

ISSUE: Permit to Demolish/Capsulate (partial), Certificate of Appropriateness for alterations and an addition, and a Waiver of the Rooftop Mechanical Screening Requirement

APPLICANT: David Osterndorf and Jennie Korth

LOCATION: Old and Historic Alexandria District
405 South Fairfax Street

ZONE: RM/Townhouse zone

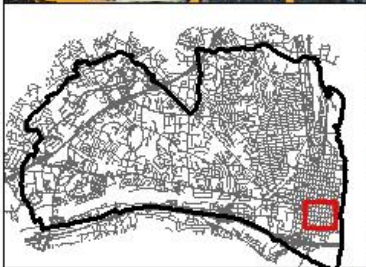
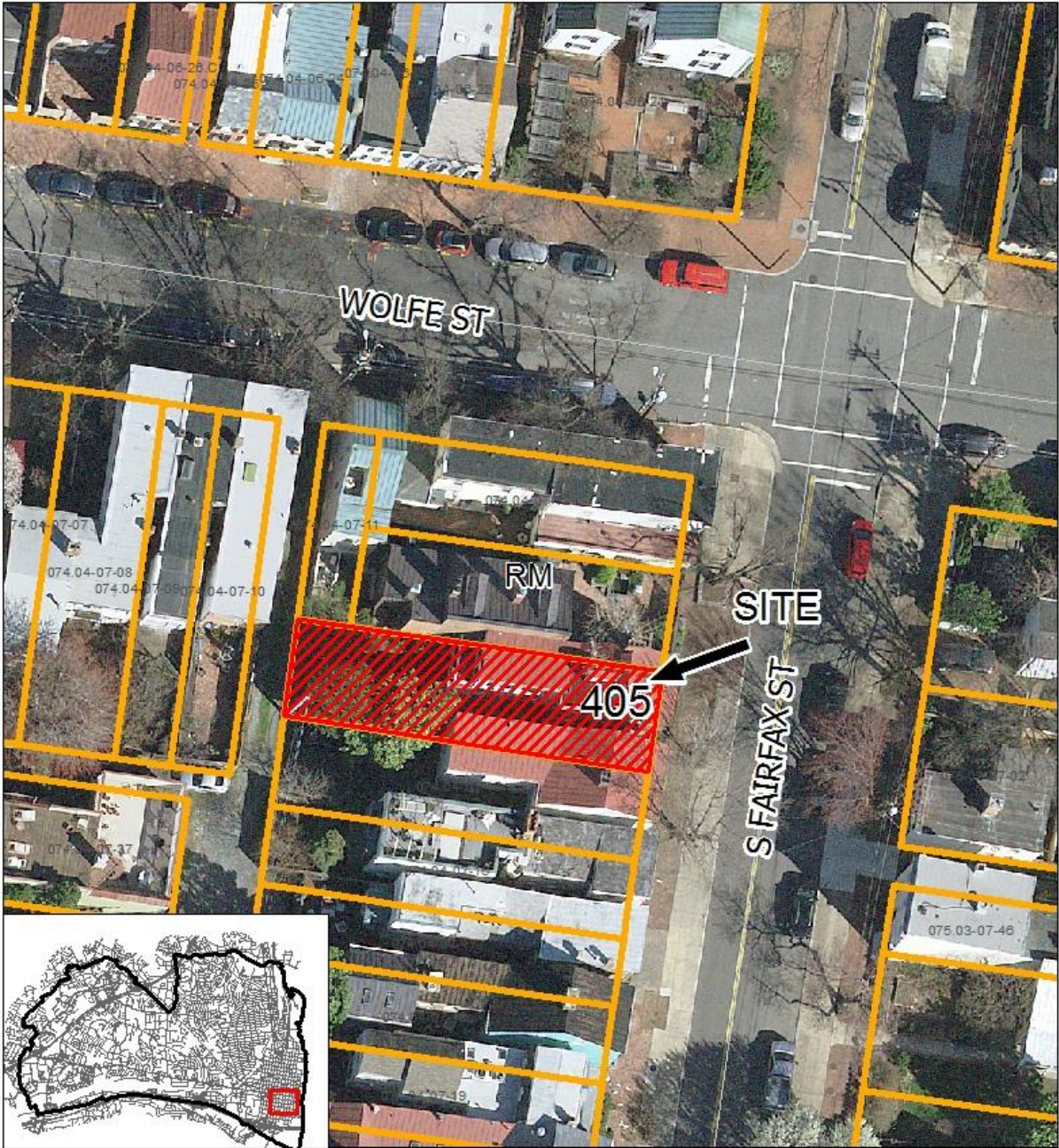
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate, Certificate of Appropriateness and Waiver of the Rooftop Mechanical Screening Requirement with the following conditions:

1. Include the statements in archaeology conditions below in the General Notes of all site plans and on all construction documents that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. Call Alexandria Archaeology (703.746.4399) two weeks before the starting date of any ground disturbance so that a monitoring and inspection schedule for city archaeologists can be arranged.
 - b. Call Alexandria Archaeology immediately (703.746.4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - c. No metal detection may be conducted on the property, unless authorized by Alexandria Archaeology.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2019-00042 & BAR #2019-00043
405 South Fairfax Street



Note: Staff coupled the applications for a Permit to Demolish (BAR2019-00042) and Certificate of Appropriateness (BAR2019-00043) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant is requesting a Permit to Demolish/Capsulate and Certificate of Appropriateness to construct a two-story rear addition and roof deck at 405 South Fairfax Street.

Permit to Demolish/Capsulate

The following features will be demolished to make way for the new construction and alterations (Figure 1):

- Demolish the area under the existing dormer window on the rear roof slope (4.5 square feet)
- Demolish a 13 foot by 8 foot portion of the first-floor south wall of the two-story frame ell (97 linear square feet)
- Demolish the one-story rear frame addition (72 square feet)
- Demolish the second-floor rear elevation of the ell (216 linear square feet)

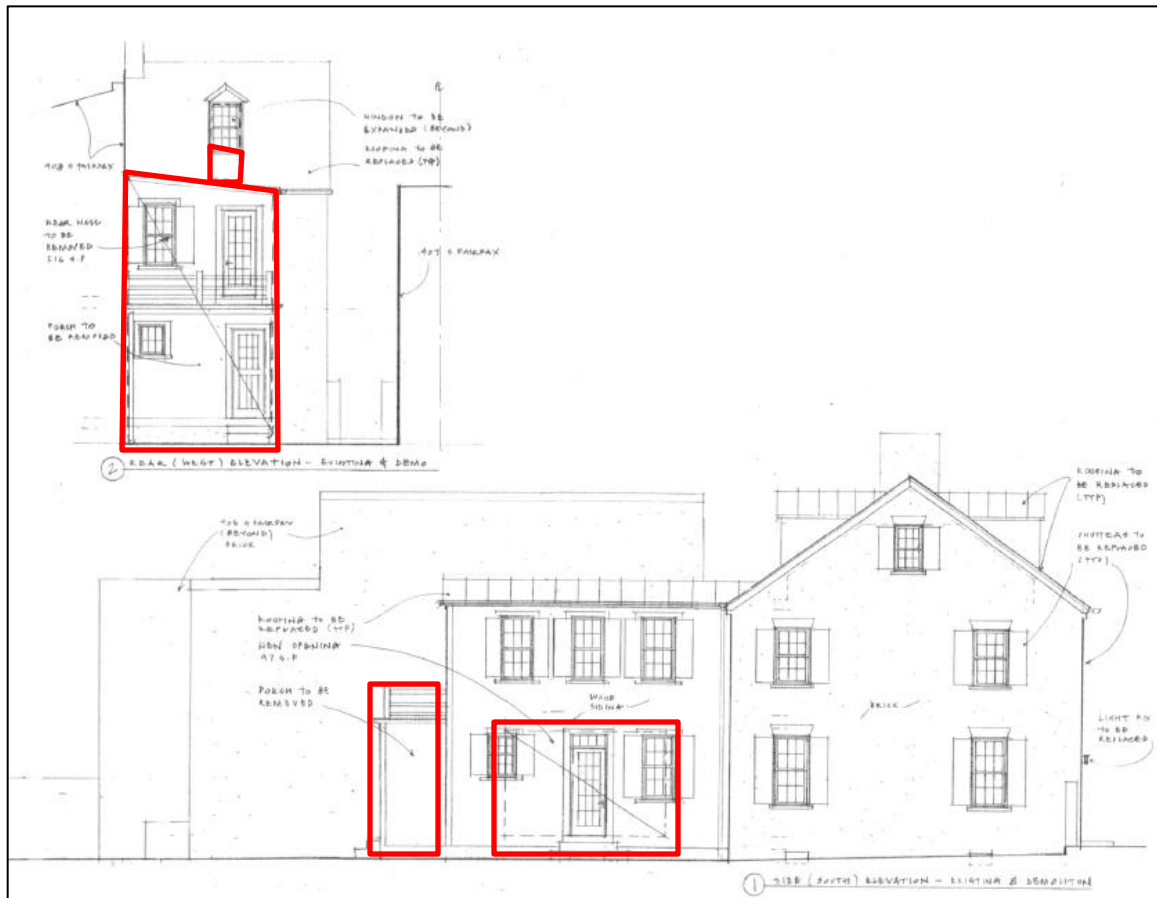


Figure 1: Areas of proposed demolition

Certificate of Appropriateness

The applicant proposes new construction at the rear and more minor alterations to the historic main block and the rear ell.

Addition

A new two-and-a-half story stucco clad, cross-gable addition is proposed at the rear of the property (Figure 2 & 3). The addition will measure 19 feet long by 18.5 feet wide and will project 6.5 feet from the existing two-story addition. The rear elevation will have a gable-end and a shed addition on the third floor to provide access to the roof deck. A first-floor pergola will be located on the rear of the addition, like the pergola proposed for the side elevation. Materials on the addition consist of stucco on the exterior walls, two-over-two wood simulated-divided light windows and a standing seam metal roof.



Figure 2: Proposed rear (west) addition



Figure 3: Proposed side (south) elevation. New construction/alterations shown in red.

Alterations

Modifications to the existing building consist of the replacement of the west-facing dormer window with a door to provide access to a new roof-deck installed over the low slope roof of the existing rear ell. Although the metal roof will be replaced the historic roof form and rafters will be preserved under the new deck. On the first-floor of the ell the existing single door and two windows will be replaced with French doors and flanking fixed panels under a pergola. The existing wood siding on this elevation will be retained and repaired. Alternations to the sides and rear of the historic mastery block include new louvered shutters and a new light fixture.

Waiver of Rooftop Mechanical Screening

The applicant proposes to install two HVAC condensers on the new roof deck and seeks a Waiver of Rooftop Mechanical Screening Requirement, so that they do not need to screen the units.

II. HISTORY

According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, James Lyle constructed the house sometime between **1813 and 1831**, when the house was sold. The two-bay, two-and-a-half story Federal style house consists of a masonry main block and a two-story frame ell with a one-story enclosed porch at the rear. As the Sanborn maps below demonstrate (Figure 4), the rear of the house evolved from a one-story ell to a two-story ell by 1907. After 1907, the two-story addition appears to have been enlarged and by 1941 a one-story open porch was added. Sometime after 1958 the open porch was enclosed.

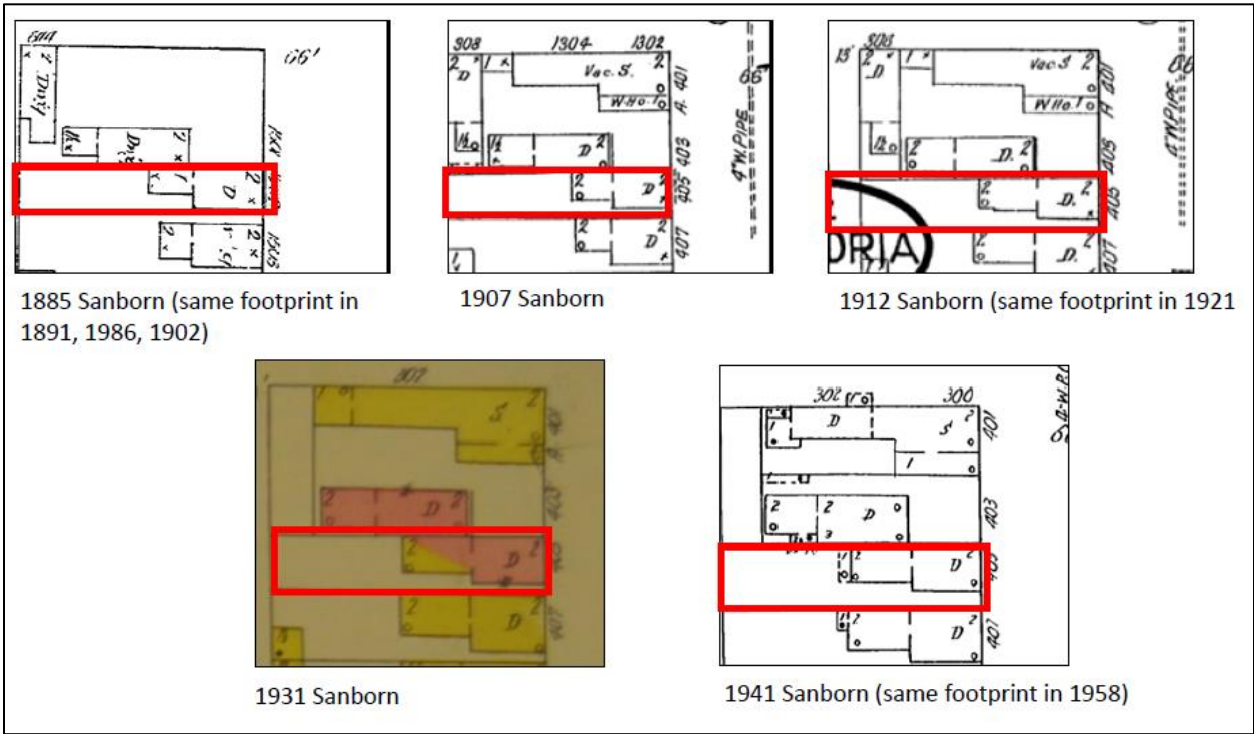


Figure 4: Sanborn map footprint progression

The subject property was surveyed by the Historic American Building Survey (HABS) in the late 1950s and bears a plaque acknowledging the recording of the building (Figure 5). The house also contains a Historic Alexandria Foundation plaque.



Figure 5: HABS photos ca. 1959

Visibility

The alley to the west, behind the subject property, is private (Figure 6).



Figure 6: Map showing private alley to the rear of 405 South Fairfax Street

Previous BAR Approvals

The only BAR approval staff could locate was for a chimney at 405 South Fairfax Street in 1967.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The applicant's request for demolition and capsulation is not unusual in the Old and Historic Alexandria District, as homeowners seek to create additional modern living space. BAR staff - and the Board - have generally supported such requests if the new construction is sensitively attached and when only a limited amount of historic material is demolished or capsulated. As described in the zoning ordinance criteria, the specific amount depends on the importance of the structure and the material and craftsmanship being demolished or capsulated. In this case, a mid-20th century enclosed porch and portions of the second period frame ell will be demolished.



Figure 7: Enlarged photo showing existing visibility of frame ell

The amount of demolition on the historic main block is limited to a 2 foot by 2.25-foot area of the rear roof slope, which is not visible from a public way and on its own would not require approval of a Permit to Demolish. On the frame ell an area measuring approximately 100 linear feet, including two windows and a door, will be demolished as will the mid-20th century one story addition and balcony railing and the second floor rear wall. Only a small portion of the existing frame features are visible from South Fairfax Street (Figure 7). Staff has visited the site on more than one occasion to view interior trim and exposed framing to confirm the construction chronology. While the interior framing materials confirm the early 20th construction of the ell, the exterior siding and windows suggest later alterations. The applicant originally suggested the full demolition of the rear ell but worked with staff to find a solution that preserved most of the south façade and the form and framing of the second period, early 20th century ell.

None of the features that will be demolished exhibit a high level of design or architectural detail and they could be reproduced easily. Staff does not find that the proposed demolition compromises the overall integrity of this historic townhouse nor will the demolition negatively impact nearby buildings of historic merit. In the opinion of Staff, none of the criteria are met and the Permit to Demolish for this limited amount of material should be granted.

Certificate of Appropriateness

The Standards for Demolition specifically relate only to the property that is subject to the request, but BAR's determination for a Certificate of Appropriateness must consider the broader setting and context and the Standards listed in Section 10-105 of the zoning ordinance are more subjective. In these cases, there is not a definitive "yes" or "no" response, as the BAR typically finds with the criteria for a Permit to Demolish.

When the Old and Historic Alexandria District was established in 1946, it was not created to freeze Old Town Alexandria at a point in time, the way Colonial Williamsburg is often described. The BAR's Standards and Criteria in the zoning ordinance, as well as the BAR's adopted policies and *Design Guidelines*, recognize that the historic fabric of Old Town may be modified, altered and expanded to allow the historic buildings to continue to be used and cherished. The BAR's charge is first to identify and "protect historic and cultural resources" and second to ensure that additions, alterations and new construction are compatible with nearby buildings of historic merit. The first charge is discussed in the Permit to Demolish/Capsulate analysis above. The second charge is more subjective and varies case by case, recognizing that what may be appropriate in one block may not be appropriate in another block, or even another portion of the same block.

Regarding residential additions, the *Design Guidelines* state the Board's preference for "contextual background buildings which allow historic structures to maintain the primary visual importance," and for "designs that are respectful of the existing structure and...which echo the design elements of the existing structure." The *Guidelines* also note that "It is not the intention of the Boards to dilute design creativity in residential additions. Rather, the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of [modern times] while being compatible with the historic character of the districts."

The BAR regularly approves rear additions that are visible from a public way, which is why the *Guidelines* encourage new features to be contextual, compatible and of quality design, while being subtly differentiated from the historic portions. In the opinion of staff, the applicant has achieved this differentiation through the use of different fenestration (two-over-two windows), materials (stucco) and roof form. The addition is also located on a different plane than the historic building or ell – it projects farther into the side yard but will be set back three feet from the adjacent house and fence, though technically six feet from the lot line (three feet of the neighbor's house and garden are located on the lot belonging to 405 South Fairfax Street). The addition in its entirety will not be visible from a public way. Only a small portion of the east elevation of the new addition will be visible from the 5.5-foot walkway between 405 and 407 South Fairfax Street. The railing of the roof deck and a portion of the third floor of the addition will also be visible from the right-of-way, as shown in Figure 8. The railing will only be seen at an oblique angle due to the house on the corner of Wolfe and South Fairfax Street. A portion of the top floor of the addition will be visible from Wolfe Street as shown in the photo in Figure 9.

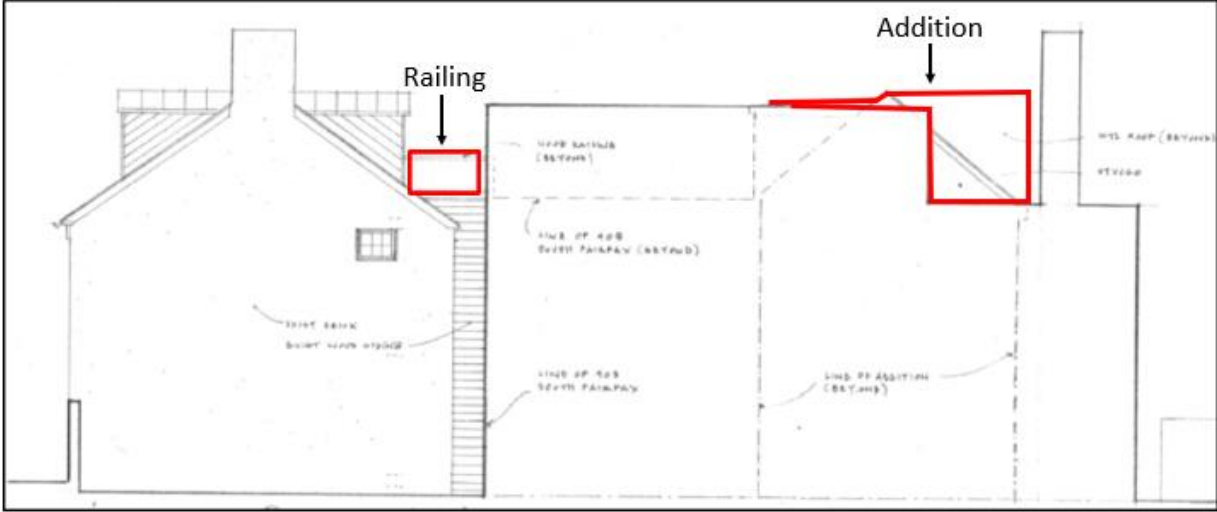


Figure 8: Visibility of deck railing and addition from the right-of-way



Figure 9: General area of addition visibility

While staff would prefer a more diminutive addition that does not utilize an attic floor, the applicant strongly desires this additional space and access to a new roof deck. With existing large additions to the north and south of the rear yard, shown in photos the application materials, staff believes the proposed addition will have minimal impact on its immediate neighbors. In comparison to many mid-block additions that the BAR approves, the proposed addition is among the least visible from the right-of-way and staff is in support. As the image below shows (Figure 10), the block where 405 South Fairfax Street is located is quite dense with a variety of building footprints equal to and larger in size. As discussed by the BAR at the previous meeting the context of an addition is more important than its absolute size.

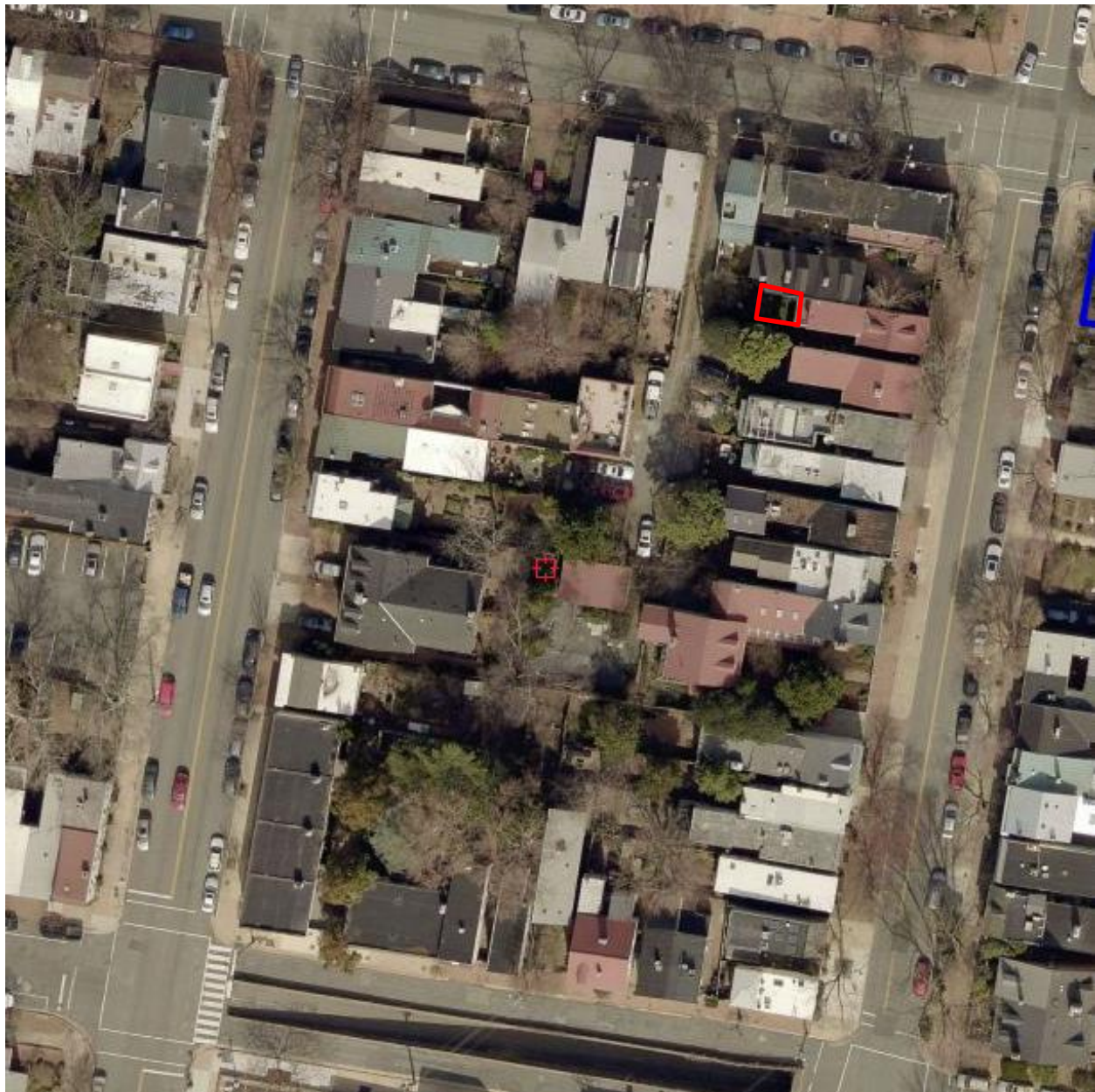


Figure 710: Aerial of subject block showing proposed addition footprint

Despite its size, the proposed addition has very little impact on the historic fabric or the original house or additions constructed during the architectural period of significance of the OHAD (1749-1934). It is well designed and compatible with the historic main block yet subtly differentiated in design to suggest its later construction. Although the applicant specifies traditional building materials such as wood, stucco and metal, in recent years the BAR has supported the use of modern and synthetic materials on new construction and staff would have no objection to the use of modern materials in this location that otherwise comply with the BAR's policies.

In addition, staff supports the new shutters and light fixture, as well as the minor changes to the first-floor ell and recommends approval of the Waiver of the Rooftop Screening Requirement. Given the location of the two condensers behind the masonry wall of the adjacent flounder house at 403 South Fairfax Street, staff does not believe that the condensers will be visible from a public way or neighbors yards.

Staff has included the Alexandria Archaeology comments listed below in the recommendations, as is the normal practice of the BAR.

STAFF

Stephanie Sample, Acting Principal Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- F-1 Correct "total open space" indicated on submitted plat. Should read 824, not 624. (plans have been updated)
- F-2 Property will maintain the required 5' setback from the south side property line.
- F-3 Proposed roof top equipment will comply with zoning if waiver of screening is approved.
- C-1 Proposed addition will comply with zoning.

Code Administration

- C-1 A building permit, plan review and inspections are required prior to the start of construction.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 James Lyle purchased this lot from Mordecai Miller in 1813 and soon thereafter built the dwelling on this property. Lyle sold the brick tenement house in 1831. In 1991 Alexandria Archaeology identified a possible well or privy in the backyard “garden,” but its exact location is not known to us. Due to the property dating back to the early nineteenth century, it may contain significant archaeological information about early Alexandria.
- F-2 Because of the possibility that construction of the proposed addition may impact significant archaeological resources, in particular the possible location of a historic well or privy, Alexandria Archaeology would like permission to periodically monitor the project. Our intent is not to delay or interfere with the project, but rather to work in concert with the construction crew to photograph and record any significant buried archaeological deposits that might be unearthed.
- R-1 The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
- a. The applicant/developer shall call Alexandria Archaeology (703.746.4399) two weeks before the starting date of any ground disturbance so that a monitoring and inspection schedule for city archaeologists can be arranged.
 - b. The applicant/developer shall call Alexandria Archaeology immediately (703.746.4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - c. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2019-00042 & BAR2019-00043: 405 South Fairfax Street

BAR Case # _____

ADDRESS OF PROJECT: 405 SOUTH FAIRFAX

DISTRICT: Old & Historic Alexandria Parker - Gray 100 Year Old Building

TAX MAP AND PARCEL: 7404-07-14 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: DAVID OSTERDORF / JENNIE KORTH

Address: 405 SOUTH FAIRFAX ST

City: ALEXANDRIA State: VA Zip: 22314

Phone: _____ E-mail: jre@healthexchangeresources.com

Authorized Agent *(if applicable)*: Attorney Architect _____

Name: PATRICK CANUS

Phone: 703 626 1984

E-mail: STUDIOCANUS@COMCAST.NET

Legal Property Owner:

Name: SAME

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

REQUEST APPROVAL FOR A 2 1/2 STORY ADDITION AT THE REAR OF THE PROPERTY AND REMOVAL OF THE REAR WALL TO ALLOW FOR THE ADDITION.
 REQUEST APPROVAL FOR A NEW GAS LIGHT FIXTURE AND REPLACE ALL SHUTTERS WITH NEW WOOD

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: PATRICK CAMUS

Date: 9 FEB 2019

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. JENNIE KORTH DAVID OSTERNDORF	405 S FAIRFAX	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 405 S FAIRFAX (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. JENNIE KORTH DAVID OSTERNDORF	405 S FAIRFAX	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. JENNIE KORTH DAVID OSTERNDORF	N/A	O+HD
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

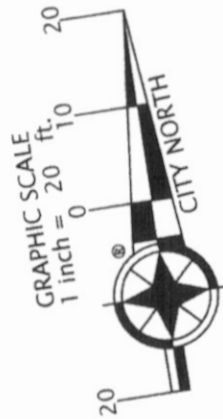
9 Feb 19 PATRICK CAMUS
Date Printed Name


Signature



NOTES: 1. FENCES ARE FRAME UNLESS NOTED.

12' ALLEY
N 09°30'00" E
25.00'



SOUTH FAIRFAX STREET

PLAT
SHOWING HOUSE LOCATION ON
THE PROPERTY LOCATED AT
#405 SOUTH FAIRFAX STREET
(DEED BOOK 813, PAGE 291)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20'
JANUARY 4, 2019

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
A TITLE REPORT WAS NOT FURNISHED.
NO CORNER MARKERS SET.



Ordered by:
Champion Title
21631 Ridgetop Circle, Suite 250
Sterling, Virginia 20166
Ph: (703) 444-4100

DOMINION Surveyors Inc.
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

#181228003

CASE NAME: HYNAN ~ KORTH/OSTERNDORF



STUDIO CAMUS LLC
225 North Pitt Street Alexandria Virginia 22314
studiocamus@comcast.net
Lynnette 703 989 3777 Patrick 703 626 1984

Proposed Modifications to the
KORTH/OSTERNDORF RESIDENCE
405 South Fairfax Street Alexandria Virginia

DATE	SHEET
9 FEB 19	CS1
SCALE	
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Shutter Specifications

Premium Cedar, Redwood, & Mahogany Wood Louvered



Shown with Divider Rail

SIZES AVAILABLE

Widths:
10" - 32"
(1/4" increments)

Heights:
15" - 108"
(1/4" increments)

Materials Available:

- Solid Kiln Dried Western Cedar
- Solid Kiln Dried California Redwood
- Solid Kiln Dried African Mahogany
(Pine available online with different specifications)

Finishes Available:

- Unfinished - ready to prime and paint or stain
- Factory Primed - ready to lightly sand and paint
- Factory Painted
Ultra durable, water borne exterior acrylic paint
Nine standard colors and unlimited custom colors

Assembly:

2 dowels with polyurethane exterior glue and 3 1/2" threaded screw

Hardware:

Information at shutterland.com/exterior-shutter-hardware

Pricing & Ordering:

Online at shutterland.com/louvered-wood-shutters
Enter specifications & click "Calculate"
or call 1-800-483-5028

ALL STYLES AVAILABLE:

- Louvered Wood or Composite Shutters
- Raised Panel Wood or Composite Shutters
- Grooved Panel Wood or Composite Shutters
- Board & Batten Wood or Composite Shutters
- Combination Wood Shutters

TOP RAIL

3" height
1 1/2" thick

LOUVERS

1 1/2" louvers
3/4" thick
17" angle on 1 1/2" centers

SIDE STILES

2 1/2" wide
1 1/2" thick

DIVIDER RAIL

3" height
1 1/2" thick
Required on panels over 70"
(optional)

BOTTOM RAIL

3 - 4 1/2" height
1 1/2" thick
Calculate exact bottom rail size online

BACK STRAP

Panels wider than 23 1/2" require a vertical wood strap on the back to maintain louver alignment.

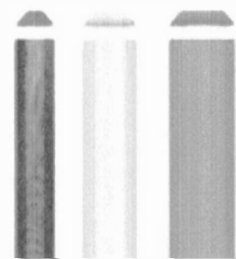
* New specifications as of April 1, 2016 *



Bevolo "Coach House" Lantern
Black 18" h x 8 3/4" w

SHUTTERLAND EXTERIOR SHUTTERS DIRECT

1-800-483-5028 © 2018 SHUTTERLAND.COM



JELD WEN Simulated Divided Lites

(SDL) grilles that are permanently attached to both the interior and exterior glass (aluminum for clad exteriors, wood for wood exteriors), metal bars placed between the panes of insulating glass to provide design detail.

Grilles 7/8" width in putty profile: These grilles are available in wood for wood exteriors or the color that matches the exterior clad color of the window you choose or a custom color.

Wood Window Specs



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations as of 12/20/18

B

A. Property Information

A1. 405 South Fairfax Street Street Address RM Zone
A2. 2350 Total Lot Area x 1.5 Floor Area Ratio Allowed by Zone = 3525 Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area	Allowable Exclusions**	
Basement 449	Basement** 449	B1. 2835 Existing Gross Floor Area* Sq. Ft.
First Floor 778	Stairways** 130	B2. 779 Allowable Floor Exclusions** Sq. Ft.
Second Floor 896	Mechanical** 55	B3. 1858 Existing Floor Area Minus Exclusions (subtract B2 from B1) Sq. Ft.
Third Floor 304	Attic less than 7**	
Attic	Porches**	
Porches	Balcony/Deck** 80	
Balcony/Deck 80	Lavatory*** 65	
Lavatory***	Other**	
Other** 330 (407 S Fairfax)	Other**	
B1. Total Gross 2835	B2. Total Exclusions 779	Comments for Existing Gross Floor Area

Portion of 407 South Fairfax is on this property

C. Proposed Gross Floor Area

Proposed Gross Area	Allowable Exclusions**	
Basement	Basement**	C1. 1207 Proposed Gross Floor Area* Sq. Ft.
First Floor 351	Stairways** 60	C2. 428 Allowable Floor Exclusions** Sq. Ft.
Second Floor 351	Mechanical** 12	C3. 781 Proposed Floor Area Minus Exclusions (subtract C2 from C1) Sq. Ft.
Third Floor 262	Attic less than 7**	
Attic	Porches**	
Porches	Balcony/Deck** 243	
Balcony/Deck 243	Lavatory*** 50	
Lavatory***	Other**	
Other 61 (old porch)	Other** 61 (old porch)	
C1. Total Gross 1207	C2. Total Exclusions 428	

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. 2837 Sq. Ft. Total Floor Area (add B3 and C3)
D2. 3525 Sq. Ft. Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. 51% 1213 Sq. Ft. Existing Open Space
E2. 35% 822.5 Sq. Ft. Required Open Space
E3. 35% 824 Sq. Ft. Proposed Open Space

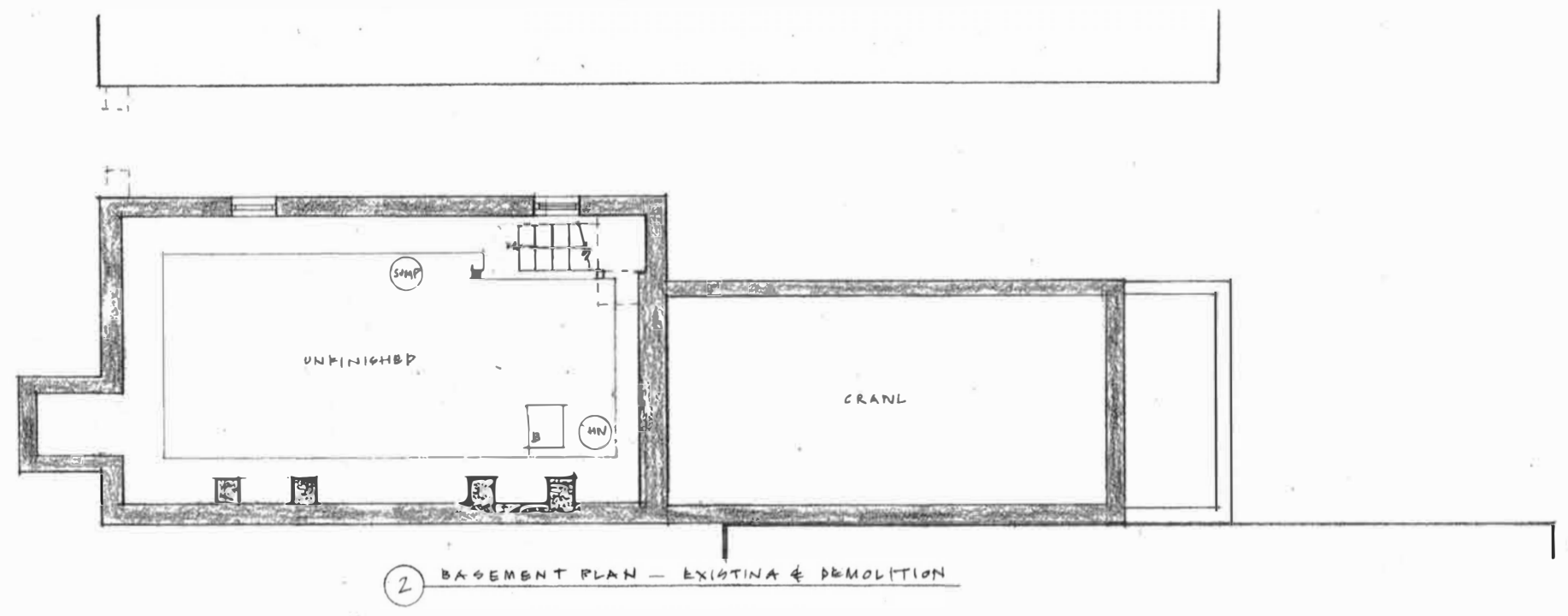
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:  Date: 9 FEB 19

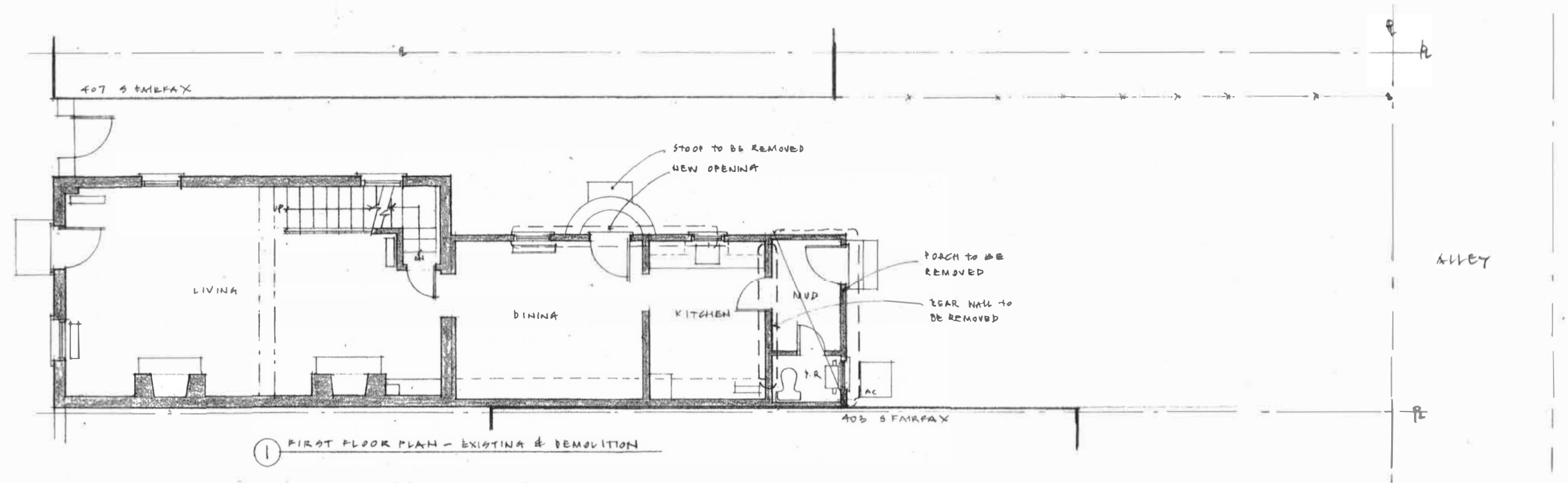
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SHEET: CS2



2 BASEMENT PLAN - EXISTING & DEMOLITION

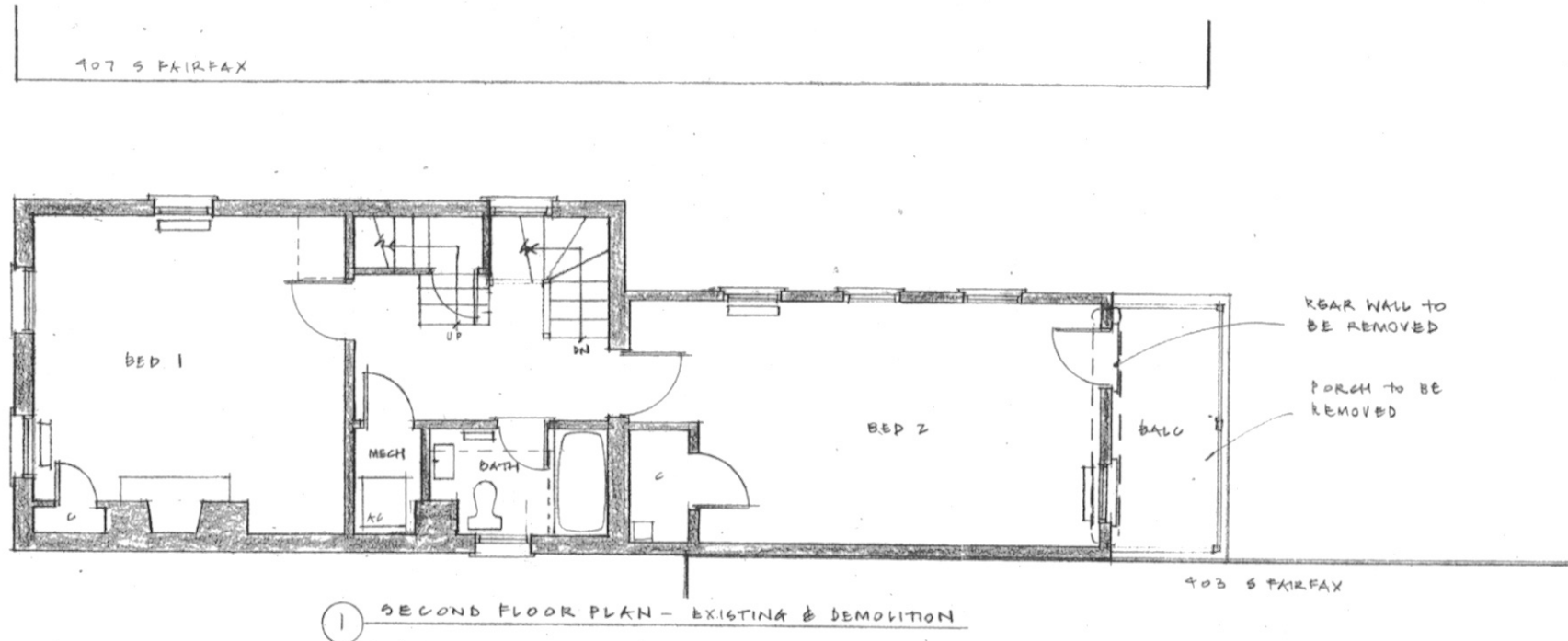
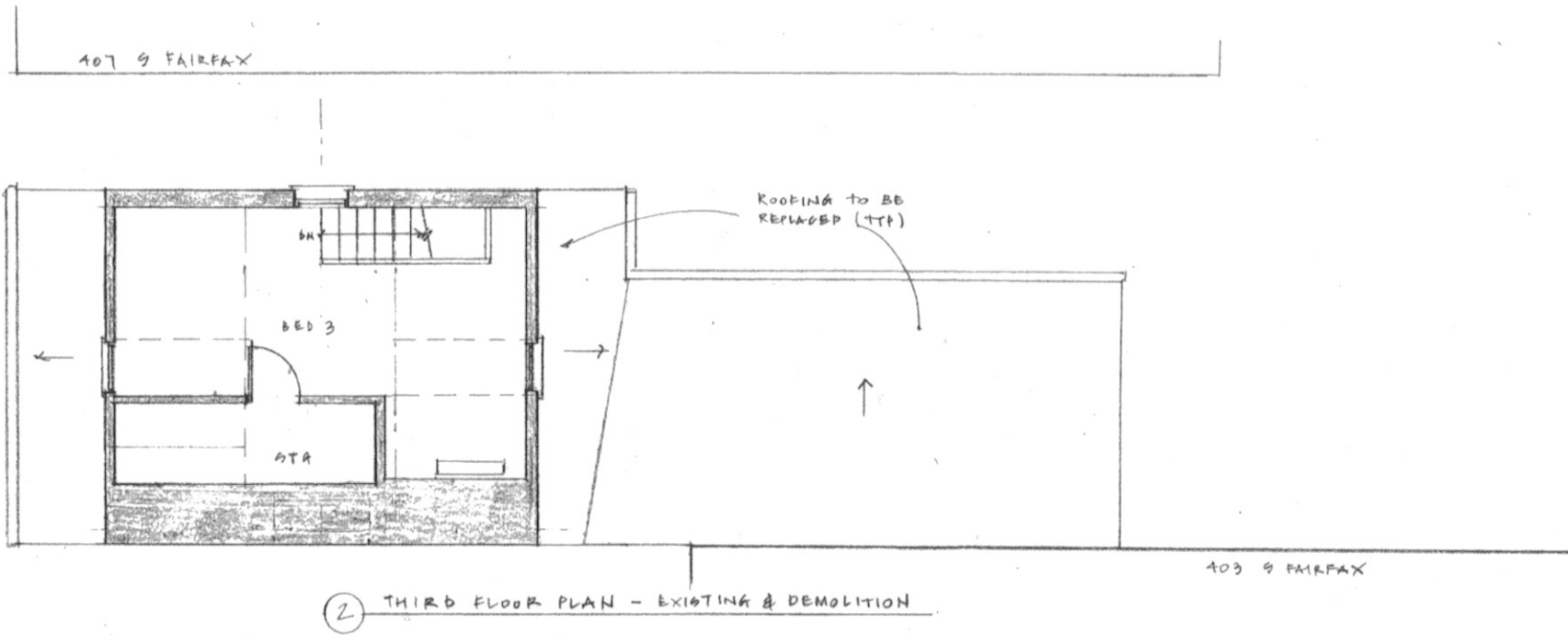


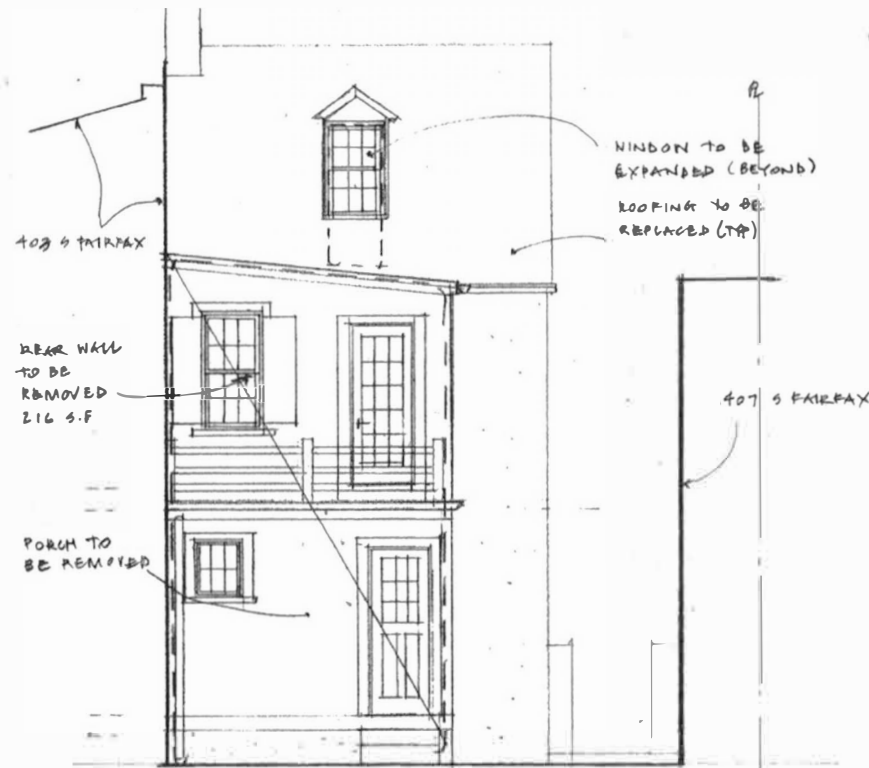
1 FIRST FLOOR PLAN - EXISTING & DEMOLITION

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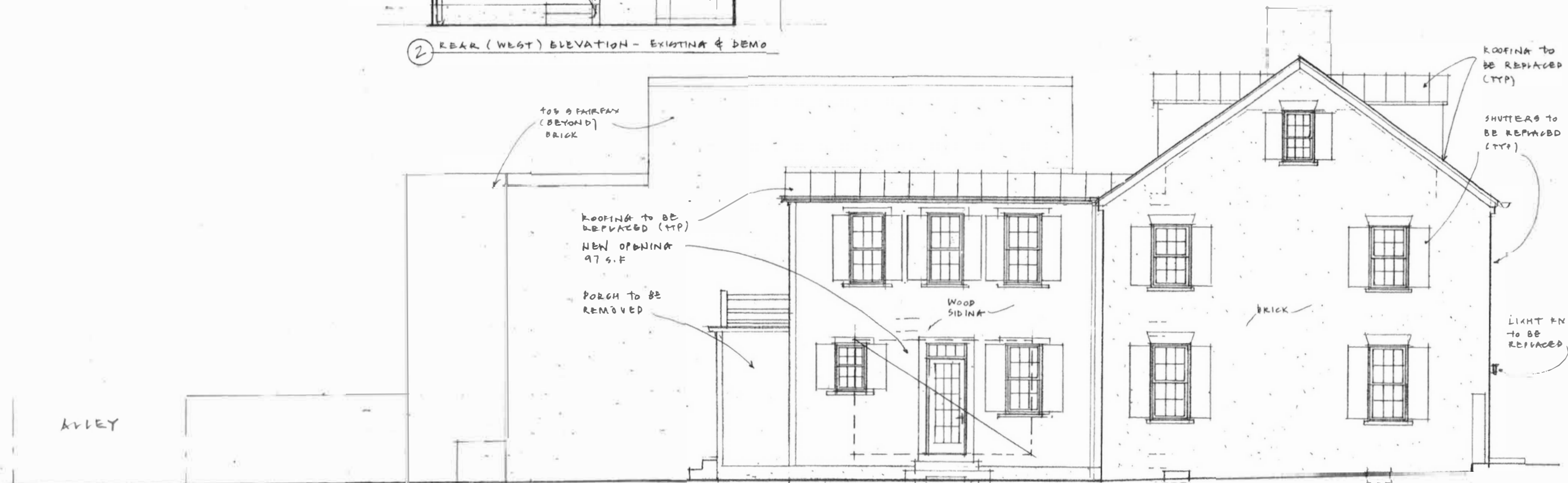
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SCALE 1/8" = 1'-0"	





2 REAR (WEST) ELEVATION - EXISTING & DEMO



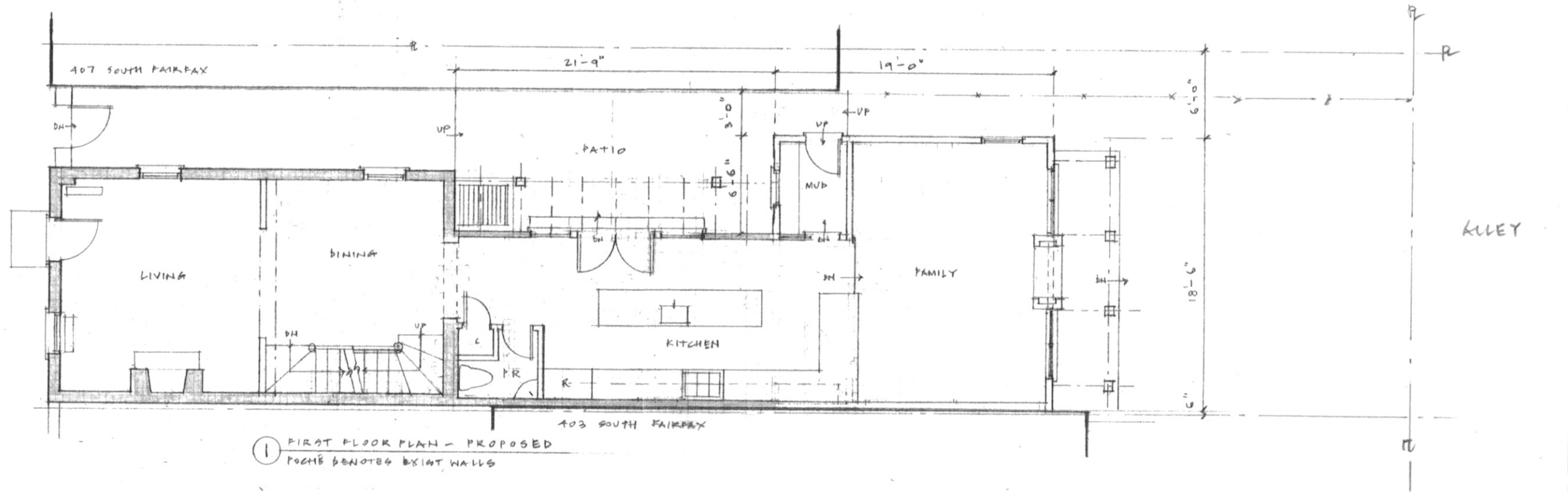
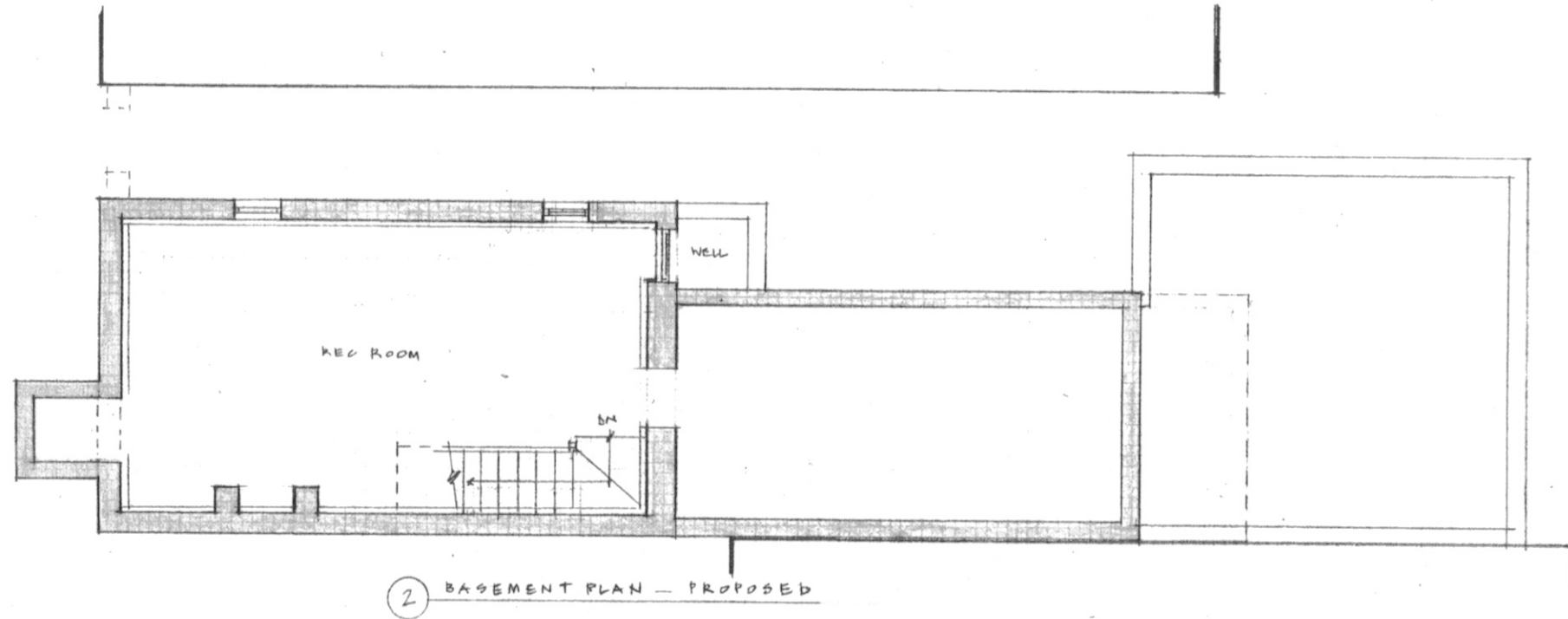
1 SIDE (SOUTH) ELEVATION - EXISTING & DEMOLITION

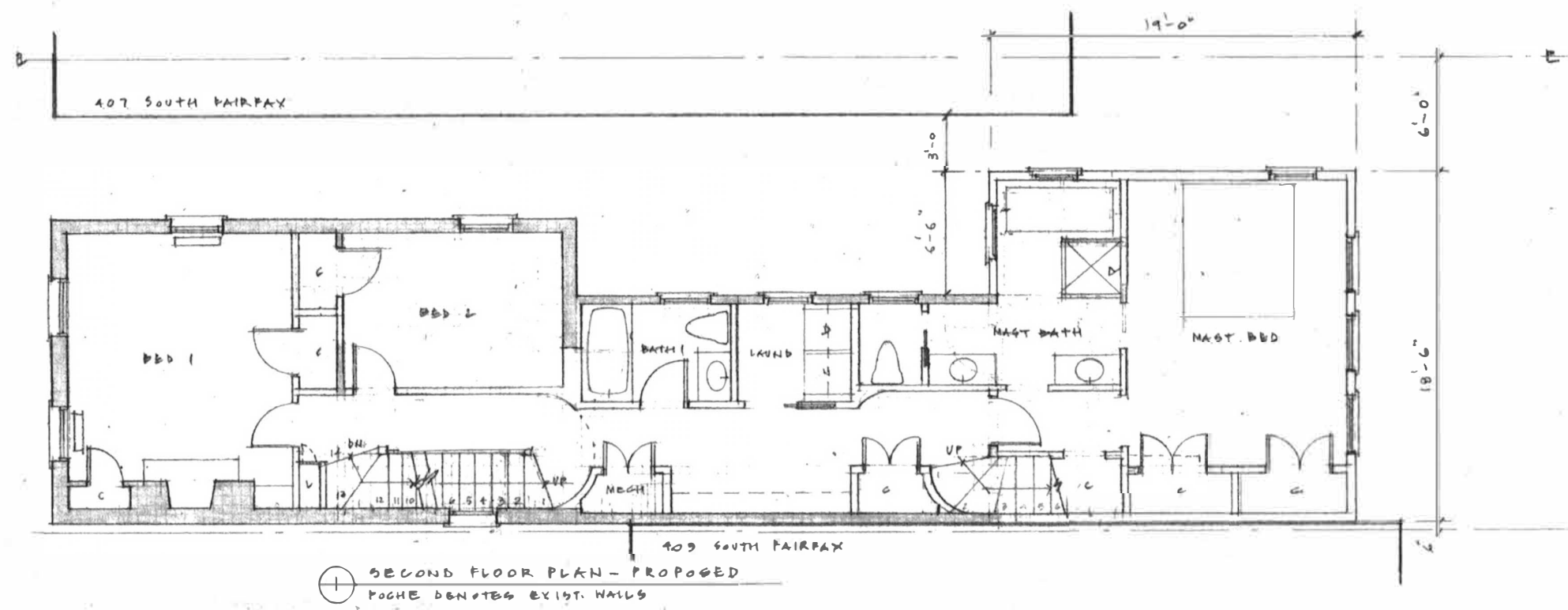
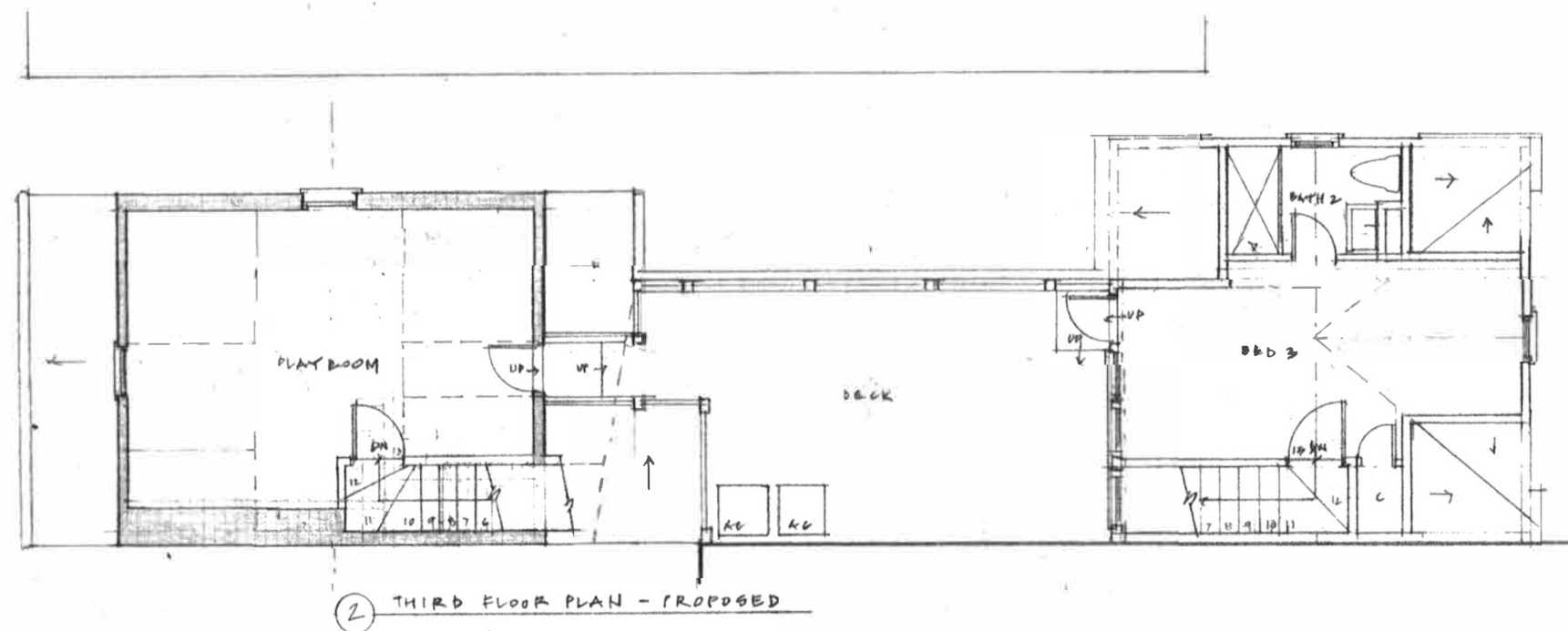
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A3

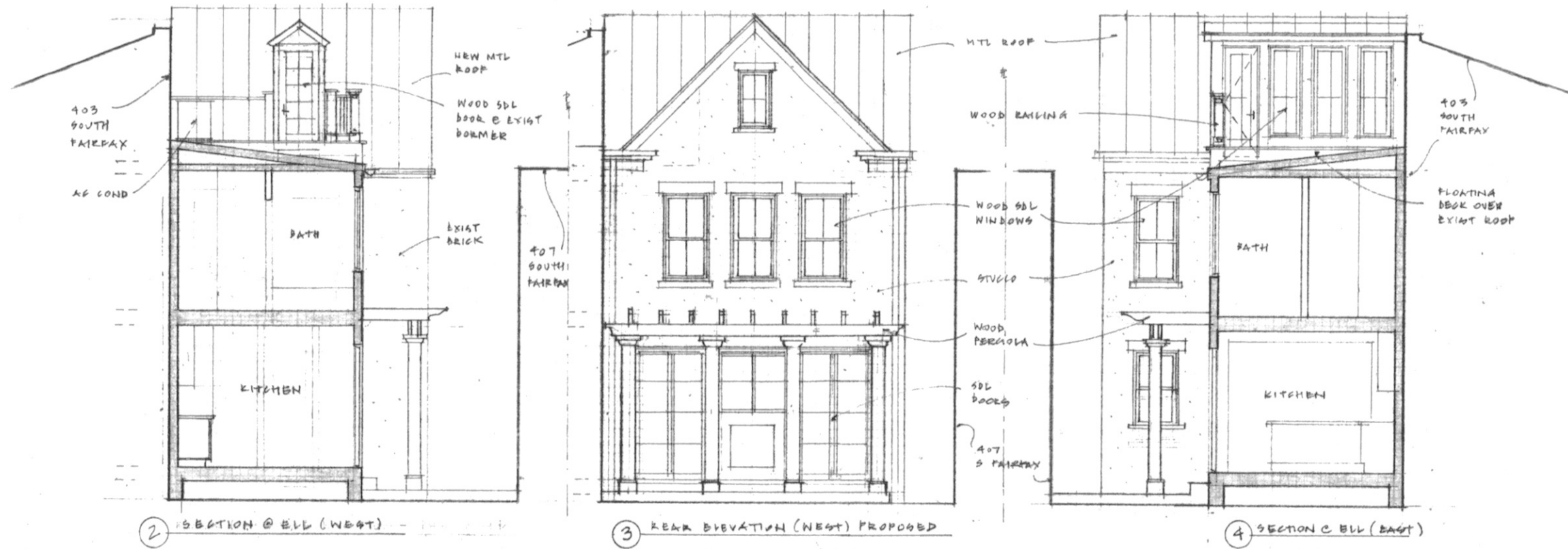




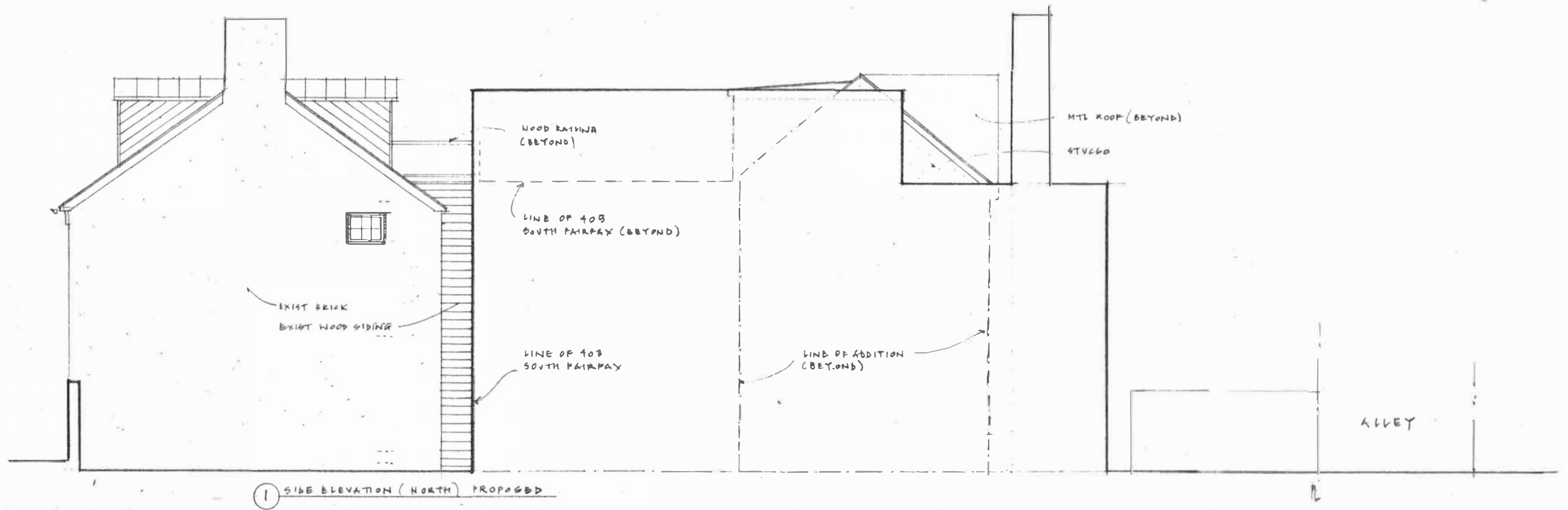
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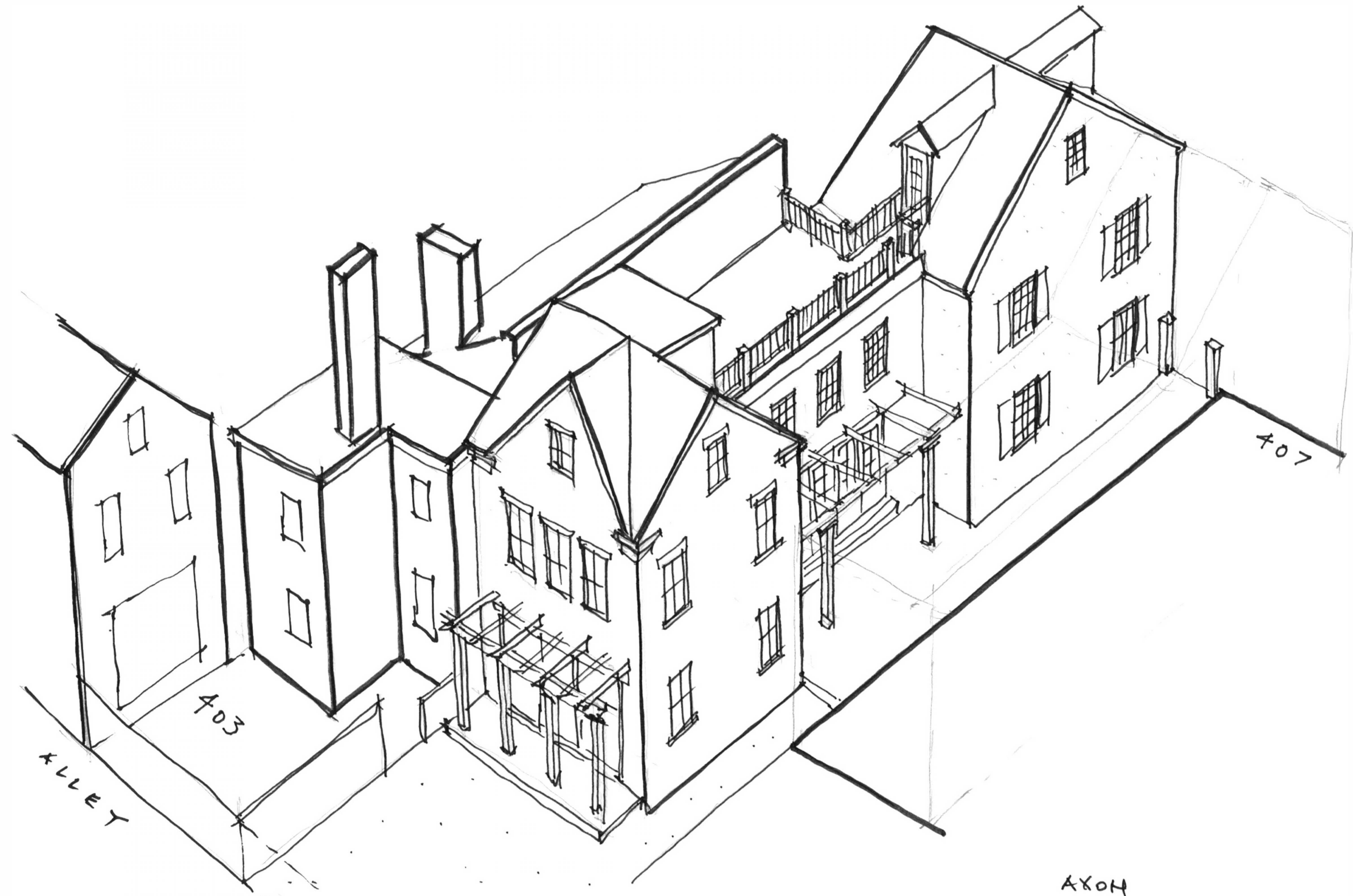
	STUDIO CAMUS LLC 225 North Pitt Street Alexandria Virginia 22314 studiocamus@comcast.net Lynnette 703 989 3777 Patrick 703 626 1984	Proposed Modifications to the KORTH/OSTERNDORF RESIDENCE 405 South Fairfax Street Alexandria Virginia		DATE 9 FEB 19	SHEET A6
				SCALE 1/8" = 1'-0"	



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