

DEVELOPMENT SPECIAL USE PERMIT - PRELIMINARY SITE PLAN

WITTER PLACE

2712 DUKE STREET, ALEXANDRIA, VA 22314

WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1945
Engineers • Surveyors • Planners • Landscape Architects • Arborists
207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301 www.WLPINC.com

SCALE: AS SHOWN DATE: 08/03/2021 DRAWN: [] CHECKED: []
SC [] TPBUS []

PLAN STATUS	DATE	DESCRIPTION
CONCEPT II	08/05/22	DSUP VERIFICATION
DSUP COMPLETENESS	08/12/22	DSUP VERIFICATION

AREA TABULATIONS

TOTAL SITE AREA (SURVEY) =	1.2513 AC OR 54,505 SF
TOTAL TAX RECORD AREA =	1.2525 AC OR 54,557 SF
TOTAL EXISTING IMPERVIOUS AREA =	0.9406 AC OR 40,973 SF
TOTAL PROPOSED IMPERVIOUS AREA =	0.9257 AC OR 40,324 SF
TOTAL DISTURBED AREA =	1.6662 AC OR 72,580 SF
TAX PARCEL IDENTIFICATION =	062.03-04-07 EXISTING ZONE: CG PROPOSED ZONE: RMF
ADDRESS:	2712 DUKE STREET, ALEXANDRIA VA 22314

TRIP GENERATION ANALYSIS

PROVIDED BY GOROVE SLADE - DATED 02/15/2022

Trip Generation Analysis - Existing (without Mode Split Reductions)									
Use	ITE Land Use Code	Amount	Units	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
Automobile Sales (New)	840	4,599	SF	7	2	9	4	7	11
Automobile Care Center	942	3,411	SF	6	3	9	5	6	11
Total				12	5	17	9	13	22

Trip Generation Analysis - Proposed (without Mode Split Reductions)									
Use	ITE Land Use Code	Amount	Units	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
Multifamily Housing (Mid-Rise)	221	94	Dwelling Units	9	25	34	25	16	41
Total				9	25	34	25	16	41
Net (+/-)				-3	+20	+17	+16	+3	+18

ARCHAEOLOGY NOTES

- CALL ALEXANDRIA ARCHAEOLOGY 703.746-4399 TWO (2) WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.
- CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY 703.746-4399 IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

ENVIRONMENTAL SITE ASSESSMENT

THERE ARE NO TIDAL WETLANDS, RPA'S, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT.

- THERE ARE LIKELY AREAS OF MARINE CLAY DEPOSITS ONSITE ACCORDING TO THE CITY OF ALEXANDRIA MARINE CLAY AREA MAP.
- THERE ARE NO KNOWN RPA'S ON THIS SITE ACCORDING TO THE CITY OF ALEXANDRIA RPA MAPS.
- THERE ARE NO KNOWN SOIL CONTAMINANTS ON THIS PROPERTY TO THE BEST OF OUR KNOWLEDGE AND BELIEF.
- THE SITE IS NOT WITHIN A COMBINED SEWER DISTRICT.

BUILDING CODE ANALYSIS

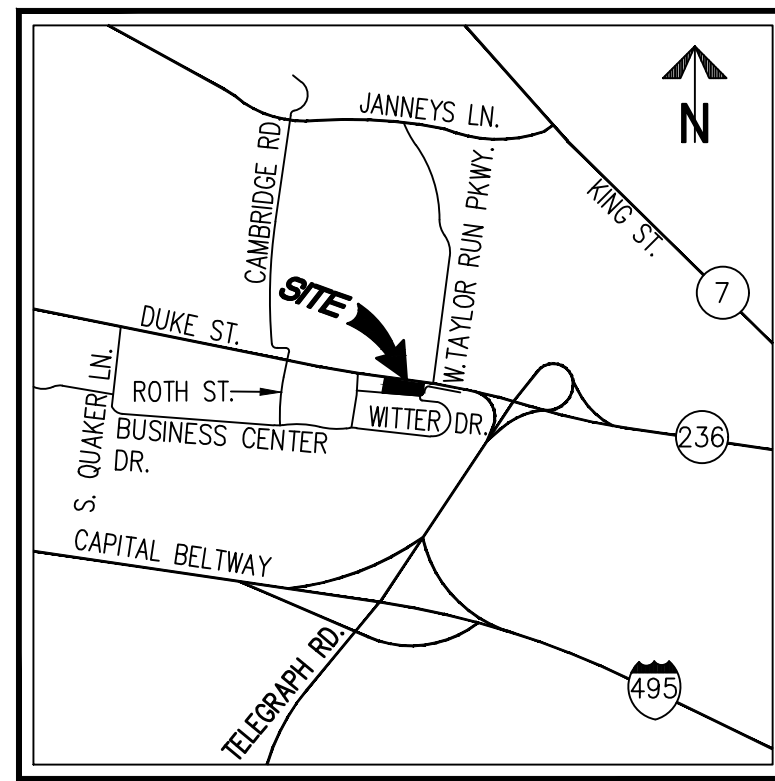
- NON-SEPARATED MIXED USED R-2 (MULTI-FAMILY), S-2 (GARAGE)
- 5 STORIES.
- CONSTRUCTION TYPE 3B.
- SEE GROSS AREA ON A-010.
- BUILDING TO BE FULLY SPRINKLERED PER NFPA 13.

DEVELOPMENT TEAM INFORMATION

- RECORD OWNER:**
DUKE STREET LLC
1231 W BROAD ST
FALLS CHURCH, VA 22046
- LAND USE ATTORNEY:**
WALSH, COLUCCI, LUBELEY & WALSH, P.C.
2200 CLARENDON BOULEVARD, SUITE 1300
ARLINGTON, VA 22201
ATTN: M. CATHARINE PUSKAR
BOB BRANT
- ARCHITECT:**
WINSTANLEY ARCHITECTS + PLANNERS
107 NORTH WEST STREET
ALEXANDRIA, VA 22314
ATTN: LEJUNG HONG
- DEVELOPER:**
COMMUNITY HOUSING PARTNERS
4915 RADFORD AVENUE, SUITE 300
RICHMOND, VA 23230
ATTN: DAVID SCHULTZ
- CIVIL ENGINEER:**
WALTER L. PHILLIPS, INC.
207 PARK AVE.
FALLS CHURCH, VA 22046
ATTN: JEFFREY J. STUCHEL, P.E.
TRAVIS P. BROWN, P.E.
- ARCHITECT:**
MOSELEY ARCHITECTS
8001 BRADDOCK ROAD, #400
SPRINGFIELD, VA 22151
ATTN: TOM LIEBEL, FAIA

VICINITY MAP

SCALE: 1"=2000'



2712 DUKE STREET, ALEXANDRIA VA 22314
TAX MAP# 062.03-04-07



ZONING TABULATIONS

ZONE	PERMITTED/REQUIRED		PROVIDED
	RMF	RMF	RMF
FAR	0.75, 3.0 W/ SUP*		2.253 (122,806 SF/54,505 SF)*
DENSITY	N/A		75.12 UNITS/ACRE (94 UNITS)
GROSS FLOOR AREA (SF)	N/A		136,087 SF
FLOOR AREA (NET) (SF)	40,878 SF (0.75 FAR), 163,515 SF (3.0 FAR) MAX W/ SUP*		122,806 SF (2.253 FAR)*
LOT AREA (SF)	N/A		54,505 SF OR 1.2513 AC
SETBACKS (FT)			
FRONT (DUKE)	0 FT		3.7 FT
FRONT (WITTER DRIVE)	0 FT		8.0 FT
SIDE (WEST)	8 FT		8.0 FT
REAR	8 FT		N/A
CENTERLINE SETBACK (DUKE ST)	60 FT MIN (PER SEC 7-1006(B))		65 FT
LOT FRONTAGE	N/A		943.83 FT
LOT WIDTH	N/A		413.3 FT
OPEN SPACE (SF)	25% (13,627 SF OR 0.3128 AC)		35.3% (19,220 SF, 0.4412 AC)
GROUND LEVEL	-		33.9% (18,470 SF, 0.4240 AC)
ABOVE GROUND	-		0% (750 SF, 0.0172 AC)
TREE CANOPY (SF)	25% (13,627 SF)		28.1% (15,328 SF)
HEIGHT (FT)	35 FT PER SAP		60' **
AVERAGE FINISHED GRADE	N/A		61.72'
PARKING TABULATIONS	67 SPACES MINIMUM- 188 SPACES MAXIMUM		71 SPACES
TRIP GENERATION	-		SEE TABULATION ON THIS SHEET

NOTES:
*THIS APPLICATION IS APPLYING FOR A SUP TO INCREASE THE FAR FROM 0.75 TO 2.253 PURSUANT TO SECTION 3-1406(B) OF THE ZONING ORDINANCE.
**MASTER PLAN AMENDMENT REQUESTED TO INCREASE HEIGHT LIMIT FROM 35 FT TO 60 FT.

PROJECT DESCRIPTION NARRATIVE

THIS PROJECT IS FOR THE REDEVELOPMENT OF AN EXISTING AUTOMOTIVE SALES AND SERVICE DEALERSHIP LOCATED AT 2712 DUKE STREET. THE DEVELOPMENT PROPOSES TO CONSTRUCT A NEW RESIDENTIAL MULTIFAMILY BUILDING WITH PARTIALLY BURIED PARKING GARAGE AND ASSOCIATED INFRASTRUCTURE. THE SITE IS ZONED CG AND THE APPLICATION PROPOSES TO REZONE THE PROPERTY TO RMF.

EXISTING SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

- SITE PLAN #96-006
- SPECIAL USE PERMIT SUP#95-0217

PROPOSED SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

- MASTER PLAN AMENDMENT FOR MULTIFAMILY RESIDENTIAL USE AND AN INCREASE IN HEIGHT FROM 35 FEET TO 60 FEET.
- REZONING OF THE PROPERTY FROM THE CG ZONING DISTRICT TO THE RMF ZONING DISTRICT.
- DEVELOPMENT SPECIAL USE PERMIT WITH PRELIMINARY SITE PLAN FOR A MULTIFAMILY BUILDING, INCLUDING AN INCREASE IN FAR FROM 0.75 TO 2.253 PURSUANT TO SECTION 3-1406(B) OF THE ZONING ORDINANCE.
- A SPECIAL USE PERMIT IS REQUESTED FOR A TIER I TRANSPORTATION MANAGEMENT PLAN
- A MODIFICATION IS REQUESTED TO THE DIVERSITY REQUIREMENTS OF THE 2019 LANDSCAPE GUIDELINES AS SHOWN ON C-1204 AND C-1205.

COMPLETE STREETS TABULATION

COMPLETE STREETS POLICY TABLE	NEW	UPGRADED
CROSSWALKS (NUMBER)	1	-
STANDARD	1	-
HIGH VISIBILITY	-	-
CURB RAMPS	1	-
SIDEWALKS (LF)	520	420
BICYCLE PARKING (NUMBER OF SPACES)	24	-
PUBLIC/VISITOR	2	-
PRIVATE/GARAGE	22	-
BICYCLE PATHS (LF)	-	-
PEDESTRIAN SIGNALS	-	-

PARKING TABULATIONS

MIN. PARKING REQUIRED	%AMI	UNITS	SP/UNIT	SPACES REQUIRED
60% AMI	47	0.75	36	
40%/50% AMI	47	0.65	31	
TOTAL	94		67	

(21 UNITS AT 40% AMI, 26 UNITS AT 50% AMI)

UNIT MIX

2-BEDROOM	-	47
3-BEDROOM	-	47
TOTAL	-	94

MAXIMUM PARKING ALLOWED: 94 UNITS X 2 SP/UNIT = 188 SPACES (ALL UNITS INCLUDE 2 OR 3 BEDROOMS)

PARKING PROVIDED
TOTAL PARKING PROVIDED = 71 SPACES (GARAGE) (5 ADA, 16 STANDARD, 50 COMPACT (70.4%))

LOADING REQUIRED: NOT APPLICABLE
LOADING PROVIDED: 1 SPACE (LAYBY ON WITTER DRIVE)

BIKE PARKING REQUIRED: RESIDENTIAL: 1 SP/10 UNITS X 94 UNITS = 10 SPACES
VISITOR: 1 SP/50 UNITS X 94 UNITS = 2 SPACES
TOTAL: 12 SPACES

BIKE PARKING PROVIDED: 22 RESIDENTIAL SPACES (GARAGE)
2 VISITOR SPACES (DUKE STREET)

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- P-0401 PRELIMINARY LAYOUT PLAN
- P-0402 PRELIMINARY OPEN SPACE PLAN
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- P-0404 PRELIMINARY DEDICATION AND EASEMENT PLAT
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WITTER PLACE
2712 DUKE STREET
ALEXANDRIA, VA 22314
DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

APPROVED
SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

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INSTRUMENT NO. DEED BOOK NO. PAGE NO.

COVER SHEET



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05/20/22	DSUP COMPLETENESS	09/12/22	DSUP VERIFICATION



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 ALEXANDRIA, VA 22314
 DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA
 CONTEXTUAL PLAN

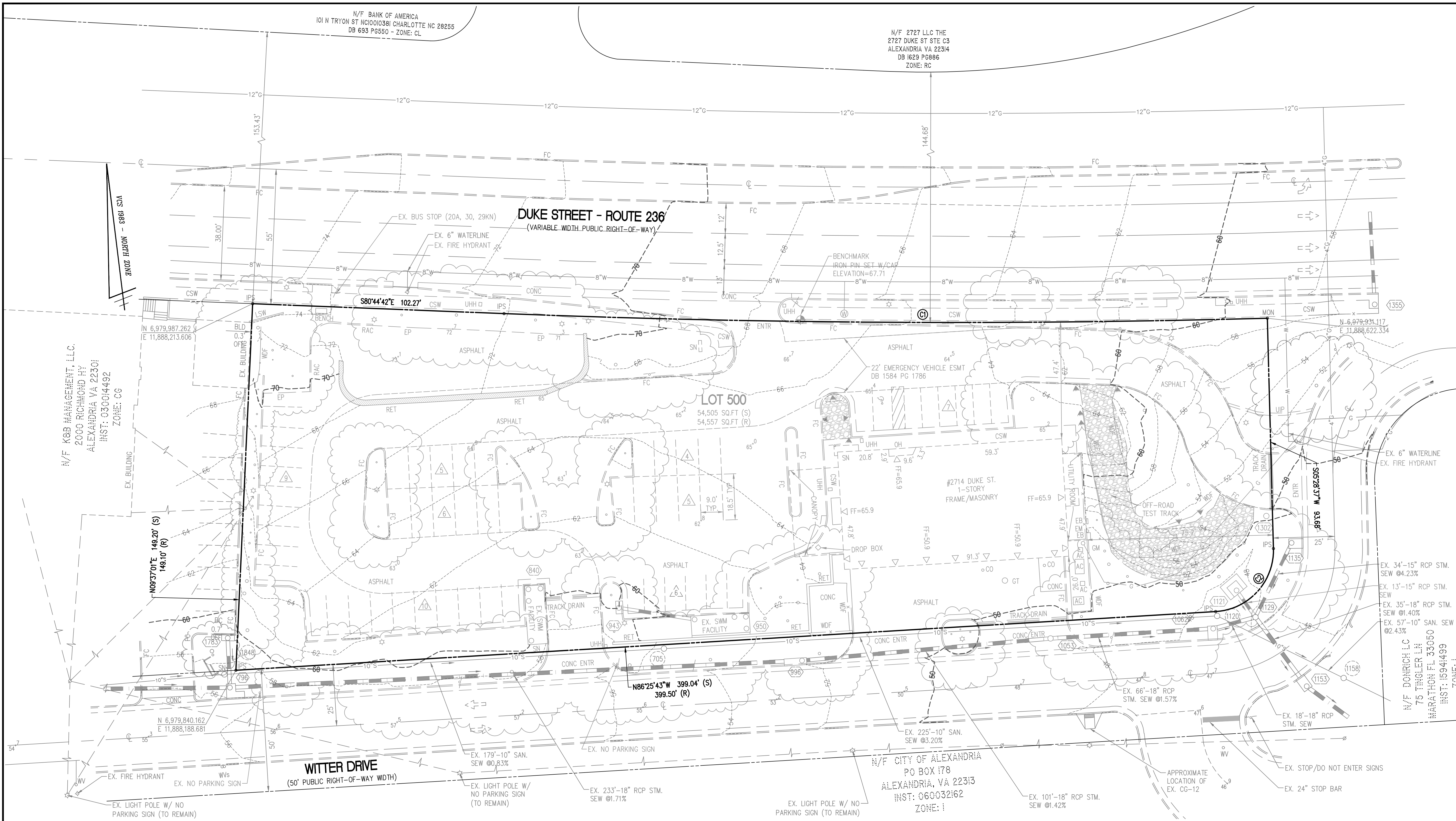
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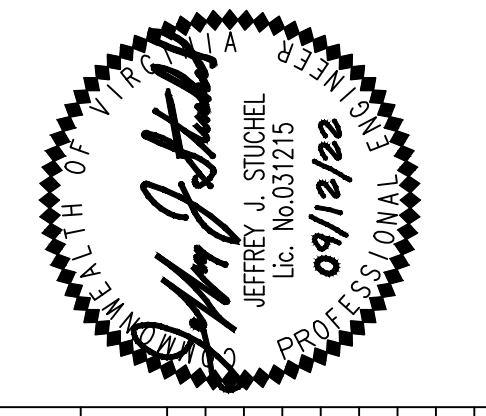


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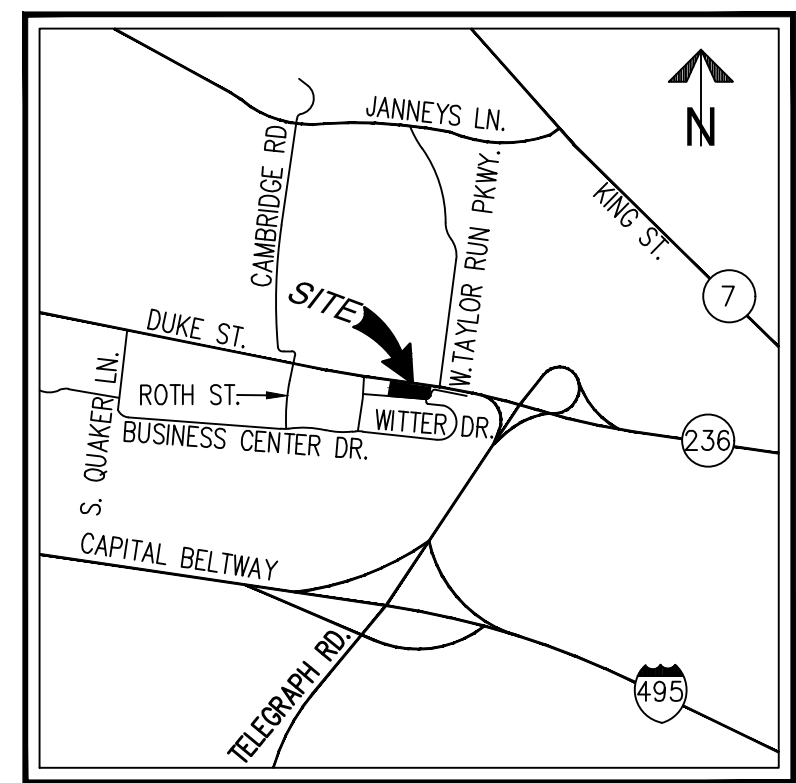
2712 DUKE STREET ALEXANDRIA, VA 22314

DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

EXISTING CONDITIONS PLAN

- NOTES**
- THE PROPERTY SHOWN HEREON IS DESIGNATED BY THE CITY OF ALEXANDRIA, VIRGINIA, AS MAP-BLOCK-LOT NUMBER 062.03-04-07, AND IS ZONED CG.
 - THE PROPERTY IS NOW IN THE NAME OF DUKE STREET LLC, AS RECORDED IN DB 1576 PG 1423, AMONG THE LAND RECORD OF THE CITY OF ALEXANDRIA, VIRGINIA
 - THIS PLAT AND THE SURVEY UPON WHICH IT IS BASED SHOWS ONLY THOSE IMPROVEMENTS THAT ARE OBSERVABLE AND CAN BE LOCATED USING NORMAL SURVEY METHODS. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MISS UTILITY MARKINGS AND EXISTING RECORDS. THERE ARE NO GUARANTEES, EITHER EXPRESS OR IMPLIED, THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE UNDERGROUND UTILITIES HAVE NOT BEEN PHYSICALLY LOCATED. WATER AND GAS LINE SIZES ARE FROM RECORD INFORMATION.
 - TOTAL RECORD AREA OF THE PROPERTY IS 54,557 SQUARE FEET OR 1.2524 ACRES. TOTAL SURVEYED AREA OF THE PROPERTY IS 54,505 SQUARE FEET OR 1.2513 ACRES.
 - THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF ALEXANDRIA, VIRGINIA, MAP NUMBER 5155190037E, REVISED DATE JUNE 16, 2011, DESIGNATES THE PROPERTY AS BEING IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



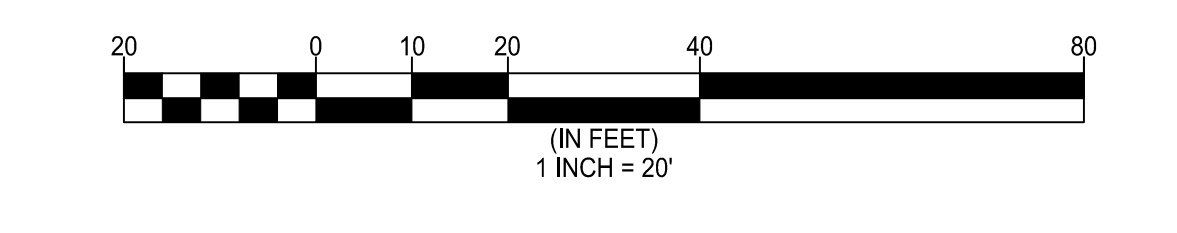
PARKING TABULATION

STANDARD	51
RESERVED FOR DISABLED	1
TOTAL	52

- NOTES**
- THERE ARE LIKELY AREAS OF MARINE CLAY DEPOSITS ONSITE, ACCORDING TO THE CITY'S MARINE CLAY MAP.
 - THERE ARE NO KNOWN RPA'S ON THIS SITE ACCORDING TO THE CITY OF ALEXANDRIA RPA MAPS.
 - THIS PROPERTY IS NOT WITHIN A MAPPED FLOOD PLAIN ACCORDING TO FEMA MAPS.
 - EXISTING UNDERGROUND STORMWATER TREATMENT FACILITIES ARE LOCATED ONSITE AT THE SITE ENTRANCE ON WITTER DRIVE. THESE FACILITIES WILL BE REMOVED AND REPLACED WITH NEW BMP FACILITIES AS PART OF THIS PROJECT.
 - THERE ARE NO DESIGNATED 100-YEAR OLD BUILDINGS ON THIS SITE AND THE SITE IS NOT WITHIN AN OLD OR HISTORIC DISTRICT.
 - SEE SHEETS C-1201 - C-1203 FOR TREE INVENTORY.

CURVE TABLE

NO.	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
C1	4,665.49'	310.40' (S)	311.03' (R)	03°48'43"	155.26'	310.34' N 82°39'03" W
C2	25.00'	38.44' (S)	38.46' (R)	88°05'40"	24.18'	34.76' N 49°31'27" E



- LEGEND**
- AC..... AIR CONDITIONER
 - APPROX. LOC..... APPROXIMATE LOCATION
 - CO..... CLEANOUT
 - CONC..... CONCRETE
 - CSW..... CONCRETE SIDEWALK
 - DB..... DEED BOOK
 - EM..... ELECTRIC METER
 - ENTR..... ENTRANCE
 - EP..... EDGE OF PAVEMENT
 - EASM..... EASEMENT
 - FC..... HEADER CURB
 - FF..... FIRST/FINISH FLOOR ELEVATION
 - GT..... GREASE TRAP
 - GM..... GAS METER
 - IPS..... IRON PIN SET (PROPERTY CORNER)
 - LSW..... LANDSCAPING WALL
 - MON..... MONUMENT FOUND (PROPERTY CORNER)
 - N/F..... NOW OR FORMERLY
 - PG..... PAGE
 - OH..... OVERHANG
 - REC..... RECORD
 - RAC..... ROLLED ASPHALT CURB
 - RCP..... RE INFORCED CONCRETE PIPE
 - RET..... RETAINING WALL
 - (S)..... SURVEYED
 - SD..... STORM SEWER STRUCTURE
 - SMH..... SANITARY SEWER STRUCTURE
 - SQ. FT..... SQUARE FEET
 - SW..... SIDEWALK
 - UHH..... UTILITY HAND HOLE
 - UIP..... UNIMPROVED PATH
 - WDF..... WOODEN FENCE
 - WV..... WATER VALVE
 - △..... FIRE HYDRANT
 - ◇..... DOORWAY/ENTRANCE
 - UTILITY POLE
 - ▽..... GROUND LIGHT
 - ☆..... LIGHT POLE
 - X..... FENCE
 - X—..... GUY WIRE
 - OVERHEAD WIRES
 - G..... UNDERGROUND GAS LINE
 - S..... UNDERGROUND SANITARY LINE
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND WATER LINE
 - TREE
 - LIMITS OF TREE CANOPY/VEGETATION
 - CURB AND GUTTER
 - SPOT ELEVATION
 - SIGN
 - UTILITY MANHOLE
 - WATER MANHOLE
 - RESERVED FOR DISABLED

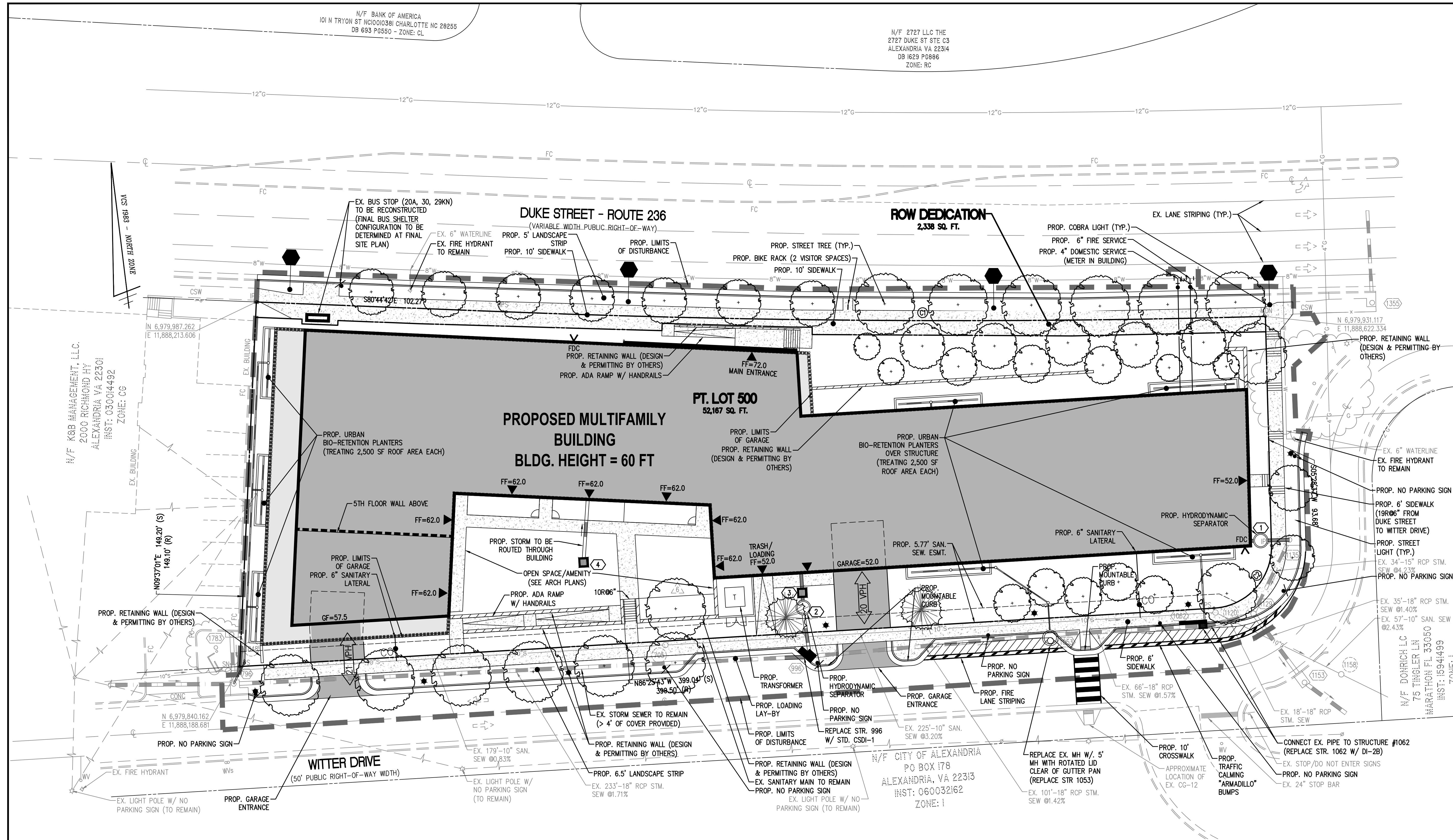
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WITTER PLACE
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ALEXANDRIA, VA 22314
DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA
PRELIMINARY LAYOUT PLAN

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LEGEND

PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2			HANDICAP RAMP (CG-12)	
	TRANSITION FROM CG-6 TO CG-6R			GUARDRAIL FENCE	
	SANITARY SEWER			TRAFFIC FLOW	
	SANITARY LATERAL			LIGHT	
	CLEAN OUT			DOOR	
	STORM SEWER			TREES	
	WATER MAIN			CONTOURS	
	FIRE HYDRANT PLUG			SPOT ELEVATION	
	OVERHEAD WIRES			DRAINAGE FLOW DIRECTION	
	UTILITY POLE			TOP OF CURB	
	UNDERGROUND ELECTRIC			BOTTOM OF CURB	
	TELEPHONE			TOP OF WALL	
	GAS MAIN			BOTTOM OF WALL	
	ELECTRICAL			HIGH POINT	
	TRANSFORMER			TEST PIT	
	LIMITS OF CLEARING AND GRADING			LIMITS OF CLEARING AND GRADING	

CURVE TABLE

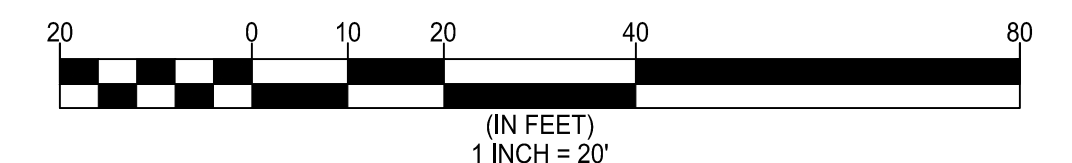
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ARCHAEOLOGY NOTES

- CALL ALEXANDRIA ARCHAEOLOGY 703.746-4399 TWO (2) WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.
- CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY 703.746-4399 IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

NOTES

- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY WALTER L. PHILLIPS, INC. DATED 5/14/2019.
- THIS PROPERTY IS NOT LOCATED IN A COMBINED SEWER AREA.
- NO RPAS ARE CURRENTLY KNOWN TO EXIST ON THIS PROPERTY.
- EXISTING STORMWATER FACILITIES EXIST ONSITE AND WILL BE REMOVED AND REPLACED AS PART OF THIS PROJECT.
- THE PROPERTY IS LOCATED OUTSIDE OF THE 100-YEAR FLOODPLAIN.
- THERE ARE NO STRUCTURES ON THE CITY LIST OF 100 YEAR OLD STRUCTURES ON OR ADJACENT TO THE SITE.
- SEE COVER SHEET FOR PROPOSED ZONING AND PARKING TABULATIONS.
- ALL PROPOSED BMPs ARE TO BE PRIVATELY MAINTAINED.
- EXISTING FIRE HYDRANTS SHALL REMAIN IN-SERVICE AND UNOBSTRUCTED DURING CONSTRUCTION.
- UTILITY SIZES SUBJECT TO CHANGE.
- SEE P-1204/1205 FOR LANDSCAPE PLAN.



N/F BANK OF AMERICA
101 N TRYON ST NC1010301 CHARLOTTE NC 28285
DB 693 P6550 - ZONE: CL

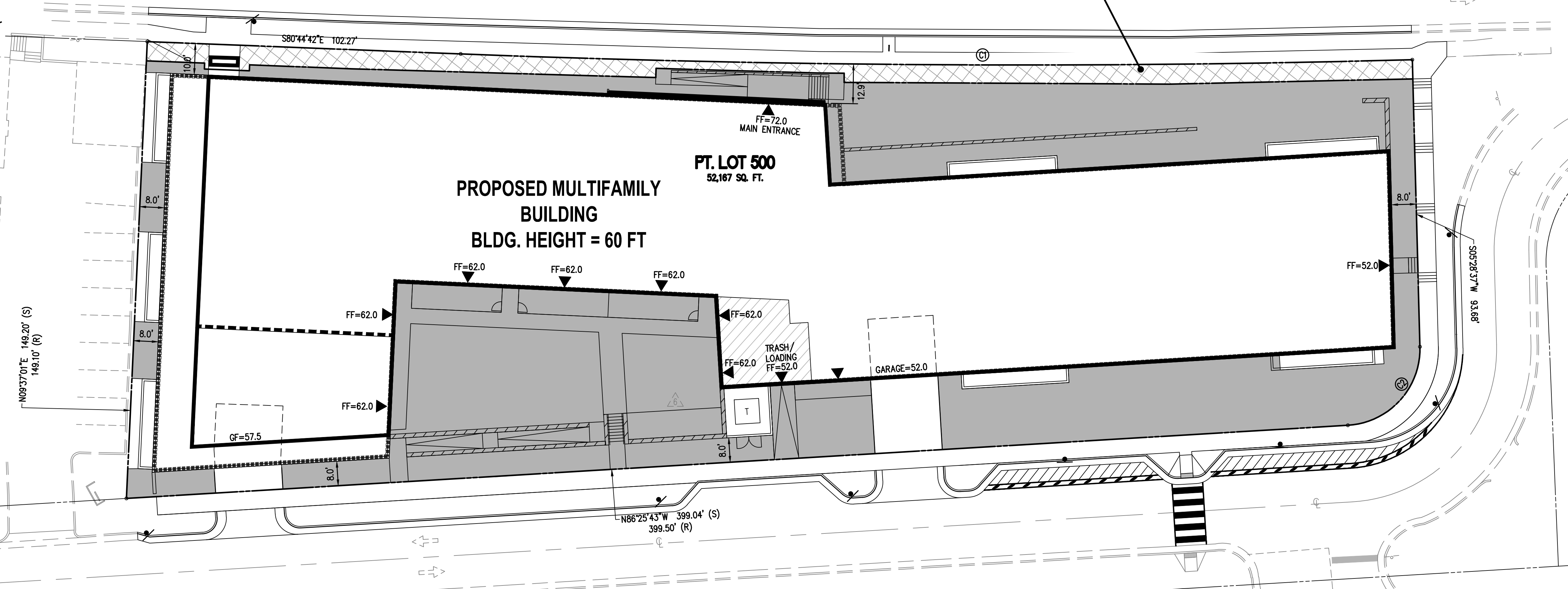
N/F 2727 LLC THE
2727 DUKE ST STE C3
ALEXANDRIA VA 22314
DB 1629 P6886
ZONE: RC

N/F KOB MANAGEMENT, LLC.
2000 RICHMOND HY
ALEXANDRIA VA 22301
INST: 03084492
ZONE: OS

N/F DORRICH LC
75 THORNER LN
MARATHON FL 33080
INST: 15944499
ZONE: I

DUKE STREET - ROUTE 236
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

ROW DEDICATION
2,338 SQ. FT.



LEGEND

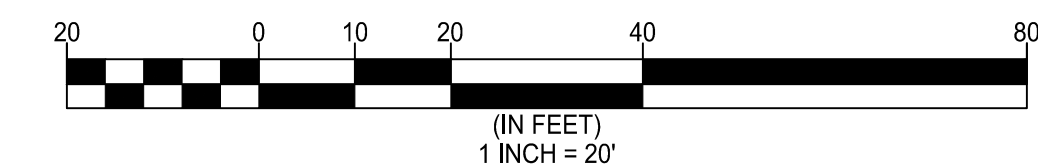
PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2			HANDICAP RAMP (CG-12)	
	TRANSITION FROM CG-6 TO CG-6R			GUARDRAIL FENCE	
	SANITARY SEWER			TRAFFIC FLOW	
	SANITARY LATERAL			LIGHT	
	CLEAN OUT			DOOR	
	STORM SEWER			TREES	
	WATER MAIN			CONTOURS	
	FIRE HYDRANT			SPOT ELEVATION	
	PLUG			DRAINAGE FLOW DIRECTION	
	OVERHEAD WIRES			TOP OF CURB	
	UTILITY POLE			BOTTOM OF CURB	
	UNDERGROUND ELECTRIC			TOP OF WALL	
	TELEPHONE			BOTTOM OF WALL	
	GAS MAIN			HIGH POINT	
	ELECTRICAL			TEST PIT	
	TRANSFORMER			LIMITS OF CLEARING AND GRADING	

CURVE TABLE

NO.	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
C1	4,665.49'	310.40' (S) 311.03' (R)	03°48'43"	155.26'	310.34'	N 82°39'03" W
C2	25.00'	38.44' (S) 38.46' (R)	88°05'40"	24.18'	34.76'	N 49°31'27" E

- ABOVE GRADE OPEN SPACE (PRIVATE) 750 SF
- GROUND LEVEL OPEN SPACE (PRIVATE) 16,215 SF
- GROUND LEVEL OPEN SPACE (PUBLIC - TO BE DEDICATED AS R.O.W.) 2,255 SF

TOTAL SITE AREA = 54,505 SF
OPEN SPACE REQUIRED = 25% (13,627 SF OR 0.3128 AC)
TOTAL OPEN SPACE PROVIDED = 19,220 SF OR 35.3%



WALTER L. PHILLIPS
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207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301 www.WLPINC.com

ESTABLISHED 1945

DATE: 08/03/2021
DRAWN: SC
CHECKED: TPJUS

SCALE: 1" = 20'

DATE	DESCRIPTION	PLAN STATUS	DATE	DESCRIPTION
03/04/22	CONCEPT II		08/05/22	DSUP VERIFICATION
05/20/22	DSUP COMPLETENESS		09/12/22	DSUP VERIFICATION



NO.	DESCRIPTION	DATE	APPROVED BY

WITTER PLACE
2712 DUKE STREET
ALEXANDRIA, VA 22314
DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA
PRELIMINARY OPEN SPACE PLAN

APPROVED
SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

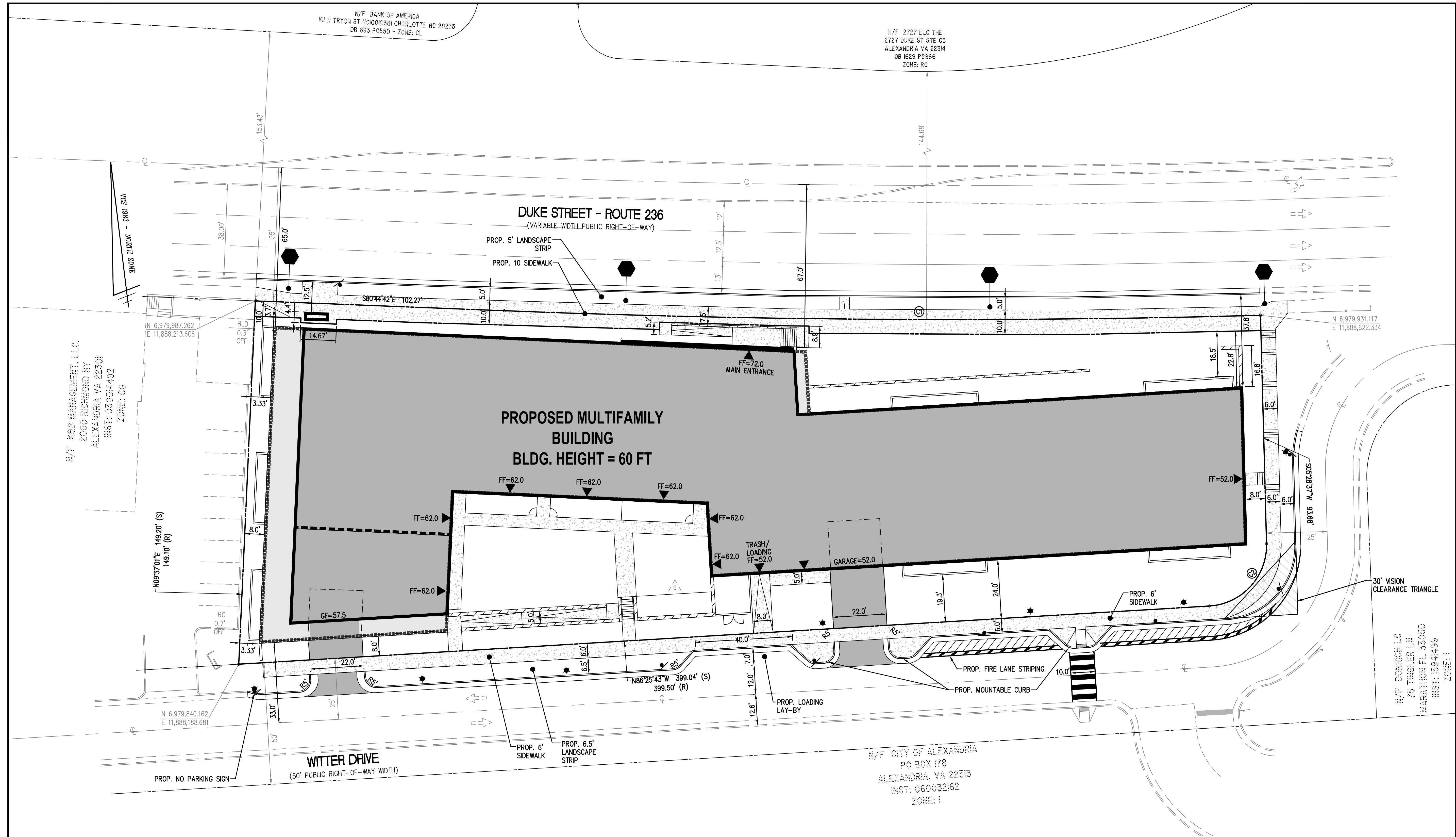
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

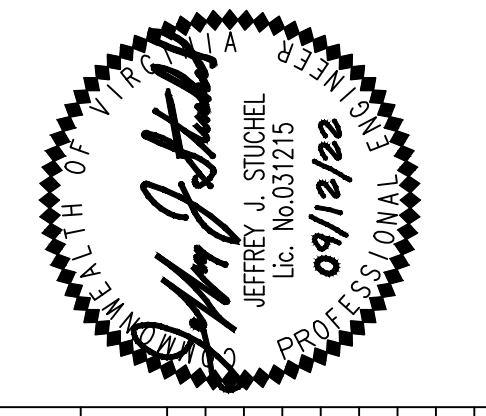
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



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SCALE: 1" = 20'
DATE: 08/03/2021
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CHECKED: TP/JS

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03/04/22	CONCEPT II		08/05/22	DSUP VERIFICATION
05/20/22	DSUP COMPLETENESS		08/12/22	DSUP VERIFICATION



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED

WITTER PLACE

2712 DUKE STREET
ALEXANDRIA, VA 22314

DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

PRELIMINARY GEOMETRIC PLAN

APPROVED
SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

LEGEND

PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2			HANDICAP RAMP (CG-12)	
	TRANSITION FROM CG-6 TO CG-6R			GUARDRAIL FENCE	
	SANITARY SEWER			TRAFFIC FLOW	
	SANITARY LATERAL			LIGHT	
	CLEAN OUT			DOOR	
	STORM SEWER			TREES	
	WATER MAIN			CONTOURS	
	FIRE HYDRANT PLUG			SPOT ELEVATION	
	OVERHEAD WIRES			DRAINAGE FLOW DIRECTION	
	UTILITY POLE			TOP OF CURB	
	UNDERGROUND ELECTRIC			BOTTOM OF CURB	
	TELEPHONE			TOP OF WALL	
	GAS MAIN			BOTTOM OF WALL	
	ELECTRICAL			HIGH POINT	
	TRANSFORMER			TEST PIT	
	LIMITS OF CLEARING AND GRADING			LIMITS OF CLEARING AND GRADING	

CURVE TABLE

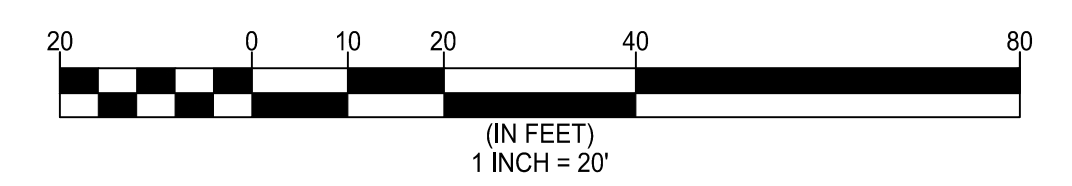
NO.	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
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ARCHAEOLOGY NOTES

- CALL ALEXANDRIA ARCHAEOLOGY 703.746-4399 TWO (2) WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.
- CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY 703.746-4399 IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

NOTES

- THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED BY WALTER L. PHILLIPS, INC. DATED 5/14/2019.
- THIS PROPERTY IS NOT LOCATED IN A COMBINED SEWER AREA.
- NO RPAS ARE CURRENTLY KNOWN TO EXIST ON THIS PROPERTY.
- EXISTING STORMWATER FACILITIES EXIST ONSITE AND WILL BE REMOVED AND REPLACED AS PART OF THIS PROJECT.
- THE PROPERTY IS LOCATED OUTSIDE OF THE 100-YEAR FLOODPLAIN.
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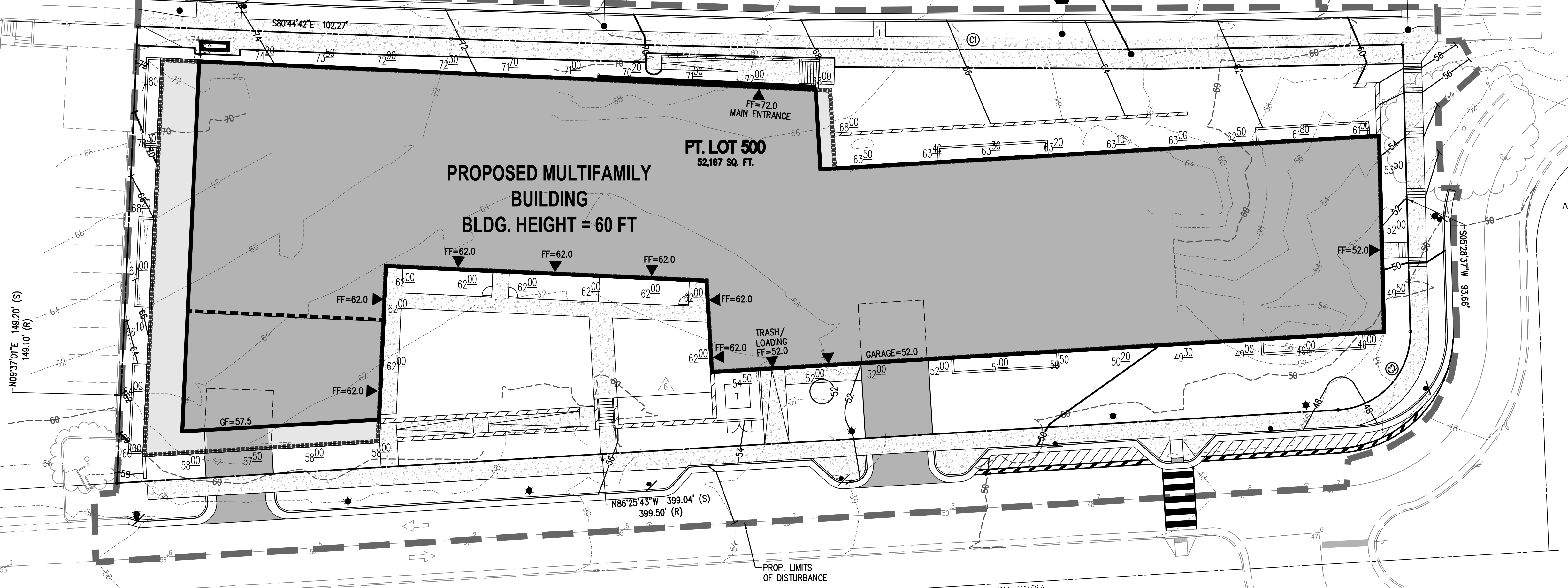
N/F BANK OF AMERICA
101 N TRYON ST NC1010301 CHARLOTTE NC 28285
DB 693 P6550 - ZONE: CL

N/F 2727 LLC THE
2727 DUKE ST STE C3
ALEXANDRIA VA 22314
DB 1629 P6886
ZONE: RC

N/F KOB MANAGEMENT, LLC.
2000 RICHMOND HY
ALEXANDRIA VA 22301
INST: 03084492
ZONE: C3

DUKE STREET - ROUTE 236
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

ROW DEDICATION
2,338 SQ. FT.



AVERAGE FINISHED GRADE

#	GRADE
1	58.00
2	58.00
3	57.50
4	58.00
5	60.00
6	64.00
7	66.10
8	67.00
9	68.20
10	70.30
11	71.80
12	74.50
13	74.20
14	73.50
15	72.90
16	72.30
17	71.70
18	71.00
19	70.20
20	71.00
21	72.00
22	68.00
23	68.00
24	63.50
25	63.40
26	63.30
27	63.20
28	63.10
29	63.00
30	62.50
31	61.80
32	61.00
33	53.50
34	52.00
35	49.50
36	49.00
37	49.00
38	49.00
39	49.30
40	50.20
41	50.50
42	51.00
43	52.00
44	52.00
45	52.00
46	54.50
47	62.00
48	62.00
49	62.00
50	62.00
51	62.00
52	62.00
53	62.00
54	62.00
55	62.00
AVERAGE:	61.72

WITTER PLACE

2712 DUKE STREET
ALEXANDRIA, VA 22314
DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA



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DATE	DESCRIPTION	PLAN STATUS	DATE	DESCRIPTION
03/04/22	CONCEPT II		08/05/22	DSUP VERIFICATION
			09/12/22	DSUP COMPLETENESS

PRELIMINARY AVERAGE FINISHED GRADE EXHIBIT

APPROVED
SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

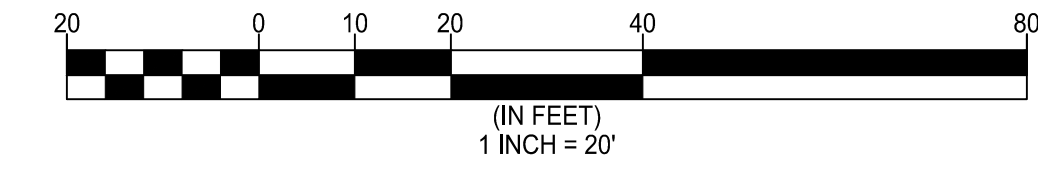
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CURVE TABLE

NO.	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
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PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
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	WATER MAIN			CONTOURS	
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	UTILITY POLE			TOP OF CURB	
	UNDERGROUND ELECTRIC			BOTTOM OF CURB	
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	GAS MAIN			BOTTOM OF WALL	
	ELECTRICAL			HIGH POINT	
	TRANSFORMER			TEST PIT	
	LIMITS OF CLEARING AND GRADING			LIMITS OF DISTURBANCE	

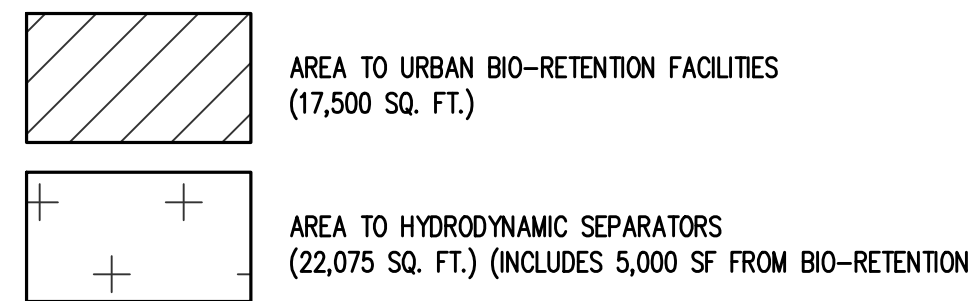


BMP COORDINATES

FACILITY	NORTHING (VCS83)	EASTING (VCS83)
HYDRODYNAMIC SEPARATOR #1	6979840.4076	11888609.2795
HYDRODYNAMIC SEPARATOR #2	6979838.6142	11888427.9805
URBAN BIO-RETENTION #1	6979863.3672	11888198.6982
URBAN BIO-RETENTION #2	6979910.6137	11888206.6131
URBAN BIO-RETENTION #3	6979961.9351	11888215.4082
URBAN BIO-RETENTION #4	6979912.9675	11888482.3322
URBAN BIO-RETENTION #5	6979905.5589	11888602.7171
URBAN BIO-RETENTION #6	6979843.9022	11888481.9981
URBAN BIO-RETENTION #7	6979837.5304	11888584.2049

CURVE TABLE

NO.	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
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DATE: 03/04/22
DESCRIPTION: CONCEPT II
DATE: 08/05/22
DESCRIPTION: DSUP VERIFICATION
DATE: 05/20/22
DESCRIPTION: DSUP COMPLETENESS

SCALE: 1" = 20'

DRAWN: SC
CHECKED: TP/BJJ

DATE: 08/03/2021

PLAN STATUS



REVISION APPROVED BY

NO.	DESCRIPTION	DATE	APPROVED

WITTER PLACE
2712 DUKE STREET
ALEXANDRIA, VA 22314
DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

PRELIMINARY STORMWATER MANAGEMENT PLAN AND NARRATIVE

APPROVED
SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

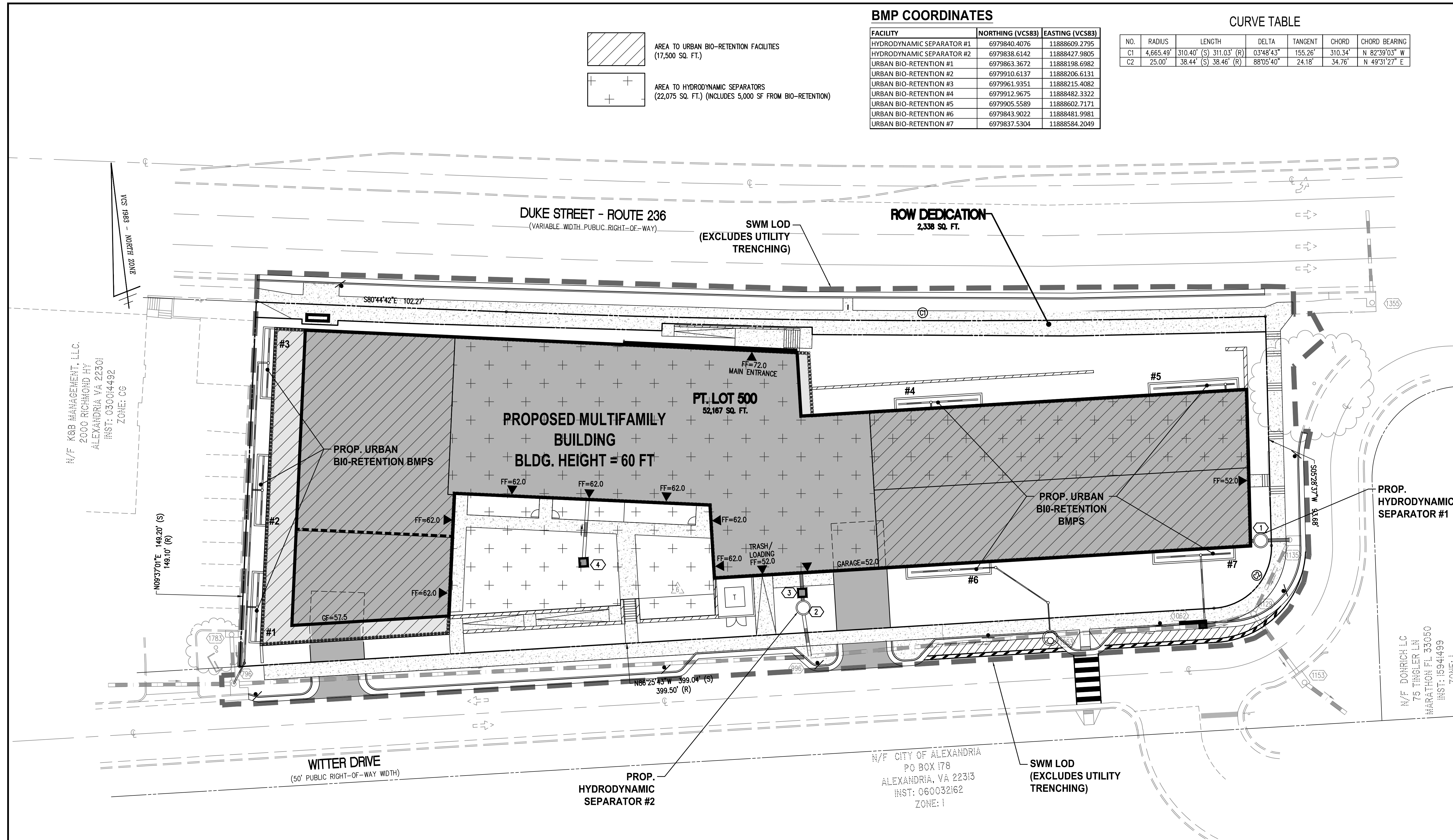
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.



STORMWATER MANAGEMENT & BEST MANAGEMENT PRACTICES NARRATIVE

EXISTING CONDITIONS:
THE SITE CURRENTLY CONSISTS OF AN EXISTING AUTOMOTIVE SALES AND SERVICE DEALERSHIP, EXISTING SURFACE PARKING LOT, GRASS, AND TREES. THE 54,505 SF (1.2513 AC.) SITE DRAINS FROM NORTH TO SOUTHEAST TOWARD WITTER DRIVE WHERE IT ENTERS THE MUNICIPAL STORM SEWER SYSTEM VIA CURB INLETS LOCATED IN THE PUBLIC ROW. CURRENTLY, SAND FILTER AND DETENTION PIPE FACILITIES EXIST ON-SITE AND WILL BE REMOVED WITH THIS DEVELOPMENT. THE EXISTING DRAINAGE DIVIDES FOR THE SITE WILL GENERALLY BE MAINTAINED IN THE PROPOSED DEVELOPMENT FOR THE PURPOSES OF STORMWATER MANAGEMENT. THE SITE AREA AND PROJECT FRONTAGES WILL BE THE LIMITS OF DISTURBANCE 68,494 SF OR 1.5724 ACRES (EXCLUDING LINEAR UTILITY TRENCHING).

PROPOSED CONDITIONS:
THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT A MULTIFAMILY BUILDING WITH PARTIALLY BURIED GARAGE, UTILITY INFRASTRUCTURE, AND STREETSCAPE IMPROVEMENTS. THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF THE BUILDING, URBAN BIO-RETENTION, HYDRODYNAMIC SEPARATORS, STREETSCAPE, AND OTHER SUPPORT UTILITY INFRASTRUCTURE. WITTER DRIVE WILL BE USED FOR GARAGE ACCESS.

STORMWATER QUALITY (SEE BMP SCHEMATIC - THIS SHEET):
IN ORDER TO COMPLY WITH ARTICLE 13 OF THE CITY OF ALEXANDRIA ZONING ORDINANCE AND THE VIRGINIA STATE WATER QUALITY REQUIREMENTS (9VAC25-870-63), THE SITE WILL INCLUDE LEVEL 1 URBAN BIO-RETENTION FACILITIES LOCATED ADJACENT TO THE BUILDING AND GARAGE AND TWO HYDRODYNAMIC SEPARATORS TO TREAT THE REMAINDER OF THE PROPOSED ROOF. THE PROPOSED LEVEL 1 URBAN BIO-RETENTION FACILITIES AND HYDRODYNAMIC SEPARATORS WILL REDUCE PHOSPHORUS LEVELS AND COMPLY WITH ALL STATE AND CITY REQUIREMENTS. APPROXIMATELY 15,359 SF OF IMPERVIOUS AREA CANNOT BE CAPTURED AND TREATED DUE TO SITE AND GRADING AND DRAINAGE CONSTRAINTS. THE WQV TREATMENT VOLUME FOR THIS IMPERVIOUS AREA WILL BE MITIGATED THROUGH PAYMENT INTO THE CITY OF ALEXANDRIA WATER QUALITY IMPACT FUND.

STORMWATER QUANTITY:

CHANNEL PROTECTION:
THE SITE OUTFALLS TO THE MUNICIPAL STORM SEWER SYSTEM LOCATED IN WITTER DRIVE. BASED ON REVIEW OF CITY STORM SEWER MAPS (GIS), THE DISCHARGE OF THE 2-YEAR 24-HOUR STORM FROM THE SITE CAN BE CONVEYED UP TO THE LIMITS OF ANALYSIS (100 TIMES THE SITE AREA) WITHOUT CAUSING EROSION, SINCE ALL OF THE PIPES OR CULVERTS WITHIN THE LIMITS OF ANALYSIS ARE CONCRETE OR OTHER NON-ERODIBLE MATERIALS. THEREFORE, THE SITE MEETS CHANNEL PROTECTION REQUIREMENTS SPECIFIED IN THE CITY OF ALEXANDRIA STORMWATER CODE (ARTICLE XII) AND NO ADDITIONAL STORMWATER DETENTION IS NECESSARY FOR THE PURPOSES OF CHANNEL PROTECTION. SEE OUTFALL ANALYSIS ON P-0705.

FLOOD CONTROL:
THE SITE OUTFALLS TO THE MUNICIPAL STORM SEWER SYSTEM LOCATED IN WITTER DRIVE. THE CITY OF ALEXANDRIA STORMWATER REQUIREMENTS SPECIFY THAT THE 10-YEAR, 24 HOUR STORM POST-DEVELOPMENT FLOW MUST BE CONVEYED WITHIN THE SYSTEM UP TO THE LIMITS OF ANALYSIS AND THAT THE POST-DEVELOPMENT FLOW FOR THE 10-YEAR, 24-HOUR STORM MUST NOT EXCEED PRE-DEVELOPMENT LEVELS. REVIEW OF THE STORMWATER OUTFALL WITHIN THE LIMITS OF ANALYSIS INDICATES THAT DOWNSTREAM STORMWATER PIPES ARE ADEQUATE TO CONVEY THE 10-YEAR, 24-HOUR STORM WITHIN THE SYSTEM TO THE ALTERNATIVE LIMITS OF ANALYSIS. ADDITIONALLY, THE ENERGY BALANCE EQUATION FOR THE 10-YEAR 24-HOUR STORM SHOWS THAT THE ALLOWABLE PEAK FLOW RATE OF RUNOFF FROM THE SITE IN THE DEVELOPED CONDITION IS GREATER THAN THE PROPOSED RELEASE RATE IN THE DEVELOPED CONDITION (SEE P-0702). THEREFORE, THE SITE MEETS FLOOD CONTROL REQUIREMENTS SPECIFIED IN THE CITY OF ALEXANDRIA STORMWATER CODE (ARTICLE XIII). IF DETERMINED TO BE INADEQUATE AT THE TIME OF FINAL SITE PLAN, DETENTION WILL BE PROVIDED AS REQUIRED. DUE TO THE LOCATION OF THE SITE BEING NEAR THE BOTTOM OF THE TAYLOR RUN WATERSHED, DETENTION MAY NOT BE BENEFICIAL IN THIS AREA. SEE OUTFALL ANALYSIS ON P-0705.

ADJACENT PROPERTIES:
ALL UNCONTROLLED SHEET FLOW WILL BE DIRECTED TO THE DUKE STREET AND WITTER DRIVE RIGHT-OF-WAYS, INTO THE MUNICIPAL STORM SEWER SYSTEM. THERE WILL NOT BE ANY ADVERSE IMPACT TO ADJACENT PROPERTIES AS A RESULT OF THIS PROJECT AND THE PROPOSED IMPROVEMENTS.

FLOODPLAIN BOUNDARY:
THIS SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY PER FEMA MAPS.

RESOURCE PROTECTION AREAS:
THERE ARE NO RESOURCE PROTECTION AREAS KNOWN TO EXIST ON THE SITE.

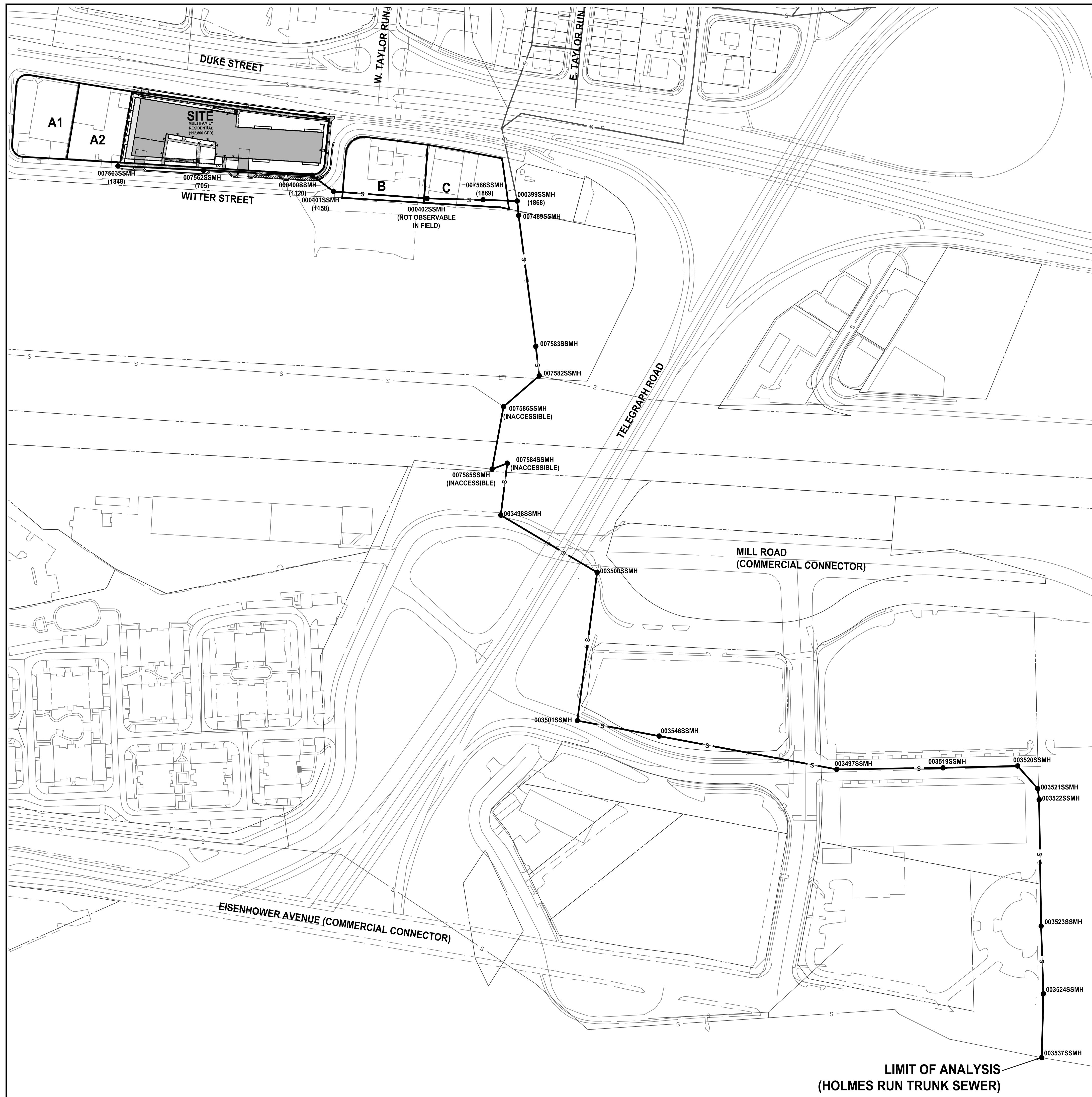
THE SITE IS LOCATED IN THE TAYLOR RUN WATERSHED.

THE BMP FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.

LEGEND

PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
[Symbol]	CURB & GUTTER CG-2	[Symbol]	[Symbol]	HANDICAP RAMP (CG-12)	[Symbol]
[Symbol]	TRANSITION FROM CG-6 TO CG-6R	[Symbol]	[Symbol]	GUARDRAIL FENCE	[Symbol]
[Symbol]	SANITARY SEWER	[Symbol]	[Symbol]	TRAFFIC FLOW	[Symbol]
[Symbol]	SANITARY LATERAL	[Symbol]	[Symbol]	LIGHT	[Symbol]
[Symbol]	CLEAN OUT	[Symbol]	[Symbol]	DOOR	[Symbol]
[Symbol]	STORM SEWER	[Symbol]	[Symbol]	TREES	[Symbol]
[Symbol]	WATER MAIN	[Symbol]	[Symbol]	CONTOURS	[Symbol]
[Symbol]	FIRE HYDRANT PLUG	[Symbol]	[Symbol]	SPOT ELEVATION	[Symbol]
[Symbol]	OVERHEAD WIRES	[Symbol]	[Symbol]	DRAINAGE FLOW DIRECTION	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]	[Symbol]	TOP OF CURB	[Symbol]
[Symbol]	UNDERGROUND ELECTRIC	[Symbol]	[Symbol]	BOTTOM OF CURB	[Symbol]
[Symbol]	TELEPHONE	[Symbol]	[Symbol]	TOP OF WALL	[Symbol]
[Symbol]	GAS MAIN	[Symbol]	[Symbol]	BOTTOM OF WALL	[Symbol]
[Symbol]	ELECTRICAL	[Symbol]	[Symbol]	HIGH POINT	[Symbol]
[Symbol]	TRANSFORMER	[Symbol]	[Symbol]	TEST PIT	[Symbol]
[Symbol]		[Symbol]	[Symbol]	LIMITS OF CLEARING AND GRADING	[Symbol]

THIS PLAN IS PRELIMINARY IN NATURE AND SUBJECT TO ADJUSTMENT AT FINAL SITE PLAN



SANITARY SEWER OUTFALL NARRATIVE

THE SUBJECT SITE IS CURRENTLY SERVED BY A SEPARATED SANITARY SEWER SYSTEM ACCORDING TO CITY RECORDS. THE SANITARY FLOW FROM THIS DEVELOPMENT SHALL CONNECT TO THE EXISTING SEWER NETWORK IN WITTER DRIVE.

IT IS ANTICIPATED THAT THE NET NEW SANITARY PEAK FLOW RESULTING FROM THE CONSTRUCTION OF THE NEW MULTIFAMILY UNITS WILL BE APPROXIMATELY 109,304 GPD WHICH EXCEEDS 10,000 GPD. A PRELIMINARY STUDY OF THE DOWNSTREAM SEWER SYSTEM IS PROVIDED ON THIS IN ACCORDANCE WITH MEMO TO INDUSTRY NO. 06-14. BASED ON THIS ANALYSIS, THE SANITARY SEWER DOWNSTREAM FROM THE SUBJECT PROPERTY IS ADEQUATE TO ACCEPT THE INCREASED PEAK FLOW GENERATED BY THE DEVELOPMENT. THE LIMITS OF THE SANITARY ANALYSIS ARE PROVIDED UP TO THE POINT WHERE THE SEWER BECOMES 24" PER CITY RECORD MAPS.

SANITARY SEWER OUTFALL NARRATIVE

THE SUBJECT SITE IS CURRENTLY AN AUTOMOTIVE SALES AND SERVICE DEALERSHIP WHICH WILL BE REDEVELOPED INTO A MULTIFAMILY BUILDING AND IS ADJACENT TO A SEPARATED SANITARY SEWER SYSTEM ACCORDING TO THE CITY OF ALEXANDRIA GIS SEWER MEWER. THE SANITARY FLOW FROM THIS DEVELOPMENT SHALL CONNECT TO THE EXISTING SEWER NETWORK IN WITTER DRIVE.

IT IS ANTICIPATED THAT THE SANITARY FLOW RESULTING FROM THIS DEVELOPMENT WILL BE APPROXIMATELY:

- PROP. MULTIFAMILY RESIDENTIAL: 300 GPD x 94 UNITS = 28,200 GPD
- 28,200 GPD x 4 (PEAK FACTOR) = 112,800 GPD
- EXISTING OFFICE: 4,369 SF X 200 GPD/1000 SF = 874 GPD
- 874 GPD X 4 (PEAK FACTOR) = 3,496 GPD

NET INCREASE: 112,800 GPD - 3,496 GPD = 109,304 GPD

BECAUSE THE PROPOSED DEVELOPMENT WILL RESULT IN A NET INCREASE IN EXPECTED SANITARY SEWER FLOW MORE THAN 10,000 GPD, SANITARY SEWER OUTFALL ANALYSIS HAS BEEN PROVIDED IN ACCORDANCE WITH MEMO TO INDUSTRY NO. 06-14 WITH THIS APPLICATION. SEE THIS SHEET.

ALEX RENEW NOTES

- CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.
- DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-721-3500 X2020.

COMPUTED FLOWS A - C

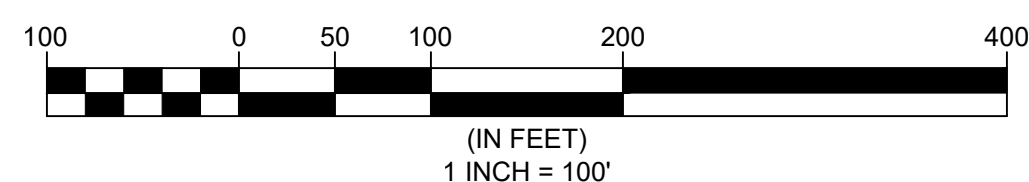
USE	GROSS FLOOR AREA (SF)	DESIGN FLOW (GPD/1000SF)	TOTAL FLOW (GPD)	TOTAL PEAK FLOW (GPD)
A1	20314	200	4,063	16251
A2	11160	200	2,232	8928
TOTAL SUBSHED A =			6,295	25179

USE	GROSS FLOOR AREA (SF)	DESIGN FLOW (GPD/1000SF)	TOTAL FLOW (GPD)	TOTAL PEAK FLOW (GPD)
B	4160	200	832	3328
TOTAL SUBSHED B =			832	3328

USE	GROSS FLOOR AREA (SF)	DESIGN FLOW (GPD/1000SF)	TOTAL FLOW (GPD)	TOTAL PEAK FLOW (GPD)
C	10260	200	2,052	8208
TOTAL SUBSHED C =			2,052	8208

SEE SHEET P-0902 FOR SANITARY SEWER ANALYSIS TABLE

NOTE:
EXISTING SITE FEATURES TAKEN FROM RECORD INFORMATION AND GIS DATA PROVIDED BY THE CITY OF ALEXANDRIA.



WALTER L. PHILLIPS
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(703) 532-6163 Fax (703) 533-1301 www.WLPINC.com

SCALE: 1" = 100'
DATE: 08/03/2021
DRAWN: SC
CHECKED: TP/JS

DATE	DESCRIPTION	DATE	DESCRIPTION
03/04/22	CONCEPT II	08/05/22	DSUP VERIFICATION
05/20/22	DSUP COMPLETENESS	08/12/22	DSUP VERIFICATION



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NO.	DESCRIPTION	DATE	APPROVED

WITTER PLACE
2712 DUKE STREET
ALEXANDRIA, VA 22314
DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

PRELIMINARY SANITARY SEWER OUTFALL ANALYSIS

APPROVED
SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

N/F BANK OF AMERICA
101 N TRYON ST NC1010301 CHARLOTTE NC 28285
DB 693 P6550 - ZONE: CL

N/F 2727 LLC THE
2727 DUKE ST STE C3
ALEXANDRIA VA 22314
DB 1629 P6886
ZONE: RC

DUKE STREET - ROUTE 236
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

N/F KOB MANAGEMENT, LLC.
2000 RICHMOND HY
ALEXANDRIA VA 22301
INST: 03084492
ZONE: OS

N/F DORRICH LC
75 THORNER LN
MARATHON FL 33060
INST: 15944499
ZONE: I

N/F CITY OF ALEXANDRIA
PO BOX 178
ALEXANDRIA, VA 22313
INST: 060032162
ZONE: I

WITTER DRIVE
(50' PUBLIC RIGHT-OF-WAY WIDTH)

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SCALE: 1" = 20'
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CHECKED: TPJUS

DATE	DESCRIPTION	PLAN STATUS	DATE	DESCRIPTION
03/04/22	CONCEPT II		08/05/22	DSUP VERIFICATION
05/20/22	DSUP COMPLETENESS		09/12/22	DSUP VERIFICATION



NO.	DESCRIPTION	DATE	APPROVED BY	DATE

WITTER PLACE

2712 DUKE STREET
ALEXANDRIA, VA 22314

DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

PRELIMINARY VEHICULAR TURNING MOVEMENTS

APPROVED
SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

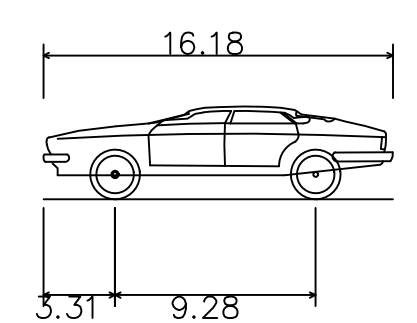
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

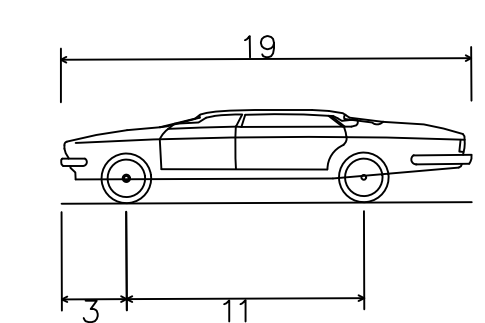
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

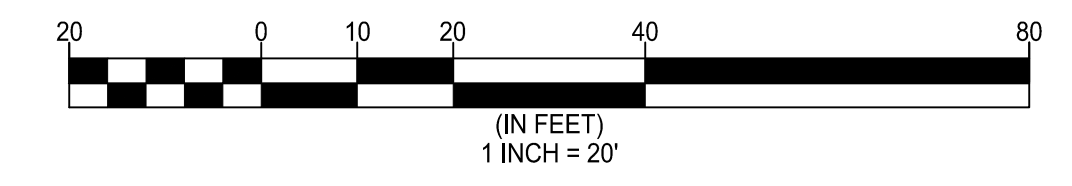
PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2			TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER			SANITARY LATERAL	
	CLEAN OUT			WATER MAIN	
	FIRE HYDRANT PLUG			OVERHEAD WIRES	
	UTILITY POLE			UNDERGROUND ELECTRIC	
	TELEPHONE			GAS MAIN	
	ELECTRICAL			TRANSFORMER	
	HANDICAP RAMP (CG-12)			GUARDRAIL	
	FENCE			TRAFFIC FLOW	
	LIGHT			DOOR	
	TREES			CONTOURS	
	SPOT ELEVATION			DRAINAGE FLOW DIRECTION	
	TOP OF CURB			BOTTOM OF CURB	
	TOP OF WALL			BOTTOM OF WALL	
	HIGH POINT			TEST PIT	
	LIMITS OF CLEARING AND GRADING				

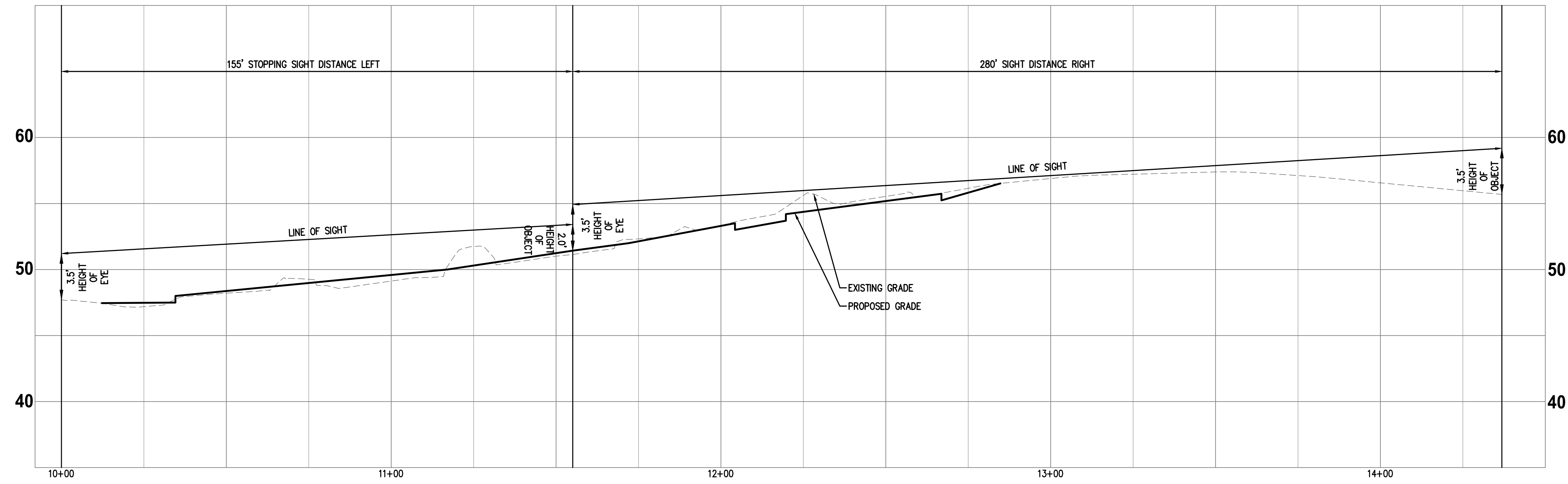
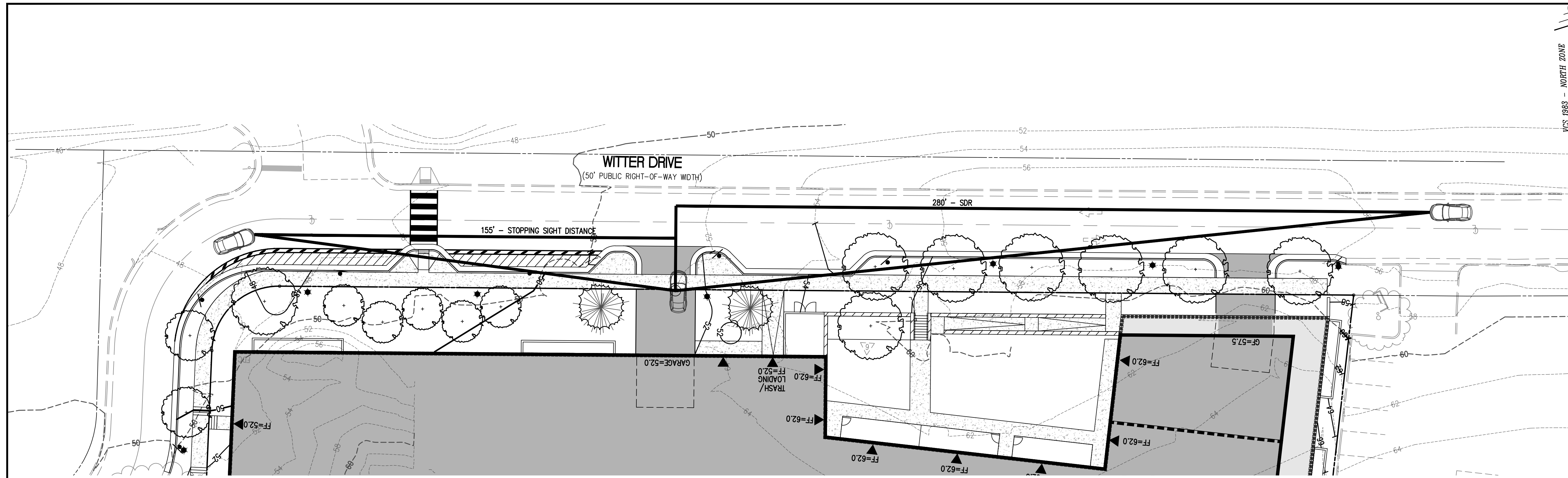


Mid-Size Sedan
Overall Length 16.180ft
Overall Width 6.080ft
Overall Body Height 4.300ft
Min Body Ground Clearance 1.115ft
Track Width 5.250ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 18.500ft



P - Passenger Car
Overall Length 19.000ft
Overall Width 7.000ft
Overall Body Height 4.300ft
Min Body Ground Clearance 1.115ft
Track Width 6.000ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 31.60°

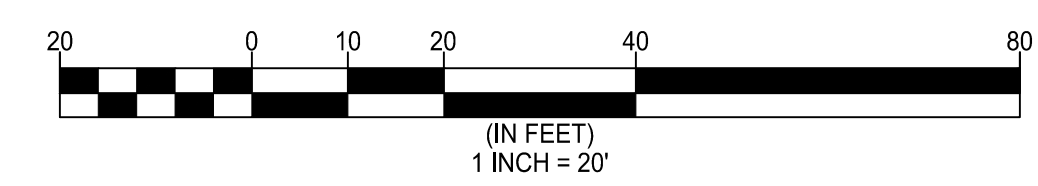




LEGEND

PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
[Symbol]	CURB & GUTTER CG-2	[Symbol]	[Symbol]	HANDICAP RAMP (CG-12)	[Symbol]
[Symbol]	TRANSITION FROM CG-6 TO CG-6R	[Symbol]	[Symbol]	GUARDRAIL FENCE	[Symbol]
[Symbol]	SANITARY SEWER	[Symbol]	[Symbol]	TRAFFIC FLOW	[Symbol]
[Symbol]	SANITARY LATERAL	[Symbol]	[Symbol]	LIGHT	[Symbol]
[Symbol]	CLEAN OUT	[Symbol]	[Symbol]	DOOR	[Symbol]
[Symbol]	STORM SEWER	[Symbol]	[Symbol]	TREES	[Symbol]
[Symbol]	WATER MAIN	[Symbol]	[Symbol]	CONTOURS	[Symbol]
[Symbol]	FIRE HYDRANT PLUG	[Symbol]	[Symbol]	SPOT ELEVATION	[Symbol]
[Symbol]	OVERHEAD WIRES	[Symbol]	[Symbol]	DRAINAGE FLOW DIRECTION	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]	[Symbol]	TOP OF CURB	[Symbol]
[Symbol]	UNDERGROUND ELECTRIC	[Symbol]	[Symbol]	BOTTOM OF CURB	[Symbol]
[Symbol]	TELEPHONE	[Symbol]	[Symbol]	TOP OF WALL	[Symbol]
[Symbol]	GAS MAIN	[Symbol]	[Symbol]	BOTTOM OF WALL	[Symbol]
[Symbol]	ELECTRICAL	[Symbol]	[Symbol]	HIGH POINT	[Symbol]
[Symbol]	TRANSFORMER	[Symbol]	[Symbol]	TEST PIT	[Symbol]
[Symbol]		[Symbol]	[Symbol]	LIMITS OF CLEARING AND GRADING	[Symbol]

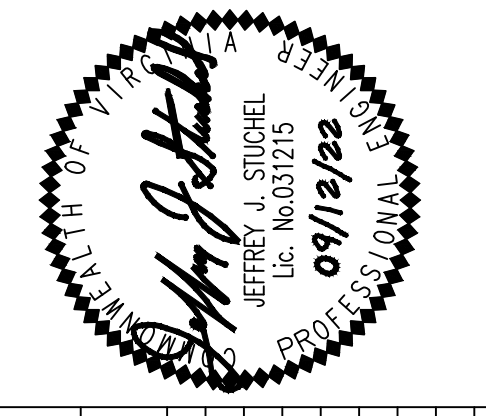
SCALE: HOR. 1" = 20'
VERT. 1" = 5'



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WITTER PLACE
2712 DUKE STREET
ALEXANDRIA, VA 22314
DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

PRELIMINARY SIGHT DISTANCE PLAN AND PROFILE

APPROVED
SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

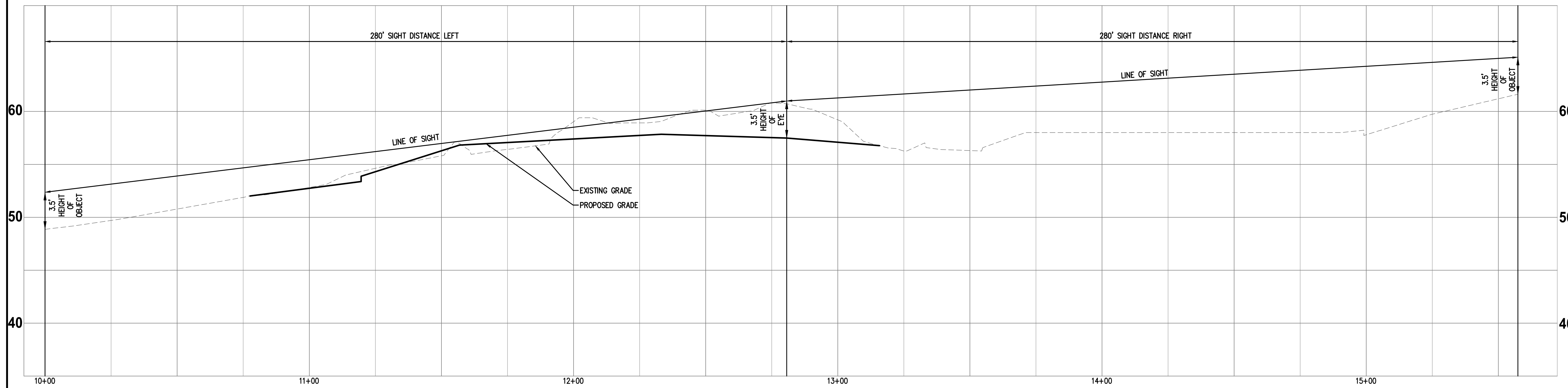
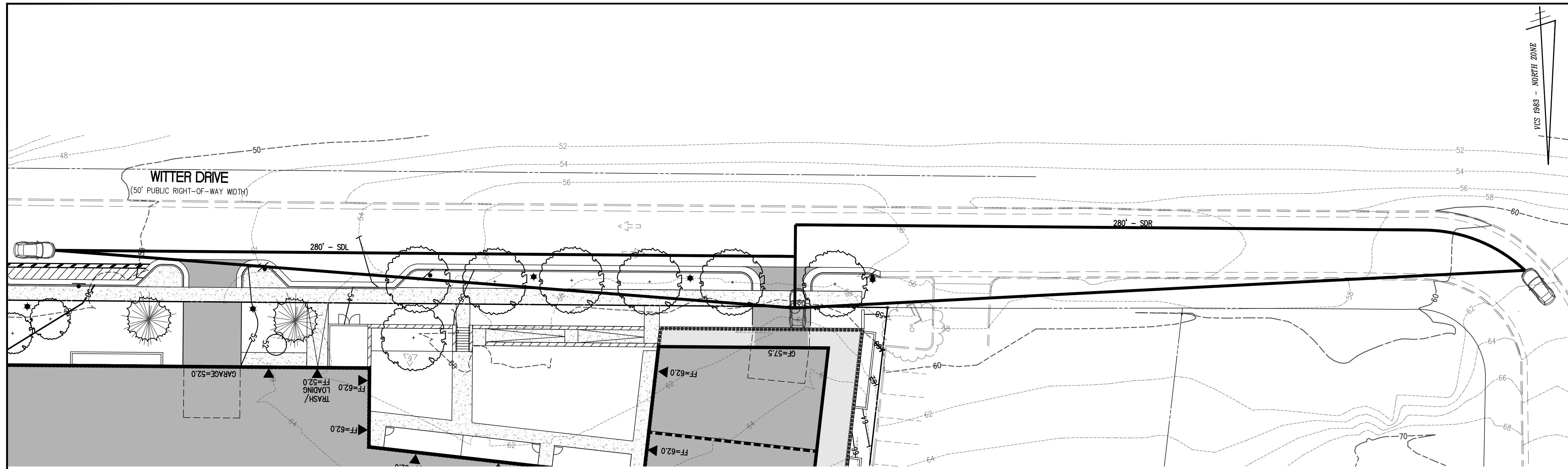
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

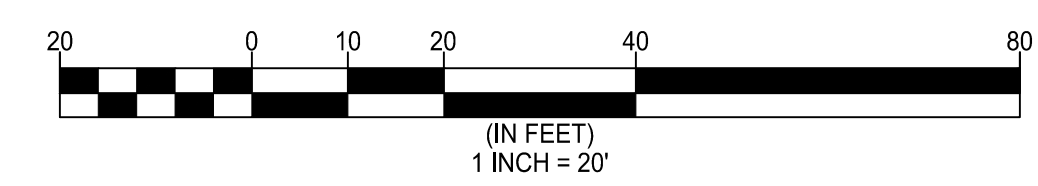
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



LEGEND

PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
[Symbol]	CURB & GUTTER CG-2	[Symbol]	[Symbol]	HANDICAP RAMP (CG-12)	[Symbol]
[Symbol]	TRANSITION FROM CG-6 TO CG-6R	[Symbol]	[Symbol]	GUARDRAIL FENCE	[Symbol]
[Symbol]	SANITARY SEWER	[Symbol]	[Symbol]	TRAFFIC FLOW	[Symbol]
[Symbol]	SANITARY LATERAL	[Symbol]	[Symbol]	LIGHT	[Symbol]
[Symbol]	CLEAN OUT	[Symbol]	[Symbol]	DOOR	[Symbol]
[Symbol]	STORM SEWER	[Symbol]	[Symbol]	TREES	[Symbol]
[Symbol]	WATER MAIN	[Symbol]	[Symbol]	CONTOURS	[Symbol]
[Symbol]	FIRE HYDRANT	[Symbol]	[Symbol]	SPOT ELEVATION	[Symbol]
[Symbol]	PLUG	[Symbol]	[Symbol]	DRAINAGE FLOW DIRECTION	[Symbol]
[Symbol]	OVERHEAD WIRES	[Symbol]	[Symbol]	TOP OF CURB	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]	[Symbol]	BOTTOM OF CURB	[Symbol]
[Symbol]	UNDERGROUND ELECTRIC	[Symbol]	[Symbol]	TOP OF WALL	[Symbol]
[Symbol]	TELEPHONE	[Symbol]	[Symbol]	BOTTOM OF WALL	[Symbol]
[Symbol]	GAS MAIN	[Symbol]	[Symbol]	HIGH POINT	[Symbol]
[Symbol]	ELECTRICAL	[Symbol]	[Symbol]	TEST PIT	[Symbol]
[Symbol]	TRANSFORMER	[Symbol]	[Symbol]	LIMITS OF CLEARING AND GRADING	[Symbol]

SCALE: HOR. 1" = 20'
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WITTER PLACE
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 ALEXANDRIA, VA 22314
 DEVELOPMENT SPECIAL USE PERMIT
 CITY OF ALEXANDRIA, VIRGINIA

PRELIMINARY SIGHT DISTANCE PLAN AND PROFILE

APPROVED
 SPECIAL USE PERMIT NO. 2022-10013
 DEPARTMENT OF PLANNING & ZONING

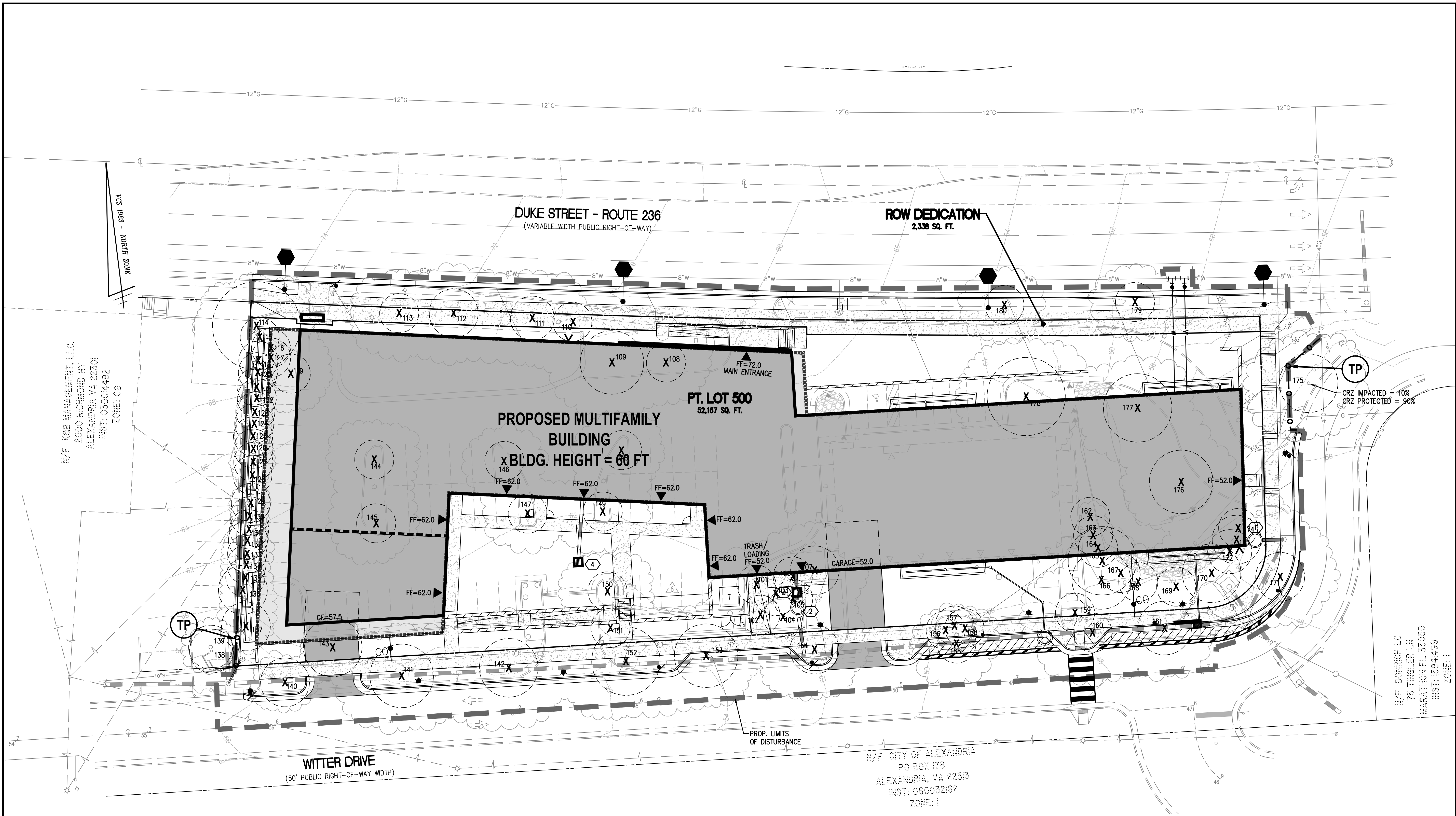
DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

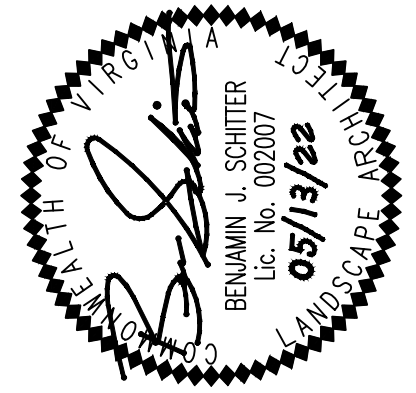
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



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SCALE: N/A DATE: 08/03/2021 DRAWN: SC CHECKED: TP/BJJ
PLAN STATUS: SC DATE: 03/04/22 DESCRIPTION: CONCEPT II DATE: 08/05/22 DSUP VERIFICATION: 09/12/22 DSUP COMPLETENESS: 09/12/22 DSUP VERIFICATION: 09/12/22



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WITTER PLACE
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DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

TREE PRESERVATION PLAN - PROPOSED CONDITIONS

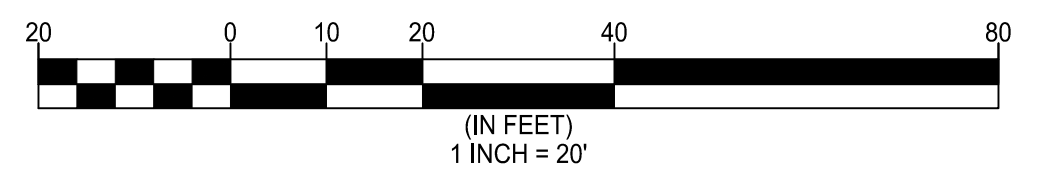
APPROVED SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.



TREE LEGEND

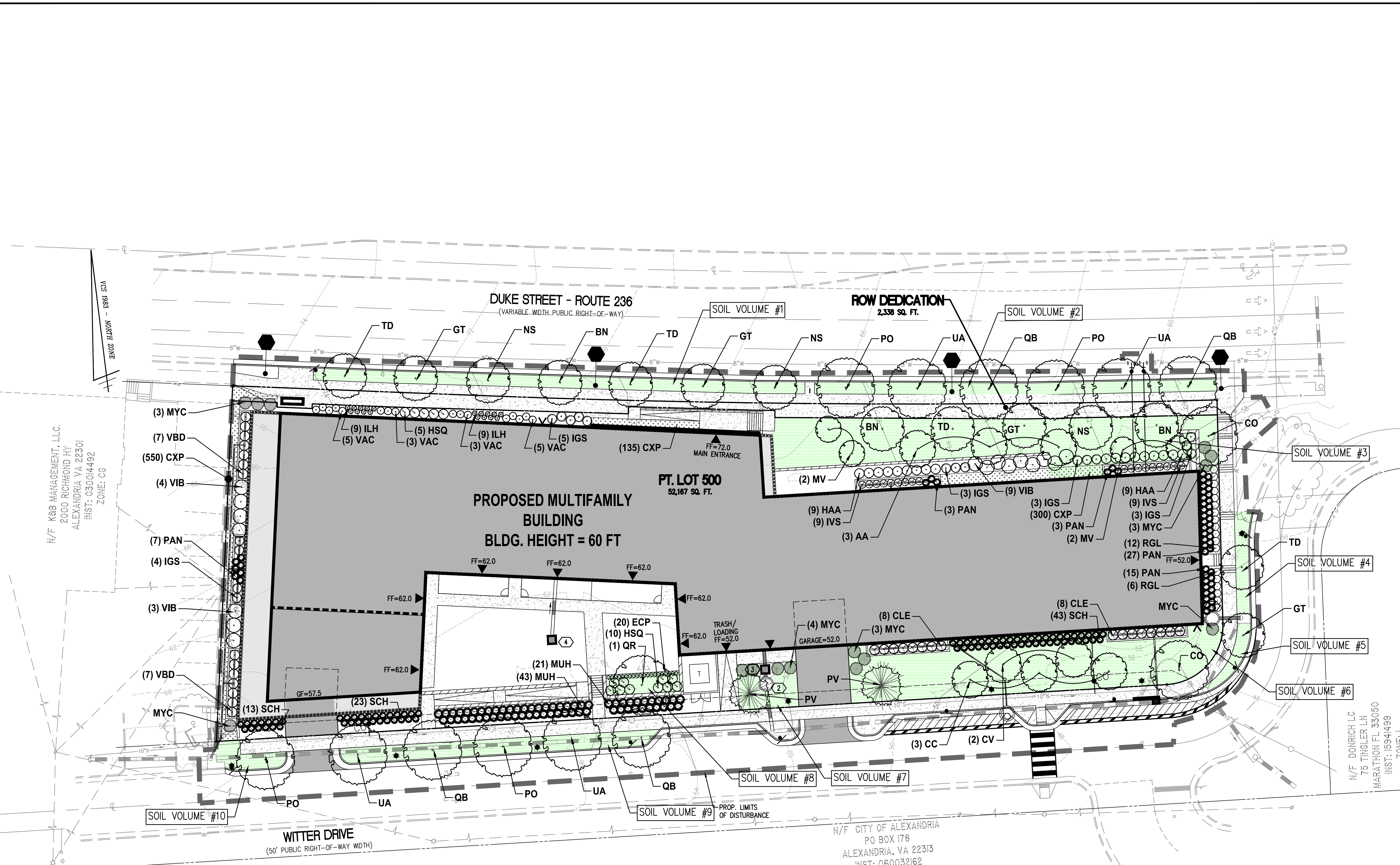
- EXISTING TREELINE
- TREE TO BE REMOVED
- (SF) SILT FENCE
- (SSF) SUPER SILT FENCE (INCLUDES TP)
- (TSF) TRENCHLESS SUPER SILT FENCE (INCLUDES TP)
- (TP) TREE PROTECTION
- (RP) ROOT PRUNING
- ROOT PADDING
10"-15" WOOD CHIP LAYER
- LIMITS OF CLEARING AND GRADING
- CRITICAL ROOT ZONE (CRZ)

ARCHAEOLOGY NOTES

- CALL ALEXANDRIA ARCHAEOLOGY 703.746-4399 TWO (2) WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.
- CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY 703.746-4399 IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

LEGEND

- | PROPOSED | DESCRIPTION | EXISTING |
|----------|--------------------------------|----------|
| EP | EDGE OF PAVEMENT | EP |
| MH | MANHOLE | MH |
| WV | WATER VALVE | WV |
| WM | WATER METER | WM |
| GM | GAS METER | GM |
| TCB | TRAFFIC CONTROL BOX | TCB |
| LP | LIGHT POLE | LP |
| LP/S | LIGHT POLE WITH SIGNALS | LP/S |
| CG-2 | CURB & GUTTER | CG-2 |
| CG-6 | TRANSITION FROM CG-6 TO CG-6R | CG-6 |
| CG-6R | TRANSITION FROM CG-6 TO CG-6R | CG-6R |
| S | SANITARY SEWER | S |
| SL | SANITARY LATERAL | SL |
| C.O. | CLEAN OUT | C.O. |
| SS | STORM SEWER | SS |
| W | WATER MAIN | W |
| F | FIRE HYDRANT PLUG | F |
| U | UTILITY POLE | U |
| UE | UNDERGROUND ELECTRIC | UE |
| T | TELEPHONE | T |
| G | GAS MAIN | G |
| E | ELECTRICAL | E |
| TR | TRANSFORMER | TR |
| H | HANDICAP RAMP (CG-12) | H |
| GF | GUARDRAIL FENCE | GF |
| TF | TRAFFIC FLOW | TF |
| L | LIGHT | L |
| D | DOOR | D |
| TREE | TREES | TREE |
| TP | TEST PIT | TP |
| LG | LIMITS OF CLEARING AND GRADING | LG |



LANDSCAPE PLAN NOTES

1. THERE IS NO RPA, INTERMITTENT STREAM, WETLANDS, ASSOCIATED BUFFER, OR EXISTING STORMWATER FACILITIES LOCATED ONSITE. THE SITE IS NOT LOCATED WITHIN A FLOODPLAIN.
2. NO KNOWN MARINE CLAY ONSITE, SEE SHEET P-0201. NO KNOWN CONTAMINATION KNOWN ONSITE.
3. THERE ARE NO EXISTING CULTURAL RESOURCES.

SOIL VOLUME TABULATIONS

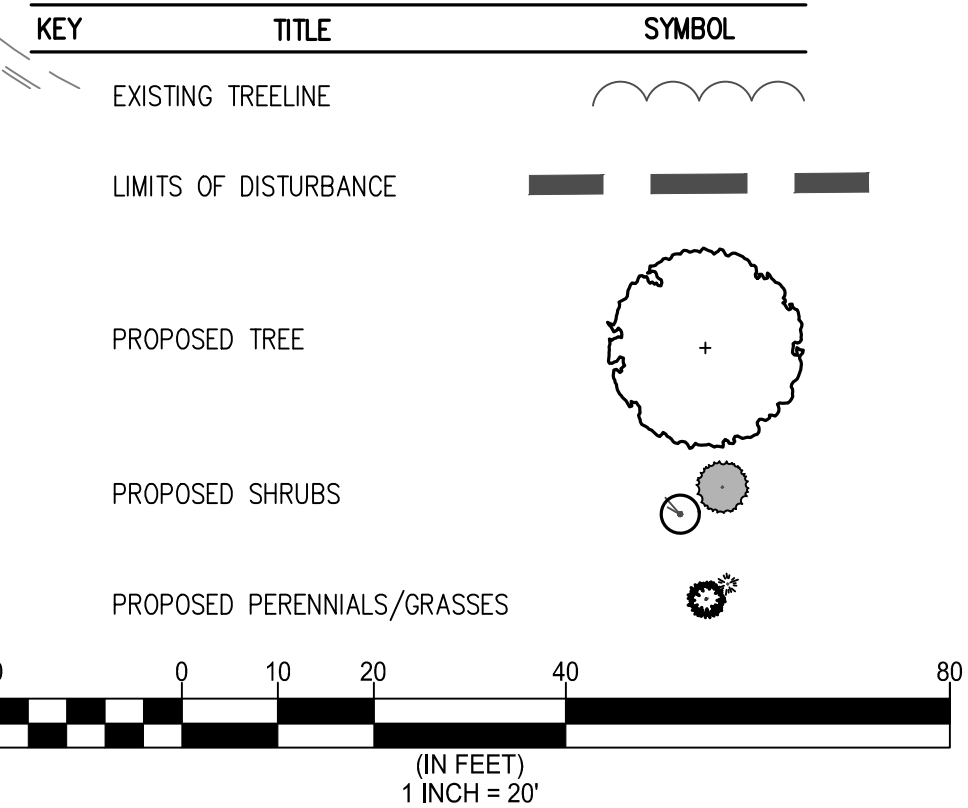
LOCATION	TREE QUANTITY	VOLUME REQUIRED (CF)	AREA PROVIDED (SF)	VOLUME PROVIDED (CF)
1	7	2100	1030	3090
2	6	1800	842	2526
3	12	3600	3537	10611
4	1	450	242	726
5	1	450	151	453
6	7	2100	3321	9963
7	1	450	401	1203
8	1	450	265	795
9	5	1500	846	2538
10	1	450	230	690

AREA USED FOR SOIL VOLUME CALCULATIONS

ARCHAEOLOGY NOTES

1. CALL ALEXANDRIA ARCHAEOLOGY 703.746-4399 TWO (2) WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED.
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TREE LEGEND



WITTER PLACE
2712 DUKE STREET
ALEXANDRIA, VA 22314
DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA
PRELIMINARY LANDSCAPE PLAN

APPROVED
SPECIAL USE PERMIT NO. 2022-10013
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



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05/20/22	DSUP COMPLETENESS	08/12/22	DSUP VERIFICATION

N/F BANK OF AMERICA
101 N TRYON ST NC010301 CHARLOTTE NC 28285
DB 693 P6560 - ZONE: CL

N/F 2727 LLC THE
2727 DUKE ST STE C3
ALEXANDRIA VA 22314
DB 1629 P6886
ZONE: RC

N/F KOB MANAGEMENT, LLC.
2000 RICHMOND HY
ALEXANDRIA VA 22301
INST: 03084492
ZONE: OS

N/F DORRICH LC
75 THORNER LN
MARATHON FL 33060
INST: 15944499
ZONE: I

DUKE STREET - ROUTE 236
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

ROW DEDICATION
2,338 SQ. FT.

PROP. 6" FIRE SERVICE
PROP. 4" DOMESTIC SERVICE
(METER IN BUILDING)

PROPOSED MULTIFAMILY BUILDING
BLDG. HEIGHT = 60 FT

PT. LOT 500
52,167 SQ. FT.

PAVEMENT TO BE REINFORCED
TO H-20 LOADING WHERE MOUNTABLE

N/F CITY OF ALEXANDRIA
PO BOX 178
ALEXANDRIA, VA 22313
INST: 060032162
ZONE: I

WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1945
Engineers • Surveyors • Planners • Landscape Architects • Arborists
207 PARK AVENUE FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301 www.WLPINC.com

SCALE: 1" = 20'
DATE: 08/03/2021
DRAWN: SC
CHECKED: TP/BJ/S

PLAN STATUS	DATE	DESCRIPTION
CONCEPT II	08/05/22	DSUP VERIFICATION
DSUP COMPLETENESS	08/12/22	DSUP VERIFICATION



NO.	DESCRIPTION	DATE	APPROVED BY

WITTER PLACE

2712 DUKE STREET
ALEXANDRIA, VA 22314

DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

PRELIMINARY FIRE SERVICE PLAN

PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2			HANDICAP RAMP (CG-12)	
	TRANSITION FROM CG-6 TO CG-6R			GUARDRAIL FENCE	
	SANITARY SEWER			TRAFFIC FLOW	
	SANITARY LATERAL			LIGHT	
	CLEAN OUT			DOOR	
	STORM SEWER			TREES	
	WATER MAIN			CONTOURS	
	FIRE HYDRANT			SPOT ELEVATION	
	PLUG			DRAINAGE FLOW DIRECTION	
	OVERHEAD WIRES			TOP OF CURB	
	UTILITY POLE			BOTTOM OF CURB	
	UNDERGROUND ELECTRIC			TOP OF WALL	
	TELEPHONE			BOTTOM OF WALL	
	GAS MAIN			HIGH POINT	
	ELECTRICAL			TEST PIT	
	TRANSFORMER			LIMITS OF CLEARING AND GRADING	

BUILDING COVERAGE

IF BUILDING OR STRUCTURE IS OVER 50 FEET IN HEIGHT, IT IS REQUIRED TO HAVE LADDER TRUCK ACCESS TO 48% PERIMETER OF THE BUILDINGS BY PUBLIC ROADS OR RECORDED EMERGENCY VEHICLE EASEMENTS (EVE). FOR A BUILDING FACE TO BE CONSIDERED ACCESSIBLE BY A LADDER TRUCK THE CURB LINE SHALL BE AT LEAST 15 FEET AND NO MORE THAN 30 FEET FROM THE FACE OF THE BUILDING. ALTERNATIVES THAT DEMONSTRATE EQUIVALENCY TO THIS REQUIREMENT WILL BE CONSIDERED ON A CASE BY CASE BASIS. EQUIVALENCY MAY BE DEMONSTRATED THROUGH METHODS OUTLINED IN THE CITY FIRE PREVENTION CODE APPENDIX D. ALL ELEVATED STRUCTURES DESIGNATED AS AN EVE SHALL BE DESIGNED TO AASHTO HS-20 LOADING.

TOTAL BUILDING PERIMETER:	1,110 FT
TOTAL PERIMETER WITHIN 15' - 30':	569 FT
% COVERAGE PROVIDED:	51.3%

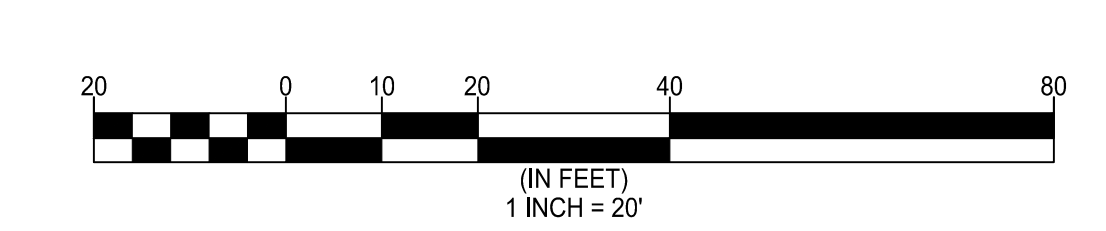
BUILDING WALLS WITHIN 15' - 30' OF FACE OF CURB (PUBLIC ROAD)

NOTES

- EXISTING FIRE HYDRANTS SHALL REMAIN IN-SERVICE AND UNOBSTRUCTED DURING CONSTRUCTION.

BUILDING CODE ANALYSIS

- NON-SEPARATED MIXED USED R-2 (MULTI-FAMILY), S-2 (GARAGE)
- 5 STORIES.
- CONSTRUCTION TYPE 3B.
- SEE GROSS AREA ON A-010.
- BUILDING TO BE FULLY SPRINKLERED PER NFPA 13.





COMMUNITY HOUSING PARTNERS

WITTER PLACE
2712 Duke Street,
Alexandria, VA 22314

WINSTANLEY
ARCHITECTS & PLANNERS

Professional Certification. I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2024.



REGISTRATION:

NO.	DATE	ISSUE DESCRIPTION
	09/03/2021	CONCEPT I SUBMISSION
	03/04/2022	CONCEPT II SUBMISSION
	05/20/2022	DSUP COMPLETENESS
	07/21/2022	EXHIBIT
	08/05/2022	DSUP VERIFICATION
	09/12/2022	DSUP VERIFICATION R1

A/E PROJECT NO:
DRAWN BY:
CHECKED BY:

SHEET TITLE:
FAR PLANS & TABULATIONS

SHEET NUMBER:
A-010

APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

LEGEND

- GSF
- FAR DEDUCTIONS
- ROOF AMENITY (OPEN TO SKY)

2712 Duke Street

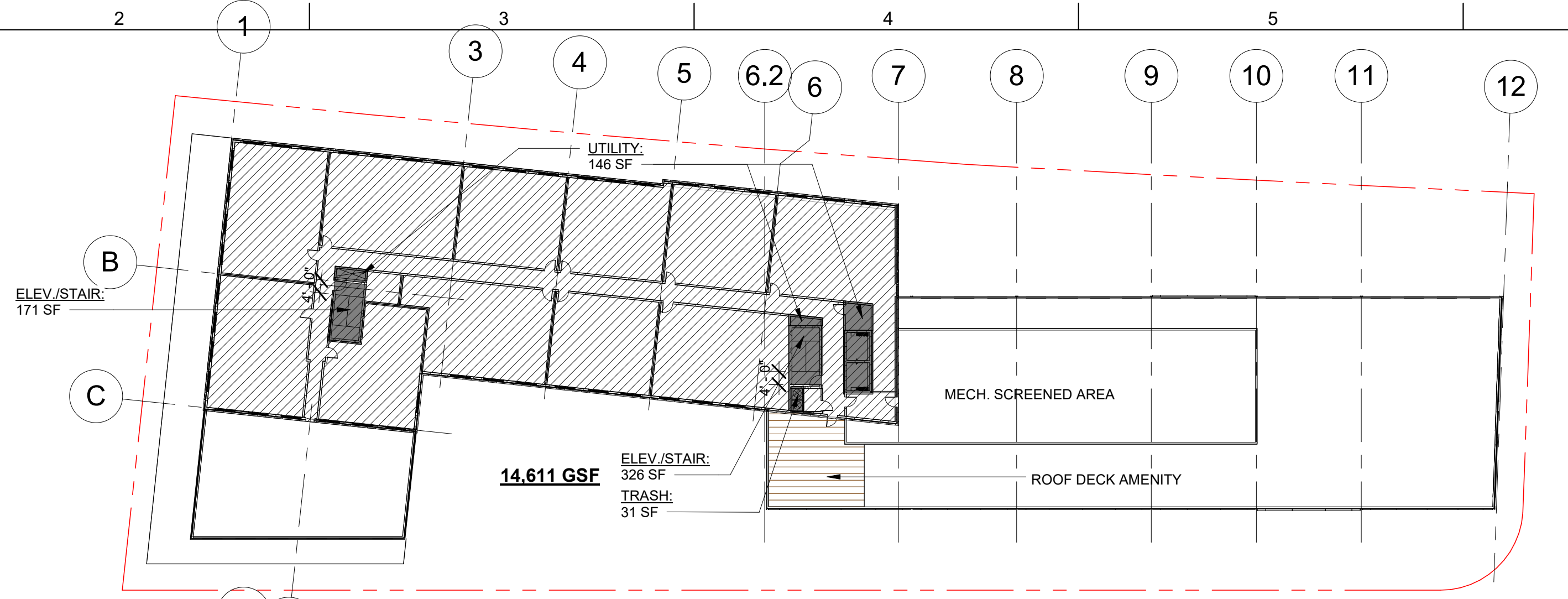
LVL	HEIGHTS	FLOOR	FAR DEDUCTIONS	FAR SF
P-1*	10.00	8,544	8,544	0
1ST	10.00	31,902	1,972	29,930
2nd	10.90	29,858	3,045	26,813
3rd	10.90	29,858	3,245	26,613
4th	10.90	29,858	3,245	26,613
5TH	11.90	14,611	1,774	12,837
Roof**		0	0	0
Total	55	136,087	13,281	122,806

*P1 Level not counted towards FAR % Deductions 0.10
**Roof: Stairs & elevator do not extend to roof level

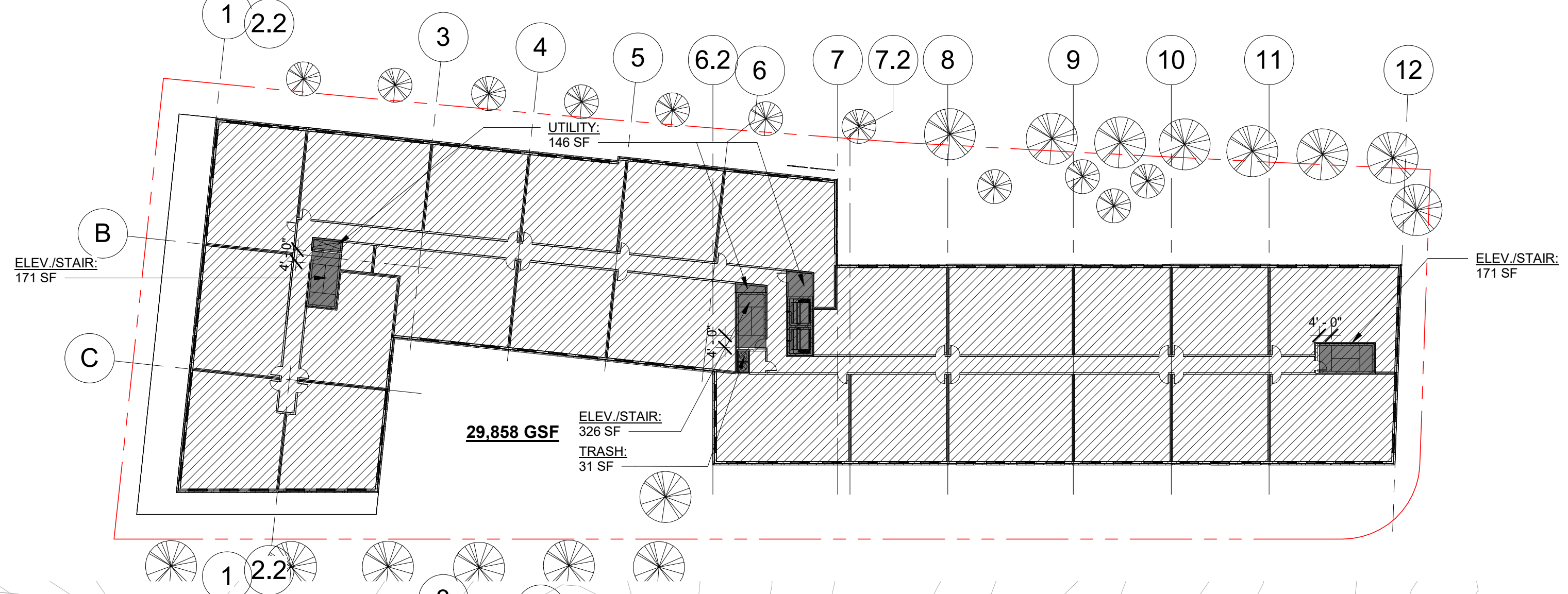
LVL	FAR DEDUCTIONS			TOTAL
	STAIRS/ ELEV.	SHAFTS/UTILITY	50 SF PER BATHROOM	
P-1*				8,544
1ST	641	31	1,300	1,972
2nd	668	177	2,200	3,045
3rd	668	177	2,400	3,245
4th	668	177	2,400	3,245
5TH	497	177	1,100	1,774
Roof				0
Total	3142	739	9400	13,281

*P1 Level not counted towards FAR

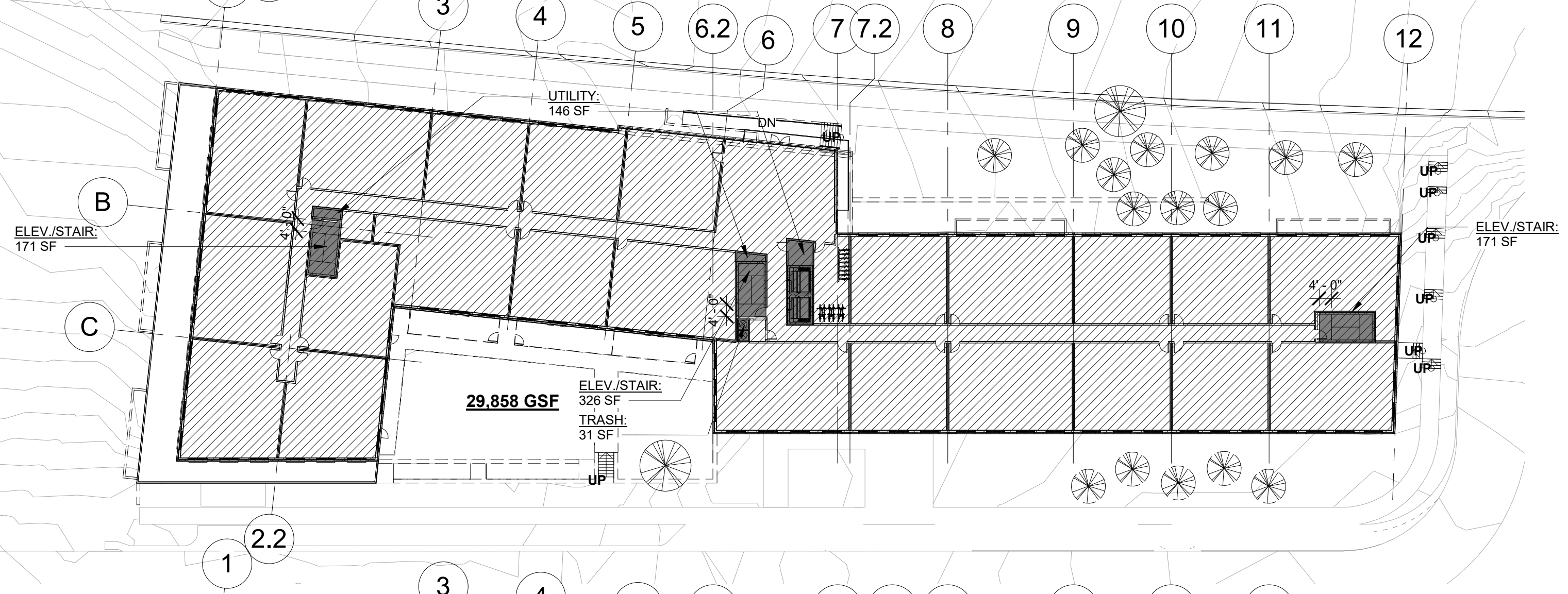
E1 LEVEL 5_FAR
1/32" = 1'-0"



D1 LEVEL 3-4_FAR
1/32" = 1'-0"



B1 LEVEL 2_FAR
1/32" = 1'-0"



A1 LEVEL 1_FAR
1/32" = 1'-0"

