

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and additions

APPLICANT: HTC Property Management LLC

LOCATION: Old and Historic Alexandria District
Address 1404 King Street

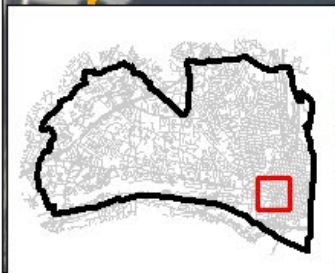
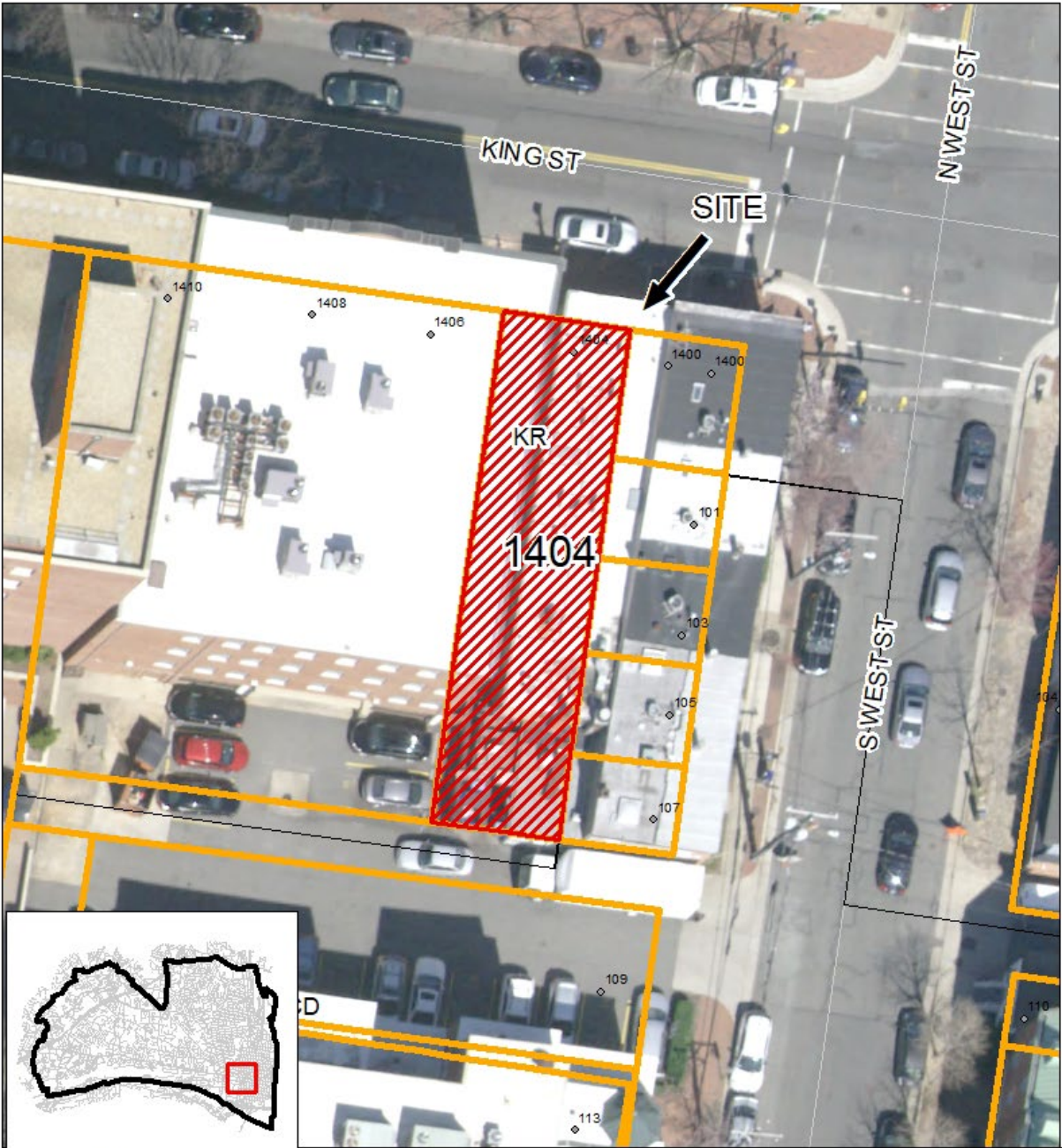
ZONE: KR/King Street urban retail zone

STAFF RECOMMENDATION

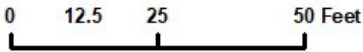
Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and additions, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR#2024-00112 & BAR#2024-00118
1404 King Street



Note: Staff coupled the applications for a Permit to Demolish (BAR #2024-00118) and Certificate of Appropriateness (BAR #2024-00112) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a handicap access elevator and a second story addition to the west elevation, and a roof deck, egress stair, and one-story enclosure to the south elevation. New rooftop HVAC and associated screening will be added near the west and south elevations as well. The applicant proposes various repairs to the primary/north elevation, including repairing and repainting the metal railings at the entry, repairing the planters and steps, and repairing/replacing and painting the windows and wood fascia boards. All roofing will be replaced as part of the project.

Permit to Demolish/Capsulate

- Remove the existing brick chimney, a window, and part of a wall on the rear/south elevation
- Remove the shed roof of a one-story CMU addition at the rear of the south elevation
- Replace the existing chain link fence
- Encapsulate approximately 27'5" x 9'4" of the second story wall of the west elevation for a new addition
- Encapsulate approximately 7' x 19'9" of wall and remove a window on the west elevation for an elevator
- Replace all roofing
- Add a 24' x 4' skylight to west elevation roof level

Certificate of Appropriateness

Addition

- 27'5" long addition to second floor of west elevation
- Exit stair at south elevation appended to new addition
- One-story enclosure on west elevation at base of new stair and adjacent to existing one-story addition
- LULA elevator and associated 7'1/4" wide CMU shaft to west elevation
- Stair enclosure to west and south elevations
- Roof deck on second level of south elevation, above new one-story enclosure and existing CMU rear addition

Alterations

- New 42" high metal guardrails to west and south elevations
- New storefront door to second floor of south elevation
- New TPO roofing throughout
- Linear skylight to roof level of west elevation
- Beer cooler on west elevation will be replaced, but is not visible from a public right of way
- Existing gutters and downspouts to be replaced
- Front/north windows and metal railings to be repaired and painted

- Front/north brick planters and steps to be repaired
- Brick walk on west elevation to be repaired
- Chain link fence and gate on south elevation to be replaced
- Window at second floor of south elevation to be repaired and painted

Site context

The alley immediately south of the private parking lot behind the subject property, has undetermined ownership. The alterations to the rear/south of the property will be visible from South West Street. The alterations to the west elevation of the property will be visible from King Street. All of the alterations will be visible from the alley.

II. HISTORY

Permit #2091 was issued on September 17, 1964 for the construction of a “brick and cinder block building to be occupied as retail merchant mail order house.” Historic maps and aerial photographs support this construction date. The first sign permit, #4030, was issued in 1967 for a dry cleaning business. In 1980, permits indicate that the building was converted for restaurant use by Hard Times Café. Permit #0248, issued on September 23, 1981, authorized a one-story rear addition to be used for office space.

Previous BAR Approvals

BAR88-201	12/21/1988	Approval of a walk-in refrigerator and fence.
BAR2005-0065	05/18/2005	Approval of alterations
BAR93-101	06/16/1993	Approval of alterations to the front façade and installation of a display case for Hard Times Café.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No

(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall areas proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

Certificate of Appropriateness

The *Design Guidelines* state that “The Boards(sic) generally prefer addition designs that are respective of the existing structure and which seek to be background statements...” The proposed additions to the existing structure clearly fulfill this guideline. The changes are respectful of the building and, in addition, they upgrade and improve its appearance. All new construction on the west elevation will have a cement plaster finish to match the existing and will be minimally visible from King Street. Much of the construction on the west elevation is to enable better access for those with disabilities. The *Design Guidelines* urge the Board to “...recognize the importance of balancing accessibility with historic preservation objectives.” Adding accessible facilities and a LULA elevator to the site’s west side enables the applicant to discreetly add these important elements to the building. The rooftop HVAC screening, visible from King Street, will also be unobtrusive and painted to match the cement finish to further blend it into the building. See Figures 1 and 2.

The addition to the rear/south elevation will greatly improve the appearance of that side of the building. See Figures 3 and 4. The one-story addition will match the one-story addition that was built in 1981 and the proposed roof deck above will give the rear elevation a cohesive appearance. This roof deck will be wood with 42” metal guardrails. The guardrails will match those added to the west elevation. The materials for the new roof, roof deck, guardrails, doors, and exterior cladding all comply with the *Design Guidelines*.



Figure 1: Existing north elevation



Figure 2: Proposed north elevation



Figure 3: Existing south elevation



Figure 4: Proposed south elevation

Staff therefore recommends approval of the project.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed addition and roof top deck will comply with zoning.

Code Administration

C-1 A building permit is required.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant

must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 No Archaeology comments

V. ATTACHMENTS

1 – Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat
- Photographs

2 – Supplemental Materials

- Letters/emails if applicable
- Any other supporting documentation

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 1404 King Street, Alexandria, VA

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 064.03-12-13 ZONING: KR

APPLICATION FOR: (Please check all that apply)

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: Richard Kelly / HTC Property Management

Address: 1404 King Street

City: Alexandria State: VA Zip: 22314

Phone: 703-622-4260 E-mail: richkellyhtc@gmail.com

Authorized Agent (if applicable): Attorney Architect _____

Name: L. Temple Washington

Phone: 202-290-7942

E-mail: temple.washington@whapc.com

Legal Property Owner:

Name: HTC PROPERTY MANAGEMENT LLC

Address: 1404 King Street

City: Alexandria State: VA Zip: 22314

Phone: 703-622-4260 E-mail: richkellyhtc@gmail.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Addition of new 2-story handicapped access LULA elevator partially interior and partially exterior addition on west side (set back 45'+/- from King Street frontage. Addition at west side 2nd floor (to the rear of elevator addition) to provide new accessible restroom, office, and service station. Addition at west side (to the rear of the 2nd floor addition) to provide 2nd emergency exit from 2nd floor to public alley at rear of site. Removal of existing wood framed shed roof on existing 1-story CMU addition at rear of original structure and construction of new roof deck with railings at rear between new egress stair and existing adjacent structure. Replacement of existing rooftop mechanical equipment with new systems and providing new equipment guardrails where equipment is less than 10' from roof edge. Interior renovations to improve accessibility and replace or upgrade interior finishes, lighting, mechanical system, electrical systems, plumbing systems, furnishing, fixtures, etc.

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
 - Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
 - Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
 - Description of the reason for demolition/encapsulation.
 - Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR CASE# _____

(OFFICE USE ONLY)

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- Square feet of existing signs to remain: _____
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

.....

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: Temple Washington

Date: 3/18/24

Richard S Kelly
Richard S Kelly
MTC PROPERTY MGMT
OWNER/
MEMBER
LLC

BAR CASE# _____

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 1404 King Street, Alexandria, VA

DISTRICT: Old & Historic Alexandria Parker - Gray 100 Year Old Building

TAX MAP AND PARCEL: 064.03-12-13 ZONING: KR

APPLICATION FOR: *(Please check all that apply)*

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: Richard Kelly / HTC Property Management

Address: 1404 King Street

City: Alexandria State: VA Zip: 22314

Phone: 703-622-4260 E-mail: richkellyhtc@gmail.com

Authorized Agent *(if applicable)*: Attorney Architect _____

Name: L. Temple Washington

Phone: 202-290-7942

E-mail: temple.washington@whapc.com

Legal Property Owner:

Name: HTC PROPERTY MANAGEMENT LLC

Address: 1404 King Street

City: Alexandria State: VA Zip: 22314

Phone: 703-622-4260 E-mail: richkellyhtc@gmail.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Addition of new 2-story handicapped access LULA elevator partially interior and partially exterior addition on west side (set back 45'+/- from King Street frontage. Addition at west side 2nd floor (to the rear of elevator addition) to provide new accessible restroom, office, and service station. Addition at west side (to the rear of the 2nd floor addition) to provide 2nd emergency exit from 2nd floor to public alley at rear of site. Removal of existing wood framed shed roof on existing 1-story CMU addition at rear of original structure and construction of new roof deck with railings at rear between new egress stair and existing adjacent structure. Replacement of existing rooftop mechanical equipment with new systems and providing new equipment guardrails where equipment is less than 10' from roof edge. Interior renovations to improve accessibility and replace or upgrade interior finishes, lighting, mechanical system, electrical systems, plumbing systems, furnishing, fixtures, etc.

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
 - Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
 - Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
 - Description of the reason for demolition/encapsulation.
 - Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR CASE# _____

(OFFICE USE ONLY)

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Richard S Kelly
Printed Name: Richard S Kelly
Date: 3/21/24

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Richard Kelly	1701 S. ARL Ridge Rd ARL VA 22202	50%
2. Cindy L MacIntyre	1701 S. ARL Ridge Rd ARL VA 22202	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1404 King St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Richard S Kelly	1701 S. ARL Ridge Rd ARL VA 22202	50%
2. Cindy L MacIntyre	1701 S. ARL Ridge Rd ARL VA 22202	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Richard Kelly	NONE	NONE
2. Cindy MacIntyre	NONE	NONE
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3/18/24 Richard S Kelly 
Date Printed Name Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. Street Address KR Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. <input type="text" value="3,484.00"/> Sq. Ft. Existing Gross Floor Area*
First Floor	<input type="text" value="1,882.00"/>	Stairways**	<input type="text" value="157.00"/>	B2. <input type="text" value="157.00"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text" value="1,602.00"/>	Mechanical**	<input type="text"/>	B3. <input type="text" value="3,327.00"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Comments for Existing Gross Floor Area <div style="border: 1px solid gray; padding: 5px; min-height: 50px;"> Exclusion includes existing interior stair. For pro </div>
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. Total Gross	<input type="text" value="3,484.00"/>	B2. Total Exclusions	<input type="text" value="157.00"/>	

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text" value="273.00"/> Sq. Ft. Proposed Gross Floor Area*
First Floor	<input type="text" value="105.00"/>	Stairways**	<input type="text" value="257.00"/>	C2. <input type="text" value="257.00"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text" value="168.00"/>	Mechanical**	<input type="text"/>	C3. <input type="text" value="16.00"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Notes *Gross floor area is the sum of <u>all areas under roof of a lot</u> , measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings. ** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions. ***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. Total Gross	<input type="text" value="273.00"/>	C2. Total Exclusions	<input type="text" value="257.00"/>	

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space

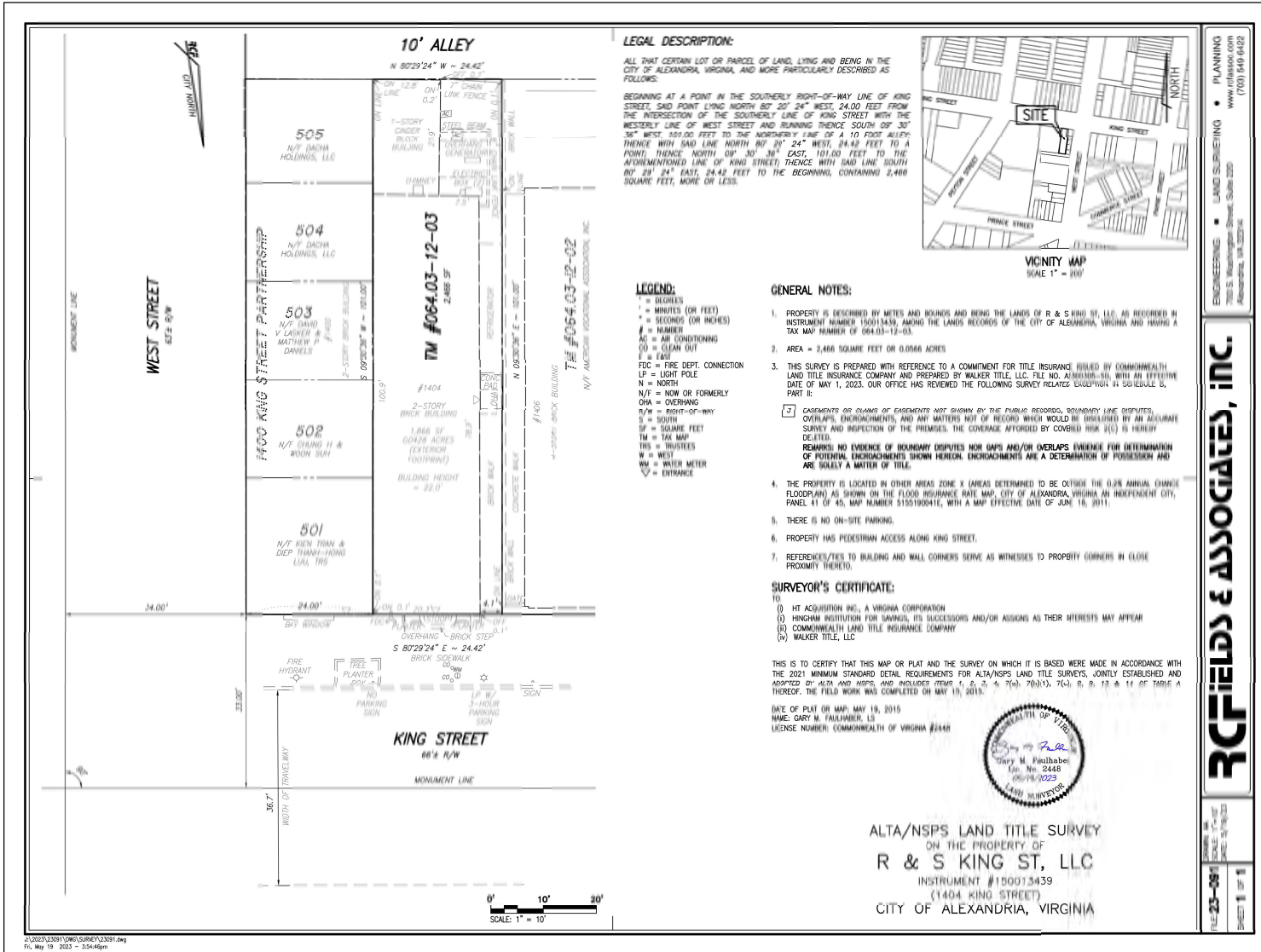
E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: 03/17/2024



THIS DRAWING AND CONTRACT ARE THE PROPERTY OF WALKER TITLE INSURANCE COMPANY AND SHALL BE RETURNED TO WALKER TITLE INSURANCE COMPANY UPON THE COMPLETION OF THE PROJECT. ANY REVISIONS TO THIS DRAWING SHALL BE MADE BY WALKER TITLE INSURANCE COMPANY.

HARD TIMES CAFE
1404 KING STREET
ALEXANDRIA, VA 22314
RICH KELLY
RICKELLYHTC@GMAIL.COM
703-622-4260

W H A
ARCHITECTURE AND PLANNING

1408 N. HILLMOORE ST., SUITE 9 ARLINGTON, VA 22201
PH: (703) 527-2227 FAX: (703) 527-9800

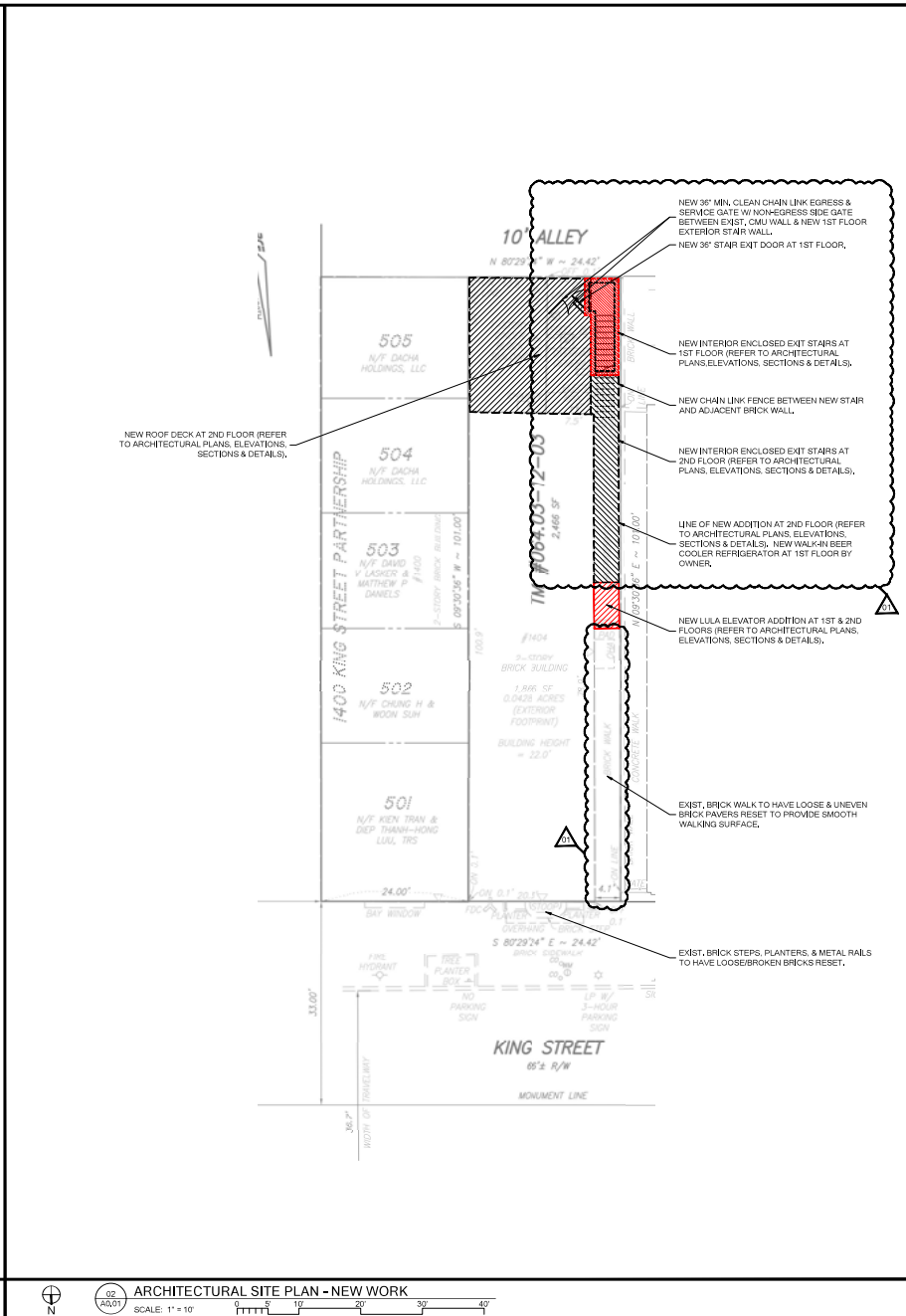
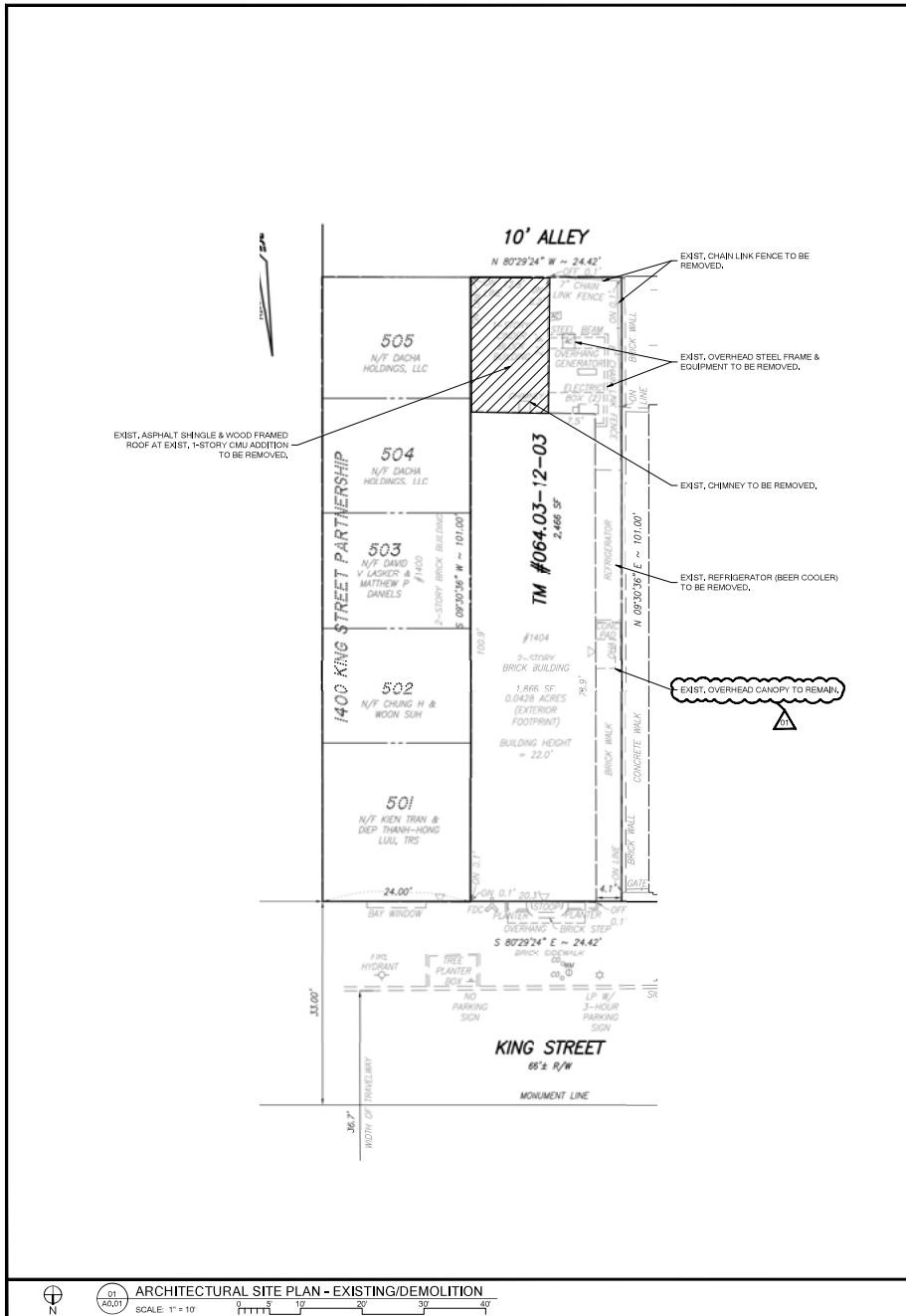
HARD TIMES CAFE
RENOVATIONS
1404 KING STREET
ALEXANDRIA, VA 22314

ARCHITECTURAL
SITE PLAN
EXISTING

PROJECT NO: 23013
DATE: 01/23/24
SHEET 1 OF 1

JAN 24, 2024 AS NOTED
SCALE: 1" = 10'

A0.01



THIS DRAWING IS A CONTRACT DOCUMENT AND THE PROPERTY OF WHP ARCHITECTURE & PLANNING, INC. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF WHP ARCHITECTURE & PLANNING, INC. IS STRICTLY PROHIBITED. ANY VIOLATION OF THESE TERMS SHALL BE SUBJECT TO LEGAL ACTION.

WHP ARCHITECTURE AND PLANNING
 1408 N. HALLMOORE ST., SUITE 9 ARLINGTON, VA 22201
 PH: (703) 527-2227 FAX: (703) 527-1989

HARD TIMES CAFE
 1404 KING STREET
 ALEXANDRIA, VA 22314

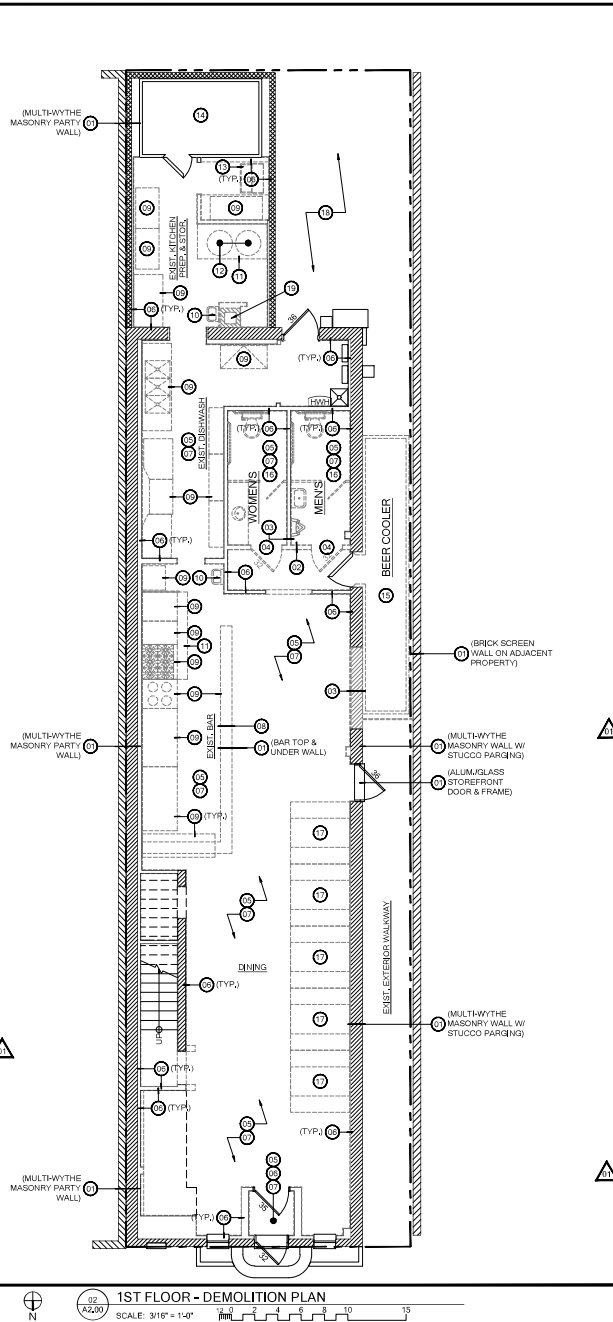
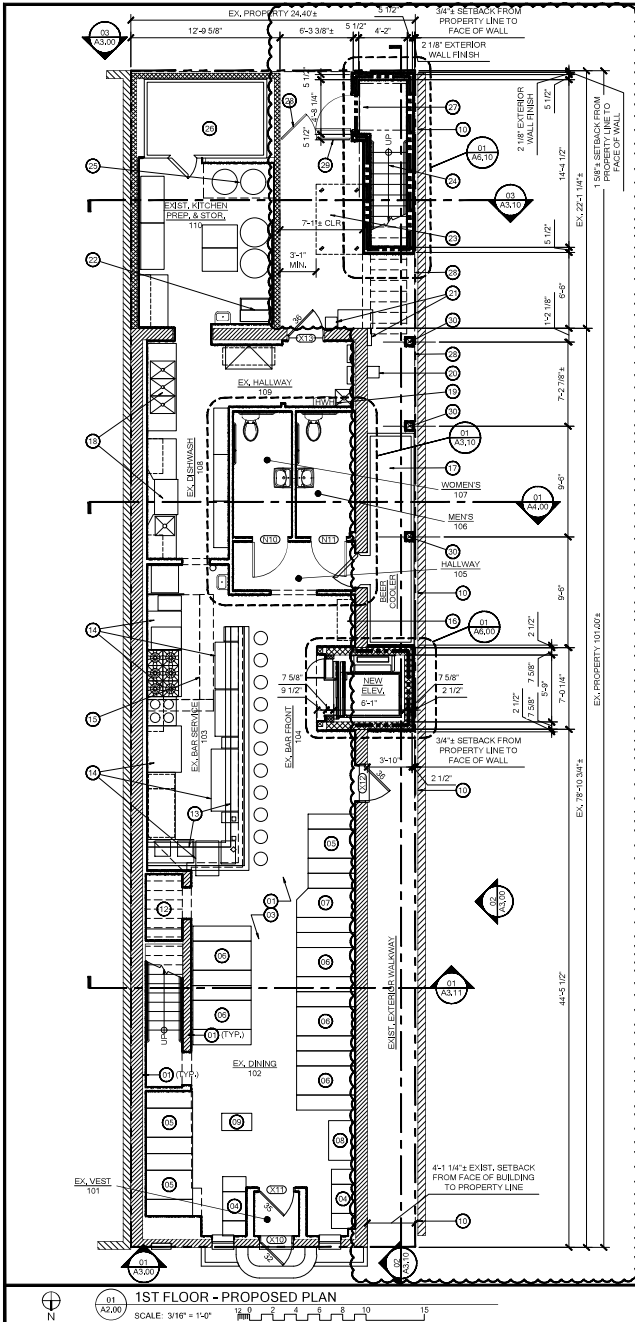
ARCHITECTURAL SITE PLANS DEMO & PROPOSED

23013

DATE: 01/08/2024 PROJECT: HISTORIC PRESERVATION SUBMITTA

JAN 24, 2024 AS NOTED

A0.01



- GENERAL NOTES:**
1. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC. SHALL COMPLY WITH REQUIREMENTS OF APPLICABLE CODES & STANDARDS AS A MINIMUM, STRICTER STANDARDS INDICATED ON THE DRAWINGS SHALL BE FOLLOWED.
 2. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC. SHALL COMPLY WITH APPLICABLE MANUFACTURER'S WRITTEN STANDARDS & RECOMMENDATIONS.
 3. EXISTING CONDITIONS SHOWN ARE BASED ON LIMITED NON-DESTRUCTIVE FIELD OBSERVATIONS & MEASUREMENTS, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING ALL DEVIATIONS FROM EXISTING CONDITIONS REPORTED TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
 4. UNLESS INDICATED FOR SALVAGE, REUSE, OR REINSTALLATION ALL MATERIALS INDICATED FOR DEMOLITION OR REMOVAL ARE TO BE LEGALLY DISPOSED OF OFF SITE.
 5. UNLESS INDICATED OTHERWISE ALL NEW NON-BEARING INTERIOR PARTITIONS TO BE 5/8\"/>

10. PRIOR TO REMOVING ANY PORTION OF EXIST. BEARING FLOORROOF FRAMING, TEMPORARY SUPPORTS SHALL BE LOCATED 36\"/>
- 11. EXISTING BRICK OR CMU MASONRY DISTURBED BY WORK OF THIS PROJECT SHALL BE TO MATCH EXISTING MATERIALS AND PATTERN, SALVAGE AND EXISTING BRICK MATERIALS FOR REUSE IN PATCHING, MORTAR USED TO REPAIR EXISTING BRICK MASONRY SHALL BE RESTORATION MORTAR HAVING SIMILAR PHYSICAL PROPERTIES AND PERFORMANCE TO EXISTING BRICK MORTAR, REPAIRS TO MASONRY CONSTRUCTION SHALL BE TOOTHED INTO EXISTING PATTERN TO UTILIZE FULL UNIT SIZES.
- 12. NEW ROOF, WATERPROOFING, AIR/WATER BARRIERS SHALL BE COMPLETE SYSTEMS FROM A SINGLE MANUFACTURER AND SHALL BE INSTALLED IN A MANNER AND DETAIL SO THAT THE MANUFACTURER'S MAXIMUM FULL MATERIALS, SYSTEM AND INSTALLATION ARE PROVIDED.

- PROPOSED KEY NOTES:**
1. NEW 5/8\"/>
 - 2. NEW WALL, 2x4 W/ STUDS @ 16\"/>
 - 3. NEW THIN SET TILE FLOOR OVER EXIST. CONC. SLAB
 - 4. NEW/REFURBISHED 2-SEAT BOOTH
 - 5. NEW/REFURBISHED 4-SEAT BOOTH
 - 6. NEW/REFURBISHED 6-SEAT BOOTH
 - 7. NEW/REFURBISHED 5-SEAT BOOTH
 - 8. RELOCATED JUKEBOX
 - 9. GREETING STATION
 - 10. EXIST. BRICK SCREEN WALL ON ADJACENT PROPERTY (N.I.C. NOT USED)
 - 11. EXIST. SERVERS STATION TO BE RENOVATED
 - 12. BAR TO REMAIN & BE REFURBISHED, NEW OVER BAR STORAGE
 - 13. KITCHEN & BAR EQUIP., TEMP. REMOVED, CLEANED & REFURBISHED OR REPLACED IN KIND (TYP.), SEE A8.00 FOR EQUIP. PLAN & SCHEDULE
 - 14. KITCHEN & BAR EQUIP., TEMP. REMOVED, CLEANED & REFURBISHED OR REPLACED IN KIND (TYP.), SEE A8.00 FOR EQUIP. PLAN & SCHEDULE
 - 15. NEW TYPE 1 KITCHEN HOOD, DUCTWORK, SUPPLY & EXHAUST TO BE ENGINEERED BY CAPTIVE AIRE & SUBMITTED AS DEFERRED SUBMITTAL.
 - 16. NEW DRAFT BEER CHILLER ABOVE HIGHCHAIR STORAGE ALCOVE
 - 17. NEW BEER COOLER TO REPLACE EXIST. UNDER SEPARATE CONTRACT BY OWNER/TENANT
 - 18. EXIST. DSHWASH EQUIP. TO BE TEMP. REMOVED, CLEANED & REFURBISHED OR REPLACED IN KIND (TYP.), SEE A8.00 FOR EQUIP. PLAN & SCHEDULE
 - 19. NEW WALL MOUNTED HWH ABOVE EXIST. SERVICE SINK
 - 20. EXIST. GAS METER
 - 21. EXIST. ELECTRICAL SERVICE EQUIP.
 - 22. RELOCATED ICE MAKER
 - 23. DUMPSTER RELOCATED 36\"/>
 - 24. NEW WOOD FRAMED EXIT STAR W/ 1 HOUR FIRE RATED ENCLOSURE
 - 25. RELOCATED KETTLES W/ NEW TYPE 2 HOOD W/ SIDE WALL DISCHARGE ENGINEERED BY CAPTIVE AIRE & SUBMITTED AS DEFERRED SUBMITTAL (RATED FLOORS IN THIS AREA TO BE REMOVED & MADE FLUSH W. ADJ.)
 - 26. EXIST. WALK-IN COOLER TO REMAIN
 - 27. LINE OF NEW DECK ABOVE
 - 28. NEW 36\"/>
 - 29. NEW CHAIN LINK SERVICE GATE BETWEEN EXIST. CMU WALL & NEW STAR WALL
 - 30. NEW 5/8\"/>

- DEMOLITION KEY NOTES:**
1. EXISTING TO REMAIN (NO WORK)
 2. EXIST. PARTITION WALL TO BE COMPLETELY REMOVED
 3. EXIST. PARTITION WALL TO BE REMOVED TO EXTENT INDICATED
 4. EXIST. DOOR, FRAME, & HARDWARE TO BE COMPLETELY REMOVED
 5. EXIST. CEILING TO BE REMOVED TO EXIST. FURNISHING STRUCTURE
 6. EXIST. WALL/PARTITION FINISH TO BE REMOVED TO EXIST. FURNISHING OR STRUCTURE TYPICAL ALL WALLS & PARTITIONS UNO
 7. EXIST. FLOOR FINISH TO BE REMOVED TO SLAB/SUBFLOOR
 8. EXIST. OVER BAR STORAGE TO BE REMOVED
 9. EXIST. KITCHEN & BAR EQUIP. TO BE TEMPORARILY REMOVED FOR CLEANING, SERVICE & REINSTALLATION
 10. EXIST. HAND SINK & ACCESSORIES TO BE REMOVED FOR CLEANING SERVICE & REINSTALLATION OR TO BE REPLACED
 11. EXIST. EXHAUST HOOD, DUCTWORK, FANS, ETC. TO BE REMOVED & REPLACED W/ NEW
 12. EXIST. KETTLES TO BE TEMPORARILY REMOVED FOR CLEANING SERVICE & RELOCATION
 13. EXIST. ICE MAKER TO BE TEMPORARILY REMOVED FOR CLEANING, SERVICE & RELOCATION
 14. EXIST. WALK-IN COOLER TO REMAIN
 15. EXIST. BEER COOLER TO BE REMOVED & REPLACED BY OWNER
 16. EXIST. PLUMBING FIXTURES, TOILET PARTITIONS, ACCESSORIES, ETC. TO BE REMOVED
 17. EXIST. BOOTHS, FURNISHINGS, EQUIPMENT, ETC. TO BE TEMPORARILY REMOVED
 18. EXIST. STORED MATERIALS, EQUIPMENT, METAL FRAMING, ETC. TO BE REMOVED
 19. EXIST. MASONRY CHIMNEY ENCLOSURE, ETC. TO BE COMPLETELY REMOVED, PATCH 1ST FLOOR SLAB & MASONRY WALL TO MATCH EXIST.
 20. EXIST. BAR COUNTER & BAR MLLWORK TO BE COMPLETELY REMOVED

HARD TIMES CAFE
 1404 KING STREET
 ALEXANDRIA, VA 22314

RICH KELLY
 RICHKELLYHTCC@GMAIL.COM
 703-622-4260

A
W H A
ARCHITECTURE AND PLANNING

1408 N. HULLWOOD ST., SUITE 6 ARLINGTON, VA 22201
 PH: (703) 527-2227 FAX: (703) 527-1939

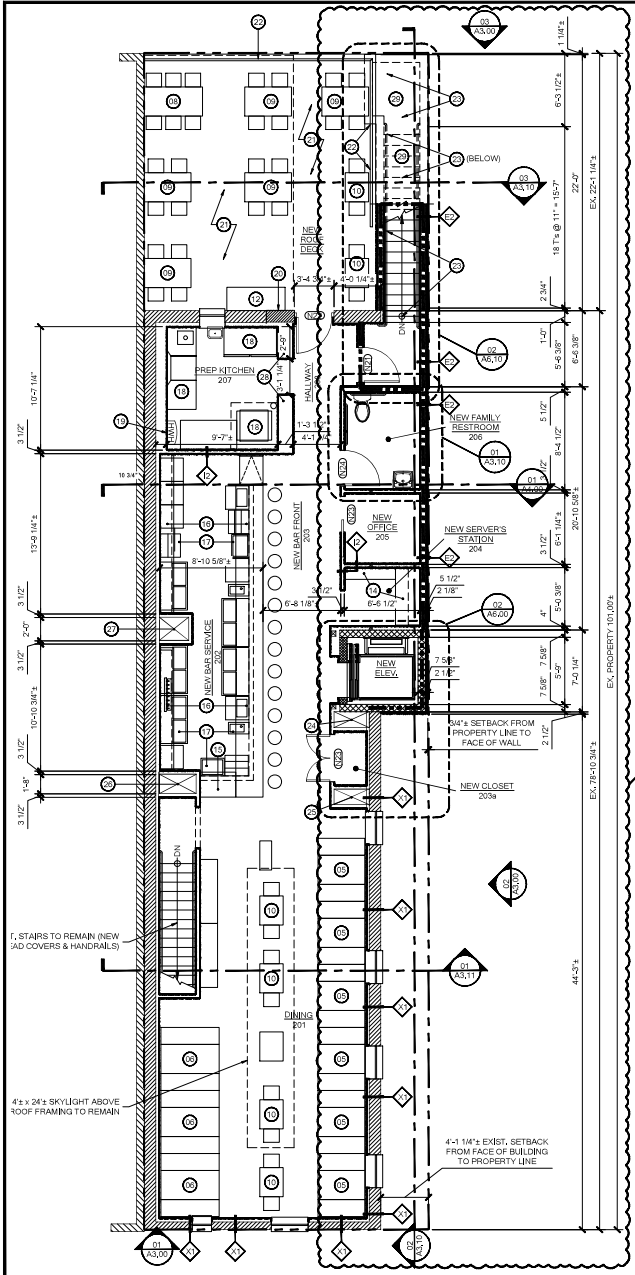
HARD TIMES CAFE
RENOVATIONS
 1404 KING STREET
 ALEXANDRIA, VA 22314

ARCHITECTURAL
1ST FLOOR - PROPOSED
& DEMOLITION PLANS

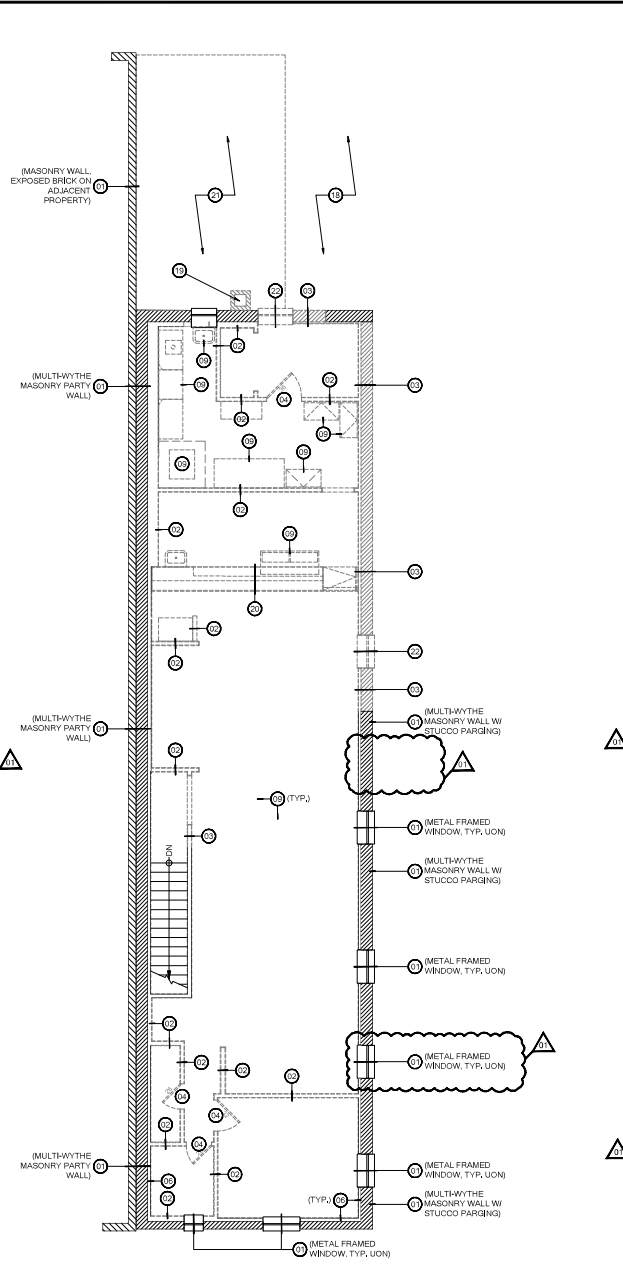
23013

DATE: 01/08/24
 DRAWN BY: 01/08/24
 CHECKED BY: 01/08/24
 PROJECT: HISTORIC PRESERVATION SUBMITTAL

JAN 24, 2024 AS NOTED
 1:12 P
A2.00



01 A2.01
1st Floor - Proposed Plan
 SCALE: 3/16" = 1'-0"



02 A2.01
1st Floor - Demolition Plan
 SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC. SHALL COMPLY WITH REQUIREMENTS OF APPLICABLE CODES & STANDARDS AS A MINIMUM, STRICTER STANDARDS INDICATED ON THE DRAWINGS SHALL BE FOLLOWED.
2. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC. SHALL COMPLY WITH APPLICABLE MANUFACTURER'S WRITTEN STANDARDS & RECOMMENDATIONS.
3. EXISTING CONDITIONS SHOWN ARE BASED ON LIMITED NON-DESTRUCTIVE FIELD OBSERVATIONS & MEASUREMENTS, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING ALL DEVIATIONS FROM EXISTING CONDITIONS IDENTIFIED TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
4. UNLESS INDICATED FOR SALVAGE, REUSE OR REINSTALLATION ALL MATERIALS INDICATED FOR DEMOLITION OR REMOVAL ARE TO BE LEGALLY DISPOSED OF OFF SITE.
5. UNLESS INDICATED OTHERWISE ALL NEW NON-BEARING INTERIOR PARTITIONS TO BE 3/8" CORRUGATED BOARD EACH SIDE OF 2x4 WOOD STUDS @ 24" MAX. O.C., PARTITIONS TO EXTEND FROM CONC. SLABS OR SUB-FLOORING TO BOTTOM OF JOISTS ABOVE.
6. EXIST. FINISHED SURFACES TO REMAIN THAT ARE DISTURBED BY DEMOLITION AND/OR NEW WORK TO BE PATCHED FLUSH & ADJUSTED TO EXIST, UNLESS NEW FINISHES HAVE BEEN SELECTED BY OWNER.
7. ALL EXIST. GYP, BD, AND/OR PLASTER FINISHES TO BE REMOVED INCLUDING EXIST. LATH TO EXPOSE EXISTING WOOD FRAMING/FURRING OR MASONRY SUBSTRATES.
8. FINISHES TO BE AS SELECTED BY OWNER EITHER EXISTING MATERIAL PATCHED & EXTENDED OR NEW FINISH.
9. ALL NEW CONCRETE SHALL BE 3000 PSI MIN. DESIGN MIX.
10. PRIOR TO REMOVING ANY PORTION OF EXIST. BEARING FLOORROOF FRAMING, TEMPORARY SUPPORTS SHALL BE LOCATED 36" MAXIMUM FROM SUPPORT WALL BEING REMOVED & SHALL EXTEND FULL HEIGHT FROM FLOORROOF FRAMING BEING SUPPORTED TO EXISTING CONC. SLAB ON GRADE. TEMPORARY SUPPORTS SHALL BE FRAMED 2x6 STUDS @ 12" MAX. O.C. W/ MIN. 2x6 CONTINUOUS PLATES TAB, TEMPORARY SUPPORT WALLS SHALL EXTEND 2' JOISTS MIN. BEYOND WIDTH OF WALL BEING REMOVED.
11. EXISTING BRICK OR CMU MASONRY DISTURBED BY WORK OF THIS PROJECT SHALL BE PATCHED TO MATCH EXISTING MATERIALS AND PATTERN. SALVAGE AND EXISTING BRICK MATERIALS FOR REUSE IN PATCHING, MORTAR USED TO REPAIR EXISTING BRICK MASONRY SHALL BE RESTORATION MORTAR HAVING SIMILAR PHYSICAL PROPERTIES AND PERFORMANCE TO EXISTING BRICK MORTAR. REPAIRS TO MASONRY CONSTRUCTION SHALL BE TOOTHED INTO EXISTING PATTERN TO UTILIZE FULL UNIT SIZES.
12. NEW ROOF, WATERPROOFING, AIR/WATER BARRIERS SHALL BE COMPLETE SYSTEMS FROM A SINGLE MANUFACTURER AND SHALL BE INSTALLED IN A MANNER AND DETAIL SO THAT THE MANUFACTURER'S MAXIMUM FULL MATERIALS, SYSTEM AND INSTALLATION ARE PROVIDED.

PROPOSED KEY NOTES:

1. NEW 5/8" GYP, BD, ON EXIST. FRAMING OR FURRING (DISTORTED FRAMING & FURRING TO BE REPLACED), TYP. ALL WALLS, CEILING, ETC, UON
2. NEW WALL, 2x4 W/ STUDS AT 16" O.C. W/ 5/8" GYP, BD, ON EXPOSED SIDES UON. PROVIDE SOUND BATT INSUL. AT RESTROOMS.
3. NEW THIN SET TILE FLOOR OVER CEMENT TILE BACKER BOARD
4. NEW/REFURBISHED 2-SEAT BOOTH
5. NEW/REFURBISHED 4-SEAT BOOTH
6. NEW/REFURBISHED 6-SEAT BOOTH
7. NEW/REFURBISHED 5-SEAT BOOTH
8. NEW/REFURBISHED 6-SEAT TABLE
9. NEW/REFURBISHED 4-SEAT TABLE
10. NEW/REFURBISHED 3-SEAT TABLE
11. NOT USED
12. NEW SERVER/BUSING STATION
13. NOT USED
14. NEW SERVER'S STATION CABINETS & COUNTER AS SELECTED BY OWNER
15. NEW ACCESSIBLE BAR COUNTER 36" W/ MIN. 28"-34" H. W/ KNEE & TOE CLEARANCE PER ANSI A117.1.
16. NEW BAR, BACK BAR AND OVER BAR STORAGE
17. NEW OR REFURBISHED BAR EQUIP. (TYP.). SEE A8.00 FOR EQUIP. PLAN & SCHEDULE
18. NEW/REFURBISHED KITCHEN EQUIP. (TYP.). SEE A8.20 FOR EQUIP. PLAN & SCHEDULE
19. NEW WALL MOUNTED HWY ABOVE
20. INFILL EXIST. WINDOW OPENING W/ SALVAGED OR NEW BRICK TO MATCH EXIST., PATCH CEMENT PLASTER FINISH TO MATCH
21. NEW PAVER DECK ON ADJ. PEDESTALS OVER NEW WOOD FRAMED ROOF W/ TPO ROOF SYSTEM
22. NEW 4" W/ METAL GUARDRAIL W/ 9H POSTS TO ATTACH STRING LIGHTS
23. NEW WOOD FRAMED EXIT STAIR. (SEE ENLARGED PLAN SECTION & DETAILS)
24. NEW 3'-0" x 14' x 14' CLR. SHAFT (1ST FLR. RET. AIR, SEE MECH. DWGS.)
25. NEW 3'-0" x 14' x 14' CLR. SHAFT (1ST FLR. SUP. AIR, SEE MECH. DWGS.)
26. NEW 3'-13/4" x 14' CLR. SHAFT (MT. HOOD SUP. AIR, SEE MECH. DWGS.)
27. NEW 2'-6" x 14' x 25" CLR. SHAFT (MT. HOOD EXHAUST, SEE MECH. DWGS.)
28. NEW SHAFTS FOR 1ST FLOOR DUCT RISERS (SEE MECH. DWGS.)
29. NEW MEMBRANE ROOF OVER STAIR & 1ST FLOOR LANDING

DEMOLITION KEY NOTES:

1. EXISTING TO REMAIN (NO WORK)
2. EXIST. PARTITION/WALL TO BE COMPLETELY REMOVED
3. EXIST. PARTITION/WALL TO BE REMOVED TO EXIST INTERIOR
4. EXIST. DOOR, FRAME, & HARDWARE TO BE COMPLETELY REMOVED
5. EXIST. CEILING TO BE REMOVED TO EXIST. FURRING STRUCTURE
6. EXIST. WALL/PARTITION FINISH TO BE REMOVED TO EXIST. FURRING OR STRUCTURE TYPICAL ALL WALLS & PARTITIONS UON
7. EXIST. FLOOR FINISH TO BE REMOVED TO SLAB/SUB-FLOOR
8. EXIST. OVER BAR STORAGE TO BE REMOVED
9. EXIST. KITCHEN & BAR EQUIP. TO BE TEMPORARILY REMOVED FOR CLEANING, SERVICE & REINSTALLATION
10. EXIST. HAND SINK & ACCESSORIES TO BE REMOVED FOR CLEANING SERVICE & REINSTALLATION OR TO BE REPLACED
11. EXIST. EXHAUST HOOD, DUCTWORK, FANS, ETC. TO BE REMOVED & REPLACED W/ NEW
12. EXIST. KETTLES TO BE TEMPORARILY REMOVED FOR CLEANING SERVICE & RELOCATION
13. EXIST. ICE MAKER TO BE TEMPORARILY REMOVED FOR CLEANING, SERVICE & RELOCATION
14. EXIST. BEER COOLER TO BE REMOVED & REPLACED BY OWNER
15. EXIST. PLUMBING FIXTURES, TOILET PARTITIONS, ACCESSORIES, ETC. TO BE REMOVED
16. EXIST. STORED MATERIALS, EQUIPMENT, METAL FRAMING, ETC. TO BE REMOVED
17. EXIST. MASONRY CHIMNEY ENCLOSURE, ETC. TO BE COMPLETELY REMOVED, PATCH 1ST FLOOR SLAB & MASONRY WALL TO MATCH EXIST.
20. EXIST. BAR COUNTER & BAR MILLWORK TO BE COMPLETELY REMOVED
21. EXIST. WOOD FRAMED ROOF/CEILING & SINGLE ROOF COVERING TO BE COMPLETELY REMOVED
22. EXIST. METAL FRAMED WINDOW TO BE COMPLETELY REMOVED

HARD TIMES CAFE
 1404 KING STREET
 ALEXANDRIA, VA 22314

RICH KELLY
 RICHKELLYHTCC@GMAIL.COM
 703-622-4260

W H A
ARCHITECTURE AND PLANNING

1408 N. HILLGROVE ST., SUITE 9 ARLINGTON, VA 22201
 PH: (703) 527-2227 FAX: (703) 527-1910

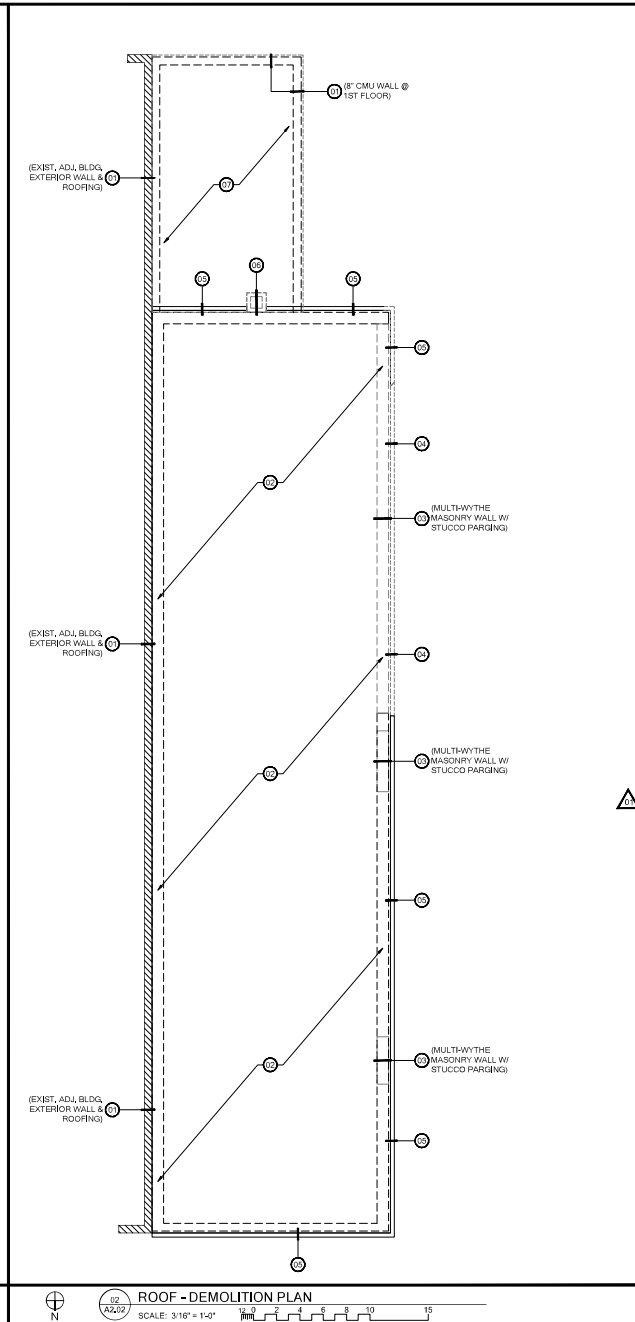
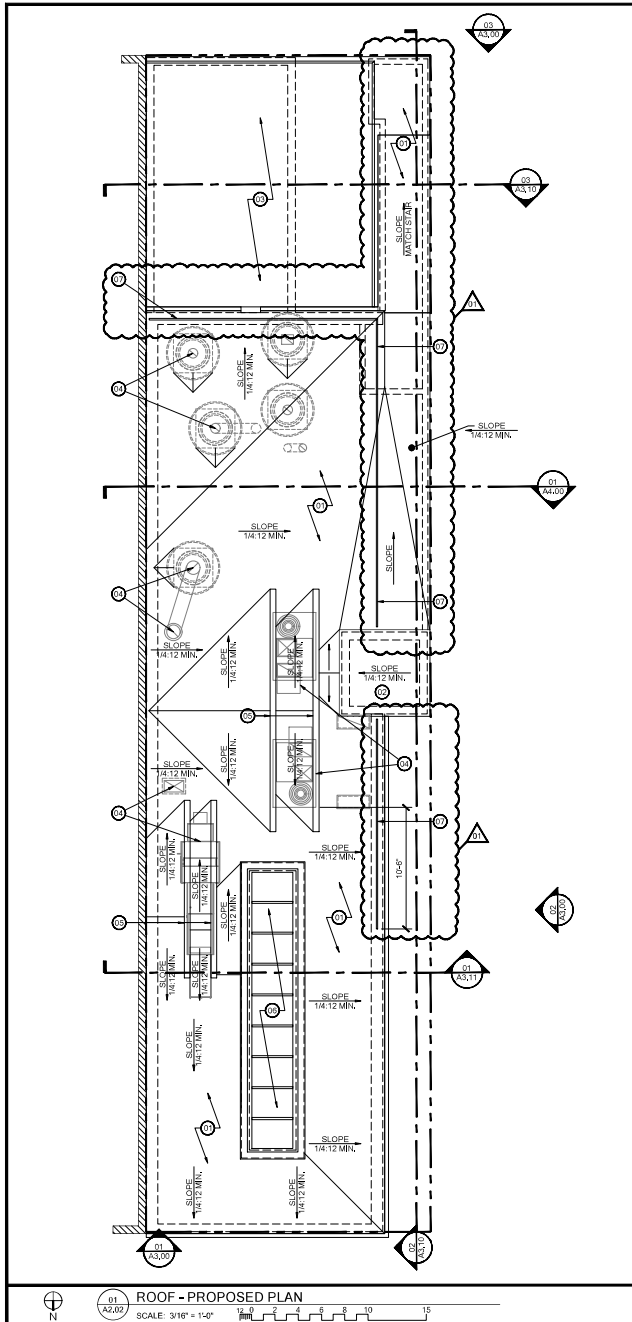
HARD TIMES CAFE
RENOVATIONS
 1404 KING STREET
 ALEXANDRIA, VA 22314

ARCHITECTURAL
2ND FLOOR - PROPOSED
& DEMOLITION PLANS

23013

DATE: JAN 24, 2024
 DRAWING NO: 1129
 PROJECT: HISTORIC PRESERVATION SUBMITTA

JAN 24, 2024 AS NOTED
 1129
A2.01



- GENERAL NOTES:**
1. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC. SHALL COMPLY WITH REQUIREMENTS OF APPLICABLE CODES & STANDARDS AS A MINIMUM, STRICTER STANDARDS INDICATED ON THE DRAWINGS SHALL BE FOLLOWED.
 2. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC. SHALL COMPLY WITH APPLICABLE MANUFACTURERS WRITTEN STANDARDS & RECOMMENDATIONS.
 3. EXISTING CONDITIONS SHOWN ARE BASED ON LIMITED NON-DESTRUCTIVE FIELD OBSERVATIONS & MEASUREMENTS, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING ALL DEVIATIONS FROM EXISTING CONDITIONS DEPICTED TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
 4. UNLESS INDICATED FOR SALVAGE, REUSE OR REINSTALLATION ALL MATERIALS INDICATED FOR DEMOLITION OR REMOVAL ARE TO BE LEGALLY DISPOSED OF OFF SITE.
 5. UNLESS INDICATED OTHERWISE ALL NEW NON-BEARING INTERIOR PARTITIONS TO BE 5/8" GYPSUM BOARD EACH SIDE OF 2x4 WOOD STUDS @ 24" MAX. O.C., PARTITIONS TO EXTEND FROM CONC. SLAB OR SUB-FLOORING TO BOTTOM OF JOISTS ABOVE.
 6. EXIST. FINISHED SURFACES TO REMAIN THAT ARE DISTURBED BY DEMOLITION AND/OR NEW WORK TO BE PATCHED FLUSH & ALIGNED W/ EXIST. UNLESS NEW FINISHES HAVE BEEN SELECTED BY OWNER.
 7. ALL EXIST. GYP. BD. AND/OR PLASTER FINISHES TO BE REMOVED INCLUDING EXIST. LATH TO EXPOSE EXISTING WOOD FRAMING/FURRING OR MASONRY SUBSTRATES.
 8. FINISHES TO BE AS SELECTED BY OWNER EITHER EXISTING MATERIAL PATCHED & EXTENDED OR NEW FINISH.
 9. ALL NEW CONCRETE SHALL BE 3000 PSI MIN. DESIGN MIX.
 10. PRIOR TO REMOVING ANY PORTION OF EXIST. BEARING FLOOR/ROOF FRAMING, TEMPORARY SUPPORTS SHALL BE LOCATED 36" MAXIMUM FROM SUPPORT WALL BEING REMOVED & SHALL EXTEND FULL HEIGHT FROM FLOOR/ROOF FRAMING BEING SUPPORTED TO EXISTING CONC. SLAB ON GRADE. TEMPORARY SUPPORTS SHALL BE FRAMED 2x6 STUDS @ 12" MAX. O.C. W/ MIN. 3-2x6 CONTINUOUS PLATES TAB, TEMPORARY SUPPORT WALLS SHALL EXTEND 2- JOISTS MIN. BEYOND WIDTH OF WALL BEING REMOVED.
 11. EXISTING BRICK OR CMU MASONRY DISTURBED BY WORK OF THIS PROJECT SHALL BE PATCHED TO MATCH EXISTING MATERIALS AND PATTERN. SALVAGE AND EXISTING BRICK MATERIALS FOR REUSE IN PATCHING, MORTAR USED TO REPAIR EXISTING BRICK MASONRY SHALL BE RESTORATION MORTAR HAVING SIMILAR PHYSICAL PROPERTIES AND PERFORMANCE TO EXISTING BRICK MORTAR. REPAIRS TO MASONRY CONSTRUCTION SHALL BE TOOTHED INTO EXISTING PATTERN TO UTILIZE FULL UNIT SIZES.
 12. NEW ROOF, WATERPROOFING, AIR/WATER BARRIERS SHALL BE COMPLETE SYSTEMS FROM A SINGLE MANUFACTURER AND SHALL BE INSTALLED IN A MANNER AND DETAIL SO THAT THE MANUFACTURERS MAXIMUM FULL MATERIALS, SYSTEM AND INSTALLATION ARE PROVIDED.

- PROPOSED KEY NOTES:**
1. NEW TPO ROOF SYSTEM. OVER TAPERED RIGID INSUL. (1/4" MIN. SLOPE, OVER 1 1/2" MIN. RIGID INSUL. BASE (R10, 5 MIN.), OVER EXIST. REPLACED SHEATHING
 2. NEW ELEVATOR OVERHEAD - TPO ROOF SYSTEM, OVER 1 1/2" MIN. RIGID INSUL. OVER NEW 3/4" PLYWOOD SHEATHING ON 2x6 ROOF JOISTS (SLOPED 1/4":12" MIN.)
 3. NEW 2ND FLOOR ROOF DECK - PAVERS ON ADJ. PEDESTALS, ABOVE TPO ROOF SYSTEM, OVER NEW 3/4" PLYWOOD SHEATHING ON 2x10 ROOF JOISTS (SLOPED 1/4":12" MIN.)
 4. NEW ROOFTOP MECH. EQUIP., DUCTWORK, ETC. SHOWN GRAVED OUT (REFER TO MECH. DWGS. FOR ADDITIONAL INFORMATION) TYPICAL PROVIDE ALL CURBS, FLASHINGS, PENETRATIONS, CRICKETS, ETC. AS NEEDED TO PROVIDE A FULLY WARRANTED ROOFING SYSTEM INSTALLATION
 5. NEW 6x8 MIN. PT WOOD SLEEPERS @ NEW MECH. UNITS (EXTEND 3 FULL JOIST SPACES MIN. BEYOND EQUIP. SUPPORT POINTS) W/ ALL FLASHINGS, COPING, ETC. AS NEEDED TO PROVIDE A FULLY WARRANTED ROOFING SYSTEM INSTALLATION
 6. NEW LINEAR SLOUGHT (BEYOND) ROD = VELLUX 15000 (LIT-24242050) (BY RIGHT SUPPLIER)
 7. NEW 42" HIGH METAL GUARDRAIL (PAINTED TO BLEND W/ BACKGROUND AS SELECTED BY ARCHITECT) W/ OPENINGS LESS THAN 31" CLEAR IN AT LEAST ONE DIRECTION

- DEMOLITION KEY NOTES:**
1. EXISTING TO REMAIN (NO WORK)
 2. EXIST. ROOFING SYSTEM TO BE COMPLETELY REMOVED DOWN TO EXIST. ROOF SHEATHING
 3. EXIST. MECH. EQUIP., DUCTWORK, PIPING, ETC. TO BE COMPLETELY REMOVED (SEE MECH. DWGS.)
 4. EXIST. MASONRY WALL BELOW TO BE PARTIALLY REMOVED (SEE 2ND FLOOR PLANS)
 5. EXIST. FASCIA TRIM & GUTTER TO BE REMOVED
 6. EXIST. MASONRY CHIMNEY TO BE COMPLETELY REMOVED
 7. EXIST. WOOD FRAMED W/ ASPHALT SHINGLE ROOF (BELOW) TO BE COMPLETELY REMOVED

HARD TIMES CAFE
 1404 KING STREET
 ALEXANDRIA, VA 22314

RICH KELLY
 RICHKELLYHTC@GMAIL.COM
 703-622-4260

W H A
ARCHITECTURE AND PLANNING

1408 N. HILLMORE ST., SUITE 9 ARLINGTON, VA 22201
 PH: (703) 247-2227 FAX: (703) 247-1910

HARD TIMES CAFE
 RENOVATIONS
 1404 KING STREET
 ALEXANDRIA, VA 22314

ARCHITECTURAL
ROOF - PROPOSED
& DEMOLITION PLANS

PROJECT NO. 23013

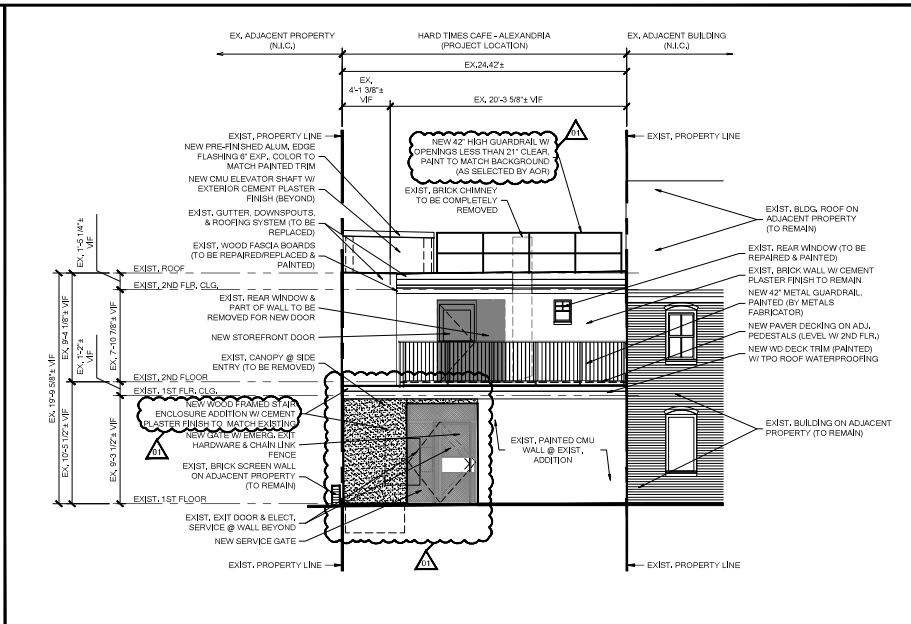
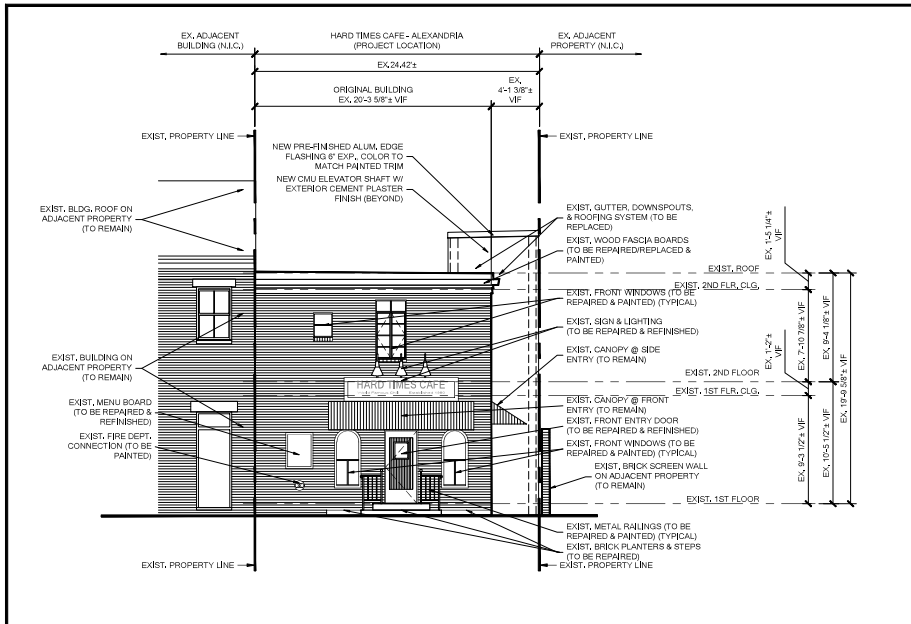
DATE 01/08/24

CONTRACTOR HISTORIC PRESERVATION SUBMITTA

JAN 24, 2024 AS NOTED

SCALE 1/8" = 1'-0"

A2.02



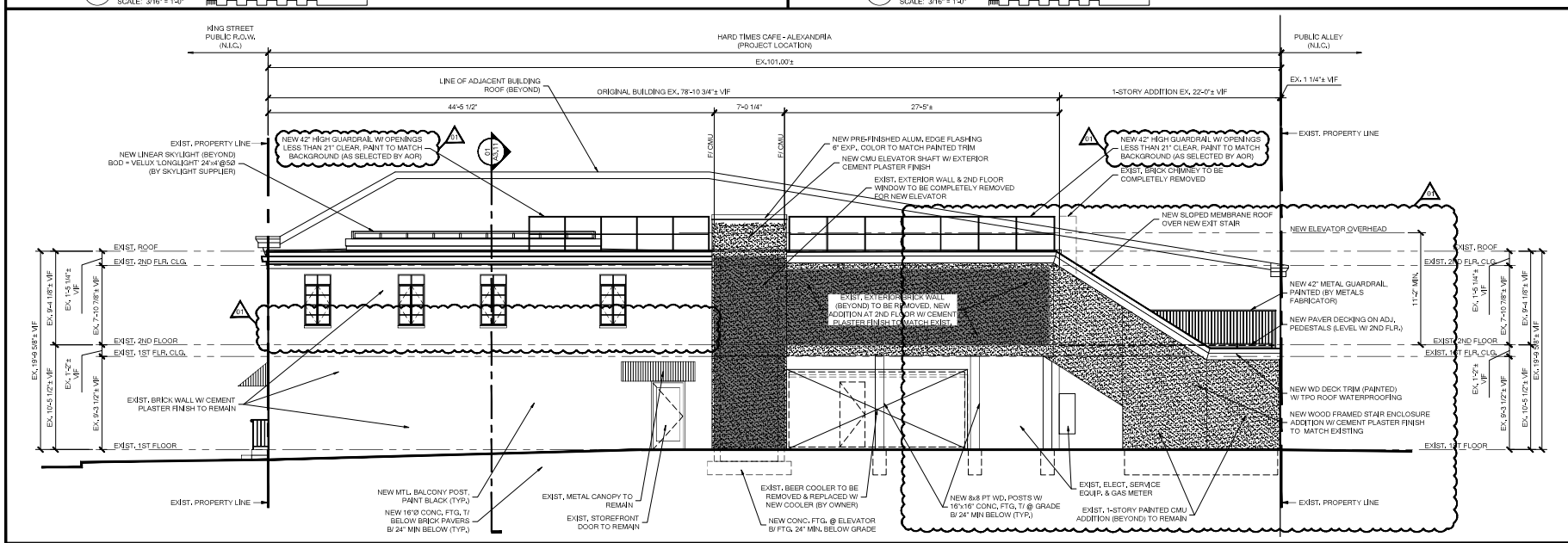
THIS DRAWING IS A CONTRACT DOCUMENT AND THE PROPERTY OF WWW.ARHITECTUREANDPLANNING.COM. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF WWW.ARHITECTUREANDPLANNING.COM IS STRICTLY PROHIBITED. THE USER AGREES TO HOLD WWW.ARHITECTUREANDPLANNING.COM HARMLESS FROM AND AGAINST ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM SUCH REUSE, REPRODUCTION, OR DISTRIBUTION.

HARD TIMES CAFE
 1404 KING STREET
 ALEXANDRIA, VA 22314

RICH KELLY
 RICHKELLYHTC@GMAIL.COM
 703-622-4260

01 NORTH (FRONT - KING STREET) ELEVATION

03 SOUTH (REAR - ALLEY) ELEVATION



02 WEST (RIGHT SIDE) ELEVATION

W H A
ARCHITECTURE AND PLANNING

1408 N. HILLMOORE ST., SUITE 9 ARLINGTON, VA 22201
 PH: (703) 527-2227 FAX: (703) 527-1910

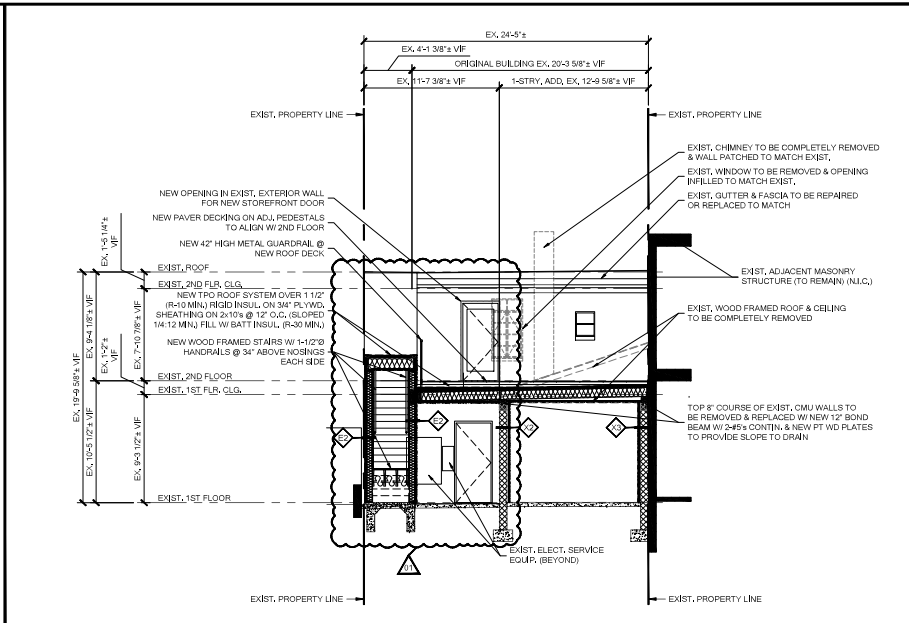
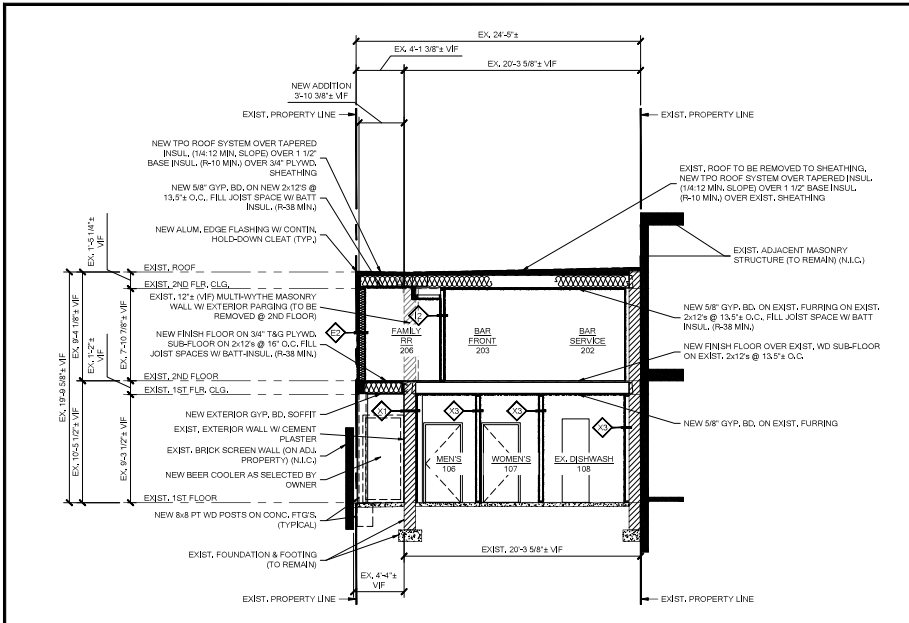
HARD TIMES CAFE
RENOVATIONS
 1404 KING STREET
 ALEXANDRIA, VA 22314

ARCHITECTURAL BUILDING ELEVATIONS

23013

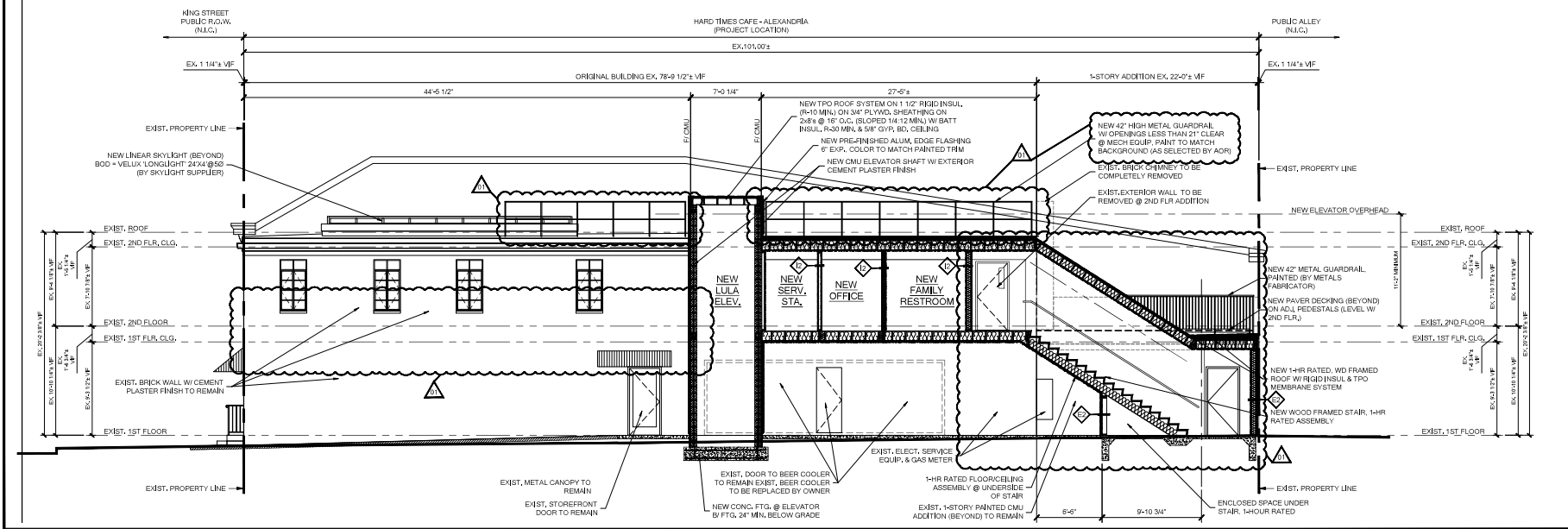
DATE: 01/24/2024
 BY: DMITRY
 01 - 01/24/2024 - HISTORIC PRESERVATION SUBMITTA

JAN 24, 2024 AS NOTED
 1:12P
A3.00



01
A3.10 BUILDING SECTION - 01
SCALE: 3/16" = 1'-0"

03
A3.10 BUILDING SECTION - 03
SCALE: 3/16" = 1'-0"



02
A3.10 BUILDING SECTION - 02
SCALE: 3/16" = 1'-0"

THIS DRAWING IS CONTRACTOR'S PROPERTY AND NOT BE LOANED, REPRODUCED, COPIED, OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURE AND PLANNING.

HARD TIMES CAFE
1404 KING STREET
ALEXANDRIA, VA 22314

RICH KELLY
RICKELLYHTC@GMAIL.COM
703-622-4260

A
W H
ARCHITECTURE AND PLANNING

1408 N. HILLMOORE ST., SUITE 307 ARLINGTON, VA 22201
TEL: (703) 247-2227 FAX: (703) 247-1980

HARD TIMES CAFE
RENOVATIONS
1404 KING STREET
ALEXANDRIA, VA 22314

ARCHITECTURAL
BUILDING SECTIONS

23013

DATE: 01/20/24
BY: DMT/DA
CHECKED: HPC/DA
DATE: 01/20/24
BY: DMT/DA
CHECKED: HPC/DA

JAN 24, 2024 AS NOTED

A3.10

W H A
A r c h i t e c t u r e a n d P l a n n i n g P C

Sent via E-Mail

4/4/2024

Lanning Blaser
Senior Planning Technician
Department of Planning & Zoning
City of Alexandria

cc: Sean Killion, Susan Hellman, Richard Kelly/HTC; Bruce Keith/WHA

Re: Case: BAR#2024-00112 and BAR#2024-00118
Address: 1404 King Street, Alexandria, VA 22314

Requested information from your letter dated 3/38/3024:

. The following specifications are required:

- Cement plaster finish
- Guardrails in all areas.
- New roofing.
- The new storefront rear/south door. If it has a glass panel, we also need full information on the glazing.
- The height of the chain link fence. And is the new gate referenced in the drawings also chain link?

Applicant Responses:

1. Cement plaster finish: Quickcrete cement plaster scratch, brown and finish coats. Color and texture to match existing at West façade.
2. Guardrails in all areas.
 - a. Rear deck: Fabricated steel bar, sizes as called out in the attached revised building elevations, building sections, and detail sketch drawings. Painted with SW 7206 Iron Ore paint finish.
 - b. Main roof: safety guard rails detail revised to add full face panels on public side with stucco finish screen walls, heights 42” unless specified otherwise on attached

1408 N. Fillmore Street Suite 9 Arlington Virginia 22201 info@whapc.com

W H A
A r c h i t e c t u r e a n d P l a n n i n g P C

revised roof plan, building elevations, building sections, and detail sketch drawings. Roof plan indicates layout to provide screening for sight lines from public ROW Stucco to match parged/stucco color and texture on main building below.

3. New roofing. TPO membrane roofing, white or 'energy gray'.
 - a. Includes main flat roof ;
 - b. 'energy gray' for roof of new stair enclosure at rear.
 - c. New TPO membrane covered by decking at rear deck (second floor level).
4. The new storefront rear/south door: Special-Lite DB Aluminum storefront door, full glass lite inside alum. frame - Viracon 1" Insulated tempered low-E glazing,
5. The height of the chain link fence.
 - a. Height of chain link gate at rear is 7' plus over gate panel to soffit; gate to be recessed from rear PL to allow egress from new stair to alley and reduce visibility.
 - b. Height on West side infill under new stair (mostly hidden from view) is 7' or less where star slopes down.

Respectfully,

Temple Washington
WHA Architecture and Planning, P.C.
202.290.7942

Enclosures: Manufacturer Product specifications & revised/SK drawings, photo overlay sketches, etc. as appropriate for the requested items:

Hard Times Cafe
Alexandria, VA

Renovations

Exterior Cement Plaster
Finish Coat (Color & texture
to match existing)



FINISH COAT STUCCO

PRODUCT No. 1201

PRODUCT DESCRIPTION

QUIKRETE® Finish Coat Stucco is a Portland cement based finishing plaster.

PRODUCT USE

QUIKRETE® Finish Coat Stucco is designed for use as a decorative finish over Portland cement base coats or QUIKRETE® One Coat Fiberglass-Reinforced Stucco (#1200). Finish Coat Stucco is manufactured as a complete product requiring only the addition of water. Available in white and gray, Finish Coat Stucco can be colored with QUIKRETE® Stucco & Mortar Color (#1319). The liquid color is premixed with the mixing water prior to the addition of the dry Finish Coat Stucco. Mix thoroughly until uniform in color.

SIZES

- QUIKRETE® Finish Coat Stucco is available in the following sizes:
 - 50 lb (23 kg) bags
 - 80 lb (36 kg) bags
 - 3000 lb (1361 kg) bulk bags

YIELD

- Each 80 lb (36 kg) bag will yield approximately 0.75 ft³ (20 L) of material. Coverage will be approximately 70 ft² (6.5 m²) at 1/8" (3.2 mm). Coverage will vary with texture.

TECHNICAL DATA

ASTM International

- ASTM C109/C109M Standard Test Method for Compressive Strength of Hydraulic Cement Mortars (Using 2-in. or [50-mm] Cube Specimens)
- ASTM C926 Standard Specification for Application of Portland Cement-Based Plaster

PHYSICAL/CHEMICAL PROPERTIES

QUIKRETE® Finish Coat Stucco is a Portland cement based finishing plaster complying with ASTM C926 requirements for Type F Plaster. Typical compressive strength results obtained with QUIKRETE Finish Coat Stucco, when tested in accordance with ASTM C109, are as follows:

- 900 psi (6.2 MPa) at 7 days
- 1200 psi (8.2 MPa) at 28 days

Note - The results are based on samples tested at a consistency of 65 - 75 mm using a cone penetrometer.

DIVISION 9

Portland Cement
Plastering 09 24 00



INSTALLATION

SURFACE PREPARATION

Proper surface preparation is essential to the successful application of Finish Coat Stucco. All surfaces must be clean, structurally sound, and free of any loose or foreign material.

MIXING

WEAR IMPERVIOUS GLOVES, such as nitrile when handling product.

- Blend approximately 2 gal (7.6 L) of water per 80 lb (36.3 kg) bag or 1.25 gal (4.7 L) per 50 lb (22.7 kg) bag
- Place water in the mixer and slowly add the Finish Coat Stucco
- Mix 2 - 3 minutes or until a mortar-like consistency is achieved. Add additional water in small amounts if necessary
- Use QUIKRETE Acrylic Fortifier (#8610) when application is being made to basecoats that have previously dried or when applying to QUIKWALL Surface Bonding Cement (#1230) surfaces
- When QUIKRETE Acrylic Fortifier is required as an internal bonding compound, replace 1/2 gal (1.9 L) of water with 1/2 gal (1.9 L) of Acrylic Fortifier per 80 lb (36 kg) bag or 2.5 pt (1.2 L) per 50 lb (23 kg) bag

Note - Mix only as much QUIKRETE Finish Coat Stucco as can be applied in 1 hour. Variation in water addition will affect color uniformity. Do not apply additional water during application. Proper rewetting of basecoats and finish treatment will eliminate the need for additional water.

APPLICATION

- **WEAR IMPERVIOUS GLOVES**, such as nitrile when handling product.
- QUIKRETE Finish Coat Stucco can be applied with any standard stucco tool.



Hard Times Cafe
Alexandria, VA

Renovations

Exterior Cement Plaster
Scratch & Brown Coat

DIVISION 9

09 24 00 Portland Cement
Plastering

SCRATCH AND BROWN BASE COAT STUCCO

PRODUCT NO. 1139-60, -80

PRODUCT DESCRIPTION

QUIKRETE® Scratch and Brown Base Coat Stucco is a portland cement-based stucco designed to be used as the scratch and/or brown coat in a 3-coat stucco application, or the first coat in a 2-coat application.

PRODUCT USE

QUIKRETE® Scratch and Brown Base Coat Stucco is a contractor grade, pre-blended scratch and brown stucco mix, manufactured as a complete product requiring only the addition of water. QUIKRETE® Scratch and Brown Base Coat Stucco may be trowel or spray applied. Extended board life and water-stop versions of this product are also available. QUIKRETE® Scratch and Brown Base Coat Stucco complies with ASTM C926 requirements for base coat plasters.

SIZES

- 60 lb (27.2 kg) bag
- 80 lb (36.2 kg) bag
- 3000 lb (1360 kg) bulk bag ("super sack")

YIELD / COVERAGE

- An 80 lb (36.2 kg) bag of QUIKRETE® Scratch and Brown Base Coat Stucco will yield approximately 0.75 ft² (2' L) at the recommended consistency
- QUIKRETE® Scratch and Brown Base Coat Stucco will cover the following areas base on the thicknesses below and using an 80 lb (36.2 kg) bag:

3/8 inch (9.5 mm)	20 ft ² to 24 ft ² (1.8 m ² to 2.2 m ²)
1/2 inch (13 mm)	15 ft ² to 18 ft ² (1.4 m ² to 1.7 m ²)
3/4 inch (19 mm)	10 ft ² to 12 ft ² (0.93 m ² to 1.1 m ²)

All coverages are approximate and vary with thickness, waste, etc.

TECHNICAL DATA

APPLICABLE STANDARDS

- ASTM C926 Standard Specification for Application of Portland Cement-Based Plaster
- ACI 305R Guide to Hot Weather Concreting
- ACI 306R Guide to Cold Weather Concreting

PHYSICAL/CHEMICAL

QUIKRETE® Scratch and Brown Base Coat Stucco meets ASTM C926 requirements for portland cement-based plaster.

INSTALLATION

SURFACE PREPARATION

Installation of wire mesh or lath and building paper shall be in accordance with ASTM C926 or local governing building codes. This standard also specifies the spacing for control joints.



MIXING

QUIKRETE® Scratch and Brown Base Coat Stucco can be hand mixed or machine mixed in a paddle type mortar mixer. Add approximately 5-1/2 quarts (5.2 L) of clean potable water per 80 lb (36.2 kg) bag to the mixer or mixing container. Slowly pour contents of the bag(s) into the mixing water. Mix for 3 to 5 minutes until a firm, workable consistency is achieved. If more water is needed to achieve a workable consistency, add small amounts at a time. Prepare only enough mix as can be applied in 1 hour.

APPLICATION

QUIKRETE® Scratch and Brown Base Coat Stucco is intended for use over code approved metal lath or solid bases such as masonry, cast-in-place, or pre-cast concrete. Installation over these surfaces shall be in accordance with ASTM C926 and local building codes. QUIKRETE® Scratch and Brown Base Coat Stucco may be applied with a trowel or sprayer according to typical stucco techniques.

CURING

Provide sufficient moisture in the plaster mix or by moist or fog curing to permit continuous hydration of cementitious materials. The most effective procedure for curing and time between coats will depend on climatic and job conditions.

QUIKRETE® Scratch and Brown Base Coat Stucco may be water cured with a fine mist per ASTM C926 once it has achieved final set. During hot and dry conditions, additional precautions may be necessary, including more frequent spraying or the erection of barriers to deflect sunlight and wind. Do not apply when weather is forecast to be above 100 °F (38 °C) or below 40 °F (4 °C) within 24 hours without adopting the recommended hot or cold weather precautions. QUIKRETE® Scratch and Brown Base Coat Stucco does not require the addition of any other material.

Note: QUIKRETE® Finish Coat Stucco (No. 1201) can be applied over QUIKRETE® Scratch and Brown Base Coat Stucco in accordance with ASTM C926 and local building codes.

PRECAUTIONS

- Mix no more than can be used in 1 hour.
- For best results, do not overwork the material. Retempering the material should be kept to a minimum during the 1 hour.
- During hot weather, work during cool times of the day, and use cold water to slow down the setting time. Keep cementitious substrates, such as concrete masonry block and concrete, damp prior to application. Do not apply when temperatures are above 100 °F (38 °C). Additional recommendations can be found in ACI 305R.
- In cool weather, use warm water to speed the setting time. Do not apply when temperatures are expected to fall below 40 °F (4 °C) within 24 hours. Protect from rain, snow and freezing for 48 hours after application. Additional recommendations can be found in ACI 306R.

SAFETY

IMPORTANT: Read Safety Data Sheet carefully before using. **WEAR IMPERVIOUS GLOVES**, such as nitrile, mask, and eye protection.

DANGER: Causes sever skin burns and serious eye damage. Prolonged or repeated inhalation of dust may cause lung damage or cancer.

Keep out of reach of children

WARRANTY

NOTICE: Obtain the applicable **LIMITED WARRANTY** at www.quikrete.com/product-warranty or send a written request to The Quikrete Companies, LLC, Five Concourse Parkway, Atlanta, GA 30328, USA. Manufactured by or under the authority of The Quikrete Companies, LLC. © 2021 Quikrete International, Inc.

- Install in accordance with ASTM C926 and local governing building codes
- Apply a minimum 1/8" (3.2 mm) thickness of Finish Coat Stucco by spray or trowel and smooth with a darby. Surface textures can be achieved with a brush or trowel
- Any desired texture or finish must be achieved while the mix is still plastic and workable
- Avoid overlapping fresh stucco over previously dried areas as this will result in a lack of color uniformity

CURING

Provide sufficient moisture to permit continuous hydration of the cementitious materials and minimize cracking. The most effective procedure and frequency will depend on climate and job conditions. Under normal conditions, moist curing is accomplished by applying a fine fog spray of water generally twice daily in the morning and evening. Care must be exercised to avoid erosion damage to plaster surfaces. This procedure should be repeated for several days following stucco application. During hot and dry conditions, additional precautions may be necessary, including more frequent misting or the erection of barriers to deflect sunlight and wind.

Curing of Acrylic Fortified Systems: Under normal conditions, do not moist cure Acrylic Fortified product since air is essential in the curing of QUIKRETE Acrylic Fortifier mixes; however, under extreme conditions of wind and sun, moist curing may be required for the first 24 hours.

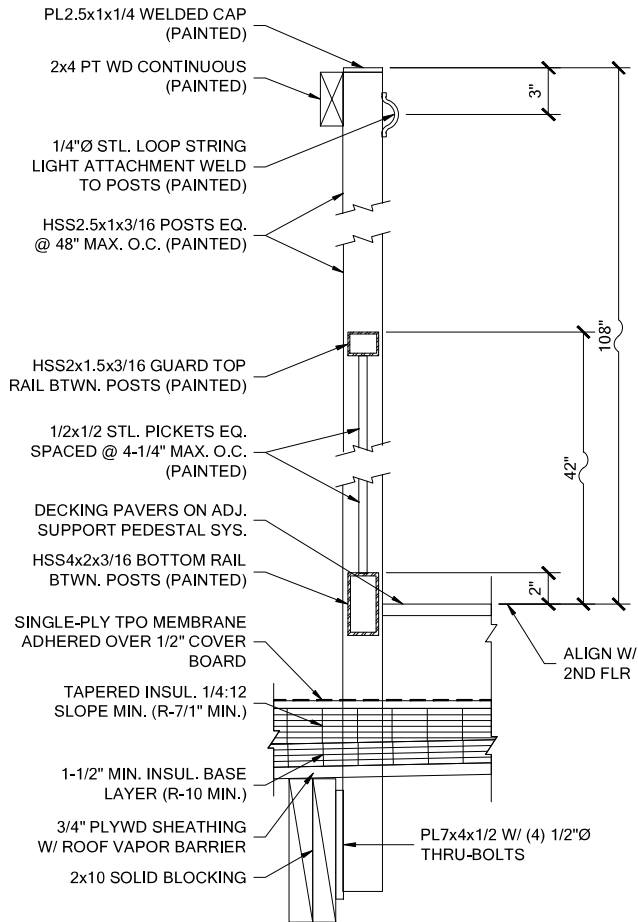
PRECAUTIONS

- Temperature, wind velocity, direct sunlight or shading, as well as the dampness or dryness of the surface receiving the material, all have an effect on the finished depth of color. Do not apply when weather is forecast to be above 100 degrees F (38 degrees C) or below 40 degrees F (4 degrees C) within 24 hours without adopting the required hot and cold weather precautions.

WARRANTY

NOTICE: Obtain the applicable LIMITED WARRANTY: at www.quikrete.com/product-warranty or send a written request to The Quikrete Companies, LLC, Five Concourse Parkway, Atlanta, GA 30328, USA. Manufactured under the authority of The Quikrete Companies, LLC. © 2018 Quikrete International, Inc.

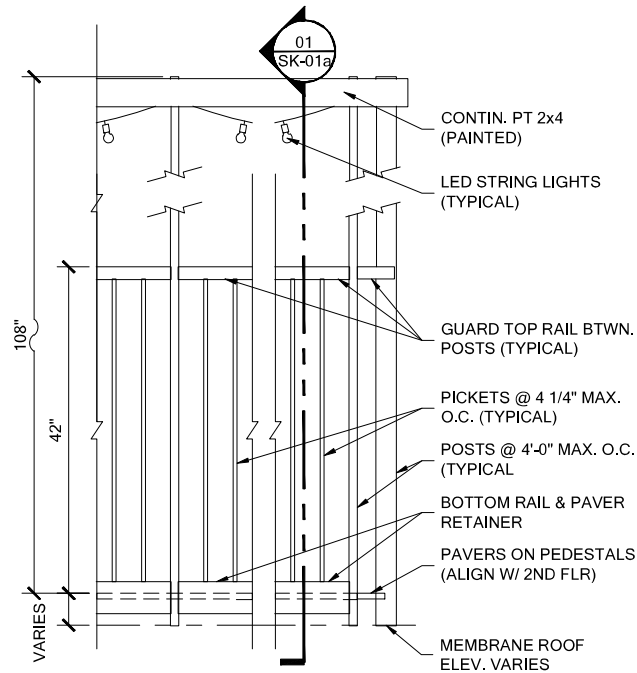
** Refer to www.quikrete.com for the most current technical data, SDS, and guide specifications*



ALL EXPOSED METAL TO BE PAINTED W/ SHERWIN WILLIAM SW-7069 'IRON ORE' SATIN FINISH.

01 SK-01a DECK GUARDRAIL SECTION DETAIL

SCALE: 1 1/2" = 1'-0"



ALL EXPOSED METAL TO BE PAINTED W/ SHERWIN WILLIAM SW-7069 'IRON ORE' SATIN FINISH.

02 SK-01a DECK GUARDRAIL ELEVATION DETAIL

SCALE: 3/4" = 1'-0"



© 2024 THIS DRAWING & ITS CONTENTS ARE THE PROPERTY OF WHA ARCHITECTURE & PLANNING. ANY USE OR DUPLICATION FOR PURPOSES OTHER THAN THOSE SPECIFICALLY AGREED TO IN RELATION TO THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY WHA ARCHITECTURE & PLANNING.

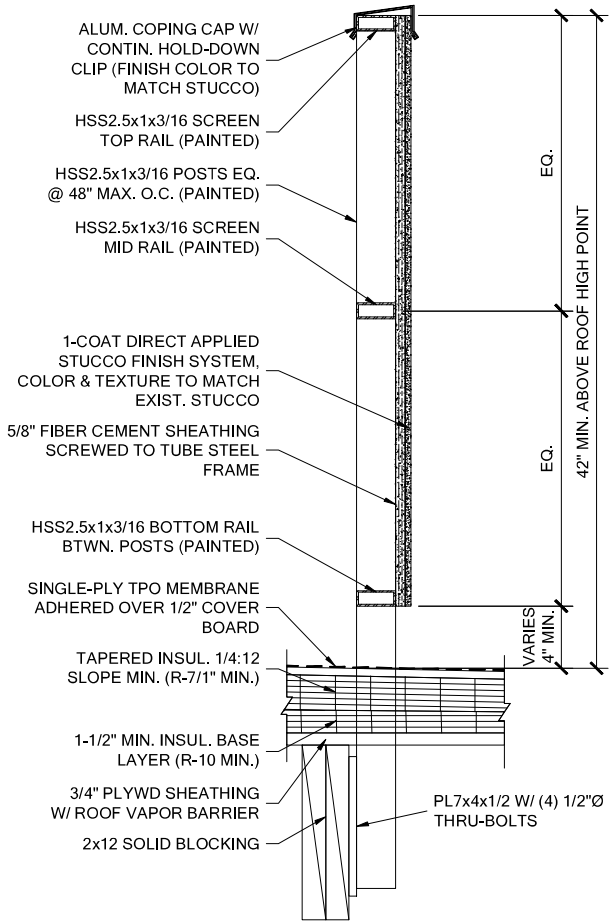
W H A ARCHITECTURE AND PLANNING

1408 N. FILLMORE ST. - SUITE 9 - ARLINGTON, VA 22201
202 - 290 - 7942 info@whapac.com www.whapac.com

HARD TIMES CAFE RENOVATIONS
1404 KING STREET
ALEXANDRIA, VA 22314
RICH KELLY - 703-622-4260
RICHKELLYHTC@GMAIL.COM

DECK RAILING DETAILS
Scale: AS NOTED
Date: 03/28/24

SK-01a



ALL EXPOSED METAL TO BE PAINTED TO MATCH STUCCO, SATIN FINISH.

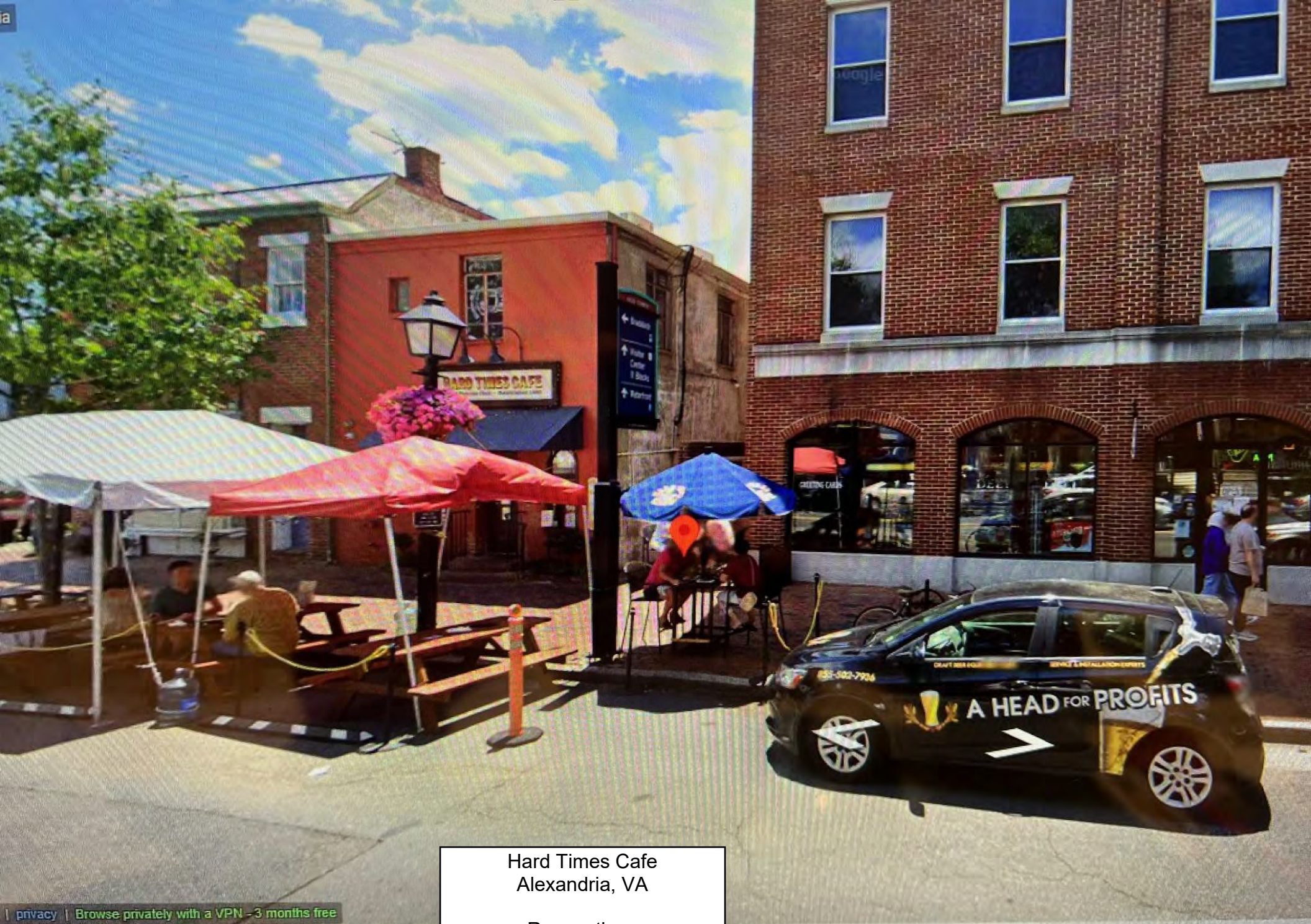
01 SK-01b ROOFTOP MECH. SCREEN & GUARD
 SCALE: 1 1/2" = 1'-0"
 12 9 6 3 0 1 2

© 2024
 THIS DRAWING & ITS CONTENTS ARE THE PROPERTY OF WHA ARCHITECTURE & PLANNING. ANY USE OR DUPLICATION FOR PURPOSES OTHER THAN THE PROJECT INDICATED MUST BE AUTHORIZED IN WRITING BY WHA ARCHITECTURE & PLANNING.

W H A
 ARCHITECTURE AND PLANNING
 1408 N. FILLMORE ST. - SUITE 9 - ARLINGTON, VA 22201
 202 - 290 - 7942 info@whapc.com www.whapc.com

HARD TIMES CAFE RENOVATIONS
 1404 KING STREET
 ALEXANDRIA, VA 22314
 RICH KELLY - 703-622-4260
 RICHKELLYHTC@GMAIL.COM

ROOF MECH. SCREEN & GUARD DETAILS
 Scale: AS NOTED
 Date: 03/28/24
SK-01b



Hard Times Cafe
Alexandria, VA

Renovations

Existing Front View



Hard Times Cafe
Alexandria, VA

Renovations

Proposed Front Sketch
(Cement plaster screen
at rooftop equipment)



PRIVATE PARKING
DAYTIME PARKING Mon. - Fri. FOR
ACTE EMPLOYEES ONLY
Violators Will Be Towed!
Hard Times Cafe Parking
Sat. Sun. & Holidays
& After 1:30pm Weekdays

ASSN. FOR CAREER & TECH. EDUCATION
PERMIT PARKING ONLY
VIOLATORS WILL BE TOWED

PERMIT
PARKING
VIOLATORS TOWED
AT OWNERS
RISK AND EXPENSE
NO REENTRY PERMITTED
COMMUNITY TRUST
CORPORATION

Put porch pirates out
of business.
Multiplied with our curbside loan
acceptance from all carriers.
THE UPS STORE

Hard Times Cafe
Alexandria, VA

Renovations

Existing Rear View



Hard Times Cafe
Alexandria, VA

Renovations

Proposed Rear Sketch
(Rear deck/rail and cement
plaster screen at
rooftop equipment)

Durable. Efficient. Proven.

GAF knows thermoplastic polyolefin (TPO). Our EverGuard® TPO membrane construction has remained unchanged for decades. It's just one of the reasons we've sold more than 6 billion square feet. EverGuard® TPO offers flexibility, durability, UV reflectivity, and heat-sealable properties. It's inherently fungal resistant* and flexible without using plasticizers.

Competitive pricing and a 20-plus-year track record for performance make TPO the most popular option in the commercial roofing industry and specialized training from GAF Roofing It Right videos and CARE classes add to GAF's unmatched technical support.

Installation:

EverGuard® TPO is suitable for all types of single-ply systems:

- **Mechanically Attached** — for a quick and cost-effective system that can be installed practically year-round.
- **Induction Welded** — can be applied without using adhesives and installed practically year round. Qualifies for the same guarantee length as an adhered system.†
- **Adhered** — can be installed with EverGuard® TPO Quick Spray, EverGuard® TPO Quick Spray LV50, EverGuard® TPO Low VOC Bonding Adhesive, EverGuard® TPO 3 Square Low VOC Bonding Adhesive, EverGuard® TPO SBA 1121 Bonding Adhesive, or EverGuard® WB 181 Bonding Adhesive for the smoothest appearance.

Features:

EverGuard® TPO offers the following:

- Endures 2 to 2.5 times the industry standard, depending on thickness (ASTM D6878 weather resistance test).
- Offers guarantees for eligible systems up to 20 years for 45 mil, 25 years for 60 mil, and 30 years for 80 mil.*
- Available in 12' rolls to cover more area with fewer rolls and seams
- Allows for heat-welded seams that provide greater seam strength to taped and other seams
- Creates a highly reflective and emissive white roof that can help reduce cooling costs‡ and urban heat island effect. (white, energy tan and energy gray only)

TPO Field Study:

As a relatively new roof technology, TPO performance was proven mostly in lab studies. So when real-world TPO systems started approaching 20-year marks, GAF acquired and analyzed EverGuard® TPO samples across the United States. We found 8- to 16-year-old TPO roofs to be performing well and in most instances, meeting the current ASTM D 6878-19 requirements for new membranes. [Download](#) the study from GAF.com.



MADE IN THE U.S.A.
WITH DOMESTIC AND IMPORTED MATERIALS.
AMERICAN JOBS IN AMERICAN FACTORIES.

* Meets ASTM G21. GAF warranties and guarantees do not provide coverage against fungi or other biological growth. Refer to gaf.com for more information on warranty and guarantee coverage and restrictions.

† Additional requirements apply. Contact GAF for more information. Refer to sample guarantees, available at gaf.com, for complete coverage and restrictions.

‡ Energy cost savings are not guaranteed and the amount of savings may vary based on climate zone, utility rates, radiative properties of roofing products, insulation levels, HVAC equipment, efficiency and other factors.

Accessories:

EverGuard® TPO prefabricated accessories deliver consistent quality and eliminate the worry and problems often associated with field fabrication. They can also boost productivity while reducing labor.

- **Coated Speedtite® and Hercules® Drain** — TPO-coated flange for direct hot-air welding of TPO roof membranes.
- **Corner Curb Wrap** — Four standard sizes to flash 24", 36", 48", and 60" curbs.
- **Fluted Corner** — For use in flashing outside corners of base and curb flashing
- **Inside Corner** — Manufactured to accommodate inside corners of base or curb flashing.
- **Preformed Split Pipe Boot** — Three standard sizes accommodate most pipes and conduits.
- **Preformed Vent Boot** — Accommodates most common pipes and conduits from 1" (25.4 mm) to 6" (152 mm).
- **Scupper** — Heat-welds to the scupper for a strong, secure installation.
- **Split Pourable Sealant Pocket** — Cuts to size and offers a low profile to help seal varying penetrations with less sealant.
- **Square Tube Wrap** — Tube wraps are split with overlaps to wrap around square or rectangular tubing
- **T-Joint Cover Patches** — Conforming seal for use over T-joints in 60- and 80-mil membrane applications.
- **TPO Cover Tape** — Self-adhered TPO ideal for stripping-in TPO and edge metal.
- **Universal Corner** — Accommodates both inside and outside corners of base and curb flashings.
- **Vent** — For use in venting low-slope mechanically attached roofs.
- **Walkway Roll** — Heat-welds directly to TPO membrane or installs with seam tape. Available in gray and yellow.



Physical Properties (ASTM D 6878)					
Type	ASTM Test Method	ASTM D 6878 Minimum	EverGuard® TPO Test Values (approx.)*		
			45 mil	60 mil	80 mil
TPO Nominal Thickness	ASTM D 751	0.039"	0.045" (1.14 mm)	0.060" (1.52 mm)	0.080" (2.03 mm)
Thickness Over Scrim	ASTM D 7635	0.015"	15.8 mil (nominal)	24.1 mil (nominal)	31.4 mil (nominal)
Breaking Strength	ASTM D 751 Grab Method MD	220 lbf	375 lbf x 330 lbf (559 x 492 kg/m)	400 lbf x 360 lbf (596 x 536 kg/m)	440 lbf x 390 lbf (656 x 581 kg/m)
Elongation at Break	ASTM D 751	15%	30%	30%	30%
Tear Strength	ASTM D 751 (8" x 8" sample)	55 lbf	90 lbf x 120 lbf (134 x 179 kg/m)	70 lbf x 130 lbf (104 x 194 kg/m)	100 lbf x 180 lbf (149 x 268 kg/m)
Brittleness Point	ASTM D 2137	-40 °F	-40 °F	-40 °F	-40 °F
Ozone Resistance	ASTM D 1149	No cracks @ 7x magnification	No visible deterioration @ 7x magnification	No visible deterioration @ 7x magnification	No visible deterioration @ 7x magnification
Properties after Heat Aging	ASTM D573	≤1.5% weight change after 8 weeks @ 275° F, No cracks @ 7x magnification	Pass	Pass	Pass
	UAWS	Total radiation @ 8400 MJ/m ² UV, no cracking	Pass	Pass	Pass
Linear Dimensional Change	ASTM D 1204	±1%	0.2%	0.4%	0.4%
Water Absorption	ASTM D 471	±3%	0.7%	0.7%	0.7%
Factory Seam Strength	ASTM D 751	66 lbf	115 lbf (membrane failure) (1/1 kg/m)	145 lbf (membrane failure) (216 kg/m)	155 lbf (membrane failure) (231 kg/m)
Weather Resistance	ASTM D 155	10,080 kJ/m ² at 340 nm. No cracks @ 7x magnification	>20,000 KJ/(m ² · nm) at 340 nm	>25,000 KJ/(m ² · nm) at 340 nm	>25,000 KJ/(m ² · nm) at 340 nm




Note 1: Certain data is provided in MD (machine direction) x CMD (cross machine direction) format.

Note 2: Values stated are approximate and subject to normal manufacturing variation. These values are not guaranteed and are provided solely as a guide..

Additional Physical Properties					
Puncture Resistance	FTM 101 C Method 2031	Not established	>350 lb. (159 kg)	>380 lb. (172 kg)	>380 lb. (172 kg)
Permeance	ASTM E96	Not established	<0.08 Perms	<0.08 Perms	<0.08 Perms
Guarantee			Up to 20 years	Up to 25 years	Up to 30 years

Sustainability Ratings/Certifications							
Cool Roof Rating Council (CRRC)							
Color	Rated Product ID#	Initial			Aged		
		Solar Reflectance (ASTM C 1549)	Thermal Emittance (ASTM C 1371)	Solar Reflectance Index (ASTM E 1980)	Solar Reflectance (ASTM C 1549)	Thermal Emittance (ASTM C 1371)	Solar Reflectance Index (ASTM E 1980)
White	0676-0001	0.76	0.90	94	0.68	0.83	81
Energy Gray	0676-0045	0.72	0.87	88	0.67	0.90	82
Energy Tan	0676-0039	0.72	0.89	89	0.66	0.89	80
LEED Information							
Manufacturing Location				Mount Vernon, IN, New Columbia, PA, Cedar City, UT, Gainesville, TX			



Applicable Standards/Approvals			
	Miami Dade County Product Control Approved	UL Evaluation Report UL ER1306-01	ICC-ES Evaluation Report ESR-4676 (Cedar City, UT only)
	FM Approved (Refer to FM RoofNav.com for actual assemblies)	Meets or exceeds the requirements of ASTM D6878.	State of Florida Approved
	Classified by UL in accordance with ANSI/UL 790 (Refer to UL Product iQ for actual assemblies)	Texas Department of Insurance Report RC-122	CRRC Rated — Can be used to comply with 2021 Title 24, Part 6, Cool Roof Requirements of the California Code of Regulations (White only)

Product Data										
Roll Size	12' Roll Size	12' Roll Weight (Average)	10' Roll Size	10' Roll Weight (Average)	8' Roll Size	8' Roll Weight (Average)	6' Roll Size	6' Roll Weight (Average)	5' Roll Size	5' Roll Weight (Average)
EverGuard® TPO 45	12' x 100' (3.66 x 30.5 m) 1,200 sq. ft. (111.5 sq.m)	307 lb. (139 kg)	10' x 100' (3.05 x 30.5 m) 1,000 sq. ft. (92.9 sq.m)	256 lb. (116 kg)	8' x 100' (2.43 x 30.5 m) 800 sq. ft. (74.3 sq.m)	204 lb. (93 kg)	6' x 100' (1.83 x 30.5 m) 600 sq. ft. (55.7 sq.m)	153 lb. (70 kg)	5' x 100' (1.52 x 30.5 m) 500 sq. ft. (46.5 sq.m)	128 lb. (58 kg)
EverGuard® TPO 60	12' x 100' (3.66 x 30.5 m) 1,200 sq. ft. (111.5 sq.m)	386 lb. (175 kg)	10' x 100' (3.05 x 30.5 m) 1,000 sq. ft. (92.9 sq.m)	322 lb. (146 kg)	8' x 100' (2.43 x 30.5 m) 800 sq. ft. (74.3 sq.m)	257 lb. (117 kg)	6' x 100' (1.83 x 30.5 m) 600 sq. ft. (55.7 sq.m)	194 lb. (88 kg)	5' x 100' (1.52 x 30.5 m) 500 sq. ft. (46.5 sq.m)	162 lb. (74 kg)
EverGuard® TPO 80	12' x 100' (3.66 x 30.5 m) 1,200 sq. ft. (111.5 sq.m)	504 lb. (228 kg)	10' x 100' (3.05 x 30.5 m) 1,000 sq. ft. (92.9 sq.m)	420 lb. (191 kg)	8' x 100' (2.43 x 30.5 m) 800 sq. ft. (74.3 sq.m)	336 lb. (152 kg)	6' x 100' (1.83 x 30.5 m) 600 sq. ft. (55.7 sq.m)	252 lb. (114 kg)	5' x 100' (1.52 x 30.5 m) 500 sq. ft. (46.5 sq.m)	210 lb. (95 kg)
Colors		White, Gray, Energy Gray, Slate Gray, Tan, Energy Tan, Desert Tan, Dark Bronze, Dark Brown, Goldenrod, Sky Blue, Regal Blue, Electric Blue, Hartford Green, Palina Green, Regal Red, Terra Cotta.								
Storage		Store on pallets in a clean, dry area at temperatures below 100 °F (38 °C).								
Safety Warning		Membrane rolls are heavy. Employ at least two people to position and install.								



Visit gaf.com

For additional information, contact GAF Design Services at 1-877-423-7663 or designservices@gaf.com





Hard Times Cafe
Alexandria, VA

Renovations

Rear Deck
Glass Door & Glazing

SL-14 & SL-15
Aluminum

MONUMENTAL DOORS

Durability and design versatility in a full-vision door

Special-Lite® Monumental Doors allow you to create the open and inviting full-vision entrance you want while providing the functionality, security, and long service life you require.

You don't have to sacrifice design flexibility by committing to a heavy 2" stile and rail door. Our 1 3/4" thick doors are engineered and built for performance.

We've engineered our monumental doors to stand up to the rigors of high-traffic and abusive entrances while avoiding unnecessary weight that would compromise the longevity of the entrance and hardware. Our exclusive design provides durability and long life that you won't get from other stile and rail doors.

Exclusive Mid-Panel

Inspired by our rugged foamed-in-place Hybrid doors like the SL-17, the SL-484 Mid-Panel is a Special-Lite exclusive that protects the center portion of the door in locations prone to heavy traffic. Our mid-panel features an aluminum frame, foamed-in-place core, and two galvanized steel tie rods at top and bottom which add considerable strength and durability.

Our mid-panel can be prepped for the installation of low-profile proximity card readers inside the mid-panel. Internal mounting keeps the reader out of sight, out of the weather, and out of the reach of vandals. For additional security, choose one of our recessed pulls which are constructed as a part of the mid-panel. There are no projections above the door surface, which improves entrance safety. There's also nothing to wrap a chain around, for added entrance security.



OPTIONS FOR:



Proximity Card Reader

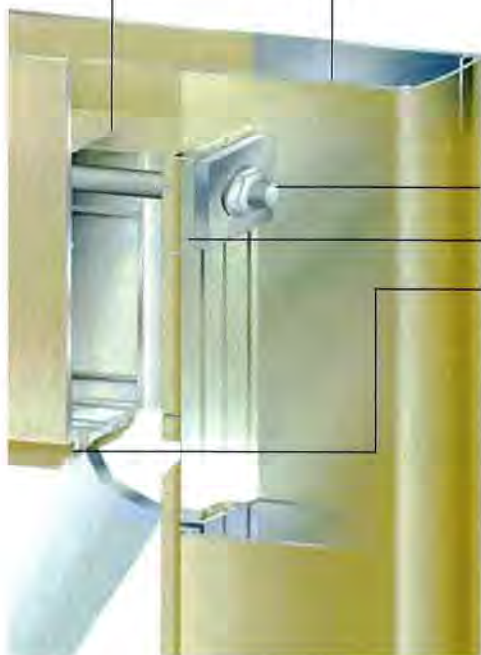


Mid-Rail

Our Mid-Rail is a one-piece extrusion with integral exterior glass stops that is secured to the vertical stiles with mortise and tenon joints and a full-width tie rod, further strengthening the door for even greater durability. A mid-rail also separates the glass area into two sections for less cost, and can conceal touch bar exit devices from exterior view. We offer 2 1/2", 4", 6 1/2" and 8" wide mid-rails, which can be positioned horizontally or vertically and specified in contrasting finishes to create just the look you want to enhance your overall design theme.

One-piece aluminum alloy stiles and rails in 1 3/4" standard thickness

Minimum 1/8" wall thickness



Full-width galvanized 3/8" steel tie rods

True mortise and tenon joinery

Extruded integral exterior glass stops

Construction that Sets Our Doors Apart

- True mortise and tenon joinery provides exceptional strength and transfers the weight of the glass and door directly to the hinge stile.
- Full-width top and bottom tie rods secured with hex nuts are superior to inflexible welds, can include up to 5 tie rods per door depending on configuration.
- Integral exterior glass stops in stiles and rails provide added security and strength over snap-in stops. Glazing can be specified in 1/4" or 1" thickness.
- Stiles and rails are rugged one-piece 6063-T6 aluminum alloy extrusions with a minimum 1/8" wall thickness to resist denting and provide secure attachment for hardware.
- Choose from our standard selection of Class 1 anodized aluminum finishes or 20 Kynar® paint colors. Custom paint colors and Wood Expressions Decorative Finishes are also available for the warm look of wood without the maintenance.
- Two stile widths available, the SL-14 Medium Stile (3-1/2") or the SL-15 Wide Stile (4-3/4").
- We stand by our Monumental Doors with a limited lifetime warranty on corner construction.



Design Options that Set Your Building Apart

Whether you are looking to retrofit a historic building, brand the entrance of a restaurant, or instill a sense of school pride, Special-Lite offers nearly infinite custom options to outfit your entrances. Pictured are just a few of the options you have with Special-Lite Monumental Doors. Contact Special-Lite or your local representative to learn more!



Oversized



Custom Colors



Custom Panels and Muntins



Wood Expressions



Cut-Out Midpanel



Engraved Midpanel



Curved Framing and Muntins

Ratings & Testing

The SL-15 Wide Stile Monumental Door has been tested for hurricane and windstorm resistance, blast resistance, intrusion resistance, thermal performance and more. The SL-15 is also available with a Smoke and Draft Control "S-Label" rating. If this option is selected, these openings will come from the factory with all the necessary Category H Smoke and Draft control gaskets to be applied in the field. Please consult the website or your local representative for more information on test results and rated configurations.

Special-Lite, Inc.
860 S. Williams St. Decatur, MI 49045

special-lite.com

800.821.6531

Item 1244

11/20 PDF



ALUMINUM FRAMING

Better materials and construction make our framing more durable

The Frame is the foundation of any entrance. It must be capable of holding the components of the entrance system in position securely to keep doors and hardware operating properly without the need for constant adjustment and repair. Many entrance problems attributed to doors are actually frame problems.

Entrance framing should be consistent with the architectural theme of the building and contribute to its beauty. We combine the highest quality materials with proven designs and hands-on craftsmanship to produce attractive and durable frame and panel products that harmonize with the design of our customers' buildings, and our long-lasting doors.

Choose our heavy wall flush glazed or applied stop heavy-duty tube frame for entrances subject to heavy traffic or other environmental challenges. Our thermally-broken frame has great thermal performance for our energy saving customers.

Features & Benefits

- Custom manufactured framing that includes curves or special shapes
- Fully assembled at factory with minimal knock-down for shipment
- 6063-T6 aluminum alloy, 100% reprocessed from industrial processes. Fully recyclable
- Helps earn recycled material credits in the U.S. Green Building Council's LEED standards
- Durable Finishes: Class 1 (.7 mil) anodize, Kynar 500®* paint or Decorative Finish
- Corner joints are secured with heavy-duty internal joint anchors for strength
- Internally reinforced with aluminum bar stock at closer, mullion and locking strike points
- 10 Year Warranty on framing products and anodized finish. Painted and Decorative Finish warranted by coating manufacturer



Tube Frame with Applied Stops

Special-Lite® Tube Frames offer a degree of adjustability that provides a tighter fit and better weather sealing in irregular openings.

- 1/8" minimum wall thickness for strength and durability
- Applied stops secured at ends and every 10" for security
- Built-in weather strips and bead seal in applied stops for better sealing
- Applied stops provide 7/16" bite for glazing materials
- Face sizing from 5/8" - 2"; Depth fixing from 4" - 6"



Tube Frame with Applied Stop

Flush Glazed Framing

Flush glazed frames can be used where the aesthetics of slimmer sight lines are more important.

- 1/8" minimum wall thickness for strength and durability
- 1/4" glass - use the 1-3/4" x 4-1/2" (44mm x 114mm) frame
- 1" glass - use 2" x 6" (51mm x 152mm) or 2" x 4-1/2" (51mm x 114mm) frame



Flush Glazed Framing

Thermally Broken Framing

Thermally Broken Framing provides great thermal performance that matches or exceeds the thermal performance of glass.

- Standard lead times
- See your energy savings - visible black fiber reinforced plastic thermal break
- Lock jambs, hinge jambs and door headers: 0.125" wall thickness
- Jambs, mullions, sills, horizontal intermediates and headers: 0.080" wall thickness
- SL-450TB is 2" face x 4-1/2" depth
- SL-600TB is 2" face x 6" depth
- Double pocket Tube Mullion available in 4-1/2" and 6" depth
- 2" face header
- 1" insulated glass only (1/4" adapter available)
- Sill options in both 4-1/2" and 6" depths



Thermally Broken Framing

Removable Center Post

The Removable Center Post fits our standard tube frames and allows oversized objects to pass

- 2" wide x 4", 4-1/2", 5" or 6" deep to match framing depth
- 1/8" wall extruded 6063-T6 aluminum alloy tubing for durability
- Internal locking bolts engage top and bottom fittings for security
- Pre-drilled for all hardware as requested to simplify installation
- Dual weather stripping for better sealing and energy efficiency



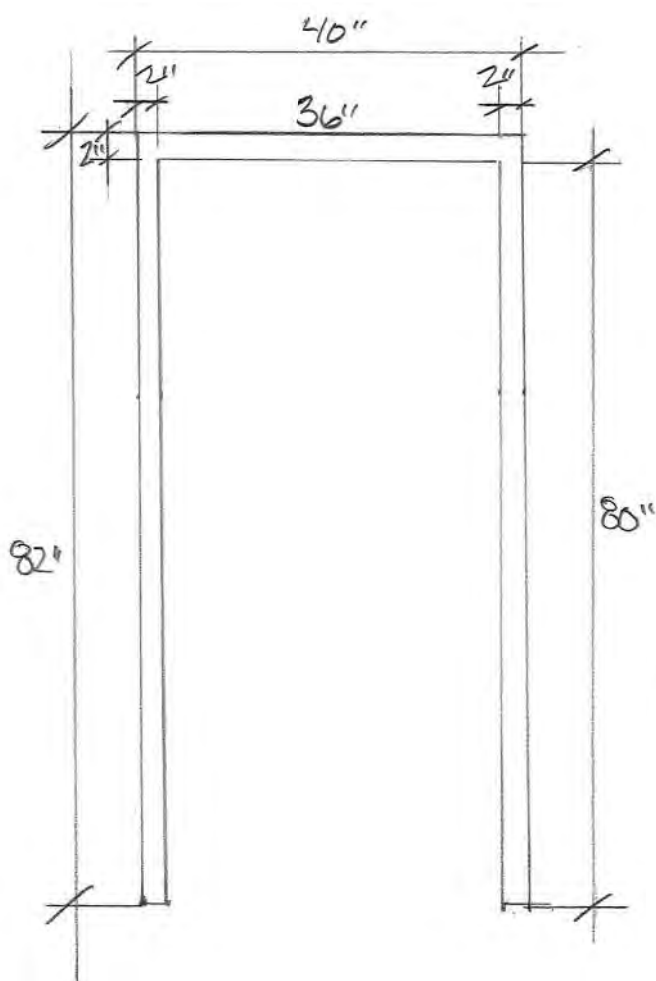
Removable Center Post

Thresholds

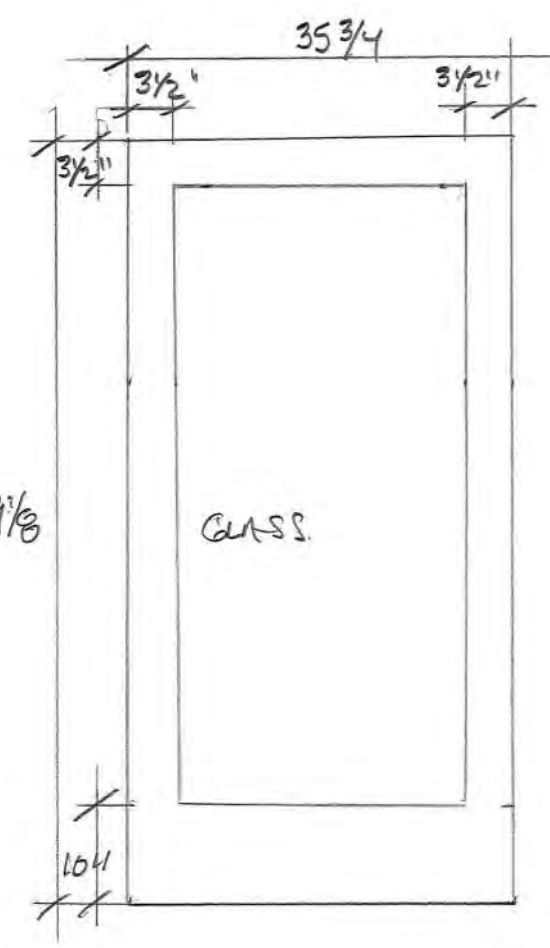
Thresholds are available in a saddle or latch track style in various heights and depths.



1/2" x 4" Threshold



Frame 4 1/2" x 2"



SL-14 Door MEDIUM STILE

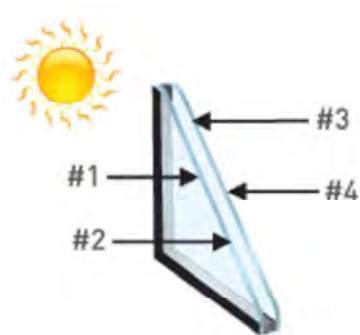
	Date:	Drawn By:	Sheet ____ of ____
--	--------------	------------------	----------------------------------

1" (25mm) Insulating VNE31-63

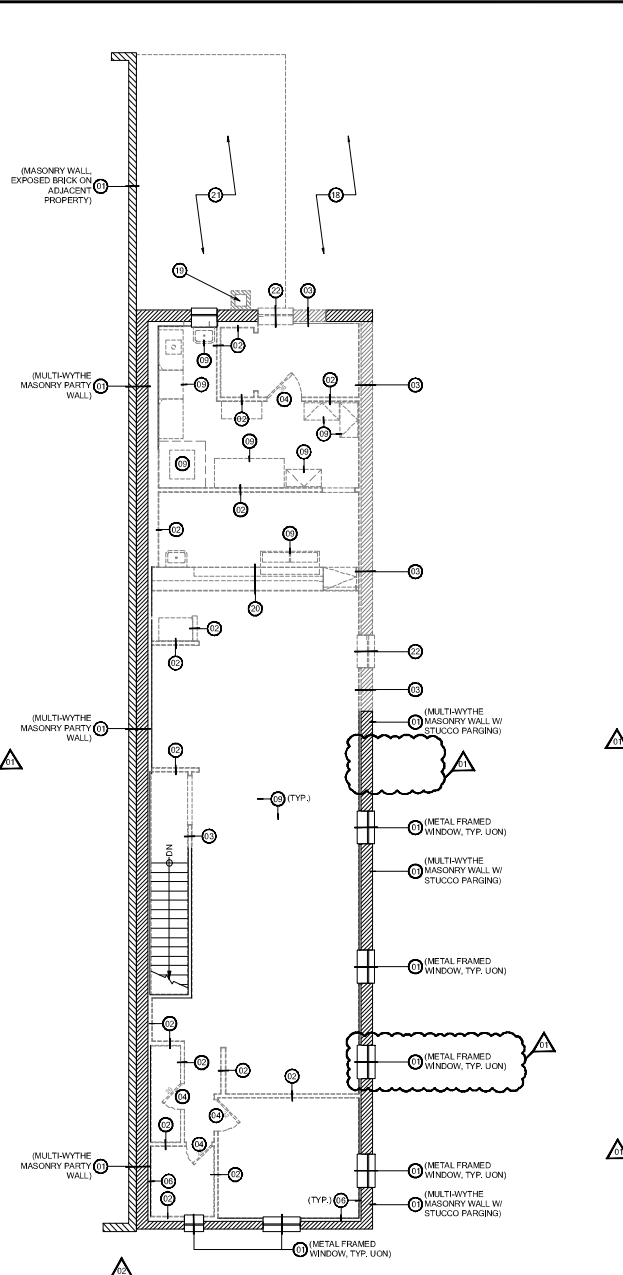
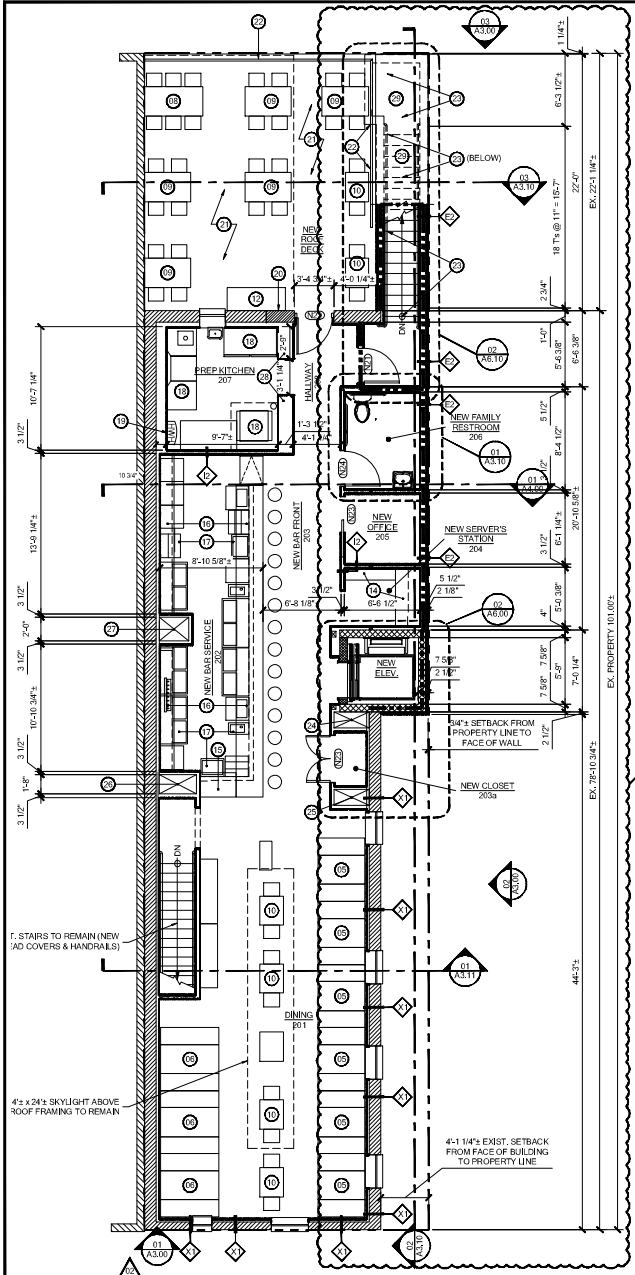
PERFORMANCE DATA

Transmittance	
Visible Light	66%
Solar Energy	27%
UV	7%
Reflectance	
Visible Light-Exterior	11%
Visible Light-Interior	11%
Solar Energy	56%
NRFC U-Value	
Winter	0.29 (hr x sqft x °F)
Summer	0.26 (hr x sqft x °F)
Shading Coefficient	0.33
Relative Heat Gain	70Btu/(hr x sqft)
Solar Heat Gain Coefficient (SHGC)	0.29
LSG	2.28

Makeup



1/4" (6mm) UltraClear® with
 VNE-63 #2
 1/2" (13.2mm) space - air
 filled
 1/4" (6mm) UltraClear®



- GENERAL NOTES:**
1. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC. SHALL COMPLY WITH REQUIREMENTS OF APPLICABLE CODES & STANDARDS AS A MINIMUM. STRICTER STANDARDS INDICATED ON THE DRAWINGS SHALL BE FOLLOWED.
 2. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC. SHALL COMPLY WITH APPLICABLE MANUFACTURER'S WRITTEN STANDARDS & RECOMMENDATIONS.
 3. EXISTING CONDITIONS SHOWN ARE BASED ON LIMITED NON-DESTRUCTIVE FIELD OBSERVATIONS & MEASUREMENTS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING ALL DEVIATIONS FROM EXISTING CONDITIONS IDENTIFIED TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
 4. UNLESS INDICATED FOR SALVAGE, REUSE, OR REINSTALLATION ALL MATERIALS INDICATED FOR DEMOLITION OR REMOVAL ARE TO BE LEGALLY DISPOSED OF OFF SITE.
 5. UNLESS INDICATED OTHERWISE ALL NEW NON-BEARING INTERIOR PARTITIONS TO BE 5/8" GYPSUM BOARD EACH SIDE OF 2x4 WOOD STUDS @ 24" MAX. O.C. PARTITIONS TO EXTEND FROM CONC. SLABS OR SUB-FLOORING TO BOTTOM OF JOISTS ABOVE.
 6. EXIST. FINISHED SURFACES TO REMAIN THAT ARE DISTURBED BY DEMOLITION AND/OR NEW WORK TO BE PATCHED FLUSH & ALIGNED W/ EXIST. UNLESS NEW FINISHES HAVE BEEN SELECTED BY OWNER.
 7. ALL EXIST. GYP. BD. AND/OR PLASTER FINISHES TO BE REMOVED INCLUDING EXIST. LATHIE TO EXPOSE EXISTING WOOD FRAMING/FURRING OR MASONRY SUBSTRATES.
 8. FINISHES TO BE AS SELECTED BY OWNER EITHER EXISTING MATERIAL PATCHED & EXTENDED OR NEW FINISH.
 9. ALL NEW CONCRETE SHALL BE 3000 PSI MIN. DESIGN MIX.
 10. PRIOR TO REMOVING ANY PORTION OF EXIST. BEARING PROVIDE TEMPORARY SUPPORT FOR EXIST. FLOOR/ROOF FRAMING. TEMPORARY SUPPORTS SHALL BE LOCATED 30" MAXIMUM FROM SUPPORT WALL BEING REMOVED SHALL EXTEND FULL HEIGHT FROM FLOOR/ROOF FRAMING BEING SUPPORTED TO EXISTING CONC. SLAB ON GRADE. TEMPORARY SUPPORTS SHALL BE FRAMED 2x6 STUDS @ 12" MAX. O.C. W/ MIN. 3-2x6 CONTINUOUS PLATES TAB. TEMPORARY SUPPORT WALLS SHALL EXTEND 2- JOISTS MIN. BEYOND WIDTH OF WALL BEING REMOVED.
 11. EXISTING BRICK OR CMU MASONRY DISTURBED BY WORK OF THIS PROJECT SHALL BE PATCHED TO MATCH EXISTING MATERIALS AND PATTERN. SALVAGE AND EXISTING BRICK MATERIALS FOR REUSE IN PATCHING, MORTAR USED TO REPAIR EXISTING BRICK MASONRY SHALL BE REPAIR MORTAR HAVING SIMILAR PHYSICAL PROPERTIES AND PERFORMANCE TO EXISTING BRICK MORTAR. REPAIRS TO MASONRY CONSTRUCTION SHALL BE TOOTHED INTO EXISTING PATTERN TO UTILIZE FULL UNIT SIZES.
 12. NEW ROOF, WATERPROOFING, AIR/WATER BARRIERS SHALL BE COMPLETE SYSTEMS FROM A SINGLE MANUFACTURER AND SHALL BE INSTALLED IN A MANNER AND DETAIL SO THAT THE MANUFACTURER'S MAXIMUM FULL MATERIALS, SYSTEM AND INSTALLATION ARE PROVIDED.

- PROPOSED KEY NOTES:**
1. NEW 5/8" GYP. BD. ON EXIST. FRAMING OR FURRING (DETERIORATED FRAMING & FURRING TO BE REPLACED), TYP. ALL WALLS, CEILINGS, ETC. UON
 2. NEW WALL, 2x4 WOOD STUDS @ 16" O.C. W/ 5/8" GYP. BD. ON EXPOSED SIDES UON. PROVIDE SOUND BATT INSUL. AT RESTROOMS
 3. NEW 1/4" SET TILE FLOOR OVER CEMENT TILE BACKER BOARD
 4. NEW/REFURBISHED 2-SEAT BOOTH
 5. NEW/REFURBISHED 4-SEAT BOOTH
 6. NEW/REFURBISHED 6-SEAT BOOTH
 7. NEW/REFURBISHED 5-SEAT BOOTH
 8. NEW/REFURBISHED 4-SEAT TABLE
 9. NEW/REFURBISHED 3-SEAT TABLE
 10. NOT USED
 11. NEW SERVERBUSING STATION
 12. NOT USED
 13. NEW SERVER'S STATION CABINETS & COUNTER AS SELECTED BY OWNER
 14. NEW ACCESSIBLE BAR COUNTER 36" MIN., 28"-34" H, W/ KNEE & TOE CLEARANCE PER ANSI A117.1
 15. NEW BAR, BACK BAR AND OVER BAR STORAGE
 16. NEW OR REFURBISHED BAR EQUIP. (TYP.), SEE A8.00 FOR EQUIP. PLAN & SCHEDULE
 17. NEW/REFURBISHED KITCHEN EQUIP. (TYP.), SEE A8.00 FOR EQUIP. PLAN & SCHEDULE
 18. NEW WALL MOUNTED HWH ABOVE
 19. INRLL EXIST. WINDOW OPENING W/ SALVAGED OR NEW BRICK TO MATCH EXIST., PATCH CEMENT PLASTER FINISH TO MATCH
 20. NEW PAVR DECK ON ADJ. PEDESTALS OVER NEW WOOD FRAMED ROOF W/ TPO ROOF SYSTEM
 21. NEW 42" H METAL GUARDRAIL W/ 9H POSTS TO ATTACH STRING LIGHTS
 22. NEW WOOD FRAMED EXIT STAIR, (SEE ENLARGED PLAN, SECTION & DETAILS)
 23. NEW 3'-0 1/4" x 1 1/4" CLR. SHAFT (1ST FLR. RET. AIR, SEE MECH. DWGS.)
 24. NEW 3'-0 1/4" x 1 1/4" CLR. SHAFT (1ST FLR. SUP. AIR, SEE MECH. DWGS.)
 25. NEW 3'-1 3/4" x 1 1/4" CLR. SHAFT (KIT. HOOD SUP. AIR, SEE MECH. DWGS.)
 26. NEW 2'-6 1/4" x 2 1/4" CLR. SHAFT (KIT. HOOD EXHAUST, SEE MECH. DWGS.)
 27. NEW SHAFTS FOR 1ST FLOOR DUCT RISERS (SEE MECH. DWGS.)
 28. NEW MEMBRANE ROOF OVER STAIR & 1ST FLOOR LANDING

- DEMOLITION KEY NOTES:**
1. EXISTING TO REMAIN (NO WORK)
 2. EXIST. PARTITION WALL TO BE COMPLETELY REMOVED
 3. EXIST. PARTITION WALL TO BE REMOVED TO EXTENT INDICATED
 4. EXIST. DOOR, FRAME, & HARDWARE TO BE COMPLETELY REMOVED
 5. EXIST. CEILING TO BE REMOVED TO EXIST. FURRING STRUCTURE
 6. EXIST. WALL PARTITION FINISH TO BE REMOVED TO EXIST. FURRING OR STRUCTURE TYPICAL ALL WALLS & PARTITIONS UON
 7. EXIST. FLOOR FINISH TO BE REMOVED TO SLAB/SUB-FLOOR
 8. EXIST. OVER BAR STORAGE TO BE REMOVED
 9. EXIST. KITCHEN & BAR EQUIP. TO BE TEMPORARILY REMOVED FOR CLEANING, SERVICE & REINSTALLATION
 10. EXIST. HAND SINK & ACCESSORIES TO BE REMOVED FOR CLEANING SERVICE & REINSTALLATION OR TO BE REPLACED
 11. EXIST. EXHAUST HOOD, DUCTWORK, FANS, ETC. TO BE REMOVED & REPLACED W/ NEW
 12. EXIST. KETTLES TO BE TEMPORARILY REMOVED FOR CLEANING SERVICE & REINSTALLATION
 13. EXIST. ICE MAKER TO BE TEMPORARILY REMOVED FOR CLEANING, SERVICE & RELOCATION
 14. EXIST. WALK-IN COOLER TO REMAIN
 15. EXIST. BEER COOLER TO BE REMOVED & REPLACED BY OWNER
 16. EXIST. PLUMBING FIXTURES, TOILET PARTITIONS, ACCESSORIES, ETC. TO BE REMOVED
 17. EXIST. BOOTHS, FURNISHINGS, EQUIPMENT, ETC. TO BE TEMPORARILY REMOVED
 18. EXIST. STORED MATERIALS, EQUIPMENT, METAL FRAMING, ETC. TO BE REMOVED
 19. EXIST. MASONRY CHIMNEY, ENCLOSURE, ETC. TO BE COMPLETELY REMOVED, PATCH 1ST FLOOR SLAB & MASONRY WALL TO MATCH EXIST.
 20. EXIST. BAR COUNTER & BAR MILLWORK TO BE COMPLETELY REMOVED
 21. EXIST. WOOD FRAMED ROOF/CEILING & SHINGLE ROOF COVERING TO BE COMPLETELY REMOVED
 22. EXIST. METAL FRAMED WINDOW TO BE COMPLETELY REMOVED

HARD TIMES CAFE
1404 KING STREET
ALEXANDRIA, VA 22314

RICH KELLY
RICKHKEYHTC@GMAIL.COM
703-622-4260

W H A
ARCHITECTURE AND PLANNING

1408 N. FULLMOORE ST., SUITE # 9
ARLINGTON, VA 22204
PH: (703) 524-2227 FAX: (703) 524-1830

HARD TIMES CAFE
RENOVATIONS
1404 KING STREET
ALEXANDRIA, VA 22314

ARCHITECTURAL
2ND FLOOR - PROPOSED
& DEMOLITION PLANS

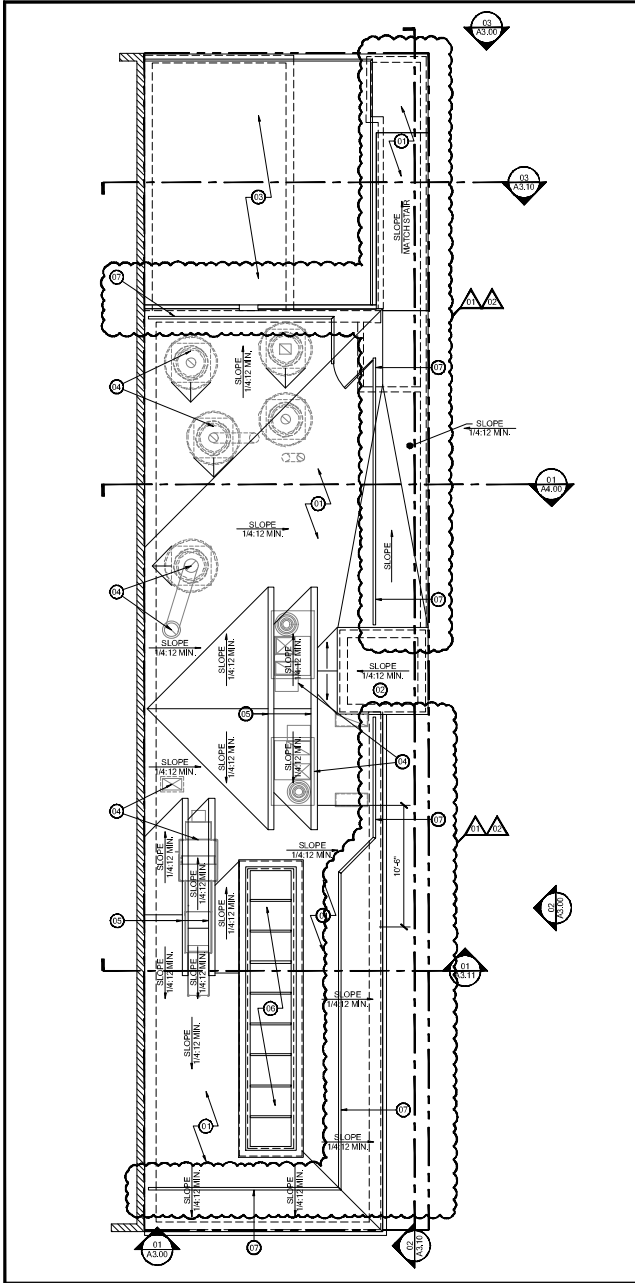
301 230 13

DATE: 01/03/2024
BY: 02/03/2024
REVISION: PRESERVATION SUBMITTA
BAR LETTER RESPONSE

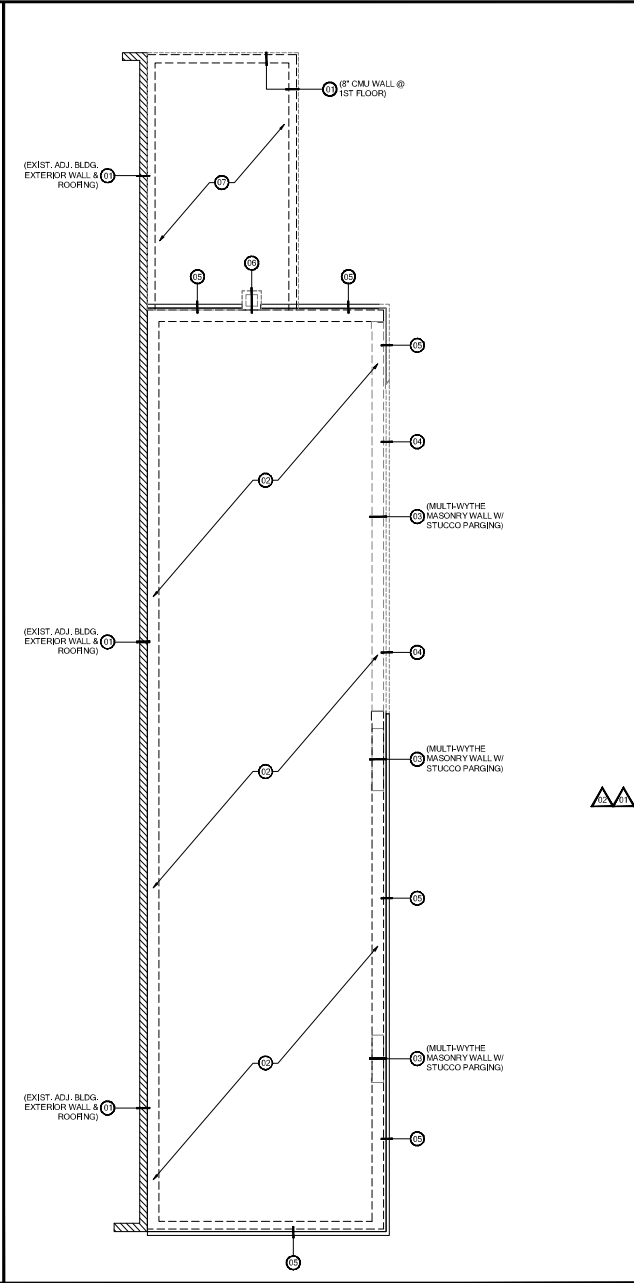
JAN 24, 2024 AS NOTED

1/27

A2.01



01
A2.02
ROOF - PROPOSED PLAN
SCALE: 3/16" = 1'-0"
12 0 2 4 6 8 10 15



02
A2.02
ROOF - DEMOLITION PLAN
SCALE: 3/16" = 1'-0"
12 0 2 4 6 8 10 15

- GENERAL NOTES:**
1. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC., SHALL COMPLY WITH REQUIREMENTS OF APPLICABLE CODES & STANDARDS AS A MINIMUM. STRICHER STANDARDS INDICATED ON THE DRAWINGS SHALL BE FOLLOWED.
 2. ALL WORKMANSHIP, MATERIALS, INSTALLATIONS, EQUIPMENT, SYSTEMS, ETC., SHALL COMPLY WITH APPLICABLE MANUFACTURERS WRITTEN STANDARDS & RECOMMENDATIONS.
 3. EXISTING CONDITIONS SHOWN ARE BASED ON LIMITED NON-DESTRUCTIVE FIELD OBSERVATIONS & MEASUREMENTS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BRING ALL DEVIATIONS FROM EXISTING CONDITIONS DEP. TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
 4. UNLESS INDICATED FOR SALVAGE, REUSE, OR REINSTALLATION ALL MATERIALS INDICATED FOR DEMOLITION OR REMOVAL ARE TO BE LEGALLY DISPOSED OF OFF SITE.
 5. UNLESS INDICATED OTHERWISE ALL NEW NON-BEARING INTERIOR PARTITIONS TO BE 5/8" GYPSUM BOARD EACH SIDE OF 2x4 WOOD STUDS @ 24" MAX. O.C. PARTITIONS TO EXTEND FROM CONC. SLAB OR SUB-FLOORING TO BOTTOM OF JOISTS ABOVE.
 6. EXIST. FINISHED SURFACES TO REMAIN THAT ARE DISTURBED BY DEMOLITION AND/OR NEW WORK TO BE PATCHED FLUSH & ALIGNED W/ EXIST. UNLESS NEW FINISHES HAVE BEEN SELECTED BY OWNER.
 7. ALL EXIST. GYP. BD. AND/OR PLASTER FINISHES TO BE REMOVED INCLUDING EXIST. LATHIE TO EXPOSE EXISTING WOOD FRAMING/FURRING OR MASONRY SUBSTRATES.
 8. FINISHES TO BE AS SELECTED BY OWNER EITHER EXISTING MATERIAL PATCHED & EXTENDED OR NEW FINISH.
 9. ALL NEW CONCRETE SHALL BE 3000 PSI MIN. DESIGN MIX.
 10. PRIOR TO REMOVING ANY PORTION OF EXIST. BEARING PROVIDE TEMPORARY SUPPORT FOR EXIST. FLOOR/ROOF FRAMING. TEMPORARY SUPPORTS SHALL BE LOCATED 30" MAXIMUM FROM SUPPORT WALL BEING REMOVED & SHALL EXTEND FULL HEIGHT FROM FLOOR/ROOF FRAMING BEING SUPPORTED TO EXISTING CONC. SLAB ON GRADE. TEMPORARY SUPPORTS SHALL BE FRAMED 2x6 STUDS @ 12" MAX. O.C. W/ MIN. 3x2x6 CONTINUOUS PLATES TAB. TEMPORARY SUPPORT WALLS SHALL EXTEND 2- JOISTS MIN. BEYOND WIDTH OF WALL BEING REMOVED.
 11. EXISTING BRICK OR CMU MASONRY DISTURBED BY WORK OF THIS PROJECT SHALL BE PATCHED TO MATCH EXISTING MATERIALS AND PATTERN. SALVAGE AND EXISTING BRICK MATERIALS FOR REUSE IN PATCHING. MORTAR USED TO REPAIR EXISTING BRICK MASONRY SHALL BE RESTORATION MORTAR HAVING SIMILAR PHYSICAL PROPERTIES AND PERFORMANCE TO EXISTING BRICK MORTAR. REPAIRS TO MASONRY CONSTRUCTION SHALL BE TOOTHED INTO EXISTING PATTERN TO UTILIZE FULL UNIT SIZES.
 12. NEW ROOF, WATERPROOFING, AIR/WATER BARRIERS SHALL BE COMPLETE SYSTEMS FROM A SINGLE MANUFACTURER AND SHALL BE INSTALLED IN A MANNER AND DETAIL SO THAT THE MANUFACTURERS MAXIMUM FULL MATERIALS, SYSTEM AND INSTALLATION ARE PROVIDED.

- PROPOSED KEY NOTES:**
1. NEW TPO ROOF SYSTEM, OVER TAPERED RIGID INSUL., (1/4" 12" MIN. SLOPE, OVER 1 1/2" MIN. RIGID INSUL., BASE (R40.5 MIN.), OVER EXIST. REPLACED SHEATHING
 2. NEW ELEVATOR OVERHEAD - TPO ROOF SYSTEM, OVER 1 1/2" MIN. RIGID INSUL., OVER NEW 3/4" PLYWOOD SHEATHING ON 2x6 ROOF JOISTS (SLOPED 1/4" 12" MIN.)
 3. NEW 2ND FLOOR ROOF DECK - PAVERS ON ADJ. PEDESTALS, ABOVE TPO ROOF SYSTEM, OVER NEW 3/4" PLYWOOD SHEATHING ON 2x10 ROOF JOISTS (SLOPED 1/4" 12" MIN.)
 4. NEW ROOFTOP MECH. EQUIP., DUCTWORK, ETC. SHOWN GRAVED OUT (REFER TO MECH. DWGS. FOR ADDITIONAL INFORMATION). TYPICAL, PROVIDE ALL CURBS, FLASHINGS, PENETRATIONS, CRICKETS, ETC. AS NEEDED TO PROVIDE A FULLY WARRANTED ROOFING SYSTEM INSTALLATION
 5. NEW 6x6 MIN. PT WOOD SLEEPERS @ NEW MECH. UNITS (EXTEND 3 FULL JOIST SPACES MIN. BEYOND EQUIP. SUPPORT POINTS) W/ ALL FLASHINGS, COPING, ETC. AS NEEDED TO PROVIDE A FULLY WARRANTED ROOFING SYSTEM INSTALLATION
 6. NEW LINEAR DRAIN (BEYOND) 600 = VELLUX (LONG) (4" 12" 24" 36" (BY SIV) (GHT SUPP. ETC.)
 7. NEW 42" MECHANICAL SCREEN & GUARD W/ 1-COAT DIRECT APPLIED CEMENT PLASTER STUCCO FINISH. COLOR AND TEXTURE TO MATCH EXIST. STUCCO.

- DEMOLITION KEY NOTES:**
1. EXISTING TO REMAIN (NO WORK)
 2. EXIST. ROOFING SYSTEM TO BE COMPLETELY REMOVED DOWN TO EXIST. ROOF SHEATHING
 3. EXIST. MASONRY WALL BELOW TO BE PARTIALLY REMOVED (SEE 2ND FLOOR PLANS)
 4. EXIST. FASCIA TRIM & GUTTER TO BE REMOVED
 5. EXIST. FASCIA TRIM & GUTTER TO BE REPAIRED OR REPLACED
 6. EXIST. MASONRY CHIMNEY TO BE COMPLETELY REMOVED
 7. EXIST. WOOD FRAMED W/ ASPHALT SHINGLE ROOF (BELOW) TO BE COMPLETELY REMOVED

HARD TIMES CAFE
1404 KING STREET
ALEXANDRIA, VA 22314

RICH KELLY
RICKKELLYHTC@GMAIL.COM
703-622-4260

W H A
ARCHITECTURE AND PLANNING

1408 N. FULLMORE ST., SUITE #9 ARLINGTON, VA 22201
PH: (703) 524-1227 FAX: (703) 524-1630

HARD TIMES CAFE
RENOVATIONS
1404 KING STREET
ALEXANDRIA, VA 22314

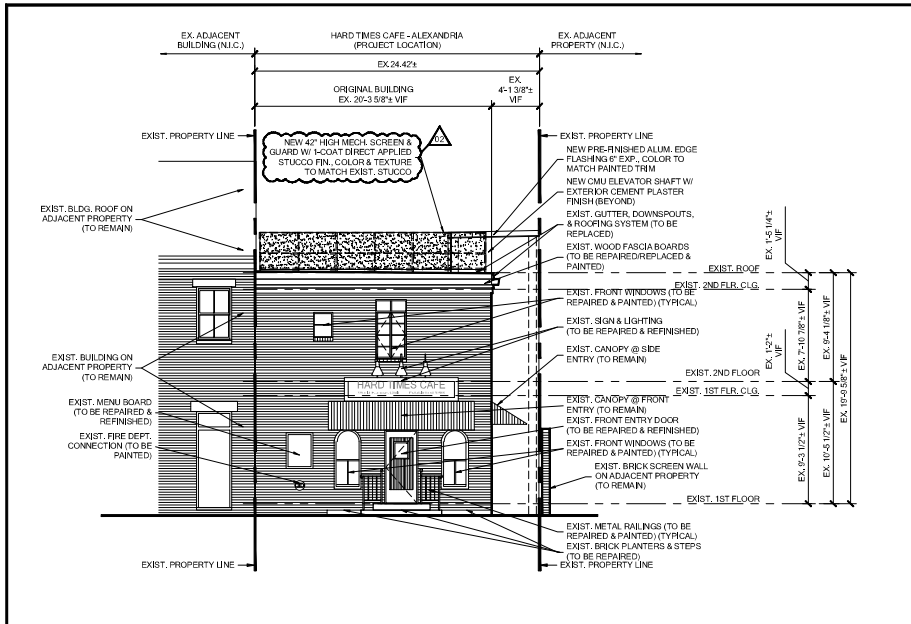
ARCHITECTURAL
ROOF - PROPOSED
& DEMOLITION PLANS

23013

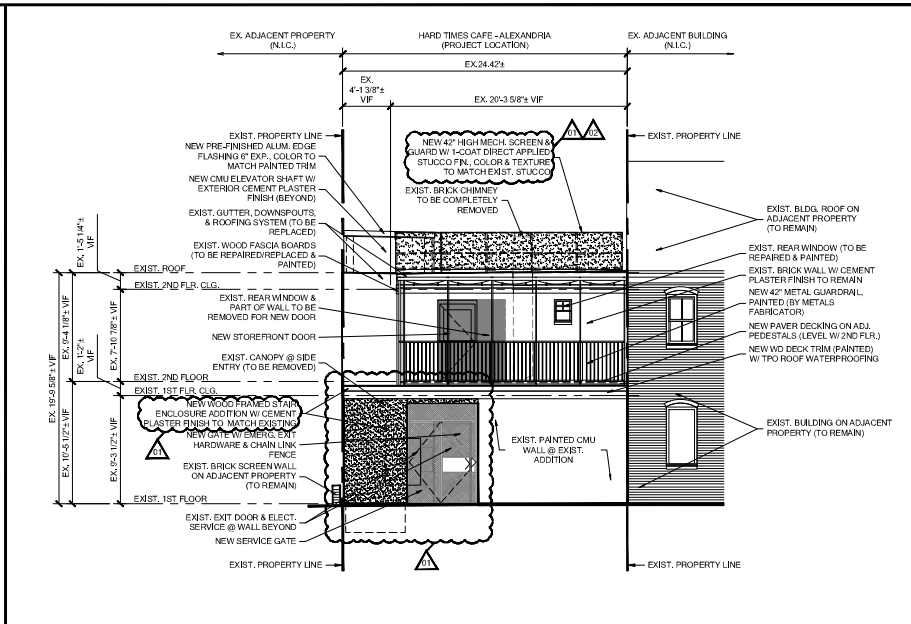
01 03/12/24 HETOR: PRESERVATION SUBMITTA
02 03/28/24 BAR LETTER RESPONSE

JAN 24, 2024 AS NOTED

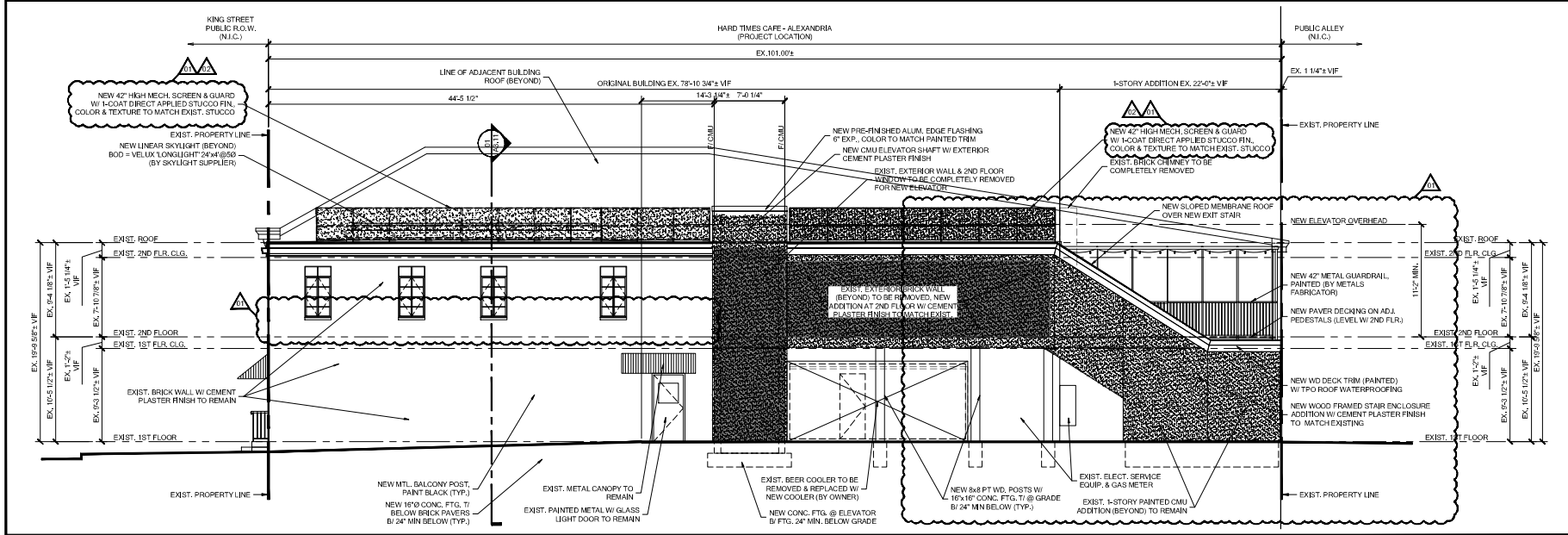
A2.02



01 NORTH (FRONT - KING STREET) ELEVATION
SCALE: 3/16" = 1'-0"



03 SOUTH (REAR - ALLEY) ELEVATION
SCALE: 3/16" = 1'-0"



02 WEST (RIGHT SIDE) ELEVATION
SCALE: 3/16" = 1'-0"

THIS DRAWING IS THE PROPERTY OF WHP ARCHITECTURE & PLANNING, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF WHP ARCHITECTURE & PLANNING, INC.

HARD TIMES CAFE
1404 KING STREET
ALEXANDRIA, VA 22314

RICH KELLY
RICHKELLYHTC@GMAIL.COM
703-622-4260

WHP ARCHITECTURE AND PLANNING

1408 N. FILLMORE ST., SUITE 9 ARLINGTON, VA 22201
PH: 703.524.2227 FAX: 703.524.1030

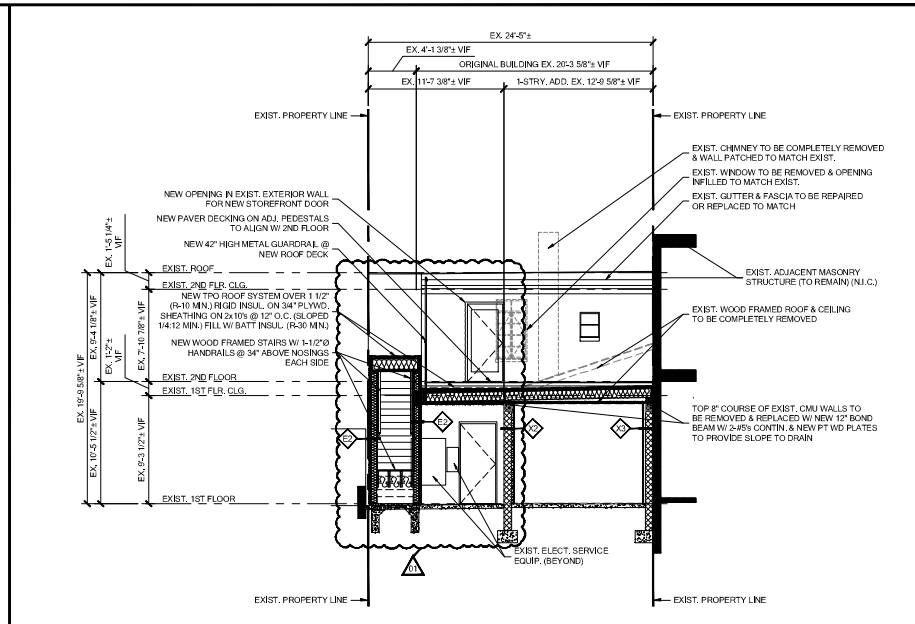
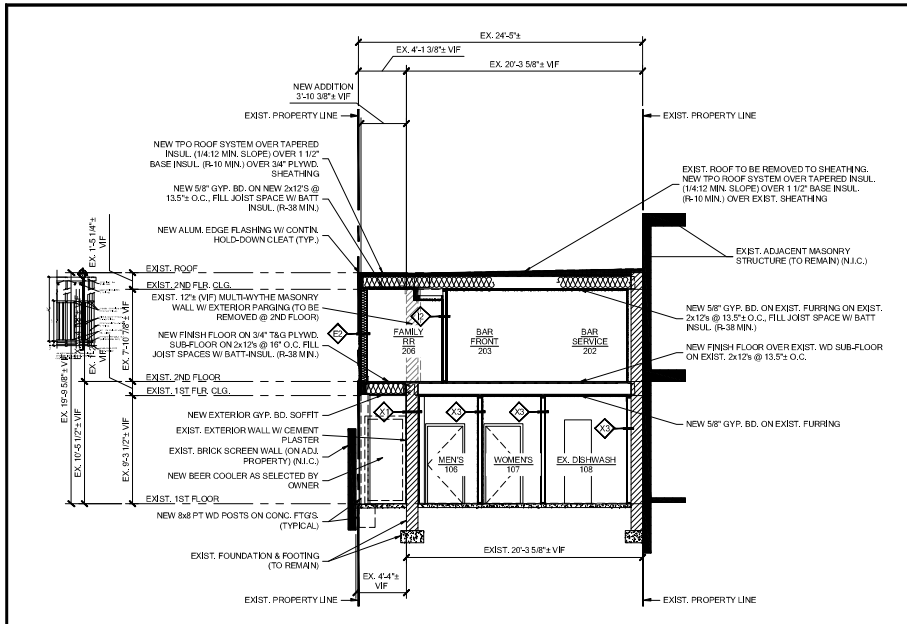
HARD TIMES CAFE RENOVATIONS
1404 KING STREET
ALEXANDRIA, VA 22314

ARCHITECTURAL BUILDING ELEVATIONS

23013

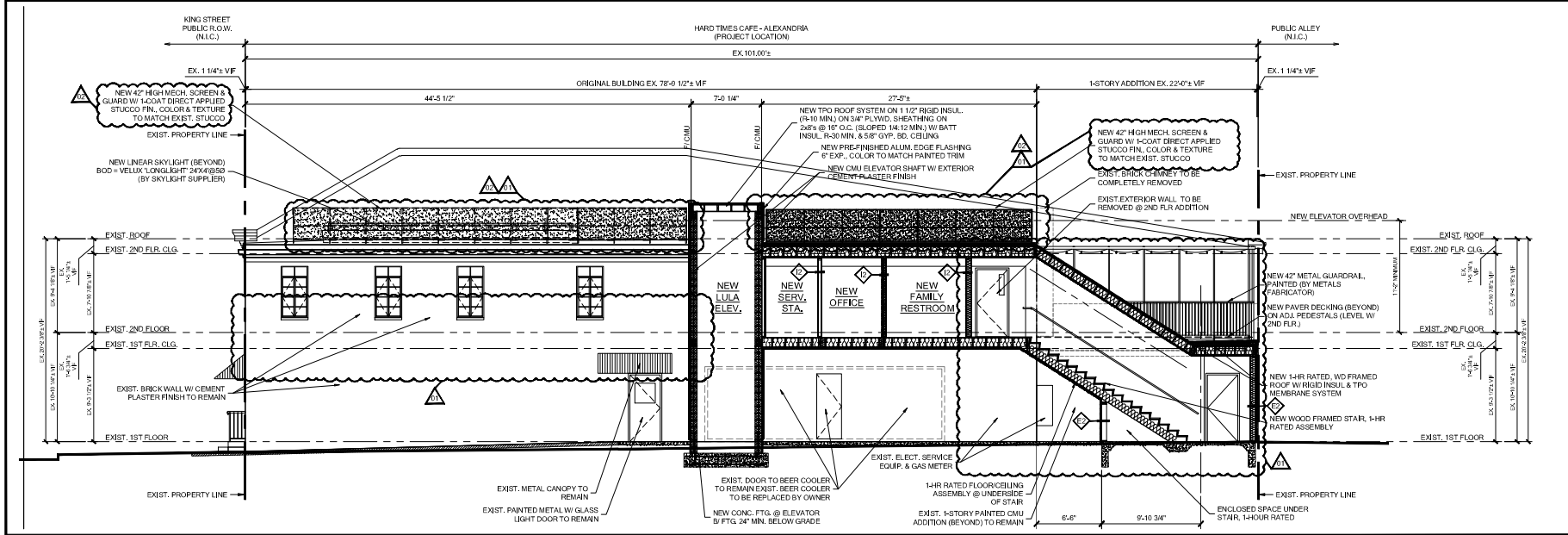
01 03/12/24 HETOR: PRESERVATION SUBMITTA
02 03/28/24 BAR LETTER RESPONSE

JAN 24, 2024 AS NOTED
1.170
A3.00



01
A3.10 BUILDING SECTION - 01
SCALE: 3/16" = 1'-0"

03
A3.10 BUILDING SECTION - 03
SCALE: 3/16" = 1'-0"



02
A3.10 BUILDING SECTION - 02
SCALE: 3/16" = 1'-0"

03
A3.10 BUILDING SECTION - 03
SCALE: 3/16" = 1'-0"

HARD TIMES CAFE
1404 KING STREET
ALEXANDRIA, VA 22314

RICH KELLY
RICHKELLYHTCC@GMAIL.COM
703-622-4260

W H A
ARCHITECTURE AND PLANNING

1408 N. FILLMORE ST., SUITE 9 ARLINGTON, VA 22201
PH: (703) 524-2527 FAX: (703) 524-0300

HARD TIMES CAFE
RENOVATIONS
1404 KING STREET
ALEXANDRIA, VA 22314

ARCHITECTURAL
BUILDING SECTIONS

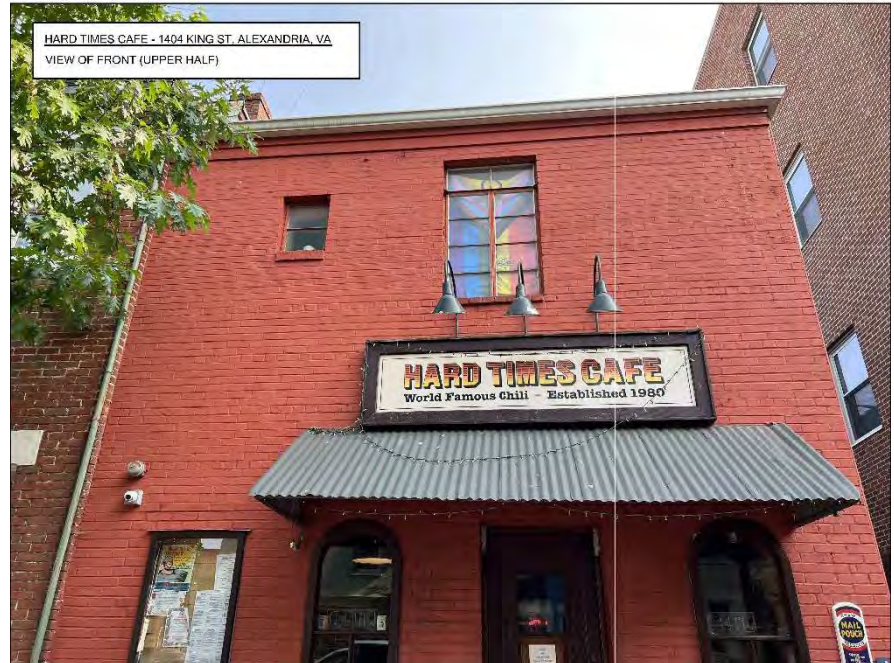
23013

01 03/12/24 HETOR: PRESERVATION SUBMITTA
02 03/28/24 BAR LETTER RESPONSE

JAN 24, 2024 AS NOTED
1.17W
A3.10



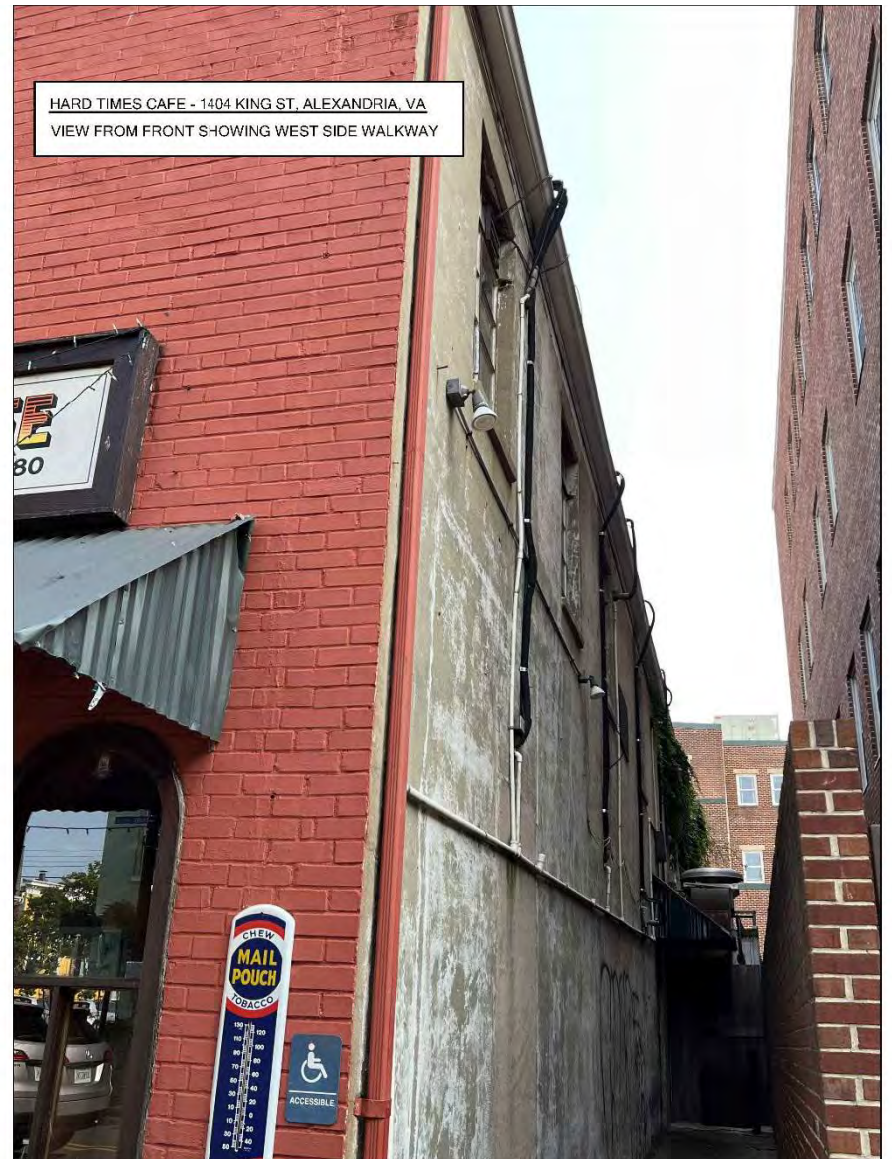
HARD TIMES CAFE - 1404 KING ST, ALEXANDRIA, VA
VIEW FROM FRONT SHOWING BUILDING TO EAST



HARD TIMES CAFE - 1404 KING ST, ALEXANDRIA, VA
VIEW OF FRONT (UPPER HALF)



HARD TIMES CAFE - 1404 KING ST, ALEXANDRIA, VA
VIEW OF FRONT (LOWER HALF)





HARD TIMES CAFE - 1404 KING ST, ALEXANDRIA, VA
 VIEW FROM S. WEST ST. SHOWING REAR OF HTC
 AND ADJACENT BUILDINGS



HARD TIMES CAFE - 1404 KING ST, ALEXANDRIA, VA
 VIEW FROM REAR ALLEY SHOWING HTC AND
 ADJACENT BUILDING TO THE WEST



HARD TIMES CAFE - 1404 KING ST, ALEXANDRIA, VA
 VIEW FROM REAR ALLEY SHOWING HTC AND
 ADJACENT BUILDING TO THE EAST