

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 1019 Cameron Street _____

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 064.03-05-45 _____ **ZONING:** existing CL, proposed CD _____

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS Concept I Review
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: Robert T. Pizzano Contractors, Inc. d/b/a Pizzano Contractors _____

Address: _____

City: _____

Phone: _____

Authorized Agent *(if applicable):* Attorney Architect _____

Name: M. Catharine Puskar, Attorney/Agent _____

Phone: _____

E-mail: _____

Legal Property Owner:

Name: Carolyn T. Pizzano Trust _____

Address: _____

City: _____

Phone: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Demolition Permit:

The Applicant proposes to convert the entire existing structure from an office and warehouse use to an office use. To facilitate the property as the sole office location for the Applicant, a new two-story addition will be added as office space above the existing one-story warehouse at the rear of the existing structure. In order to convert the warehouse use into an office use, the existing warehouse overhead doors on N. Henry Street will be modified and infilled with aluminum frame storefront windows and doors. The existing warehouse roof coping will remain and act as a belt course to transition between new and old. This demolition is required to create a more functional office space in the existing warehouse. The replacement of the warehouse openings with the storefront windows and doors will also create a more cohesive look with the rest of the building and surrounding structures. Alternatives to demolition would involve keeping the warehouse doors, which are not compatible with the office use or surrounding structures.

Certificate of Appropriateness – Concept I Review:

1019 Cameron Street is a series of connected buildings that have been manipulated and expanded over time. The Applicant is proposing a new two-story office space addition above the one-story warehouse at the rear of the existing structure. The existing warehouse will be converted into office use to create a three-story element that will have setbacks to allow for rooftop rooftop open space above the second-floor level. The original building along Cameron Street and the adjacent infilled portion will remain at the same height and scale. The final building with the proposed addition will be of similar massing, height, and scale as other adjacent commercial and residential buildings. The new materials will be a combination of painted masonry, tile, glass and metal. The design style intentionally departs from the existing brick warehouse typology. We have chosen a more modern façade to reflect the intended use of the space and allow for more natural light to the interior. The addition is intended to set itself apart from the original warehouse style of the main building. The Applicant is proposing to paint the northernmost wall of the existing warehouse use to help unify the look of the whole building.

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner’s association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: 51 ft Secondary front (if corner lot): 140.5 ft.
- Square feet of existing signs to remain: 55 sq. ft.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: M.Catharine Puskar

Date: 02/09/2026

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Robert T. Pizzano, Jr		100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1019 Cameron Street, Alexandria, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Carolyn T. Pizzano Trust		100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Robert T. Pizzano, Jr	None	None
2. Carolyn T. Pizzano as trustee of the Carolyn T. Pizzano Trust	None	None
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1/9/2026

Robert T. Pizzano Contractors, Inc. d/b/a Pizzano Contractors
By: M. Catharine Puskar

Date

Printed Name

Signature

Carolyn T. Pizzano Trust

Paul Stoddard
301 King Street
City Hall, Room 2100
Alexandria, Virginia 22314

Re: Consent to File Application for a Rezoning, Development Special Use Permit
with Site Plan, and Related Requests
1019 Cameron Street, Tax Map ID 064.03-05-46 (the "Property")

Dear Mr. Stoddard:

The Carolyn T. Pizzano Trust, as the owner of the above-referenced Property, hereby consents to the filing of applications for a Rezoning, Development Special Use Permit with Site Plan, and any related applications or requests by Robert T. Pizzano Contractors, Inc. d/b/a Pizzano Contractors to allow for an addition to the existing building on the Property.

Very truly yours,

CAROLYN T. PIZZANO TRUST

By: Carolyn T. Pizzano

Its: Carolyn T. Pizzano, Trustee

Date: 1/6/2026

*Robert T. Pizzano Contractors, Inc. d/b/a
Pizzano Contractors*

*Paul Stoddard
301 King Street
City Hall, Room 2100
Alexandria, Virginia 22314*

*Re: Authorization to File Application for Rezoning, Development Special Use Permit
with Site Plan, and Related Requests
1019 Cameron Street, Tax Map ID 064.03-05-46 (the "Property")*

Dear Mr. Stoddard:

*Robert T. Pizzano Contractors, Inc. d/b/a Pizzano Contractors hereby authorizes Walsh,
Colucci, Lubeley & Walsh, P.C. to act as agent on its behalf for the filing and representation of
Rezoning and Development Special Use Permit with Site Plan applications and any other related
requests for the Property.*

Very truly yours,

*ROBERT T. PIZZANO CONTRACTORS, INC. d/b/a
PIZZANO CONTRACTORS*

By: *Robert Pizzano*

Its: *President*

Date: *1/6/2024*

CITY OF ALEXANDRIA - BOARD OF ARCHITECTURE REVIEW
 PARKER-GRAY HISTORIC DISTRICT - CONCEPT PLAN SUBMITTAL

**Department of Planning and Zoning
 Floor Area Ratio and Open Space Calculations**

B

A. Property Information
 A1. 1018 Cameron St. - EXISTING BUILDING
 Street Address Zone CL
 A2. 8,014.00 Total Lot Area x 0.50 Floor Area Ratio Allowed by Zone = 4,007.00 Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area	Allowable Exclusions**	
Basement	Basement**	B1. 12,427.00 Existing Gross Floor Area** Sq. Ft.
First Floor	Stairways**	B2. 3,228.00 Allowable Floor Exclusions** Sq. Ft.
Second Floor	Mechanical**	B3. 9,189.00 Existing Floor Area Minus Exclusions (Subtotal B2 from B1) Sq. Ft.
Third Floor	Attic less than 7'***	
Attic	Porches**	
Porches	Balcony/Deck**	
Balcony/Deck	Lavatory**	223.00
Lavatory**	Other**	
Other**	Other**	
B1. Total Gross	B2. Total Exclusions	3,228.00

C. Proposed Gross Floor Area

Proposed Gross Area	Allowable Exclusions**	
Basement	Basement**	C1. 0.00 Proposed Gross Floor Area** Sq. Ft.
First Floor	Stairways**	C2. 0.00 Allowable Floor Exclusions** Sq. Ft.
Second Floor	Mechanical**	
Third Floor	Attic less than 7'***	
Attic	Porches**	C3. 0.00 Proposed Floor Area Minus Exclusions (Subtotal C2 from C1) Sq. Ft.
Porches	Balcony/Deck**	
Balcony/Deck	Lavatory**	
Lavatory**	Other**	
Other	Other**	
C1. Total Gross	C2. Total Exclusions	0.00

D. Total Floor Area

Total Floor Area	Open Space
D1. 9,199.00 Total Floor Area (add B3 and C3) Sq. Ft.	E1. Existing Open Space Sq. Ft.
D2. 4,007.00 Total Floor Area Allowed by Zone (A2) Sq. Ft.	E2. Required Open Space Sq. Ft.
	E3. Proposed Open Space Sq. Ft.

Notes
 **Gross floor area is the sum of all areas under roof of a building measured from the face of exterior walls, including basements, porches, mezzanines, grand staircases and other accessory buildings.
 ***Levels may be excluded up to a maximum of 20 square feet per structure. The maximum total of excluded area for basements shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.
 Signature: *[Signature]* Date: 2/9/2025

F.A.R. FORM (EXISTING BUILDING)

**Department of Planning and Zoning
 Floor Area Ratio and Open Space Calculations**

B

A. Property Information
 A1. 1018 Cameron St. - EXISTING + ADDITION
 Street Address Zone CD
 A2. 8,014.00 Total Lot Area x 1.70 Floor Area Ratio Allowed by Zone = 13,623.80 Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area	Allowable Exclusions**	
Basement	Basement**	B1. 12,427.00 Existing Gross Floor Area** Sq. Ft.
First Floor	Stairways**	B2. 3,049.00 Allowable Floor Exclusions** Sq. Ft.
Second Floor	Mechanical**	B3. 9,378.00 Existing Floor Area Minus Exclusions (Subtotal B2 from B1) Sq. Ft.
Third Floor	Attic less than 7'***	
Attic	Porches**	
Porches	Balcony/Deck**	
Balcony/Deck	Lavatory**	177.00
Lavatory**	Other**	
Other	Other**	
B1. Total Gross	B2. Total Exclusions	3,049.00

C. Proposed Gross Floor Area

Proposed Gross Area	Allowable Exclusions**	
Basement	Basement**	C1. 5,237.00 Proposed Gross Floor Area** Sq. Ft.
First Floor	Stairways**	C2. 593.00 Allowable Floor Exclusions** Sq. Ft.
Second Floor	Mechanical**	
Third Floor	Attic less than 7'***	C3. 4,044.00 Proposed Floor Area Minus Exclusions (Subtotal C2 from C1) Sq. Ft.
Attic	Porches**	
Porches	Balcony/Deck**	
Balcony/Deck	Lavatory**	175.00
Lavatory**	Other**	
Other	Other**	
C1. Total Gross	C2. Total Exclusions	993.00

D. Total Floor Area

Total Floor Area	Open Space
D1. 13,622.00 Total Floor Area (add B3 and C3) Sq. Ft.	E1. Existing Open Space Sq. Ft.
D2. 13,623.80 Total Floor Area Allowed by Zone (A2) Sq. Ft.	E2. Required Open Space Sq. Ft.
	E3. Proposed Open Space Sq. Ft.

Notes
 **Gross floor area is the sum of all areas under roof of a building measured from the face of exterior walls, including basements, porches, mezzanines, grand staircases and other accessory buildings.
 ***Levels may be excluded up to a maximum of 20 square feet per structure. The maximum total of excluded area for basements shall be no greater than 10% of gross floor area.

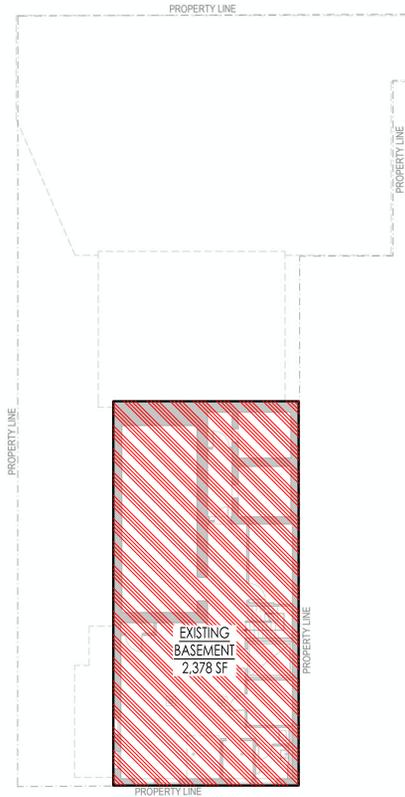
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.
 Signature: *[Signature]* Date: 2/9/2025

F.A.R. FORM (EXISTING BUILDING + ADDITION)

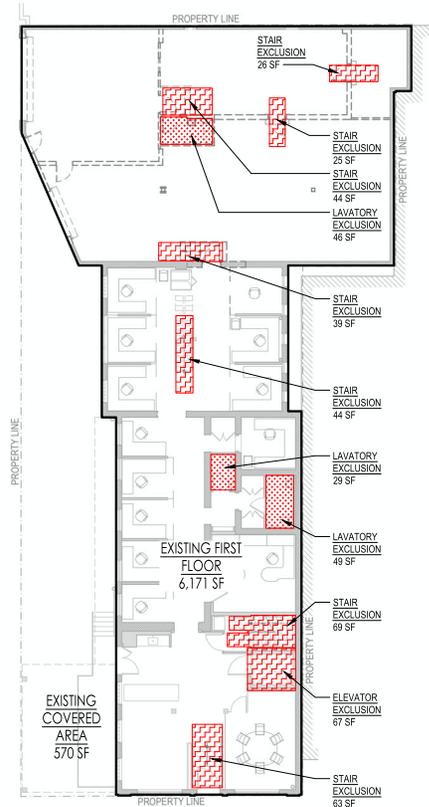
KULINSKI GROUP ARCHITECTS
 703.836.7243
 KULINSKI GROUP ARCHITECTS LLC
 1018 CAMERON ST. ALEXANDRIA, VA 22314
 PIZZANO CONTRACTORS - PROPOSED ADDITION
 F.A.R. FORMS
 PROJECT NUMBER: 25-42
 DATE: 2/4/2026
 SCALE: AS NOTED
 DRAWN: KGA APPROVED: [Signature]
 SHEET NUMBER: Z0
 25-42-PLAN

KULINSKI GROUP ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS.

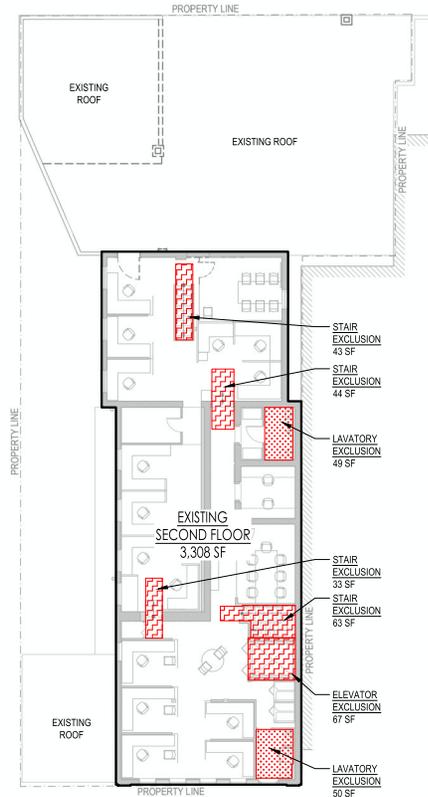
CITY OF ALEXANDRIA - BOARD OF ARCHITECTURE REVIEW
 PARKER-GRAY HISTORIC DISTRICT - CONCEPT PLAN SUBMITTAL



1
Z1
 EXISTING
 BASEMENT F.A.R. DIAGRAM
 SCALE: 1/8" = 1'-0"



2
Z1
 EXISTING
 FIRST FLOOR F.A.R. DIAGRAM
 SCALE: 1/8" = 1'-0"



3
Z1
 EXISTING
 SECOND FLOOR F.A.R. DIAGRAM
 SCALE: 1/8" = 1'-0"

F.A.R. DIAGRAM KEY

- STAIR AND ELEVATOR EXCLUSIONS
- LAVATORY EXCLUSION (50 SF MAX PER LAVATORY)
- BASEMENT EXCLUSION

ZONING FLOOR AREA

LOT AREA (SF)	8,014
ALLOWED F.A.R. (ZONE CL)	0.50
ALLOWED FLOOR AREA (ZONE CL)	4,007

EXISTING FLOOR AREA (SF)

BASEMENT	2,378
FIRST FLOOR	6,171
EXTERIOR COVERED AREA @ GRADE	570
SECOND FLOOR	3,308
BASEMENT EXCLUSION	-2,378
STAIR/ELEVATOR EXCLUSIONS	-627
LAVATORY EXCLUSIONS	-223
TOTAL (EXISTING)	9,199
EXISTING F.A.R. (9,199 / 8,014)	1.15

KULINSKI GROUP ARCHITECTS, INC. RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS, INC.



PIZZANO CONTRACTORS - PROPOSED ADDITION
 1019 CAMDEN ST. ALEXANDRIA, VA 22314
EXISTING F.A.R. DIAGRAMS

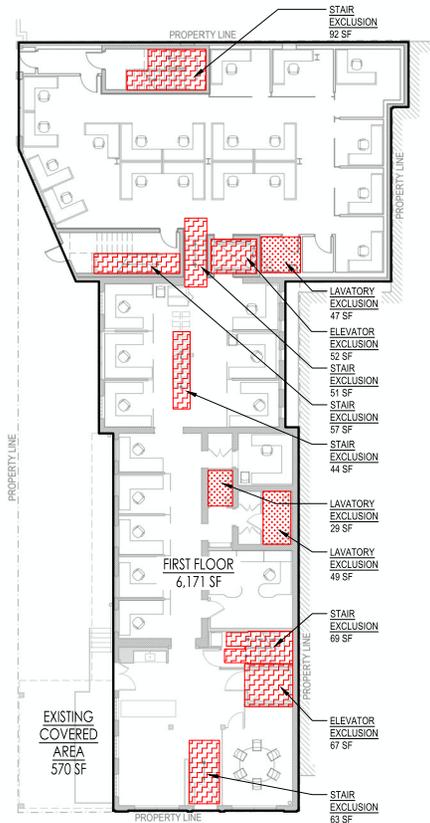


REVISIONS

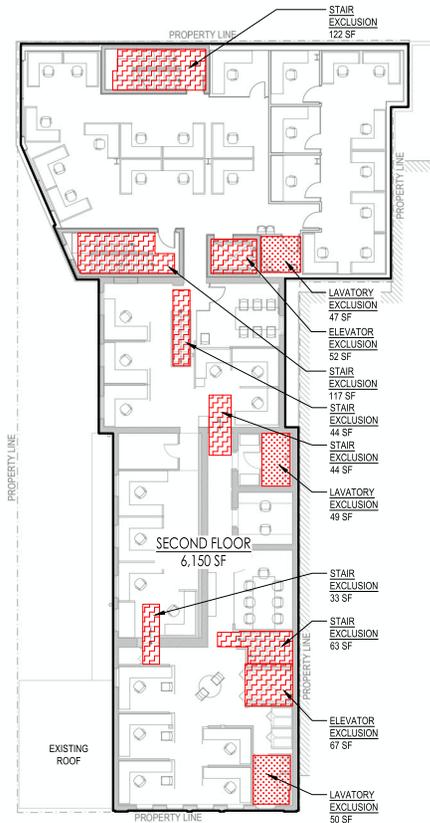
PROJECT NUMBER	2542
DATE	2/14/2026
SCALE	AS NOTED
DRAWN	K&A
DESIGNED	K&A
APPROVED	

SHEET NUMBER
Z1
 2542-PLAN

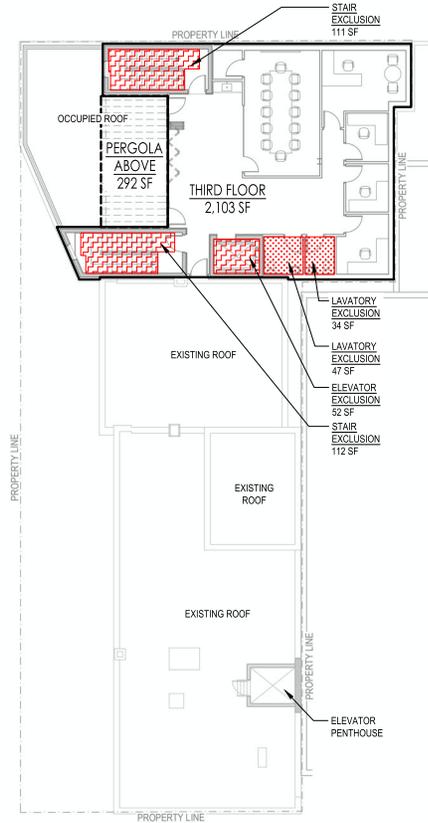
CITY OF ALEXANDRIA - BOARD OF ARCHITECTURE REVIEW
PARKER-GRAY HISTORIC DISTRICT - CONCEPT PLAN SUBMITTAL



1
PROPOSED FIRST FLOOR F.A.R. DIAGRAM
SCALE: 1/8" = 1'-0"



2
PROPOSED SECOND FLOOR F.A.R. DIAGRAM
SCALE: 1/8" = 1'-0"



3
PROPOSED THIRD FLOOR F.A.R. DIAGRAM
SCALE: 1/8" = 1'-0"

F.A.R. DIAGRAM KEY

- STAIR AND ELEVATOR EXCLUSIONS
- LAVATORY EXCLUSION (50 SF MAX PER LAVATORY)
- BASEMENT EXCLUSION (NOT SHOWN)

ZONING FLOOR AREA

LOT AREA (SF)	8,014
ALLOWED F.A.R. (ZONE CL)	0.50
ALLOWED FLOOR AREA (ZONE CL)	4,007
ALLOWED F.A.R. (ZONE CD)	1.50
ALLOWED FLOOR AREA (ZONE CD)	12,021
ALLOWED F.A.R. (ZONE CD) W/ S.U.P.	UP TO 2.50
ALLOWED FLOOR AREA (ZONE CD) W/ S.U.P.	UP TO 20,035

PROPOSED FLOOR AREA (SF)

BASEMENT (NOT SHOWN)	2,378
FIRST FLOOR	6,171
EXTERIOR COVERED AREA @ GRADE	570
SECOND FLOOR	6,150
THIRD FLOOR	2,103
THIRD FLOOR ROOF PERGOLA	292
BASEMENT EXCLUSION (NOT SHOWN)	-2,378
STAIR/ELEVATOR EXCLUSIONS	-1,312
LAVATORY EXCLUSIONS	-352
TOTAL (PROPOSED)	13,622
PROPOSED F.A.R. (13,622 / 8,014)	1.70

ADDITIONAL FLOOR AREA (SF)

EXISTING FLOOR AREA	9,199
PROPOSED FLOOR AREA	13,622
ADDITIONAL FLOOR AREA (13,622 - 9,199)	4,423

PIZZANO CONTRACTORS - PROPOSED ADDITION
 1019 CAMDEN ST. ALEXANDRIA, VA 22314
 PROPOSED F.A.R. DIAGRAMS

KULINSKI GROUP ARCHITECTS LLC
 KULINSKIGROUP.COM | 703.834.7243

KULINSKI GROUP ARCHITECTS RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS.

REVISIONS
 PROJECT NUMBER 25-42
 DATE 2/14/2026
 SCALE AS NOTED
 DRAWN K&A
 DESIGNED K&A
 APPROVED
 SHEET NUMBER Z2
 25-42-PLAN

CITY OF ALEXANDRIA - BOARD OF ARCHITECTURE REVIEW
 PARKER-GRAY HISTORIC DISTRICT - CONCEPT PLAN SUBMITTAL



VIEW #1 OF EXISTING



VIEW #1 OF PROPOSED



VIEW #2 OF EXISTING



VIEW #2 OF PROPOSED



VIEW #3 OF EXISTING



VIEW #3 OF PROPOSED



PIZZANO CONTRACTORS - PROPOSED ADDITION
 1019 CAMERON ST. ALEXANDRIA, VA 22314

PERSPECTIVE VIEWS



REVISIONS	

PROJECT NUMBER	2542
DATE	2/14/2026
SCALE	AS NOTED
DRAWN	DESIGNED
K&A	APPROVED

SHEET NUMBER
A1

2542-PLAN

©2026 KULINSKI GROUP ARCHITECTS EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS

CITY OF ALEXANDRIA - BOARD OF ARCHITECTURE REVIEW
 PARKER-GRAY HISTORIC DISTRICT - CONCEPT PLAN SUBMITTAL



1 VIEW FROM HENRY ST. LOOKING EAST
 A1.2 SCALE: 1/8" = 1'-0"



2 VIEW FROM HENRY ST. LOOKING SOUTH
 A1.2 SCALE: 1/8" = 1'-0"



3 VIEW FROM HENRY ST. LOOKING NORTH
 A1.2 SCALE: 1/8" = 1'-0"



4 VIEW FROM CAMERON ST. LOOKING WEST
 A1.2 SCALE: 1/8" = 1'-0"



N
 KEY PLAN
 NOT TO SCALE



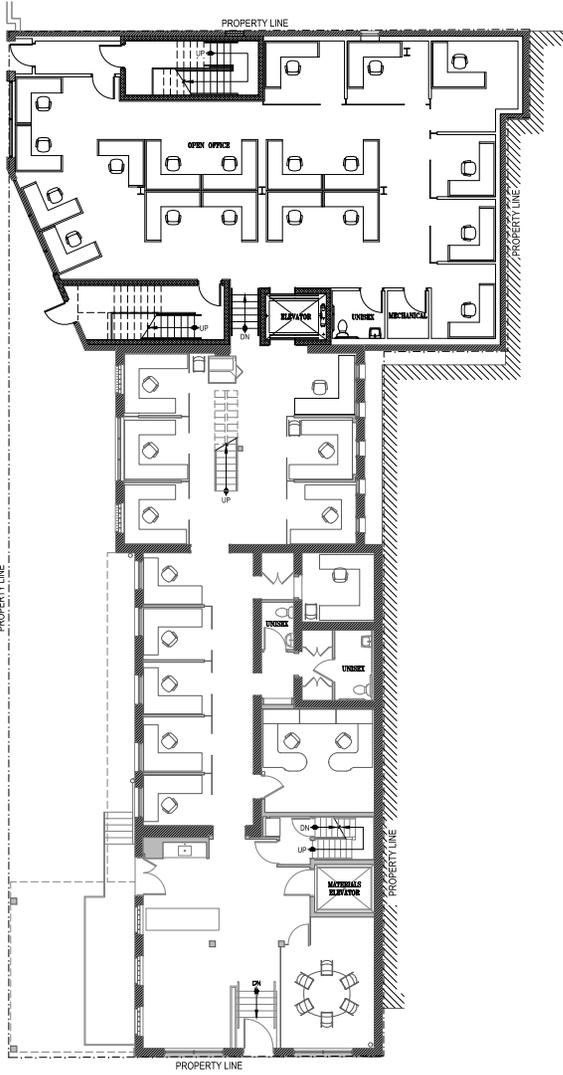
REVISIONS	

PROJECT NUMBER	2542
DATE	2/4/2026
SCALE	AS NOTED
DRAWN	K&A
DESIGNED	
APPROVED	

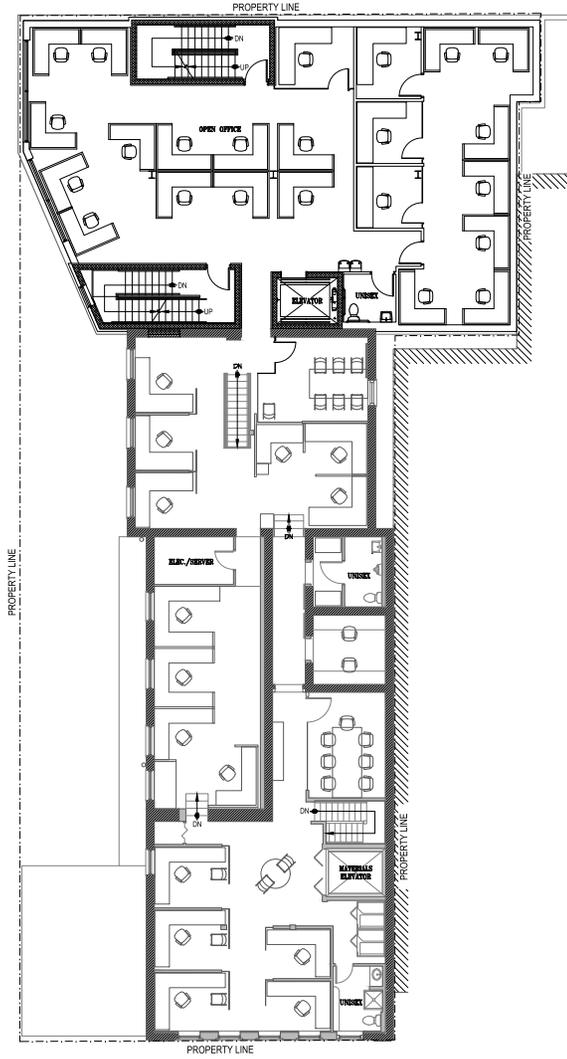
SHEET NUMBER	A1.2
	2542-PLAN

©2026 KULINSKI GROUP ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS.

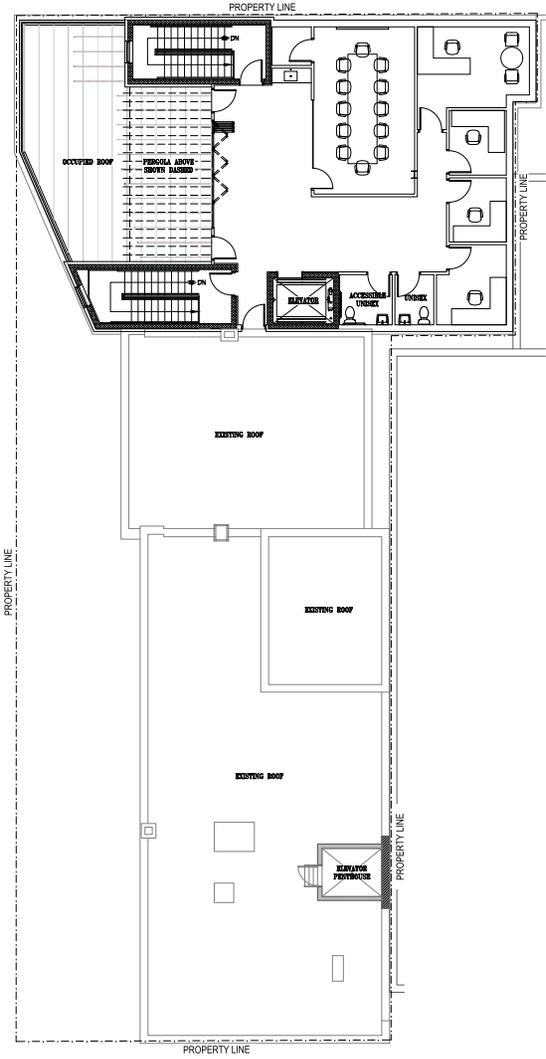
CITY OF ALEXANDRIA - BOARD OF ARCHITECTURE REVIEW
 PARKER-GRAY HISTORIC DISTRICT - CONCEPT PLAN SUBMITTAL



1 PROPOSED FIRST FLOOR PLAN
 A2 SCALE: 1/8" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
 A2 SCALE: 1/8" = 1'-0"



3 PROPOSED THIRD FLOOR / ROOF PLAN
 A2 SCALE: 1/8" = 1'-0"

KULINSKI GROUP ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR WATER MARKS, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS.

KULINSKI
GROUP ARCHITECTS LLC
KULINSKIGROUP.COM | 703.834.7243

PIZZANO CONTRACTORS - PROPOSED ADDITION
 1019 CAMERON ST., ALEXANDRIA, VA 22314

PROPOSED FLOOR PLANS

REVISIONS	

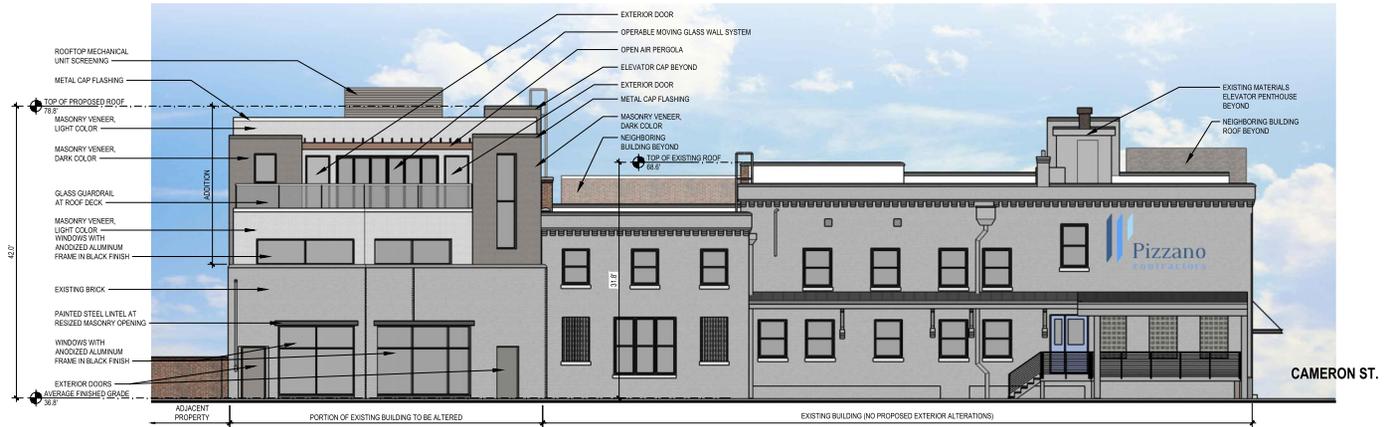
PROJECT NUMBER	25-42
DATE	2/14/2026
SCALE	AS NOTED
DRAWN	K&A
DESIGNED	K&A
APPROVED	

SHEET NUMBER	A2
	25-42-PLAN

CITY OF ALEXANDRIA - BOARD OF ARCHITECTURE REVIEW
 PARKER-GRAY HISTORIC DISTRICT - CONCEPT PLAN SUBMITTAL



1 WEST BUILDING ELEVATION (EXISTING)
 SCALE: 1/8" = 1'-0"



2 WEST BUILDING ELEVATION (PROPOSED)
 SCALE: 1/8" = 1'-0"



REVISIONS	

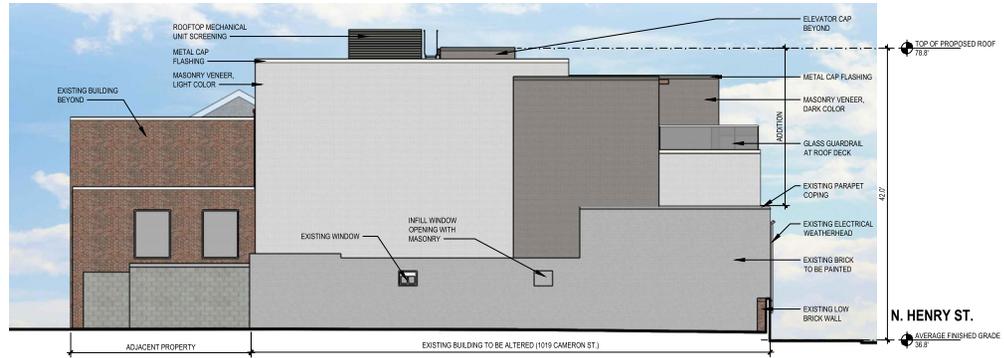
PROJECT NUMBER	25-42
DATE	2/14/2026
SCALE	AS NOTED
DRAWN	K&A
DESIGNED	K&A
APPROVED	

©2026 KULINSKI GROUP ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS.

CITY OF ALEXANDRIA - BOARD OF ARCHITECTURE REVIEW
 PARKER-GRAY HISTORIC DISTRICT - CONCEPT PLAN SUBMITTAL



1 NORTH BUILDING ELEVATION (EXISTING)
 A4 SCALE: 1/8" = 1'-0"



2 NORTH BUILDING ELEVATION (PROPOSED)
 A4 SCALE: 1/8" = 1'-0"

©2026 KULINSKI GROUP ARCHITECTS. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF KULINSKI GROUP ARCHITECTS. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS.



PIZZANO CONTRACTORS - PROPOSED ADDITION
 1019 CAMERON ST. ALEXANDRIA, VA 22314



REVISIONS

PROJECT NUMBER	25-42	
DATE	2/14/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
K&A	K&A	

SHEET NUMBER
A4
 25-42-010

CITY OF ALEXANDRIA - BOARD OF ARCHITECTURE REVIEW
 PARKER-GRAY HISTORIC DISTRICT - CONCEPT PLAN SUBMITTAL



1 SOUTH BUILDING ELEVATION (EXISTING)
 SCALE: 1/8" = 1'-0"



2 SOUTH BUILDING ELEVATION (PROPOSED)
 SCALE: 1/8" = 1'-0"

2024 © KULINSKI GROUP ARCHITECTS. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF KULINSKI GROUP ARCHITECTS AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS.



PIZZANO CONTRACTORS - PROPOSED ADDITION
 1018 CAMERON ST. ALEXANDRIA, VA 22314
SOUTH BUILDING ELEVATIONS



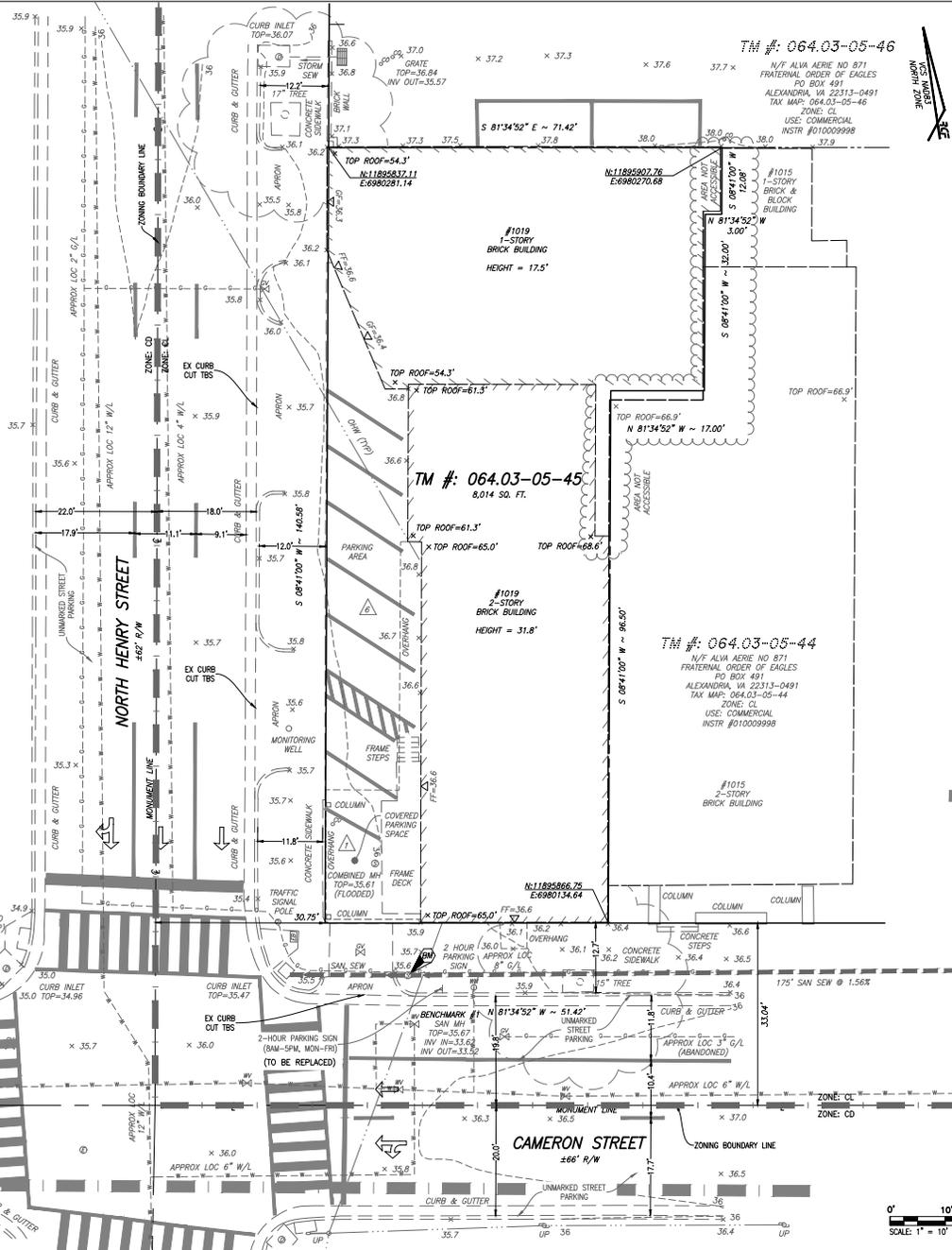
REVISIONS

PROJECT NUMBER	25-42	
DATE	2/14/2026	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
K&A	K&A	

SHEET NUMBER
A6
 25-42-01/01

ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
AIR CONDITIONING UNIT		
UTILITY POLE		
FIRE DEPARTMENT CONNECTION		
STORM STRUCTURE IDENTIFIER		
STORM MANHOLE		
STORM SEWER LAYOUT		
SANITARY STRUCTURE IDENTIFIER		
SANITARY MANHOLE		
SANITARY SEWER LAYOUT		
SIDEWALK		
SIEN		
SIEN (DOUBLE POST)		
GAS VALVE		
GAS LINE		
GAS METER		
IRRIGATION VALVE		
BOLLARD		
CLEANOUT		
WELL		
WATERLINE		
WATER VALVE		
WATER METER		
TRANSFORMER		
ELECTRIC MANHOLE		
ELECTRIC METER		
ELEC. BOX/STRUCTURE		
ELECTRIC LINE		
TELECOMMUNICATION LINE		
CABLE LINE		
CABLE/ELECTRIC/TELECOMMUNICATION LINE		
TELECOMMUNICATION MANHOLE		
TELECOMMUNICATION STRUCTURE		
OVERHEAD STREET LIGHT		
LIGHT POLE		
LANDSCAPE LIGHT		
FENCES		
GRADING SPOT		
GRADING CONTOUR		
BUILDING ENTRANCE		
PAVING		
GUARDRAIL		
CURB AND GUTTER		
PROPOSED SPILL CURB		
PROPOSED TRANSITION/NOSE DOWN CURB		
LIMITS OF DISTURBANCE		
ZONING BOUNDARY LINE		

EXISTING TREE TABLE:
 1) 15" TREE
 2) 17" TREE

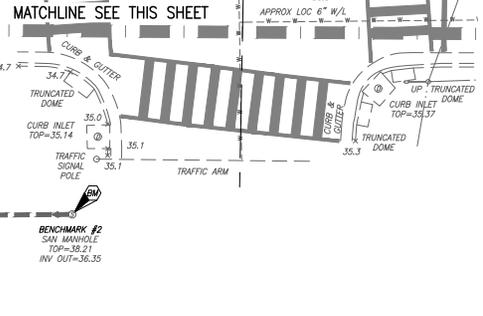


GENERAL NOTES:

- TAX MAP: #064.03-05-45
- ZONE: CL
- OWNER: CAROLYN T PIZZANO TR 1019 CAMERON STREET ALEXANDRIA, VA 22314 DB. 1615, PG. 1022
- APPLICANT: ROBERT T. PIZZANO CONTRACTORS, INC. 0/9/VA PIZZANO CONTRACTORS
- TOPOGRAPHIC SURVEY WAS FIELD RUN BY THIS FIRM. VERTICAL DATUM = NAVD '88 PER FIELD GPS DATA CONTRACTORS TO THE RTK NETWORK LEICA, SMARTNET.
- A TITLE REPORT WAS NOT FURNISHED, THIS ALL EASEMENTS MAY NOT BE SHOWN.
- PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- TOTAL SITE AREA = 8,014 SQ. FT. OR 0.1840 ACRES
- TOTAL NUMBER OF EXISTING PARKING SPACES: 7 COMPACT 7 TOTAL SPACES
- THERE ARE NO RESOURCE PROTECTION AREAS (RPAs), TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, OR BUFFER AREAS FOR SHORES, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.
- THERE ARE CURRENTLY NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS, OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
- THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM.
- THE SITE DOES NOT CONTAIN AREAS PREVIOUSLY MAP AS MARINE CLAYS.

TEXT LEGEND:

° = DEGREES	EX = EXISTING	EVE = EMERGENCY VEHICLE EASEMENT	PG = PAGE
' = FEET	FDC = FIRE DEPT. CONNECTION	EX = EXISTING	PP = POWER POLE
" = INCHES	FF = FINISH FLOOR	FDC = FIRE DEPT. CONNECTION	PROP = PROPOSED
% = PERCENT	FH = FIRE HYDRANT	FF = FINISH FLOOR	PPC = POLYVINYL CHLORIDE
# = NUMBER	FT = FEET	FH = FIRE HYDRANT	R = RADIUS
0 = AT	GI = GROUND INLET	FT = FEET	ROP = REINFORCED CONCRETE PIPE
Re = ROUNDS	G/L = GAS LINE	GI = GROUND INLET	RELIC = RELICATED
A = ARC	G/S = GAS SERVICE	GI = GROUND INLET	RET = RETAINING
AC = ACRE	GV = GAS VALVE	GI = GROUND INLET	RESO = RESIDENTIAL
ADM = AMERICANS W/ DISABILITIES ACT	GUT = GUT WIRE	GV = GAS VALVE	REQD = REQUIRED
APPROX = APPROXIMATE	HC = HEADER CURB	HC = HEADER CURB	ROW = RIGHT-OF-WAY
BC = BOTTOM OF CURB	HDP = HANDICAP	HC = HEADER CURB	SAN = SANITARY
BF = BASEMENT FLOOR	HPD = HIGH DENSITY POLYETHYLENE	HDP = HANDICAP	SEW = SEWER
BFE = BASE FLOOD ELEVATION	HP = HIGH POINT	HPD = HIGH DENSITY POLYETHYLENE	SF = SQUARE FEET
BUDG = BUDGET	HPS = HIGH PRESSURE SODIUM	HP = HIGH POINT	SO FT = SQUARE FOOT
BM = BENCHMARK	IRP = IRON PIPE FOUND	HPS = HIGH PRESSURE SODIUM	STM = STORM
BSMT = BASEMENT	IRF = IRON ROD FOUND	IRP = IRON PIPE FOUND	STR = STRUCTURE
BOL = BOLLARD	INTX = INTERSECTION	IRF = IRON ROD FOUND	SW = SIDEWALK
BR = BOTTOM OF WALL	INTX = INTERSECTION	INTX = INTERSECTION	TER = TO BE REMOVED
CAVY = CABLE UTILITY	INTX = INTERSECTION	INTX = INTERSECTION	TSS = TO BE SAVED
CL = CLASS	INTX = INTERSECTION	INTX = INTERSECTION	TM = TAX MAP
C/L = CENTERLINE	INTX = INTERSECTION	INTX = INTERSECTION	TMH = TELEPHONE MANHOLE
CLP = CLEARANCE	INTX = INTERSECTION	INTX = INTERSECTION	TOC = TOP OF CURB
CLF = CHAIN LINK FENCE	INTX = INTERSECTION	INTX = INTERSECTION	TM = TOP OF WALL
CMF = CORRUGATED METAL PIPE	INTX = INTERSECTION	INTX = INTERSECTION	TRAF SIG = TRAFFIC SIGNAL
CI = CURB INLET	INTX = INTERSECTION	INTX = INTERSECTION	TYP = TYPICAL
CO = CLEAN OUT	INTX = INTERSECTION	INTX = INTERSECTION	USE = UNDERGROUND ELECTRIC
CONC = CONCRETE	INTX = INTERSECTION	INTX = INTERSECTION	UP = UTILITY POLE
CAG = CURB & GUTTER	INTX = INTERSECTION	INTX = INTERSECTION	VCS = VIRGINIA COORDINATE SYSTEM
COV = COVER	INTX = INTERSECTION	INTX = INTERSECTION	VPO = VEHICLES PER DAY
DB = DEED BOOK	INTX = INTERSECTION	INTX = INTERSECTION	W = WEST
DHF = DRILL HOLE FOUND	INTX = INTERSECTION	INTX = INTERSECTION	WA = WATER LINE
DIP = DUCTILE IRON PIPE	INTX = INTERSECTION	INTX = INTERSECTION	WM = WATER METER
DOM = DOMESTIC	INTX = INTERSECTION	INTX = INTERSECTION	WWS = WATER SERVICE
DU = DWELING UNIT	INTX = INTERSECTION	INTX = INTERSECTION	WSE = WATER SURFACE ELEVATION
E = EAST	INTX = INTERSECTION	INTX = INTERSECTION	WV = WATER VALVE
EBOX = ELECTRICAL BOX	INTX = INTERSECTION	INTX = INTERSECTION	WV = WINDOW WELL
ESMT = EASEMENT	INTX = INTERSECTION	INTX = INTERSECTION	XING = CROSSING
EP = EDGE OF PAVEMENT	INTX = INTERSECTION	INTX = INTERSECTION	



TOPOGRAPHY NOTE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF W.M. DE SUTTER, LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON AUGUST 28, 2025; AND THIS PLAN, MAP OR DIGITAL, GEOSPATIAL, DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

© 2028 R.C. FIELDS & ASSOCIATES, INC.

625 N. WASHINGTON ST
 250
 ALEXANDRIA, VA 22304
 703.548.6422
 WWW.CTFASOC.COM



HEALTH OF VA
 V. 5010-1-1
 JANUARY 8, 2026
 PROFESSIONAL SEAL

PRELIMINARY DEVELOPMENT PLAN
 ON THE PROPERTY LOCATED AT
 1019 CAMERON STREET
 (DEED BOOK 1615, PAGE 1022)
 CITY OF ALEXANDRIA, VIRGINIA

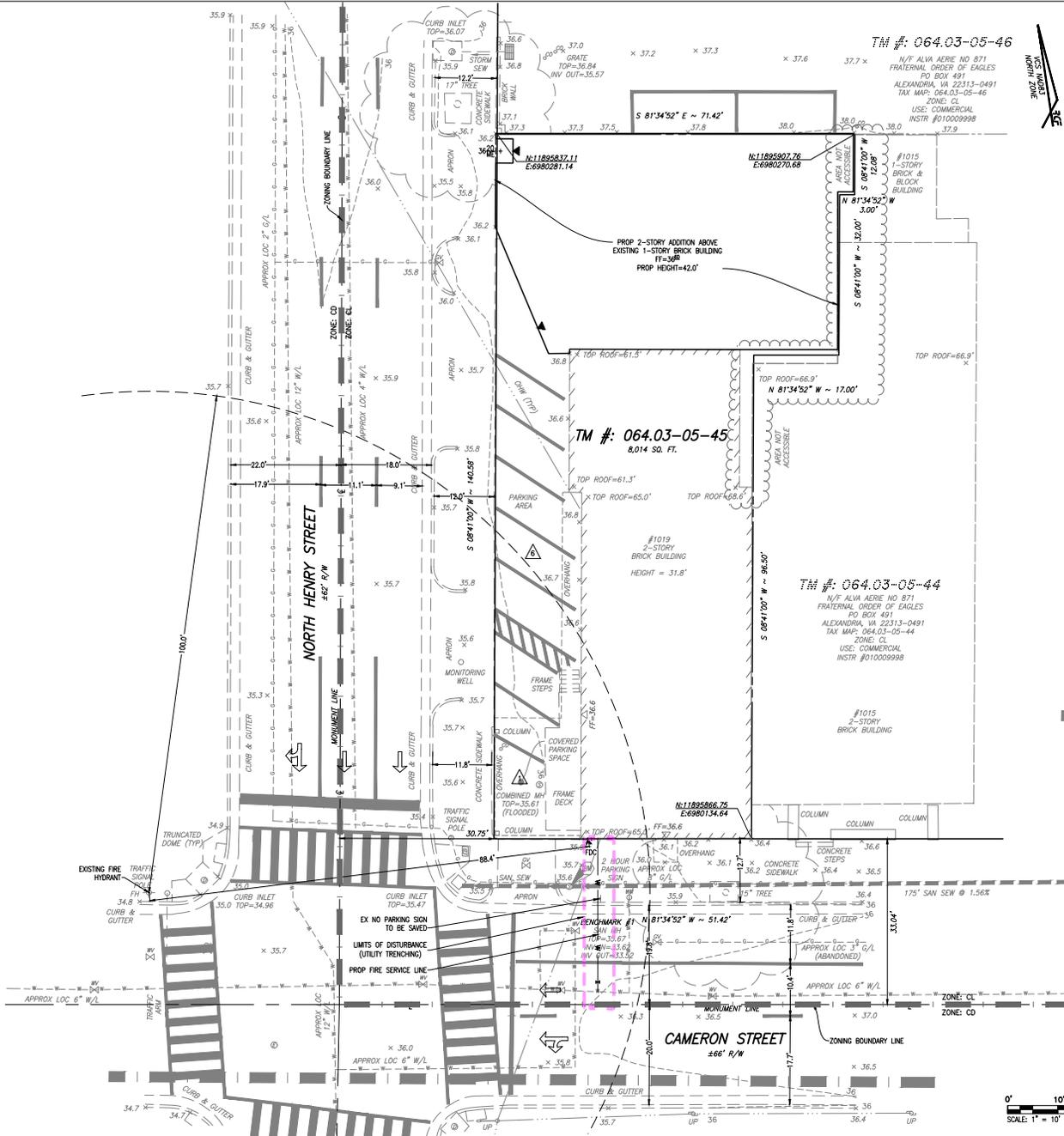
DATE	REVISION

DESIGN: RTB
 CHECKED: DM
 SCALE: 1" = 10'
 DATE: JAN, 2026

EXISTING CONDITIONS

SHEET 2 OF 3
 FILE: 25-168

DATE PLOTTED: 01/25/2024 10:58:45 AM PLOT FILE: R:\PROJECTS\2024\064.03-05-46\064.03-05-46.dwg PLOT SCALE: 1"=10'



GENERAL PLAN INFORMATION NOTE:
SEE PROJECT GENERAL NOTES ON SHEET 2.

ARCHAEOLOGY NOTES:
CALL ALEXANDRIA ARCHAEOLOGY (703/746-4399) TWO (2) WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED. THE LANGUAGE NOTED ABOVE SHALL BE INCLUDED ON ALL FINAL SITE PLAN SHEETS INVOLVING ANY GROUND DISTURBING ACTIVITIES.

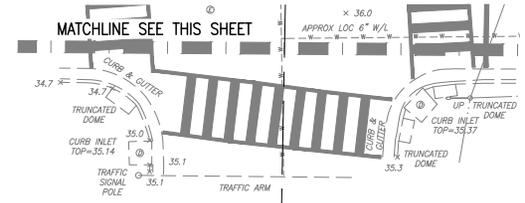
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

SANITARY SEWER OUTFALL NARRATIVE:
THE EXISTING USES (OFFICE/COMMERCIAL WAREHOUSE) PRODUCES AN AVERAGE DAILY FLOW OF APPROXIMATELY 9,942 GALLONS PER DAY [2,000 GPD/1,000 SF] X 12,427 SF X 4.0 PEAK FLOW FACTOR]. THE PROPOSED USE (OFFICE) IMPROVEMENTS PRODUCE AN AVERAGE DAILY FLOW OF APPROXIMATELY 14,131 GALLONS PER DAY [2,000 GPD/1,000 SF] X 17,864 SF X 4.0 PEAK FLOW FACTOR]. THEREFORE, SINCE THE INCREASE IN PEAK SANITARY FLOW IS LESS THAN 10,000 GPD, A SANITARY SEWER ADEQUATE OUTFALL ANALYSIS IS NOT REQUIRED.

ALEXARENEW NOTES:
1. CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.
2. CELEBRATING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXARENEW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXARENEW'S PRETREATMENT COORDINATOR AT 703-721-3500 X2020.

UTILITIES NOTE:
THE PROPOSED BUILDING ADDITION WILL UTILIZE THE EXISTING SANITARY LATERAL AND DOMESTIC SERVICE LINE, AND A NEW FIRE LINE. THE FIRE SERVICE LINE WILL CONNECT INTO THE EXISTING WATER MAIN ALONG CAMERON STREET.



THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.
© 2024 R.C. FIELDS & ASSOCIATES, INC.

625 N. WASHINGTON ST
SUITE 250
ALEXANDRIA, VA 22304
703.549.6422
WWW.RCFIELDSONLINE.COM



PRELIMINARY DEVELOPMENT PLAN
ON THE PROPERTY LOCATED AT
1019 CAMERON STREET
(DEED BOOK 1615, PAGE 1022)
(1019 CAMERON STREET)
CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION

DESIGN: RTB
CHECKED: DM
SCALE: 1" = 10'
DATE: JAN, 2026

PROPOSED CONDITIONS

SHEET 3 OF 3
FILE: 25-168