera Location

910 King Street
Exterior Images
910 King Street
Alexandria, VA 22314

SANCHEZ PALMER
ARCHITECTS, PC
215 N Payne Street, Suite 301
Alexandria, Virginia 22314
703 549 4033

No.: Revision: Date:

SEAL:

Sheet Title:

BAR
September 3, 2025
Security Cameras

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:
25-120 April 28, 2025

SHEET NO.

3

11 x 17 Sheets are 1/2 Size