

# DOCKET ITEM #4 A & B Rezoning #2025-00001 Development Special Use Permit #2024-10010 126 Longview Drive, 2921 Nob Hill Court — Westridge Towns

Application	General Data		
Project Name: Westridge Towns	PC Hearing:	April 1, 2025	
	CC Hearing:	April 26, 2025	
	If approved, DSUP Expiration	April 26, 2028 (3 years)	
	Plan Acreage	Lot 800: 8,019 SF (0.18 acres) Lot 801: 33,867 SF (0.78 acres) Total: 42,345 SF (0.97 acres)	
Location: 126 Longview Drive & 2921 Nob Hill Court	Current Zone	R-8 / Residential	
	Proposed Zone	RA / Multi-Unit	
	Proposed Use	Multi-Unit Residential	
	Dwelling Units	19 Multi-Unit Dwellings and 1 Single Unit Dwelling = 20 Total Units	
	Gross Floor Area	Lot 800: 3,000 SF <u>Lot 801: 40,057 SF</u> Total: 43,057 SF	
	Net Floor Area	Lot 800: 2,806 SF Lot 801: 33,312 SF Total: 36,118 SF	
	Small Area Plan	Taylor Run/Duke Street	
Applicant: Old Creek Homes, LLC Duncan Blair, Attorney Wire Gill, LLP	Historic District	N/A	
	Green Building	2019 Green Building Policy	

## **Purpose of Application**

A rezoning and consideration of a request for a Development Special Use Permit to construct one single unit dwelling and three multi-unit buildings containing 19 multi-unit (townhouse-style) units.

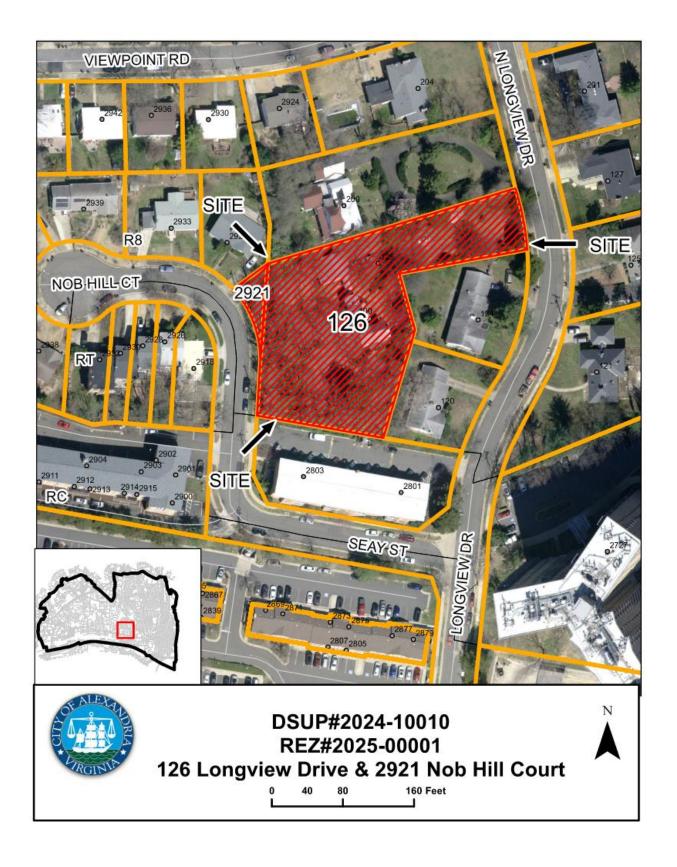
# **Applications and Modifications Requested:**

- 1. Amendment to the official zoning map to change the zoning designation of a portion of the site (proposed Lot 801) from R-8 to RA;
- 2. Development Special Use Permit with site plan to construct three new multi-unit residential buildings with 19 units and one single-unit dwelling, including:
  - a. A Special Use Permit for bonus density pursuant to Section 7-700;
  - b. Special Use Permit for reduction in parking space sizes within multi-unit dwelling garages; and
  - c. Site plan modifications to setbacks for the three multi-unit buildings.

**Staff Recommendation: APPROVAL WITH CONDITIONS** 

# **Staff Reviewers:**

Robert M. Kerns, AICP, Division Chief, <u>Robert.Kerns@AlexandriaVA.gov</u> Nathan Randall, Principal Planner, <u>Nathan.Randall@AlexandriaVA.gov</u> Leon Vignes, Urban Planner, <u>Bert.Vignes@AlexandriaVA.gov</u>



# I. <u>SUMMARY</u>

# A. Recommendation

Staff recommends **approval** of the request by Old Creek Homes, LLC ("the applicant") for a Rezoning and Development Special Use Permit with modifications to construct 19 townhouse-style units in three multi-unit buildings and one single unit dwelling, subject to compliance with the staff recommendations. The proposal would provide several benefits for the City, including:

- One committed on-site affordable unit at 70% 100% AMI
- Contribution of \$143,000 to the City Housing Trust Fund
- Additional infill residential units that further the city's housing goals
- Buildings consistent with the City's Green Building Policy
- Improved stormwater conditions
- Public Art contribution of nearly \$13,000

# B. General Project Description & Summary of Issues

The applicant, Old Creek Homes, LLC, proposes to demolish the existing single unit residence at 126 Longview Drive and 2921 Nob Hill Court and construct three new buildings with 19 townhome style units on one lot with access from Nob Hill Court. One single unit residence would also be constructed on a separate lot facing Longview Drive.

Key issues that were considered in the staff analysis of this proposal and discussed in further detail in this report include:

- Consistency with the Taylor Run/Duke Street Small Area Plan, other City policies and the Zoning Ordinance
- Consistency with the "Rezoning Without Master Plan Study" criteria
- Building design, including requests for setback modifications
- Parking Reduction SUP for compact-sized spaces
- Utilization of affordable housing density bonus and inclusion of an affordable unit

# II. <u>BACKGROUND</u>

# A. Site Context and History

The subject site is currently two parcels of record totaling 42,345 sq. ft. (0.97 acres). It is bounded by single unit residences to the north and east, single-unit and townhouses residences on Nob Hill Court to the west, and the Ellsworth and Longview Terrace Apartments to the south. Several commercial uses, including the Alexandria Medical & Professional Plaza, are located nearby on Duke Street. Bishop Ireton High School is also located a short distance to the west.

The site's topography changes substantially from east to west, with a 22-foot difference between its highest point adjacent to Longview Drive to its lowest point at Nob Hill Court. The site also

includes dozens of mature trees.

The parcel is currently developed with a single unit residence. Portions of the existing house are documented as dating back to the early 1800's. However, due to numerous renovations since that time, only a small portion of the original structure remains. The house is not listed on the City's 100-year-old building list and the property owner has previously declined to include it. The building is therefore not legally protected from demolition.

The property is located in the Taylor Run / Duke Street Small Area Plan, which designates the property for low-density residential uses and recommends maximum building heights of 35 feet.

# B. Detailed Project Description

The applicant is proposing to construct a total of 20 units, one of which is a single-unit dwelling and 19 of which are townhome style units in three buildings. The three townhouse-style buildings would all be located on one lot (known as proposed Lot 801) and condominium owned. Consistent with Zoning Ordinance definitions, they are technically considered to be multi-unit dwellings despite their townhouse-style design. Building #1 is parallel with the northern property line and includes seven units. Building #2 contains five units and is closest to Nob Hill Court. A bioretention facility and an associated retaining wall are located between the street and Building #2. Building #3 is located behind and parallel to Building #2 and includes seven units. Vehicular access to the rear-loaded garages for all three buildings is provided via a shared private drive aisle.

The shared private drive aisle is 22 feet in width and contains two sections. The main portion runs east/west, providing access onto the site and the driveways for Building #1. A branch of this drive aisle, running north/south, provides access to Buildings #2 and #3.

The townhome-style units are four stories and measure approximately 35 feet in height. They measure between 1,746 and 1,790 net square feet in size, containing three bedrooms, three full bathrooms and one half-bath, with additional loft and study rooms. Each unit has a two-car garage accessible from the rear with compact-sized parking spaces. Each unit has a rear-facing rooftop terrace accessible from the fourth floor.

The design uses traditional residential building materials and forms. The facades are a mix of brick, cementitious panels and vinyl lap siding in varying heights and mostly in shades of gray, white and black. Unit 1, which is the end unit with the side of the building facing Nob Hill Court, is provided with an entrance from that side of the building.

The project also includes one single unit dwelling that would be located on a separate lot (known as proposed Lot 800) that would be subdivided from the rest of the project. This lot faces and obtains vehicular access from Longview Drive. No vehicular connection would be provided between the single-unit dwelling and multi-unit dwelling portions of the project. The proposed single-unit residence is designed in a popular farmhouse style and is faced with gray Hardie fiber cement lap siding and panels. It is two stories in height and is approximately 3,000 gross square feet in size, with four bedrooms, three bathrooms and a one car garage.

Single-unit dwellings are ordinarily exempt from the need for Development Site Plan / Development Special Use Permit approval when fewer than three units are involved. However, in this case, the proposed single-unit dwelling has been included in the project because staff determined it to be "contemporaneous" (consistent with Section 11-404(A) of the Zoning Ordinance) with the development of the 19 multi-unit dwellings proposed together at the same time, on the same plan, and located on the same original site. Section 11-404(A) further stipulates that portions of a project cannot be broken off from each other (called "piecemeal development") to avoid the need for Development Site Plan / Development Special Use Permit approval.

The applicant has requested, and staff has agreed, to the partitioning of the project into two phases that would allow each phase to be constructed separately. Phase 1 would be for the single-family dwelling (on proposed Lot 800) and Phase 2 would be for the 19 multi-unit dwellings (on proposed Lot 801).

# III. ZONING

# A. Current Zoning

The property is currently zoned R-8 / Residential, which is primarily intended to provide and maintain land areas for low density residential neighborhoods of single-unit, two-unit, and multi-unit up to four-unit dwellings on 8,000 square foot lots.

# B. Proposed Zoning

The proposed zoning for a portion of the site is the RA zone in which multi-unit residences predominate and in which single-unit, two-unit and townhouse development is permitted. The approximately 34,000 square foot western portion of the site (proposed Lot 801), with frontage on Nob Hill Court, is proposed for rezoning from R-8 to RA. The remaining portion of the site with an area of approximately 8,000 square feet that fronts on Longview Drive (proposed Lot 800) will remain in the R-8 zone. Additional zoning information can be found for the project in Table 1.

Table 1: Zoning Tabulations

Property Address: 126 Longview Drive and 2921 Nob Hill Court

Site Area: Lot 800: 8,019 SF (0.18 acres)

Lot 801: 33,867 SF (0.78 acres) Total: 42,345 SF (0.97 acres)

Current Zone: R-8 / Residential

Proposed Zone: R-8 / Residential (Lot 800) and RA / Multi-Unit (Lot 801)

Current Use: Single-Unit Residential (one detached home)
Proposed Use: Single-Unit Dwelling and Multi-Unit Dwellings

_	Lot 800		Lot 801	
	Permitted/Required	Proposed	Permitted/Required	Proposed
Lot Area	8,000 SF	8,019 SF	N/A	33,867 SF
FAR	.35	.35	.75 or .975 per 7-700	.969
Lot Frontage	40'	70'	50'	153.6'
Lot Width	65'	67'	50'	181.6'
Height	30'	24'	45'	35'
Setbacks				
Front (West)	30'	30.2'	20'	Bldg. 1 – 16.5'* Bldg. 2 – 31.7' Bldg. 3 – 93.9'
Side (South)	12'	12.5'	17.5'	Bldg. 1 – 121.2' Bldg. 2 – 9'* Bldg. 3 – 8'*
Side (North)	12'	15.7'	17.5'	Bldg. 1 – 10'* Bldg. 2 – 81.2' Bldg. 3 – 77.5'
Rear (East)	25'	46.8'	35'	Bldg. 1 - 19'* Bldg. 2 - 76.5' Bldg. 3 - 14'*
Parking	0	1	38	38
Open Space	N/A	N/A	11,853 SF (35%)	12,000 SF (35.4%)
Crown	2,005 SF	2,622 SF	8,467 SF	9,558 SF
Coverage	(25%)	(32.7%)	(25%)	(28.2%)

<sup>\*</sup>Modification Requested

# IV. STAFF ANALYSIS

Staff recommends approval of the requested rezoning and Development Special Use Permit. The proposal to construct multi-unit residential buildings and one single-unit dwelling represents a reasonable plan to develop the property and is consistent with the Taylor Run/Duke Street Small Area Plan.

# A. Master Plan Conformance

The project is consistent with applicable general objectives and specific recommendations for the site in the Taylor Run/Duke Street Small Area Plan (SAP). Of the five general objectives from the SAP, the one that is applicable to this site is to "preserve and protect the character and scale of existing residential uses." Although proposing additional units on the site, the proposal is consistent with the character and scale of this residential area. The specific type of residential use proposed here, while referred to as "multi-unit dwelling" for technical reasons because it would be located on one lot and condominium owned, has the design and function as residential townhouses. Residential townhouses are appropriate in this transitional location between the higher density residential apartments to the south on Duke Street and the single-unit dwellings located to the east and north. In fact, a small townhouse community also exists immediately to the west on Nob Hill Court.

The Taylor Run/Duke Street Small Area Plan also contains two specific recommendations for this site: that its land-use designation should be "residential low" and that the building height should not exceed 35 feet. Staff finds that the proposal is also consistent with both SAP recommendations given that the proposed townhouse-style units are low in density and height. The proposed height for these units, at 35 feet, is only slightly taller than the maximum height of 30 feet allowed for single-unit dwellings in the existing R-8 zone.

# B. Rezoning

Staff recommends approval of the request for a rezoning of a portion of the site from R-8 to RA. It finds that the proposed new RA zone is compatible with the specific recommendations for this site and the general objectives of the Taylor Run/Duke Street Small Area Plan. The proposal is also consistent with the City's Criteria for Rezoning Without a Master Plan Study and with other elements of the Master Plan such as the Housing Master Plan.

# Rezoning Without a Master Plan Study

The proposal meets the City's Criteria for Rezoning Without a Master Plan Study. The criteria, which contains five parts, were established to provide guidance for rezoning applications in locations that are not designated to undergo a Small Area Plan update in the near future and are of a lesser scale such that the proposal would not warrant a new plan or study on its own. The project's conformance with each individual criterion is detailed below.

#### 1. Consistency with Small Area Plan

The proposed RA zoning is consistent with both the general objectives and specific recommendations for the site contained in the Taylor Run/Duke Street Small Area Plan as mentioned previously. It is consistent with the land-use designation of "residential low" in this instance, given the general character of townhouse-style units and their modest height. The RA zone would also allow for new development that is appropriate for this transitional site and that would support the residential character of the area.

## 2. Consistency with Type of Area

This criterion asks if the requested zone is consistent with the type of development in the surrounding area and whether the surrounding area is expected to undergo large-scale redevelopment. The surrounding area includes two multi-unit residential buildings to the south, known as the Ellsworth Apartments and Longview Terrace Apartments, which are zoned RC. A townhouse development with RT zoning is also located to the west across Nob Hill Court. The zone would be in character with the transitional nature of the immediate area and would not be a departure from other existing uses.

# 3. Isolated Parcel

This criterion asks whether similarly situated sites in the area could request similar rezonings, possibly leading to extensive redevelopment that could be best addressed through a special planning study. The subject property is not located within a cluster of properties holding a similar potential for redevelopment.

## 4. Status of Planning for the Area

Staff anticipates a new planning effort in the Duke Street corridor in the future. Although the boundaries of this upcoming plan are not yet decided, the project site is separated from Duke Street by two other properties. The proposal is also relatively modest in terms of the number of units proposed. Staff supports this project moving forward ahead of the Duke Street planning initiative.

## 5. Application's Consistency with City Goals

The requested rezoning for this location is consistent with a number of City goals particularly housing production, affordability and mobility. The rezoning would modestly increase the potential number of housing units in a transit-accessible area adjacent to existing bus stops and routes, within a tenth of a mile of planned high-capacity transit along Duke Street. The site's rezoning to permit the townhouses as proposed contributes to the City's participation in the Council of Government's (COG) regional housing production goals.

# C. Building Design

The proposal calls for three multi-unit buildings with townhouse style units to be constructed on the site. These units will have varying degrees of brick, cement panel, and vinyl siding on the front elevation. The front façade of the end units of each building will have a bump out panel of cementitious panel of a varying color and containing windows. The sides of each building have brick that wraps around the end units on the first floor. The rear of the units will be of vinyl lap siding. The fourth floor features a cut-away in the rear of the roof of each unit for a terrace.

The proposed single unit residence is a two-story, four-bedroom house with a one car garage. The facades are mainly of horizontal Hardie cement lap siding on the first floor with Hardie cement panels and vertical composite battens spaced across the top level. The house also includes front and rear covered porches.

# D. Special Use Permits

The applicant is requesting two Special Use Permits (SUPs) in connection with this project: bonus density for affordable housing (pursuant to Section 7-700 of the Zoning Ordinance) and a parking reduction to allow for compact-sized spaces.

#### **Bonus Density**

Section 7-700 of the Zoning Ordinance allows applicants to request SUP approval for bonus density if affordable housing is provided and if certain conditions are met. Those conditions include that the increased density may not exceed 30% of the total, that committed affordable units must comprise 1/3 of the additional density and that the units need to remain affordable for individuals within proscribed income limits. In this case, the applicant has requested the additional density and met the stipulations by providing one on-site, townhouse-style unit that would be available for sale. Additional details about the applicant's provisions for affordable housing are noted later in this report. Overall, staff supports this request as one step toward increasing housing affordability in Alexandria.

## Parking Reduction

The applicant has requested a Special Use Permit to reduce the size of the required parking sizes within garages from regular to compact size pursuant to Zoning Ordinance Section 8-200(E)(1). Staff recommend approval of this request, under which the number of parking spaces available for future residents would remain the same.

## Special Use Permit Approval Criteria

Staff also finds that the two SUP requests meet the approval criteria listed in Section 11-500 of the Zoning Ordinance, as follows:

- 1. Will not adversely affect the health or safety of persons residing or working in the neighborhood of the proposed use. It is not anticipated that the bonus density and parking reductions requested as part of this proposal will adversely affect the health or safety of neighborhood residents.
- 2. Will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood. The bonus density and parking reduction requested in this housing proposal will not be detrimental to public welfare or injurious to property or improvements in the neighborhood.
- 3. Will substantially conform to the Master Plan of the City. As discussed in this report, the project overall and the specific bonus density and parking reduction SUPs being requested proposal are in substantial conformance with the Taylor Run/Duke Street SAP Chapter of the Alexandria Master Plan.

# E. Modifications

The applicant is requesting site plan modifications for certain front, side, and rear setbacks that would ordinarily be required for the multi-unit dwellings in the RA zone pursuant to pertaining to Zoning Ordinance Section 3-606(A). The specific setbacks for which modifications are being requested are listed with asterisks in Table #2.

Table 2: Modification of Multi-Unit Building Setbacks

	Required	Provided		
		Building 1	Building 2	Building 3
Front Setback	20'	16.5'*	31.7'	93.9'
Side (South) Setback	17.5'	121.2'	9'*	8'*
Side (North) Setback	17.5'	10'*	81.2'	77.5'
Rear Setback	35'	19'*	76.5	14'*

<sup>\*</sup>Modification requested

Pursuant to Section 11-416, the Planning Commission may approve these modifications if they determine that such modifications meet the following criteria:

- Are necessary or desirable to good site development;
- That specific and identified features of the site design compensate for the impacts otherwise protected by the regulations for which the modification is sought; and
- That such modification will not be detrimental to neighboring property or to the public health, safety and welfare.

Staff supports the modifications requested for this project, finding that they are desirable for good site development, including the provision of one committed, on-site affordable unit. The requested setback reductions are relatively small, and in all cases some buffer between the proposed multi-unit buildings and adjacent property lines would still be provided. The project also meets its open space requirement. These circumstances compensate for any potential impacts that the regulations intend to address. Given their limited scope and that the proposed site design offers a degree of mitigation, the proposed setback modifications are not detrimental to the neighboring properties or public health, safety and welfare.

# F. Open Space

The RA zoning district requires at least 35% open and usable space, that may include landscaped roofs or other areas open to the sky. As shown in Table 3, this requirement equals 11,853 square feet for this project, which the applicant exceeds with the proposed combination of 12,000 square feet of private ground-level and above-grade open spaces. The ground-level open space includes a stormwater bioretention facility adjacent to Nob Hill Court and sidewalks areas around the site. Each townhouse also has a roof deck that contributes to the total private open space for the project.

Table 3: Open Space Summary (Multi-Unit Dwellings)

	Required	Provided (all private)
Ground Level		9,500 SF (80%)
Above Grade	11,853 SF (35%)	2,500 SF (20%)
Total		12,000 SF (35.4%)

## Canopy Coverage

Almost all existing trees on the site are identified for removal to facilitate construction. Staff have reviewed all the trees and determined that none of them are state Champion trees or meet other official criteria that would require them to remain.

The proposed landscape plan includes tree and shrub plantings around the entrance area located on Nob Hill Court and along the fronts of units and sidewalks. All tree and plant species comply with Landscape Guidelines standards for native and regionally appropriate species, including standards that promote biodiversity and long-term health of tree canopy. The landscape plan for Lot 800 provides 2,622 SF of crown coverage as specified in the landscape guidelines, or 32.7% of the site area. Lot 801 provides 9,558 SF of crown coverage as specified in the landscape guidelines, or 27.8% of the site area. Both of the lots exceed the required minimum 25% crown canopy coverage.

#### G. Stormwater

The applicant proposes to install a Level 1 bioretention facility along the Nob Hill Court frontage of the site to capture a significant portion of the runoff from Lot 800. For Lot 801, a portion of the site's runoff is collected by roof gutters and directed to planter boxes for treatment.

The applicant will provide treatment for 60% of the required water quality volume for Lot 800 and 87.2% for Lot 801 through on-site stormwater best management practices (BMPs). The remaining untreated impervious area, which cannot be treated on-site due to grading constraints, will be offset via a monetary contribution to the City's Water Quality Improvement Fund, in accordance with City Code Section 13-109 & 13-110.

The proposed BMPs for Lot 800 will result in a reduction of 0.03 lb/year phosphorus load, and for Lot 801, the reduction is 0.30 lb/year, achieving a combined total reduction of 0.33 lb/year. This exceeds the required reduction of 0.29 lb/year by approximately 14%, ensuring full compliance with the Virginia Runoff Reduction Method (VRRM) and City stormwater requirements.

# H. Transportation

#### Parking

Staff supports the applicant's parking proposal. The single-unit dwelling on proposed Lot 800 would exceed its zero-space requirement with the provision of one garage space. Each of the 19 townhouses will have a two-car garage for a total of 38 parking spaces on Lot 801, which meets Zoning Ordinance requirements for the required number of spaces. As previously mentioned, the

spaces would be reduced to be compact-sized through the requested "parking reduction" Special Use Permit (SUP).

## **Traffic**

The proposal does not trigger a traffic study based on the City's guidelines for the trip generation for a proposed development. According to the submitted trip generation analysis, the proposal will generate an average of 11 vehicle trips during the AM peak and an average of 12 vehicle trips for the PM peak.

# I. Compliance with City Policies

#### Affordable Housing Policy

The applicant is seeking a rezoning the site from R-8, which has a maximum 0.35 FAR, to RA, which has a maximum 0.75 FAR. While the project is securing density through a rezoning, the 2021 Housing Contribution Policy Update does not apply as both R-8 and RA are low density residential zones envisioned in the underlying Small Area Plan. The applicant, however, is also seeking additional density through Section 7-700 in exchange for affordable housing, resulting in one committed affordable unit

Below is the methodology used to calculate the required floor area and resulting unit.

#### Permitted development under existing R-8 zoning: 12,014 square feet

Permitted development under requested RA zoning: 25,745 square feet Additional density requested through §7-700: 7,567 square feet Total proposed development: 33,312 square feet

Affordable housing floor area generated by 7-700: 7,567 \* 1/3 = 2,522 square feet Total number of residential units: 19

Average square feet per unit: 33,312 square feet / 19 units = 1,753 square feet/unit Affordable unit calculation: 2,522 square feet required / 1,753 square feet (avg.) = 1.44 units (rounds to one consistent with the City's current procedures)

# Proposed affordable unit: 1 unit

Since the project plans to deliver townhouse condominium units, one for-sale committed affordable unit (CAU) will be provided. Like all other units in the project, the CAU will have three bedrooms and offer finishes comparable to the market-rate units. Residents of the CAU will pay the same condominium fees as residents in market rate units.

The affordable three-bedroom for-sale unit will be priced at \$325,000, which is consistent with the City's current for-sale price for a unit of this type. The set-aside unit will be affordable to households with incomes generally ranging between 70% and 100% of the area median income (AMI) (equivalent to \$97,510-\$154,700 in 2024 for a household with three to four members, respectively). As each townhouse will include a two-car garage, the City's standard \$30,000 parking space price is not unbundled from the sales price.

Consistent with the City's Procedures Regarding Affordable Housing Contributions, the residential floor area permitted under the existing zoning (.35 FAR) is subject to the 2023 Residential Tier 1 voluntary contribution rate of \$3.37/square foot, and floor area associated with density secured through rezoning is subject to the Tier II contribution rate of \$6.75/square foot. The applicant will provide a voluntary monetary contribution of \$142,626 to the Housing Trust Fund, which includes \$9,458 associated with the single-unit dwelling. Since the project will develop as for-sale condominiums, the monetary contribution may be utilized to enable the City, as needed, to provide down payment and closing cost assistance to help qualified first-time buyers.

The applicant presented its Affordable Housing Plan, dated September 4, 2024, to the Alexandria Housing Affordability Advisory Committee (AHAAC) on September 11, 2024. Members discussed pricing for market-rate units in the project, inquired about the City's rounding policy (required on-site unit contributions resulting in fractions of a unit are rounded to the nearest whole number), and lauded the provision of a three-bedroom affordable for-sale unit, which may serve larger households and families. The Committee approved the Affordable Housing Plan unanimously.

# Green Building Policy

All buildings will meet the City's 2019 Green Building Policy. Sustainable strategies from the Earthcraft Checklist will be incorporated in the project and will be refined during the development of the building permit and construction drawings.

Sustainable energy and building envelope elements include: Continuous thick roof and wall insulation, high efficiency LED light fixtures, and energy efficient and energy recovering HVAC equipment. The applicant proposes that HVAC design and energy modeling will be provided to attain Earthcraft Certification. Metering within the proposed building may result in energy management, analysis, and interpretation of data that saves approximately 5% of energy.

In addition to meeting the City's Green Building Policy, the homes will be fully electric and have the necessary conduit for future sustainable improvements like solar-ready rooftops and electric-vehicle charging, as per Staff's recommendations.

# Public Art Policy

The City's Public Art Policy, adopted in December 2014, requires DSUP applicants to provide new public art and encourage the growth of public art in the community. The contribution may be fulfilled by providing on-site public art or an in-lieu monetary contribution of \$0.30 per gross square foot. For the 3,000 gross square foot single-unit dwelling proposed on Lot 800 and the three multi-unit dwellings proposed Lot 801 (with 40,057 gross square feet in total), a total contribution of \$12,917 is estimated for this project.

# J. Pedestrian and Streetscape Improvements

Both street frontages at this site will be improved with new street trees and sidewalks. The area adjacent to the entrance to the development on Nob Hill Court will have a new six-foot wide concrete sidewalk and five-foot wide landscape strip adjacent to the curb in which five new street trees will be planted. The applicant has agreed to dedicate a new three-foot wide strip of land,

measuring 458 square feet in total, to the City along this frontage to be used as additional public right-of-way. Longview Drive will have a six-foot wide sidewalk and a four-foot wide landscape strip in which two new street trees will be planted. Bicycle parking, consistent with City standards, is also proposed on the Nob Hill Court frontage of the site.

# K. School Impacts

Student generation rates are determined by housing type, property age, and household income. Based on adjustments to the June 2023 Student Generation Rates jointly developed by ACPS and the City, staff estimates that the proposed development could generate about three net new students distributed across all grade levels.

This project is within the Douglas MacArthur Elementary School, George Washington Middle School, and Alexandria City High School attendance areas. The City and ACPS staff continue to monitor and integrate projected student generations numbers in school enrollment projections and ACPS will continue to coordinate with the City to review, plan, and allocate resources for necessary additional capacity to ensure all ACPS students are provided with safe and equitable learning environments. In addition, per School Board policy, ACPS evaluates school boundaries every five years and prior to the opening of each new school to determine if any adjustments are needed for capacity, diversity, or other reasons.

# V. <u>COMMUNITY</u>

The applicant held two virtual community meetings with the Longview Hill Citizens Association, one on June 27, 2024 and another on October 23, 2024. Attendees at this first meeting asked questions about the project timeline, affordable housing, and property maintenance matters at the site. They also expressed concern regarding on-street parking availability and traffic matters (including the Duke Street in Motion project). The applicant subsequently completed a study which determined that on-street parking occupancy is below capacity. Attendees at the second meeting inquired about traffic, stormwater and sewer matters. The Alexandria Housing Affordability Advisory Committee (AHAAC) also reviewed and endorsed the project at its September 11, 2024 meeting.

# VI. <u>CONCLUSION</u>

Staff finds that the applicant's proposal is appropriate and consistent with the Taylor Run/Duke Street Small Area Plan. We recommend approval of the rezoning and the Development Special Use Permit, subject to compliance with all applicable codes and the recommended conditions included in this report.

Staff: Robert M. Kerns, AICP, Division Chief, Development Nathan Randall, Principal Planner Leon Vignes, Urban Planner

# VII. STAFF RECOMMENDATIONS

1. Each Final Site Plan shall conform substantially with the preliminary plan dated January 16, 2025, and revised February 27, 2025 and March 13, 2025, and comply with the following conditions of approval.

## I. SITE PLAN

- 2. Per Section 11-418 of the Zoning Ordinance, the Development Special Use Permit shall expire and become null and void, unless the applicant commences substantial construction of the project within 36 months after initial approval and the applicant thereafter pursues such construction with due diligence. The applicant shall provide a written status report to Staff 18 months after initial approval to update the City Council on the project status if they have not yet commenced substantial construction. The applicant may petition to extend the validity period after adequate notice and a public hearing. (P&Z)
- 3. The applicant shall add phasing information to the plan set as part of each final site plan submission to the satisfaction of the Director of Planning & Zoning indicating that the single-unit dwelling portion of the project (proposed Lot 800) will proceed as Phase 1 and the multi-unit dwelling portion of the project (proposed Lot 801) will proceed as Phase 2. (P&Z)\*
- 4. Submit the plat and associated deeds for all applicable easements for the single-unit dwelling portion of the project, and the subdivision plat and deed for the project, as identified in the Preliminary Plan, with the first Final Site plan for Phase 1 of the project. The applicant must obtain approval of the plats and signature of associated deeds prior to or concurrent with Phase 1 Final Site Plan release. Provide proof of recordation prior to the release of the first building permit in Phase 1 of the project. (P&Z) (T&ES)\*
- 5. Submit the plats and associated deeds for all applicable easements and dedication applicable to the multi-unit dwelling portion of the project as identified in the Preliminary Plan with the first Final Site Plan for Phase 2 of the project. The applicant must obtain approval of the plat(s) and signature of associated deeds prior to or concurrent with Phase 2 Final Site Plan release. Provide proof of recordation prior to the release of the first building permit in Phase 2 of the project. (P&Z) (T&ES) \*
- 6. Provide public and utility easements to the satisfaction of the Directors of P&Z and T&ES. Easements shall be consistent with the Preliminary Site Plan and include a minimum 22-foot wide Emergency Vehicle Easement (EVE) across the private drive aisle in the multi-unit dwelling portion of the project to the satisfaction of the Director of Planning & Zoning. (P&Z)(T&ES) \*
- 7. Emergency Vehicle Easement(s) (EVE) shall not be painted. When an EVE is shared with a pedestrian walkway or consists of grasscrete or a similar surface

- treatment, the EVE shall be defined in a manner that is compatible with the surrounding ground plane.
- 8. Make all fee simple conveyances to the City with General Warranty of title (unless not available) or provide current ALTA survey and Title Report that includes the areas to be dedicated to City. Include the City as an authorized user of the ALTA survey for any purposes that the City deems necessary, including obtaining title insurance. Submit the ALTA survey and Title Report for review prior to approval of subdivision plat and deed by City. (T&ES) \*
- 9. Property rights to be conveyed by easement to the City may instead be conveyed by dedication (fee simple) to the City subject to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES)
- 10. Show site utilities compatibly with other conditions on the site plan to the satisfaction of the Directors of P&Z, T&ES prior to each Final Site Plan release, specifically: (P&Z) (T&ES) \*
  - a. Locating above grade service openings and required clearances for items such as transformers, telephone, HVAC units, and cable boxes.
  - b. Minimizing conflicts with plantings, pedestrian areas, and major view sheds.
  - c. Excluding above grade utilities from dedicated open space areas and tree wells.
  - d. Screening all utilities from the public right-of-way.
- 11. Provide a lighting plan with each Final Site Plan, unless otherwise identified below, to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of P&Z, T&ES, Code, and the Climate Action Officer of OCA and shall include: (P&Z) (T&ES) (OCA) (Code) \*
  - a. The location of all existing and proposed streetlights and site lights, shading back less relevant information.
  - b. A lighting schedule that identifies each type and number of all fixtures, mounting height, and strength of fixture in Lumens or Watts.
  - c. A photometric plan with lighting calculations encompassing all existing and proposed streetlights and site light fixtures, including any existing streetlights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way.
  - d. Manufacturer's specifications and details for all proposed fixtures including site, landscape, pedestrian, sign(s), and security lighting.
  - e. The numeric summary for various areas (i.e., roadway, walkway/sidewalk, alley, and parking lot, etc.) in the proposed development.
  - f. Full cut-off lighting as applicable to prevent light spilling onto adjacent properties. Provide a plan distinguishing between the site with all streetlights and other pertinent off-site lighting and the site without streetlights and off-

- site lighting to demonstrate how the plan complies with § 13-1-3 light spill regulations.
- g. Additional lighting to achieve City standards if existing lighting within the City right-of-way adjacent to the site does not meet the minimum standards.
- 12. Basic, approved Dominion LED light fixtures for all proposed light fixtures in the City right-of-way.
  - a. All site lights designed to meet City of Alexandria photometric standards shall have photovoltaic switches.
  - b. The location of conduit routing between site lighting fixtures to avoid conflicts with street trees.
  - c. Details indicating proposed light pole and footings relative to the adjacent grade and pavement. All light pole foundations shall be concealed from view or light poles shall be direct bury.
- 13. Provide a georeferenced CAD file in <u>AutoCAD 2018</u>.dwg or greater format that adheres to the National CAD Standards prior to each Final Site Plan release. The file shall have the dimension plan including existing conditions, proposed conditions, and grading elements. (P&Z) (DPI) (GIS) \*
- 14. Sheeting and shoring, support of excavation shall not extend beyond the property line, except when the applicant has obtained a written release or encroachment from adjacent property owners which has been reviewed prior to each Final Site Plan release and recorded in the Land Records. (P&Z) (Code) \*
- 15. For the multi-unit portion of the project, the total number of residential units may be adjusted higher or lower so long as the new unit count does not increase the building envelope, parking is provided per the Zoning Ordinance, and the building is in substantial conformance with the preliminary plan to the satisfaction of the Director of P&Z. (P&Z) \*
  - a. Minor changes to the façade fenestration and details will be permissible, including but not limited to, window count and alignment, to be coordinated with sustainability envelope attributes and energy performance submission.
  - b. The Sanitary Adequate Outfall Analysis must reflect the actual number of units.
- 16. The unit count for the multi-unit portion of the project must be finalized prior to the Phase 2 Final Site Plan release. (P&Z) \*

#### A. BUILDING

17. Provide a building code analysis with these building code data prior to each Final Site Plan release: (1) use group, (2) number of stories, (3) type of construction, (4) total floor area per floor, (5) height of structure, (6) non-separated or separated

- mixed use, (7) fire protection system requirements, and (8) accessible routes. (P&Z) (Code) \*
- 18. The building design, including the appearance, color, and quality of materials; final detailing; three-dimensional expression; and depth of all plane changes, shall be consistent with the elevations dated January 16, 2025 and the following conditions. Provide this information regarding materials and design to the satisfaction of the Director of P&Z prior to each Final Site Plan release: (P&Z) (Code) (OCA) \*
  - a. Samples of actual window glazing, frame, and sash components proposed for each area of the building in the color and material that will be provided (may reduce sample sizes for ease in handling).
    - i. Window sizes and types.
    - ii. Window mullion dimensions and projection in front of face of glass.
    - iii. Window frame, sash, and mullion materials.
    - iv. Any windows visible from a public park or right-of-way shown as simulated divided light type shall include between the glass spacer bars aligned with exterior muntins; any such exterior muntins shall project not less than 3/8 inch beyond the face of glass and be reflected in the window samples provided. Grills located between the glass will not be supported.
  - b. Where fiber cement façade panels are permitted, they shall not use a wraparound trim for mounting to the substructure but may use either a batten system to conceal the joints or a rainscreen type installation. If exposed fasteners are proposed, they may be either concealed or if exposed, shall be finished to match the adjacent panels and their location integrated into the overall design.
  - c. The underside of all balconies shall be finished and present a visually cohesive appearance.
  - d. Where specified by the governing Small Area Plan and accompanying Design Guidelines, or by the governing CDD documents, the maximum percentage of fiber shall be interpreted as the percentage of *solid façade* that is fiber cement (excluding glazed portions of the elevation). Typically, such restrictions shall apply to building facades that face any public right-of-way or public open space, along with any portions of open courtyards that are visible from same.
  - e. Coordinate the design, color, and materials of all penthouses, rooftop mechanical areas, and rooftop screening with the overall architecture of the building, as regards massing, materials, and detailing/expression. Roof surfaces must be light-colored with green roofs encouraged as an alternative.
  - f. The recessed or projecting depth of brick rustication must be a minimum of 3/4 inches.
  - g. Where plane changes in facades are proposed, they shall generally not be less than two feet.

- h. Where dissimilar materials meet, they must typically meet at an interior corner; where that is not possible, such transitions shall occur at a significant plane change or reveal.
- 19. Condition #18 notwithstanding, the applicant may request 1) changes to the proposed building design, materials, and footprint and 2) additional or expanded decks, balconies, sheds and other accessory structures, swimming pools and similar features as part of the Phase 1 final site plan submission or as a future minor site plan amendment subject to Zoning Ordinance requirements (as they may change in the future) and the discretion of the Director of Planning & Zoning.
- 20. Include in the plan set each unique floor plan design to be used in the project as part of the Phase 2 final site plan submission. Necessary corrections to floor plan sheets to meet this requirement include, but may not be limited to:
  - a. Show accurate door and window locations for Unit #1 as part of the first Phase 2 final site plan submission.
  - b. Ensure that all other end units depict accurate locations for non-party walls.
- 21. Provide detailed drawings in realistic colors to permit evaluation of key building elements such as the building base, entrances, entry canopy, stoops, windows, balconies, railings, cornices, and other ornamental elements, and material details including the final detailing, finish, and color of these elements prior to each Final Site Plan release. (P&Z) \*
  - a. The drawings shall be enlarged and coordinated plan-section-elevation studies, typically at 1/4" =1'-0" scale, with shadows cast at 45 degrees from both left and above to show true depth of recesses and projections.
  - b. Separate design drawings shall be submitted for each primary building typology, different wall, or bay type.
  - c. When warranted by the three-dimensional complexity of the design, the applicant shall provide isometric vignettes of special conditions or building areas to the satisfaction of the Director of P&Z.
  - d. All structures must remain within the property (e.g., balconies, railings, and canopies), unless permitted under the City of Alexandria Code or an encroachment has been obtained.
- 22. Provide the items listed below to allow Staff to review the materials, finishes, and architectural details. These materials shall conform substantially to the preliminary plan and the current *Guidelines for Preparation of Mock-Up Panels*, Memo to Industry effective at application submission. (P&Z) (Code)
  - a. Prior to ordering final building materials, provide a materials board that includes all proposed materials and finishes at each first Final Site Plan. The materials board shall remain with P&Z until the issuance of the final

- Certificate of Occupancy, when Staff will return all samples to the applicant. (P&Z) \*, \*\*\*
- b. Staff may request more detailed/extensive materials relating to the proposed fenestration, such as samples of the glazing, frame, and sash components, and including whether the windows will be double-or-triple glazed and have simulated divided lights.
- c. Materials may be modified or substituted only if in substantial conformance with the Preliminary Site Plan approval and to the satisfaction of the Director of P&Z. \*
- d. Drawings of mock-up panel(s) that depict all proposed materials, finishes, and relationships as part of the first Final Site Plan for Phase 2 of the project.
- e. An on-site mock-up panel for Phase 2 of the project using the approved materials, finishes, and relationships shall be constructed for Staff review and approval. Per VCC108.2 concrete or masonry mock-up panels exceeding 6-ft. require a building permit. The panel(s) shall be constructed and approved prior to vertical (above-grade) construction and before ordering building materials. Locate the panel so that it receives sunlight from the same predominant direction as will the finished structure. \*\*
- 23. The mock-up panel shall remain on-site, in the same location, and visible from the right-of-way without entering the site throughout construction until the issuance of the first Certificate of Occupancy. \*\*\*

#### B. OPEN SPACE/LANDSCAPING

- 24. Provide large shade trees for street trees as part of each final site plan submission or demonstrate the need for small decorative trees to the satisfaction of the Director of Planning & Zoning. (P&Z)\*
- 25. Develop a palette of site furnishings at the multi-unit portion of the project for review and approval by Staff prior to Phase 2 Final Site Plan release. Site furnishings may include benches, bicycle racks, trash bins, recycling receptacles, and other associated features. City standard materials are mandatory in all public right-of-way. (P&Z) (T&ES) \*
- 26. Provide material, finishes, and architectural details for all retaining, seat, decorative, and screen walls prior to each Final Site Plan release. Indicate methods for grade transitions, handrails, directional changes, and above and below-grade conditions. Coordinate with adjacent site and building conditions. The design and construction of all walls shall be to the satisfaction of the Directors of P&Z, T&ES, and Code. (P&Z) (T&ES) (Code) \*

# C. ARCHAEOLOGY

- 27. Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation as outlined in the City of Alexandria's Archaeological Standards prior to each Final Site Plan release. If archaeological work needs to occur alongside demolition and construction activities, then the applicant must demonstrate this necessity to the satisfaction of the City Archaeologist. If the applicant discovers significant resources, then the consultant shall complete a Resource Management Plan, as outlined in the City's Archaeological Standards. Implement the preservation measures listed in the Resource Management Plan, as approved by the City Archaeologist. (Archaeology) \*
- 28. Complete all archaeological fieldwork or prepare a Resource Management Plan subject to review and approval by the City Archaeologist prior to each Final Site Plan release, Grading Plan release, or any other permit issuance involving ground disturbing activities (e.g., coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping, and other excavations defined in § 2-151 of the Zoning Ordinance). (Archaeology) \*
- 29. Call Alexandria Archaeology at 703.746.4399 two weeks before starting any ground disturbance activities to establish an inspection or monitoring schedule with City archaeologists. Include the preceding text on all Final Site Plan sheets involving any ground disturbing activities. (Archaeology) \*
- 30. Call Alexandria Archaeology immediately at 703.746.4399 if you discover any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts during development. Cease work in the discovery area until a City archaeologist inspects the site and records the finds. Include the preceding text on all Final Site Plan sheets involving any ground disturbing activities. (Archaeology) \*
- 31. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology. Failing to comply shall result in project delays. Include the preceding text on all Final Site Plan sheets involving any ground disturbing activities. (Archaeology) \*
- 32. Construct and install all interpretive elements or markers and submit the final archaeological report for review and approval by the City Archaeologist prior to receipt of the final Certificate of Occupancy. (Archaeology) \*\*\*

#### D. PEDESTRIAN/STREETSCAPE

- 33. Provide the pedestrian improvements listed below to the satisfaction of the Directors of P&Z and T&ES. Complete all pedestrian improvements prior to the issuance of the final Certificate of Occupancy. (P&Z) (T&ES) \*\*\*
  - a. Install ADA accessible pedestrian improvements serving the site.

- b. Construct all sidewalks to City standards. The minimum unobstructed width of newly constructed sidewalks shall be six feet on both Longview Drive and on Nob Hill Court.
- c. Sidewalks must comply with the City's Green Streets and Sidewalks guidance.
- d. Sidewalks shall be flush across all driveway crossings.
- 34. All newly constructed curb ramps shall be concrete with detectable warning and shall conform to current versions of VDOT and PROWAG standards.
  - a. Provide separate curb ramps for each direction of crossing (i.e., two ramps per corner). Curb ramps shall be perpendicular to the street.
  - b. Provide thermoplastic pedestrian crosswalks for the private internal pedestrian crossing. All crosswalks shall be standard, 6 inches wide, white thermoplastic parallel lines with reflective material, with 10 feet in width between interior lines.
- 35. All below grade utilities placed within a City sidewalk shall be integrated with the adjacent paving materials and to minimize any visible impacts.
- 36. As the driveway entrance is controlled by a stop-sign, detectable surfaces are required on both sides of the driveway itself, as per the latest PROWAG Guidance.

#### E. PARKING

- 37. Design and allocate parking to conform with these requirements, to the satisfaction of the Directors of P&Z, T&ES, and Code Administration: (P&Z) (T&ES) (Code)
  - a. All parked vehicles shall not encroach on the proposed streets, drive aisles, pedestrian walkways, and emergency vehicle easements.
  - b. Each townhouse unit shall provide a sufficient area within each unit, garage, or in an enclosed area for a standard City-issued trash and recycling container exclusive of the area required for parking.
- 38. Provide a Parking Management Plan with each Final Site Plan submission that complies with the requirements of the Parking Management Plan Template provided in Memo to Industry 01-19. The Departments of P&Z and T&ES must approve the Parking Management Plan prior to each Final Site Plan release. (P&Z) (T&ES) \*
- 39. Show all existing and proposed on-street parking controls and restrictions on each Final Site Plan. The Traffic and Parking Board must approve any on-street parking changes after Signature Set approval. (P&Z) (T&ES) \*
- 40. Provide two public bicycle parking spaces on Nob Hill Court per current Bicycle Parking Standards, available at: www.alexandriava.gov/bicycleparking. The bicycle rack shall be placed in the landscape strip, in the Nob Hill Court public right-of-way. (T&ES) \*, \*\*\*

- 41. Include details on the locations and types of bicycle parking prior to Phase 2 Final Site Plan release. Install bicycle parking prior to the issuance of the first Certificate of Occupancy for Phase 2.
- 42. Provide signage, striping, or other means to prevent parking in emergency vehicle easement(s) prior to Phase 2 Final Site Plan release, to the satisfaction of the Director of T&ES. (T&ES) \*
- 43. Provide two empty slots in the electrical panel for the future Level 2 charging and pull wire ready conduit from the electrical panel to the garaged parking spaces. Install and label the conduit outlet in each garage prior to receiving the Certificate of Occupancy. (OCA) \*\*\*
- 44. Update parking counts on the cover sheet to state the number of electric vehicle charger and electric vehicle charger ready parking spaces, and show the location of these spaces, prior to each Final Site Plan release. Install labeling indicating the location of electrical vehicle charger ready spaces prior to release of the final Certificate of Occupancy for each phase. (OCA) \*, \*\*\*

#### F. SUSTAINABILITY

- 45. Each phase of the project shall comply with the requirements of the City of Alexandria Green Building Policy that is in effect at the time of DSUP approval. (OCA) \*, \*\*, \*\*\*, \*\*\*\*
- 46. The applicant may propose additional sustainability strategies to the satisfaction of the Directors of P&Z and the Climate Action Officer of OCA. (P&Z) (OCA) \*, \*\*, \*\*\*\*
- 47. The applicant shall provide these items to comply with the Green Building Policy at each first Final Site Plan: (OCA) \*
  - a. Evidence of the project's registration with LEED, Green Globes, EarthCraft, NGBS, or equivalent.
  - b. A copy of the draft certification scorecard which indicates the project will meet the required performance points as outlined in the Green Building Policy for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
- 48. The applicant shall provide these items to comply with the Green Building Policy with the Building Permit: (OCA) \*\*
  - a. An updated copy of the draft certification scorecard/checklist prior to building permit release for above-grade construction for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
  - b. Water efficiency and indoor environmental quality documentation for the priority performance points in the Green Building Policy prior to building

permit release for above-grade construction for LEED, Green Globes, EarthCraft, NGBS, or equivalent.

- 49. The applicant shall provide these items to comply with the Green Building Policy at First and Final Certificates of Occupancy for each phase of the project: (OCA)

  \*\*\*
  - a. Evidence that design phase credits (for the certifying party) have been submitted by Temporary Certificate of Occupancy for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
  - b. Evidence showing that the project meets the priority performance points for Energy Use Reduction, Water Efficiency, and Indoor Environmental Quality for Design Phase credits for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
  - c. If the project fails to achieve the required certification level and priority performance points, then demonstrate a good faith, reasonable, and documented effort to achieve the certification level to the satisfaction of the Climate Action Officer.
- 50. The applicant shall provide the following to comply with the Green Building Policy at Release of Performance Bond for each phase of the project: (OCA) \*\*\*\*
  - a. Documentation of applicable green building certification showing that the project meets the priority performance points for Energy Use Reduction, Water Efficiency, and Indoor Environmental Quality for LEED, Green Globes, EarthCraft, NGBS, or equivalent.
- 51. Demonstrate that the roof(s) are solar ready, with the necessary conduit and available electrical panel area to enable future solar panel installation, on each Final Site Plan. (OCA) \*
- 52. At each first Final Site Plan, demonstrate that the building will be fully electric including all mechanical systems. For limited accessory elements, if using gas, food and beverage uses in retail spaces and outdoor grills, must be controlled with occupancy sensors, timers not to exceed two hours, or other technology to prevent the accessory element from using natural gas when not being used by an occupant of the building. (OCA) \*

#### II. TRANSPORTATION

#### A. STREETS/TRAFFIC

- 53. Create an enhanced shared drive aisle condition for rear loaded townhouses to the satisfaction of the Directors of P&Z and T&ES, by using materials such as: (P&Z) (T&ES)
  - a. Decorative concrete, pavers, or other quality materials and/or enhanced landscaping (excluding asphalt).

- b. Integrate all service pedestals and transformers for the dry utilities into the building design and/or screen these utilities.
- 54. Repair any of the City's existing public infrastructure that construction damages per the most recent version of the T&ES Design and Construction Standards Memo to Industry 23-01, or to the satisfaction of Director of T&ES, prior to Performance Bond release. (T&ES) \*\*\*\*
- 55. Conduct a pre-construction walk/survey of the site prior to any land disturbing activities with T&ES Construction & Inspection and Code Administration Staff to document existing conditions prior to each Final Site Plan release. (T&ES) (Code) \*
- Mark all private street signs that intersect a public street with a fluorescent green strip to notify the plowing crews, both City and contractor, that they are not to plow those streets, prior to the issuance of the first Certificate of Occupancy. (T&ES)

  \*\*\*
- 57. Wall mounted obstructions at the wall end of a parking space shall be no more than 24 inches extended from the wall and at least 48 inches from the garage floor. Areas with obstructions that exceed this requirement will not count as parking spaces. (T&ES) \*\*\*\*
- 58. Provide full curb to curb restoration for any asphalt patches larger than 20 percent of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street prior to Performance Bond release. (T&ES) \*\*\*\*
- 59. Finalize street names and addresses for mail delivery (addressed per the front door) and for emergency services (addressed per street access) prior to each Final Site Plan release. (P&Z) (T&ES) (GIS) \*

## **III.PUBLIC WORKS**

#### A. WASTEWATER/SANITARY SEWERS

60. Pay the sewer connection fee prior to issuance of the first Certificate of Occupancy for each project phase per the City Code Sec. 5-6-25.1(a). (T&ES) \*\*\*

## **B. UTILITIES**

- 61. If the applicant does not have a franchise agreement with the City, locate all private utilities outside of the public right-of-way and public utility easements. (T&ES)
- 62. Underground all overhead power and communication lines fronting the development prior to the Performance Bond release. (T&ES) \*\*\*\*
- 63. Do not locate transformers and switch gears in the public right-of-way. (T&ES)

64. The City shall own and maintain all new fire hydrants on public streets. The applicant or their representative shall own, inspect, test, and maintain all hydrants within the property limit as well as on private streets. Install hydrants prior to issuance of the first Certificate of Occupancy. (T&ES) \*\*\*

#### C. SOLID WASTE

- 65. Meet all the minimum street standards for the City to provide solid waste collection service per City Code Title 5, Chapter 1 (Solid Waste Control).
- 66. Store containers inside the units or within an enclosure that completely screens them from view. (T&ES)
- 67. Show the turning movements of the collection trucks, minimizing the need to reverse to perform solid waste collection (trash, recycling, yard waste). (T&ES)
- 68. Place all trash, recycling, and yard waste containers with lids closed at the official set-out location(s) as approved by the Director of T&ES. (T&ES)
- 69. Obtain approval from the Director of T&ES to opt-out of the City provided trash, recycling, and yard waste collection to allow for privately contracted collection. The point of collection shall not be in a public right-of-way and shall not hinder or interfere with parking, traffic, or pedestrians. (T&ES)

# IV. ENVIRONMENTAL

# A. STORMWATER MANAGEMENT

- 70. The City of Alexandria's stormwater management regulations for water quality are: (1) state phosphorus removal requirement and (2) Alexandria Water Quality Volume Default. Complying with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. Treat the Alexandria Water Quality Volume Default, as determined by the site's post-development impervious area, in a Best Management Practice (BMP) facility. (T&ES) \*
- 71. Provide a BMP narrative and complete pre- and post-development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance prior to each Final Site Plan release. The project must use hydrologic soil group "D" in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES) \*
- 72. Design all stormwater (BMPs to comply with the most recent standards and specifications published in the Virginia Stormwater BMP Clearinghouse. Provide complete design details for all BMPs, including site specific plan views, cross

- sections, planting plans, and complete design calculations for each BMP prior to each Final Site Plan release. (T&ES) \*
- 73. Provide a BMP table with a separate listing for each individual BMP that includes the name of the practice, total area treated (acres), pervious area treated (acres), impervious area treated (acres), phosphorous removal efficiency (percentage), phosphorous removal efficiency (percentage), phosphorous removed by the practice (lbs.), and latitude and longitude in decimal degrees, prior to each Final Site Plan release. (T&ES) \*
- 74. Complete construction inspection checklists and associated photographic documentation for each stormwater BMP and detention facility. Submit all documents required by the City of Alexandria As-Built Stormwater Requirements including as-built plans, CAD data, BMP certifications, and completed construction inspection checklists prior to Performance Bond release. (T&ES) \*\*\*\*
- 75. Construct and install the stormwater BMPs required for this project under the direct supervision of the design professional or their designated representative. Submit a written certification from the design professional to the Director of T&ES prior to Performance Bond release certifying that the BMPs are: (T&ES) \*\*\*\*
  - a. Constructed and installed as designed and in accordance with each released Final Site Plan.
  - b. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized.
- 76. Install descriptive signage for surface-installed stormwater BMPs (e.g., Bio-Retention Filters, Vegetated Swales) prior to the submission of As-Built Plans to the satisfaction of the Director of T&ES. (T&ES) \*\*\*\*
- 77. Submit the stormwater quality BMP and/or Stormwater Detention Facilities Maintenance Agreement to include the BMP Schedule and Guidelines Addendum with each Final Site Plan #2. Execute and record the agreement with the Land Records Division of Alexandria Circuit Court prior to each Final Site Plan release. (T&ES) \*
- 78. The Applicant shall be responsible for maintaining stormwater Best Management Practices (BMPs) until activation of the homeowner's association (HOA), and/or master association, if applicable, or until sale to a private owner. Prior to transferring maintenance responsibility for the BMPs to the HOA, master association, and/or owner, the applicant shall: (T&ES) \*\*\*\*
  - a. Execute a maintenance service contract with a qualified private contractor for a minimum of three years, and transfer the contract to the HOA, master association, and/or owner.
  - b. Include a copy of the contract in the BMP Operation and Maintenance Manual.

- c. Submit a copy of the maintenance contract to T&ES prior to Performance Bond release.
- 79. For Phase 2 of the project, provide the Homeowner's Association (HOA), and/or master association, with an Owner's Operation and Maintenance Manual for all on site BMPs. The manual shall include at a minimum: (T&ES)
  - a. An explanation of the functions and operations of the BMP(s),
  - b. Drawings and diagrams of the BMP(s) and any supporting utilities,
  - c. Catalog cuts on maintenance requirements including any mechanical or electrical equipment,
  - d. Manufacturer contact names and phone numbers,
  - e. A copy of the executed maintenance service contract, and
  - f. A copy of the maintenance agreement with the City.
- 80. Provide each home purchaser with a brochure describing the stormwater BMP(s) installed on the site, outlining the responsibilities of the homeowners and the Homeowners Association (HOA), and/or master association, with respect to maintenance requirements. Upon activation of the HOA, the applicant shall furnish five copies of the brochure per unit to the HOA for distribution to subsequent homeowners. (T&ES)
- 81. Submit a copy of the Operation and Maintenance Manual to the T&ES Stormwater Management Division prior to Performance Bond release. (T&ES) \*\*\*\*
- 82. Submit a certification by a qualified professional that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not affected adversely by construction operations prior to Performance Bond release to the satisfaction of the Director of T&ES. If maintenance of the facilities or systems were required to make this certification, describe the maintenance measures performed. (T&ES) \*\*\*\*

## B. WATERSHED, WETLANDS, & RPAs

- 83. Use standard city markers to mark all on-site stormwater curb inlets and public curb inlets within 50 feet of the property line to the satisfaction of the Director of T&ES. (T&ES)
- 84. For sites that contain marine clays, account for marine clay or highly erodible soils in the construction methodology and erosion and sediment control measures. (T&ES)
- 85. Provide Environmental Site Assessment Notes that delineate, map, describe, and/or explain these environmental features (if located on site): (T&ES)
  - a. Individual components of the RPA as well as the total geographic extent of the RPA, to include the appropriate buffer, intermittent streams, and associated buffers.

- b. Highly erodible and highly permeable soils,
- c. Steep slopes greater than 15 percent in grade,
- d. Known areas of contamination; springs, seeps, or related features, and
- e. A listing of all wetlands permits required by law.

# C. CONTAMINATED LAND

- 86. Indicate on the site plan whether any soil and groundwater contamination are present. Submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES) \*
- 87. If environmental site assessments or investigations discover the presence of contamination on site, the Final Site Plan shall not be released, and no construction activity shall occur until these items have been submitted and approved by the Director of T&ES: (T&ES) \*
  - a. A Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
  - b. A Risk Assessment indicating any risks associated with the contamination.
  - c. A Remediation Plan detailing any contaminated soil and/or groundwater, including plans to remediate utility corridors. Utility corridors in contaminated soil shall be over excavated by two feet and backfilled with "clean" soil. Describe the environmentally sound methods of off-site transport and disposal of contaminated soils and debris (including, but not limited to types of vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).
  - d. A Health and Safety Plan with measures to take during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. Justify the air monitoring determination in the Health and Safety Plan submitted for review.
  - e. Screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes these SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221 and 1222 (Bituminous Coal).
- 88. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the applicant must notify T&ES, Office of Environmental Quality immediately. Should unanticipated conditions warrant, stop construction within the affected area until the appropriate environmental reports identified in "a" through "e" above are submitted and

- approved at the discretion of the Director of T&ES. Include the preceding text as a note on each Final Site Plan. (T&ES) (Code) \*
- 89. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas to prevent the migration or accumulation of methane or other gases or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. The vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. If a vapor barrier and ventilation system is required, the schematic shall be signed by a professional engineer and included in each Final Site Plan. (T&ES) (Code) \*
- 90. If a Soils Management Plan is required by the Site Characterization report, then the plan shall be included in each Final Site Plan. (T&ES) \*

#### D. SOILS

91. Provide a geotechnical report, including recommendations from a geotechnical professional for proposed cut slopes and embankments prior to each Final Site plan release. (T&ES) \*

#### E. NOISE

92. No trucks or other vehicles, including construction equipment, associated with this project shall be permitted to idle for more than 10 minutes when parked. Post at least two no idling for greater than 10 minutes signs in tin plain view prior during construction. (T&ES) \*\*\*

#### F. AIR POLLUTION

93. Control odors and any other air pollution sources resulting from construction operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of T&ES. (T&ES)

## V. CONSTRUCTION MANAGEMENT

- 94. Submit a construction phasing plan to the satisfaction of the Director of T&ES, for review, approval, and partial release of Erosion and Sediment Control for each Final Site Plan. Complete all the requirements of Zoning Ordinance Article XIII (Environmental Management) for quality improvement, quantity control, and the development of Storm Water Pollution Prevention Plan prior to the partial Final Site Plan release. (T&ES) \*
- 95. Submit a separate construction management plan to the Directors of P&Z, T&ES, and Code Administration prior to each Final Site Plan release. The plan shall satisfy these requirements: (P&Z) (T&ES) (Code)

- a. Do not remove streetlights without authorization from the City of Alexandria,
- b. If streetlights are to be removed from the public right-of-way, then provide temporary lights until the installation and commissioning of new lights, \*
- c. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed, \*
- d. Provide a detailed sequence of demolition and construction of improvements in the public right of way along with an overall proposed schedule for demolition and construction, \*
- e. Include an overall proposed schedule for construction, \*
- f. Include a plan for temporary pedestrian circulation, \*
- g. Include the location and size of proposed construction trailers, if any, \*
- h. Include a preliminary Maintenance of Traffic Plan as part of the construction management plan for informational purposes only, to include proposed controls for traffic movement, lane closures, construction entrances and storage of materials, and \*
- i. Post copies of the plan in the construction trailer and give it to each subcontractor before they start work. \*\*\*
- 96. Provide off-street parking for all construction workers without charge and ensure that all workers use this parking. For workers who use Metro, DASH, or another form of mass transit, subsidize a minimum of 50 percent of the fees. Complying with this condition shall be a component of the construction management plan, which shall be submitted prior to each Final Site Plan release and approved by the Departments of P&Z and T&ES prior to commencing any construction activities. This plan shall: (P&Z) (T&ES) \*
  - a. Establish and provide verifiable details and/or agreements on the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit, \*
  - b. Post information on transit schedules and routes, \*
  - c. The community liaison must manage parking actively for all construction workers and ensure compliance with the off-street parking requirement, and
  - d. If the off-street construction worker parking plan is found to be violated during construction, a correction notice will be issued to the applicant. If the violation is not corrected within five days, a "stop work order" will be issued, with construction halted until the violation has been corrected.
- 97. Include a chapter on maintaining pedestrian access within the Construction Management Plan. Sidewalks adjacent to the site shall remain open during construction. If sidewalks must be closed, pedestrian access shall be maintained adjacent to the site per Memo to Industry 04-18 throughout the construction of the project. (T&ES) \*

- 98. Include a chapter on the waste control program in the Construction Management Plan. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. Dispose of all waste offsite per all applicable federal, state, and local laws. Provide documentation as required per the City's Green Building Policy and conditions therein. (T&ES) (Code) \*
- 99. Discuss construction staging activities with T&ES prior to the release of any permits for ground disturbing activities. No major construction staging shall be allowed within the public right-of-way. (T&ES) \*
- 100. Transit stops adjacent to the site shall remain open, if feasible, for the duration of construction. If construction requires closing a stop(s) on Duke Street, then install a temporary ADA accessible transit stop. Coordinate with the T&ES Transportation Planning Division at 703.746.4088 as well as with the transit agency which provides service to the bus stop. Install signs noting the bus stop closure and location of the temporary bus stop prior to taking bus stops out of service. (T&ES)
- 101. Identify a Certified Land Disturber (CLD) in a letter to the Division Chief of Permits & Inspections prior to any land disturbing activities and include the name on the Phase I Erosion and Sediment Control sheets prior to each Final Site Plan release. If the CLD changes during the project, then note that change in a letter to the Division Chief. (T&ES) \*
- 102. Conduct an in-person or virtual meeting to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction prior to commencing demolition, clearing, and grading of the site. Notice all adjoining property owners, civic associations, and the Departments of P&Z and T&ES at least 14 calendar days before the meeting. Hold the meeting before any permits are issued. (P&Z) (T&ES) \*\*\*
- 103. Hold an in-person or virtual pre-installation/construction meeting to review the scope of landscaping installation procedures and processes with the P&Z project planner prior to starting work. (P&Z)
- 104. Identify a community liaison throughout the construction. Provide their name and telephone number, including an emergency contact number, to residents, property managers, and business owners whose property abuts the site, to the satisfaction of the Directors of P&Z and T&ES. Install a temporary informational sign prior to Final Site Plan release with the community liaison's name and contact information. Display the sign until construction finishes. (P&Z) (T&ES) \*, \*\*\*
- 105. Temporary construction and/or on-site sales trailer(s) are permitted and subject to the approval of the Directors of P&Z and Code Administration. Remove the

trailer(s) prior to the issuance of the final Certificate of Occupancy. (P&Z) (Code) \*\*\*

- 106. Submit a stamped electronic copy of a wall check survey completed by a licensed, certified public land surveyor or professional engineer when below-grade construction reaches the proposed finished grade. Ensure the wall check shows: (P&Z) \*\*
  - a. Key dimensions of the building as shown on the approved Final Site Plan,
  - b. Key dimensions from future face of finished wall above to the property line and any adjacent structures on the property,
  - c. Extent of any below-grade structures,
  - d. Foundation wall in place, and
  - e. Future face of finished wall above.
- 107. Submit a stamped electronic copy of an as-built development site plan survey, per the *As-Built Development Site Plan Survey Checklist* prior to applying for a Certificate of Occupancy permit. A registered architect, engineer, or surveyor shall prepare the as-built plan. Include a note stating that the height was calculated based on all applicable provisions of the Zoning Ordinance. (P&Z) (T&ES) \*\*\*
- 108. If outstanding performance, completion, or other bonds for the benefit of the City are in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond and associated documents must be provided by that party or, in the alternative, an assignment or other documentation from the bonding company indicating that the existing bond remains in effect despite the change in ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met, and the bond(s) released by the City. (T&ES) \*\*\*\*

## VI. CONTRIBUTIONS

- 109. Contribute \$2,500 to the City prior to Phase 2 Final Site Plan release to go towards a Capital Bikeshare station, bicycles, and/or system operations. (T&ES) \*
- 110. Contribute \$9,458 for Lot 800 and \$133,168 for Lot 801 to the City's Housing Trust Fund. The contributions for Lot 801 may be prorated by unit. Make all payments to the City of Alexandria and submit them to the Office of Housing with a cover letter to include the project name, case number, and explanation of the contribution amount, if phased. (Housing) \*\*\*

## VII. HOUSING

111. Provide one affordable set-aside for-sale unit within the development, comprising one (1) three-bedroom unit for sale at \$325,000 to households with incomes as designated by the City. This price includes the cost of parking, which will be provided as a two-car garage. (Housing)

- 112. The set-aside unit shall be of comparable size and floorplan and with the same or comparable finishes, fixtures, and appliances as similar units in the development, excluding optional upgrades. Housing)
- 113. Offer the same purchase incentives to potential market-rate and set-aside homebuyers, excluding sales price reductions or credits. Incentives may be non-monetary, such as complimentary move-in services. (Housing)
- 114. Provide residents of the set-aside unit with access to all amenities offered in the entire development. (Housing)
- 115. The set-aside unit shall be subject to deed restrictions recorded as a covenant at the time of sale of the unit, per the City's resale restricted housing policy. The City shall provide covenant language before the final sale of the set-aside unit. (Housing)
- 116. Advise the Office of Housing in writing of the delivery schedule for the set-aside unit no less than 180 days prior to anticipated delivery. The City and the applicant shall market the set-aside unit jointly. The City reserves the right to select qualified buyers randomly through a lottery system. (Housing)
- 117. Disclose to the Office of Housing the market rate pricing of similar units prior to the sale of the set-aside unit. (Housing)
- 118. Pay real estate commissions (if any) up to a maximum of \$3,000 on the set-aside units. (Housing)
- 119. Offer Virginia Housing mortgage financing to the set-aside buyer(s) through the City's preferred lender(s). If the preferred lenders are unable to offer a Virginia Housing loan, the selected lender shall offer a loan with interest rates and terms comparable to those provided by Virginia Housing. (Housing)126.
- 120. If the project's tenure converts to rental, the following conditions will apply:
  - a. Provide one (1) three-bedroom affordable set-aside rental unit.
  - b. Rent for the set-aside unit shall not exceed the maximum amounts allowed under the Federal Low Income Housing Tax Credit (LIHTC) program for households with incomes at 60 percent of the Washington D.C. Metropolitan Area Median Family Income (including utility allowances and any parking charges) for a 40-year period from the date of initial occupancy of each affordable unit. (Housing)
  - c. If at the time of lease up or lease renewal, the differential between the market rent and set-aside rent (as adjusted for utility allowances) for a comparable unit is less than 15 percent of the market rent, then the set-aside rent shall be reduced to maintain a differential of 15 percent for the term of the new lease or lease renewal. (Housing)
  - d. Total non-refundable fees, excluding application and pet fees, shall not exceed 15 percent of gross affordable rent. (Housing)
  - e. Recertify the income of the set-aside resident household annually. (Housing)

- f. Once an income-eligible household moves into the set-aside unit, that unit shall count as an affordable unit until the household's income increases to more than 140 percent of the then-current income limit. Provide one additional one-year lease term at the affordable rent but notify the household that at the end of one year the household shall not be eligible to continue at the affordable rent. (Housing)
- g. Do not deny households receiving Housing Choice Voucher assistance admission based on receiving such assistance. A household is income qualified if the amount of rent it can pay based on income, together with the voucher payment, is sufficient to cover the applicable rent. (Housing)
- h. Provide residents of the set-aside unit with access to all amenities offered within the entire development. (Housing)
- i. The set-aside unit shall be comparable in size and floor plan and have the same finishes as similar units in the development. (Housing)
- j. Notify the Landlord-Tenant Relations Division Chief at the Office of Housing in writing no less than 90 days prior to leasing. Provide the City with marketing information no less than 45 days prior to leasing, which shall include the affordable rent, fees, property amenities, and contact information for applications. The City shall notify interested parties of the availability of the set-aside unit. The applicant shall not accept applications for the set-aside unit until 45 days after providing written notification to the Office of Housing or until the Office of Housing advises the applicant that the information has been distributed and posted, whichever occurs first. (Housing)
- k. List the set-aside unit at <a href="www.VirginiaHousingSearch.com">www.VirginiaHousingSearch.com</a>, or an alternative website as identified by the Office of Housing at the time of lease up. (Housing)
- 1. Provide the City with the records and information necessary for annual compliance monitoring with the Housing conditions for the 40-year affordability period. (Housing)
- m. The set-aside units shall comply with the City's Rent Guidelines Policy. (Housing)

## VIII. PUBLIC ART

- 121. Work with City Staff to incorporate on-site public art elements or provide an equivalent monetary contribution for public art within the Small Area Plan per the City's Public Art Policy, adopted December 13, 2014, to the satisfaction of the Directors of P&Z and RP&CA. (P&Z) (RP&CA)
- 122. The in-lieu contribution for each phase of the project shall be \$0.30 per gross square foot, with a maximum contribution of \$75,000 per building prior to issuance of the first Certificate of Occupancy for each phase of the project. On-site public art shall be of an equivalent value to the contribution. (P&Z) (RP&CA) \*\*\*

### IX. <u>USES AND SIGNS</u>

123. Hire a professional consultant to work with Staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the open space and to prepare interpretive elements to install as part of the project. Indicate themes and locations of the interpretive elements in the site plan and provide text and graphics for the signage subject to review and approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z and RP&CA prior to each Final Site Plan release. Install the interpretative elements prior to issuance of the Certificate of Occupancy. (P&Z) (Archaeology) (RP&CA) \*, \*\*\*

### X. <u>DISCLOSURE REQUIREMENTS</u>

- 124. Submit all condominium association covenants for Phase 2 of the project for review and approval by the Director of P&Z and the City Attorney prior to applying for the first Certificate of Occupancy. Include the conditions listed below in a dedicated section of the association covenants. The language shall establish and state that these conditions cannot be changed except by an amendment to this DSUP approved by the City Council. (P&Z) (T&ES) (City Attorney) \*\*\*
  - a. The principal use of garage parking spaces shall be for passenger vehicles garaged at the address; storage which interferes with the use of a parking space for a motor vehicle is not permitted.
  - b. All landscaping and open space areas within the development shall be maintained by the Condominium/Homeowner's Association.
  - c. Obtain approval for any exterior building improvements or changes from the City, as determined by the Director of P&Z.
  - d. Develop a noise control by-law to control noise levels in the development and resolve noise issues between neighboring occupants and disclose this by-law to all involved at the time of sale or lease agreement.
  - e. Inspect and maintain stormwater facility BMPs to ensure proper functioning.
  - f. Maintenance for the private drive aisle shall be performed by the Condominium/Homeowner's Association including maintenance for the sanitary and storm sewers located within the site.
- 125. Furnish each prospective buyer with a statement disclosing the prior history of the site including previous environmental conditions and on-going remediation measures. Disclose this information to the satisfaction of the Director of T&ES. (T&ES)
- 126. Disclose to potential buyers the items listed below to the satisfaction of the Director of P&Z and the City Attorney: (P&Z) (T&ES) (City Attorney)
  - a. For Phase 2 potential buyers, that the drive-aisle is a private drive-aisle whose maintenance and upkeep is performed by the

- Condominium/Homeowner's Association including maintenance for the sanitary and storm sewers located within the site.
- b. That Duke Street is a major arterial and future traffic is expected to increase as development along it continues.
- c. That residents of this development are eligible for the City of Alexandria Residential Parking Permits ("RPP"). (P&Z) (T&ES)
- d. That this property is within ¼ mi of the Duke Street Transitway which is a planned, high-frequency bus rapid transit corridor that will provide a new connection between Landmark Mall and King Street Metro, with intermittent stops in between.

### XI. <u>SUBDIVISIONS</u>

- 127. The final subdivision plat shall comply with Zoning Ordinance § 11-1709 requirements. (P&Z) \*
- 128. Depict the location of all easements and reservations, including those required in this approval, on the Final Subdivision Plat. Do not construct any permanent building or retaining wall over any existing private and/or public utility easements. (T&ES) \*
- 129. Provide a georeferenced CAD file in <u>AutoCAD 2018.dwg</u> or greater format that adheres to the National CAD Standards with each Signature Set submission. The file shall include the subdivision plat including existing and new parcels and neighboring parcels. Identify legal lot numbers for each lot and document the square footage. Show adjacent lots and their Tax Map numbers on the subdivision plat. (GIS) \*

### **CITY DEPARTMENT CODE COMMENTS**

Legend: C - Code Requirement R - Recommendation F - Finding

### A. Planning and Zoning (P&Z)

- F-1. Demonstrate continued compliance with open space, floor area ratio, and setback requirements if a property owner requests future approval to construct a deck on their property.
- C 1 Submit as-built documents for all landscape and irrigation installations with the as-built plan and request for Performance Bond release. Refer to City of Alexandria Landscape Guidelines. \*\*\*\*
- C-2 Identify all trees to remove and protect/preserve in the tree conservation and protection plans prior to Final Site Plan release. Detail the construction methods to reduce disturbance within driplines. Schedule an on-site inspection of existing conditions with the City

- Arborist and Natural Resources Division Staff prior to preparing the Tree Conservation and Protection Plan. \*
- C 3 The landscape elements of this development are subject to Performance and Maintenance bonds, based on criteria established by the City and available through T&ES. Performance and Maintenance Bond release are subject to inspections by City Staff per City Code requirements. A final inspection for landscaping must occur three years after completion. \*\*\*\*

### **B.** Code Administration (Building Code)

- F 1. The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. A preconstruction conference is recommended for large projects. Contact the Code Administration Office, Plan Review Supervisor: 703.746.4200 with any questions.
- C 1 New construction or alterations to existing structures must comply with the current Uniform Statewide Building Code in effect when applying for building permit(s).
- C-2 Facilities shall be accessible for persons with disabilities per the current Virginia Uniform Statewide Building Code in effect when applying for building permit(s).
- C-3 Submit a soils report with the building permit application for all new and existing building structures. \*\*
- C-4 Submit an abatement plan from a licensed Pest Control Company to prevent rodents from spreading from the construction site to the surrounding community and sewers to the Department of Code Administration prior to receiving a demolition or land disturbance permit. Code Administration Staff will conduct a pre-demolition site survey to verify that the abatement plan is consistent with the field installation. \*\*
- C-5 Submit a wall location plat prepared by a land surveyor to the Department of Code Administration prior to any building framing inspection. \*\*

### C. Federal Environmental Reviews:

- F-1. Any project that is defined as a federal undertaking, in accordance with the National Historic Preservation Act of 1966 requires a § 106 review and/or other National Environmental Policy Act (NEPA) review. Projects that require federal review, approval or permitting, or projects that include federal funding are generally considered a federal undertaking. Consult with the appropriate federal or state agency to determine the requirements and process relevant to the project and coordinate with the appropriate City Staff and, if necessary, the Virginia Department of Historic Resources.
  - a. Information on the § 106 process is at <a href="www.achp.gov">www.dhr.virginia.gov/environmental-review/</a>
  - b. Information on the NEPA process is at www.epa.gov

c. Information on the U.S. Department of Housing and Urban Development environmental review process is at <a href="https://www.hudexchange.info/programs/environmental-review/">https://www.hudexchange.info/programs/environmental-review/</a>

### D. Archaeology

C-1 All archaeological preservation measures shall comply with Zoning Ordinance § 11-411.

### E. Transportation & Environmental Services (T&ES)

- F 2. Prepare the Final Site Plan per Memo to Industry 02-09, Design Guidelines for Site Plan Preparation, which is available at: <a href="http://alexandriava.gov/uploadedFiles/tes/info/Memo">http://alexandriava.gov/uploadedFiles/tes/info/Memo</a> %20to%20Industry%20No.%2002-09%20December%203,%202009.pdf \*
- F 3. Show and label the sanitary and storm sewer and water line in plan and profile in the first Final Site Plan, cross referencing sheets if plan and profile cannot be on the same sheet. Provide existing and proposed grade elevations plus the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. \*
- F 4. Provide a dimension plan with all proposed features, the final property lines, and associated property line annotation. When possible, show all annotations pertaining to the final property line configuration on the site layout sheet (also referred to as the site plan sheet).

  \*
- F 5. Construct all storm sewers to the City of Alexandria standards and specifications. The minimum diameter for storm sewers is 18-inches in the public right-of-way and the minimum size storm sewer catch basin lead is 15-inches Acceptable pipe materials are Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, the Director of T&ES may approve AWWA C-151 (ANSI A21.51) Class 52. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes are acceptable. The minimum and maximum velocities are 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public right-of-way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public right-of-way shall be owned and maintained privately).

  \* \*\*\*\*\*
- F 6. Construct all sanitary sewers to the City of Alexandria standards and specifications. The minimum diameter of sanitary sewers is 10-inches in the public right-of-way and sanitary lateral 6-inches for all commercial and institutional developments; however, a 4-inch sanitary lateral is acceptable for single unit residences. Acceptable pipe materials are Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 or reinforced concrete pipe ASTM C-76 Class IV (For 12-inches or larger diameters); Class III may be acceptable on private properties. Minimum and maximum velocities are 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured "Y"

- or "T" or approved sewer saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured "Y" or "T," or else install a manhole. \*, \*\*\*\*
- F 7. Provide a horizontal separation of 10-feet (edge to edge) between a storm or sanitary sewer and a water line. However, if this horizontal separation cannot be achieved, then install the sewer and water main in separate trenches and set the bottom of the water main at least 18-inches above the top of the sewer. If both the horizontal and vertical separations cannot be achieved, then use Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 for the sewer pipe material and pressure test it in place without leakage prior to install. \*, \*\*\*\*
- F 8. Provide at least 18-inches of vertical separation for sanitary sewers and 12-inches for storm sewers when a water main over crosses or under crosses a sanitary/storm sewer. However, if this cannot be achieved, then construct both the water main and the sanitary/storm sewer using Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for 10-feet on each side of the point of crossing. Center a section of water main pipe at the point of crossing and pressure test the pipes in place without leakage prior to installation. Provide adequate structural support for sewers crossing over the water main (i.e., concrete pier support and/or concrete encasement) to prevent damage to the water main. Encase in concrete sanitary sewers under creeks and storm sewer pipe crossings with less than 6-inch clearance. \*, \*\*\*\*
- F 9. No water main pipe shall pass through or touch any part of sanitary/storm sewer manhole. Place manholes at least 10-feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, ensure that the manhole is watertight and tested in place. \*, \*\*\*\*
- F 10. Maintain at least 12-inches of separation or clearance from water main, sanitary, or storm sewers when crossing underground telephone, cable TV, gas, and electrical duct banks. If this separation cannot be achieved, then use Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 material for the sewer pipe for 10-feet on each side of the point of crossing and pressure test it in place without leakage prior to installation. Provide adequate structural support for sanitary/storm sewers and water main crossing over the utilities (i.e., pier support and/or concrete encasement) to prevent damage to the utilities. \*, \*\*\*\*
- F-11. Design any rip rap per the requirements of Virginia Erosion and Sediment Control Handbook, Latest Edition. \*, \*\*\*\*
- F 12. Provide the dimensions of parking spaces, aisle widths, etc. within the parking garage on the Final Site Plan. Exclude column widths from the dimensions. \*, \*\*\*\*
- F 13. Show the drainage divide areas on the grading plan or on a sheet that includes topography and structures where each sub-area drains. \*
- F 14. Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. \*

- F 15. Show all existing and proposed public and private utilities and easements on the Final Site Plan with a narrative. \*
- F 16. Provide a Maintenance of Traffic Plan with the Construction Management Plan prior to Final Site Plan release that replicates the existing vehicular, pedestrian, and bicycle routes as closely as practical. Maintain pedestrian and bike access adjacent to the site per Memo to Industry 04-18. \*
- F 17. Include these notes on all Maintenance of Traffic Plan Sheets (MOT): \*
  - a. FOR INFORMATION ONLY.
  - b. No sidewalks can remain closed for the duration of the project. Temporary sidewalk closures are subject to separate approval from T&ES at the time of permit application.
  - c. The contractor shall apply for all necessary permits for use of the City right-of-way and shall submit MOT Plans with the T&ES Application for final approval at that time.
- F 18. Add complete streets tabulation to the cover sheet with the Final Site Plan submission. \*
- F 19. Parking for the residential use shall match the Zoning Ordinance requirements in effect at approval by the City Council and/or Planning Commission. \*
- F 20. Maintain a minimum separation of 30 feet on residential streets between the beginning of the street corner radius and any driveway apron radius. \*
- C-1 Complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site, per Article XI of the Zoning Ordinance. If the existing storm system is inadequate, design and build on-site or off-site improvements to discharge to an adequate outfall, even if post development stormwater flow from the site is less than pre-development flow. Demonstrate that a non-erosive stormwater outfall is present to the satisfaction of the Director of T&ES. \*
- C 2 Comply with the stormwater quality requirements and provide channel and flood protection per Article XIII of the Zoning Ordinance. Meet the peak flow requirements of the Zoning Ordinance if the development proposes combined uncontrolled and controlled stormwater outfall. If the project site is within the Braddock West watershed or a known flooding area, provide an additional 10 percent storage of the pre-development flows in the watershed to meet detention requirements. \*
- C-3 Design stormwater facilities that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems according to Article XIII of the Zoning Ordinance, § 13-114(F), as signed and sealed by a professional engineer registered in Virginia. Include the adequate outfall, inlet, and hydraulic grade line analyses to the satisfaction of the Director of T&ES. Provide the references and/or sources used to complete these analyses. \*
- C-4 Provide additional improvements to adjust lighting levels if the site does not comply with  $\S 13-1-3$  of the City Code, to the satisfaction of the Director of T&ES to comply with the Code. \*

- C-5 The location of customer utility services and installing transmission, distribution, and main lines in the public rights-of-way by any public service company shall be governed by franchise agreement with the City per Title 5, Ch. 3, § 5-3-2 and § 5-3-3, respectively. The transformers, switch gears, and boxes shall be outside of the public right-of-way.
  - a. All new customer utility services, extensions of existing customer utility services, and existing overhead customer utility services supplied by any existing overhead facilities must be installed underground below the surface of the ground unless exempted by City Code § 5-3-2, to the satisfaction of the Director of T&ES. \*, \*\*\*\*
  - b. Install all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to transmit or distribute any service (electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam, or petroleum) whether or not on streets, alleys, or other public places of the City must be installed underground or below the surface of bridges and elevated highways unless exempted by City Code § 5-3-3, to the satisfaction of the Director of T&ES. \*, \*\*\*\*
- C 6 Discharge flow from downspouts, foundation drains, and sump pumps to the storm sewer per the requirements of Memorandum to Industry 05-14. Pipe discharges from downspouts and sump pump to the storm sewer outfall, where applicable after treating for water quality per Article XIII of the Zoning Ordinance. \*, \*\*\*\*
- C 7 Place refuse/recycling receptables in the City right-of-way for condominium townhomes for solid waste collection services provided by the City per Title 5: T&ES, § 5-1-41 of the City Charter and Code. \*
- C-8 Satisfy the City's Minimum Standards for Private Streets and Alleys prior to Final Site Plan Release. \*
- C-9 Post the bond for the public improvements before Final Site Plan release. \*
- C 10 Provide plans and profiles of utilities and roads in public easements and/or public right-ofway for review and approval prior to Final Site Plan release. \*
- C 11 Provide a phased erosion and sediment control plan consistent with the grading and construction plan prior to Final Site Plan release. \*
- C 12 Provide as-built sewer data with the final as-built process per the Memorandum to Industry, dated July 20, 2005, prior to release of the Performance Bond. Prepare initial site survey work and plans using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Reference the control points/benchmarks used to establish these coordinates.
- C 13 Design the thickness of sub-base, base, and wearing course using "California Method" as set forth on page 3-76 of the second edition of a book entitled, "Data Book for Civil Engineers, Volume One, Design" written by Elwyn E. Seelye. Determine the values of California Bearing Ratios used in the design by field and/or laboratory tests. Using an

- alternate pavement section for Emergency Vehicle Easements to support H-20 loading designed using California Bearing Ratio determined through geotechnical investigation and using VDOT method (Vaswani Method) and standard material specifications is acceptable to the satisfaction of the Director of T&ES. \*, \*\*\*\*
- C 14 Provide all pedestrian, traffic, and wayfinding signage per the Manual of Uniform Traffic Control Devices, latest edition to the satisfaction of the Director of T&ES. \*
- C 15 No overhangs (decks, bays, columns, post, or other obstructions) shall protrude into public rights-of-ways, public easements, and the pedestrian or vehicular travel ways unless otherwise permitted by the City Code or additional City approvals are obtained. \*
- C 16 Design all driveway entrances, curbing, and so forth. in and/or abutting public right-of-ways per City standards. \*
- C-17 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately.
- C 18 Comply with the City's Noise Control Code, Title 11, Ch. 5, which sets the maximum permissible noise level as measured at the property line.
- C 19 Comply with the City's Noise Control Code Title 11, Ch. 5, § 11-5-4(b)(15), which permits construction activities to occur during these hours:
  - i. Monday Through Friday from 7 AM to 6 PM
  - ii. Saturdays from 9 AM to 6 PM
  - iii. No construction activities allowed on Sundays and holidays
  - a. § 11-5-4(b)(19) further restricts pile driving to these hours:
    - iv. Monday through Friday from 9 AM to 6 PM
    - v. Saturdays from 10 AM to 4 PM
    - vi. No pile driving is allowed Sundays and holidays
  - b. § 11-5-109 restricts excavating work in the right-of-way to:
    - vii. Monday through Saturday 7 AM to 5 PM
    - viii. No excavation in the right-of-way allowed on Sundays, New Year's Day, Independence Day, Thanksgiving, and Christmas.
- C 20 Comply with the stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default, and stormwater quantity management per Zoning Ordinance Article XIII. \*
- C 21 Comply with the City's Erosion and Sediment Control Code, Title 5, Ch. 4. \*
- C 22 Obtain all necessary permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, and/or Virginia Marine

Resources for all project construction and mitigation work prior to Final Site Plan release. This condition includes the state requirement for a state General VPDES Permit for Discharges of Stormwater from Construction Activities (general permit) and associated Stormwater Pollution Prevention Plan for land disturbing activities equal to or greater than one acre. Refer to the Memo to Industry 08-14: <a href="http://alexandriava.gov/tes/info/default\_aspx?id=3522">http://alexandriava.gov/tes/info/default\_aspx?id=3522</a>. \*

C – 23 Provide a Stormwater Pollution Prevention Plan (SWPPP) Book with the Final Site Plan. The project's stormwater management (SWM) plan and the erosion and sediment control (E&SC) plan must be approved prior to the SWPPP being deemed approved and processed to receive coverage under the VPDES Construction General Permit. Upon approval, provide an electronic copy of the SWPPP Book with the Signature Set submission and a copy of the coverage letter must be added to the plan sheet containing the stormwater management calculations. Include an electronic copy of the SWPPP Binder Book in the released site plans and include a hardcopy of the SWPPP Binder Book with the on-site construction drawings. Separate parcel owners must seek separate VPDES Construction General Permit Coverage unless a blanket entity incorporated in Virginia has control of the entire project. \*

### F. Information Technology

F - 1. Provide the locations of all common Fire Closets and Utility Closets in the Final Site Plan. These closets will be assigned individual addresses to comply with Fire Department requirements. \*

### **G.** Fire Department

- C-1 Show the location of Fire Department Connections prior to Final Site Plan release. \*
- R 1. Consider letting the Alexandria Fire Department use buildings that will be razed for training exercises. The Fire Department will formulate conditions of use between the parties and provide a hold harmless agreement to the owner or their representative.

### H. Police Department

- R 1. Use addresses numbers with contrasting colors to the background, at least three inches high, reflective, and visible from the street, and placed on the front and back of each home. Avoid using brass or gold numbers. This design aids emergency responders.
- R 2. Equip all ground floor windows with a device or hardware that enables securing them in a partially open position. This design prevents breaking and entering when the windows are open for air.
- R 3. Install "door-viewers" (commonly known as peepholes) in all doors on the ground level that lead directly into an apartment to increase security for the occupant.

### **Asterisks denote:**

- \* Condition must be fulfilled prior to release of the Final Site Plan
- \*\* Condition must be fulfilled prior to release of the building permit
- \*\*\* Condition must be fulfilled prior to issuance of the Certificate of Occupancy
- \*\*\*\* Condition must be fulfilled prior to release of the bond



### DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN

ASS IGN.	DSUP #_	#202	4-10010	Project Name:	Westridge Towns
				view Drive and 2921 No	ob Hill Court
	TY LOCATI		62.03 01 09	<u>**</u>	ZONE: R-8 proposed R-8 & RA
TAX MAP	REFEREN	CE:	02.03 01 03		ZONE:
APPLICA	NT:	l Cree!	k Homes LLC	C. a Virginia limited lial	bility company
Name:				8	
Address:	4==				
PROPER	TY OWNER	-			
Name:		СН а	t LongviewLI	CC. a Virginia limited li	ability company
Address:					
SUMMAR dwelling	Y OF PRO	POSA en (19	9) townhouse	condominiums with	Site Planto construct one (1) single unit
MODIFIC front, sid	ATIONS RE land rear yar	d setb	packs (b) build	ding 2 side yard and (c)	RA zoned townhouse units buildings (a) building building building side and rear yards setbacks.
pursuan		7-700	et seq. of the	AZo and Parking Redi	te plan, Specia use Permit for additional density uction Special Use Premit to allow one (1) the
	0.		Ů.	rages to be a compact s	
				g Ordinance of the City of A	with Special Use Permit approval in accordance llexandria, Virginia.
Alexandria t	o post placard	notice	on the property		erty owner, hereby grants permission to the City of requested, pursuant to Article XI, Section 11-301
drawings, et		the app	olicant are true, o		in provided and specifically including all surveys,
Print Name o	Applicant or A	igent		Signature	N/A
Mallina/Street		244		Telephone #	Fax #
City and State	a, <b>V</b> irginia 22 e		žip Code	<del></del>	
			<b>-p</b> 0000	8/22/24 rev	rised 10/23/34
				Date	
		FAL	DO NOT WRN	TE IN THIS SPACE - OFF	ICE USE ONLY
					ans for Completeness:
Fee Paid a					lans for Preliminary:
l .					
ACTION - 0	CITY COUNCIL:				

Development	SUP #	

### ALL APPLICANTS MUST COMPLETE THIS FORM.

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

7.	ı ne appııcan	ine applicant is: (check one)								
	The Owner the subject prop	Contract Purchaser perty.	OLessee or	Other:	of					
applic		s and percent of ownership ntity is a corporation or partn	• •							
	member of Old	s Old Creek Homes LLC, a Virgin I Creek Homes LLC. The mailing ngton Street, Suite B30, Alexandri	address for the limite	• .						
or oth	er person for which	plicant is being represented ch there is some form of cor nave a business license to o	mpensation, does	this agent or the b	usiness in which					
	•	f of current City business lic all obtain a business license		ication, if required	by the City					

Code.

### OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant, State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
Old Creek Homes LLC		100%
<sup>2</sup> Matt S, Gray		100% of Old Creek Homes LLC
3.	<u>                                       </u>	

Name	Address	Percent of Ownership		
1. OCH at Longview LLC		100%		
2. Old Creek Homes LLC		100% of OCH at Longview LLC		
3. Matt S. Gray		100% of Old Creek Homes LLC		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, click here.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Old Creek Homes LLC	Nane	
OCH at Longview LLC	None	
3. Matt S. Gray	None	

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

		I hereby attest to the best of my ability that
the informat	tion provided above is true and correct.	Miron Man
Signal.	Duncan W. Blair, Attorney/Agent	MIN CON TO HOW
Data	Printed Name	Signature

Development	SUP	#		 	_	

2. Narrative description. The applicant shall describe below the nature of the request in detail so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 6-9. (Attach additional sheets if necessary.)

The applicant Old Creek Homes LLC is requesting: (a) the rezoning of a portion of the property from the R-8 residential zoning to the RA residential zone, and (b) Development Special Use Permit with Site Plan and requested setback modifications to construct one (1) single unit dwelling and nineteen (19) tousehouse condominium units and associated site improvement and a Parking Reduction Special Use Permit to permit one (1) of the two parking spaces in the townhouse garages to be a compact parking space.

The applicant is also requesting a Special Use Permit for additional density pursuant to Section 7-700 of the AZO. One (1) ot the townhouses will be dedicated for sale onsite affordable housing unit. The applicant will also make the standard voluntary contribution to the Affordable Housing Fund per City policy.

Development SUP	#	

3.		How many patrons, clients, pupils and other such users do you expect? Specify time period (i.e., day, hour, or shift).							
	N	ot Applicable							
4.	Spec		<b>loyees, staff a</b> I (i.e. day, hour, o	-	el do you expect?				
5.	Des	cribe the prop	posed hours and	days of operation o	of the proposed use:	Not Applicable			
	Day		Hours	Day	Hours				
					-				
6.	Des	cribe any po	otential noise e	emanating from th	ne proposed use:				
<b>.</b>	Α.			_	hanical equipment an	d patrons.			
		Not Applical		•		·			
	В.	How will the	e noise from patro	ns be controlled?					
		Not Applicab	le						
7.		cribe any po trol them:	otential odors (	emanating from t	he proposed use a	and plans to			
		Not Applicable							

Development SUP #	
Detailplineiit our #	

Prov	ide information regarding trash and litter generated by the use:
A.	What type of trash and garbage will be generated by the use?
	Trash and Recycables associated with the residential use of the property.
В.	How much trash and garbage will be generated by the use?
	The amount of Trash and Recycables generated by the residential use of the Property will be similar to that of other residential properties.
C.	How often will trash be collected?
	It is anticipated that trash and recycables will be picked up weekly by the City of Alexandria.
D.	How will you prevent littering on the property, streets and nearby properties?
	Not Applicable
	any hazardous materials, as defined by the state or federal government, andled, stored, or generated on the property?
<b>✓</b> Ye	es.  No.
If yes,	, provide the name, monthly quantity, and specific disposal method below:
	all quantities of Materials designated as hazardous that are generally recognized as appropriate for residential us ybe used.
clea	any organic compounds (for example: paint, ink, lacquer thinner, or ning or degreasing solvent) be handled, stored, or generated on the erty?
✓ Ye	es. No.
If yes,	, provide the name, monthly quantity, and specific disposal method below:
	A.  B.  C.  Will be have a second with the content of the content

	tm 4	
reiopment Sl	DP #	 

### 11. What methods are proposed to ensure the safety of residents, employees and patrons?

Small quantities organic compounds that are generally recognized as appropriate for residential use may be

### **ALCOHOL SALES**

12.	Will the proposed use include the sale of beer, wine or mixed drinks?
	Yes. No.
	If yes, describe alcohol sales below, including if the ABC license will include on-premises and/ or off-premises sales. Existing uses must describe their existing alcohol sales and/or service

### PARKING AND ACCESS REQUIREMENTS

### Provide information regarding the availability of off-street parking: 13.

and identify any proposed changes in that aspect of the operation.

A.	How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance? Thirty eight (38) for the townhouse units and
B.	How many parking spaces of each type are provided for the proposed use:  Standard spaces Standard spaces Compact spaces all compact spaces pursuant to Section 11-512 (B) of AZO Handicapped accessible spaces
	Other

C.	Where is required parking located? (check one) on-site off-site
	If the required parking will be located off-site, where will it be located?
	Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.
D.	If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the <b>Parking Reduction Supplemental Application.</b>
Provi	de information regarding loading and unloading facilities for the use:
A.	How many loading spaces are required for the use, per section 8-200 (B) of the
	zoning ordinance? No Loading spaces are required.
B.	How many loading spaces are available for the use?  Not Applicable
C.	Where are off-street loading facilities located?  Not Applicable
D.	During what hours of the day do you expect loading/unloading operations to occur?
	Not Applicable
E.	How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?
	Not Applicable

Development SUP # \_\_

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Street access is adequate.

14.



### **APPLICATION - SUPPLEMENTAL**

### PARKING REDUCTION

Supplemental information to be completed by applicants requesting special use permit approval of a reduction in the required parking pursuant to section 8-100(A)(4) or (5).

1.	<b>Describe the requested parking reduction.</b> (e.g. number of spaces, stacked parking, size, off-s
oca	The applicant is requesting that one (1) of the parking spaces in the townhouse units
	be permitted to be a compact sized parking space.
2.	Provide a statement of justification for the proposed parking reduction.  The use of a compact space is consistent with City Policy and mamimizes the use of the
flo	or area within the garage.
3.	Why is it not feasible to provide the required parking?  The use of a compact space is consistent with City Policy and mamimizes the use of the
flo	oor area within the garage and the living spaces inside the townhouse.
	Will the proposed reduction reduce the number of available parking spaces below the mber of existing parking spaces?
	Yes No.

- 5. If the requested reduction is for more than five parking spaces, the applicant must submit a **Parking Management Plan** which identifies the location and number of parking spaces both on-site and off-site, the availability of on-street parking, any proposed methods of mitigating negative affects of the parking reduction.
- 6. The applicant must also demonstrate that the reduction in parking will not have a negative impact on the surrounding neighborhood.

Each unit will have two parking spaces. The use of a compact parking does not increase the offsite parking impacts, if any of the Project.



### **APPLICATION**

Master Plan Amendment MPA	
Zoning Map Amendment REZ#_	

PROPERTY LOCATION:	_	iew Drive and 2	921 Nob Hill Court				
APPLICANT Name:	Old Creek Homes LLC, a Virginia limited liability company						
Address:		*					
PROPERTY OWNER:							
Name:	OCHS at Longview LLC, a Virginia limited liability company						
Address:	address:						
Interest in property:							
	Owner	Contract F	Purchaser				
	Developer	OLessee	Other				
person for which there is have a business license to	some form of o	compensation, lexandria, VA:	an authorized agent such as an attorney, a realtor, or other does this agent or the business in which they are employed of current City business license.				
C	No: If no, s	aid agent shal	Il obtain a business license prior to filing application.				
	1B of the Zoni	ing Ordinance,	supplied for this application is complete and accurate, and, hereby grants permission to the City of Alexandria, Virginia, jee State				
Duncan W. Blair, Attorney	//Agent		13011/21/30				
Print Name of Applicant or A	gent		Signature				
			None				
Mailing/Street Address			Telephone # Fax #				
Alexandria, Virginia 2231	4		8/22/24				
City and State	Zip C	ode	Date				
	DO NOT	WRITE IN THIS	SPACE - OFFICE USE ONLY				
Application Received:			Fee Paid: \$				
Legal advertisement: ACTION - PLANNING COMM	ISSION		ACTION - CITY COUNCIL:				

application master plan amend.pdf 11/2019 Pnz\Applications, Forms, Checklists\Planning Commission

MPA#	
REZ#	

### **SUBJECT PROPERTY**

Provide the following information for each property for which an amendment is being requested. (Attach separate sheets if needed.)

Address Tax Map - Block - Lot 2921 Nob Hill Court	Land Use Existing - Proposed	Master Plan Designation Existing - Proposed	Zoning Designation Existing - Propose	
62.02 01 09 Part of 126 Longview Dr. 2 62.02 01 13  3	Not Applicable	Not Applicable		33,943 Sq. Ft.  0.7792 acres

### **PROPERTY OWNERSHIP**

[] Ind	dividual Ow	ner Corporation or Partnership Owner	
Identi	ify each per	son or individual with ownership interest. If corporation or partnership owner, identify	each person with
more	than 3% in	terest in such corporation or partnership.	
1.	Name:	OCHS at Longview LLC, a Virginia limited liability company  Extent of Interest:	100%
	Addross		

100% of OCH Old Creek Homes LLC, a Virginia limited liability company at Longview LLC 2. **Extent of Interest:** Name: Address: 100 of Old Creek Homes LLC Matt S. Gray 3. Extent of Interest: Name: Address: 4. Extent of Interest: \_\_\_\_\_ Name: \_

application master plan amend.pdf
11/2019 Pnz\Applications, Forms, Checklists\Planning Commission

MPA #	
REZ#	

### **JUSTIFICATION FOR AMENDMENT**

(attach separate sheets if needed)

- 1. Explain how and why any proposed amendment(s) to the Master Plan are desirable, beneficial to surrounding properties, in character with the applicable Small Area Plan and consistent with City policies:
  - The applicant is not requesting an amendment to the Taylor Run/Duke Street Small Area Plan chapter of the City of Alexandria's Master Plan.
- 2. Explain how and why the proposed amendment to the Zoning Map(s) is consistent with the proposed amendment to the Master Plan, or, if no amendment to the Master Plan is being requested, how the proposed zoning map amendment is consistent with the existing Master Plan:
  - The Taylor Run/ Duke Street Small Area Plan designates the area in which the subject property is located as Residential Low. The portion of the property being rezoned is for the townhouse project is a transition area on Nob Hill Court with adjoining properties use as multi-unit dwellings, townhouse dwellings and single unit dwellings. The RA zone was established to provide and maintain land areas for residential neighborhoods in which apartments predominate and in which single-family, two-family and townhouse development is permitted.
- 3. Explain how the property proposed for reclassification will be served adequately by essential public facilities and services such as highways, streets, parking spaces, police and fire, drainage structures, refuse disposal, water and sewers, and schools.
  - The property subject to this application is adequately served by public facilities.
- 4. If this application is for conditional zoning approval pursuant to Section 11-804 of the Zoning Ordinance, identify all proffered conditions that are to be considered part of this application (see Zoning Ordinance Section 11-804 for restrictions on conditional zoning):
  - The applicant has not offerred any proffered conditions as part of this application.

# O ALEXADRIA POLICIA ROLLING

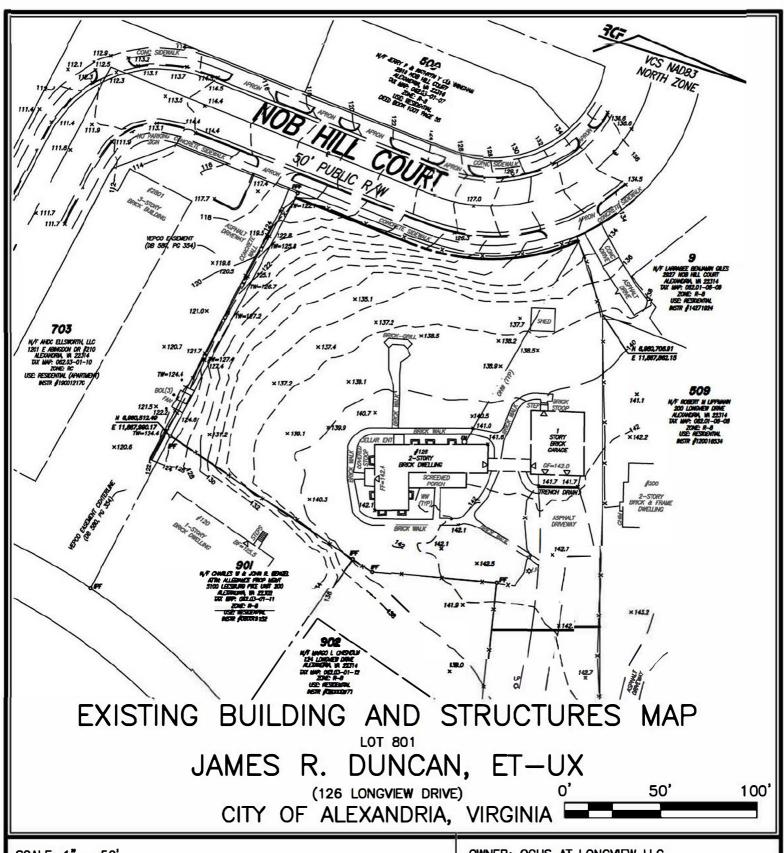
### **APPLICATION**

# MASTER PLAN AMENDMENT and/or ZONING MAP AMENDMENT (REZONING)

	TDB	Filing Fee			
	TBD				
	TBD	_ Filing Dead	lline		
		_ Planning C	ommission	Hearing	ĺ
	TBD	_ City Counc	il Hearing		
REQUIREMENTS FO	R MAILING	NOTICES			
oplicants must send writte			_		•
wners at least 10 days pri ouncil hearing. See deta			_	ore than 30 d	lays prior to the City
المصادمة المسادمة المسادمة المسادمة المسادمة	makina afibansi	b-A	TBD		TBD
ail certified or registered eturn notice materials to l			by TI	and BD	
				_	
APPLICATION CHEC	KLIST				
neck off below items sub	mitted to Depa	rtment of Planning a	nd Zoning:		
Completed and sid					
Filing fee TBD	gned application				
Filing fee TBD Legal description of	gned application	on 🗸			
Filing fee TBD Legal description of Vicinity map (8 ½"	gned application of subject property 11")	erty 🗸			
Filing fee TBD Legal description of	oned application of subject property by 11")	erty 🗸			

application master plan amend.pdf

11/2019 Pnz/Applications, Forms, Checklists/Planning Commission



SCALE: 1" = 50' DATE: AUG 2024

OWNER: OCHS AT LONGVIEW LLC

CLIENT: MATT GRAY

NOTES:

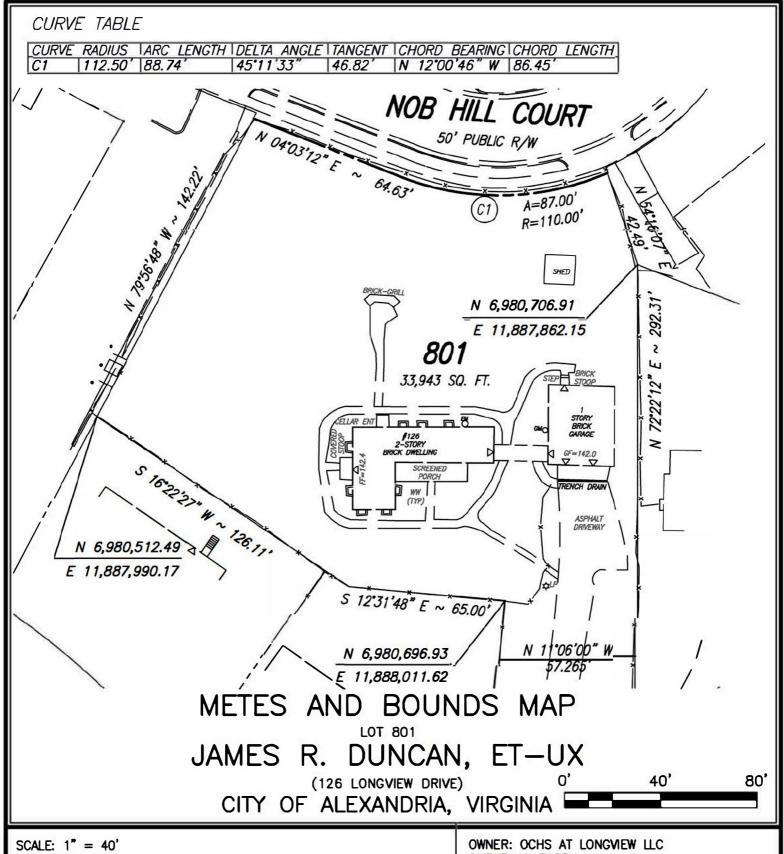
TAX MAP NUMBER: #062.03-01-13 LOT AREA = 33,943 S.F. OR 0.7792 AC PLAT SUBJECT TO RESTRICTIONS OF RECORD TITLE REPORT NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.

LAND SURVEYING ENGINEERING •

PLANNING

700 S. Washington Street, Suite 220 Alexandria, Virginia 22314

www.rcfassoc.com (703) 549-6422



DATE: AUG 2024

CLIENT: MATT GRAY

NOTES:

TAX MAP NUMBER: #062.03-01-13 LOT AREA = 33,943 S.F. OR 0.7792 AC PLAT SUBJECT TO RESTRICTIONS OF RECORD TITLE REPORT NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.

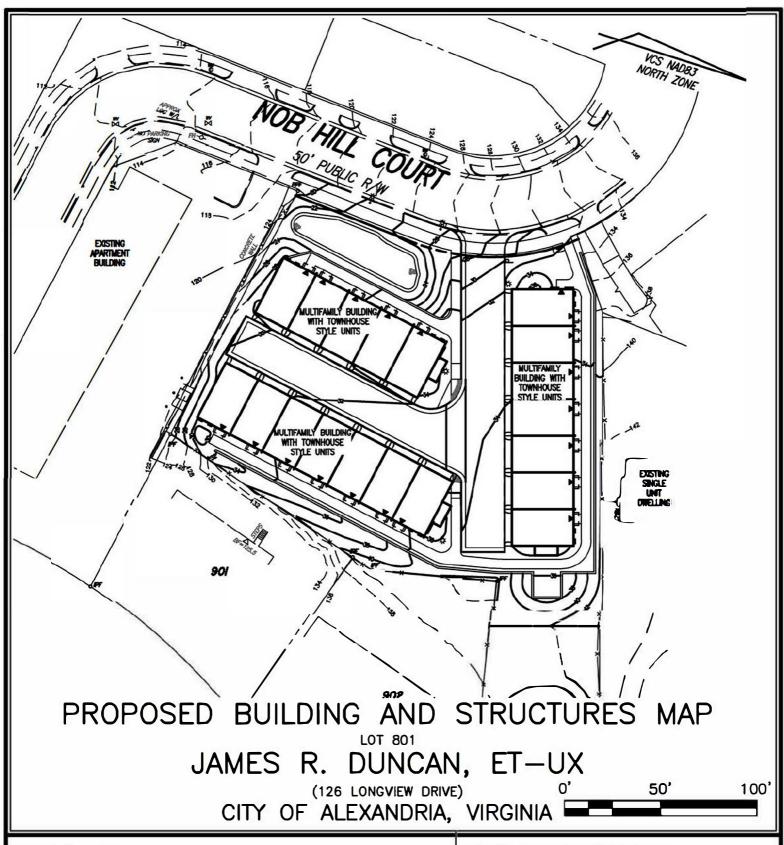
LAND SURVEYING **ENGINEERING** 700 S. Washington Street, Suite 220

Alexandria, Virginia 22314

PLANNING www.rcfassoc.com (703) 549-6422

61

DRAFTED: AO CHECKED: TD



SCALE: 1" = 50' DATE: AUG 2024

OWNER: OCHS AT LONGVIEW LLC

CLIENT: MATT GRAY

NOTES:

TAX MAP NUMBER: #062.03-01-13 LOT AREA = 33,943 S.F. OR 0.7792 AC PLAT SUBJECT TO RESTRICTIONS OF RECORD TITLE REPORT NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.

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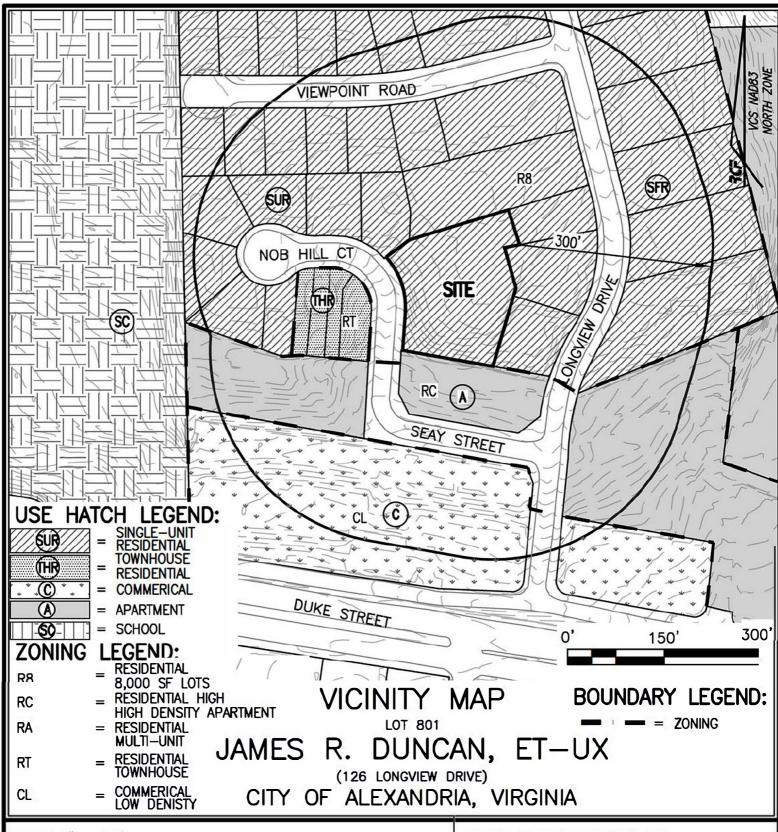
PLANNING

700 S. Washington Street, Suite 220 Alexandria, Virginia 22314

www.rcfassoc.com (703) 549-6422

62

CHECKED: TD DRAFTED: AO



SCALE: 1" = 150' DATE: AUG 2024 OWNER: OCHS AT LONGVIEW LLC

CLIENT: MATT GRAY

NOTES:

TAX MAP NUMBER: #062.03-01-13
LOT AREA = 33,943 S.F. OR 0.7792 AC

PLAT SUBJECT TO RESTRICTIONS OF RECORD

TITLE REPORT NOT FURNISHED, THUS ALL EASEMENTS MAY NOT

BE SHOWN.

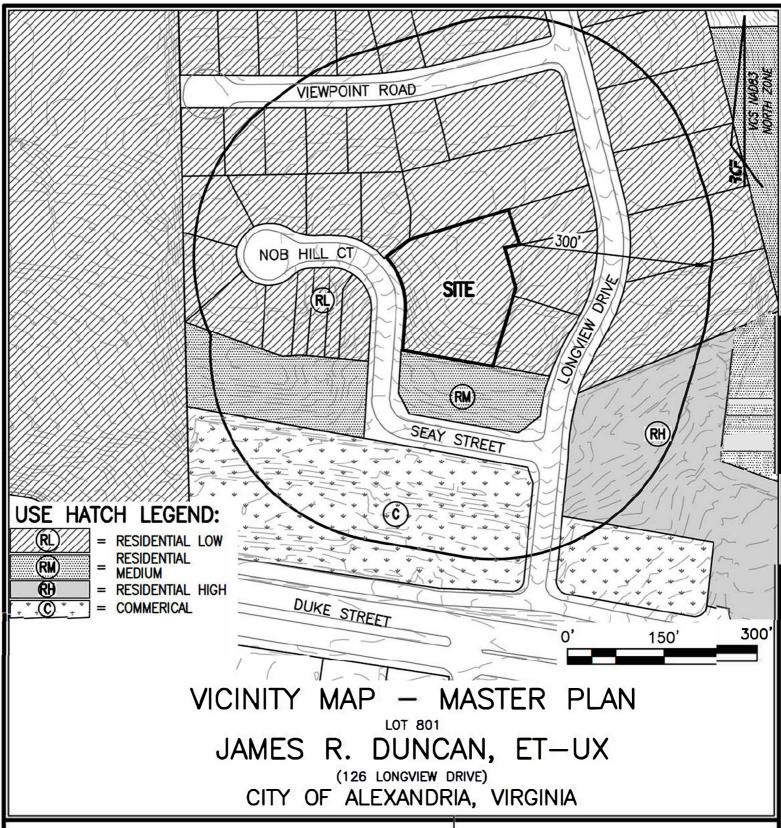
3 CFIELDS

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700 S. Washington Street, Suite 220

Alexandria, Virginia 22314

PLANNINGwww.rcfassoc.com (703) 549-6422

63



SCALE: 1" = 150' DATE: AUG 2024 OWNER: OCHS AT LONGVIEW LLC

CLIENT: MATT GRAY

NOTES:

TAX MAP NUMBER: \$062.03-01-13
LOT AREA = 33,943 S.F. OR 0.7792 AC
PLAT SUBJECT TO RESTRICTIONS OF RECORD
TITLE REPORT NOT FURNISHED, THUS ALL EASEMENTS MAY NOT
BE SHOWN.

ENGINEERING • LAND SURVEYING
700 S. Washington Street, Suite 220 wv
Alexandria, Virginia 22314

PLANNING
www.rcfassoc.com
(703) 549-6422

**& ΔλλοςίΔζΈλ, iΠς.** 

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DRAFTED: AO CHECKED: TD

# REZONING MAP AMENDMENT WESTRIDGE TOWNS DRAFT PUBLIC NOTICE

Zoning Map Amendment #2024-\_\_\_\_. Request to rezone the property from R 8 to RA.



### **2024 City of Alexandria Business License**

Finance Department, Revenue Administration Division, City of Alexandria 301 King Street, Room 1700, Alexandria, VA 22314 Phone: 703.746.4800 http://www.alexandriava.gov/

 License Number:
 110827-2024

 Account Number:
 110827

 Tax Period:
 2024

Business Name: Land, Carroll & Blair PC

Trade Name: Land, Carroll & Blair PC

Business Location: 524 KING ST

Alexandria, VA 22314

LAND, CARROLL & BLAIR PC 524 KING ST Alexandria, VA 22314-3104

License Classification(s):

Professional Occupations/Businesses 9-071-007 Attorney-At-Law

January 23, 2024

### Dear Taxpayer:

This is your 2024 City of Alexandria Business License. The bottom portion of this page is perforated to allow you to tear off and post the business license in your establishment.

If you paid for your business license via check, please be aware that if your check is not honored by your financial institution, this business license shall be invalid.

As with all taxes, our goal is to administer Business License taxes fairly and in accordance with Commonwealth and Locality code. Our staff strives to provide professional assistance and quality customer service. Your satisfaction is important to us and your comments are always welcome.

If you have any questions regarding this letter, please visit http://www.alexandriava.gov/ or contact my office via phone at 703.746.4800.

Finance Department, Revenue Administration Division, City of Alexandria

Keep this letter for your records.

### **City of Alexandria Business License**

Revenue Administration Division, City of Alexandria, 301 King Street, Room 1700, Alexandria, VA 22314

 License Number:
 110827-2024

 Account Number:
 110827

 Tax Period:
 2024

Business Name: Land, Carroll & Blair PC
Trade Name: Land, Carroll & Blair PC

Business Location: 524 KING ST

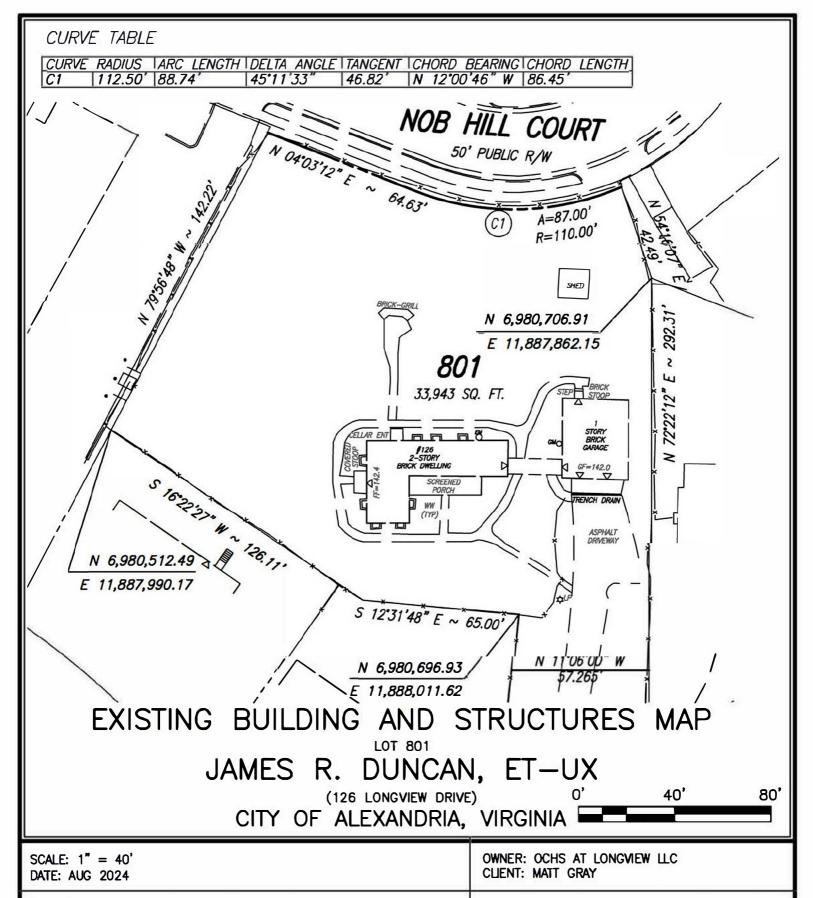
Alexandria, VA 22314

License Classification(s): Professional Occupations/Businesses

9-071-007 Attorney-At-Law

This license has been issued by the Revenue Administration Division of the City of Alexandria and is granted to:

Land, Carroll & Blair PC 524 KING ST Alexandria, VA 22314



NOTES:

TAX MAP NUMBER: #062.03-01-13
LOT AREA = 33,943 S.F. OR 0.7792 AC
PLAT SUBJECT TO RESTRICTIONS OF RECORD
TITLE REPORT NOT FURNISHED, THUS ALL EASEMENTS MAY NOT
BE SHOWN.

3 CFIELDS

ENGINEERING • LAND SURVEYING
700 S. Washington Street, Suite 220

PLANNING

700 S. Washington Street, Suite 220 Alexandria, Virginia 22314 www.rcfassoc.com (703) 549-6422

700 S. WASHINGTON ST SUITE 220 ALEXANDRIA, VA 22314 (703) 549-6422 www.rcfassoc.com

August 21, 2024

This description is to be used for Rezoning purposes only, and NOT for the transfer/sale of Real Property.

### METES AND BOUNDS DESCRIPTION

# Proposed Lot 801 & Proposed Street Dedication WESTRIDGE TOWNS

An Old Creek Homes Community
Being

### Outlot #2

### Section Two of the Land of Henry V. Shea

Deed Book 521, Page 388

And

Part of Lot 705 Resubdivision of Lot 611 James R. Duncan, Et-Ux

Deed Book 467, Page 524 City of Alexandria, Virginia

All that certain tract or parcel of land lying, being and situated in the City of Alexandria, Virginia being:

- i. Outlot #2, Section Two of the "Land of Henry V. Shea" as duly platted and recorded in Deed Book 521 at Page 388 among the Land Records of said City of Alexandria; and
- ii. Part of Lot 705 of a "Resubdivision of Lot 611 of the Property of James R. Duncan, Et-Ux" as duly platted and recorded in Deed Book 467 at Page 524 among said Land Records;

Being further described by metes and bounds as follows:

**BEGINNING AT A POINT** at the southwest corner of the above referenced Lot 705, Property of James R. Duncan, Et Ux, said point lying in the easterly right-of-way line of Nob Hill Court (50 feet wide);

Thence, running with said easterly right-of-way line of Nob Hill Court the following two (2) courses and distances:

- 1. North 04° 03' 12" East, a distance of 64.63 feet to a point of curvature;
- 2. **87.00 feet** along an arc of a tangent curve to the left, having a radius of **110.00 feet**, a central angle of **45° 18' 57"**, a chord which bears **North 18° 36' 17" West**, a chord distance of **84.75 feet** to a point at the westerly-most corner of the above referenced Outlot #2, Section Two of

the "Land of Henry V. Shea" being a common corner with Lot 9 of said Section Two of the "Land of Henry V. Shea";

Thence, running with the southerly line of said Lot 9:

3. North 54° 16' 07" East, a distance of 42.49 feet to a point at the southwesterly corner of Lot 509, "James R. Duncan";

Thence, departing said Lot 9 and running with the southerly line of said Lot 509:

4. North 72° 22' 12" East, a distance of 163.92 feet to a point;

Thence, departing said Lot 9 crossing and including a portion of the aforementioned Lot 705:

5. **South 17° 37' 48" East**, a distance of **57.27 feet** to a point in the northerly line of Lot 902, "James R. Duncan";

Thence, running with the northerly and westerly lines (respectively) of said Lot 902 the following two (2) courses and distances:

- 6. South 78° 09' 48" West, a distance of 24.63 feet to a point;
- 7. **South 12° 31' 48" East**, a distance of **65.00 feet** to a point;

Thence continuing with the westerly line of Lot 902 and the same line extended with Lot 901:

8. **South 16° 22' 27" West**, a distance of **126.11 feet** to a point in the northerly line of Lot 703, "James R. Duncan":

Thence, running with said northerly line of Lot 703:

9. North 79° 56' 48" West, a distance of 142.22 feet to the POINT OF BEGINNING.

Containing an Area of 34,325 Square Feet or 0.7880 Acres of Land.

# PRELIMINARY DEVELOPMENT SITE PLAN WESTRIDGE TOWNS

126 LONGVIEW DRIVE CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS			
EXISTING SITE AREA = 0.97	AC <u>42,345</u>	SF	
PROPOSED SITE AREA = 0.96	AC 41,886	SF (AFTER	DEDICATION)
TOTAL DISTURBED AREA = 0.99	AC43,52	7SF	
STORMWATER MANAGEMENT DISTURBED AREA =	0.96	AC42,033	SF
EXISTING IMPERVIOUS AREA = 0.20	AC8	<u>,666</u> SF	
PROPOSED IMPERVIOUS AREA =0.6	61AC	26,463 SF	

### **ENVIRONMENTAL SITE ASSESSMENT**

- THERE ARE NO TIDAL WETLANDS, TIDAL SHORDS, TRIBUTARY STREAMS, FLOODPLAINS, RESOURCE PROTECTION AREAS, CONNECTED TIDAL WETLANDS, ISOLATE( WETLANDS, OR BUFFER AREAS ASSOCIATED WITH SHORMS, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER THERE ARE NO WETLANDS PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS, AREAS OF SOIL OR GROUNDWATER CONTAMINATION, NOR AREAS WITH THE POTENTIAL FOR GENERATING COMBUSTIBLE GASING ON THE SITE.
- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNU UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT TO PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINERS REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL STATE AND CIT
- ALL WELLS TO BE DEMOLISHED IN THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-838-4400 EXT
- OCCUR BETWEEN THE FOLLOWING HOURS
  - MONDAY THROUGH FRIDAY FROM 7am TO 6pm AND
  - SATURDAYS FROM 9am TO 6pm • NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS
- PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
- MONDAY THROUGH FRIDAY FROM 9am TO 6pm AND • SATURDAYS FROM 10am TO 4pm

### **ENVIRONMENTAL PERMITS NOTES**

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES WHICH DISTURB LESS THAN 1 ACRE, THEREFORE A VPDES PERMIT IS NOT REQUIRED.

THE APPLICANT/ DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY (703—746—4399) TWO (2) WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE S THAT AN INSPÉCTION OF MONITORING SCHEDULE FOR THE CITY ARCHAEOLOGIST CAN BE ARRANGED.

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIMING. CISTERNS. ETC.) OR CONCENTRATIONS OF HISTORIC OR PREHISTORIC ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMBS TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, OR ALLOW INDEPENDENT PARTIES TO COLLECT OR EXCAVATE ARTIFACTS UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL REGULT IN PROJECT DELAYS.

ALL REQUIRED ARCHAEOLOGICAL PRINSERVATION MEASURING SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

### **GENERAL NOTES**

- PRIOR TO THE APPLICATION FOR NEW CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL SUBMIT A BUILDING PERMIT FOR A CHANGE OF USE DRAWINGS PREPARED BY A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER SHALL ACCOMPANY THE PERMIT APPLICATION. THE PLANS SHALL SHOW PROPOSED CONDITIONS AND PROVIDE DATA BY THE DESIGN PROFESSIONAL WHICH DETAILS HOW THE PROPOSED USE WILL COMPLY WITH THE CURRENT EDITION OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE FOR THE NEW USE IN THE AREA OF STRUCTURAL STRENGTH, MEANS OF EGRESS, PASSIVE AND ACTIVE FIRE PROTECTION, HEATING AND VENTILATING SYSTEMS, HANDICAPPED ACCESSIBILITY AND PLUMBING FACILITIES.
- NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
- BEFORE A BUILDING PERMIT CAN BE ISSUED ON ANY PROPOSED FUTURE ALTERATIONS, A CERTIFICATION IS REQUIRED FROM THE OWNER OR OWNER'S AGENT THAT THE BUILDING HAS BEEN INSPECTED BY A LICENSED ASBESTOS INSPECTOR FOR THE PRESENCE OF ASBESTOS.
- A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF.
- REQUIRED EXITS, PARKING, AND ACCESSIBILITY WITHIN THE BUILDING FOR PERSONS WITH DISABILITIES MUST COMPLY WITH USBC CHAPTER 11 HANDICAPPED ACCESSIBLE BATHROOMS SHALL ALSO BE PROVIDED.
- MOUNTING HEIGHTS OF AFFECTED ACCESSORIES. INFORMATION ON DOOR HARDWARE FOR THE TOILET STALL IS REQUIRED (USBC 1109.2.2).
- IF APPLICABLE, ENCLOSED PARKING GARAGES MUST BE VENTILATED IN ACCORDANCE WITH USBC 406.4.2. THE REQUIRED MECHANICAL VENTILATION RATE FOR AIR IS 0.75 CFM PER SQUARE FOOT OF THE FLOOR AREA (USBC 2801.1). IN AREAS WHERE MOTOR VEHICLES OPERATE FOR A PERIOD OF TIME EXCEEDING 10 SECONDS, THE VENTILATION RETURN AIR MUST BE EXHAUSTED. AN EXHAUST SYSTEM MUST BE PROVIDED TO CONNECT DIRECTLY TO THE MOTOR VEHICLE EXHAUST (USBC 2801.1).

TOILET FACILITIES FOR PERSONS WITH DISABILITIES: LARGER, DETAILED, DIMENSIONED DRAWINGS ARE REQUIRED TO CLARIFY SPACE LAYOUT AND

- ELECTRICAL WIRING METHODS AND OTHER ELECTRICAL REQUIREMENTS MUST COMPLY WITH NFPA 70, 2008.
- IF APPLICABLE, THE PUBLIC PARKING GARAGE FLOOR MUST COMPLY WITH USBC 406.2.6 AND DRAIN THROUGH OIL SEPARATORS OR TRAPS TO AVOID ACCUMULATION OF EXPLOSIVE VAPORS IN BUILDING DRAINS OR SEWERS AS PROVIDED FOR IN THE PLUMBING CODE (USBC 2901). THIS PARKING GARAGE IS CLASSIFIED AS AN S-2, GROUP 2, PUBLIC GARAGE.
- D. THIS PROJECT IS NOT LOCATED IN A COMBINED SEWER AREA.
- . THIS SITE DOES CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.
- 2. THIS SITE IS NOT LOCATED WITHIN 1,000 FEET OF A FORMER LANDFILL OR OTHER DUMP SITE.

	LOT 801 BUILDING	CODE ANALYSIS:
	USE:	R5
	USE GROUP:	TOWNHOUSES
	TYPE OF CONSTRUCTION:	V-B
2	NUMBER OF STORIES:	3 1/2 STORIES
	FLOOR AREA (1ST FLOOR):	3,934 SF (BLD 1 & 3) 2,810 SF (BLD 2)
,	FLOOR AREA (2ND FLOOR):	3,845 SF (BLD 1) 2,748 SF (BLD 2) 3,838 SF (BLD 3)
3	FLOOR AREA (3RD FLOOR):	3,222 SF (BLD 1) 2,296 SF (BLD 2) 3,208 SF (BLD 3)
,	FLOOR AREA (ATTIC):	1,281 (BLD 1 & 3) 915 SF (BLD 2)
	BUILDING HEIGHT:	35.0'
3		N/A
2	FIRE SUPPRESSION/DETECTION:	FULLY SPRINKLED

LOT 800 BUILDING	CODE ANALY	SIS:
USE:	R5	
USE GROUP:	RESIDENTIAL	
TYPE OF CONSTRUCTION:	V-B	
NUMBER OF STORIES:	2 STORIES	
FLOOR AREA:	2,806 SF	
Building Height:	30.0'	
SEPARATED USE BUILDING:	N/A	
FIRE SUPPRESSION/DETECTION:	NOT SPRINKLERED	
350		

# TAX PARCEL NUMBER: #062.03-01-13 & #062.03-01-09

# PROJECT DESCRIPTION NARRATIVE

THE APPLICANT REQUISTS A DEVELOPMENT SPECIAL USE PERMIT (DSUP) TO REZONE LOT 801 OF THE PROPOSED SUBDIVISION, SUBMITTED CONCURRENTLY WITH THIS APPLICATION. TO RA AND CONSTRUCT 19 MULTI-UNIT (TOWNHOUSE STYLE CONDOS) UNITS, DRIVE AISLE, AND ASSOCIATED SITE IMPROVEMENTS AS WELL AS ONE SINGLE UNIT DWELLING ON LOT 800. VEHICULAR ACCIES TO THE MULTI-UNIT DEVELOPMENT WILL BE PROVIDED VIA NOB HILL COURT AND ACCIES FOR THE SINGLE UNIT DWELLING WILL BE PROVIDED VIA LONGVIEW DRIVE.

PLAN PREPARED BY:

ALEXANDRIA VA 22314

CONTACT: TAYLOR DOYLE

TDOYLEG RCFASSOC.COM

LANDSCAPE ARCHITECT:

6416 GROVEDALE DRIVE

(703) 719-6500

CONTACT: DAN DOVE

ALEXANDRIA VIRGINIA 22310

(703) 549-6422

STUDIO 39

R.C. FIELDS & ASSOCIATES, INC.

# REQUESTED APPLICATIONS AND MODIFICATIONS:

- SUBDIVISION TO CREATE TWO NEW LOTS, SUBMITTED CONCURRENTLY WITH THE DEVELOPMENT SPECIAL USE PERMIT PURSUANT TO SECTION 11-1700;
- REZONING FROM R-8 TO RA ON LOT 801, PURSUANT TO SECTION 11-800: SUP FOR 30% INCREASE IN FLOOR AREA. PURSUANT TO 7-700:
- MODIFICATION TO SETBACK, PURSUANT TO SECTION 11-416: SUP FOR REDUCTION IN PARKING SPACE SIZES WITHIN GARAGES PURSUANT TO SECTION 8-200(E)(1)

### OWNER/DEVELOPER

**VICINITY MAP** 

OCHS AT LONGVIEW LLC 225 N. WEST STREET ALEXANDRIA, VA 22314 INSTRUMENT #: 240000194

LAND CARROLL & BLAIR P.C

ALEXANDRIA, VIRGINIA 22314

CONTACT: DUNCAN BLAIR

SHEET INDEX:

TREE PROTECTION ACTION KEY (TPAK)

GENERAL NOTES

LANDSCAPE PLAN-LOT 80°

LANDSCAPE PLAN-LOT 800\_

LANDSCAPE SCHEDULE - LOT 80

LANDSCAPE NOTES & DETAILS\_

TREE PROTECTION ACTION KEY (TPAK) NOTES AND DETAILS

ATTORNEY:

524 KING STREET

(703) 836-1000

COVER SHEET

DEVELOPER: OLD CREEK HOMES 225 N. WEST STREET ALEXANDRIA, VA 22314 (571) 405-7671 CONTACT: MATT GRAY

MGRAY@OLDCREEKHOMBS.COM ARCHITECT: FAIRFAX: VA 22030

PINNACLE DESIGN & CONSULTING, INC. 11150 N. FAIRFAX BLVD, SUITE 402 (703) 218-3400 CONTACT: TOM ROWLAND

TP-5

<u>\_l\_0.01</u>

L1.01

L1.03

L2.01

L2.02

CONTEXTUAL PLAN\_ GENERAL PLAN INFORMATION AND NOTES EXISTING CONDITIONS (1 OF 2) EXISTING CONDITIONS (2 OF 2) PRELIMINARY PLAN (1 OF 2) PRELIMINARY PLAN (2 OF 2) SITE DIMENSIONS PLAN STORMWATER MANAGEMENT PLAN (CONDO) STORMWATER QUALITY COMPUTATIONS (CONDO)\_ BIORETENTION DETAILS STORMWATER MANAGEMENT PLAN (SINGLE UNIT HOME) STORMWATER QUALITY COMPUTATIONS (SINGLE UNIT HOME DRAINAGE AREA MAP OVERLAND RELIEF PATH MAP ADEQUATE STORMWATER OUTFALL ANALYSIS ADEQUATE SANITARY OUTFALL ANALYSIS SIGHT DISTANCE PLAN SIGHT DISTANCE PROFIL TURNING MOVEMENTS PRELIMINARY PLAT CANOPY CREDIT EXHIBIT TREE PRESERVATION PLAN TP-2 TREE PROTECTION ACTION KEY (TPAK)

LANDSCAPE SCHEDULE - LOT 800\_ \_12.03 LIGHTING PLAN L3.01 COLOR SCHEMES\_ 2.00 FRONT STRIP ELEVATION UNIT #1-#7 2.02 REAR STRIP ELEVATION UNIT #1-#7 2.03 SIDE STRIP ELEVATION UNIT #1-#7 2.04 FRONT STRIP ELEVATION UNIT #8-#12 2.05 REAR STRIP ELEVATION UNIT #8-#12 2.06 SIDE STRIP ELEVATION UNIT #8-#12 2.07 FRONT STRIP ELEVATION UNIT #13-#19\_ REAR STRIP ELEVATION UNIT #13-#19\_ \_2.09 SIDE STRIP ELEVATION UNIT #13-#19 FRONT ELEVATIONS REAR ELEVATIONS SIDE ELEVATIONS FLOOR PLANS FAR FLOOR PLANS UTILITY SHED PLAN & ELEVATIONS\_ 3.02 BUILDING SECTIONS. 4.00 BUILDING SECTIONS/RETAINING WALL 4.01 BUILDING SECTIONS/RETAINING WALL ROOF PLANS\_ GENERAL NOTES **ELEVATIONS ELEVATIONS** FOUNDATION PLAN MAIN LEVEL FLOOR PLAN SECOND LEVEL FLOOR PLAN ROOF PLAN & DETAILS\_ FAR FLOOR PLANS

700 S. WASHINGTON STREET, SUITE 220 5300 WILLINGTON BRANCH DRIVE, SUITE 100

WETLAND STUDIES AND SOLUTIONS, INC

GAINISVILLE. VIRGINIA 20155

(703) 679-5715

CONTACT: CARY HULSE

SINGLE-UNIT RESIDENTIAL MULTI-UNT RESIDENTIAL (TOWNHOUSE-STYLE CONDOMINIUM TOTAL EX. LOT AREA: 42,345 SF (0.9721 AC.)
MINIMUM LOT AREA: N/A PROPOSED LOT AREA: 34,365 SF (PRIOR TO DEDICATION)
AREA OF DEDICATION: 458 SF
FINAL LOT AREA: 33,867 SF 19 UNITS (MULTI-UNIT 24.1 UNITS/ACRE REQUIRED: 11.880 SF (35.0%)PROPOSED: 9,500 SF (PRIVATE SURFACE) + 2,500 SF (PRIVATE ROOFTOP) = 12,000 SFOPEN SPACE AVERAGE FINISHED GRADE: BUILDING 1:135.04 BUILDING 2:131.93 ALLOWED: 35.0 FT (TAYLOR RUN/DUKE STREET SMALL AREA PLAN) PROPOSED: 35.0 FT (BUILDINGS 1, 2, & 3) FLOOR AREA: ALLOWED: 33,505 SF NET .: 33,312 SF GROSS: 40,057 SF ALLOWED: RA: 0.75 OR 0.975 PER 7-700 PROPOSED: 0.969 (OF PRE-DEDICATION PARCEL AREA)\* - 0.311 AT GRADE & 0.659 ABOVE GRADE REAR 1:1 HEIGHT, 8 FT MIN FRONT(WEST) SIDE(SOUTH) SIDE(NORTH) REAR(EAST) 121.2 FT 9.0\*FT 8.0\*FT BUILDING 17.0 FT \* **BUILDING 2** BUILDING 3 4. FRONTAGE: PROVIDED\_ 15. LOT WIDTH: 16. PARKING TABULATION: MINIMUM REQUIRED 1.0 SPACE/BEDROOM (UP TO 2 BDRMS) = 1.0 x 38 = 38 SPACES

MAXIMUM REQUIRED 1.0 SPACE/BEDROOM =1.0 X 76 = 76 SPACES

PROVIDED 38 IN UNIT GARAGE (100% COMPACT)\* 17. LOADING SPACES: REQUIRED 18. TRIP GENERATION: EXISTING AM PEAK 1 AVT PROPOSED AM PEAK 11 AVT EXISTING PM PEAK 1 AVT PROPOSED PM PEAK 12 AVT PROPOSED VPD\_\_\_\_

SEE REQUISTED APPLICATIONS AND MODIFICATIONS

# LOT 800 ZONING TABULATIONS

**LOT 801 ZONING TABULATIONS** 

#062.03-01-13 & 062.03-01-09

#062.03-01-13 SINGLE UNIT RESIDENTIAL TOTAL EX. LOT AREA: 42,345 SF (0.9721 AC.) PROPOSED LOT AREA: 8,019 SF 8,000 SF MINIMUM LOT AREA: 1 SINGLE UNIT RESIDENTIAL NUMBER OF BEDROOMS: 5.44 UNITS/ACRE AVERAGE FINISHED GRADE: 139.87 ALLOWED: 30.0 FT PROPOSED: 24.0 FT NET:\_\_\_\_\_2,806 SF 10. FLOOR AREA: ALLOWED: 2,806 SF GROSS: 3,000 SF ALLOWED: 0.35 PROPOSED: 0.35 REQUIRED: <u>SINGLE UNIT DWELLING WITHIN ENHANCED TRANSIT AREA — O SPACES PER DWELLING UNIT</u> PROVIDED: <u>1 IN UNIT GARAGE</u>

REAR 1:1 HEIGHT, 25 FT MIN SIDE 1:2 HEIGHT, 8 FT MIN FRONT(EAST) SIDE(NORTH) REAR(WEST) 30.2 FT 15.7 FT\* SINGLE UNIT: 46.8 FT\* 14. FRONTAGE:

REQUIRED PROVIDED\_\_\_\_ 5. LOT WIDTH: 65 FT 67.0 FT\_\_\_ PROVIDED\_\_\_

\* SETBACKS ARE SUBJECT TO CHANGE WITH FUTURE SUBMISSIONS IN COMPLIANCE WITH SETBACK REQUIREMENTS IN THE R—8

### SURVEYOR'S CERTIFICATION

BICYCLE PATHS (LF)

PEDESTRIAN SIGNALS

, WIM DE SUTTER, LS HEREBY CERTIFY THAT THIS PROPERTY IS IN THE NAME OF OCHS AT LONGWIEW LLC AS RECORDED AT INST. #240000194 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VA. I ALSO CERTIFY THAT THE EXISTING UTILITIES SHOWN ON SHEETS 4-5 HAVE BEEN FIELD SURVEYS AND ARE ACCURATE.

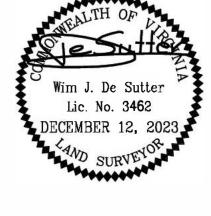
**COMPLETE STREETS INFORMATION:** CROSSWALKS (NUMBER) N/A N/A N/A N/A STANDARD N/A N/A HIGH VISIBILITY N/A N/A CURB RAMPS SIDEWALKS (LF) N/A 115 BICYCLE PARKING (NUMBER SPACES) N/A N/A N/A PUBLIC/VISITOR N/A N/A PRIVATE/GARAGE

N/A

N/A

N/A

N/A



OPMENT

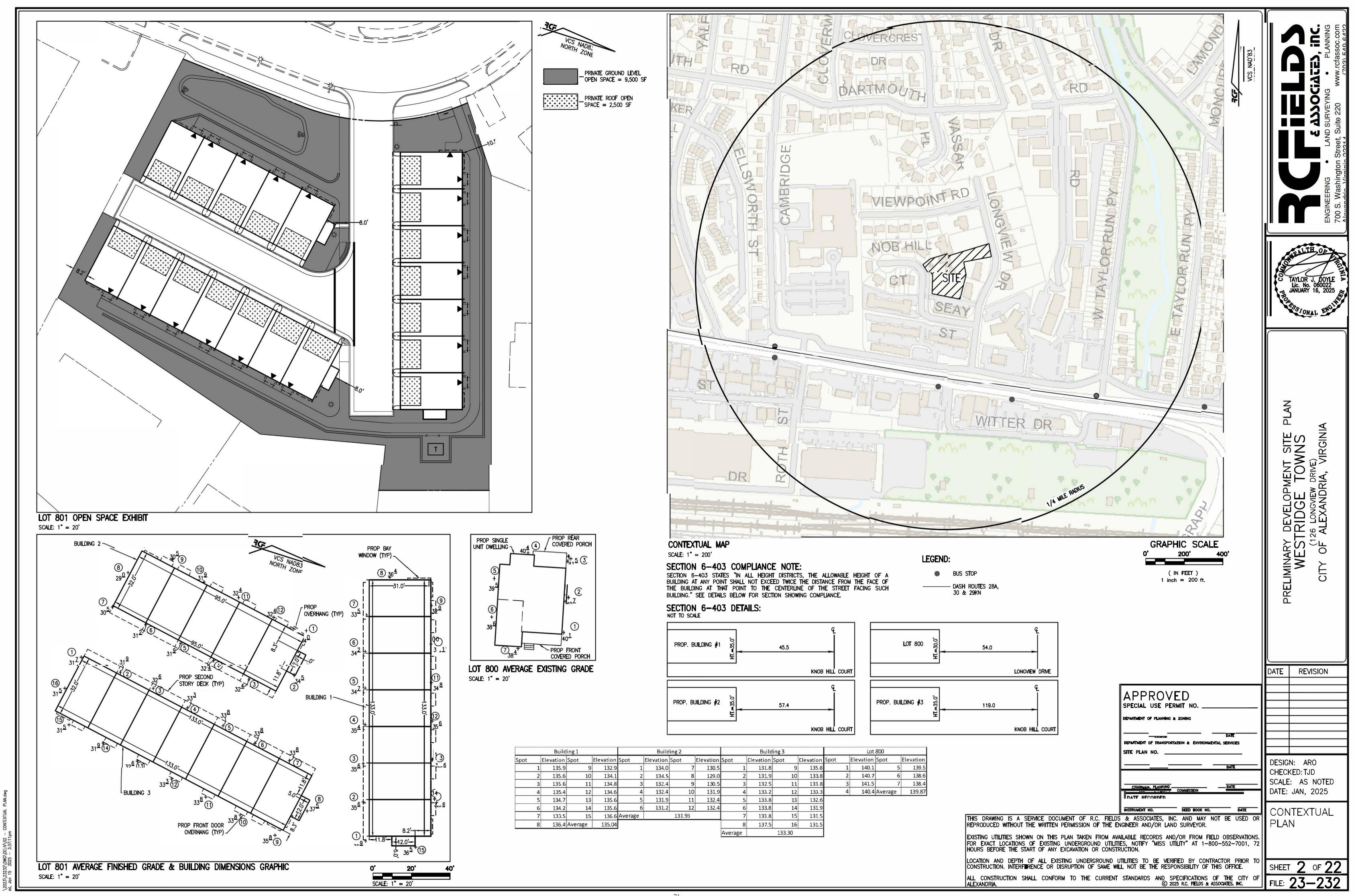
IMINAR

APPROVED SPECIAL USE PERMIT NO	•
DEPARTMENT OF PLANNING & ZONING  DEPARTMENT OF TRANSPORTATION &  SITE PLAN NO.	DATE DATE
ORECTOR	DATE
CHARLAN, FLANNING COLAGESION	DATE
DATE RECORDED	

RCF FILE: 23-232 SHEET: 1

OF 22

DEED BOOK NO. DATE



### TEXT\_LEGEND:

· = DEGREES ' = MINUTES (OR FEET) " = SECONDS (OR INCHES)

% = PERCENT# = NUMBER $\mathbf{O} = \mathbf{AT}$ lbs = POUNDS

A = ARCAC = ACREADA = AMERICANS W/ DISABILITIES ACT APPROX = APPROXIMATEBC = BOTTOM OF CURB

IRF = IRON ROD FOUND

LL = LANDSCAPE LIGHT

ME = MATCH EXISTING

MPH = MILES PER HOUR

MW = MONITORING WELL

OHW = OVERHEAD WIRE

LOC = LOCATION

LP = LIGHT POLE

MAX = MAXIMUM

MH = MANHOLE

MIN = MINIMUM

N = NORTH

PN = PANEL

PG = PAGE

R = RADIUS

MON = MONUMENT

PED = PEDESTRIAN

PP = POWER POLE

PROP = PROPOSED

RELOC = RELOCATED

RESID = RESIDENTIAL

ROW = RIGHT-OF-WAY

RET = RETAINING

REQ = REQUIRED

S = SOUTH

SAN = SANITARY

SF = SQUARE FEET

STR = STRUCTURE

SW = SIDEWALK

TM = TAX MAP

TYP = TYPICAL

W = WEST

SQ FT = SQUARE FEET

TBR = TO BE REMOVED

TMH = TELEPHONE MANHOLE

TRAF SIG = TRAFFIC SIGNAL

VPD = **VEHICLE**S PER DAY

UGE = UNDERGROUND ELECTRIC

VCS = VIRGINIA COORDINATE SYSTEM

WSE = WATER SURFACE ELEVATION

TBS = TO BE SAVED

TC = TOP OF CURB

TW = TOP OF WALL

UP = UTILITY POLE

W/L = WATER LINE

WM = WATER METER

WV = WATER VALVE

WW = WINDOW WELL

XING = CROSSING

W/S = WATER SERVICE

SEW = SEWER

STM = STORM

PVC = POLYVINYL CHLORIDE

RCP = REINFORCED CONCRETE PIPE

LED = LIGHT EMITTING DIODE

L = LUMENSLAT = LATERAL

BF = BASEMENT FLOORBFE = BASE FLOOD ELEVATIONBLDG = BUILDINGBM = BENCHMARKBSMT = BASEMENTBOL = BOLLARDBW = BOTTOM OF WALL

CATV = CABLE UTILITYCL = CLASSC/L = CENTERLINECLR = CLEARANCECLF = CHAIN LINK FENCECMP = CORRUGATED METAL PIPE

CI = CURB INLET CO = CLEAN OUTCONC = CONCRETEC&G = CURB & GUTTERCVR = COVERDB = DEED BOOKDHF = DRILL HOLE FOUND DIP = DUCTILE IRON PIPE DOM = DOMESTICDU = DWELLING UNIT

E = EASTEBOX = ELECTRICAL BOXESMT = EASEMENTEP = EDGE OF PAVEMENTEVE = EMERGENCY VEHICLE EASEMENT EX = EXISTINGFDC = FIRE DEPT. CONNECTION FF = FINISH FLOOR

FH = FIRE HYDRANTFT = FEET GI = GRATE INLETG/L = GAS LINEGM = GAS METER

G/S = GAS SERVICEGV = GAS VALVEHC = HEADER CURBHDCP = HANDICAPHDPE = HIGH DENSITY POLYETHYLENE HP = HIGH POINTHPS = HIGH PRESSURE SODIUM

IPF = IRON PIPE FOUND INV = INVERTINSTR = INSTRUMENTINTX = INTERSECTION

SYMBOLS LEGEND

LIMITS OF DISTURBANCE

ПЕМ	EXISTING	PROPOSED
FIRE HYDRANT	<del>-</del> Q-	-
AIR CONDITIONING UNIT	AC	ĀĊ
UTILITY POLE	(D)	6
FIRE DEPARTMENT CONNECTION	Į.	٨
STORM STRUCTURE IDENTIFIER	(#)	₫)
STORM MANHOLE	0	0
STORM SEWER LAYOUT		
SANITARY STRUCTURE IDENTIFIER	X	<b>(X)</b>
SANITARY MANHOLE	<u>(S)</u>	<b>S</b>
SANITARY SEWER LAYOUT		<u> </u>
SIDEWALK	WALK	WALK
SIGN	0	-
SIGN (DOUBLE POST)	0 0	
GAS VALVE	GV	SX.
GAS LINE	——————————————————————————————————————	G
GAS METER	GM	C <sub>EM</sub>
IRRIGATION VALVE	$\otimes^{N}$	ď
BOLLARD	•	•
CLEANOUT	co co	ço
WELL	(W)	<b>®</b>
WATERLINE		w
WATER VALVE	WV	<u> </u>
WATER METER	○ <sub>WM</sub>	0
TRANSFORMER	TR	TR
ELECTRIC MANHOLE	©	<u></u>
ELECTRIC METER	EM O	8
ELEC BOX/STRUCTURE	EB	
ELECTRIC LINE	EE	E
TELECOMMUNICATION LINE		т—т
CABLE LINE		— c — c —
	c c	<u> </u>
CABLE/ELECTRIC/ TELECOMMUNICATION LINE	—— С—— Т—— E ——	— G—Т—Е —
TELECOMMUNICATION MANHOLE		Φ
TELECOMMUNICATION STRUCTURE	C	©
OVERHEAD STREET LIGHT	<b>○</b>	0-0
LIGHT POLE	\$	*
LANDSCAPE LIGHT		( €
FENCES	X X	——————————————————————————————————————
GRADING SPOT	+ 124.5	+24 <sup>50</sup>
GRADING CONTOUR	124	124
BUILDING ENTRANCE		
PAVING		0 0 0
GUARDRAIL	0 0 0	0 0 0
CURB AND GUTTER		
PROPOSED SPILL CURB		
PROPOSED TRANSITION/ NOSE DOWN CURB		3 0 0 0 0 V

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GENERAL NOTES:

#062.03-01-13, #062.03-01-09 1. TAX MAP:

2. ZONE:

OCHS AT LONGVIEW LLC 3. OWNER: 225 N. WEST STREET ALEXANDRIA, VA 22314 INSTR. #240000194

- 4. TOPOGRAPHIC SURVEY WAS FIELD RUN BY THIS FIRM. VERTICAL DATUM = NAVD '88 PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK LEICA, SMARTNET.
- TITLE REPORT FURNISHED BY TRI COUNTY TITLES, INC., FILE 22-23-13509, DATED 08/14/2023 AND IS RELIED UPON AS ACCURATE BY
- 6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- 7. THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS, OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
- 8. THE "GENERALIZED ALEXANDRIA SOILS MAP" GENERALLY IDENTIFIES THE SOILS FOR THE SITE AS SUSQUEHANNA LOAM.
- 9. THIS SITE DOES CONTAIN PREVIOUSLY MAPPED MARINE CLAYS.

### TOPOGRAPHY NOTE:

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF WIM DE SUTTER, LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON DECEMBER 22, 2023; AND THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

### ALEXRENEW NOTE:

CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6, ARTICLE B.

DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITED TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATEMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATEMENT COORDINATOR AT 703-721-3500 X 2020.

### UTILITY OWNERSHIP NOTE:

- GAS: ALL GAS LINES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY WASHINGTON GAS COMPANY. CONTACT: KEN McCONKEY 703-750-4756; ADDRESS: WASHINGTON GAS, 6801 INDUSTRIAL ROAD, SPRINGFIELD, VA 22151.
- ELECTRIC: ALL ELECTRIC UTILITIES SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY DOMINION VIRGINIA POWER. ANY RELOCATION OF EXISTING POLES AND LINES WILL BE COORDINATED WITH DOMINION VIRGINIA POWER. CONTACT: 1-866-366-4357; ADDRESS: DOMINION POWER, P.O. BOX 26666, RICHMOND, VA 23261.
- WATER: ALL EXISTING WATER LINES AND FIRE HYDRANTS SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY VIRGINIA AMERICAN WATER COMPANY (V.A.W.C.). EXISTING WATER SERVICES FROM METERS TO THE EXISTING BUILDINGS ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER. PROPOSED WATER SERVICES FROM METERS TO THE PROPOSED BUILDINGS ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER. CONTACT: NETWORK SUPERVISOR FOR THE SOUTHEAST REGION HAO (STEVEN) CHEN 703-706-3889; ADDRESS: VIRGINIA AMERICAN WATER COMPANY, 2223 DUKE STREET, ALEXANDRIA, VA 22314.
- SANITARY SEWER: ALL EXISTING SANITARY SEWER MAINS SHOWN ON THIS PLAN ARE OWNED AND MAINTAINED BY THE CITY OF ALEXANDRIA. ALL PROPOSED SANITARY LATERALS SHOWN ON THIS PLAN ARE TO BE PRIVATELY MAINTAINED. CONTACT: PUBLIC WORKS SERVICES, 2900 BUSINESS CENTER DRIVE, ALEXANDRIA, VA. TELEPHONE: 703-746-4357.
- STORM SEWER: ALL EXISTING AND PROPOSED STORM SEWER LOCATED IN THE PUBLIC RIGHT—OF—WAY SHOWN ON THIS PLAN IS OWNED. AND MAINTAINED BY THE CITY OF ALEXANDRIA. ANY PROPOSED ON-SITE STORM SEWER WILL BE MAINTAINED BY THE PROPERTY
- OWNER/HOA. CONTACT: PUBLIC WORKS SERVICES, 2900 BUSINESS CENTER DRIVE, ALEXANDRIA, VA. TELEPHONE: 703-746-4357. • TELEPHONE: ALL TELEPHONE LINES ARE OWNED BY VERIZON. CONTACT: SECTION MANAGER MIKE TYSINGER 804-772-6625; ADDRESS: VERIZON VIRGINIA, INC., 3011 HUNGARY SPRING ROAD, 2ND FLOOR, RICHMOND, VA 23228.

### ARCHAEOLOGY NOTES:

CALL ALEXANDRIA ARCHAEOLOGY (703/746-4399) TWO (2) WEEK BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT AN INSPECTION OR MONITORING SCHEDULE FOR THE CITY ARCHAEOLOGIST CAN BE ARRANGED.

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIMES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, OR ALLOW INDEPENDENT PARTIES TO COLELCT OR EXCAVATE ARTIFACTS, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

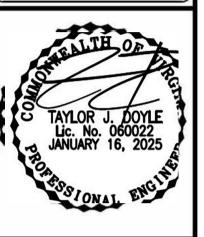
ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING

APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING

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FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO

CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. IALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2025 R.C. FELDS & ASSOCIATES, INC.

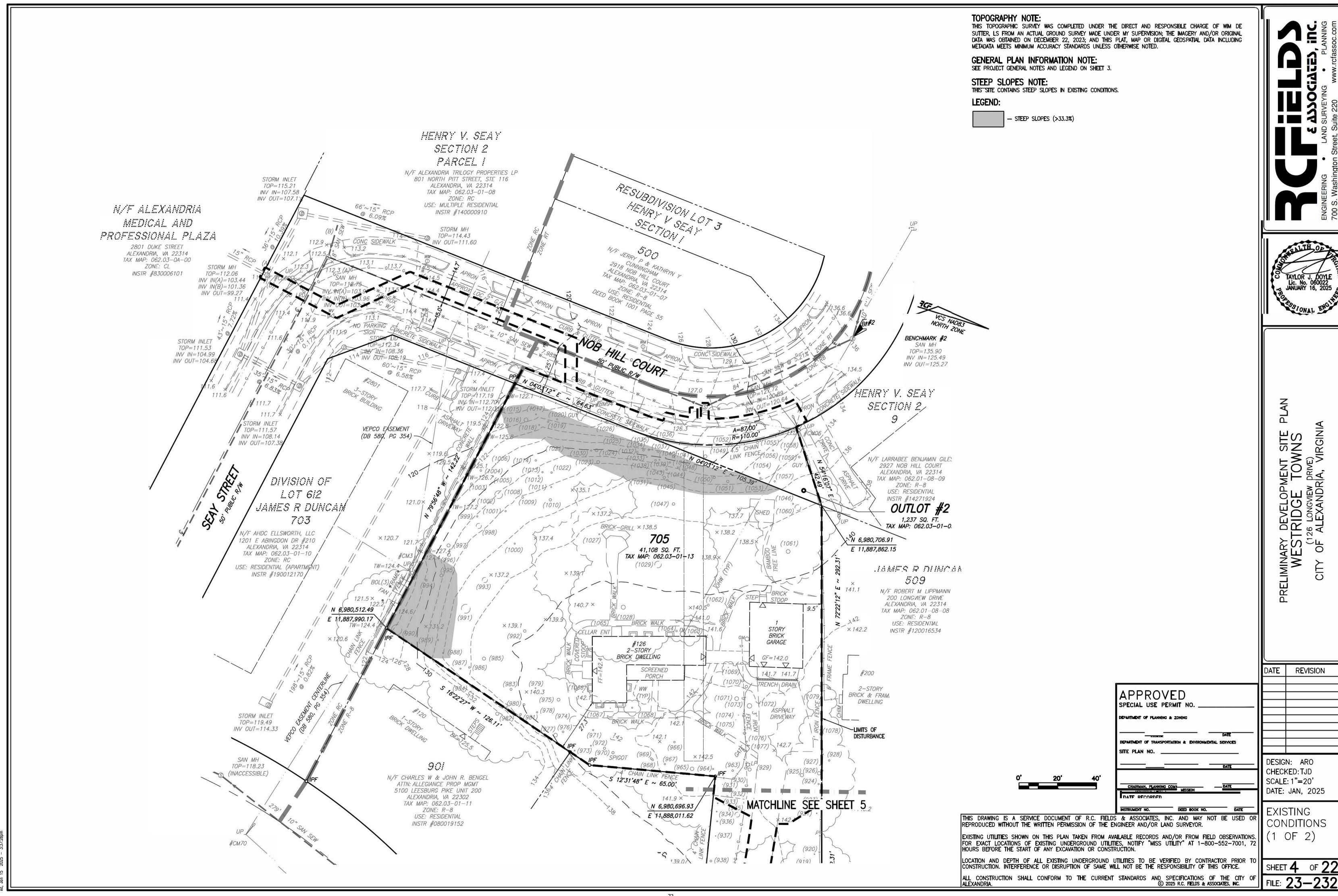


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**GENERAL** INFORMATION AND NOTES



### EXISTING TREE TABLE: 901) 19" OAK 946) 3" TREE 991) 55" OSAGE 992) 16" HACKBERRY 902) 17" PRIVET 947) 23" OAK 903) 10" REDCEDAR 948) 12" HOLLY 993) 32" MAGNOLIA 904) 28" REDBUD 994) 11" TREE (DEAD) 949) 1" BOXWOOD 905) 14" OAK 995) 18" TREE (DEAD) 950) 12" HOLLY 906) 5" HACKBERRY 951) 2" MAGNOLIA 996) 19" TREE OF HEAVEN 907) 15" HOLLY 952) 10" AZALEA 997) 20" TREE OF HEAVEN 908) 10" REDCEDAR 953) 10" REDCEDAR 998) 18" TREE (TWIN) 909) 14" REDCEDAR 954) 1" JAPANESE CAMELIA 999) 9" TREE (DEAD) 910) 8" PRIVET 955) 3" PRIVET 1000)8" TREE OF HEAVEN 911) 10" PRIVET 956) 5" ELAEAGNUS 1001)9" HOLLY 1002)14" TREE OF HEAVEN 912) 6" HACKBERRY 957) 18" REDCEDAR 913) 22" REDCEDAR 958) 12" NANDINA 1003) 12" TREE OF HEAVEN 914) 11" MAPLE 1004)11" TREE OF HEAVEN 959) 6" NANDINA 915) 8" MULBERRY 1005)6" TREE OF HEAVEN 960) 3" CHERRY 916) 20" MAGNOLIA 1006) 5" TREE OF HEAVEN 961) 2" HACKBERRY 917) 29" REDCEDAR 962) 3" MULBERRY 1007) NOT USED 918) 10" SHRUB 963) 11" HACKBERRY 1008)18" TREE (TRIPLE) 964) 8" WITCHHAZEL 919) 1" JAPANESE CAMELIA 1009)12" MAPLE 920) 5" CYPRESS 965) 22" OAK 1010)15" PEAR 921) 5" CYPRESS 966) 10" MAPLE 1011)7" TREE OF HEAVEN 922) 17" CRAPEMYRTLE 967) 9" CYRESS 1012)7" TREE OF HEAVEN 923) 11" CYPRESS 968) 11" CYRESS 1013)9" TREE OF HEAVEN 924) 9" CYPRESS 969) 11" MAPLE 1014)10" TREE OF HEAVEN 925) 21" MAGNOLIA 970) 14" CEDAR 1015) 33" TREE OF HEAVEN 926) 21" HACKBERRY 971) 8" HOLLY 1016) 24" ELM 927) 6" HACKBERRY 972) 7" CYPRESS 1017)7" MAPLE 928) 10" MAGNOLIA 973) 7" MULBERRY 1018)6" TREE OF HEAVEN 929) 20" CRAPEMYRTLE 974) 60" LINDEN 1019)10" TREE OF HEAVEN 930) 2" DOGWOOD 975) 18" LINDEN 1020)8" TREE OF HEAVEN 931) 4" MAHONIA 976) 11" HACKBERRY 1021)8" TREE OF HEAVEN 1022)10" TREE OF HEAVEN 932) 9" CRAPEMYRTLE 977) 23" MULBERRY 933) 6" CYPRESS 978) 9" CEDAR 1023)18" LOCUST 934) 6" CYPRESS 979) 6" HOLLY 1024)18" ELM 935) 30" CRAPEMYRTLE 980) 12" CEDAR 1025)18" (DEAD) 936) 7" YEW 981) 11" MULBERRY 1026)16" TREE OF HEAVEN 937) 4" TREE OF HEAVEN 982) 20" PEAR 1027)7" MAPLE 938) 12" MULBERRY 983) 13" REDBUD 1028) 26" MAPLE 939) 21" YEW 984) 30" PEAR 1029) 41" ELM 30 LED 940) 9" YEW 985) 12" TREE 1030)9" MAPLE 941) 3" ELM 986) 10" TREE (DEAD) 1031)9" HOLLY 942) 2" MAGNOLIA 987) 8" TREE OF HEAVEN 1032)11" TREE OF HEAVEN 943) 2" ELM 988) 8" TREE OF HAVEN 1033)6" TREE (DEAD) #CM70 944) 3" ELM 989) 9" TREE OF HAVEN 1034)11" ELM 945) 11" HOLLY 990) 64" TREE 1035)11" TREE OF HEAVEN PARCEI

141.9 × N 6,980,696.93 0 (922)  $\times 143.2$ E 11,888,011.62 RE-SUBDIVISION LOTS (938)801, 802 \$ 803 JAMES A DOMOAN 41,108 SQ. FT. TAX MAP: 062.03-01-13 N/F MARGO L CHISHOLM ×142.8 124 LONGVIEW DRIVE ALEXANDRIA, VA 22314 TAX MAP: 062.03-01-12 ZONE: R-8  $\times 141.1(916)$ DISTURBANCE USE: RESIDENTIAL JAMES R DUNCAR INSTR #090000971 (914)509 N/F ROBERT M LIPPMANN 200 LONGVIEW DRIVE ALEXANDRIA, VA 22314 TAX MAP: 062.01-08-08 ZONE: R-8 USE: RESIDENTIAL INSTR #120016534 N 6,980,795.44 E 11,888,140.73 BENCHMARK #1 SAN MH LONGVIEW DRIVE TOP=133.86 INV IN=124.39 10P = 143.18INV OUT=124.18 132.7 CONCRETE SIDEWALK ~PARCEL "A" N/F DANIEL & KEIRA NAKADA 125 LONGVIEW DRIVE N/F ELLEN M & GEORGE A DAGUE ALEXANDRIA, VA 22314 127 LONGVIEW DRIVE TAX MAP: 062.01-06-21 ALEXANDRIA, VA 22314 20NE: R-8 TAX MAP: 062.01-06-22 USE: RESIDENTIAL ZONE: R-8 INSTR #090016647 USE: RESIDENTIAL INSTR #080015768 PART OF PROPERRTY OF VIRGINIA STONNELL SELECMAN



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DEPARTMENT OF PLANNING & ZONING

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FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES. NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72

CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

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HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

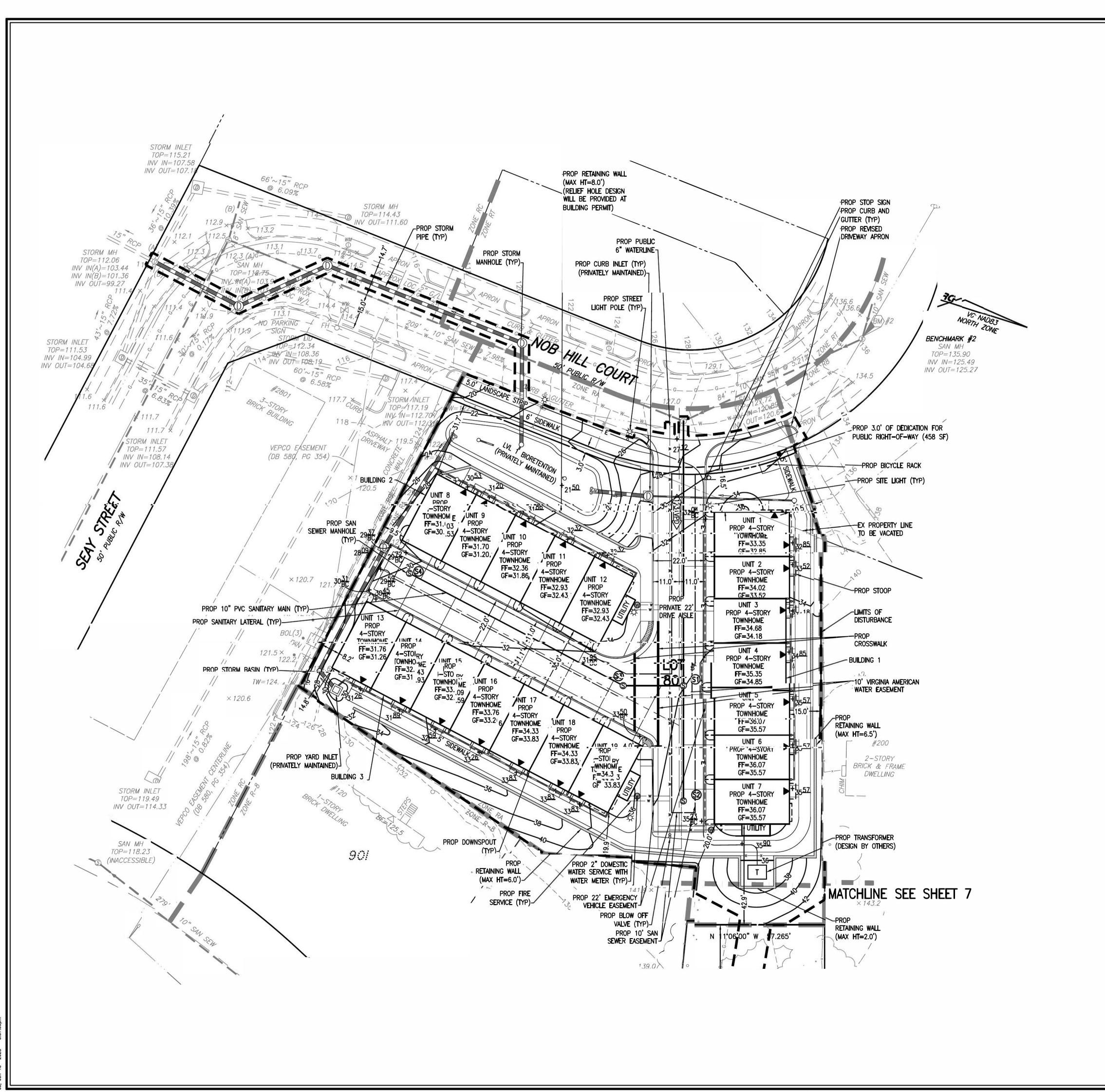
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**EXISTING** CONDITIONS EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF



GENERAL PLAN INFORMATION NOTE:

SEE PROJECT GENERAL NOTES AND LEGEND ON SHEET 3.

# SANITARY SEWER OUTFALL NARRATIVE:

THE EXISTING SINGLE FAMILY HOME PRODUCES A SANITARY FLOW OF 1,400 GALLONS PER DAY.

THE PROPOSED RESIDENTIAL BUILDINGS PRODUCES 28,000 GALLONS PER DAY

CONDO: (350 GPD/UNIT OF RESIDENTIAL X 4 PFF) = (350 X 19) X 4 = 26,600 GPDSINGLE UNIT DWELLING: (350 GPD/UNIT OF RESIDENTIAL X 4 PFF) = (350 X 1) X 4 = 1,400 GPD

SINCE THE TOTAL FLOW FROM THE THE PROPOSED USE DOES EXCEED 10,000 GPD, A DETAILED SANITARY SEWER

OUTFALL ANALYSIS IS REQUIRED AND IS PROVIDED ON SHEET 17.

### GREEN BUILDING NARRATIVE:

A DRAFT EARTHCRAFT CHECKLIST IS PROVIDED WITH THIS SUBMISSION UNDER SEPARATE COVER. THE MULTI-UNIT PORTION OF THIS PROJECT IS PLANNING TO ATTAIN EARTHCRAFT CERTIFICATION. THE ASSOCIATED BUILDINGS WILL COMPLY WITH THE CITY'S 2019 GREEN BUILDING POLICY AND WILL INCORPORATE SUSTAINABLE STRATEGIES CONSISTENT WITH THE DRAFT EARTHCRAFT CHECKLIST AND THE CITY'S ENVIRONMENTAL GOALS. THE SUSTAINABILITY ELEMENTS WILL BE REFINED DURING THE DEVELOPMENT OF THE BUILDING PERMIT AND CONSTRUCTION DRAWINGS.

THE DRAFT SUSTAINABLE ENERGY AND BUILDING INVELOPE ELEMENTS INCLUDE: CONTINUOUS THICK ROOF AND WALL INSULATION, HIGH EFFICIENCY LIED LIGHT FIXTURES, AND ENERGY EFFICIENT AND ENERGY RECOVERING HVAC EQUIPMENT. THE ELECTRICAL ENGINEERING DESIGN FOR THE ASSOCIATED BUILDINGS ARE NOT COMPLETE AT THIS TIME, THEREFORE, ELECTRICAL LOADS WILL BE PROVIDED WITH FUTURE SUBMISSIONS. THE PROJECT'S DEVELOPMENT DOES NOT INCLUDE RENEWABLE ENERGY PRODUCTION. THE PROJECT IS NOT REQUIRED TO BE NET ZERO ENERGY CERTIFIED. HVAC DESIGN AND ENERGY MODELING WILL BE PROVIDED TO ATTAIN EARTHCRAFT CERTIFICATION; HOWEVER, A THIRD-PARTY COMMISSIONING CONSULTANT WILL NOT BE CONTRACTED. METERING WITHIN THE PROPOSED BUILDING MAY RESULT IN ENERGY MANAGEMENT, ANALYSIS, AND INTERPRETATION OF DATA THAT SAVES APPROXIMATELY 5% OF ENERGY. HOWEVER, THESE ARE ONLY ESTIMATES AS THE ELECTRICAL ENGINEERING DESIGN FOR THE BUILDING HAS NOT BEEN COMPLETED AT THIS TIME.

LANDSCAPING. STORMWATER WILL BE MANAGED UTILIZING THE ON-SITE BMP. THERE WILL BE NO PLANT IRRIGATION SYSTEM, THEREFORE, THE EXTERIOR WATER USAGE WILL BE ZERO. THE INTERIOR WATER REDUCTION ESTIMATES WILL BE PROVIDED WITH A FUTURE SUBMISSION AS THE PLUMBING ENGINEERING DESIGN FOR THE BUILDING HAS NOT BEEN COMPLETED YET.

THE DRAFT SUSTAINABLE WATER USAGE ELEMENTS INCLUDE: LOW FLOW WATER FIXTURES AND WATERLESS

### INDOOR ENVIRONMENTAL QUALITY

THE DRAFT SUSTAINABLE INDOOR ENVIRONMENTAL QUALITY ELEMENTS INCLUDE: INDOOR AIR QUALITY PLAN DURING CONSTRUCTION, LOW VOC MATERIALS, ADHESIVES, AND PAINTS, AND HVAC FILTRATION AND FRESH OUTSIDE AIR. ENERGY REDUCTION STRATEGIES WILL BE AT THE FOREFRONT OF THE BUILDINGS' MECHANICAL AND ELECTRICAL ENGINEERING DESIGN AND WILL BE PROVIDED WITH FUTURE SUBMISSIONS.

### STORM SEWER MAINTENANCE NOTE:

ALL STORM SEWER INSIDE OF THE SUBJECT PROPERTY LINES SHALL BE PRIVATELY MAINTAINED. ALL STORM SEWER WHOLLY OR PARTIALLY WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PUBLICLY MAINTAINED.

### **BIKE PARKING TABULATION:**

(RESIDENTIAL) SHORT TERM

REQUIRED: 1 SPACE / 50 UNITS = 19/50 = 1 SPACE PROVIDED: 2 SPACES

REQUIRED: 3 SPACES / 10 UNITS = 3\*19/10 = 6 SPACES PROVIDED: 19 SPACES

# RESIDENTIAL BIKE PARKING NOTE:

LONG TERM RESIDENTIAL BIKE PARKING IS PROVIDED VIA THE PROPOSED GARAGES. SEE SHEET 3.00 FOR GARAGE FLOOR PLANS.

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**PRELIMINARY** 

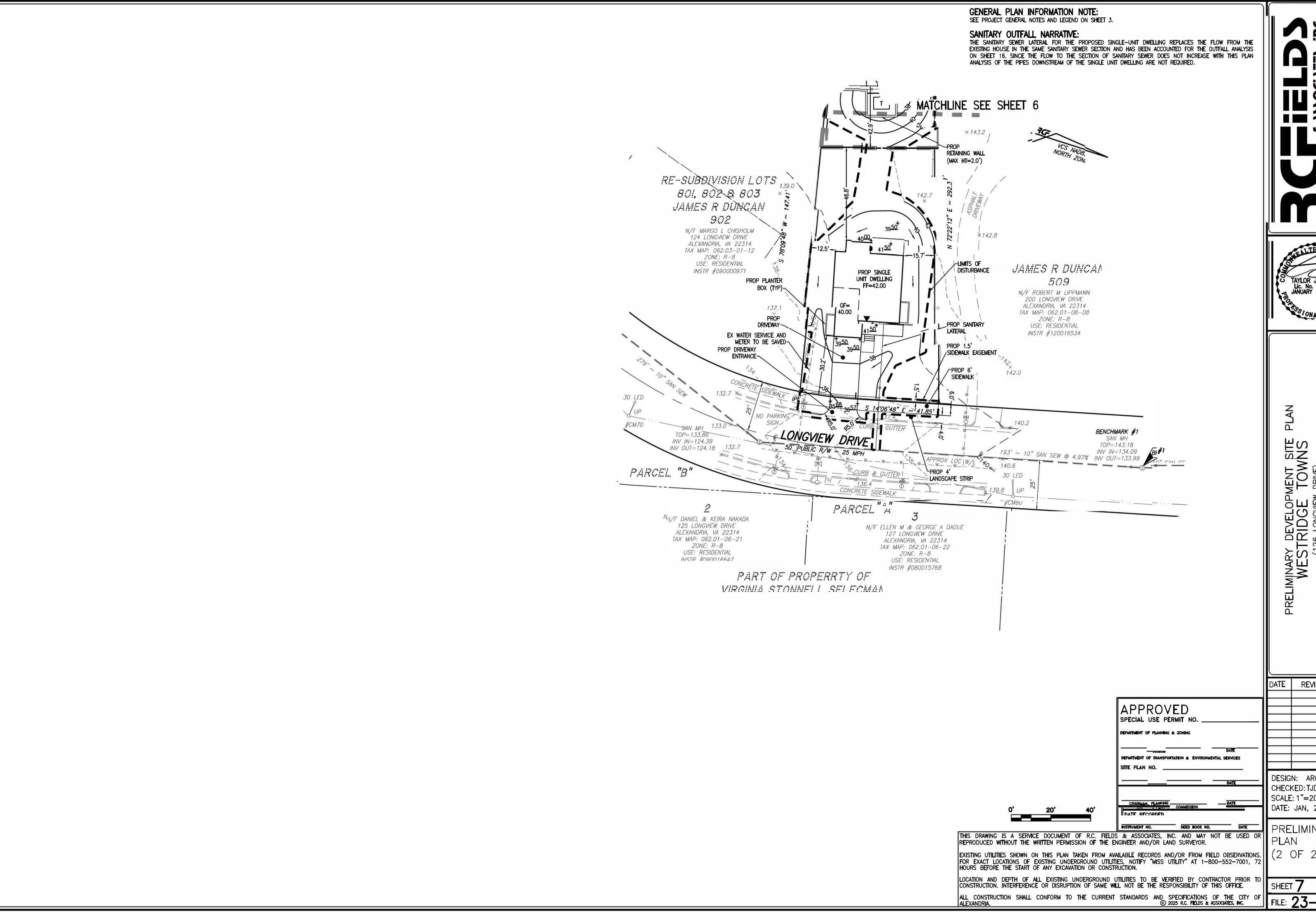
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REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR. EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72

HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

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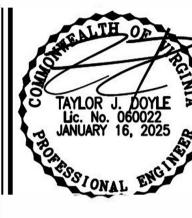


PRELIMINARY DEVELOPMENT WESTRIDGE TON (126 LONGVIEW DRIVE CITY OF ALEXANDRIA, )

**REVISION** 

DESIGN: ARO CHECKED: TJD SCALE: 1"=20' DATE: JAN, 2025

PRELIMINARY



STORMWATER MANAGEMENT (CITY CODE SECTION 13-109F COMPLIANCE) NARRATIVE

STORMWATER\_MANAGEMENT\_LIMITS\_OF\_DISTURBANCE:

THE PROPOSED REDEVELOPMENT OF THE SUBJECT SITE INCLUDES 0.99 ACRES OF TOTAL DISTURBED AREA. HOWEVER, 0.15 ACRES OF THE DISTURBED AREA ARE ASSOCIATED WITH THE STORMWATER MANAGEMENT PLAN FOR LOT 800 AND SAID STORMWATER MANAGEMENT DESIGN IS PROVIDED ON SHEETS 12-13. ADDITIONALLY, 0.02 ACRES OF THAT TOTAL DISTURBED AREA IS PRINCIPALLY RELATED TO THE INSTALLATION OF UTILITIES. THEREFORE, PER INTERIM GUIDANCE DATED 1/11/2021 PROVIDED BY THE CITY OF ALEXANDRIA, STORMWATER MANAGEMENT CALCULATIONS FOR LOT 801 SHALL UTILIZE A STORMWATER ANALYSIS LIMITS OF DISTURBANCE OF 0.82 ACRES. ALL STORMWATER MANAGEMENT RELATED CALCULATIONS ON THIS SHEET AND OTHER SHEETS UTILIZE THE STORMWATER ANALYSIS LIMITS OF DISTURBANCE.

PRE-DEVELOPMENT\_CONDITIONS:
THE 0.82 ACRE TOTAL DISTURBED AREA IS LOCATED IN THE CAMERON RUN WATERSHED. IN EXISTING CONDITIONS, THE SITE CONSISTS OF A SINGLE UNIT RESIDENTIAL DWELLING, DRIVEWAY, AND ASSOCIATED SITE IMPROVEMENTS. THE MAJORITY OF THE STORMWATER RUNOFF SHEET FLOWS TO NOB HILL COURT WHERE IS ENTERS THE CITY OF ALEXANDRIA MAINTAINED STORM SEWER SYSTEM. THE RUNOFF THEN CONTINUES IN A GENERAL SOUTHERLY DIRECTION BEFORE ULTIMATELY ENTERING CAMERON RUN. THE REMAINING RUNOFF SHEETS FLOWS TO ADJACENT PROPERTIES AND ULTIMATELY TO LONGVIEW DRIVE WHERE IT FLOWS TO A CITY OF ALEXANDRIA MAINTAINED STORM SEWER SYSTEM WHERE IT COMBINES WITH THE PREVIOUSLY DESCRIBED FLOW REGIME.

<u>POST—DEVELOPMENT\_CONDITIONS:</u>
THIS PORTION OF THE PROJECT PROPOSES THE CONSTRUCTION OF 3 TOWNHOUSE STYLE CONDO BUILDINGS WITH 19 TOTAL UNITS, PRIVATE DRIVE AISLE, AND ASSOCIATED SITE IMPROVEMENTS. A MAJORITY OF THE SITE IS COLLECTED BY PROPOSED STORM SEWER AND PIPED TO THE PROPOSED BIORETENTION FACILITY FOR TREATMENT. THE COLLECTED AND TREATED RUNOFF THEN FLOWS THROUGH PROPOSED STORM SEWER TO THE EXISTING CITY OF ALEXANDRIA MAINTAINED STORM SEWER SYSTEM AND ULTIMATELY OUTFALLS TO CAMERON RUN.

DUE TO AN OVERALL INCREASE IN ONSITE IMPERVIOUS AREA, THERE IS AN INCREASE IN THE POST-DEVELOPMENT PEAK RATE OF RUNOFF (SEE COMPUTATIONS PROVIDED ON THIS SHEET). HOWEVER, ONE (1) LEVEL 1 BIORETENTION IS PROPOSED WITH THIS PLAN TO PROVIDE RUNOFF REDUCTION AND DETENTION FOR THE 2 AND 10-YEAR, 24-HOUR STORMS. THERE IS NO RUNOFF VOLUME INCREASE IN THE FORM OF SHEET FLOW RESULTING FROM PERVIOUS AREAS, DISCONNECTED IMPERVIOUS AREAS OR FROM PHYSICAL SPREADING OF CONCENTRATED FLOW ASSOCIATED WITH THE REDEVELOPMENT OF THIS SITE. THEREFORE, THE SMALL PORTION OF THE RUNOFF THAT EXITS THE SITE IN THE FORM OF SHEET FLOW WILL HAVE NO ADVERSE IMPACTS ON DOWN-GRADIENT PROPERTIES OR RESOURCES.

BASED ON THE ABOVE MENTIONED JUSTIFICATIONS AND COMPUTATIONS, THE STORMWATER MANAGEMENT CRITERIA FOR THE PROPOSED DEVELOPMENT COMPLIES WITH THE CHANNEL PROTECTION AND FLOOD PROTECTION REQUIREMENTS PER CITY CODE SECTION 13-109F. NO NATURAL STREAMS ARE LOCATED WITHIN THE STORMWATER ANALYSIS AREA, THEREFORE, PER CITY CODE CHAPTER 13, 1-YR STORM CALCULATIONS ARE NOT REQUIRED.

## STORMWATER RUNOFF COMPUTATIONS

I. PROJECT AREA = 35,702 SQ.FT. OR 0.82 AC (LOT 801 STORMWATER MANAGEMENT LIMITS OF DISTURBANCE) EXISTING IMPERMOUS AREA = 6,722 SQ.FT. OR 0.15 AC

PROPOSED IMPERVIOUS AREA = 24,092 SQ.FT. OR 0.55 AC

### VIRGINIA RUNOFF REDUCTION METHOD (PER TR-20, TYPE II, 24-HOUR STORM, USING CLASS D SOILS):

WEIGHTED CURVE NUMBER (CN) CALCULATIONS:

CN PRE-DEVELOPMENT =  $(0.15 \times 98 + 0.52 \times 80 + 0.14 \times 77) \div 0.82 = 83$ CN POST-DEVELOPMENT =  $(0.55 \times 98 + 0.27 \times 80) \div 0.82 = 92$ 

VRRM CN POST-DEVELOPMENT = 91

III. PRE-DEVELOPMENT PEAK DISCHARGES: (Tc = 5 MINS.) PEAK Q2 PRE-DEVELOPMENT = 1.60 cfs

PEAK  $Q_{10}$  PRE-DEVELOPMENT = 3.26 cfs

IV. POST-DEVELOPMENT PEAK DISCHARGES (Tc = 5 MINS.) PEAK Q2 POST-DEVELOPMENT = 2.09 cfs PEAK  $Q_{10}$  POST-DEVELOPMENT = 3.77 cfs

 $Q_2$  INCREASE = 0.47 cfs

 $Q_{10}$  INCREASE = 0.51 cfs

DUE TO THE INCREASE IN THE PEAK DISCHARGE FOR THE 2 AND 10-YEAR STORM, DETENTION IS REQUIRED AND SHALL BE PROVIDED THROUGH THE USE OF THE PROPOSED BIORETENTIONS.

POST-DEVELOPMENT PEAK DISCHARGES ( $T_c = 5 \text{ MINS.}$ ) (WITH DETENTION)

PEAK  $Q_2$  POST-DEVELOPMENT = 1.58 cfs PEAK  $Q_{10}$  POST-DEVELOPMENT = 2.72 cfs

 $Q_2$  DECREASE = 0.02 cfs  $Q_{10}$  DECREASE = 0.54 cfs

### WATER QUALITY VOLUME DEFAULT:

PROPOSED IMPERMOUS: 0.55 AC

TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.55= 1,001 CU. FT. WQV REQUIRED

WATER TREATMENT	ON-SITE		
BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
BIORETENTION #1-LVL 1	0.63	0.48	25%

TOTAL WQV TREATED: NO

WATER QUALITY VOLUME REQUIRED = 1,001 CU. FT. WATER QUALITY VOLUME TREATED =  $1,815 \times 0.48 = 871 \text{ CU. FT.}$ 

PERCENT OF WATER QUALITY VOLUME TREATED = 87.4%

DETENTION ON SITE: YES

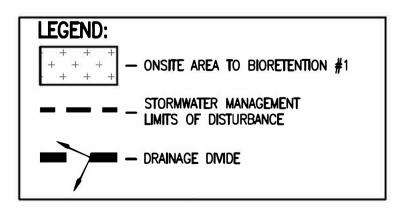
PROJECT IS WITHIN WHICH WATERSHED? CAMERON RUN PROJECT DISCHARGES TO WHICH BODY OF WATER? POTOMAC RIVER

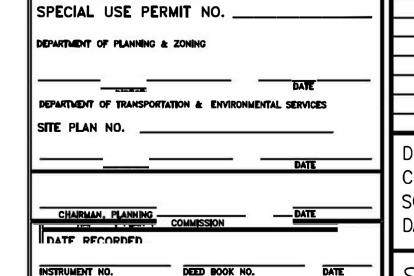
# PROJECT DESCRIPTION:

REDEVELOPMENT

INCIDEA EFOL WICH			
DRAINAGE AREA	<b>IMPE</b> RVIOUS	PERVIOUS	TOTAL
SITE AREA (SWM LOD)	0.55	0.27	0.82
ON-SITE TREATED (ON-SITE & INSIDE SWM LOD)	0.48	0.14	0.63
OFF-SITE TREATED	0.00	0.00	0.00
TOTAL TREATED	0.48	0.14	0.63
ON-SITE IMPERVIOUS AREAS	N/A		
DISCONNECTED BY A VEGETATIVE BUFFER	N/A		
TOTAL TREATED OR DISCONNECTED			0.63

BMP FACILITY	AREA TREATED	IMPERVIOUS AREA	PERVIOUS AREA	TP REMOVAL	PHOSPHORUS	GEOGF	RAPHIC
DIVIP FACILITY	(ACRES)	TREATED (ACRES)	TREATED (ACRES)	EFFICENCY	REMOVAL (LBS)	LONGITUDE	LATITDUE
BIORETENTION #1	0.63	0.48	0.14	25	0.30	38.808307	-77.078853





APPROVED

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STORMWATER MANAGEMENT

(2023) 23232 DWG DELIV STORMWATER MANAGEMENT PLAN. dwg

TREATED IN COMPLIANCE WITH CITY CODE SECTION 13-109E-(5) AND SECTION 13-110.

IN ADDITION, APPROXIMATELY 87.4% OF ON-SITE IMPERVIOUS AREA IS PROPOSED TO BE TREATED WITH THIS DEVELOPMENT, WHICH MEETS THE MAJORITY OF THE WATER QUALITY DEFAULT VOLUME TREATMENT

STANDARDS IN SECTION 13-110 OF THE ZONING ORDINANCE. A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND WILL BE MADE FOR THAT PORTION OF THE WATER QUALITY VOLUME NOT

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DEVELOPMENT

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EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS.

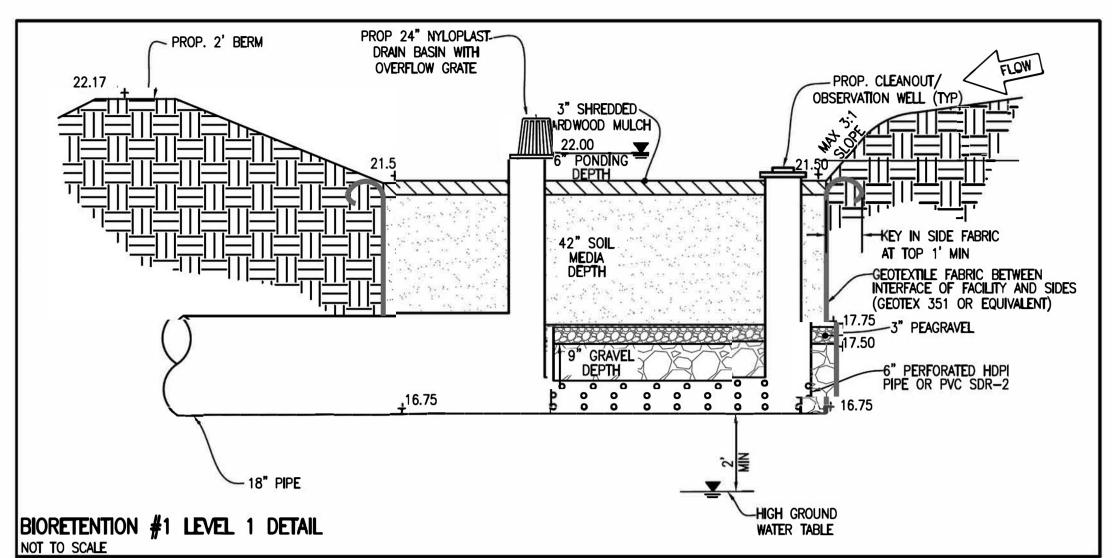
FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

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HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.



WATER QUALITY VOLUME CALCULATIONS: TOTAL AREA TO BMP = 27,332 SQ.FT.

IMPERVIOUS AREA TO BMP = 27,332 SQ.FT. ("R<sub>V</sub>" = 0.95)
PERVIOUS AREA TO BMP = 6,277 SQ.FT. ("R<sub>V</sub>" = 0.25)

# $\frac{\text{WATER QUALITY VOLUME REQUIRED:}}{T_V = (RV)(A)/12}$

- WHERE: A = AREA TO FACILITY (27,332 SF)  $R_V = COMPOSITE RUNOFF COEFFICIENT$  $R_V = [(0.25 \pm 6.277) + (0.95 \pm 21.055)] = 0.69$
- $R_V = 1(0.25+6.277)+(0.95+21.055)$ ] = 27,332  $T_V = (0.79)(27332)/12 = 1,798 \text{ FT}^3$

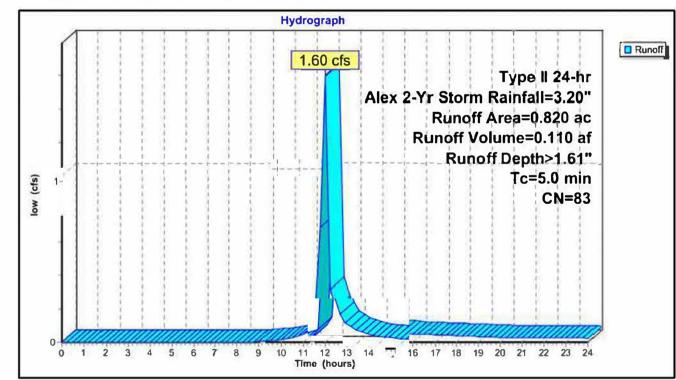
# WATER\_QUALITY\_VOLUME\_PROVIDED; $V = SA[D_p+(D_{fm})(N_{fm})+(D_g)(N_g)]$

### $V = SA[D_p + (D_{fm})]$ WHERE:

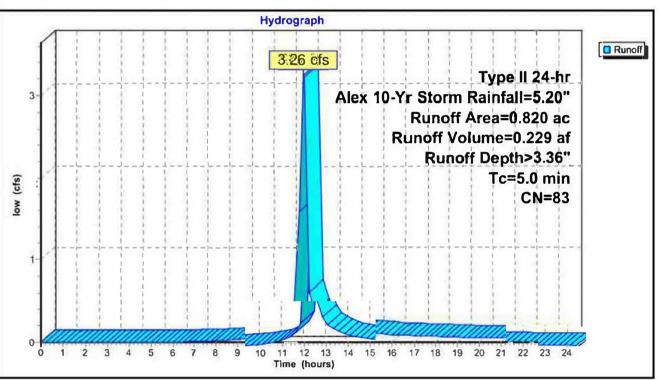
- V = VOLUME SA = SURFACE AREA (1029 SQ. FT.)
  - p = PONDING DEPTH (6")
- $D_{fm}$  = DEPTH OF FILTER MEDIA (42")  $N_{fm}$  = VOID RATIO OF FILTER MEDIA (0.25)
- $D_g$  = DEPTH OF GRAVEL BED (12")  $N_g$  = VOID RATIO OF GRAVEL BED (0.40)
- $V = 1029[0.5+(3.5)(0.25)+(1.0)(0.40)] = 1.826 FT^3$

REQUIRED: 1,798 CU.FT. PROVIDED: 1,826 CU.FT.

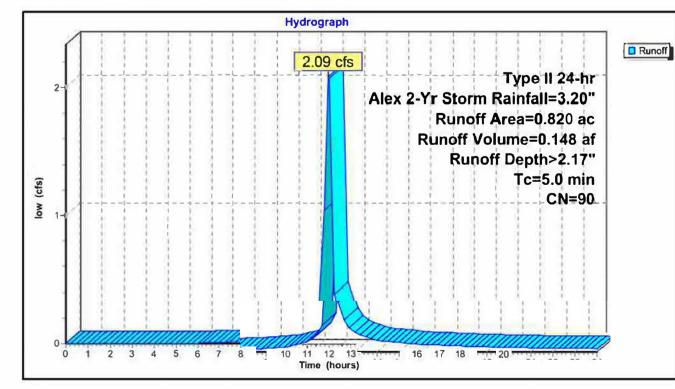
## 2-YEAR 24 HR PRE-DEVELOPMENT



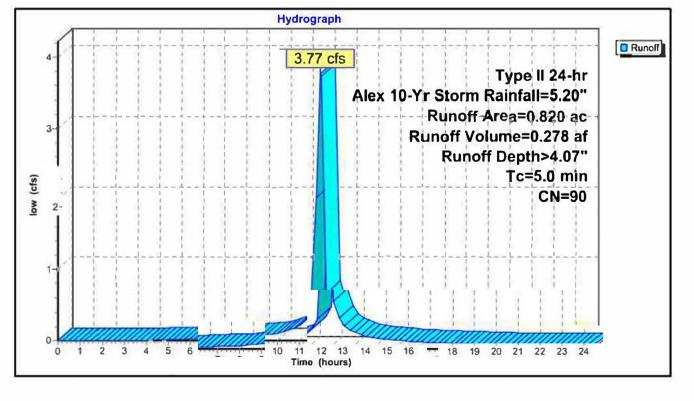
10-YEAR 24 HR PRE-DEVELOPMENT



# 2-YEAR 24 HR POST-DEVELOPMENT



10-YEAR 24 HR POST-DEVELOPMENT



APPROVED SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVIC

CHAIRMAN PLANNING COMI

INSTRUMENT NO. DEED BOOK NO.

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SHEET 1 1 OF 22

FILE: 23-232

DESIGN: ARO CHECKED: TJD

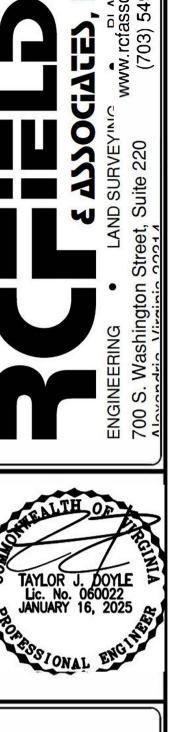
SCALE: AS NOTED DATE: JAN, 2025

BIORETENTION

DETAILS

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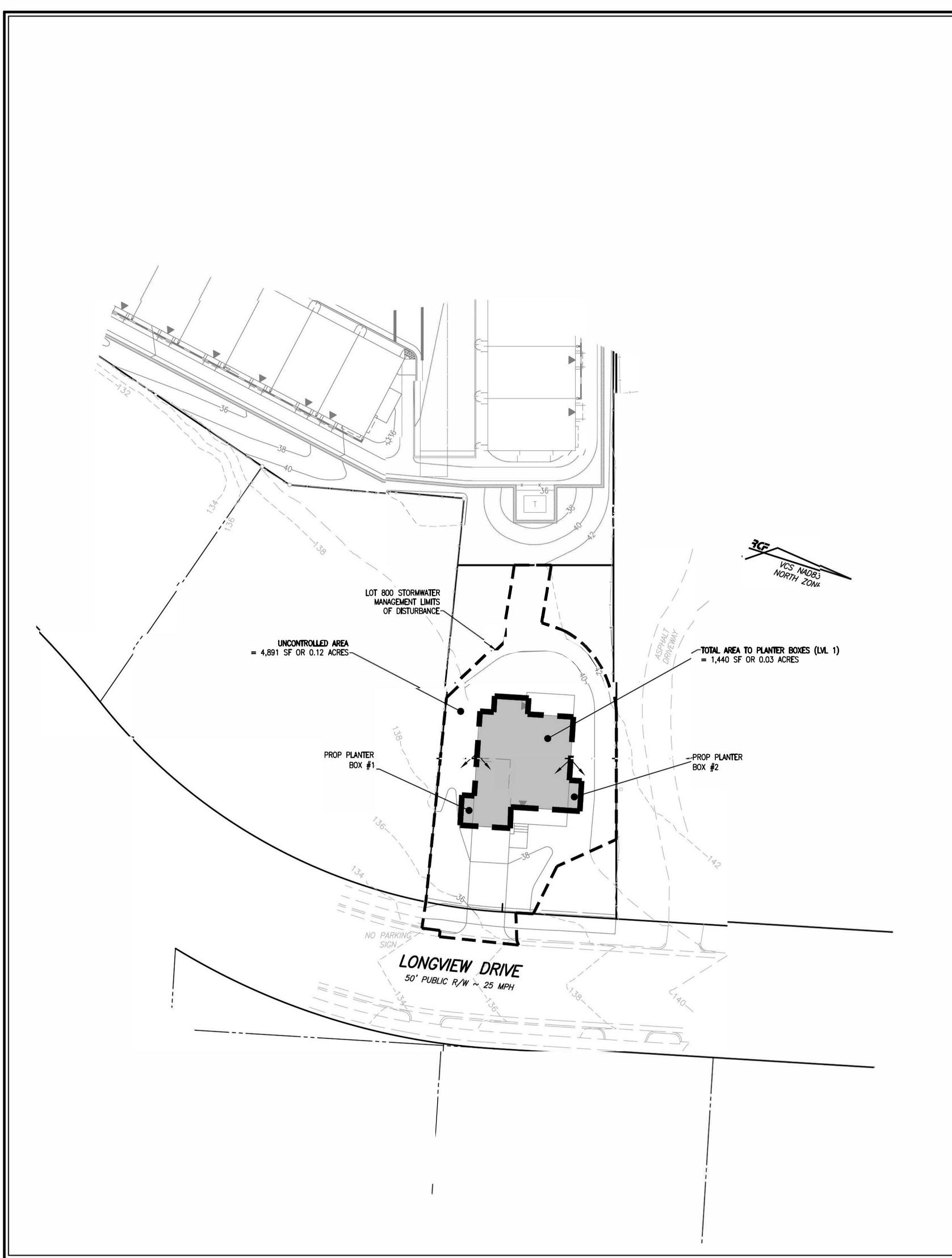


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STORMWATER MANAGEMENT (CITY CODE SECTION 13-109F COMPLIANCE) NARRATIVE

STORMWATER\_MANAGEMENT\_LIMITS\_OF\_DISTURBANCE:

THE PROPOSED REDEVELOPMENT OF THE SUBJECT SITE INCLUDES 0.99 ACRES OF TOTAL DISTURBED AREA. HOWEVER, 0.82 ACRES OF THE DISTURBED AREA ARE ASSOCIATED WITH THE STORMWATER MANAGEMENT PLAN FOR LOT 801 AND SAID STORMWATER MANAGEMENT DESIGN IS PROVIDED ON SHEETS 9-10. ADDITIONALLY, 0.02 ACRES OF THAT TOTAL DISTURBED AREA IS PRINCIPALLY RELATED TO THE INSTALLATION OF UTILITIES. THEREFORE, PER INTERIM GUIDANCE DATED 1/11/2021 PROVIDED BY THE CITY OF ALEXANDRIA. STORMWATER MANAGEMENT CALCULATIONS FOR LOT 800 SHALL UTILIZE A STORMWATER ANALYSIS LIMITS OF DISTURBANCE OF 0.15 ACRES. ALL STORMWATER MANAGEMENT RELATED CALCULATIONS ON THIS SHEET AND OTHER SHEETS UTILIZE THE STORMWATER ANALYSIS LIMITS OF DISTURBANCE.

PRE-DEVELOPMENT\_CONDITIONS:
THE 0.15 ACRE TOTAL DISTURBED AREA IS LOCATED IN THE CAMERON RUN WATERSHED. IN EXISTING CONDITIONS, THE SITE CONSISTS OF A DRIVEWAY AND ASSOCIATED SITE IMPROVEMENTS. ALL OF THE STORMWATER RUNOFF SHEET FLOWS TO LONGVIEW DRIVE WHERE IS ENTERS THE CITY OF ALEXANDRIA MAINTAINED STORM SEWER SYSTEM. THE RUNOFF THEN CONTINUES IN A GENERAL SOUTHERLY DIRECTION BEFORE ULTIMATELY ENTERING CAMERON RUN. THE REMAINING RUNOFF SHEETS FLOWS TO ADJACENT PROPERTIES AND ULTIMATELY TO LONGVIEW DRIVE WHERE IT FLOWS TO A CITY OF ALEXANDRIA MAINTAINED STORM SEWER SYSTEM WHERE IT COMBINES WITH THE PREVIOUSLY DESCRIBED FLOW REGIME.

POST—DEVELOPMENT\_CONDITIONS:
THIS PORTION OF THE PROJECT PROPOSES THE CONSTRUCTION OF A SINGLE UNIT DWELLING, DRIVEWAY, AND ASSOCIATED SITE IMPROVEMENTS. A PORTION OF THE SITE IS COLLECTED BY ROOF GUTTERS AND DIRECTED TO THE PROPOSED PLANTER BOXES FOR TREATMENT. THE COLLECTED AND TREATED RUNOFF THEN FLOWS TO LONGVIEW DRIVE TO THE EXISTING CITY OF ALEXANDRIA MAINTAINED STORM SEWER SYSTEM AND ULTIMATELY OUTFALLS TO CAMERON RUN.

DUE TO AN OVERALL INCREASE IN ONSITE IMPERVIOUS AREA, THERE IS AN INCREASE IN THE POST-DEVELOPMENT PEAK RATE OF RUNOFF (SEE COMPUTATIONS PROVIDED ON THIS SHEET). HOWEVER, TWO (2) LEVEL 1 PLANTER BOXES ARE PROPOSED WITH THIS PLAN TO PROVIDE RUNOFF REDUCTION FOR THE 2 AND 10-YEAR, 24-HOUR STORMS. THERE IS NO RUNOFF VOLUME INCREASE IN THE FORM OF SHEET FLOW RESULTING FROM PERVIOUS AREAS, DISCONNECTED IMPERVIOUS AREAS OR FROM PHYSICAL SPREADING OF CONCENTRATED FLOW ASSOCIATED WITH THE REDEVELOPMENT OF THIS SITE. THEREFORE, THE SMALL PORTION OF THE RUNOFF THAT EXITS THE SITE IN THE FORM OF SHEET FLOW WILL HAVE NO ADVERSE IMPACTS ON DOWN-GRADIENT PROPERTIES OR RESOURCES.

BASED ON THE ABOVE MENTIONED JUSTIFICATIONS AND COMPUTATIONS, THE STORMWATER MANAGEMENT CRITERIA FOR THE PROPOSED DEVELOPMENT COMPLIES WITH THE CHANNEL PROTECTION AND FLOOD PROTECTION REQUIREMENTS PER CITY CODE SECTION 13-109F. NO NATURAL STREAMS ARE LOCATED WITHIN THE STORMWATER ANALYSIS AREA, THEREFORE, PER CITY CODE CHAPTER 13, 1-YR STORM CALCULATIONS ARE NOT REQUIRED.

STORMWATER RUNOFF COMPUTATIONS

I. PROJECT AREA = 6,331 SQ.FT. OR 0.15 AC (LOT 800 STORMWATER MANAGEMENT LIMITS OF DISTURBANCE)

EXISTING IMPERVIOUS AREA = 1,944 SQ.FT. OR 0.04 AC PROPOSED IMPERVIOUS AREA = 2,371 SQ.FT. OR 0.05 AC

VIRGINIA RUNOFF REDUCTION METHOD (PER TR-20, TYPE II, 24-HOUR STORM, USING CLASS D SOILS):

II. WEIGHTED CURVE NUMBER (CN) CALCULATIONS:

CN PRE-DEVELOPMENT =  $(0.04 \times 98 + 0.11 \times 80) \div 0.15 = 86$ CN POST-DEVELOPMENT =  $(0.05 \times 98 + 0.10 \times 80) \div 0.15 = 87$ 

VRRM CN POST-DEVELOPMENT = 86

III. PRE-DEVELOPMENT PEAK DISCHARGES: (Tc = 5 MINS.) PEAK Q<sub>2</sub> PRE-DEVELOPMENT = 0.33 cfs

PEAK  $Q_{10}$  PRE-DEVELOPMENT = 0.64 cfs

V. POST-DEVELOPMENT PEAK DISCHARGES (Tc = 5 MINS.) PEAK Q2 POST-DEVELOPMENT = 0.33 cfs PEAK  $Q_{10}$  POST-DEVELOPMENT = 0.64 cfs

 $Q_2$  INCREASE = 0.00 cfs

 $Q_{10}$  INCREASE = 0.00 cfs

THERE IS NO INCREASE IN THE PEAK DISCHARGE FOR THE 2 AND 10-YEAR STORM, DETENTION IS NOT REQUIRED.

### WATER QUALITY VOLUME DEFAULT:

PROPOSED IMPERVIOUS: 0.05 AC

TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.05= 91 CU. FT. WQV REQUIRED

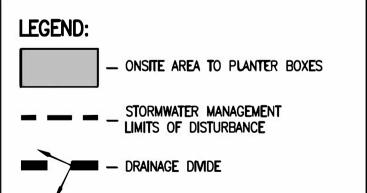
WATER TREATMENT	ON-SITE		
BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
BIORETENTION #1-LVL 1	0.03	0.03	25%

TOTAL WQV TREATED: NO WATER QUALITY VOLUME REQUIRED = 91 CU. FT. WATER QUALITY VOLUME TREATED =  $1,815 \times 0.03 = 54 \text{ CU. FT.}$ PERCENT OF WATER QUALITY VOLUME TREATED = 59.3% DETENTION ON SITE: YES PROJECT IS WITHIN WHICH WATERSHED? CAMERON RUN

PROJECT DISCHARGES TO WHICH BODY OF WATER? POTOMAC RIVER

## PROJECT DESCRIPTION:

REDEVELOPMENT			
DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
SITE AREA (SWM LOD)	0.05	0.10	0.15
ON-SITE TREATED (ON-SITE & INSIDE SWM LOD)	0.03	0.00	0.03
OFF-SITE TREATED	0.00	0.00	0.00
TOTAL TREATED	0.03	0.00	0.03
ON—SITE IMPERVIOUS AREAS DISCONNECTED BY A VEGETATIVE BUFFER	N/A		
TOTAL TREATED OR DISCONNECTED			0.03



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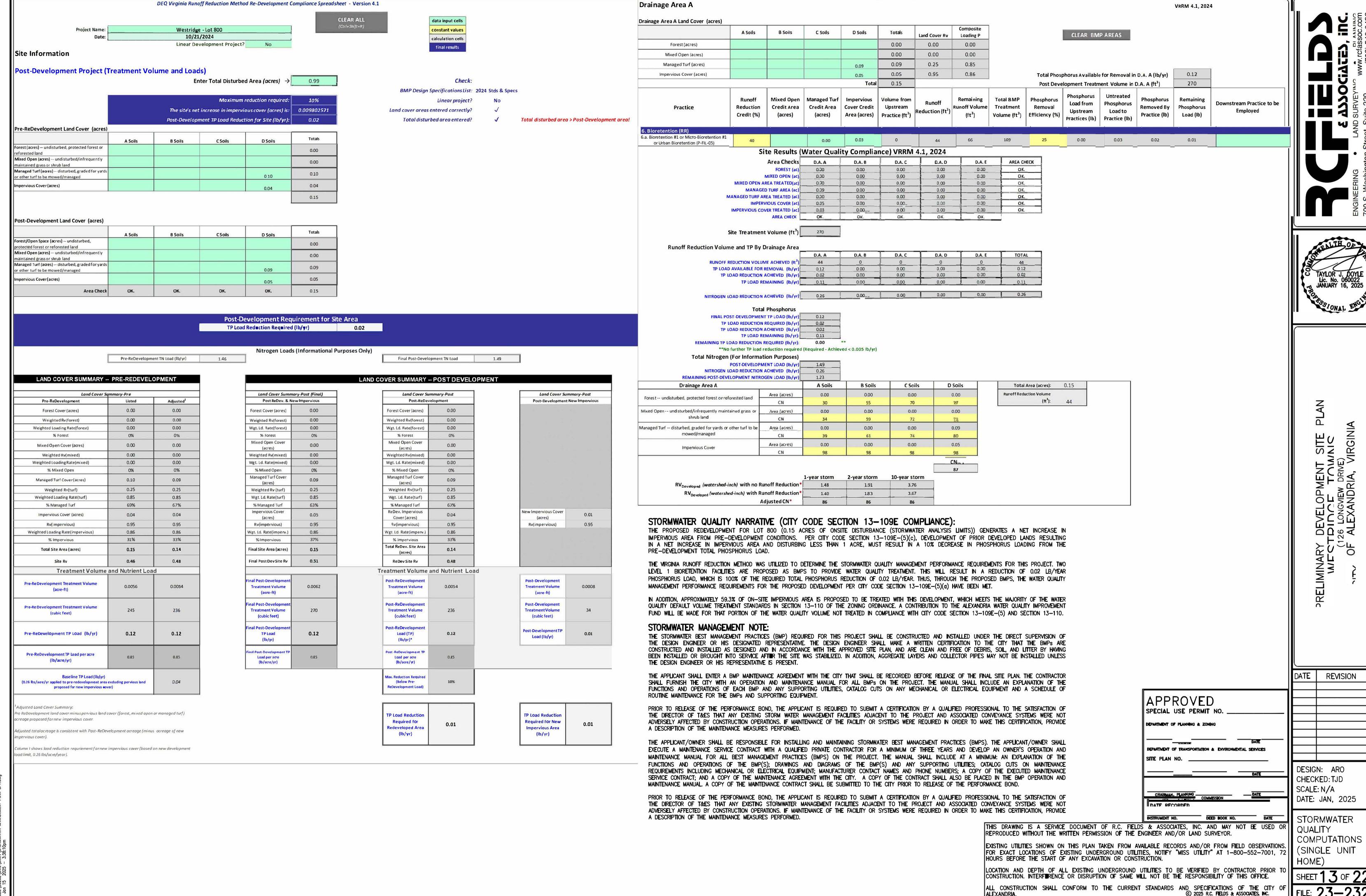
LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2025 R.C. FELDS & ASSOCIATES, INC.

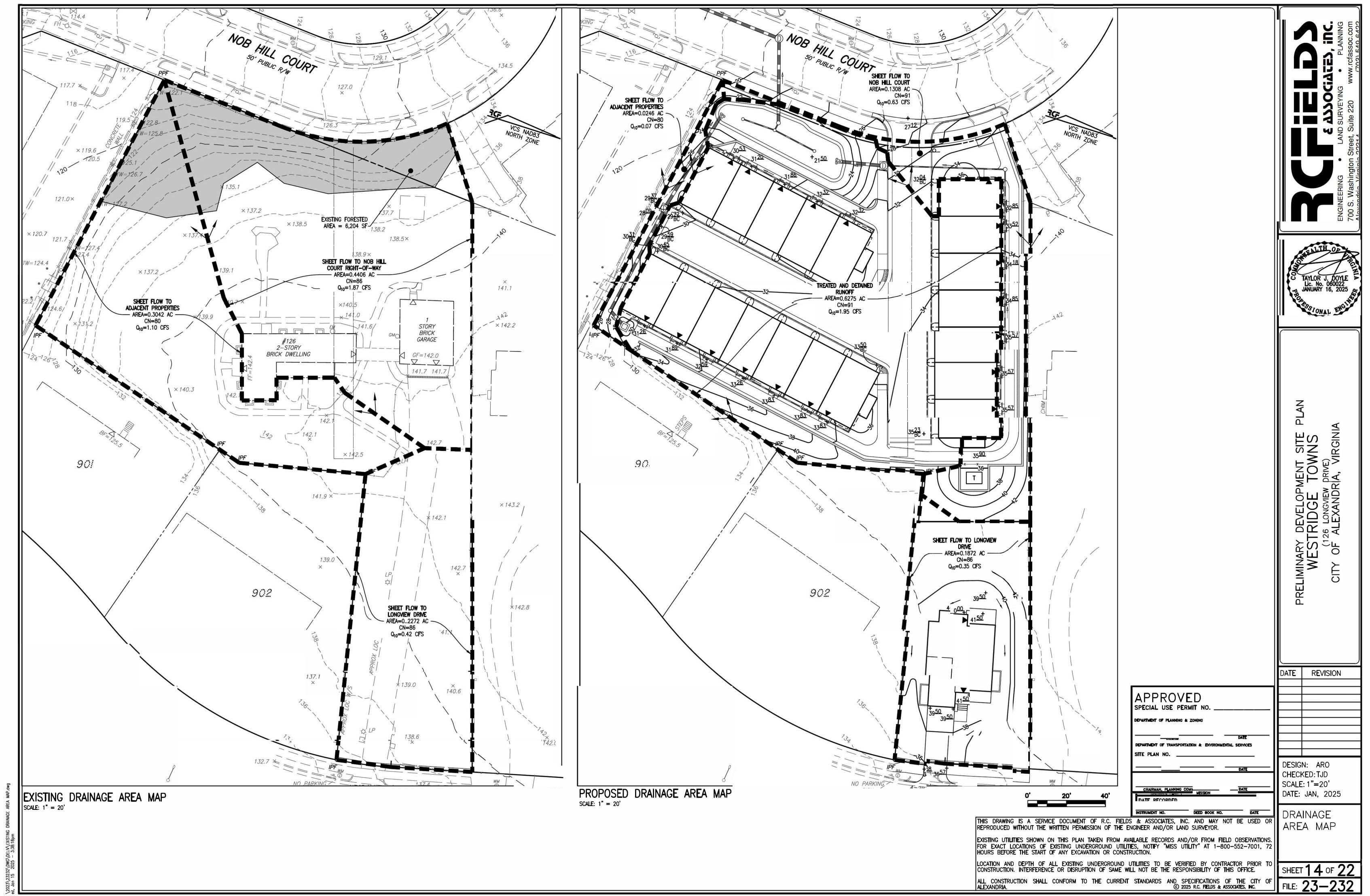
DESIGN: ARO **DATE: JAN, 2025** STORMWATER MANAGMENT

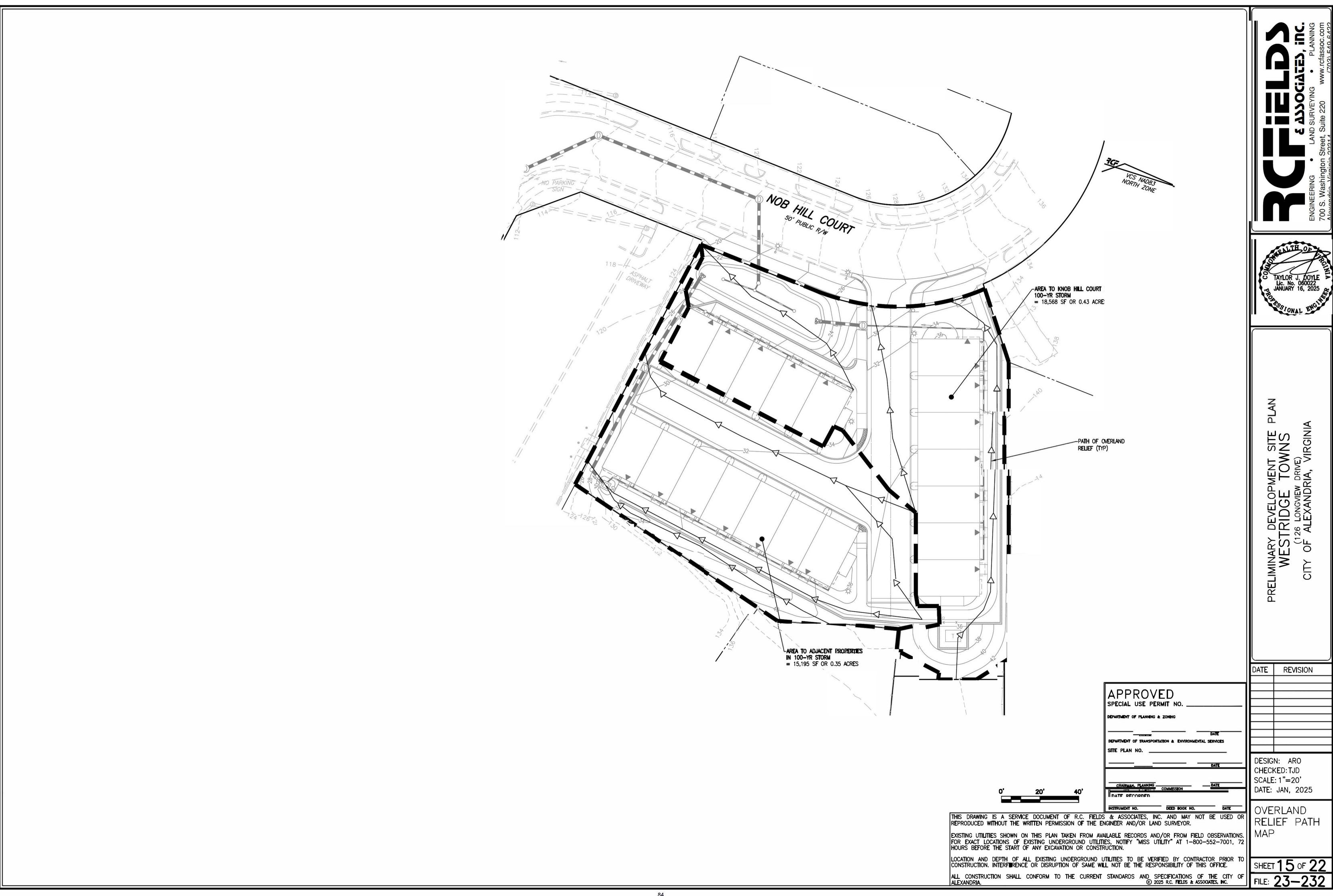
PLAN (SINGLE UNIT HOME)

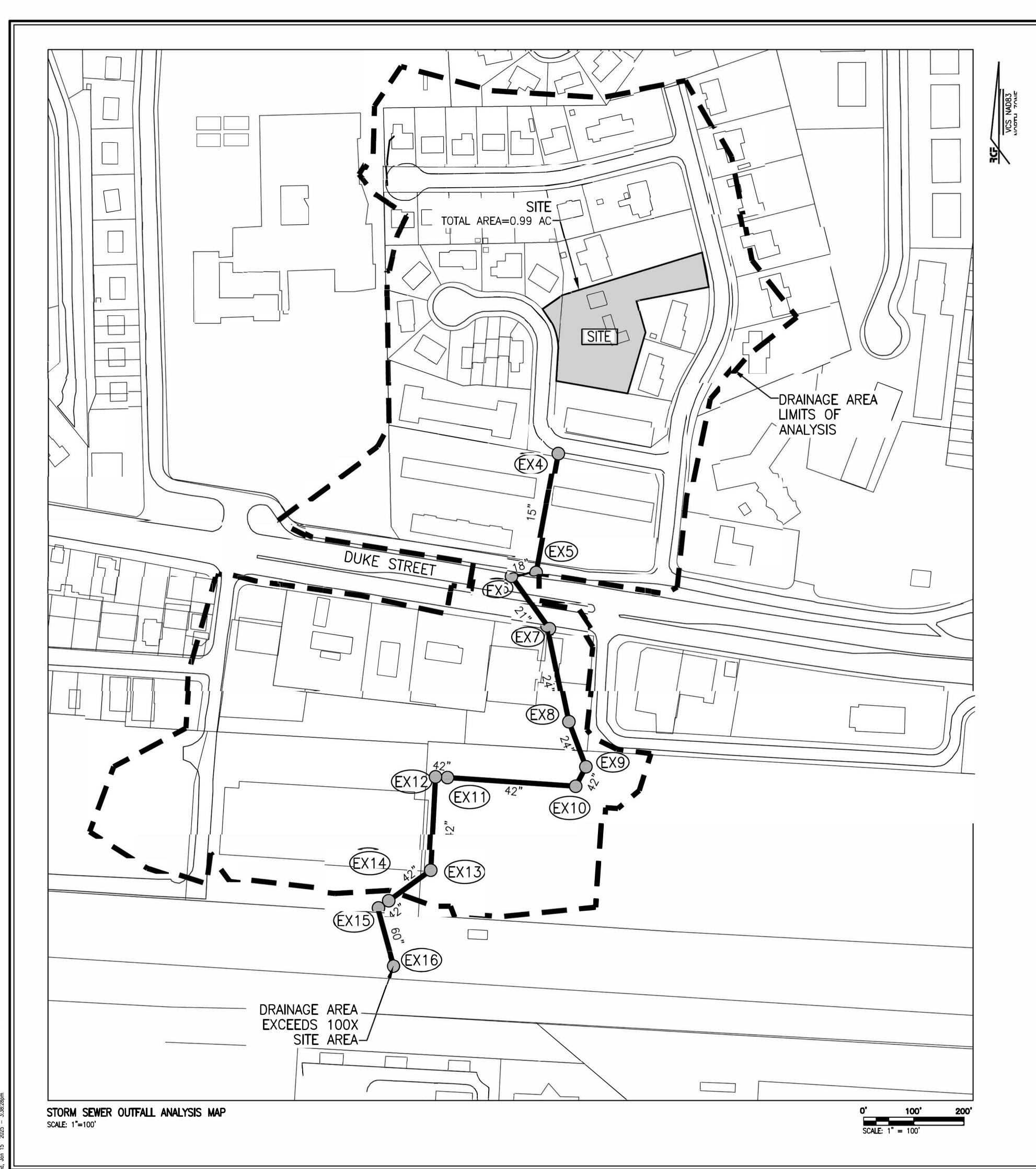
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# STORMWATER MANAGEMENT (CITY CODE SECTION 13-109F COMPLIANCE) NARRATIVE

### PRE-DEVELOPMENT\_CONDITIONS;

THE 0.99 ACRE PROJECT AREA IS LOCATED IN THE CAMERON RUN (CENTER) WATERSHED. IN EXISTING CONDITIONS, THE SITE CONSISTS OF A SINGLE FAMILY DWELLING WITH ASSOCIATED SITE IMPROVEMENTS. STORMWATER RUNOFF SHEET FLOWS TO NOB HILL COURT AND THEN SEAY STREET WHERE IT IS COLLECTED BY THE EXISTING CITY OF ALEXANDRIA MAINTAINED STORM SEWER SYSTEM. RUNOFF IS DIRECTED SOUTH WITHIN THE CITY OF ALEXANDRIA MAINTAINED STORM SEWER FLOWING GENERALLY SOUTH BEFORE ULTIMATELY ENTERING CAMERON RUN.

POST—DEVELOPMENT\_CONDITIONS:
THIS PROJECT PROPOSES THE CONSTRUCTION OF 19 TOWNHOUSE STYLE CONDOS, DRIVE AISLE, AND ASSOCIATED SITE IMPROVEMENTS ON LOT 801

THIS PROJECT PROPOSES THE CONSTRUCTION OF 19 TOWNHOUSE STYLE CONDOS, DRIVE AISLE, AND ASSOCIATED SITE IMPROVEMENTS ON LOT 801

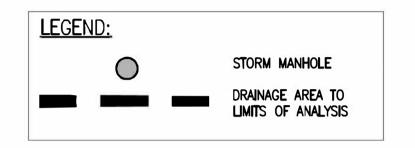
THIS PROJECT PROPOSES THE CONSTRUCTION OF 19 TOWNHOUSE STYLE CONDOS, DRIVE AISLE, AND ASSOCIATED SITE IMPROVEMENTS ON LOT 801 AS WELL AS A SINGLE FAMILY DWELLING WITH ASSOCIATED SITE IMPROVEMENTS ON LOT 800 WHICH WILL RESULT IN AN INCREASE IN TOTAL ON-SITE IMPERVIOUS AREA.

OUTFALL: A MAJORITY OF THE RUNOFF FROM THE SITE IS COLLECTED BY THE PROPOSED STORM PIPE SYSTEM AND PIPED TO THE PROPOSED BIORETENTION FACILITIES BEFORE OUTFALLING TO AN EXISTING CITY OWNED AND MAINTAINED MANHOLE (EX4). THE REMAINING RUNOFF FROM THE SITE SHEET FLOWS TOWARDS THE NOB HILL COURT RIGHT-OF-WAY AND IS COLLECTED BY THE EXISTING CITY OWNED AND MAINTAINED CURB INLET WITHIN THE SEAY STREET RIGHT-OF-WAY. THE RUNOFF CONTINUES SOUTHWARD UNTIL THE LIMITS OF ANALYSIS HAVE BEEN REACHED AT EX16 WHERE IT ENTERS CAMERON RUN AND THE SITE'S CONTRIBUTING DRAINAGE AREA IS LESS THAN 1% OF THE TOTAL WATERSHED AREA (PER SECTION 13-109F-2(c)(i) OF THE ZONING ORDINANCE).

CONCLUSION.

COMPUTATIONS SHOWN ON THIS SHEET DEMONSTRATE THAT THE EXISTING SYSTEM IS ADEQUATE AND DOES NOT EXPERIENCE EROSION BUT IS SURCHARGED IN VARIOUS SECTIONS OF THE NETWORK. COMPUTATIONS SHOWN ON SHEET 9 AND 12 DEMONSTRATE THAT THERE IS A DECREASE IN SURCHARGED IN VARIOUS SECTIONS OF THE NETWORK. THE 2 AND 10-YR, 24-HR STORMS WITH THE PROPOSED DEVELOPMENT AS A RESULT OF THE DETENTION PROVIDED ON SITE; THEREFORE, THE FLOOD PROTECTION AND CHANNEL PROTECTION FOR THIS SITE IS IN COMPLIANCE WITH SECTION 13-109F(2)(b)(ii) AND 13-109F(1)(a)(i).

PER THE LIMITS OF ANALYSIS PER CITY CODE SECTION 13-109F-2(c)(i), AND REDUCED POST-DEVELOPMENT RUNOFF RATE FOR THE 10-YEAR, 24-HOUR STORM, THE PROJECT POST-DEVELOPMENT RUNOFF WILL NOT EXACERBATE ANY EXISTING DOWNSTREAM CAPACITY CONDITIONS. IN ADDITION, THERE IS NO RUNOFF VOLUME INCREASE IN THE FORM OF SHEET FLOW RESULTING FROM PERVIOUS AREAS, DISCONNECTED IMPERVIOUS AREAS OR FROM PHYSICAL SPREADING OF CONCENTRATED FLOW ASSOCIATED WITH THE REDEVELOPMENT OF THIS SITE. THEREFORE, THE SMALL PORTION OF RUNOFF THAT EXITS THE SITE IN THE FORM OF SHEET FLOW WILL HAVE NO ADVERSE IMPACTS ON DOWN—GRADIENT PROPERTIES OR RESOURCES.



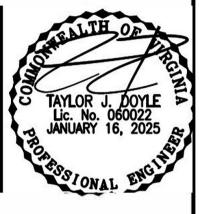
		1(	0-YR,	24-	HR	ST	ORI	N SI	EWE	ER C	OM	PU1	ΓΑΤ	ION	S		
	TURE	DRAINAGE REA (AC)	ACCUM. NAGE AREA (AC)	NUMBER	LL DEPTH (IN)	(MINUTES)	MENTAL (CFS)	IULATED (CFS)	DIAMETER (IN)	PE (%)	"u.	IMUM "Q" (CFS)	MAXIMUM LOCITY (FPS)	TH OF RUN (FT)	INVERT	INVERT	L (FT)
FROM	T0	INC. DRA AREA	ACCUI DRAINAGE (AC)	CURVE	RAINFA	T <sub>c</sub> (Mi	INCRE	ACCUN "Q"	PIPE	SLOPE	:	MAXIMUM (CFS)	MAXIMI VELOCITY	LENGTH (F	UPPER	LOWER	FALL
EX4	EX5	5.31	5.31	87	5.20	15	20.16	20.16	15	7.41%	0.015	15.90	12.45	238.00	99.27	81.63	17.64
EX5	EX6	6.22	11.53	87	5.20	15	23.62	43.78	18	7.41%	0.015	25.86	14.06	46.66	81.63	78.17	3.46
EX6	EX7	3.96	15.49	87	5.20	15	15.04	58.82	21	7.41%	0.015	39.01	15.58	121.65	78.17	69.16	9.01
EX7	EX8	0.36	15.85	87	5.20	15	1.37	60.19	24	8.44%	0.015	59.43	18.17	188.61	69.16	53.25	15.91
EX8	EX9	0.91	16.76	87	5.20	15	3.46	63.65	24	9.23%	0.015	62.16	19.01	95.46	48.25	39.44	8.81
EX9	EX10	0.21	16.97	87	5.20	15	0.80	64.45	42	1.77%	0.013	139.55	13.94	43.59	36.84	36.07	0.77
EX10	EX11	0.00	16.97	87	5.20	15	0.00	64.45	42	0.25%	0.013	52.59	5.25	255.12	35.97	35.33	0.64
EX11	EX12	0.17	17.14	87	5.20	15	0.65	65.10	42	2.93%	0.013	179.73	17.95	23.89	35.33	34.63	0.70
EX12	EX13	1.14	18.28	87	5.20	15	4.33	69.43	42	1.63%	0.013	134.14	13.40	185.65	34.63	31.60	3.03
EX13	EX14	0.00	18.28	87	5.20	15	0.00	69.43	42	0.23%	0.013	50.70	5.06	102.94	31.10	30.86	0.24
EX14	EX15	4.18	22.46	87	5.20	15	15.87	85.30	42	0.76%	0.013	91.72	9.16	24.90	30.56	30.37	0.19
EX15	EX16	5.24	27.69	87	5.20	15	19.90	105.20	60	0.78%	0.013	239.99	11.74	128.26	29.17	28.17	1.00

APPROVED SPECIAL USE PERMIT NO.

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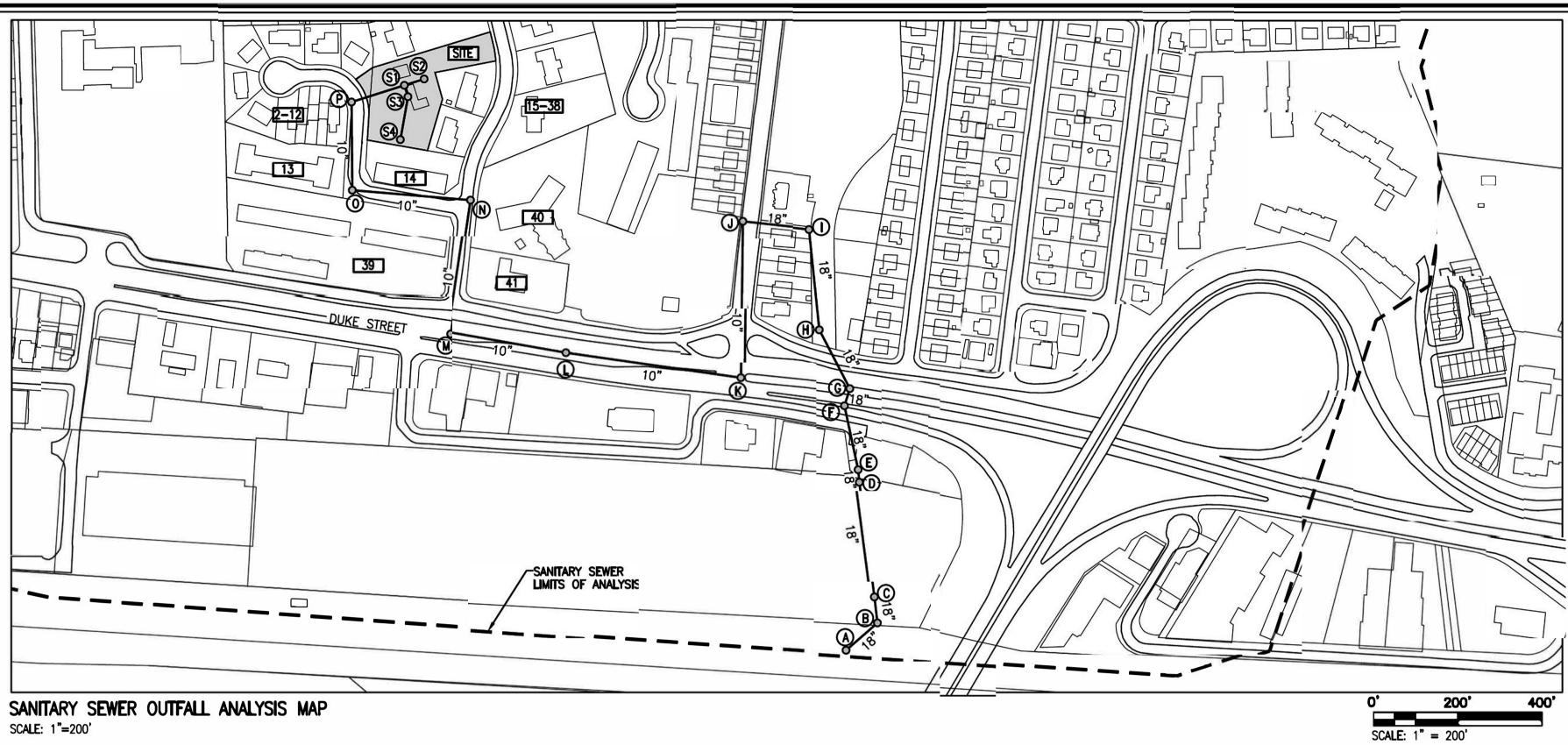
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DESIGN	I. ARO	

CHECKED: TJD SCALE: 1"=100' DATE: JAN, 2025



SANITARY SEWER OUTFALL CALCULATIONS: THE EXISTING USE IS RESIDENTIAL THE AVERAGE DAY AND PEAK HOUR WASTEWATER DISCHARGE FLOW CALCULATIONS WERE COMPUTED USING THE METHODOLOGY PROVIDED BY THE CITY OF ALEXANDRIA IN MEMORANDUM TO INDUSTRY NO. 06-14. THE PROPOSED USE FOR THIS PROJECT WILL BE RESIDENTIAL WITH AN ADDITIONAL 20 UNITS. THE AVERAGE DAILY FLOW IS DESCRIBED BELOW:

350 GPD/UNIT X 19 UNITS = 6,650 GPD OR 0.010 CFS SINGLE UNIT DWELLING: 350 GPD/UNIT X 1 UNIT = 350 GPD OR 0.001 CFS

TO ACCOUNT FOR THE DAILY PEAK PERIOD, THE ABOVE FLOW IS MULTIPLIED BY A FACTOR OF 4:

7,000 GPD X 4 = 28,000 GPD0.011 CFS X 4 = 0.043 CFS

TOTAL PEAK FLOW = 28,000 GPD OR 0.043 CFS

SANITARY SEWER OUTFALL NOTE:

THIS PROJECT IS ANTICIPATED TO GENERATE AN INCREASE IN EXCESS OF 10,000 GPD IN SANITARY WASTE OUTFLOW. A FLOW OF APPROXIMATELY 7,000 GPD IS EXPECTED FOR THIS DEVELOPMENT RESULTING IN A PEAK FLOW OF 28,000 GPD. THEREFORE, THE PROJECT IS SUBJECT TO A SANITARY SEWER OUTFALL ANALYSIS. THIS SANITARY SEWER OUTFALL IN ACCORDANCE WITH MEMO TO INDUSTRY 06—14. THE GENERAL AREA IS NOT KNOWN TO HAVE SANITARY SEWER CAPACITY PROBLEMS.

THIS PROJECT WILL UTILIZE A PROPOSED 10" SANITARY SEWER THAT CONNECTS INTO AN EXISTING 10" SANITARY SEWER MAIN WITHIN THE NOB HILL ROAD RIGHT-OF-WAY (SEE SHEET 6). THE SANITARY FLOW IS THEN CONVEYED GENERALLY SOUTH UNTIL IT ENTERS AN EXISTING 24" SANITARY SEWER AT STRUCTURE A. PER MEMORANDUM TO INDUSTRY NO. 06-14, THE LIMITS OF ANALYSIS FOR THE SANITARY SEWER ADEQUATE OUTFALL IS AT A POINT WHERE THE DOWNSTREAM SEWER HAS A MINIMUM DIAMETER OF 24'. THEREFORE, THE SANITARY SEWER ANALYSIS CONCLUDES AT STRUCTURE A.

ALL SANITARY SEWER FLOWS BETWEEN STRUCTURES A AND I HAVE BEEN PROVIDED BY THE CITY OF ALEXANDRIA. ALL FLOWS BETWEEN STRUCTURES I AND P HAVE BEEN CALCULATED WITH THIS ANALYSIS AND ARE PROVIDED IN THE INCREMENTAL SANITARY SEWER FLOW CALCULATIONS BELOW.

\*INVERTS FOR MANHOLES N, L, AND K HAVE NOT BEEN PROVIDED AT THIS TIME DUE TO THEIR INACCESSIBILITY. SLOPES BETWEEN THE MANHOLES HAVE BEEN ASSUMED FOR THIS ANALYSIS. SURVEYED INVERTS WILL BE PROVIDED AT FINAL SITE PLAN. INCREMENTAL SANITARY SEWER FLOW CALCULATIONS:

BLD#	USE	DESIGN FLOW	UNIT	SIZE	GAL/DAY	GAL/HR	CFS	PEAK CFS (x4)	FLOWSTO
SITE	SINGLE UNIT	350	EA	19	6,650	277	0.0103	0.0412	Р
2-12	SINGLE UNIT	350	EA	12	4,200	175	0.0065	0.0260	Р
13	MULTIUNIT	300	EA	41	12,300	513	0.0190	0.0761	0
14	MULTIUNIT	300	EA	20	6,000	250	0.0093	0.0371	Z
15-38	SINGLE UNIT	350	EA	24	8,400	350	0.0130	0.0520	N
39	RETAIL	200	SF	135,802	27,160	1,132	0.0420	0.1681	M
40	MULTIUNIT	300	EA	233	69,900	2,913	0.1082	0.4326	L
41	RETAIL	200	SF	28,270	5,654	236	0.0087	0.0350	L
				TOTAL	140,264	5,844	0.2170	0.8681	

SANITARY SEWER OUTFALL CALCULATIONS:

STRU	CTURE	FACIL	.ITY ID		-	<u>.</u>	-				·	<b>&gt;</b>	1			i .	<b>&gt;</b>	
FROM	10	FROM	10	SOURCE	INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	MATERIAL	"u"	MAXIMUM "Q" ((CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)	NORMAL VELOCITY (FPS)	NORMAL DEPTH
S5	S4	NEW MANHOLE	NEW MANHOLE	NEW MANHOLE	0.0238	0.024	10	1.00%	RCP	0.015	1.98	3.49	102.98	124.00	122.97	1.03	1.23	0.07
S4	S2		NEW MANHOLE		0.0022	0.026	10	0.50%	RCP	0.015	1.40	2.47	28.33	122.87	122.73	0.14	0.96	0.08
S3	S2		NEW MANHOLE		0.0065	0.006	10	1.00%	RCP	0.015	1.98	3.49	49.18	128.00	127.51	0.49	0.76	0.03
S2	S1		NEW MANHOLE		0.0087	0.041	10	0.50%	RCP	0.015	1.40	2.47	101.69	122.63	122.12	0.51	2.16	0.31
S1	Р	NEW MANHOLE		NEW MANHOLE	0.0000	0.041	10	11.22%	RCP	0.015	6.64	11.69	11.41	122.02	120.74	1.28	3.35	0.05
Р	0	000313SSMH	000314SSMH	SURVEY	0.0260	0.067	10	7.99%	RCP	0.015	5.60	9.87	208.74	120.64	103.97	16.67	3.46	0.07
0	N	000314SSMH	000321SSMH	SURVEY	0.0761	0.143	10	0.49%	RCP	0.015	1.39	2.46	266.69	103.74	102.42	1.32	1.64	0.20
N	M	000321SSMH	000405SSMH	SURVEY*	0.0891	0.232	10	4.59%	RCP	0.015	4.24	7.48	302.96	102.13	88.24	13.89	4.12	0.14
M	L	000405SSMH	000406SSMH	SURVEY*	0.1681	0.401	10	4.59%	RCP	0.015	4.24	7.48	285.06	88.24	75.17	13.07	4.74	0.18
L	K	000406SSMH	000407SSMH	SURVEY*	0.4676	0.868	10	4.59%	RCP	0.015	4.24	7.48	420.49	75.17	55.88	19.28	5.95	0.26
K	J	000407SSMH	000308SSMH	SURVEY*	0.0000	0.868	10	4.59%	RCP	0.015	4.24	7.48	371.87	55.88	38.83	17.05	5.95	0.26
J	Ţ	000308SSMH	000348SSMH	CITY DATA	2.9732	3.841	18	1.72%	RCP	0.015	12.44	6.77	109.00	38.83	36.96	1.87	6.00	0.58
1	Н	000348SSMH	000375SSMH	CITY DATA	0.4167	4.258	18	1.40%	RCP	0.015	11.25	6.12	238.80	36.93	33.58	3.35	5.72	0.65
Н	G	000375SSMH	000373SSMH	CITY DATA	0.0134	4.271	18	0.88%	RCP	0.015	8.91	4.84	156.90	33.55	32.17	1.38	5.75	0.65
G	F	000373SSMH	000374SSMH	CITY DATA	0.1047	4.376	18	1.43%	RCP	0.015	11.37	6.18	42.60	30.97	30.36	0.61	4.84	0.75
F	E	000374SSMH	000399SSMH	CITY DATA	0.3832	4.759	18	1.45%	RCP	0.015	11.43	6.22	154.70	30.16	27.92	2.24	5.87	0.67
E	D	000399SSMH	007489SSMH	CITY DATA	0.0914	4.851	18	1.54%	RCP	0.015	11.80	6.42	29.80	27.92	27.46	0.46	6.16	0.69
D	С	007489SSMH	007583SSMH	CITY DATA	0.0223	4.873	18	1.41%	RCP	0.015	11.27	6.13	285.10	27.39	23.38	4.01	5.97	0.70
С	В	007583SSMH	007582SSMH	CITY DATA	0.0245	4.898	18	2.25%	RCP	0.015	14.24	7.74	51.20	23.40	22.25	1.15	7.09	0.62
В	Α	007582SSMH	007586SSMH	CITY DATA	0.0236	4.921	18	3.93%	RCP	0.015	18.84	10.24	98.20	22.23	18.37	3.86	8.71	0.53

HYDRAULIC GRADE LINE CALCULATIONS:

INLET	OUTLET										JUN	CTION LO	OSS						INLET	DISA	FREE
ID	WSE	D <sub>O</sub> (in)	Qo	L <sub>0</sub>	Sfo%	$H_f$	Vo	Ho	Qi	V <sub>i</sub>	Q <sub>i</sub> *V <sub>i</sub>	Hi	ANGLE	Н∆	Н,	1.3	0.5	FINAL H	WSE	RIM ELEV	BOARD
טו	WOL							110	3	٧i	Qi Vi	1.11	ANGLE	Ι ''Δ	• •t	Ht	Ht		WOL		DOARD
В	19.57	18	4.921	98.20	0.0022	0.00	8.71	0.295	4.898	7.09	34.72	0.273	56	0.5890	1.157	<b>*</b>	0.58	0.58	20.15	48.00	27.85
С	23.45	18	4.898	51.20	0.0022	0.00	7.09	0.195	4.873	5.97	29.09	0.194	0	0.0000	0.389	9	0.19	0.20	23.65	50.00	26.35
D	24.58	18	4.873	285.10	0.0022	0.01	5.97	0.138	4.851	1.64	7.96	0.015	0	0.0000	0.153	×	0.08	0.08	24.66	53.00	28.34
E	28.66	18	4.851	29.80	0.0021	0.00	1.64	0.010	4.759	5.87	27.94	0.187	7	0.0021	0.200		0.10	0.10	28.76	54.00	25.24
F	29.12	18	4.759	154.70	0.0021	0.00	5.87	0.134	4.376	4.84	21.18	0.127	29	0.1605	0.422	2	0.21	0.21	29.33	58.00	28.67
G	31.56	18	4.376	0.00	0.0017	0.00	4.84	0.091	4.271	5.75	24.56	0.180	45	0.1455	0.416	E	0.21	0.21	31.77	58.00	26.23
Н	31.77	18	4.271	156.90	0.0017	0.00	5.75	0.128	4.258	5.72	24.36	0.178	22	0.1027	0.409	*	0.20	0.21	31.98	48.00	16.02
1	34.78	18	4.258	238.80	0.0016	0.00	5.72	0.127	3.841	6.00	23.05	0.196	78	0.3048	0.627	-	0.31	0.32	35.10	54.00	18.90
J	38.16	18	3.841	109.00	0.0013	0.00	6.00	0.140	0.868	5.95	5.17	0.192	90	0.3913	0.723	*	0.36	0.36	38.52	64.00	25.48
K	39.50	10	0.868	371.87	0.0016	0.01	5.95	0.137	0.868	5.95	5.17	0.192	90	0.3848	0.715		0.36	0.36	39.86	64.00	24.14
L	56.55	10	0.868	420.49	0.0016	0.01	5.95	0.137	0.401	4.74	1.90	0.122	0	0.0000	0.260	æ	0.13	0.14	56.69	82.00	25.31
М	75.83	10	0.401	285.06	0.0003	0.00	4.74	0.087	0.232	4.12	0.96	0.092	90	0.2442	0.424	124	0.21	0.21	76.04	87.00	10.96
N	88.90	10	0.232	302.96	0.0001	0.00	4.12	0.066	0.143	1.64	0.23	0.015	90	0.1845	0.265	S#4	0.13	0.13	89.04	113.14	24.10
0	103.09	10	0.143	266.69	0.0000	0.00	1.64	0.010	0.067	3.46	0.23	0.065	90	0.0292	0.105		0.05	0.05	103.14	112.75	9.61
Р	104.64	10	0.067	208.74	0.0000	0.00	3.46	0.046	0.041	3.35	0.14	0.061	54	0.0929	0.200		0.10	0.10	104.74	127.72	22.98
S1	121.41	10	0.041	11.41	0.0000	0.00	3.35	0.044	0.041	2.16	0.09	0.025	14	0.0174	0.086	-	0.04	0.04	121.45	127.80	6.35
S2	122.79	10	0.041	101.69	0.0000	0.00	2.16	0.018	0.006	0.76	0.00	0.003	0	0.0000	0.074	9	0.04	0.04	122.82	134.20	11.38
									0.026	0.96	0.02	0.005	90	0.0507							
S3	128.17	10	0.006	49.18	0.0000	0.00	0.76	0.002							0.002	150	0.00	0.00	128.18	135.00	6.82
S4	123.40	10	0.026	28.33	0.0000	0.00	0.96	0.004	0.024	1.23	0.03	0.008	28	0.0043	0.016	-	0.01	0.01	123.40	133.00	9.60
S5	123.64	10	0.024	102.98	0.0000	0.00	1.23	0.006							0.006		0.00	0.00	123.64	130.30	6.66

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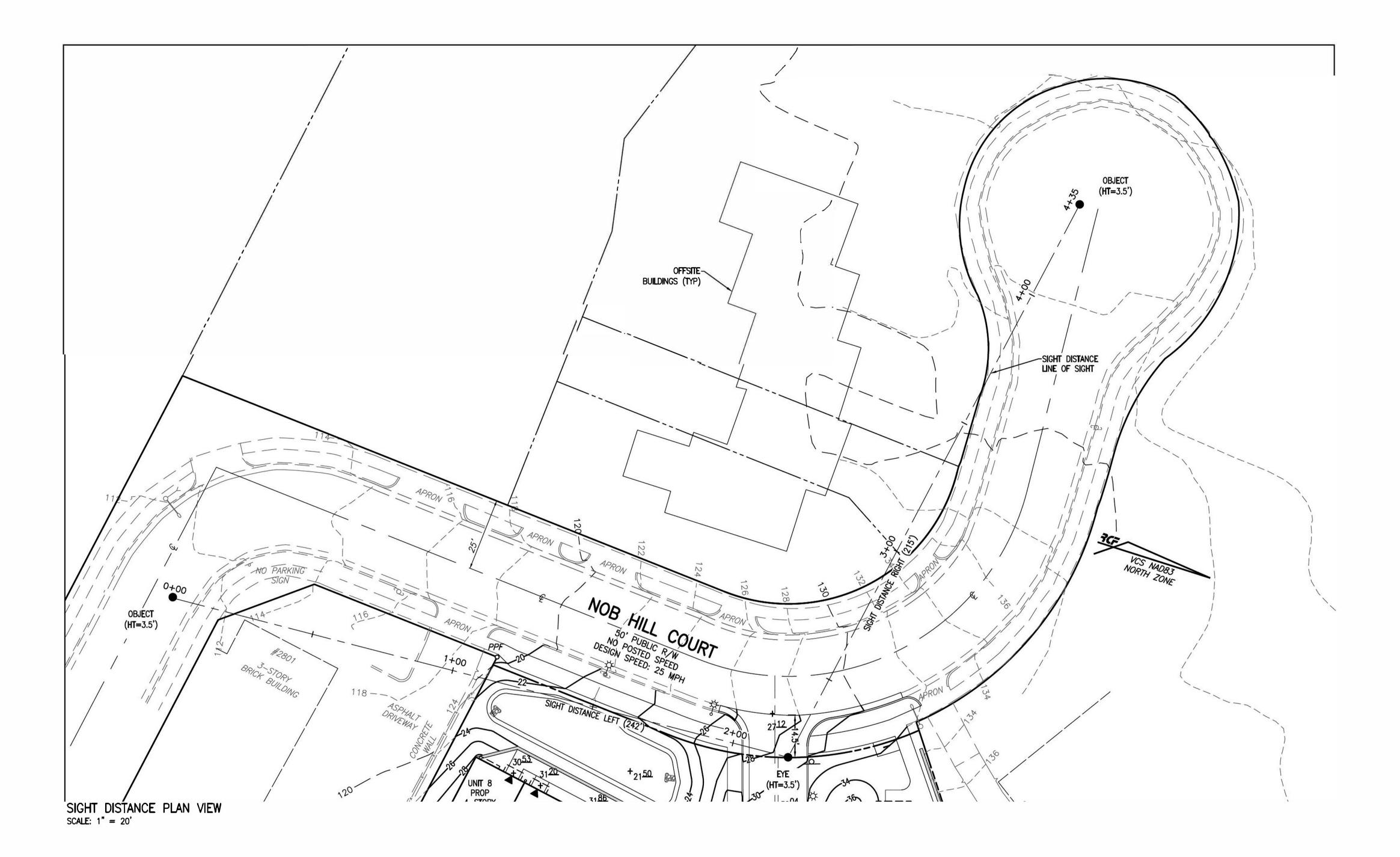
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**REVISION** 

DESIGN: ARO CHECKED: TJD SCALE: 1"=200'

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DATE: JAN, 2025





PRELIMINARY DEVELOPMENT SITE WESTRIDGE TOWNS (126 LONGVIEW DRIVE) CITY OF ALEXANDRIA, VIRGINI

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DATE
ANSPORTATION & ENVIRONMENTAL SERVICES

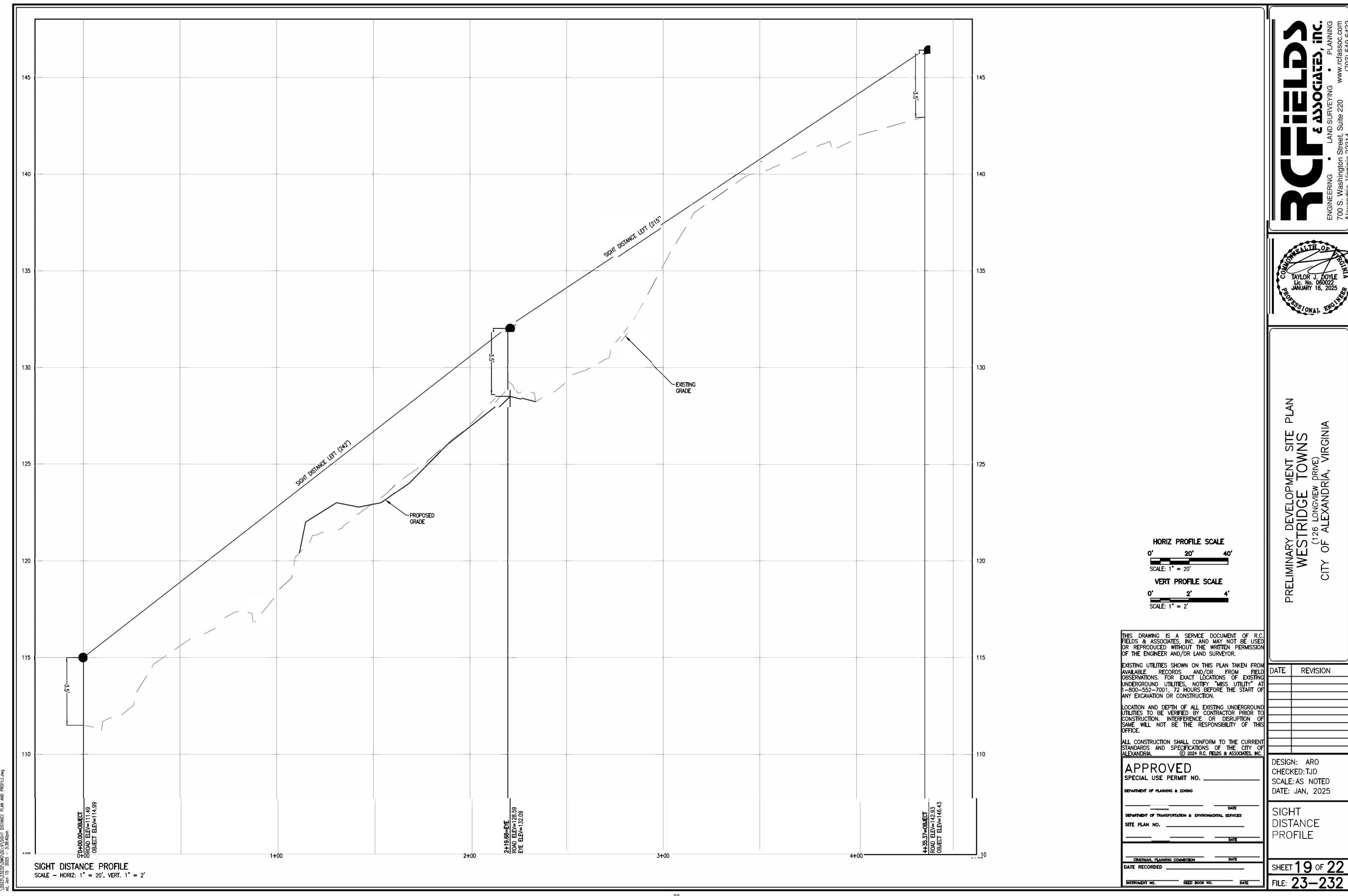
CHAIRMAN, PLANNING COMMESSION INSTRUMENT NO. DEED BOOK NO. DATE FILE: 23-232

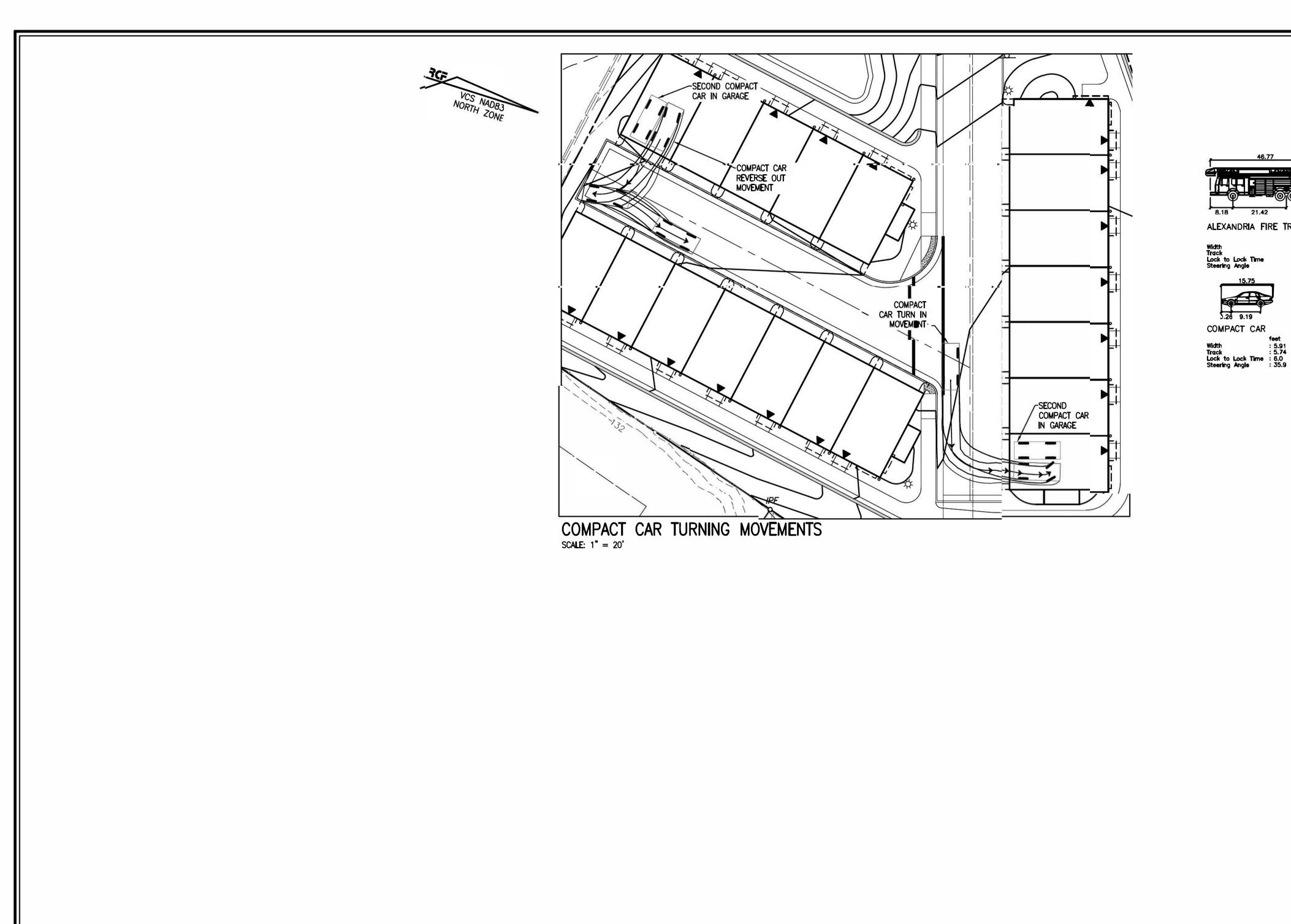
SHEET 18 OF 22

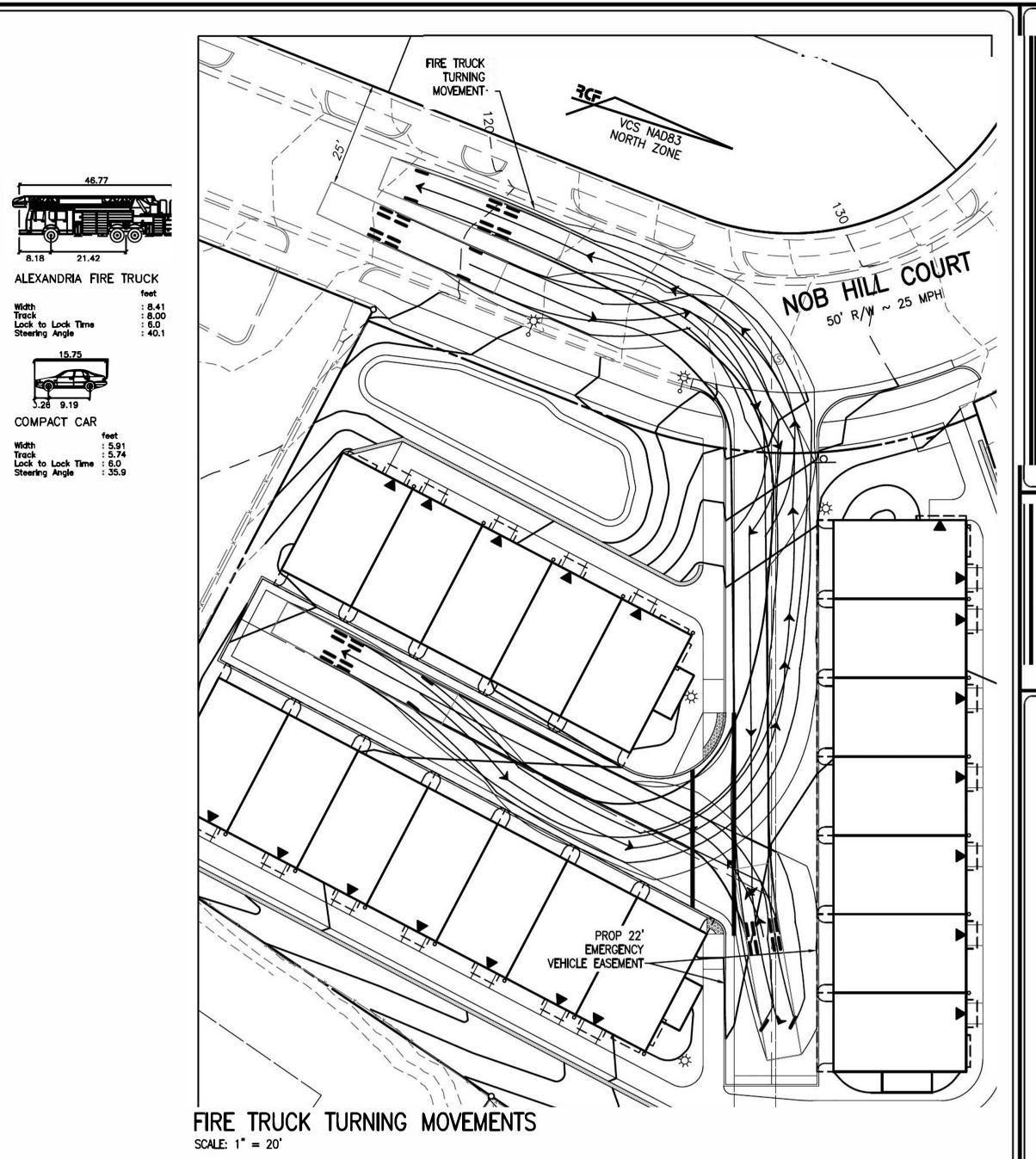
DESIGN: ARO

DATE: JAN, 2025

CHECKED: TJD SCALE: 1"=20'







PRELIMINARY DEVELOPMENT SITE F
WESTRIDGE TOWNS
(126 LONGVIEW DRIVE)
CITY OF ALEXANDRIA, VIRGINIA

DATE REVISION

APPROVED
SPECIAL USE PERMIT NO.

DEPARTMENT OF PLANNING & ZONING

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO.

DATE

DATE

DESIGN: ARO CHECKED: TJD

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DESIGN: ARO
CHECKED: TJD
SCALE: 1"=20'
DATE: JAN, 2025

TURNING MOVEMENTS

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

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FILE: 23-232

223\23232\DWG\DELIV\TURNING MOVEMENTS.d Jan 15 2025 - 3:38:48pm

**8**9

VICINITY MAP SCALE 1" = 200'

## EXISTING TREE TABLE:

918) 10" SHRUB

920) 5" CYPRESS

921) 5" CYPRESS

923) 11" CYPRESS

924) 9" CYPRESS

925) 21" MAGNOLIA

926) 21" HACKBERRY

927) 6" HACKBERRY

928) 10" MAGNOLIA

930) 2" DOGWOOD

931) 4" MAHONIA

933) 6" CYPRESS

934) 6" CYPRESS

936) 7" YEW

939) 21" YEW

940) 9" YEW

941) 3" ELM

943) 2" ELM

944) 3" ELM

945) 11" HOLLY

946) 3" TREE

947) 23" OAK

948) 12" HOLLY

949) 1" BOXWOOD

950) 12" HOLLY

951) 2" MAGNOLIA

952) 10" AZALEA

955) 3" PRIVET

984) 30" PEAR

985) 12" TREE

986) 10" TREE (DEAD)

929) 20" CRAPEMYRTLE

932) 9" CRAPEMYRILE

935) 30" CRAPEMYRILE

938) 12" MULBERRY

942) 2" MAGNOLIA

937) 4" TREE OF HEAVEN

922) 17" CRAPEMYRILE

901) 19" OAK 987) 8" TREE OF HEAVEN 902) 17" PRIVET 988) 8" TREE OF HAVEN 989) 9" TREE OF HAVEN 903) 10" REDCEDAR 904) 28" REDBUD 990) 64" TREE 905) 14" OAK 991) 55" OSAGE 906) 5" HACKBERRY 992) 16" HACKBERRY 993) 32" MAGNOLIA 907) 15" HOLLY 908) 10" REDCEDAR 994) 11" TREE (DEAD) 909) 14" REDCEDAR 995) 18" TREE (DEAD) 996) 19" TREE OF HEAVEN 910) 8" PRIVET 911) 10" PRIVET 997) 20" TREE OF HEAVEN 998) 18" TREE (TWIN) 912) 6" HACKBERRY 999) 9" TREE (DEAD) 913) 22" REDCEDAR 914) 11" MAPLE 1000)8" TREE OF HEAVEN 915) 8" MULBERRY 1001)9" HOLLY 916) 20" MAGNOLIA 1002)14" TREE OF HEAVEN 917) 29" REDCEDAR 1003)12" TREE OF HEAVEN

1004)11" TREE OF HEAVEN 1005) 6" TREE OF HEAVEN 919) 1" JAPANESE CAMELIA 1006)5" TREE OF HEAVEN 1008)18" TREE (TRIPLE) 1009)12" MAPLE 1010)15" PEAR 1011) 7" TREE OF HEAVEN 1012) 7" TREE OF HEAVEN 1013) 9" TREE OF HEAVEN 1014)10" TREE OF HEAVEN 1015) 33" TREE OF HEAVEN 1016) 24" ELM

1018) 6" TREE OF HEAVEN 1019)10" TREE OF HEAVEN 1020)8" TREE OF HEAVEN 1021)8" TREE OF HEAVEN 1022)10" TREE OF HEAVEN 1023)18" LOCUST 1024)18" ELM

1025)18" (DEAD) 1026) 16" TREE OF HEAVEN 1027)7" MAPLE 1028) 26" MAPLE 1029)41" ELM 1030)9" MAPLE

1031)9" HOLLY 1032)11" TREE OF HEAVEN 1033)6" TREE (DEAD) 1034)11" ELM 1035)11" TREE OF HEAVEN 1036)11" TREE OF HEAVEN 1037)12" TREE OF HEAVEN 1038)11" TREE OF HEAVEN

1071) 24" CRAPEMYRILE

1072) 28" CRAPEMYRTLE

1039) 7" TREE OF HEAVEN 953) 10" REDCEDAR 1040) 6" TREE OF HEAVEN 954) 1" JAPANESE CAMELIA 1041)12" TREE OF HEAVEN 1042)9" TREE OF HEAVEN 956) 5" ELAEAGNUS 1043)10" TREE OF HEAVEN 957) 18" REDCEDAR 1044)15" TREE OF HEAVEN 1045)11" TREE OF HEAVEN

958) 12" NANDINA 959) 6" NANDINA 1046)8" MAPLE 1047)16" REBBUD 960) 3" CHERRY 961) 2" HACKBERRY 1048)8" TREE OF HEAVEN 962) 3" MULBERRY 1049) 20" ELM 963) 11" HACKBERRY 1050)14" TREE OF HEAVEN 1051)15" LOCUST 1052)19" ELM

964) 8" WITCHHAZEL 965) 22" OAK 966) 10" MAPLE 1053)9" TREE OF HEAVEN 967) 9" CYRESS 1054) 9" TREE OF HEAVEN 968) 11" CYRESS 1055)15" TREE OF HEAVEN 969) 11" MAPLE 1056) 8" TREE OF HEAVEN 970) 14" CEDAR 1057) 9" TREE OF HEAVEN 971) 8" HOLLY 1058)6" TREE OF HEAVEN 972) 7" CYPRESS 1059)11" TREE OF HEAVEN 973) 7" MULBERRY 1060)36" TREE OF HEAVEN 1061) 24" REDBUD 1062)13" MAGNOLIA

974) 60" LINDEN 975) 18" LINDEN 1063) 4" PRIVET 976) 11" HACKBERRY 977) 23" MULBERRY 1064)10" TREE 978) 9" CEDAR 1065)1" PRIVET 979) 6" HOLLY 1066) 4" PRIVET 980) 12" CEDAR 1067)3" RHODODENDRON 981) 11" MULBERRY 1068) 8" RHODODENDRON 982) 20" PEAR 1069) 3" PRIVET 983) 13" REDBUD 1070)15" CRAPEMYRILE

1073) 3" MAPLE 1074)2" MAHONIA 1075)2" ELM 1076)8" MAPLE 1077)6" MAPLE 1078)13" BOXELDER 1079)3" TREE

TEXT LEGEND:

· = DEGREES = MINUTES (OR FEET) " = SECONDS (OR INCHES)  $\mathbf{z} = \mathbf{PERCENT}$ = NUMBER  $\mathbf{O} = \mathbf{AT}$ A = ARC

APPROX = APPROXIMATE BC = BOTTOM OF CURBBF = BASEMENT FLOORBM = BENCHMARKBSMT = BASEMENT BOL = BOLLARDCL = CLASSC/L = CENTERUNECLF = CHAIN LINK FENCE

CI = CURB INLETCONC = CONCRETEC&G = CURB & GUTTER DB = DEED BOOKE = EASTEB = ELECTRICAL BOX ESMT = EASEMENTEP = EDGE OF PAVEMENT FF = FINISH FLOOR

FH = FIRE HYDRANT FT = FEETGI = GRATE INLET G/L = GAS LINEGM = GAS METERG/S = GAS SERMCEIPF = IRON PIPE FOUND MV = MVERT

INTX = INTERSECTION LOC = LOCATIONLP = LIGHT POLE MH = MANHOLEMW = MONITORING WELL N = NORTHN/F = NOW OR FORMERLYOHW = OVERHEAD WIRE PG = PAGE

PP = POWER POLEPPF = PINCH PIPE FOUND R = RADIUSRCP = REINFORCED CONCRETE PIPE RET = RETAININGR/W = RIGHT-OF-WAYS = SOUTHSAN = SANITARYSEW = SEWER SQ. FT. = SQUARE FEET

STM = STORMSTR = STRUCTURE SW = SIDEWALKTM = TAX MAPTW = TOP OF WALL TYP = TYPICAL UP = UTILITY POLE VCS = VIRGINIA COORDINATE SYSTEM W = WESTW/L = WATER LINE WM = WATER METER

W/S = WATER SERVICE

WV = WATER VALVE

WW = WINDOW WELL

CURVE TABLE 
 CURVE
 RADIUS
 ARC
 LENGTH
 DELTA
 ANGLE
 TANGENT
 CHORD
 BEARING
 CHORD
 LENGTH

 C1
 110.00'
 87.00'
 45°18'57"
 45.92'
 N
 18°36'17"
 W
 84.75'

 C2
 203.29'
 28.15'
 7°55'59"
 14.10'
 S
 10°08'49"
 E
 28.12'
 45°10'06" 47.00' N 18°31'52" W EASEMENT CURVE TABLE CURVE RADIUS ARC LENGTH DELTA ANGLE TANGENT CHORD BEARING CHORD LENGTH
C4 113.00' 40.02' 20'17'29" 20.22' \$ 30'58'11" E 39.81'
C5 113.00' 22.05' 11'10'57" 11.06' \$ 15'13'58" E 22.02'
C6 113.00' 4.22' 2'08'31" 2.11' \$ 19'45'11" E 4.22' 2'08'31" 2.11' S 19\*45'11" E 62\*19'00" 3.02' S 41\*12'42" W 117\*41'00" 26.46' N 48\*47'18" W 5°04'26"

N 6,980,696.93

E 11,888,011.62

RE-SUBDIVISION LOTS

801, 802 & 803

JAMESA DUNCAN

N/F MARGO L CHISHOLM

124 LONGVIEW DRIVE

ALEXANDRIA, VA 22314

TAX MAP: 062.03-01-12

ZONE: R-8

USE: RESIDENTIAL

INSTR #090000971

#CM70

PARCEL

TOP=133.86

INV IN=124.39

INV OUT=124.18

N/F DANIEL & KEIRA NAKADA

125 LONGVIEW DRIVE

ALEXANDRIA, VA 22314

TAX MAP: 062.01-06-21

ZONE: R-8

USE: RESIDENTIAL

INSTR #090016647

o(922)

142.7

EASEMENT -HEREBY DEDICATED

S 14'06'48" E ~ 41.85' (905)

50' R/W ~ 25 MPH 137.7' 38 W APPROX LOC W/L 30 W

N/F ELLEN M & GEORGE A DAGUE

127 LONGVIEW DRIVE

ALEXANDRIA, VA 22314

TAX MAP: 062.01-06-22

ZONE: R-8

USE: RESIDENTIAL

INSTR #080015768

EASEMENT LINE TABLE

-PARCEL

PART OF PROPERTY OF

VIRGINIA STONNELL SELECMAN

MAPRROX LOCIGIL

STREET GRADE=±5.6%

N 1737'48" W ~ 57.27'

 $\times 143.2$ 

JAMES R DUMCAN

JO9

N/F ROBERT M LIPPMANN

200 LONGVIEW DRIVE ALEXANDRIA, VA 22314

TAX MAP: 062.01-08-08

ZONE: R-8

USE: RESIDENTIAL

INSTR #120016534

BENCHMARK #1

SAN MH

TOP = 143.18

INV IN=134.09

INV OUT=133.99

**APPROVED** 

SUBDIVISION CASE NO.

DIRECTOR

CHAIRMAN, PLANNING COMMISSION

DEPARTMENT OF PLANNING & ZONING

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

DATE

N 6,980,795.44

E 11,888,140.73

L1 N 72°22'12" E 152.31'
L2 S 17°37'48" E 22.00'
L3 S 72°22'12" W 35.36'
L4 S 10°03'12" W 134.69' L5 N 79°56'48" W 22.00' L6 N 10°03'12" E 99.71' L7 S 72°22'12" W 63.54' L8 N 72°22'12" E 144.28' L9 S 17°37'48" E 10.00' L10 S 72°22'12" W 49.18' 11 S 17'37'48" E 21.84' 12 S 10'03'12" W 109.21 L13 N 79\*56'48" W 10.00' L14 N 10\*03'12" E 106.74' L15 N 17\*37'48" W 19.37' L16 S 72°22'12" W 85.37'

**GENERAL NOTES:** 

1. TAX ASSESSMENT MAP #062.03-01-13 (LOT 705) & #062.03-01-09 (OUTLOT 2)

2. ZONE: R-8

3. OWNER/APPLICANT: OCH'S AT LONGVIEW LLC 228 SOUTH WASHINGTON STREET SUITE B30 ALEXANDRIA, VA. 22314 INSTRUMENT #240000194

4. TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88, PER FIELD GPS DATA REFERENCED TO THE RTK NETWORK LEICA, SMARTNET.

5. THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 (VCS 83), NORTH ZONE, US SURVEY FOOT UNITS AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY THAT TIES THIS BOUNDARY TO THE RTK NETWORK OF LEICA SMARTNET.

6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.

7. TITLE REPORT FURNISHED BY TRI COUNTY TITLES, INC., FILE #22-23-13509, DATED 08/14/2023 AND IS RELIED UPON AS ACCURATE BY THE SURVEYOR.

8. THESE LOTS SHALL UTILIZE THE PUBLIC SANITARY SEWER AND WATER ADJACENT TO THE PROPERTY.

9. THIS LOT IS IN ZONE X (UNSHADED) OF THE FEMA FLOOD INSURANCE RATE MAP #5155190037E.

10. THERE ARE NO KNOWN GRAVE SITES OR OBJECTS MARKING A PLACE OF BURIAL ON THIS

11. THIS SITE CONTAINS NO KNOWN CONTAMINATED SOILS, TOXIC OR HAZARDOUS MATERIALS, UNDERGROUND STORAGE TANKS OR AREAS WITH THE POTENTIAL TO GENERATE COMBUSTIBLE GASES AND IS NOT KNOWN TO BE WITHIN 1,000 FEET OF A FORMER SANITARY LANDFILL, DUMP OR DISPOSAL AREA.

12. STORMWATER MANAGEMENT AND RUNOFF FROM THIS PROPOSED LOT WILL BE PROVIDED TO THE SATISFACTION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES. THERE ARE NO CHANGES IN DRAINAGE PATIERNS PROPOSED WITH THIS PLAT.

13. THERE ARE NO FLOODPLAINS OR RESOURCE PROTECTION AREAS (RPA) LOCATED ON THIS PROPERTY.

LOT TABULATION PROPOSED LOTS (R-8)

TOTAL SITE AREA\_ 42,344 SQ. FT. OR 0.9721 AC. PROPOSED NUMBER OF LOTS\_ STREET DEDICATION\_ 458 SQ. FT. OR 0.0105 AC. MIN. LOT AREA REQUIRED \_8,000 SQ. FT. OR 0.1837 AC. MIN. LOT AREA PROVIDED (LOT 800) \_8,019 SQ. FT. OR 0.1841 AC. \_33,867 SQ. FT. OR 0.7775 AC. (LOT 801) MINIMUM LOT WIDTH REQUIRED LOT WIDTH PROVIDED (LOT 800) 66.47 (LOT 801) 181.60 MINIMUM LOT FRONTAGE REQUIRED\_ LOT FRONTAGE PROVIDED (LOT 800) (LOT 801) \_154.03

LOT TABULATION EXISTING LOTS

TOTAL SITE AREA 42,344 SQ. FT. OR 0.9721 AC. EXISTING NUMBER OF LOTS 41,108 SQ. FT. OR 0.9437 AC. LOT 705\_ OUTLOT #2 \_1,237 SQ. FT. OR 0.0284 AC.

REVISION

DRAWN: KKH/AA SCALE: 1" = 20'DATE: 12/13/2024

WESTRID(
AN OLD CREEK
N OF LOT 705, B
UNCAN, ET-UX, D

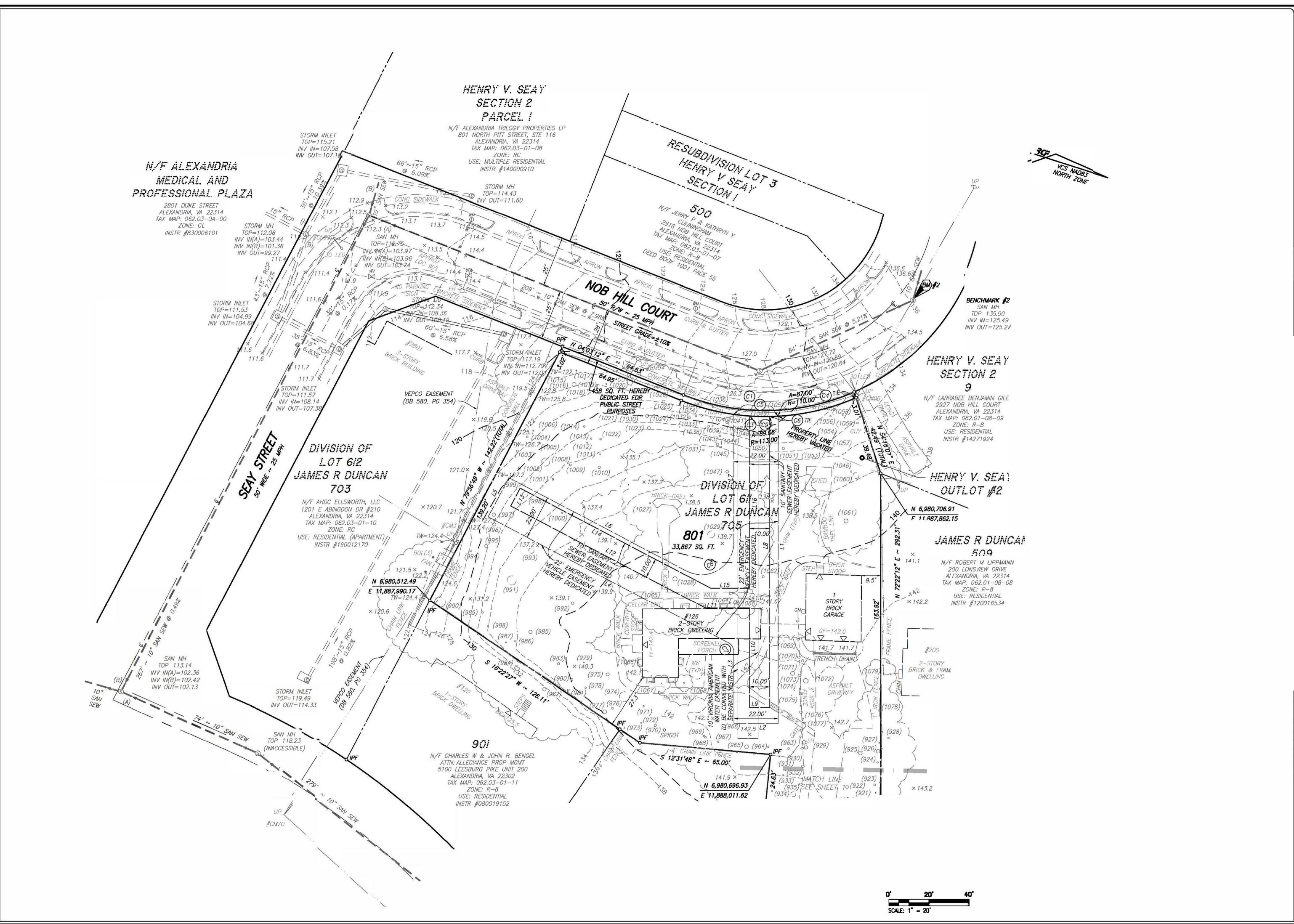
PRELIMINARY PLAT

SHEET 21 **-- 22** 

Wim J. De Sutter Lic. No. 3462 DECEMBER 13, 2024 ND SURVEY

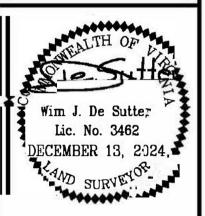
SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY DELINEATED BY THIS PLAT, AND THAT IT IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT THIS IS A SUBDIVISION OF ALL THE LAND CONVEYED BY HOLLIS JEFFERSON NESMITH TRS. & EUDORA ACHSAH NESMITH TRS. TO OCH'S AT LONGVIEW LLC BY DEED DATED JANUARY 8TH, 2024 AND RECORDED AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA AT INSTRUMENT #240000194, AND IS WITHIN THOSE BOUNDARIES; AND THAT ALL REQUIRED MONUMENTS HAVE BEEN INSTALLED WHERE INDICATED; EXCEPT THOSE THAT WILL BE INSTALLED AT A LATER DATE BUT BEFORE THE COMPLETION OF UNDER MY HAND THIS 13TH DAY OF DECEMBER, 2024.



E ASSOCIATES, INC.

ENGINEERING LAND SURVEYING



WESTRIDGE TOWNS

AN OLD CREEK HOMES COMMUNITY

A RESUBDIVISION OF LOT 705, BEING A RESUBDIVISION OF LOT 611

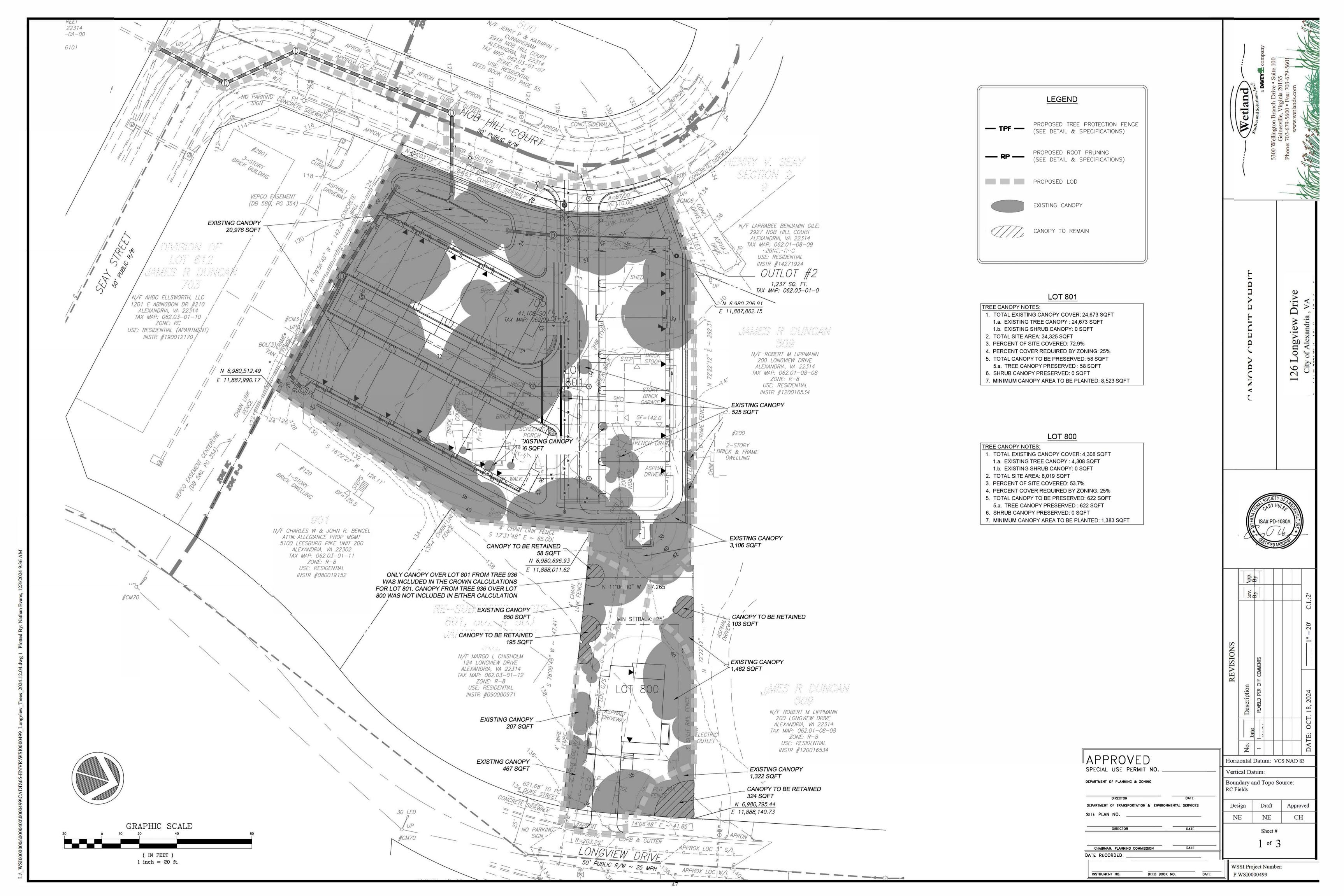
JAMES R. DUNCAN, ET—UX, DEED BOOK 467, PAGE 524 AND
ITLOT #2, SECTION TWO, HENRY V. SEAY, DEED BOOK 521, PAGE 3

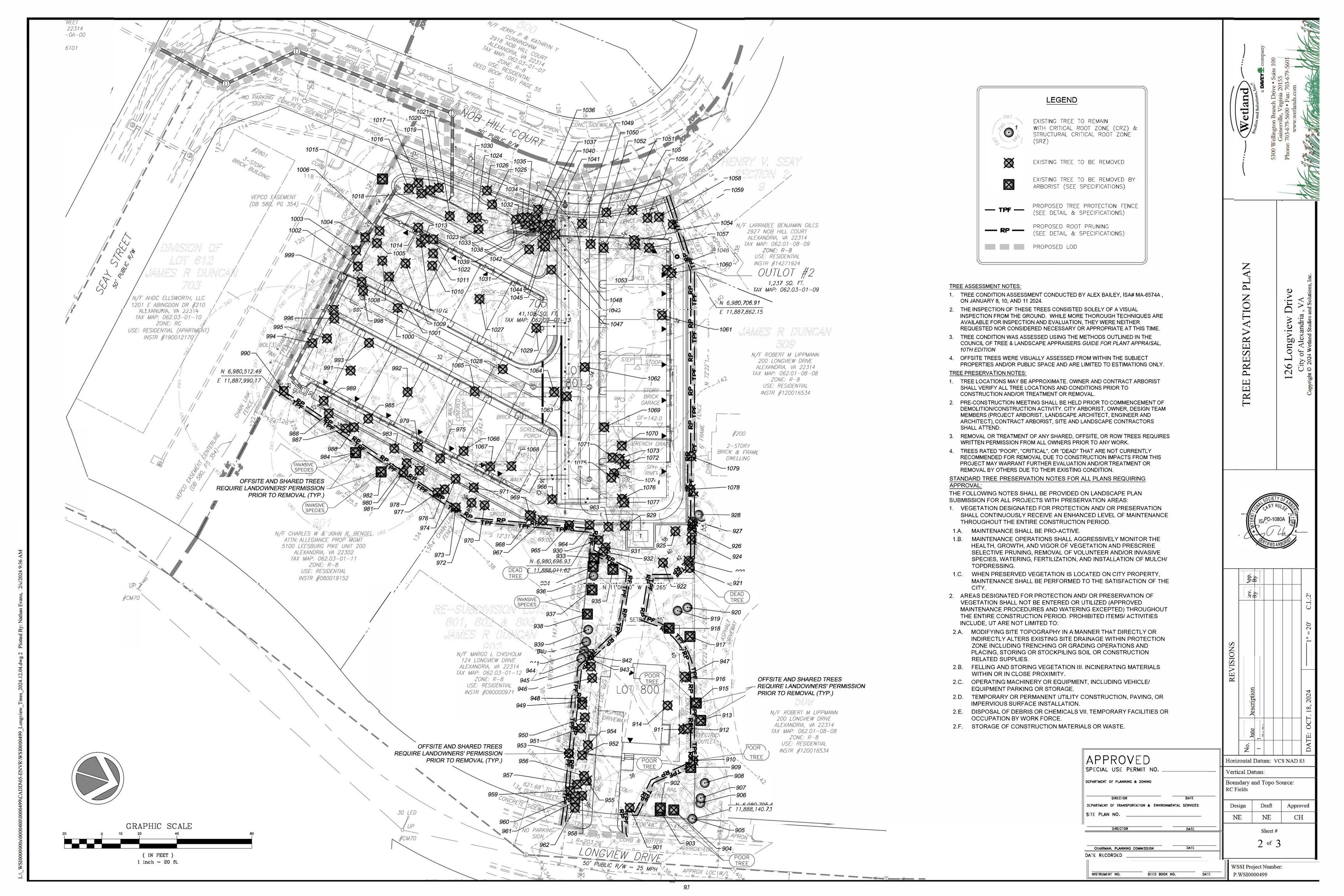
	<u> </u>
DATE	REVISION

DRAWN: KKH/AA SCALE: 1" = 20' DATE: 12/13/2024

PRELIMINARY PLAT

SHEET 22 of 22
FILE: 23 – 232





$\neg$			5	1										NAME OF THE PARTY			en savora en entre e			
	Diameter at 4.5 feet above <b>G</b>	Common Name	Botanical Name	Condition Rating %	Condition Rating	ee	Approx Canopy Radius (FT)	Approx Tree Height (FT)	Number of Stems	Root eet	City of Alexandria Critical Root Zone	Removal Rv Arborist		Tree Protection Fence	n Inspections	Watering	atting	Construction Sal	Additional Notes	Condition Notes
	20 (	oak, pin	Quercus palustris	65%	Good	NO	20	65	1	9	20	Χİ	П				П	Ϊ		Compacted Soils, Small DW (1-2"), Broken Limbs, Branch Decay, Vines
	2,1,1,1,1,1,1	privet spp.	Ligustrum spp.	60%	Fair	NO	6	14	7	1	8	x			Ш					Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines
Ī	91	redcedar, eastern	Juniperus virginiana	40%	Poor	NO	6	30	1	4	9	X	П		П		П			One Sided, Suppressed, Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Broken Limbs, Branch Decay, Vines
t						i i	-			-		1	11	+	H		H	1		Trunk Decay, Included Bark/Weak Union, Co-Dominant Stems, Large DW
-	14,12	redcedar, eastern	Juniperus virginiana	35%	Poor	NO	16	55	2	8	18	X	+	+	╫	-	Н	$\dashv$	growing into fence and	(3"+), Small DW (1-2"), Broken Limbs, Branch Decay, Vines
-				65% 60%		NO NO	20	60 35		8	17	_	Н	X	$\sqcup$	_	Н	4	side walk four feet offsite	Compacted Soils, Surface Roots, Small DW (1-2"), Vines, Hardware Narrow Crown, Small DW (1-2"), Vines
ŀ			Cettis occidentaris			Ħ	J			3		+	İ		$^{\dagger\dagger}$		H	$\dashv$		Suppressed, Included Bark/Weak Union, Co-Dominant Stems, Small DW (
ŀ	7,6,5,3,3	holly spp.	llex spp.	55% 	Fair	NO	9	30	5	5	11	-	++	<u> </u>	₩	-	H	$\dashv$		2"), Vines One Sided, Excessive Lean, Large DW (3"+), Small DW (1-2"), Serious
	11	redcedar, eastern	Juniperus virginiana	20%	Critical	NO	8	25	1	5	11	-	$\perp$	X	$\sqcup$		Н	4		Decline, Broken Limbs, Branch Decay, Hardware Basal Decay, Trunk Decay, Included Bark/Weak Union, Co-Dominant
		redcedar, eastern			Critical		12	35		9	19	x			Ш		Ш			Stems, Vines
		privet, Chinese privet, Chinese		55% 55%		NO NO	4 5	10 12		2	8 2		+		₩	_	+	+	-	Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines
						NO	8	40		3	8 2			1	$\Box$			$\downarrow$		Small DW (1-2"), Vines
,																			3 feet offsite, estimated	Basal Decay, Trunk Decay, Included Bark/Weak Union, Co-Dominant Stems, Large DW (3"+), Small DW (1-2"), Low Vigor, Serious Decline,
		redcedar, eastern maple, Japanese		20%	Critical	NO NO	10 8	18 14		5	11	X	$\sqcup$	$\bot$	$\coprod$		Щ		dbh, topped	Broken Limbs, Branch Decay, Vines  Co-Dominant Stems, Mechanical Damage, Broken Limbs, Vines
							ď			2	8 2	1	H	+	$\dashv$		H	$\dashv$	tree is one foot off of	Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Low
	7	mulberry spp.	Morus spp.	40%	Poor	NO	8	25	1	3	8	X	H	+	$\dashv$		$\dashv$	$\dashv$	property line	Vigor, Serious Decline, Vines, Hardware Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Broken
	5,4,4,4,3,2,2	magnolia, star	Magnolia stellata	50%	Fair	NO	10	12	7	4	9 2	x _			Ш					Limbs, Branch Decay, Vines
	20.10	redcedar, eastern	Juniperus virginiana	50%	Fair	NO	15	70	2	10	22	x								Included Bark/Weak Union, Co-Dominant Stems, Large DW (3"+), Small DW (1-2"), Broken Limbs, Branch Decay, Fungal Fruiting Bodies, Vines
	1,1	ZZ Unknown shrub	ZZ Unknown shrub	55%	Fair	NO	5	6	2	1	8	X	$\Box$		$\Box$		$\Box$	$\Box$		Co-Dominant Stems
	1,	Japanese camellia	x Cupressocyparis	60%		NO	2	4	1	0	8	+	H	X	H		H	$\dashv$		Vines
	5 (			50%	Fair	NO	6	25	1	2	8	1	$\coprod$	х	$\coprod$		Щ	$\perp$		One Sided, Small DW (1-2"), Vines
	5	cypress, Leyland	x Cupressocyparis leylandii	0%	Dead	YES	0	12	1	2	8 2	x					Ш			
	7.5.2.1.2.1	crapemyrtle, common	Lagerstroemia indica	55%	Fair	NO	12	30	6	4	9 :	x			$\prod$		$\prod$			Included Bark/Weak Union, Co-Dominant Stems, Large DW (3"+), Small DW (1-2"), Broken Limbs, Branch Decay, Vines
			x Cupressocyparis									1	$\dagger \dagger$	$\top$	$\dagger \dagger$		$\forall$			One Sided, Included Bark/Weak Union, Co-Dominant Stems, Small DW (1
			leylandii x Cupressocyparis			NO	5	30		3	8 2	1	H	+	H		H	$\dashv$		2"), Vines
	10	cypress, Leyland	leylandii	55%	Fair	NO	5	30	1	5	10	X	$\vdash$		$\dashv$	_	Н	+		Small DW (1-2"), Broken Limbs, Branch Decay, Vines Buried Root Collar, Mechanical Damage, Small DW (1-2"), Broken Limbs,
	12,10,8	magnolia, southern	Magnolia grandiflora	55%	Fair	NO	12	35	3	8	18	x _	Ш	$\perp$	Ш		Ш			Branch Decay, Vines
	12,12	hackberry, common	Celtis occidentalis	55%	Fair	NO	15	45	2	8	17	x			Ш		Ш			Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines, Hardware
				60%		NO	9	40	1	3	8 2			$\bot$	$\Box$		$\Box$	1		Small DW (1-2"), Vines
	3,3,2,1	magnolia, southern	Magnolia grandiflora	50%	Fair	NO	6	14	4	2	8		x	$\times   \times$	x		Ш	x	offsite by three feet	Buried Root Collar, Included Bark/Weak Union, Co-Dominant Stems, Sma DW (1-2"), Broken Limbs, Branch Decay, Vines
	5432111	crapemyrtle, common	Lagerstroemia indica	60%	Fair	NO	q	30	7	3	8 2	,	П		П		П	$\Box$	extension cord in tree	Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines, Hardware
			Cornus florida	65%	Good	NO	4	12		1	8 2	x	$\dagger$	-	$\forall$		$\Box$	$\exists$	extension cord in tree	Buried Root Collar, Vines
	1 1	Leatherleaf mahonia	Berberis bealei	70%	Good	NO	2	4	1	0	8 2	X		4	+			4		Buried Root Collar
	1	crapemyrtle, common		50%	Fair	NO	3	6	1	0	8	x _	Ш		Ш		Ш	$\perp$		Suppressed, Included Bark/Weak Union, Co-Dominant Stems, Vines
	9		x Cupressocyparis leylandii	50%	Fair	NO	8	35	1	4	9	x			Ш					Small DW (1-2"), Vines
	7		x Cupressocyparis leylandii	0%	Dead	YES	0	6	1	3	g	v			П		П	T	topped	Mechanical Damage
•		cypress, Leyland	Toylandii	0,0	Dead	120		Ť		J	$\dashv$	+^		-2-	Ħ	_	Ħ	$\dashv$	юрреч	*
	8,7,6,6,5,5,4,4,4, 3,3,2,2	crapemyrtle, common	Lagerstroemia indica	65%	Good	NO	20	30	13	8	18	x			Ш		Ш			Included Bark/Weak Union, Co-Dominant Stems, Mechanical Damage, Small DW (1-2"), Vines
	2 1	yew spp.	Taxus spp.	55%	Fair	NO	6	14	1	1	8	1		Х	$\Box$		$\Box$			Vines, Hardware
	5 1	tree of heaven	Ailanthus altissima	50%	Fair	NO	3	30	1	2	8	X	+	+	Н	+	Н	+		Small DW (1-2"), Vines Basal Decay, Included Bark/Weak Union, Co-Dominant Stems, Small DW
	4,3,2	mulberry spp.	Morus spp.	50%	Fair	NO	10	20	3	2	8	X	$\perp$	_	Н		Н	$\dashv$		2"), Branch Decay, Vines
	4,3,3,3,2,2,2,2,2,		_																	Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Broken
	1,1,1,1,1	yew spp.	Taxus spp.	50%	⊢aır	NO	7	18	14	4	8	+	H	<u> </u>	H		H	1		Limbs, Branch Decay, Vines Narrow Crown, Co-Dominant Stems, Mechanical Damage, Small DW (1-2)
		yew spp.	Taxus spp.	45%		NO	2	12		1	8			XX			Ш	X		Broken Limbs, Vines
			Magnolia grandiflora	50%	Fair	NO NO	2	20 8	1	0	8 2	x	+^	XX	+		H	X		Vines  Mechanical Damage, Small DW (1-2"), Low Vigor, Vines
		elm spp.	Ulmus spp.	65%	Good	NO NO	4	20 12		1	8		3.1.	XX			П	X		Fungal Fruiting Bodies One Sided, Small DW (1-2")
		elm spp. holly spp.	Ulmus spp. llex spp.	50% 45%		NO NO	5	6	3	1	8 2		1	XX	+	_	H	X	topped	Mechanical Damage, Broken Limbs, Vines
		Boxwood	Buxus spp.	60%	Fair	NO	3	8	1	0	8 2		П		$\Box$		П	$\Box$		Co-Dominant Stems, Small DW (1-2"), Vines Included Bark/Weak Union, Co-Dominant Stems, Large DW (3"+), Small
				60%		NO	22	80	1	12	26				Ш		Ш			DW (1-2"), Vines
		holly, American Boxwood	·	60% 65%		NO NO	5	12 4	2	1	8 2		$\prod$		+		H	-		Suppressed, Co-Dominant Stems Co-Dominant Stems, Vines
	2,1,1	holly spp.	llex spp.	65%	Good	NO	6	8	3	1	8 2	X		-1	$\Box$				SOATIOU	Included Bark/Weak Union, Co-Dominant Stems, Vines
		magnolia, southern Azalea	Magnolia grandiflora Rhododendron spp.			NO NO	4	8	1	0	8 2		H	-	+	-	H	$\dashv$		Mechanical Damage, Small DW (1-2"), Vines
_							46	2-			$\neg$		$\dagger \dagger$	+	$\dagger \dagger$		$\forall$	$\forall$		Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines,
_		redcedar, eastern Japanese camellia		55% 60%		NO NO	10	35 2	1	6	13 2		H	+	H		H	$\dashv$		Hardware Vines
		privet spp.	Ni .	60%		NO	2	4	1	0	8 2		$\parallel$		$\parallel$		$\parallel$		wax leaf ligustrum	Mechanical Damage
	1,1,1,1	elaeagnus spp.	Elaeagnus spp.	55%		NO	4	12	4	1	8						$\prod$		thorny olive	Suppressed, Included Bark/weak Union, Co-Dominant Stems, Small DW ( 2")
	18 ו	redcedar, eastern	Juniperus virginiana	60%	Fair	NO	10	55	1	8	18	X		1	Ħ		П			Small DW (1-2"), Broken Limbs, Branch Decay, Vines
		Nandina Nandina		55% 50%		NO NO	2	8 6	3	1	8 2		+		+		H	$\dashv$		Included Bark/Weak Union, Co-Dominant Stems Included Bark/Weak Union, Co-Dominant Stems
			Prunus avium	55%		NO	8	20	3	1	8 2									Co-Dominant Stems, Vines
	-																			
		Wetland																		

Tree Protection Action Key

Project: P.WSI0000499

Date: <u>DEC. 2024</u>

1   1		DBH			۰			Т	14			CRZ						easure	25	
	Troo #	(Diameter at 4.5 feet above	Common Name	Botanical Name	Condition Rating %	Condition Rating	Dead Tree (Y/N)		Approx Tree Height (FT)	ι≃г	Structural Critical Root Zone (radius) in Feet	City of Alexandria Critical Root Zone	Removal	borist		ons	Watering	Temp Root Protection Matt	Additional Notes	Condition Notes
	961			Celtis occidentalis	55%		NO	3	12	1	1	8		+		+	_	$\vdash$		
	962 963			Morus spp. Celtis occidentalis	55% 55%		NO NO	12	20 40	1	5	8 12		+	-	++	+	++-		One Sided, Included Bark/Weak Union, Co-Dominant Stems  Large DW (3"+), Small DW (1-2"), Low Vigor, Stressed, Vines
1   1	303	12		Hamamelis	0070	ı alı		- 12		+	7	-12	<del>^</del> +	+	$\vdash$	++	+	++	1	Large DVV (5 · ), Small DVV (1-2 ), LOW Vigor, Gressed, Villes
	964	1,1,1			65%	Good	NO	5	6	3	1	8	x			Ш				Included Bark/Weak Union, Co-Dominant Stems
1   1	965			Quercus phellos			NO	25	90	1	12	27		T		$\top$				Small DW (1-2")
4		1.0														П				Surface Roots, Trunk Decay, Large DW (3"+), Small DW (1-2"), Low Vigor,
l I .	966	11	maple, sugar	Acer saccharum	45%	Fair	NO	8	30	1	5	11	<u> </u>	+		++	-	++		Stressed, Broken Limbs, Branch Decay, Fungal Fruiting Bodies
1	967	10		x Cupressocyparis leylandii	55%	Fair	NO	8	45	1	5	10	x			Ш				Small DW (1-2"), Broken Limbs, Vines
1		10		x Cupressocyparis	0070		1,0	-		┿	+		$\stackrel{\sim}{+}$	+		+	+	+		Tomail 211 (12 ), Broken Emiles, Villes
	968	14		leylandii	60%	Fair	NO	10	45	1	6	14	x							Mechanical Damage, Small DW (1-2"), Broken Limbs, Vines
																П			growing into playground	
111	969	14	maple, red	Acer rubrum	55%	Fair	NO	12	50	1	6	14	v			ш			and girldimg rope around trunk	Surface Roots, Trunk Decay, Small DW (1-2"), Hardware
	505	14	mapic, rea	Accirabiani	0070	ı un		- '-	- 50	+	4		<del>^</del> +	+		++	+	++	hose wrapped around	Currace Roots, Trank Beday, Small BW (1-2 ), Hardware
1	970	15	cedar, deodar	Cedrus deodara	60%	Fair	NO	12	65	1	7	15	x			Ш			root flare	Small DW (1-2"), Vines, Hardware
]   [														$\sqcap$		П				Included Bark/Weak Union, Co-Dominant Stems, Mechanical Damage,
	971	4,3	holly, American	llex opaca	60%	Fair	NO	5	14	2	2	8	X	+	$\vdash$	+	+	++	rubber house wrapped	Broken Limbs, Vines
	972	8	cypress, Leyland	x Cupressocyparis leylandii	60%	Fair	NO	6	40	1	4	8	$\mathbf{x}$							Small DW (1-2"), Vines, Hardware
									$\overline{}$	$\top$			$\top$	$\dagger \dagger$	$\vdash$	+				Included Bark/Weak Union, Co-Dominant Stems, Large DW (3"+), Small
]	973	7,6,3,5,4,4,3	mulberry spp.	Morus spp.	55%	Fair	NO	15	35	7	6	13	X	Ш		$\coprod$		$\perp \perp$	growing into fence	DW (1-2"), Vines, Hardware
		5,5,4,4,4,3,3,3,3,																	bunch of root sprouts from an old dead	Included Bark/Weak Union, Co-Dominant Stems, Mechanical Damage,
$\{ \mid \mid$	974		linden, American	Tilia americana	50%	Fair	NO	12	40	16	6	12	$\mathbf{x}$						basswood	Small DW (1-2"), Vines
														11	$\vdash$	++	1			
1		5,5,4,4,4,3,3,3,3,3,																		
1	975		linden, American	Tilia americana	50%		NO	8		16	6	12		$\dashv$	_	+	-	++		Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines
4	976	12	hackberry, common	Celtis occidentalis	05%	Good	NO	10	55	-1	ᅱ	12	쑤	+	$\vdash$	++	+	++-		Small DW (1-2"), Vines  Excessive Lean, Included Bark/Weak Union, Co-Dominant Stems, Small
1	977	6,4,3,3,2	mulberry spp.	Morus spp.	45%	Fair	NO	10	35	5	4	9	x							DW (1-2"), Vines
								$\neg$	$\neg$	$\overline{}$	$\neg$		$\top$	$\dashv \dashv$	$\vdash$	++	T	++	rubber hose girdling root	
1	978	10	cedar, deodar	Cedrus deodara	55%	Fair	NO	6	50	1	5	10	X	$\perp$		$\sqcup$	1	44	flare	Small DW (1-2"), Vines, Hardware
111	979	43	holly, American	llex opaca	55%	Fair	NO	5	14	2	2	8	Y						rubber hose around root flair	Trunk Decay, Co-Dominant Stems, Mechanical Damage, Vines, Hardware
- 20	373	4,0	nony, American	пех ораса	0070	ı alı		<del>- 1</del>				<del>-</del>	<del>^</del> +	+	$\vdash$	++	+	++-	rubber hose around root	Trunk Becay, 66-Borninant Stems, Weenanical Barnage, Vines, Hardware
1	980	13	cedar, deodar	Cedrus deodara	60%	Fair	NO	5	55	1	6	13	x						flair	Narrow Crown, Small DW (1-2"), Vines, Hardware
	004	6.5	mouth a series and		400/	D		_	46							П			Annual	Excessive Lean, Mechanical Damage, Large DW (3"+), Small DW (1-2"),
1 4	981	6,5	mulberry spp.	Morus spp.	40%	Poor	NO	-4	16	2	4	8	<del>X</del>	+	$\vdash$	+	+	++	topped offsite by 5 feet,	Serious Decline Trunk Decay, Included Bark/Weak Union, Co-Dominant Stems, Large DW
111	982	15	pear, Callery	Pyrus calleryana	40%	Poor	NO	15	50	1	7	15	,	(		Ш			sapsucker holes	(3"+), Small DW (1-2")
								一		T	十		Ť	11	$\vdash$	$\Box$	Ť	+		Excessive Lean, Large DW (3"+), Small DW (1-2"), Serious Decline, Broken
1	983	15	redbud, eastern	Cercis canadensis	40%	Poor	NO	20	35	1	7	15	X	$\perp$	$\perp$	$\sqcup$	_	4		Limbs, Branch Decay, Vines
1	984	30	pear, Callery	Pyrus calleryana	40%	Poor	NO	20	65	1	14	45	Ι,	, I		$\perp$			offsite by three feet	Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Serious Decline, Broken Limbs, Branch Decay, Vines
111	304	30	pear, Gallery	i yius canciyana	40 70	- 001				+	<del>''</del>	-	ť	+		+	+	+	orisite by timee reet	Large DW (3"+), Small DW (1-2"), Serious Decline, Broken Limbs, Branch
	985	12	ZZ Unknown tree	ZZ Unknown tree	35%	Poor	NO	12	55	1	5	12	x							Decay, Vines
1	006	44	77 University on a s	77 Unknown onen	00/	Dood	VEC		20		_	44				П				
	986 987			ZZ Unknown snag Ailanthus altissima	55%	Dead Fair	YES NO	15	20 55	1	5	11 9		+	-	+	+	+		Large DW (3"+), Small DW (1-2"), Vines
1   1			area or meaver	/ manting antiodinia	0070		110			╅		7	+	+	$\vdash$	++	+	++		Narrow Crown, Large DW (3"+), Small DW (1-2"), Low Vigor, Stressed,
1	988		tree of heaven	Ailanthus altissima	45%		NO	15	55	1	5	10		$\perp$		$\perp$				Vines
	989	10	tree of heaven	Ailanthus altissima	55%	Fair	NO	12	55	1	5	10	X			$\perp$		$\perp$		Large DW (3"+), Small DW (1-2"), Low Vigor, Stressed, Vines
																11				Excessive Lean, Basal Decay, Trunk Decay, Included Bark/Weak Union, Co- Dominant Stems, Low Vigor, Stressed, Serious Decline, Broken Limbs,
-	990	24,23,17	ZZ Unknown tree	ZZ Unknown tree	35%	Poor	NO	25	60	3	17	56	x						possibly a siberian elm	Branch Decay, Hardware, Overhead Utilities
								一	一		寸	一	Ť	$\top$		11				Basal Decay, Trunk Decay, Included Bark/Weak Union, Co-Dominant
1	991			Maclura pomifera	45%		NO	30	65	4	15	51	_	$\bot$		$\sqcup$				Stems, Large DW (3"+), Small DW (1-2"), Broken Limbs, Branch Decay
	992	19	hackberry, common	Celtis occidentalis	60%	rair	NO	25	80	1	9	19	<u> </u>	+	-	$\vdash$			Awesome stately tree,	Basal Decay, Large DW (3"+), Small DW (1-2"), Vines Full Crown, Surface Roots, Large DW (3"+), Small DW (1-2"), Broken
$\{ \mid \mid$	993	35	magnolia, southern	Magnolia grandiflora	80%	Good	NO	30	60	1	16	53	$ \mathbf{x} $						deserves to be saved	
											$\neg$			$\top$		$\top$				
	994	13	walnut, black	Juglans nigra	0%	Dead	YES	0	18	1	6	13	X	$\sqcup$		$\sqcup$				
$  \cdot  $	995	13.9	ZZ Unknown snag	ZZ Unknown snag	0%	Dead	YES	ام	35	2	7	15	x							Included Bark/Weak Union, Co-Dominant Stems, Vines
	996			Ailanthus altissima	50%		NO	12	55	1	9	20		+		+		+		Large DW (3"+), Small DW (1-2"), Vines, Overhead Utilities
			1							$\top$		一	$\top$	$\dagger \dagger$	$\top$	$\dagger \dagger$				Mechanical Damage, Large DW (3"+), Small DW (1-2"), Vines, Overhead
1	997	14,9	tree of heaven	Ailanthus altissima	45%	Fair	NO	10	40	2	7	17	X	$\Box$		$\sqcup$				Utilities
																				Included Bark/Weak Union, Co-Dominant Stems, Large DW (3"+), Small DW (1-2"), Low Vigor, Stressed, Serious Decline, Broken Limbs, Branch
$\{ \mid \mid$	998	18	ZZ Unknown species	ZZ Unknown species	35%	Poor	NO	15	60	1	8	18	$\mathbf{x}$							Decay, Vines
1												寸	T	$\top$		T				
1	999			ZZ Unknown snag		Dead	YES NO	0	20	1	5	12		$\bot$		$\perp$	-	+		Vines
]	1000			Ailanthus altissima llex opaca	50% 60%		NO NO	6	40 20	1	3	8		+	-	+		++		Small DW (1-2"), Low Vigor, Stressed, Vines Included Bark/Weak Union, Co-Dominant Stems, Vines
	.501	3	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		2370			<del>-</del>		+		7		+		+	+	+		Large DW (3"+), Small DW (1-2"), Low Vigor, Stressed, Broken Limbs,
	1002	16,8	tree of heaven	Ailanthus altissima	45%	Fair	NO	16	55	2	8	18	x			Ш				Branch Decay, Vines, Overhead Utilities
1	1000	40	troo of begues	Ailanthus altississ	400/	Door	NO.		F.F.			12	V							Large Dŵ (3"+), Small Dŵ (1-2"), Serious Decline, Broken Limbs, Branch
1	1003	13	tree of heaven	Ailanthus altissima	40%	Poor	NO	ь	55	1	6	13	4	+	-	+		+		Decay, Vines, Overhead Utilities  Large DW (3"+), Small DW (1-2"), Serious Decline, Broken Limbs, Branch
]	1004	14	tree of heaven	Ailanthus altissima	45%	Fair	NO	8	65	1	6	14	$\mathbf{x}$							Decay, Vines, Overhead Utilities
									$\neg$			$\neg$	$\top$	+	$\top$	$\dagger \dagger$				One Sided, Large DW (3"+), Small DW (1-2"), Broken Limbs, Branch Decay,
	1005			Ailanthus altissima	45%		NO	8	65	1	3	8		$\perp$		Ш		$\sqcup$		Vines, Overhead Utilities
	1006	6	tree of heaven	Ailanthus altissima	50%	Fair	NO	6	45	1	3	8	X	+		$\Box$				Narrow Crown, Large DW (3"+), Small DW (1-2"), Overhead Utilities  Basal Decay, Trunk Decay, Included Bark/Weak Union, Co-Dominant
<u> </u>	1008	18.16.14	ZZ Unknown species	ZZ Unknown species	25%	Poor	NO	20	65	3	13	28	$\mathbf{x}$							Stems, Low Vigor, Stressed, Serious Decline, Vines
]	1009			Acer platanoides		Good		22	70	1	6	14		+		+				Large DW (3"+), Small DW (1-2"), Vines
														$\top$		$\top$				Basal Decay, Trunk Decay, Included Bark/Weak Union, Co-Dominant
$\{ \mid \mid$	1010	40.40	near Callons	Pyrus collegions	250/	Poor	NO	10	E0		7	16	, l							Stems, Large DW (3"+), Small DW (1-2"), Serious Decline, Broken Limbs, Branch Decay, Vines
1	1010	·		Pyrus calleryana Ailanthus altissima	55%		NO NO	10	50 60	2	3	16 8		+	+	+	+	++		Narrow Crown, Small DW (1-2"), Broken Limbs, Branch Decay, Vines
1	1012			Ailanthus altissima	55%		NO	6	65	1	3	8		+		++		++		Narrow Crown, Small DW (1-2"), Broken Limbs, Branch Decay, Vines
1   '		•						-1		-1		-1		1 1			-1		1	, , , , , , , , , , , , , , , , , , , ,

Tree Protection Action Key

Wetland

Page 2 of 4

APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO.

Project: <u>P.WSI0000499</u>

Horizontal Datum: VCS NAD 83 Vertical Datum: Boundary and Topo Source: RC Fields

NE NE CH Sheet # 3 of 3

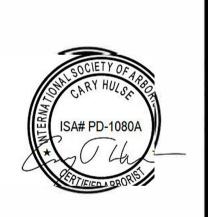
WSSI Project Number: P.WSI0000499

DATE RECORDED INSTRUMENT NO. DEED BOOK NO. DATE

Date: <u>DEC. 2024</u>

	Date: <u>DEC. 202</u>	<u>24</u>								Tree	Prot	ectio	on A	Actio	n Ke	<b>Э</b> у			Project: <u>P.WSI0000499</u>
	DBH	1		8			]. :	<u> </u>		Jon	-I I	10		rvatio			ires		
Tree #	(Diameter at 4.5 feet above grade)	Common Name	Botanical Name	Condition Rating	Condition Rating	Dead Tree (Y/N)	Approx Canopy Radius (FT)	Approx Iree Heig (FT)	Structural Critical Root	City of Alexandria Critical	Removal	Root Prune	Tree Protection Fence	Mulch Tree Condition Inspections	Watering	Temp Root Protection Matt Root Aeration Matting	Construction	Additional Notes	Condition Notes
1013	9	tree of heaven	Ailanthus altissima	55%	Fair	NO	8	65	1	4 9	x								Basal Decay, Large DW (3"+), Small DW (1-2"), Broken Limbs, Branch Decay, Vines
							10		1		$\Box$	T	Ħ				Ħ		Basal Decay, Large DW (3"+), Small DW (1-2"), Low Vigor, Stressed,
1014	13	tree of heaven	Ailanthus altissima	50%	Fair	NO	10	65	1 (	6 13	3 X	-	++	+		+	₩		Broken Limbs, Branch Decay, Vines  Basal Decay, Co-Dominant Stems, Large DW (3"+), Small DW (1-2"),
1015	13,13	tree of heaven	Ailanthus altissima	50%	Fair	NO	12	65	2	8 18	3   1	x	Ш				Ш		Broken Limbs, Branch Decay, Vines, Overhead Utilities
											Ш						Н		Excessive Lean, Basal Decay, Trunk Decay, Included Bark/weak Union, Co- Dominant Stems, Large DW (3"+), Small DW (1-2"), Low Vigor, Stressed,
1016 1017			Ulmus spp. Acer platanoides	45% 60%		NO NO	25	70 45	1 1		3 X	-	$\vdash$	+		+	$\vdash$		Broken Limbs, Branch Decay, Vines, Overhead Utilities Surface Roots, Large DW (3"+), Small DW (1-2"), Vines
								$\neg$	1		11	+	$\forall$	+	$\vdash$	╁	$\vdash$		
1018 1019			Ailanthus altissima Ailanthus altissima	45% 55%		NO NO	10	50 60	1 4	_	3 X   2 X	+	$\vdash$	+	H	+	₩	metal fence in trunk	Small DW (1-2"), Serious Decline, Broken Limbs, Branch Decay, Hardware Small DW (1-2"), Vines, Overhead Utilities
								20		1	Ħ						H		
1020 1021			Ailanthus altissima Ailanthus altissima	55%		YES NO	8	65	-1		X		Н			+	H		Basal Decay, Trunk Decay, Vines, Overhead Utilities  Narrow Crown, Small DW (1-2"), Vines, Overhead Utilities
1022	13	tree of heaven	Ailanthus altissima	45%	Fair	NO	10	70	1	6 13	x						П		Narrow Crown, Small DW (1-2"), Low Vigor, Stressed, Vines, Overhead Utilities
			Robinia					十		1	11	$\top$	Ħ	$\top$	Н	T	Ħ		Basal Decay, Trunk Decay, Large DW (3"+), Small DW (1-2"), Serious
1023	19	locust, black	pseudoacacia	30%	Poor	NO	15	75	1		9 X	-	+			+	H		Decline, Broken Limbs, Branch Decay, Fungal Fruiting Bodies, Vines One Sided, Co-Dominant Stems, Large DW (3"+), Small DW (1-2"), Serious
1024	12	elm spp.	Ulmus spp.	40%	Poor	NO	15	75	1 :	5 12	2 X	-	$\vdash$	+	$\vdash$	+	₩		Decline, Vines, Overhead Utilities
1025	15	ZZ Unknown snag	ZZ Unknown snag	0%	Dead	YES	0	25	1	7 15	x		$\coprod$	$\perp$			Ц	touching utility line	Excessive Lean, Trunk Decay, Vines, Overhead Utilities
1026	10,9,9	tree of heaven	Ailanthus altissima	45%	Fair	NO	10	35	3	7 16	$ \mathbf{x} $		П					growing into fence, touching utility line	Co-Dominant Stems, Mechanical Damage, Low Vigor, Stressed, Vines, Hardware, Overhead Utilities
1027 1028		maple, Norway maple, red	Acer platanoides Acer rubrum	65% 60%	and the second	NO NO	10 33	35 90	1 1	_	X	1				$\perp$	П		Large DW (3"+), Small DW (1-2"), Broken Limbs, Branch Decay, Vines
1020	32	maple, red	Acertubium	00%	raii	NO	33	90	1 '	1 40	1	+	H	+		H	Ħ		Surface Roots, Basal Decay, Trunk Decay, Included Bark/Weak Union, Co-
1029	42	elm spp.	Ulmus spp.	25%	Poor	NO	28	85	1 1	9 63	$ \mathbf{x} $						Н	old brace and anchor	Dominant Stems, Large DW (3"+), Small DW (1-2"), Serious Decline, Broken Limbs, Branch Decay, Vines, Hardware
1030	11	maple, Norway	Acer platanoides	70%	Good	NO	12	55	1	5 11	X								Small DW (1-2"), Vines
1031 1032		holly, American tree of heaven	llex opaca Ailanthus altissima	60%		NO NO	15	45 70	1 0	_	X	-	$\vdash$	-	-	+	H		Trunk Decay, Broken Limbs, Branch Decay, Vines Small DW (1-2"), Vines, Overhead Utilities
1033	6	ZZ Unknown snag	ZZ Unknown snag	0%	Dead	YES		20	1	3 8	x					T	П		Vines
									1	1	11	+	$\vdash$	+	H	+	H		Narrow Crown, Excessive Lean, Basal Decay, Large DW (3"+), Small DW (1-
1034	13	elm spp.	Ulmus spp.	45%	Fair	NO	6	50	1 (	6 13	X	-	$\vdash$	-		-	$\forall$	touching utility line	2"), Vines, Overhead Utilities One Sided, Mechanical Damage, Large DW (3"+), Small DW (1-2"), Broken
1035	11	tree of heaven	Ailanthus altissima	35%	Poor	NO	6	40	1 :	5 1	x	_	Ш	$\perp$	Н	╀	Н	touching utility line	Limbs, Branch Decay, Vines, Overhead Utilities One Sided, Co-Dominant Stems, Mechanical Damage, Large DW (3"+),
		. —															Ш	touching utility line,	Small DW (1-2"), Broken Limbs, Branch Decay, Vines, Hardware, Overhead
1036	15,7	tree of heaven	Ailanthus altissima	50%	Fair	NO	8	40	2	7 17	' X	-	+	+	-	-	₩	growing into fence	Utilities One Sided, Co-Dominant Stems, Mechanical Damage, Large DW (3"+),
1037	16	tree of heaven	Ailanthus altissima	50%	Fair	NO	10	75	1	7 16	X	-	$\sqcup$	-		+	$\sqcup$		Small DW (1-2"), Broken Limbs, Branch Decay, Vines, Overhead Utilities  Trunk Decay, Large DW (3"+), Small DW (1-2"), Broken Limbs, Branch
1038			Ailanthus altissima	55%		NO	8	75	1	_	3 x		Ш				Ш		Decay, Fungal Fruiting Bodies, Vines
1039 1040		tree of heaven tree of heaven	Ailanthus altissima Ailanthus altissima	45% 40%		NO NO	6	45	1 1		X	+	$\vdash$	+	H	+	Н		Small DW (1-2"), Broken Limbs, Branch Decay, Vines Small DW (1-2"), Vines, Overhead Utilities
1041			Ailanthus altissima	60%	Fair	NO NO	15	70		6 14	X		$\Box$	$\perp$		I	Ħ		Small DW (1-2"), Vines, Overhead Utilities
1042 1043			Ailanthus altissima Ailanthus altissima	50% 50%		NO	10	65 70	1	_	X	+	$\vdash$	+	$\vdash$	+	$\vdash$		Trunk Decay, Small DW (1-2"), Vines, Overhead Utilities  Trunk Decay, Small DW (1-2"), Vines, Overhead Utilities
1044	18	tree of heaven	Ailanthus altissima	55%	Fair	NO	20	80	1	8 18	X	-		-			Н	old birdhouse on trunk	Trunk Decay, Large DW (3"+), Small DW (1-2"), Vines, Hardware  Trunk Decay, Large DW (3"+), Small DW (1-2"), Low Vigor, Broken Limbs,
1045			Ailanthus altissima	45%		NO	15	65			x			$\perp$			Ш		Vines
1046 1047			Acer rubrum Cercis canadensis	55% 55%		NO NO	12	45 30	-		X	-	H	+	H	╆	H		One Sided, Small DW (1-2"), Broken Limbs, Branch Decay, Vines One Sided, Excessive Lean, Vines
1048	9	tree of heaven	Ailanthus altissima	50%	Fair	NO	10	40	1 4		X						$\Box$		Small DW (1-2"), Broken Limbs, Branch Decay, Vines
1049			Ulmus spp.			NO	18	45	1 1		x							touching utility line	Basal Decay, Co-Dominant Stems, Large DW (3"+), Small DW (1-2"), Serious Decline, Broken Limbs, Branch Decay, Vines, Overhead Utilities
1050	15	tree of heaven	Ailanthus altissima Robinia	60%	Fair	NO	15	80	1	7 15	X		$\vdash$	+			H		Basal Decay, Small DW (1-2"), Vines  Large DW (3"+), Small DW (1-2"), Low Vigor, Broken Limbs, Branch Decay,
1051	17	locust, black	pseudoacacia	50%	Fair	NO	15	65	1	8 17	' X	_				_	Ш	ivet effeite eroving into	Vines
1052	25	elm, slippery	Ulmus rubra	50%	Fair	NO	25	80	1 1	1 25	$ \mathbf{x} $							just offsite, growing into fence, touching utility	Large DW (3"+), Small DW (1-2"), Broken Limbs, Branch Decay, Vines, Hardware, Overhead Utilities
1053	9	tree of heaven	Ailanthus altissima	45%	Fair	NO	10	55	1 .	4 9	x						П		One Sided, Suppressed, Small DW (1-2"), Broken Limbs, Branch Decay, Vines
1054			Ailanthus altissima	50%		NO	10	65	1	_	X					I	Ħ	Acuabina vállá azavina	Narrow Crown, Small DW (1-2"), Vines
1055			Ailanthus altissima	50%		NO	8	35	1	7 16	$ \mathbf{x} $						Ш	touching utilit, growing into fence	Small DW (1-2"), Vines, Hardware, Overhead Utilities
1056 1057			Ailanthus altissima Ailanthus altissima	55% 45%		NO NO	6	40	1 4		X			$\blacksquare$		F	$\Box$	touching utility	Small DW (1-2"), Vines, Overhead Utilities  Narrow Crown, Small DW (1-2"), Vines
1058	6	tree of heaven	Ailanthus altissima	55%	Fair	NO	6	40	1	3 8	X						Ш	touching utility line	Small DW (1-2"), Broken Limbs, Vines, Overhead Utilities
1059 1060			Ailanthus altissima Ailanthus altissima	50% 60%		NO NO	15 15	50	1 9		X	-		-		-	Н	touching utility line touching utility line	Small DW (1-2"), Broken Limbs, Vines, Overhead Utilities  Co-Dominant Stems, Vines, Overhead Utilities
											T	1	$\Box$			Т	Ħ	to a coming a mind, mind	Excessive Lean, Co-Dominant Stems, Small DW (1-2"), Broken Limbs,
1061		,	Cercis canadensis	55%	Fair	NO	20	25	2	4 8	X	+	+	+	$\vdash$	+	$\vdash$		Branch Decay Included Bark/Weak Union, Co-Dominant Stems, Mechanical Damage,
1062 1063		magnolia, star privet spp.	Magnolia stellata Ligustrum spp.	60% 55%	Name and Address of the Owner, when the Owner, which the Owner,	NO NO	3	14	5 7		X	+	$\vdash$	-	H	-	H	Japanese Camelia	Small DW (1-2"), Vines, Overhead Utilities  Basal Decay, Trunk Decay
						$\overline{}$		10			$\Box$		$\parallel$	$\top$			$\forall$	,	Included Bark/Weak Union, Co-Dominant Stems, Mechanical Damage,
1064 1065		ZZ Unknown shrub privet spp.	ZZ Unknown shrub Ligustrum spp.			NO NO	2	18 6	1	_	X X		$\forall$			-	H	Japanese Camelia	Small DW (1-2"), Broken Limbs, Vines
1066 1067	1	privet spp.	Ligustrum spp. Rhododendron spp.	70% 55%		NO NO	2	4	1	0 8	X		H				П	Japanese Camelia	Basal Decay, Trunk Decay, Small DW (1-2")
1068	1	rhododendron spp.	Rhododendron spp.	45%	Fair	NO	2	4		0 8	X		$\vdash$			-	$\forall$		Co-Dominant Stems, Mechanical Damage, Small DW (1-2")
1069	1	privet spp.	Ligustrum spp.	65%	Good	NO	2	4	1	3 0	X						П	Japanese Camelia	Co-Dominant Stems, Small DW (1-2") Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"),
1070		crapemyrtle, common	Lagerstroemia indica	60%	Fair	NO	6	20	3	3 8	x		$\coprod$	$\perp$			Ц	growing into fence	Hardware
1071		crapemyrtle, common	Lagerstroemia indica	65%	Good	NO	6	20	10	4 9	x								Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines
1072	7,6,5,3,3,3,2,2,1, 1	crapemyrtle, common	Lagerstroemia indica	60%	Fair	NO	8	25	10	5 12	x						П		Compacted Soils, Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines
· <del>-</del>			5	1-270							ات.								
	$$ $\sum_{s_{tudi}}$	Vetland																	Page 3 of 4

		Date: <u>DEC. 2024</u>								Tr	ee P	rote	ctic	n A	ctio	n K	еу			Project: P.WSI0000499
	Trac #	Diameter at 4.5 feet above Common Name	Botanical Name	Condition Rating %	Condition Rating	Dead Tree (Y/N)	Approx Canopy	Approx Tree Height	Number of Stems	Structural Critical Root Structural Critical Root Structural Critical Root	of Alexandria ( Root Zone	le l	Sorist	Tree Protection Fence	Mulch Mulch Anadians	D Specifical Specifica	ction Matt	ot Aeration Matting	Additional Notes	Condition Notes
8	1073		Acer platanoides		Fair	NO	4	25	1	1	8								growing into fence	Vines, Hardware
	1074	1 Leatherleaf mahonia	Berberis bealei			NO	1	2	1	0	8	X								
	1075	2 elm, slippery	Ulmus rubra	65%	Good	NO	3	25	1	1	8	X								
	1076	5 maple, Norway	Acer platanoides	65%	Good	NO	6	30	1	2	8	x							growing into fence	Included Bark/Weak Union, Co-Dominant Stems, Small DW (1-2"), Vines, Hardware
	1077	4 maple, Norway	Acer platanoides	55%	Fair	NO	4	30	1	2	8	x							growing into fence	One Sided, Included Bark/Weak Union, Small DW (1-2"), Vines, Hardware
S de	1078	5 boxelder	Acer negundo	55%	Fair	NO	5	25	1	2	8	x							topped, growing into metal pipe, shared tree	Mechanical Damage, Small DW (1-2"), Broken Limbs, Vines, Hardware
2	1079	3,4,2 ZZ Unknown shrub	ZZ Unknown shrub	50%	Fair	NO	5	25	3	2	8	x							growing into wooden fence	Small DW (1-2")



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APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO.

Page 4 of 4 Vertical Datum: Boundary and Topo Source: RC Fields Design Draft Approved NE NE INSTRUMENT NO. DEED BOOK NO. DATE

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Sheet #

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WSSI Project Number: P.WSI0000499

- 1.1. REFER TO THE TREE PROTECTION ACTION KEY (TPAK) FOR SPECIFIC RECOMMENDATIONS FOR EACH TREE.
- 1.2. PRIOR TO ANY DEMOLITION OR CONSTRUCTION WORK WITHIN OR ADJACENT TO TREE PROTECTION AREAS (TPA), A PRE-CONSTRUCTION SITE WALK SHALL BE HELD TO INCLUDE THE CONTRACT
- ARBORIST AND PROJECT ARBORIST WITH THE CONTRACTOR, ARCHITECT, CITY ARBORIST, AND OWNER.
- 1.3. SUBSTITUTIONS OR ALTERNATIVE METHODS OR MATERIALS SHALL BE REVIEWED AND APPROVED BY CITY ARBORIST. 1.4. ALL TREE PROTECTION MEASURES MUST BE IN PLACE PRIOR TO COMMENCEMENT OF DEMOLITION, SITE CLEARING OR CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION. TREE PROTECTION
- MEASURES MAY ONLY BE REMOVED WITH CITY ARBORIST APPROVAL 1.5. ALL MEASURES WILL BE REVIEWED AFTER INSTALLATION AND APPROVED BY OWNER AND CITY ARBORIST

- 2.1. TREES DESIGNATED AS "REMOVAL BY ARBORIST" SHALL BE REMOVED BY A QUALIFIED ARBORIST "BY HAND", TO MINIMIZE POTENTIAL FOR DAMAGE TO REMAINING TREES AND ROOTS.
- 2.2. CREWS SHALL BE DIRECTLY SUPERVISED BY A CERTIFIED ARBORIST
- 2.3. TRUCKS AND MECHANIZED EQUIPMENT SHALL NOT ENTER THE FENCED TREE PROTECTION AREAS, EXCEPT WHERE EXPLICITLY APPROVED BY THE PROJECT ARBORIST AND UTILIZING APPROVED ROOT PROTECTION DEVICE.
- 2.4. STUMPS SHALL BE LEFT IN PLACE OR GROUND OUT AT THE OWNERS DISCRETION. STUMPS IN TURF/LANDSCAPE AREAS OR WITHIN ROOT AERATION MATTING AREAS SHALL BE GROUND. 2.5. STUMP GRINDING SHALL BE DONE WITH SMALL MACHINES SPECIFICALLY DESIGNED FOR THAT PURPOSE. NO STUMPS SHALL BE EXCAVATED EXCEPT AS DESCRIBED HEREIN. STUMPS SHALL BE

- 3.1. INSTALL AND MAINTAIN TEMPORARY TREE PROTECTION FENCE FOR EACH TREE PROTECTION AREA AS SHOWN ON THE PLAN. INSTALLATION IS TYPICALLY AFTER ROOT PRUNING AND PRIOR TO CLEARING & GRADING.
- 3.2. FENCE SHALL BE ONE OF THE FOLLOWING: (SEE DETAIL) 3.2.1. 4' HIGH, 14 GAUGE WELDED WIRE FENCE MOUNTED ON 6' STEEL "T" POSTS SPACED NOT MORE THAN 10' APART. FENCE SHALL BE ATTACHED TO POSTS USING GALVANIZED STEEL CLIPS OR
- ALUMINUM TIES. PLASTIC "ZIP" TIES SHALL NOT BE USED. 3.2.2. 6' HIGH CHAIN LINK FENCE FABRIC MOUNTED ON 8', 1.5" GALVANIZED STEEL PIPE LINE POSTS. CORNER POSTS SHALL BE 2" FENCE SHALL BE ATTACHED TO POSTS USING ALUMINUM TIES. PLASTIC "ZIP" TIES SHALL NOT BE USED.
- 3.2.3. "SUPER SILT FENCE" (SILT FENCE WITH AN INCORPORATED CHAIN LINK FENCE FABRIC) INSTALLED AS SPECIFIED BY APPROPRIATE STATE OR LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS.
- 3.3. SILT FENCE SHALL BE COORDINATED FOR INSTALLATION TO ENHANCE PROTECTION AND AVOID UNNECESSARY ROOT CUTS BY SILT FENCE INSTALLATION.

GROUND NOT MORE THAN 8" BELOW GRADE AND CARE MUST BE TAKEN TO MINIMIZE DAMAGE TO ROOTS OF RETAINED TREES.

- 3.4. FENCE SHALL REMAIN FOR THE DURATION OF CONSTRUCTION. FENCE MAY BE REMOVED ONLY AFTER ALL CONSTRUCTION AND FINAL LANDSCAPING IS COMPLETE AND WITH CITY ARBORIST APPROVAL
- 4.1. TREE PROTECTION AREA SIGNS SHALL BE AFFIXED TO ALL TREE PROTECTION FENCE AT 30' SPACING AVERAGE. 4.2. SIGNS SHALL BE BILINGUAL (ENGLISH AND SPANISH)
- 4.3. SIGNS SHALL NOT BE AFFIXED DIRECTLY TO TREES. SEE DETAIL.

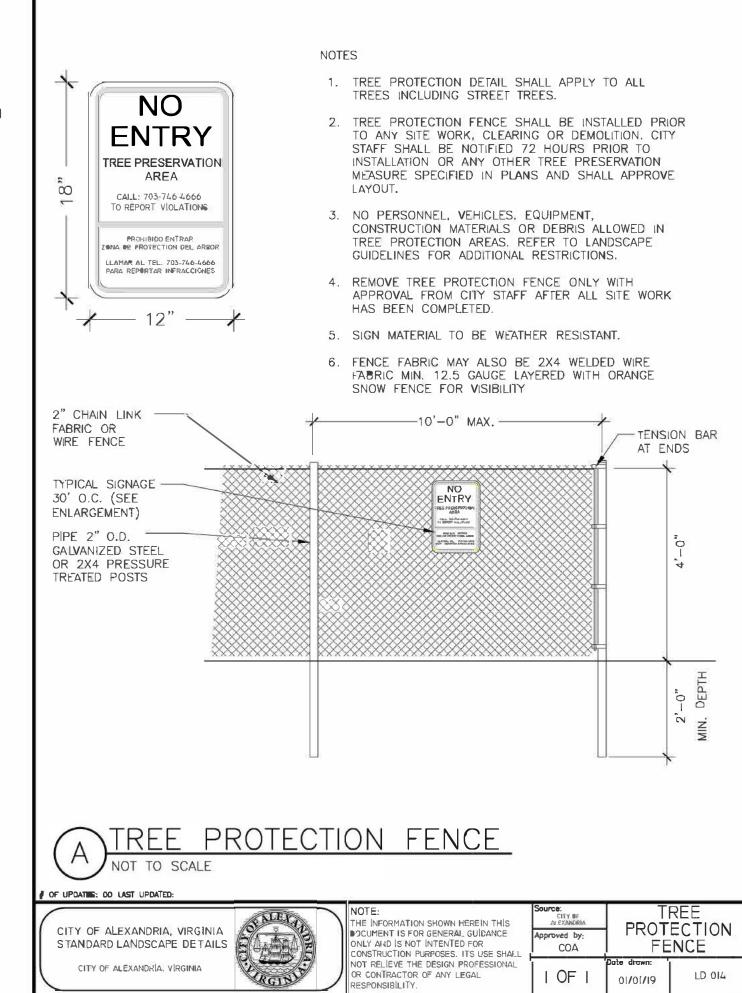
### 4.4. SIGN MATERIAL SHALL BE WATERPROOF, HEAVY VINYL OR SIMILAR. 4.5. SIGNS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

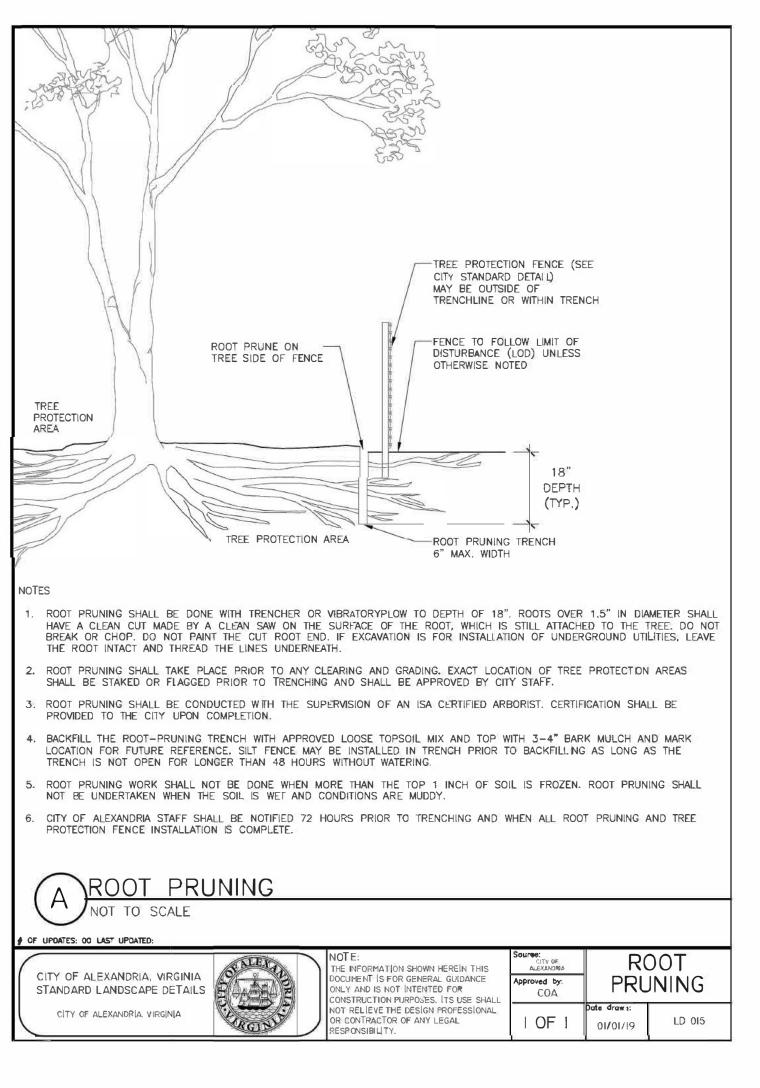
- 5.1. THE EXACT LOCATION AND DEPTH WILL BE DETERMINED DURING THE PRE-CONSTRUCTION MEETING. SPECIFIC EQUIPMENT & METHODS WILL BE DETERMINED BY PROJECT ARBORIST AND CITY ARBORIST BASED UPON DEPTH & TREE IMPACT. (SEE DETAIL)
- 5.2. HAND PRUNE ROOTS OVER 1" DIAMETER WITHIN CRZS OF SIGNIFICANT TREES. STEEP SLOPES, DEEP EXCAVATIONS AND PAVEMENT/CURB REMOVAL WILL BE REVIEWED WHEN OPEN FOR HAND ROOT PRUNING DURING CONSTRUCTION.
- 5.3. COORDINATE WITH SILT FENCE INSTALLATION TO MINIMIZE UNNECESSARY ROOT DAMAGE.
- 5.4. ROOT PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST.

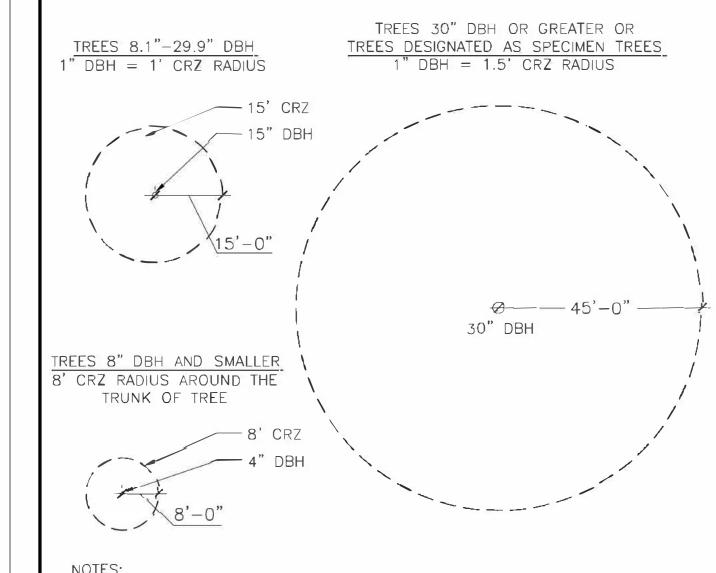
- 6.1. INSTALL MULCH FOR DESIGNATED SIGNIFICANT TREES. MULCH AREA SHALL BE ONE OF THE FOLLOWING, AT THE DISCRETION OF THE CONTRACT ARBORIST AND OWNER:
- 6.1.1. INSTALL MULCH BED RINGS. MULCH SHOULD COVER AT LEAST THE ENTIRE STRUCTURAL ROOT ZONE. LARGER MULCH BEDS ARE PREFERRED.
- 6.1.2. PROVIDE CONTINUOUS MULCH STRIP 10' TO 15' WIDE ALONG LOD WITHIN PRESERVED CRZ AREAS.
- 6.2. MULCH SHALL BE INSTALLED TO A DEPTH OF 4". TOTAL MULCH DEPTH SHALL NOT EXCEED 4" SHOULD EXISTING MULCH BE PRESENT
- 6.3. MULCH SHALL BE DOUBLE GROUND SHREDDED HARDWOOD, AGED FOR AT LEAST 6 MONTHS FROM AN APPROVED SOURCE. INSUFFICIENTLY OR IMPROPERLY AGED MULCH CONTAINING HIGH
- BACTERIAL COUNTS OR HIGH LEVELS OF BARK, WALNUT, INVASIVE SPECIES, OR OTHER MATERIALS RESISTANT TO DECOMPOSITION SHALL NOT BE USED.
- 6.4. MULCH SHALL NOT CONTACT TRUNK OF TREES.

### 6.5. EDGING SHALL NOT BE USED. CONSTRUCTION MONITORING/INSPECTIONS

- 7.1. A CERTIFIED ARBORIST SHALL ACTIVELY MONITOR THE SITE TO ENSURE ADHERENCE TO ALL TREE PROTECTION REQUIREMENTS
- 7.2. THIS WORK IS TYPICALLY PREFORMED BY THE CONTRACT ARBORIST, TO BE HIRED BY THE GENERAL CONTRACTOR OR OWNER
- 7.3. SCHEDULE:
- 7.3.1. PHASE 1 (DURING INITIAL CLEARING AND INSTALLATION OF TREE PROTECTION AND PERIMETER E&S CONTROLS) INSPECTIONS SHALL BE AT LEAST WEEKLY.
- 7.3.2. PHASE 2 (DURING ALL REMAINING SITE WORK AND UNTIL PROJECT COMPLETION) INSPECTIONS SHALL BE AT LEAST MONTHLY.
- 7.3.3. TRANSITION FROM WEEKLY TO MONTHLY SCHEDULE SHALL REQUIRE OWNER AND CITY ARBORIST APPROVAL
- 7.4. REPORTS SHALL BE PROVIDED TO THE OWNER AND CITY ARBORIST. REPORTS SHALL DOCUMENT CONDITION OF TREE PROTECTION DEVICES AND PROVIDE RECOMMENDATIONS FOR MAINTENANCE. AND/OR ADDITIONAL CARE.
- 7.5. ADDITIONAL ARBORIST INSPECTIONS AND/OR DIRECT ARBORIST OVERSIGHT OF CRITICAL TREE PRESERVATION ACTIVITIES, TREE PRUNING, TREE REMOVAL, OR OTHER SENSITIVE ACTIVITIES MAY BE REQUIRED. WEEKLY INSPECTIONS DO NOT SATISFY THE NEED FOR DIRECT ARBORIST OVERSIGHT THAT MAY BE REQUIRED FOR SPECIFIC ACTIVITIES.
- MISCELLANEOUS TREE PROTECTION REQUIREMENTS
- 8.1. NO TOXIC MATERIALS SHALL BE STORED WITHIN 100' OF TREE PROTECTION AREAS.
- 8.2. ALL WORK IN OR NEAR TREE PROTECTION AREAS SHALL BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO TREES, SHRUBS, GROUND COVER, SOIL AND ROOT SYSTEMS.
- 8.3. MECHANIZED EQUIPMENT SHALL NOT BE PERMITTED TO ENTER ANY TREE PROTECTION AREAS WITHOUT EXPLICIT APPROVAL BY THE PROJECT ARBORIST AND CITY ARBORIST, AND WITH ADEQUATE APPROVED ROOT PROTECTION DEVICES.
- CONSTRUCTION STRATEGIES FOR TREE PROTECTION
- 9.1. CONSTRUCTION STAGING, STOCKPILING, EQUIPMENT STORAGE, MASONRY SET-UP AND WASHOUT, ETC. SHALL BE LIMITED TO AREAS OF EXISTING PAVEMENT AND AREAS WITHIN THE LOD EXCEPT AS OTHERWISE NOTED.
- 9.2. CONSTRUCTION EQUIPMENT ACCESS BETWEEN VARIOUS WORK AREAS SHALL REMAIN ON EXISTING PAVEMENT/IMPROVED SURFACES TO THE GREATEST EXTENT POSSIBLE. WHERE THIS IS NOT POSSIBLE AND WITHIN THE CRITICAL ROOT ZONE (CRZ) OF ANY TREE TO REMAIN, ACCESS SHALL BE MADE ON ROOT PROTECTION MATTING (RPM)(SEE DETAIL) OR APPROVED ALTERNATIVE. CONTRACTOR TO DETERMINE ACCESS NEEDS AND COORDINATE RPM INSTALLATION WITH THE CONTRACT ARBORIST AT THE PRE-CONSTRUCTION MEETING OR BEFORE.
- 9.3. PROPOSED LANDSCAPE PLANTINGS WITHIN TREE PROTECTION AREAS SHALL BE INSTALLED BY HAND, MECHANIZED EQUIPMENT SHALL NOT BE USED OUTSIDE THE LOD OR OFF OF EXISTING PAVED AREAS TO EXCAVATE FOR PLANTINGS OR FOR STAGING PLANT MATERIAL.
- 9.4. COORDINATE PLANTING LOCATIONS WITHIN CRZS WITH THE CONTRACT ARBORIST TO AVOID UNNECESSARY ROOT DAMAGE. PLANTING PITS WITHIN CRZS SHOULD BE DUG BY HAND OR USING AIRTOOL EXCAVATION EQUIPMENT. ROOTS GREATER THAN 1" SHOULD NOT BE CUT.
- 10. TREE CONDITION MONITORING INSPECTIONS 10.1. CONTRACT ARBORIST SHALL PROVIDE MONITORING OF THE CONDITION OF RETAINED TREES IN TREE PROTECTION AREAS, AND TREATMENT OF DETRIMENTAL CONDITIONS (INSECTS, DISEASES, NUTRIENT DEFICIENCIES, SOIL MOISTURE, ETC.), AS THEY OCCUR, OR AS APPROPRIATE FOR EFFECTIVE MANAGEMENT.
- 10.2. INSPECTIONS SHALL BE PERFORMED AT LEAST MONTHLY DURING THE GROWING SEASON, BEGINNING PRIOR TO CONSTRUCTION AND CONTINUING THROUGHOUT CONSTRUCTION AND FOR AT LEAST ONE YEAR SUBSEQUENT TO COMPLETION OF CONSTRUCTION ACTIVITIES.
- 10.3. A WRITTEN SUMMARY REPORT INCLUDING SPECIFIC TREATMENTS MADE AND RECOMMENDATIONS FOR ADDITIONAL TREATMENTS SHALL BE PROVIDED TO THE OWNER AND PROJECT ARBORIST SUBSEQUENT TO EACH INSPECTION.





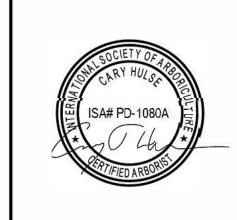


- 1. GRAPHICALLY, THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED AS A CIRCULAR REGION MEASURED OUTWARD FROM A TREE TRUNK REPRESENTING THE AREA OF ROOTS THAT MUST BE MAINTAINED OR PROTECTED FOR THE TREE'S SURVIVAL.
- 2. PLOT ACCURATE TRUNK LOCATIONS OF ALL TREES GREATER THAN 2" DIAMETER AT 54" ABOVE GRADE AND/OR TREE STANDS WITHIN DEVELOPMENT AREAS ON ALL PLANS FOR THE PROJECT AND DELINEATE THEIR ESTIMATED CRITICAL ROOT
- 3. PLOT ACCURATE TRUNK LOCATIONS OF OFFSITE TREES WHICH WILL HAVE THEIR CRZ AFFECTED BY DEVELOPMENT AND DELINEATE THEIR ESTIMATED CRITICAL ROOT ZONE.



CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA

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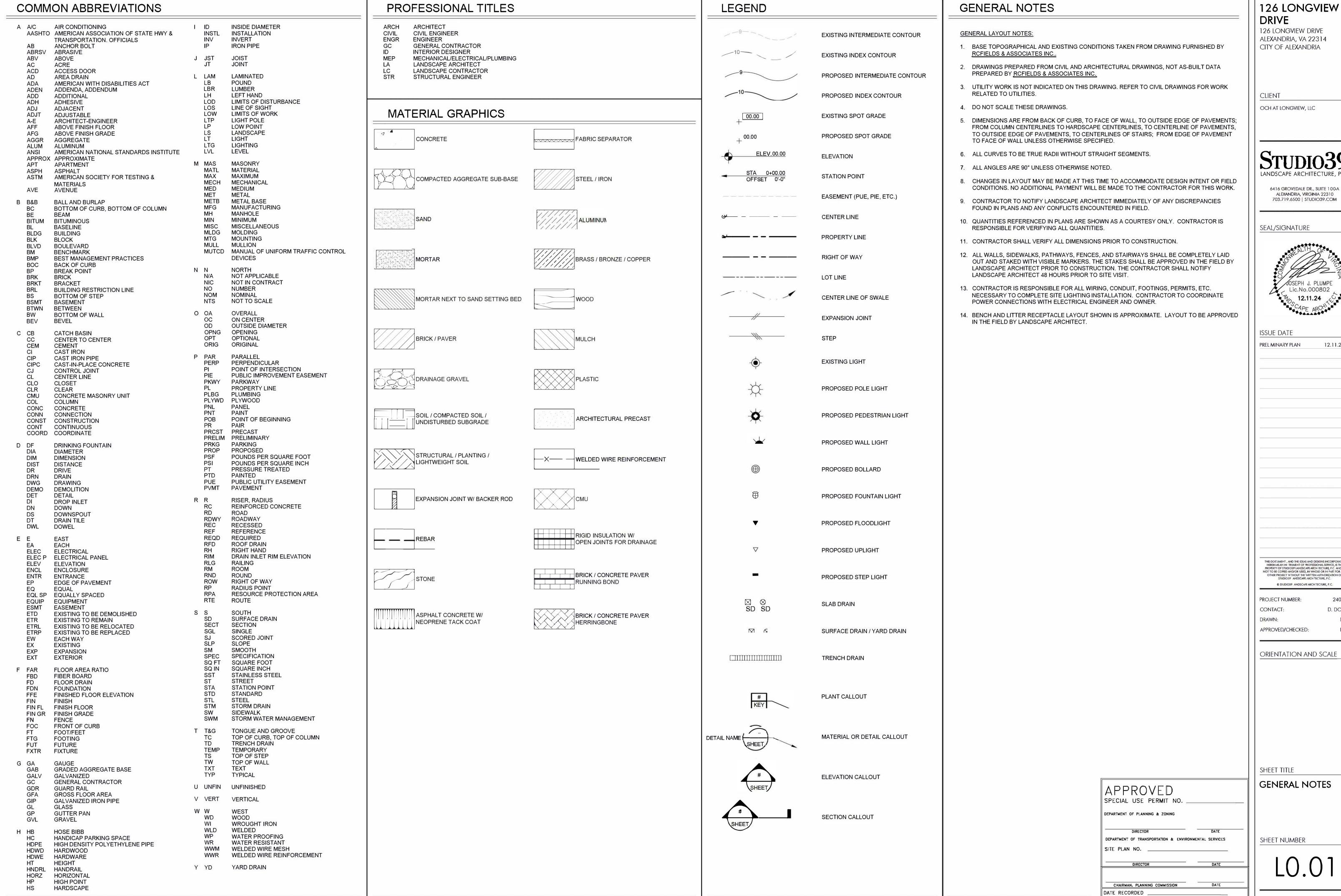
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126 LONGVIEW DRIVE ALEXANDRIA, VA 22314 CITY OF ALEXANDRIA

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ALEXANDRIA, VIRGINIA 22310 703.719.6500 | STUDIO39.COM

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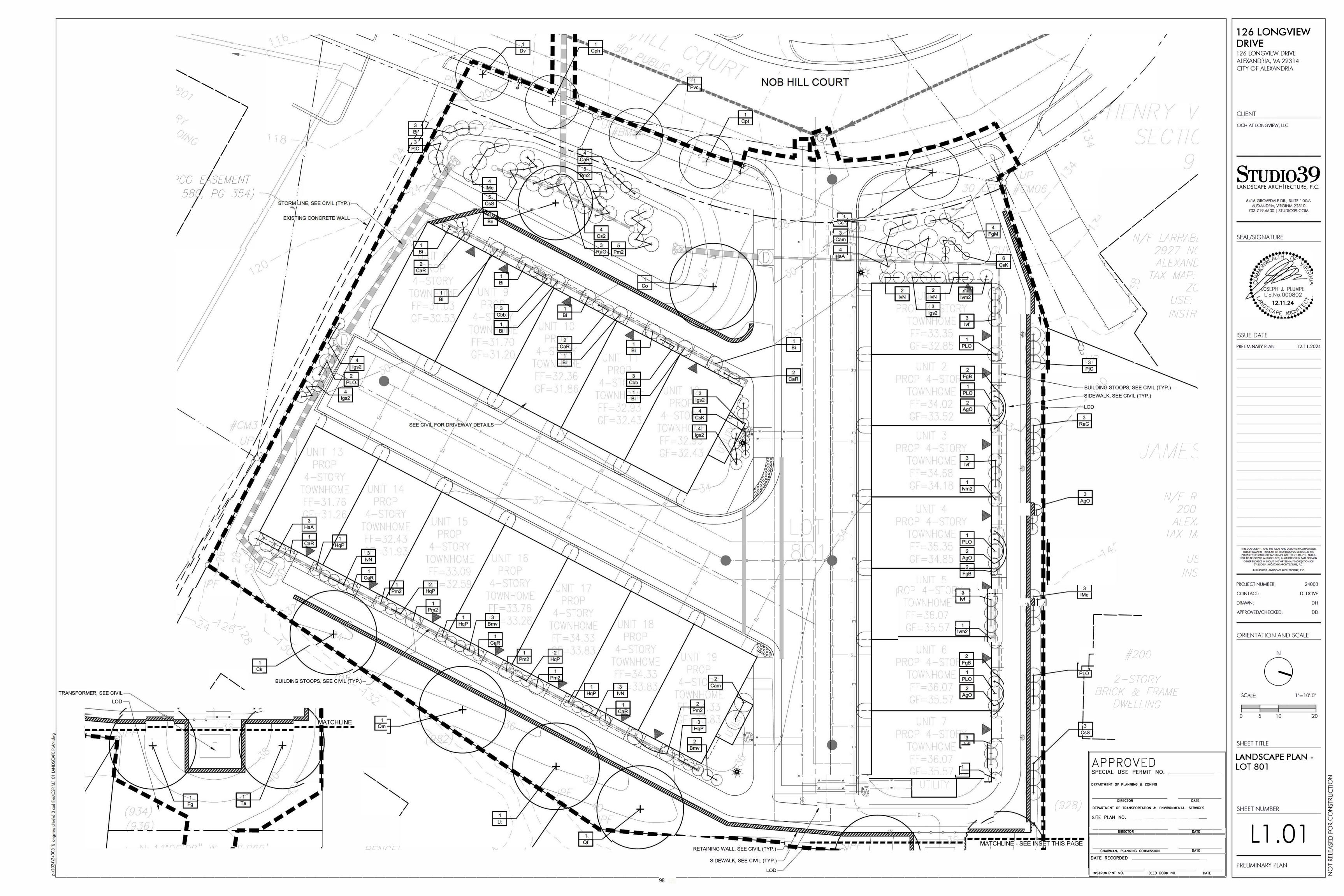
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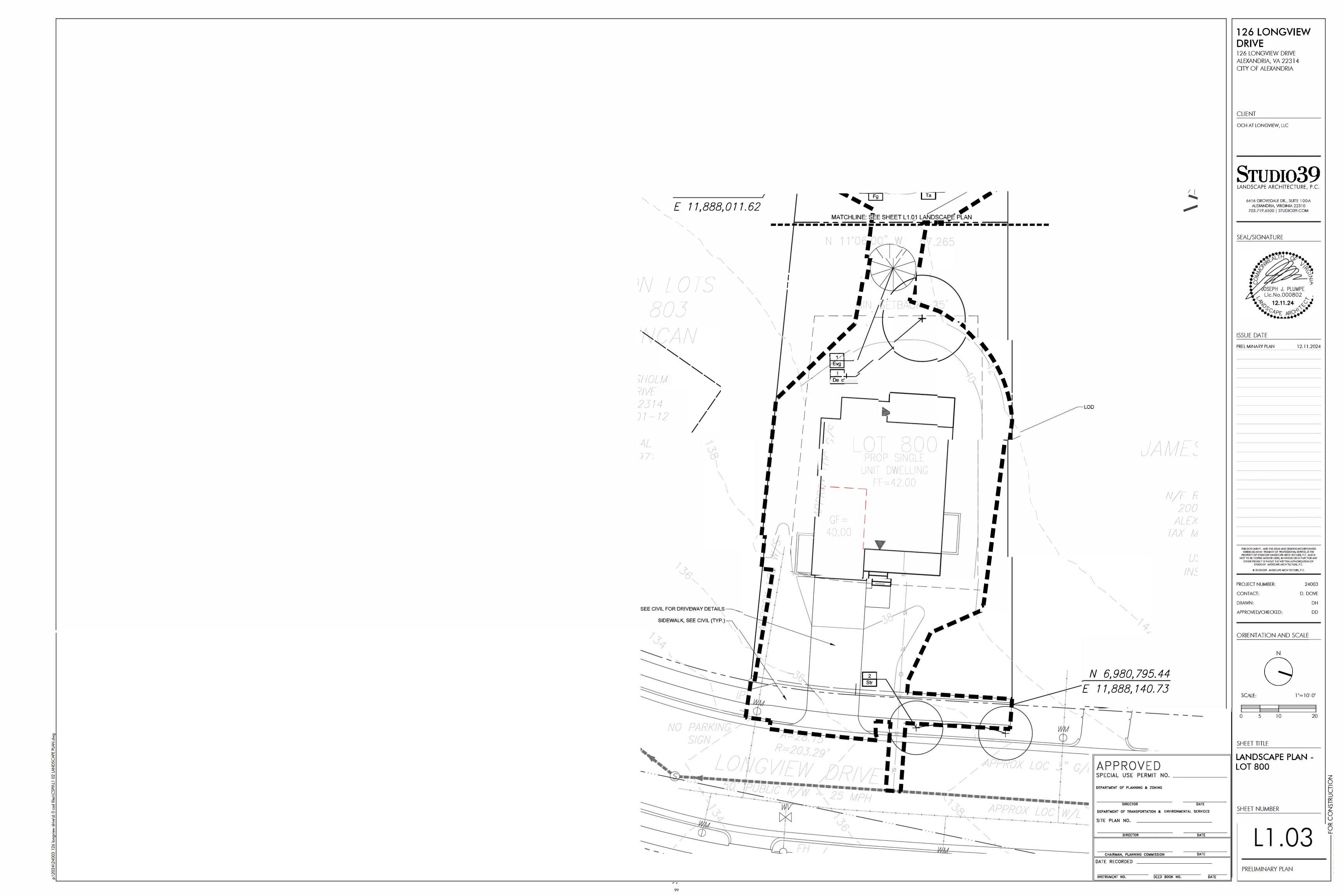
**GENERAL NOTES** 

PRELIMINARY PLAN

DEED BOOK NO.

INSTRUMENT NO.





0005	OTY	DOTANICAL MANAGE	COMMON NAME	LIFICUT	CALIDED	CDDE+D	DEMARKS		
		BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPREAD	REMARKS	CCA PER TREE (SF)	TOTAL CROWN COVE
3n	JOUS TE	Betula nigra	River Birch	10`-12`	2" min.		B&B, multi-trunk, 3 cane minimum, full symmetrical branching	750	750
Со	1	Celtis occidentalis	Common Hackberry	14`-16`	3" - 3 1/2"	1	B&B, full uniform crown, symmetrical branching, full specimen	1250	1250
Ck	1	Cladras is kentukea	American Yellowwood	10`-12`	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	1250	1250
g	1	Fagus grandifolia	American Beech	14`-16`	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	1250	1250
.t	1	Liriodendron tulipifera	Tulip Tree	14`-16`	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	1250	1250
Qf	1	Quercus falcata	Southern Red Oak	14`-16`	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	1250	1250
Ωm	1	Quercus muehlenbergii	Chinkapin Oak	14`-16`	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	1250	1250
Га	1	Tilia americana	American Linden	14`-16`	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	1250	1250
STREET	T TREES	<u> </u>	.1	-4.	1		branching, rail specimen	DEC DUOUS TREE CCA	9500
Cc	1	Carpinus caroliniana	American Hornbeam	10`-12`	2" min.		B&B, full uniform crown, symmetrical branching, full specimen	N/A - STREET 1	TREE IN R.O.W.
Cph	1	Crataegus phaenopyrum	Washington Hawthorn	8`-10`	2 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen	N/A - STREET 1	TREE IN R.O.W.
Cpt	1	Crataegus punctata	Dotted Hawthorn	8`-10`	2 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen	N/A - STREET 1	TREE IN R.O.W.
Dv	1	Diospyros virginiana	Common Persimmon	8`-10`	2 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen	N/A - STREET 1	TREE IN R.O.W.
Pvc	1	Prunus virginiana	Chokeberry	8`-10`	2 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen	N/A - STREET 1	TREE IN R.O.W.
0005	ОТУ	DOTANICAL NAME	00141401111414	UEIOUT	CDDE AD	0175			
CODE		BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	SIZE	REMARKS		
Cam	JOUS SI 5	Callicarpa americana	American Beautyberry	24"-30"	24"-30"	#5 cont.	healthy vigorous, well-rooted &		
Cbb	6	Caryopteris x clandonensis `Korball`	Blue Balloon Bluebeard	15"-18"	12"-15"	#3 cont.	established in container healthy, vigorgous, well-rooted &		
Cs2	4	Cephalanthus occidentalis 'SMCOSS'	Sugar Shack® Buttonbush	18"-24"	18"-24"	#3 cont.	established in container healthy vigorous, well-rooted, & established in container		
CaR	14	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	18"-24"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container		
CsS	8	Cornus sericea `Isanti`	Isanti Redosier Dogwood	24"-36"	24"-36"	#5 cont.	healthy, vigorous, well-rooted & established in container		
CsK	10	Cornus sericea `Kelseyi`	Kelseyi Dogwood	18"-24"	18"-24"	#3 cont.	full specimen, healthy, vigorous, well-rooted and established		
gB	6	Fothergilla gardenii `Blue Mist`	Blue Mist Fothergilla	15"-18"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container		
-gM	4	Fothergilla gardenii `Mt. Airy`	Dwarf Witchalder	18"-24"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container		
łaA	7	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	18"-24"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container		
HqP	10	Hydrangea quercifolia `Pee Wee`	Oakleaf Hydrangea	18"-24"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container		
vf	12	llex verticillata `FARROWBPOP` TM	Berry Poppins Winterberry	18"-24"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container		
vm2	4	llex verticillata `FarrowMrP` TM	Mr. Poppins Winterberry	18"-24"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container		
Ме	7	Itea virginica `Merlot`	Sweetspire	18"-24"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container		
RaG	6	Rhus aromatica `Gro-Low`	Gro-Low Fragrant Sumac	12"-15"	15"-18"	#3 cont.	full specimen, healthy, vigorous, well-rooted and established		
EVERG	DEEN S	HRUBS							
AgO	9	Abelia x grandiflora `Rose Creek`	Rose Creek Abelia	12"-15"	18"-24"	#2 cont.	healthy vigorous, well-rooted & established in container		
Bmv	5	Buxus microphylla x 'Green Velvet'	Green Velvet Boxwood	18"-24"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container		
Bi	12	Buxus sinica insularis	Korean Boxwood	18"-24"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container		
gs2	18	llex glabra 'ILEXFARROWTRACEY'	Strongbox® Inkberry Holly	18"-24"	18-24"	#3 cont.	healthy vigorous, well-rooted & established in container		
vN	10	llex vomitoria `Nana`	Dwarf Yaupon	18"-24"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container		
Pm2	16	Pieris floribunda	Mountain Pieris	24"-30"	18"-24"	46	healthy vigorous, well-rooted & established in container		
PjC	6	Pieris japonica `Compacta`	Compact Pieris	24"-30"	18"-24"	#3 cont.	healthy vigorous, well-rooted & established in container		
PLO	9	Prunus laurocerasus 'Otto Luyken'	Luykens Laurel	18"-24"	18"-24"	#3 cont.	healthy, vigorous, well-rooted & established in container		

TDEEC (LIDDAA	I AAID C		IODIVERSITY TA	BULATIONS - LOT	ROI		
TREES (URBAN			-				
PROPOSED:	K OF II	KEES	13				
GENUS	QTY.	% OF TOTAL PROPOSED	MAXIMUM % ALLOWED	SPECIES	QTY.	% OF TOTAL PROPOSED	MAXIMUM % ALLOWED
Betula	1	7.7%	33%	nigra	1	7.7%	10%
Carpinus	1	7.7%	33%	caroliniana	1	7.7%	10%
Celtis	1	7.7%	33%	occidentalis	1	7.7%	10%
Cladrastis	1	7.7%	33%	kentukea	1	7.7%	10%
Crateagus	2	15.4%	33%	phaenopyrum	1	7.7%	10%
				punctata	1	7.7%	10%
Diospyros	1	7.7%	33%	virginiana	1	7.7%	10%
Fagus	1	7.7%	33%	grandifolia	1	7.7%	10%
Liriodendron	1	7.7%	33%	tulipifera	1	7.7%	10%
Prunus	1	7.7%	33%	virginiana	1	7.7%	10%
Quercus	2	15.4%	33%	falcata	1	7.7%	10%
				muehlenbergii	1	7.7%	10%
Tilia	1	7.7%	33%	americana	1	7.7%	10%
SHRUBS	l .			3.			
TOTAL NUMBI	R OF SI	HRUBS			188		
PROPOSED:					100		
GENUS	QTY.	% OF TOTAL PROPOSED		MAXIMU	JM % AL	LOWED	
Abelia	9	4.8%	33%	grandiflora	9	4.8%	10%
Buxus	17	9.0%	33%	microphylla	5	2.7%	10%
			33%	sinica	12	6.4%	10%
Callicarpa	5	2.7%	33%	americana	5	2.7%	10%
Caryopteris	6	3.2%	33%	clandonensis	6	3.2%	10%
Cephalanthus	4	2.1%	33%	occidentalis	4	2.1%	10%
Clethra	14	7.4%	33%	alnifolia	14	7.4%	10%
Cornus	18	9.6%	33%	sericea	18	9.6%	10%
Fothergilla	10	5.3%	33%	gardenii	10	5.3%	10%
Hydrangea	17	9.0%	33%	arborescens	7	3.7%	10%
			33%	quercifolia	10	5.3%	10%
llex	44	23.4%	33%	glabra	18	9.6%	10%
			33%	verticillata	16	8.5%	10%
			33%	vomitoria	10	5.3%	10%
Itea	7	3.7%	33%	virginica	7	3.7%	10%
Pieris	22	11.7%	33%	floribunda	16	8.5%	10%
			33%	japonica	6	3.2%	10%
Prunus	9	4.8%	33%	laurocerasus	9	4.8%	10%

			BEGINNII	NG JANUARY	2, 2024
DI ANT TYPE	OLIANITITY	NATIVE TYPE	REQUIRED	PRC	VIDED
PLANT TYPE	QUANTITY	NATIVE TYPE	%	QTY.	%
Hub an Tuasa	5	Regional/Local	20%	5	100%
Urban Trees	5	Total Natives	50%	5	100%
Standard Trees	8	Regional/Local	40%	7	87.5%
Standard frees	0	Total Natives	80%	8	100.0%
Evergreen	90	Regional/Local	10%	50	55.6%
Shrubs	90	Total Natives	40%	50	55.6%
Deciduous	97	Regional/Local	20%	71	73.2%
Shrubs	37	Total Natives	80%	91	93.8%
Groundcovers	0	Regional/Local	10%	0	N/A
Groundcovers	U	Total Natives	20%	0	N/A
Perennials, Ferns,	0	Regional/Local	25% (perennials) 30% (ferns & grasses	s) O	N/A
Ornamental Grasses	U	Total Natives	60% (perennials) 80% (ferns & grasses	s) O	N/A
Vines	0	Total Natives	100%	0	N/A
		NATIVE PLANT	TOTALS		
TOTAL PLANTS	SPECIFIED	TOTAL SUI REGIONAL/LOC PLANT	AL NATIVE	TOTAL SUM PLAI	
200		133		15	64
200	Ī	66.5%	,	77.0	0%

CROWN COVER TABULATIONS -	LOT 801
TOTAL SITE AREA (SF)	34,325
25% CROWN COVER REQUIRED (SF)	8,581
EXISTING CROWN COVER (SF)	24,673
REMOVED CROWN COVER (SF)	24,615
PRESERVED CROWN COVER (SF)	
Crown Cover from Preserved Trees	58
Crown Cover from Preserved Shrubs	0
PROPOSED CROWN COVER (SF)	y
Crown Cover from Proposed Trees	9,500
Crown Cover from Proposed Shrubs	0
TOTAL CROWN COVER PROVIDED (%)	27.8%
TOTAL CROWN COVER PROVIDED (SF)	9,558

STANDARD	LANDSCAPE	PLAN	NOTES	FOR	ALL	PLANS	REQUIRING	APPROVAL:	

THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES: 1) THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.

2)THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.

3)THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN. 4) ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN

5)INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES,

6)IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GATHERSBURG, MARYLAND. 7)SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.

8)MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT. SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.

B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:

IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSUP PROJECTS:

1)THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.

2)THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE—INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.

3)THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING; I) A LEITER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.

9)AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.



CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA. VIRGINIA

THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENTED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

Source: STANDARD ALEXANDRIA I AND COADE	
	1
Approved by: COA  LANDSCAPE PLAN NOTES	l
OF   Date drawn:   LD 016	

APPROV	/ED	
SPECIAL USE PI	ERMIT NO	
DEPARTMENT OF PLANNING	G & ZONING	
		DATE
DIRECTOR		
	ORTATION & ENVIRONMENTAL	
	ORTATION & ENVIRONMENTAL	
DEPARTMENT OF TRANSPO	ORTATION & ENVIRONMENTAL	
SITE PLAN NO		SERVICES
DEPARTMENT OF TRANSPO		SERVICES
SITE PLAN NO		SERVICES

126 LONGVIEW DRIVE

126 LONGVIEW DRIVE ALEXANDRIA, VA 22314 CITY OF ALEXANDRIA

CLIENT OCH AT LONGVIEW, LLC

LANDSCAPE ARCHITECTURE, P.C

ALEXANDRIA, VIRGINIA 22310 703.719.6500 | STUDIO39.COM

6416 GROVEDALE DR., SUITE 100-A

SEAL/SIGNATURE

**ISSUE DATE** 



PREL MINARY PLAN 12.11.2024

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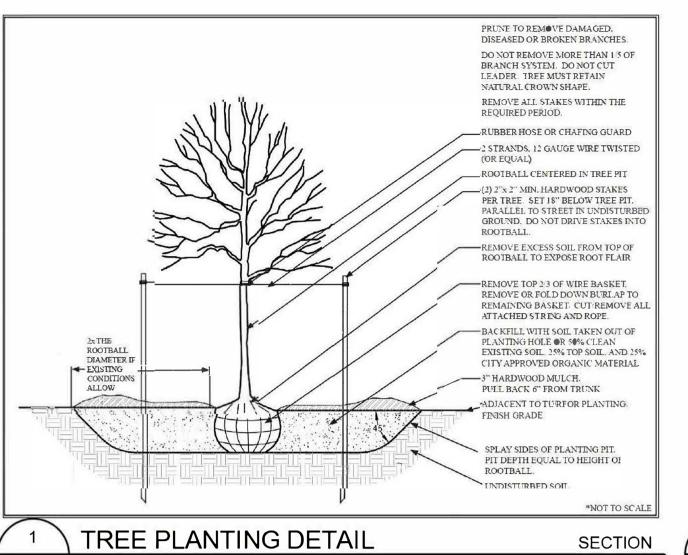
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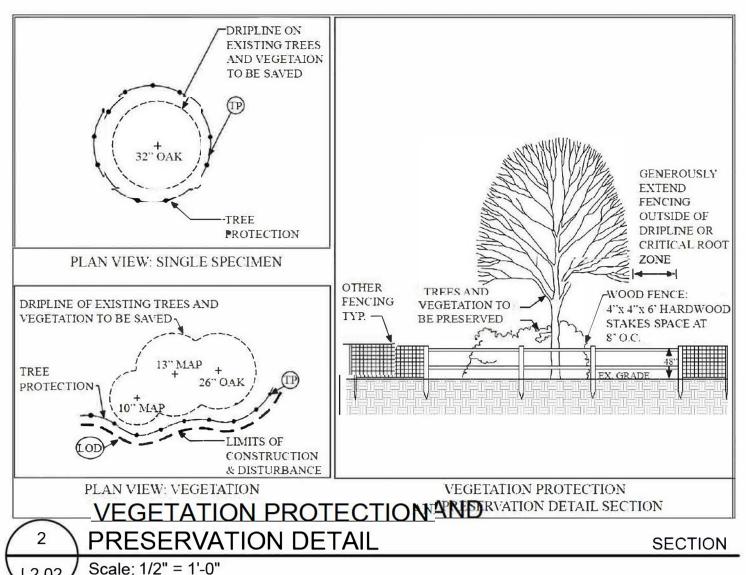
ORIENTATION AND SCALE

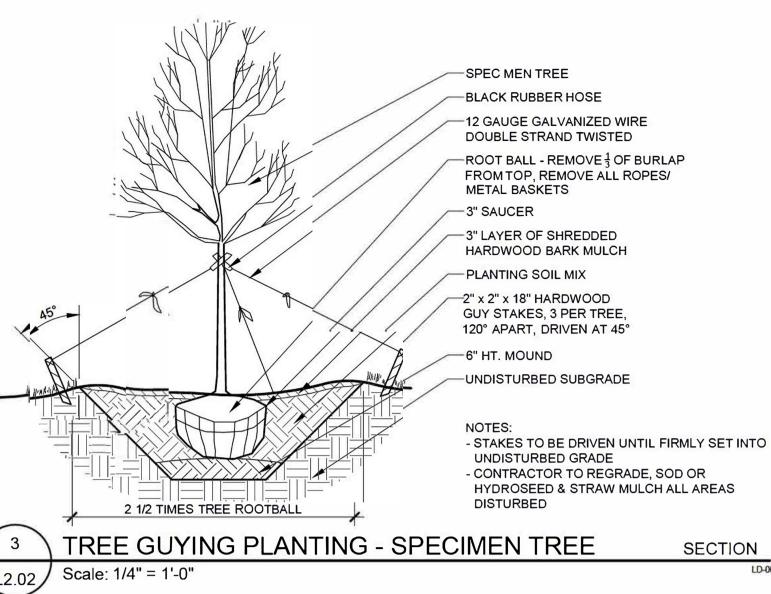
SHEET TITLE LANDSCAPE SCHEDULE - LOT 801

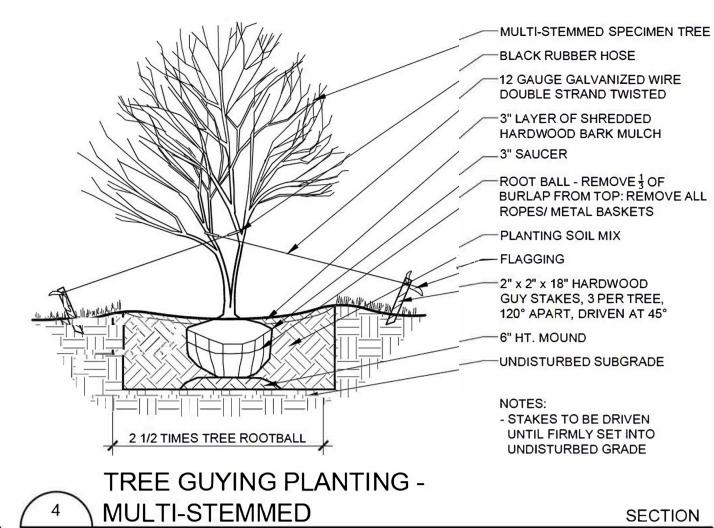
SHEET NUMBER

Preliminary Plan









PLANTING MIX NOTES:

THAT WILL SUSTAIN PLANT GROWTH.

MATERIALS TOXIC TO PLANT GROWTH

PRIOR TO INSTALLATION OF PLANTING MEDIUM

A&L ANALYTICAL LABORATORIES, INC.

STUDIO 39 LANDSCAPE ARCHITECTURE, PC.

ORGANIC MATTER.

2790 WHITTEN ROAD

MEMPHIS, TN 38133

1-800-264-4522

1. THE RECOMMENDED PLANTING MEDIUM SHOULD CONTAIN GOOD TOP SOIL

3. THE TOP SOIL SHALL BE A SANDY CLAY LOAM OR A SILTY CLAY LOAM WITH

5. A SOIL TEST SHALL BE PERFORMED BY A FULL-SERVICE TESTING COMPANY

IF A LOCAL, REPUTABLE TESTING COMPANY CANNOT BE EMPLOYED, A&L

LABS IS AVAILABLE TO CONDUCT THE TESTING. CONTACT THEM AT:

7. THE LAB SHALL PERFORM AN S1A TEST AND SUBMIT THE RESULTS TO

AND THE RESULTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT

WELL AGGREGATED CLAYS AND A MINIMUM OF 4% (FOUR PERCENT)

4. THE SOILS PH RANGE SHOULD BE WITHIN 5.5 TO 7.0 AND ADJUSTED AS

NECESSARY FOR INDIVIDUAL PLANT SPECIES REQUIREMENTS.

2. THE TOP SOIL SHALL NOT BE LACKING IN POTASSIUM, PHOSPHORUS,

MAGNESIUM OR CALCIUM. THE TOP SOIL SHALL NOT CONTAIN ANY

Scale: 1/4" = 1'-0"

PLANT SPACING CHART

5 1/4" o.c.

6 7/8" o.c.

8 5/8" o.c.

10 3/8" o.c.

15 5/8" o.c.

20 3/4" o.c.

31 1/8" o.c.

36 3/8" o.c

41 5/8" o.c.

26" o.c.

13" o.c.

NUMBER OF PLANTS

PER SQUARE FOOT

4.62

2.60

1.66

1.15

0.74

0.51

0.29

0.18

0.13

0.09

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SEAL/SIGNATURE

Lic.No.000802 12.11.24

126 LONGVIEW

126 LONGVIEW DRIVE

CITY OF ALEXANDRIA

ALEXANDRIA, VA 22314

DRIVE

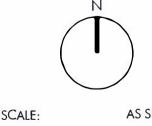
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PROJECT NUMBER: CONTACT: DRAWN: APPROVED/CHECKED:

ORIENTATION AND SCALE

D. DOVE



SHEET TITLE

LANDSCAPE NOTES & DETAILS

SHEET NUMBER

PRELIMINARY PLAN

Scale: 1/2" = 1'-0" L2.02 L2.02 SPECIMEN PLANTS 3" LAYER OF SHREDDED HARDWOOD BARK MULCH -3" LAYER OF SHREDDED BULB DEPTH 6-8" HARDWOOD BARK MULCH FERTILIZER & CHEMICAL ROOTBALL - REMOVE 1 OF REMOVE ALL ROPES AND (GROUND) OR EARTH LIFE, FPERLITE, TOP SOIL TAMP EXISTING SOIL AT 85% **OPTIMUM MOISTURE CONTENT** 

ADDITIVE TO BE PLACED AT 6-8" DEPTH (AT ROOT ZONE) SOIL MIX: USE 1 PINE FINES SLOPE BOTTOM OF PREPARED BEDS 1 " MIN. TO NATURAL LOW POINT SUBGRADE - MIX IN BONE MEAL AT BOTTOM

AS SPECIFIED ON PLANT LIST 6" o.c. 8" o.c. 10" o.c. 12" o.c. 15" o.c. 18" o.c. 24" o.c. 30" o.c. 36" o.c. 42" o.c. 48" o.c.

TRIANGULAR SPACING FOR SHRUBS -GROUND COVERS - BULBS AND PERENNIALS

**ANNUAL & PERENNIAL PLANTING** SECTION Scale: 1" = 1'-0" Scale: 1" = 1'-0" L2.02

OF BULBS WHEN PLANTED

# PLANTING NOTES:

SHRUB PLANTING

UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

2 1/2 TIMES SHRUB ROOTBALLS

Scale: 1/2" = 1'-0"

L2.02

- 1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS' REPRESENTATIVE PRIOR TO
- AND BE FREE FROM DEFECTS AND INJURIES. 4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO GROWTH OF PLANT MATERIAL 5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES, SHRUBS, GROUNDCOVER AND PERENNIALS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST

3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED DENSELY FOLIATED BRANCHES, AND VIGOROUS ROOT SYSTEMS;

SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE. 6. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF/WHEN PRACTICAL. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT

SPECIMEN SHRUB

BURLAP FROM TOP,

- SCARIFY ROOTS OF ROOT

PLANT SPACING VARIES

ALL SHRUB BEDS TO BE

ALL EXISTING SOIL TO

DEPTH REQUIRED FOR

& TAGS FROM PLANTS

SOIL MIX BACK FILL

& WEAK BRANCHES

PRUNE ALL BROKEN, DISEASED

COMPLETELY EXCAVATED OF

REMOVE ALL STRINGS, RIBBONS

METAL BASKETS

**BOUND PLANTS** 

(SEE PLANS)

-SOIL MIX

- PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED, UNLESS OWNER AND CONTRACTOR PROVIDE OTHERWISE BY WRITTEN AGREEMENT. 7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALL SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF ANSI Z60 "AMERICAN STANDARD FOR PERIOD.
- NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. 8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK-FILLING PROCESSES. PLANTING MIX TO BE AS SHOWN ON
- PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS. 9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FORM THE BOTTOM OF THE
- BALL ONLY. 10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOP SOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- 11.NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS. 12.SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE GROUND IF THE PLANT WITH THE GROUND SURFACE WILL BE
- ESTABLISHED. LOCATE THE PLANT IN THE CENTER OF THE PIT. 13.ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND GREATER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER
- OF TREES SHALL NOT BE CUT BACK. LONG SIDES BRANCHES SHALL BE SHORTENED. 14.EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- 15.TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES 6" AND GREATER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED. THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING AND TREE WRAP AT THE END OF ONE YEAR MAINTENANCE AND
- GUARANTEE PERIOD. 16.ALL PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF MULCH.

17.NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.

- 18.ALL PLANTS SHOWN ON THE APPROVED LANDSCAPE PLAN SHALL BE INSTALLED, INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE. THE LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD. TREES, SHRUBS, VINES AND GROUNDCOVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVED BY THE PLANNING AUTHORITIES SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS: LAWNS: 03/15 TO 06/15 AND 09/15 TO 12/01. THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH PLANTING THESE TREES IN THIS SEASON: ACER RUBRUM POPULUS SPP.; BETULA SPP. PRUNUS SPP.; CARPINUS SPP. PYRUS SPP.; CRATECUS SPP. QUERCUS SPP.; KOELREUTERIA PANICULATA SALIX SPP.; LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA; LIRIODENDRON TULIPIFERA ZELKOVA; PLATANUS ACERIFOLIA; ANY PLANTING INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. PLANTINGS ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT
- APPROPRIATE SEASON 19.ALL DISTURBED AREAS SHALL BE TREATED WITH 4" TOP SOIL SODDED OR SEEDED AS NOTED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS INDICATED ON SOIL EROSION AND SEDIMENT CONTROL SHEET.
- 20.CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE; INCLUDING SHRUBS AND GROUNDCOVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE 4. ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE. CONDITION THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD, UNLESS OTHERWISE SPECIFIED. 21. CONTRACTOR SHALL LAYOUT AND CLEARLY STAKE ALL PROPOSED IMPROVEMENTS INCLUDED ON THIS PLAN.
- 22.CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. LANDSCAPE ARCHITECT SHALL BE ALERTED BY CONTRACTOR OF ANY DISCREPANCIES PRIOR TO FINAL BID NEGOTIATION. UNIT PRICES FOR ALL MATERIAL SHALL BE SUPPLIED TO THE OWNER AT BIDDING T ME. 23.ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. OWNER SHALL RECEIVE TAG FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER THE AMERICAN

STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY

- 24.SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
- 25.ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
- 26.ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION
- 27.GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED. 28.TREES SHALL BE LOCATED A MINIMUM OF 3' - 4' FROM WALLS AND WALKS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, CONTRACTOR
- SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS. 29.TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE
- 30.CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTLING) THAN ADJACENT SOIL. 31.TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. REMOVE BURLAP IF IT IS NON-BIODEGRADABLE. FOR
- STREET TREES TAGS, TWINE, CORD, BURLAP AND WIRE BASKET TO BE CUT 12" DOWN SIDE OF ROOT BALL AND REMOVED FROM PROJECT SITE. 32.SHRUBS AND GROUND COVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS. 33.SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION. SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE
- INCLUDE ANY TERMINAL GROWTH. 34.ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER. IF CONTRACTOR FAILS TO SUBMIT A WRITTEN REQUEST, IT WILL RESULT IN LIABILITY TO THE CONTRACTOR.

AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO

- 35.ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY, ESPECIALLY AT ALL CURB, GUTTERS AND SIDEWALKS DAILY DURING INSTALLATION. 36.DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS
- REMOVED FROM THE JOB SITE. A COPY OF THE LIST IS TO BE SUBMITTED TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD. 37.TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX, AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES ARE REQUIRED.
- 38.CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AT LEAST TEN WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE
- PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON. 39.THE SPECIFICATIONS FOR ALL WORK INCLUDED IN THIS CONTRACT SHALL BE LANDSCAPE SPECIFICATIONS GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA, CURRENT EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.

# ARCHAEOLOGY NOTES

- 1. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY (703/746-4399) TWO WEEKS BEFORE THE STARTING DATE OF ANY GROUND DISTURBANCE SO THAT A MONITORING AND INSPECTION SCHEDULE FOR CITY ARCHAEOLOGISTS CAN BE ARRANGED. 2. CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALLS WELL, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE
- FINDS. 3. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA

# ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

# PLANTING NOTES (CONT.)

1. ALL MATERIALS' SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE INDUSTRY STANDARD FOR GRADING PLANT MATERIAL - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).

2. MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

APPROVED SPECIAL USE PERMIT NO DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES CHAIRMAN, PLANNING COMMISSION DEED BOOK NO.

VT S	CHEDULE LOT	800	K. 1		-			
QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	SPREAD	REMARKS		*
JOUS T	RFFS						CCA PER TREE (SF)	TOTAL CROWN COVE
1	Native Deciduous Tree		14`-16`	3" - 3 1/2"		B&B, full uniform crown, symmetrical branching, full specimen	1250	1250
REEN T	REES							
1	Native Evergreen Tree		68.		3 1/2 - 5`	B&B, full to ground with good seasonal flush	750	750
T TREE	S			-8			PROPOSED TREE CCA	2000
2	Native Street Tree		8`-10`	2 1/2" min.		B&B, full uniform crown, symmetrical branching, full specimen	N/A - STREET T	REE IN R.O.W.
	QTY JOUS T 1 REEN 1 1	QTY BOTANICAL NAME  JOUS TREES  1 Native Deciduous Tree  REEN TREES 1 Native Evergreen Tree  T TREES	JOUS TREES  1 Native Deciduous Tree  REEN TREES  1 Native Evergreen Tree  T TREES	QTY BOTANICAL NAME COMMON NAME HEIGHT  JOUS TREES  1 Native Deciduous Tree 14'-16'  REEN TREES  1 Native Evergreen Tree 6'-8'  T TREES	QTY BOTANICAL NAME COMMON NAME HEIGHT CALIPER  JOUS TREES  1 Native Deciduous Tree 14'-16' 3" - 3 1/2"  REEN TREES  1 Native Evergreen Tree 6'-8'	QTY BOTANICAL NAME COMMON NAME HEIGHT CALIPER SPREAD  JOUS TREES  1 Native Deciduous Tree 14'-16' 3" - 3 1/2"  REEN TREES  1 Native Evergreen Tree 6'-8' 3 1/2 - 5'  T TREES	QTY   BOTANICAL NAME   COMMON NAME   HEIGHT   CALIPER   SPREAD   REMARKS     JOUS TREES   1	QTY   BOTANICAL NAME   COMMON NAME   HEIGHT   CALIPER   SPREAD   REMARKS

	NATIV	E PLANT TABULA	TIONS - LOT 80	)0	
			BEGINNI	NG JANUARY	2, 2024
	CHARITITY		REQUIRED	PRC	VIDED
PLANT TYPE	QUANTITY	NATIVE TYPE	%	QTY.	%
Huban Trace	2	Regional/Local	20%	2	100%
Urban Trees	2	Total Natives	50%	2	100%
Standard Trees	1	Regional/Local	40%	1	100.0%
Standard frees	1	Total Natives	80%	1	100.0%
Evergreen	1	Regional/Local	10%	1	100.0%
Shrubs	1	Total Natives	40%	1	100.0%
Deciduous 0		Regional/Local	20%	0	#DIV/0!
Shrubs	U	Total Natives	80%	0	#DIV/0!
Groundcovers	0	Regional/Local	10%	0	N/A
Groundcovers	U	Total Natives	20%	0	N/A
Perennials. Ferns.	0	Regional/Local	25% (perennials) 30% (ferns & grasses	5) 0	N/A
Ornamental Grasses	0	Total Natives	60% (perennials) 80% (ferns & grasses	s) O	N/A
Vines	0	Total Natives	100%	0	N/A
,		NATIVE PLANT	TOTALS	_	MI.
TOTAL PLANTS	SPECIFIED	TOTAL SU REGIONAL/LOC PLANT	AL NATIVE	TOTAL SUM PLA	
4		4		4	
4		100.0%		100	.0%

CROWN COVER TABULATIONS -	LOT 800			
TOTAL SITE AREA (SF)	8,019			
25% CROWN COVER REQUIRED (SF)	2,005			
EXISTING CROWN COVER (SF)	4,308			
REMOVED CROWN COVER (SF)	3,686			
PRESERVED CROWN COVER (SF)				
Crown Cover from Preserved Trees	622			
Crown Cover from Preserved Shrubs	0			
PROPOSED CROWN COVER (SF)				
Crown Cover from Proposed Trees	2,000			
Crown Cover from Proposed Shrubs	0			
TOTAL CROWN COVER PROVIDED (%)	32.7%			
TOTAL CROWN COVER PROVIDED (SF)	2,622			

A) STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANS REQUIRING APPROVAL:

THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES: 1) THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR

CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY. 2)THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE

LANDSCAPE GUIDELINES MUST BE FOLLOWED. 3)THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN.

4) ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN

5)INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.

6)IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GATHERSBURG, MARYLAND.

7)SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY. 8)MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND

AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.

B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:

IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSUP PROJECTS: 1)THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.

2)THE APPLICANT MUST CONTACT THE P&C PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.

3)THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE

SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET. 9)AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES,

AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS, AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

STANDARD	LANDSCAPE	PLAN	NOTES
NOT TO SCALE  OF UPDATES: 00 LAST UPDATED:			

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA. VIRGINIA

THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENTED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

CITY OF STANDARD				
pproved by: COA	LANDSCAPE PLAN NOTES			
I OF I	Date drawn: 01/01/19	LD 016		

APPROVE PECIAL USE PERM		
PARTMENT OF PLANNING & Z	ONING	
DIRECTOR		DATE
EPARTMENT OF TRANSPORTATION	ON & ENVIRONMENTA	L SERVICES
ITE PLAN NO		
DIRECTOR		DATE
CHAIRMAN, PLANNING COM	MISSION	DATE
ATE RECORDED		
NSTRUMENT NO.	DEED BOOK NO.	DATE

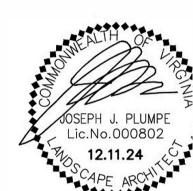
126 LONGVIEW DRIVE

126 LONGVIEW DRIVE ALEXANDRIA, VA 22314 CITY OF ALEXANDRIA

OCH AT LONGVIEW, LLC

6416 GROVEDALE DR., SUITE 100-A ALEXANDRIA, VIRGINIA 22310 703.719.6500 | STUDIO39.COM

SEAL/SIGNATURE



ISSUE DATE PREL MINARY PLAN 12.11.2024

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STUDIO39 ANDSCAPE ARCH TECTURE, P.C. PROJECT NUMBER: CONTACT: D. DOVE DRAWN: APPROVED/CHECKED:

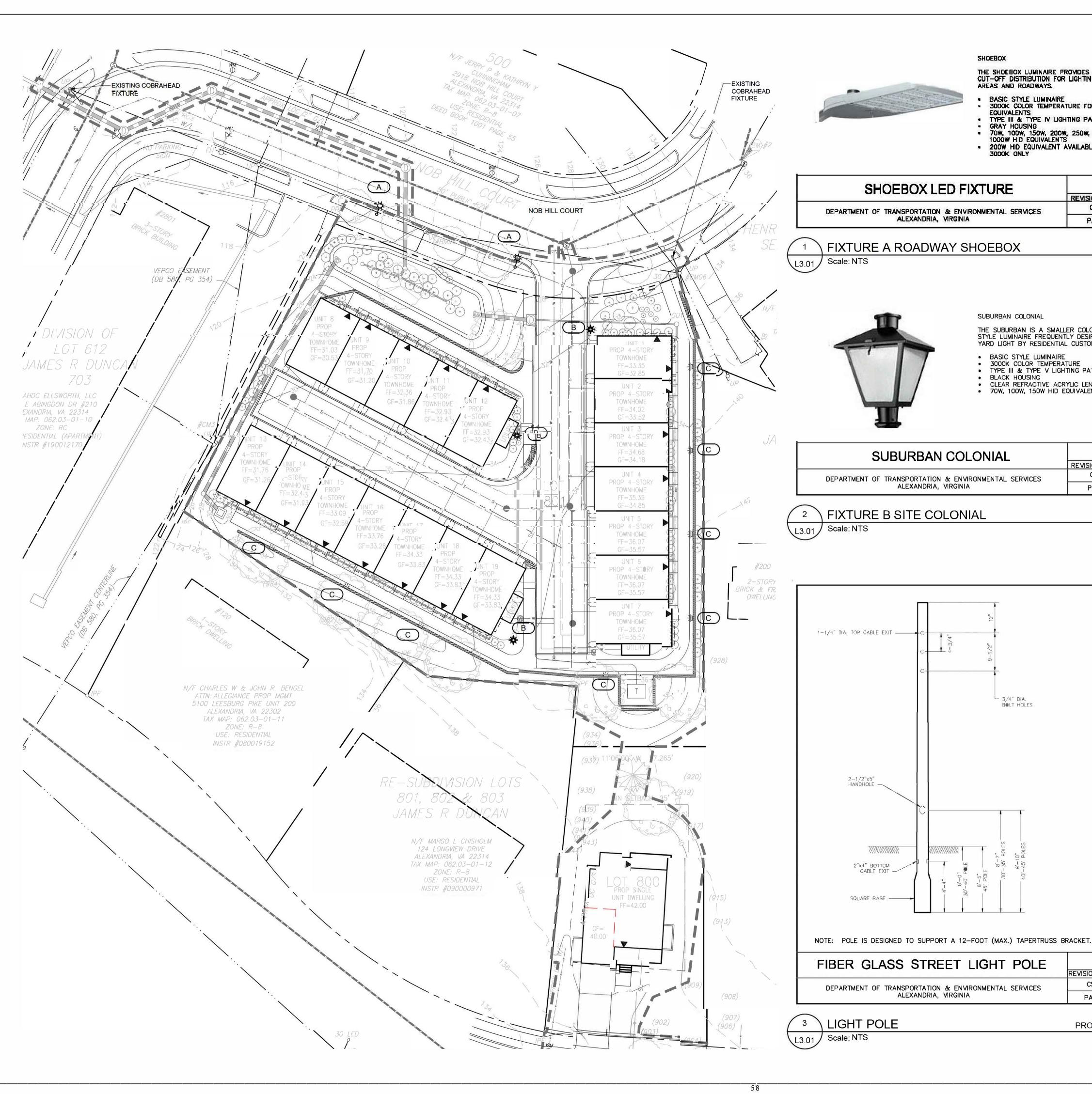
ORIENTATION AND SCALE

SHEET TITLE

LANDSCAPE SCHEDULE - LOT

SHEET NUMBER

Preliminary Plan





## SHOEBOX

THE SHOEBOX LUMINAIRE PROVIDES A FULL CUT-OFF DISTRIBUTION FOR LIGHTING PARKING AREAS AND ROADWAYS.

BASIC STYLE LUMINAIRE

- 3000K COLOR TEMPERATURE FOR ALL HID EQUIVALENTS . TYPE III & TYPE IV LIGHTING PATTERN - GRAY HOUSING TOW, 100W, 150W, 200W, 250W, 400W, 1000W HID EQUIVALENTS - 200W HID EQUIVALENT AVAILABLE IN CRAY, 3000K ONLY

URF			SYMBO
O. C.	REVISION	DATE	

SHOEBOX LED FIXTU CSSL-1 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES ALEXANDRIA, VIRGINIA PAGE 71

SUBURBAN COLONIAL

BLACK HOUSING

BASIC STYLE LUMINAIRE

BOLT HOLES

3000K COLOR TEMPERATURE

THE SUBURBAN IS A SMALLER COLONIAL

TYPE III & TYPE V LIGHTING PATTERN

70W, 100W, 150W HID EQUIVALENTS

STYLE LUMINAIRE FREQUENTLY DESIRED AS A YARD LIGHT BY RESIDENTIAL CUSTOMERS.

CLEAR REFRACTIVE ACRYLIC LENS PANELS

REVISION DATE CSSC-1

PAGE 70

FIXTURE A ROADWAY SHOEBOX

SUBURBAN COLONIAL

ALEXANDRIA, VIRGINIA

BOL 🌣

SYMBOL \*

CONTACT: **EMILY MYERS** FEDERATED LIGHTING, INC. 301-249-0800

INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND GOVERNING MUNICIPAL REQUIREMENTS. 2. CONTRACTOR TO VERIFY QUANTITIES.

PRODUCT INFO

**ISSUE DATE** 

JOSEPH J. PLUMPE Lic.No.000802 12.11.24

**AEL/ACUITY BRANDS** ONE LITHONIA WAY, CONYERS, GA 30012 770-922-9000 www.acuitybrands.com

DESCRIPTION: AMERICAN REVOLUTION DELUXE

ARDL P201 MVLOT 30K R3 AY BK SCC

LED, 70W, 3000K, TYPE III, ACRYLIC,

BLACK FINISH, STANDARD CUPOLA

CONTACT: **EMILY MYERS** FEDERATED LIGHTING, INC. 301-249-0800

PER PLAN

QUANTITY:

1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND GOVERNING MUNICIPAL REQUIREMENTS.

2. CONTRACTOR TO VERIFY QUANTITIES.

PRODUCT INFO

HSL13 12INCH 30K MVOLT L MIN5 BB MODEL #:

DESCRIPTION: 12" LED STEP LIGHT

**OPTIONS:** 3000K, TEXTURED BLACK FINISH, BACK BOX

PER PLAN QUANTITY: HYDREL/ACUITY BRANDS

ONE LITHONIA WAY, CONYERS, GA 30012 770-922-9000 www.acuitybrands.com

SYMBOL :

CONTACT: **EMILY MYERS** FEDERATED LIGHTING, INC. 301-249-0800

1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND GOVERNING MUNICIPAL REQUIREMENTS.

FIXTURE C WALL LIGHT Scale: NTS

2. CONTRACTOR TO VERIFY QUANTITIES.

PRODUCT INFO

APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO.

CHAIRMAN, PLANNING COMMISSION

DATE RECORDED

INSTRUMENT NO.

DEED BOOK NO.

PRELIMINARY PLAN

LIGHT POLE

V/A\V/A\V/A\

PRODUCT INFO

REVISION DATE CSFG-1

PAGE 75

126 LONGVIEW DRIVE 126 LONGVIEW DRIVE

ALEXANDRIA, VA 22314

CITY OF ALEXANDRIA

DESCRIPTION: AUTOBAHN SERIES ATBMICRO

LED, 100W, 3000K, TYPE III, GRAY

QUANTITY: PER PLAN

MODEL #: ATBMic P105 MVOLT R3 3K

**AEL/ACUITY BRANDS** ONE LITHONIA WAY, CONYERS, GA 30012 770-922-9000

CLIENT OCH AT LONGVIEW, LLC www.acuitybrands.com

LANDSCAPE ARCHITECTURE, P.C

6416 GROVEDALE DR., SUITE 100-A ALEXANDRIA, VIRGINIA 22310 703.719.6500 | STUDIO39.COM

SEAL/SIGNATURE

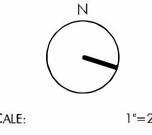
PREL MINARY PLAN 12.11.2024

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PROJECT NUMBER:

CONTACT: D. DOVE DRAWN: APPROVED/CHECKED:

ORIENTATION AND SCALE



1''=20'-0''

SHEET TITLE

LIGHTING PLAN

SHEET NUMBER



WESTRI	DGE TOWNS COLOR S	SCHEMES	
	UNIT #1, 3, 5 \$ 7 UNIT #8 \$ 12 UNIT #14, 16 \$ 18	UNIT #9 & 11 UNIT #13, 15, 17 & 19	UNIT #2, 4 & 6 UNIT #10
SIDING	SILVER GREY	WHITE	MISTY SHADOW
BRICK	CALVARY GRAY	CALVARY GRAY	CALVARY GRAY
VERTICAL SIDING & BUMPOUTS	(UNIT #1, 7, 8 \$12) MISTY SHADOW (UNIT #14, 16 \$ 18) SILVER GREY	SII VER GREY	MISTY SHADOW
ROOFS	MAX DEF GEORGETOWN GRAY	MAX DEF COBBLESTONE GRAY	MOIRE BLACK
TRIM	WHITE	WHITE	WHITE
WINDOWS	BLACK	BLAC	BLACK
FRONT DOORS	(UNIT #1, 7, 8 & 12) DOMINO (UNIT #3 & 5) DARK BERRY (UNIT #14, 16 & 18) IN THE NAYY	(UNIT #13 & 19) DOMINO (UNIT #9, 11, 15 & 17) DARK BERRY	(UNIT #2, 4, 6 \$ 10) IN THE NAVY
GARAGE DOORS	DOMINO	DOMINO	DOMINO

# NOTE:

FINAL COLORS TO BE DETERMINED PRIOR TO PLANNING COMMISSION HEARING.

COLOR SCHEMES	LIENT INFORMATION:  CREEK HO
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EPDM ROOFING EPDM ROOFING -12 1.75 1.75 IX6 COMPOSITE RAKE BRD. (TYP.) 1x6 COMPOSITE RAKE BRD (TYP.) -5/4×10 COMPOSITE RAKE FRIEZE TRIM BRD. (TYP.) -5/4x10 COMPOSITE RAKE FRIEZE TRIM BRD. (TYP.) 8.75 5/4×4 COMPOSITE TRIM 5/4x4 COMPOSITE TRIM 8.75 SURROUND (TYP) 5/4x8 COMPOSITE CORNER TRIM -SURROUND (TYP.) VINYL LAP SIDING-VINYL LAP SIDING - 42" HIGH VINYL RAILING 42" HIGH VINYL RAILING ---EPDM ROOFING -IX6 COMPOSITE FASCIA BRD. 5/4x10 TRIM BAND BRD. IXIO COMPOSITE TRIM -5/4×10 TRIM BAND BRD. VINYL CORNER TRIM VINYL CORNER TRIM 1x6 COMPOSITE SILL TRIM -(TYPICAL) -(TYPICAL) CEMENTITIOUS PANEL -VINYL LAP SIDING VINYL LAP SIDING 1×12 COMPOSITE TRIM -1X6 COMPOSITE HEAD TRIM BRICK ROWLOCK ON BRICK ROWLOCK ON BRICK SOLDIER BAND BRICK SOLDIER BAND -IXIO COMPOSITE TRIM (TYP.) -36" HIGH VINYL 36" HIGH VINYL RAILING -RAILING 1x6 COMPOSITE SILL TRIM -IXIO COMPOSITE TRIM BRD. FLAT ROOF ENTRY COVER W/ DECORATIVE BRACKETS -CANTILEVER WOOD DECK CEMENTITIOUS PANEL L CANTILEVER WOOD DECK BRICK SOLDIER HEAD (TYP). BRICK ROWLOCK SILL (TYP.) BRICK ROWLOCK SILL (TYP.) BRICK VENEER

- UTLITY SHED

LEFT-SIDE ELEVATION (UNIT #7)

RIGHT-SIDE ELEVATION (UNIT #1)

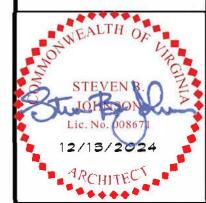
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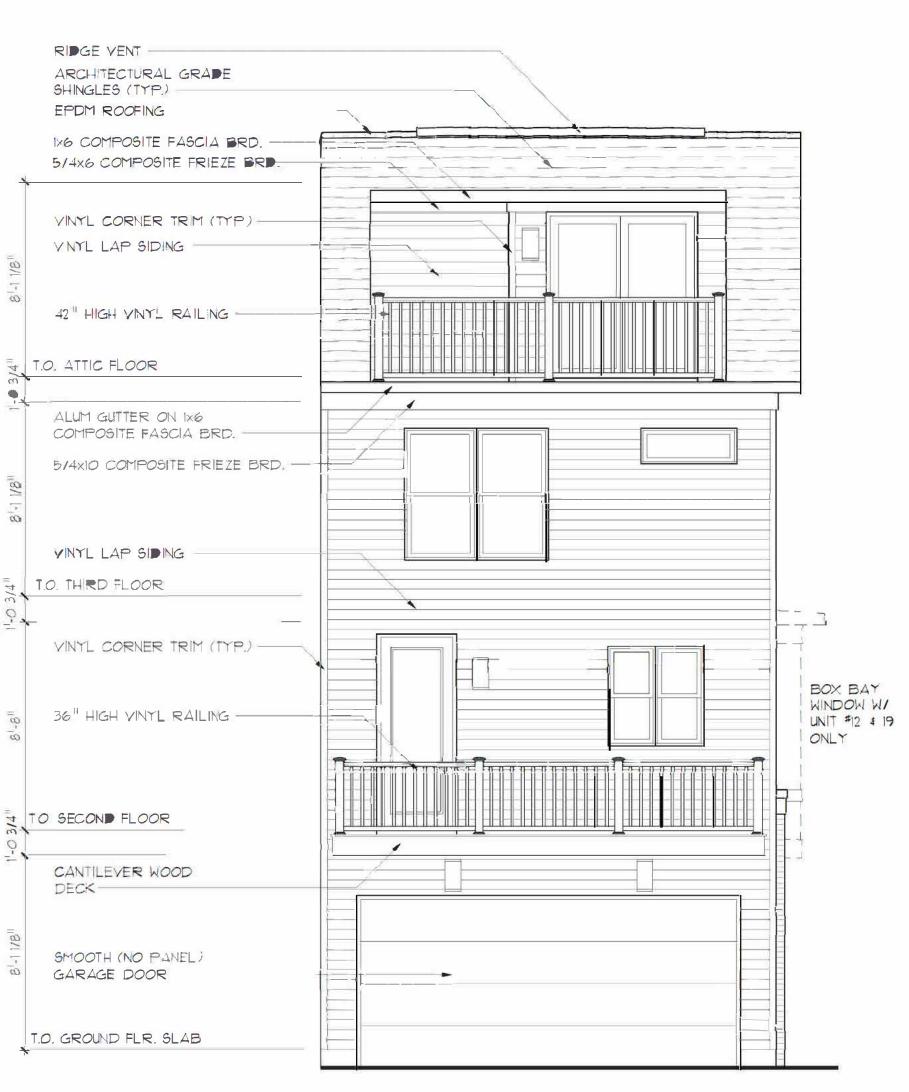


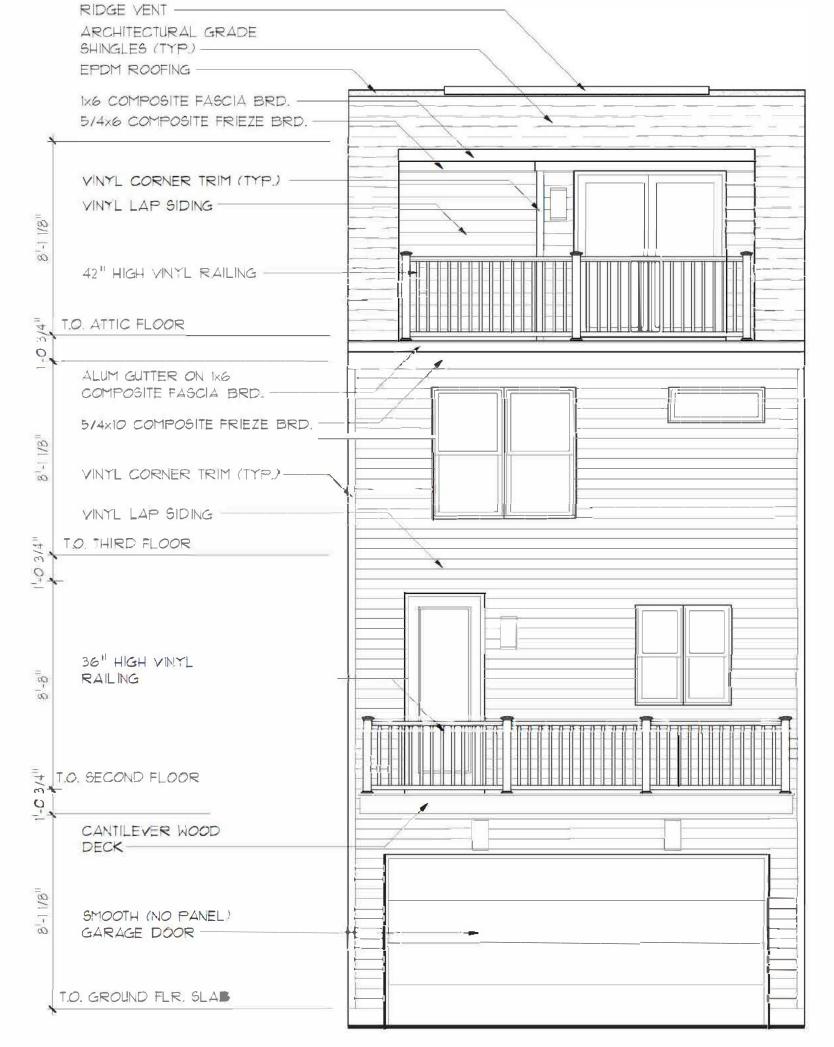


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REAR ELEVATION (END UNIT #1)

SCALE: 1/4" = 1'-0"

REAR ELEVATION (END UNIT)

REAR ELEVATION (INT. UNIT)

SCALE: 1/4" = 1'-0'

FAIRFA (703 www.p	UITE 402 AX, VA 22030 ) 218 3400 dc home.com  EVEN B. OZA No. 008671  B/2024  CHITECT
ELEVATIONS	** CREEK HOMES - WESTRIDGE TOWNHOMES  an instrument of service and shall remain the property of Pinnacle Design & Consulting, Inc., it shall not be modified or reproduced in any manner without ion of Pinnacle Design & Consulting, Inc.

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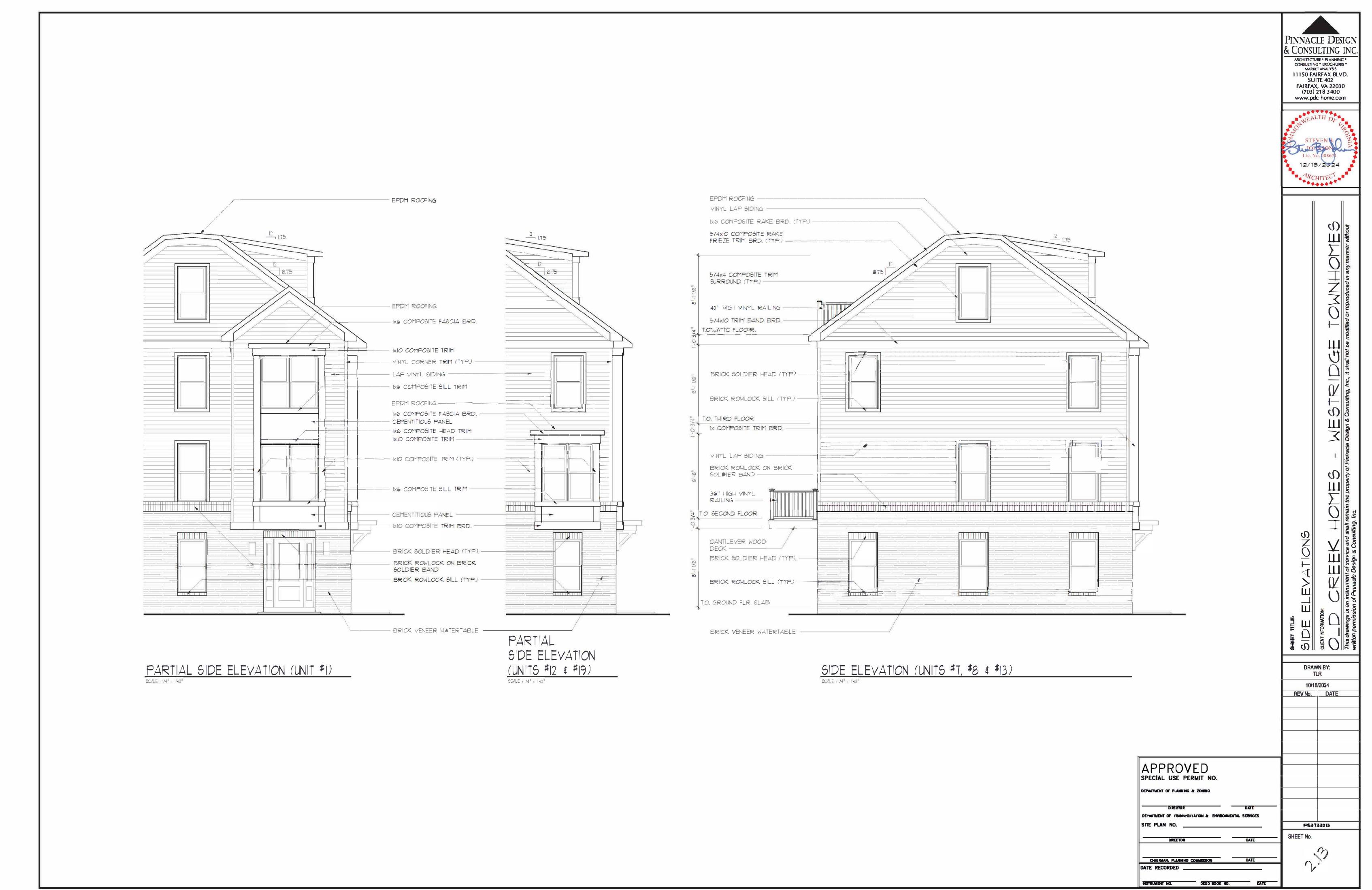
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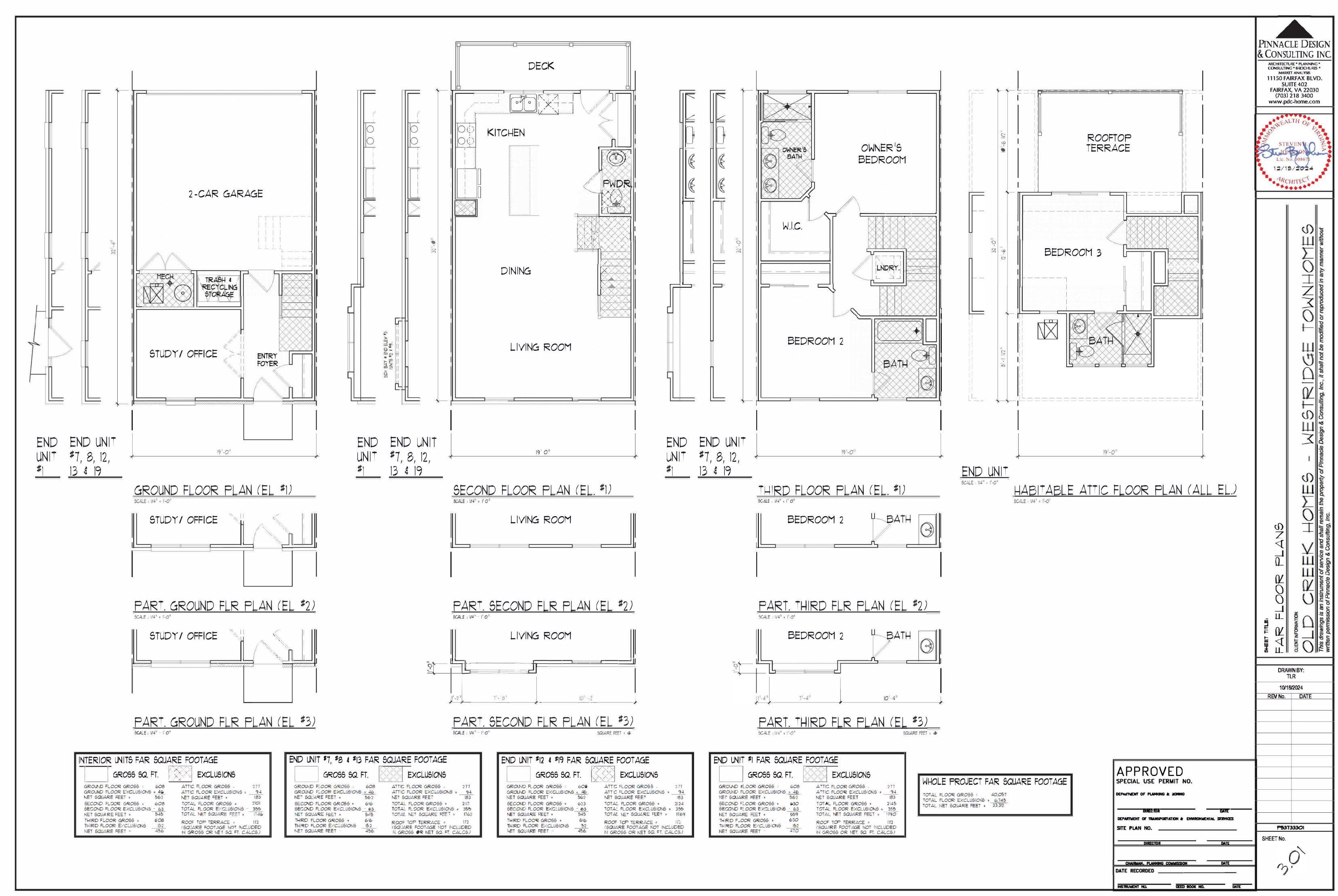
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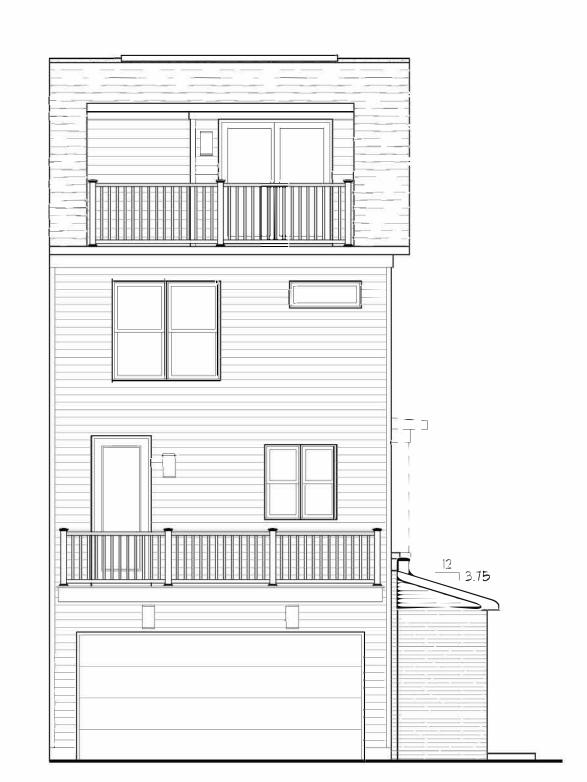




SIDE ELEVATION W/ UTILITY SHED UNIT #7

SCALE # 3/16" = 1' 0"

## SIDE ELEVATION W/ UTILITY SHED UNIT #12 & #19 GCALE : 3/16" = 1' 0"



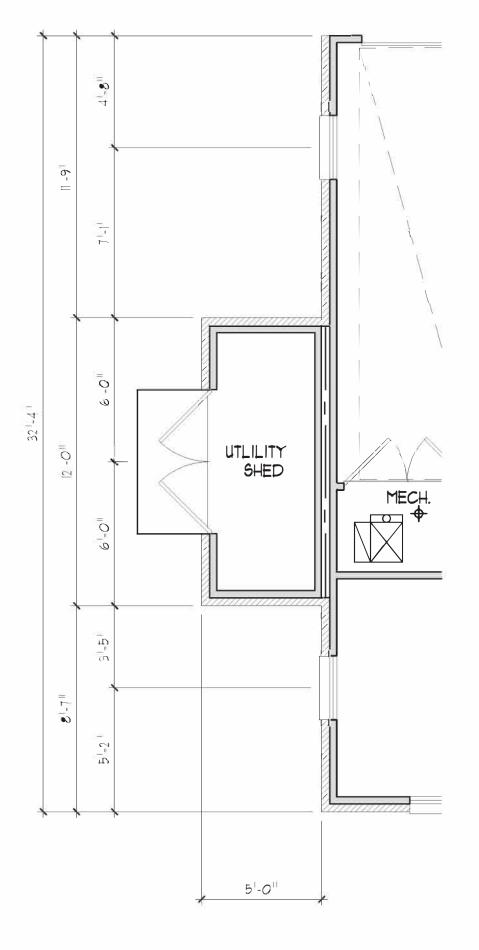
REAR ELEVATION
W/ UTILITY SHED

SCALE : 3/16" = 1' 0"



FRONT ELEVATION
W/ UTILITY SHED

GCALE: 3/16" = 1'-0"



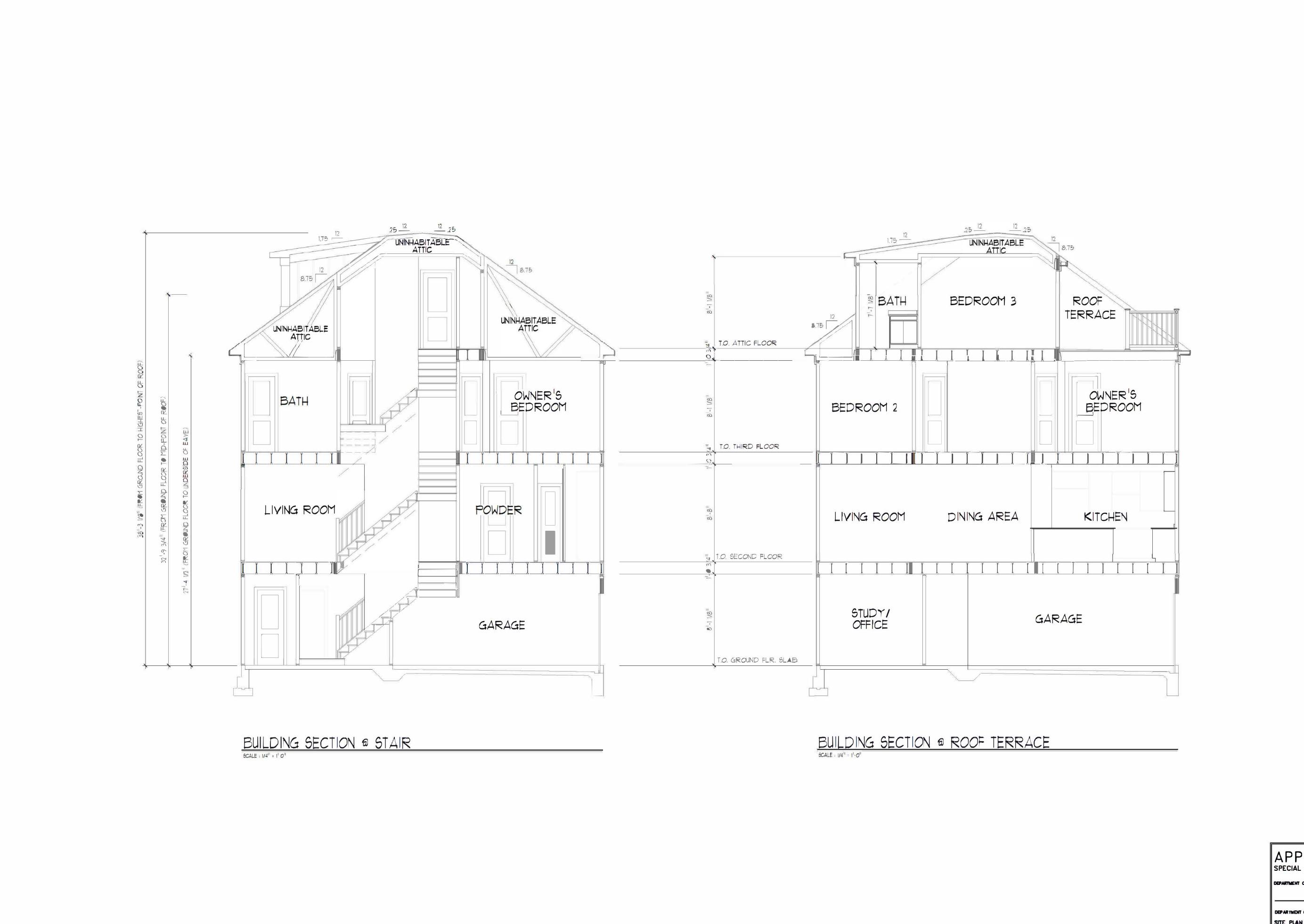
PARTIAL GROUND FLOOR UTILITY SHED PLAN SCALE: 1/4" = 1'0"

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BUILDING SECTIONS

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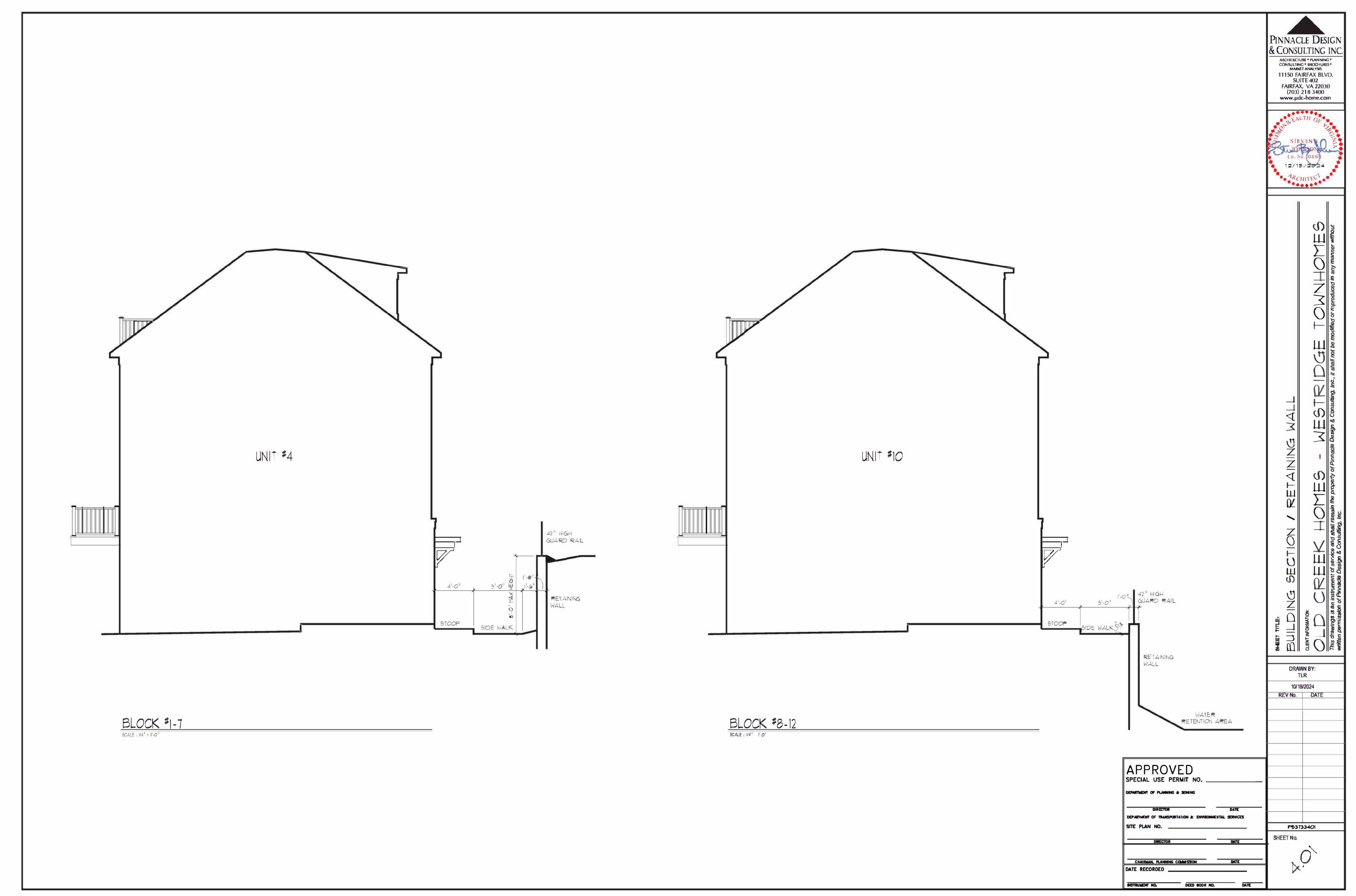
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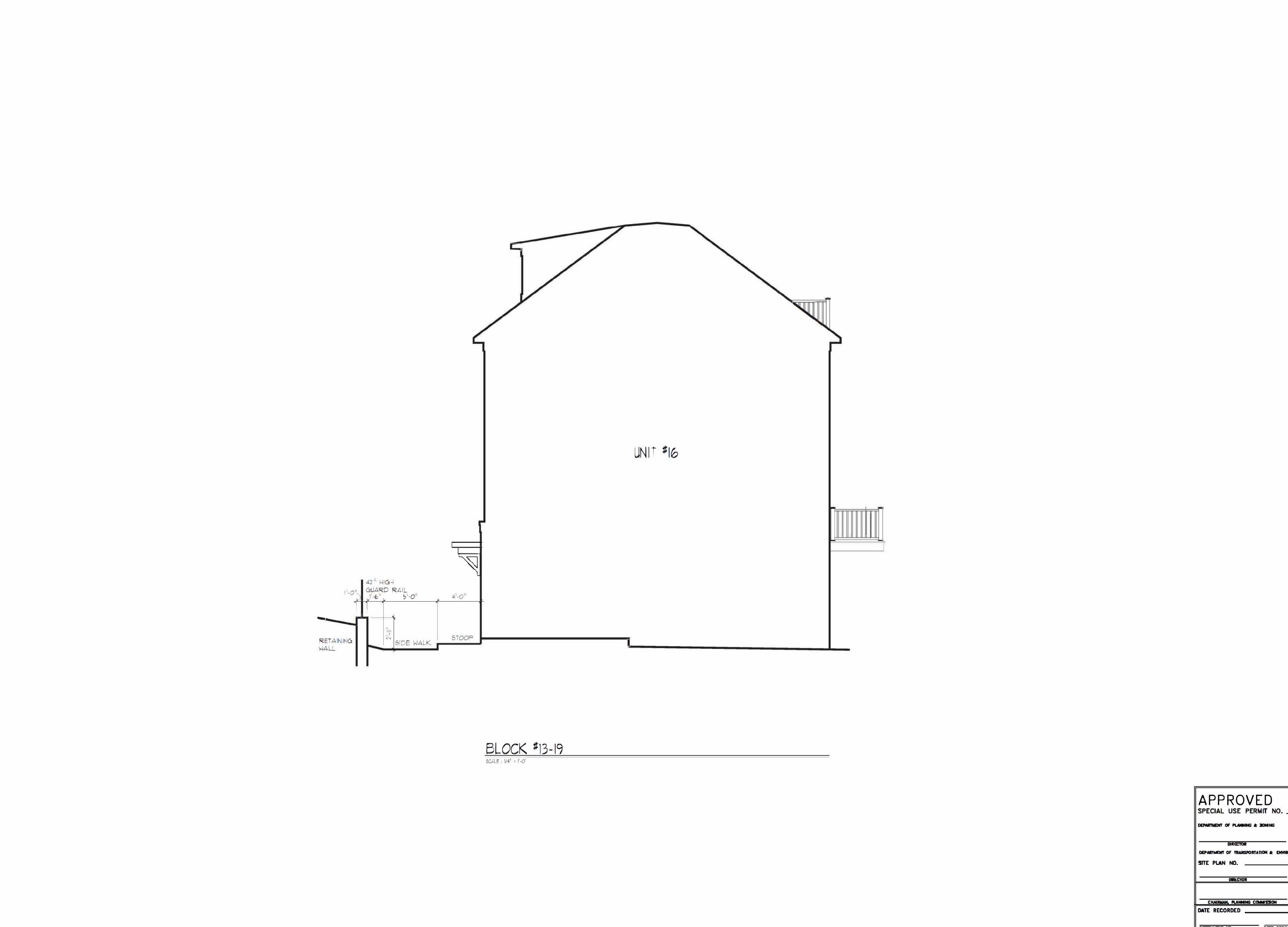
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BUILDING SECTION / RETAINING WALL
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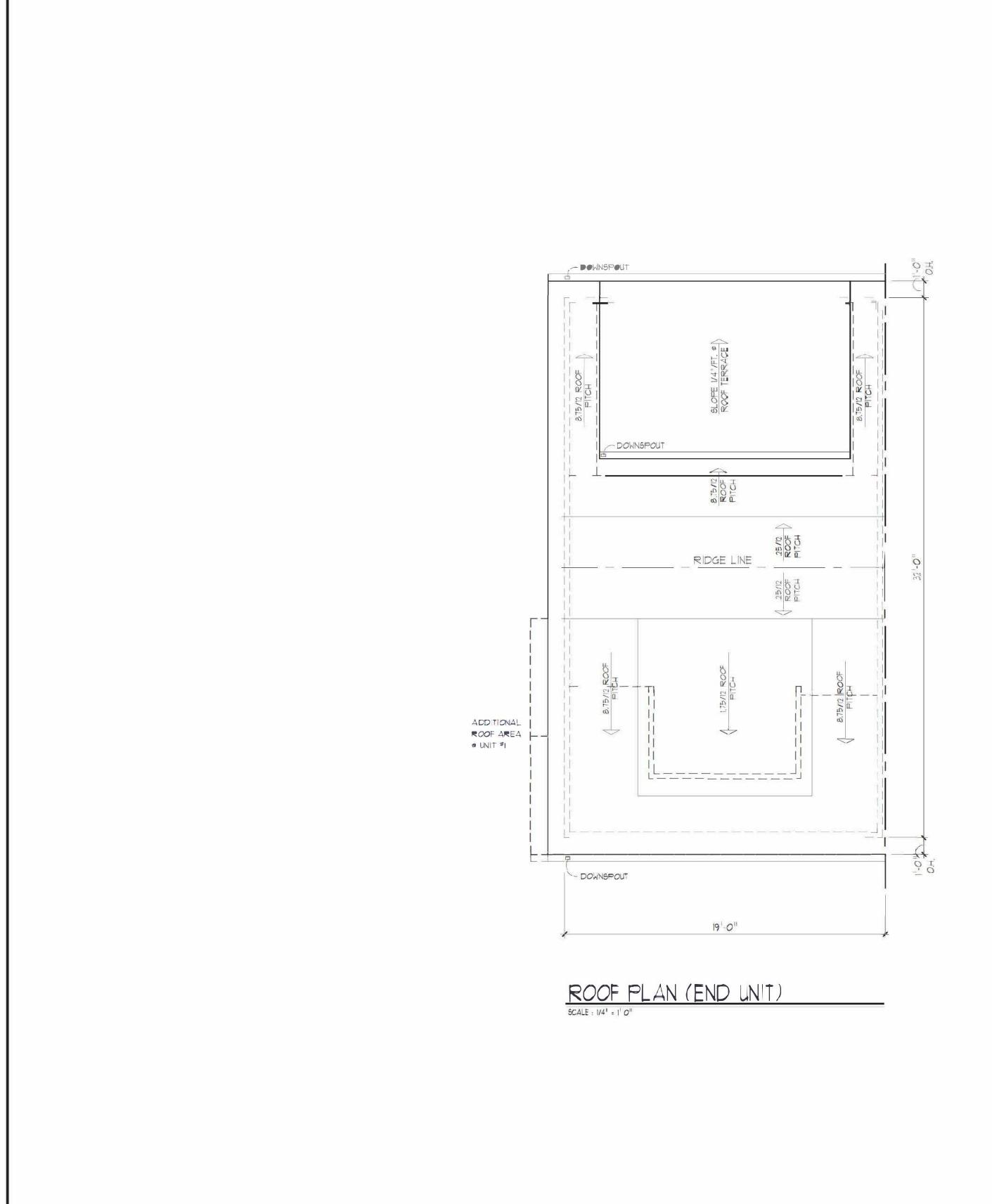
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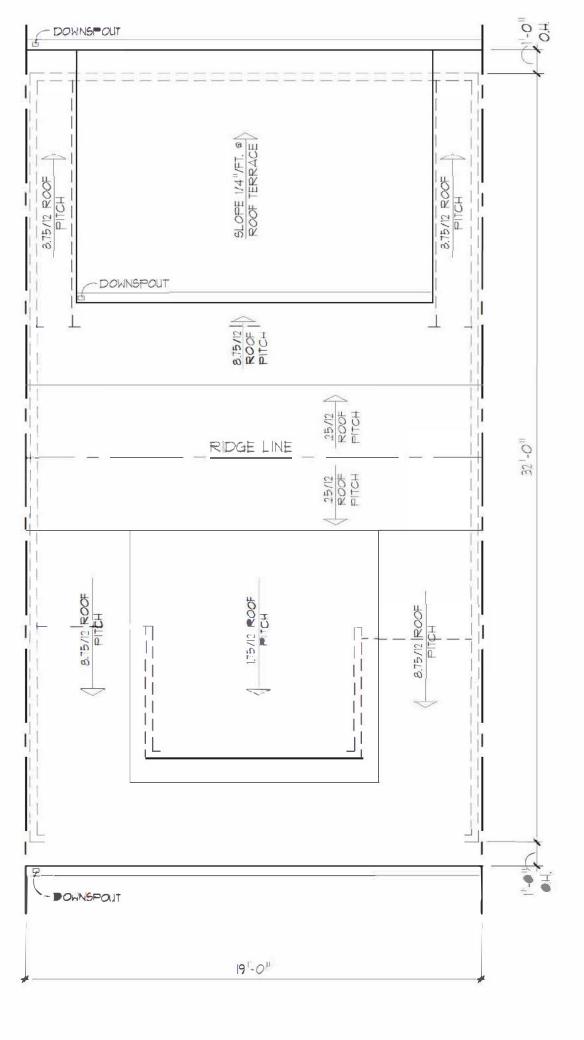
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ROOF PLAN (INTERIOR UNIT)

SCALE: 1/4" : 1' 0"

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	ROOF PLANS	CLIENT INFORMATION: $OLDCREER +OMES = MESTRIDGE +OMNHOMES$ This drawings is an instrument of service and shall remain the property of Pinnacle Design & Consulting, Inc., it shall not be modified or reproduced in any manner without written permission of Pinnacle Design & Consulting, Inc.	
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## GENERAL PLAN NOTES:

THIS PLAN, CRAFTED BY GOOD LIFE HOUSE PLANS, WAS TAILORED TO CONFORM TO TYPICAL CONDITIONS AND STANDARDS OUTLINED IN THE 2018 IRC AT THE TIME OF ITS CREATION. GIVEN THE DYNAMIC NATURE OF CODES AND REGULATIONS, WHICH CAN VARY ACROSS DIFFERENT JURISDICTIONS, GOOD LIFE HOUSE PLANS CANNOT GUARANTEE ADHERENCE TO ANY SPECIFIC CODE OR REGULATION. IT IS ADVISED TO CONSULT YOUR LOCAL BUILDING AUTHORITY TO ASSESS THE SUITABILITY OF THESE PLANS FOR YOUR PARTICULAR LOCATION AND PURPOSE

WHILE THIS PLAN CAN BE ADJUSTED TO MEET LOCAL BUILDING CODES AND REQUIREMENTS, IT REMAINS THE SOLE RESPONSIBILITY OF THE PURCHASER ANO/OR BUILDER TO ENSURE THAT THE STRUCTURE COMPLIES RIGOROUSLY WITH ALL APPLICABLE MUNICIPAL CODES (CITY, COUNTY, STATE, AND FEDERAL). BY PURCHASING AND/OR CONSTRUCTING THIS PLAN, THE PURCHASER AND/OR BUILDER ABSOLVES THE DESIGNER OF ANY CLAIMS OR LEGAL ACTIONS THAT MAY ARISE DURING OR AFTER THE CONSTRUCTION OF THE STRUCTURE.

SHOULD THE CONTRACTOR OR SUB-CONTRACTOR ENCOUNTER ANY INCONSISTENCIES BETWEEN THE PLAN AND THE ACTUAL CONDITIONS OF THE SITE OR STRUCTURE, OR DETECT ANY ERRORS IN THE PLANS OR SPECIFICATIONS DURING THEIR WORK, THEY ARE OBLIGATED TO PROMPTLY NOTIFY GOOD LIFE HOUSE PLANS. GOOD LIFE HOUSE PLANS WILL THEN SWIFTLY VERIFY AND, IF NEEDED, RECTIFY THE WORKING DRAWINGS. ANY WORK UNDERTAKEN SUBSEQUENT TO SUCH DISCOVERY WILL BE AT THE EXPENSE OF THE CONTRACTOR.

THE PURCHASER OF THIS PLAN IS EXCLUSIVELY AUTHORIZED TO CONSTRUCT IT. THEY ARE PERMITTED TO REPRODUCE THE DRAWINGS SOLELY FOR THE PURPOSE OF CONSTRUCTION AND TO MAKE MODIFICATIONS AS NECESSARY. HOWEVER, NO PARTY IS AUTHORIZED T CLAIM COPYRIGHT ON THE ORIGINAL OR MODIFIED PLAN. MODIFIED PLANS REMAIN UNDER LICENSE AND CANNOT BE SOLO, DISTRIBUTED, OR TRANSFERRED WITHOUT THE EXPLICIT WRITTEN CONSENT OF GOOD LIFE HOUSE PLANS. ANY VIOLATION OF GOOD LIFE HOUSE PLANS' COPYRIGHT, INCLUDING REPRODUCTION, DISTRIBUTION, CONSTRUCTION, OR REDESIGN, IS SUBJECT TO LEGAL PENALTIES AS DICTATED BY ARCHITECTURAL COPYRIGHT LAWS.

## **DESIGN LOADS:**

- ULTIMATE DESIGN WIND SPEED! 115 MPH, EXPOSURE CATEGORY. B
- SEISMIC DESIGN CATEGORY A
- ROOF: CEILING:
- 40 PSF. LIVE 30 PSF. LIVE 10 PSF. LIVE
- 15 PSF. DEAD 10 PSF. DEAD 5 PSF. DEAD - SOIL BEARING CAPACITY - 1500 PSF.

### **CONCRETE AND FOUNDATIONS:**

- ALL FOUNDATION WALLS AND SLABS ON GRADE SHALL BE 3000 PSI (2B-DAY COMPRESSIVE STRENGTH CONCRETE)
- ALL INTERIOR SLABS ON GRADE SHALL BEAR ON 4" COMPACTED GRANULAR FILL WITH 6 MIL. POLYETHYLENE VAPOR BARRIER.
- PROVIDE PROPER EXPANSION AND CONTROL JOINTS AS PER LOCAL REQUIREMENTS.
- ALL 36" X 36" X 18" CONCRETE PAOS TO HAVE (3) #5 RODS EACH WAY.
- ALL 48" X 48" X 24" CONCRETE PAOS TO HAVE (4) #5 RODS EACH WAY. FOUNDATION WALLS ARE NOT TO BE BACKFILLED UNTIL PROPERLY BRACED.
- VERIFY DEPTH OF FROST FOOTINGS WITH YOUR LOCAL CODES.
- PROVIDE TERMITE PROTECTION AS REQUIRED BY HUD MINIMUM PROPERTY STANDARDS.
- FOUNDATION BOLTS MUST BE ANCHORED TO SILL PLATE WITH 5/B" BOLTS EMBEDDED 15" IN CONCRETE WALLS.
- FOR WINDOW OPENINGS IN CONC. WALL, PROVIDE #5 BARS @4" O.C. (TWO TOTAL) W/2" CLEARANCE FROM TOP & SIDES OF OPG. FOR JAMB & LINTEL REINFORCING. EXTEND REINFORCING A MINIMUM OF 2' PAST OPENING EDGES.

- ALL STRUCTURAL STEEL FOR BEAMS AND PLATES SHALL COMPLY WITH ASTM SPECIFICATION A-36.
- ALL STRUCTURAL STEEL FOR STEEL COLUMNS SHALL COMPLY WITH ASTM SPECIFICATION A-53 GRADE B OR A-501.
- ALL REINFORCING STEEL FOR CONCRETE SHALL COMPLY WITH ASTM SPECIFICATION A-615 GRADE 60.
- PROVIDE STEEL SHIMNS IN ALL BEAM POCKETS
- STEEL COLUMNS ARE TO BE 3" I.O. (INSIDE DIAMETER) UNLESS NOTED OTHERWISE.

## FRAMING MEMBERS:

- UNLESS NOTED OTHERWISE, ALL FRAMING LUMBER SHALL HAVE THE FOLLOWING CHARACTERISTICS:
- CONTRACTOR TO CONFIRM THE SIZE. SPACING AND STRESS CHARACTERISTICS OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET YOUR LOCAL CODE REQUIREMENTS.
- WALL BRACING METHOD ASSUMED AS CS-WSP. SINCE BRACED WALL LINE SPACING AND BRACED WALL PANEL CALCULATIONS VARY BY LOCATION, PURCHASER WILL NEED TO CONSULT A LOCAL PROFESSIONAL FOR SPECIFIC WALL BRACING CALCULATIONS. HOLE SIZES AND LOCATIONS IN GLULAM OR LAMINATED VENEERED LUMBER (L.V.L.) MEMBERS ARE TO BE CONFIRMED BY A
- PROFESSIONAL ENGINEER. ANY STRUCTURAL OR FRAMING MEMBERS NOT INDICATED ON THE PLAN ARE TO BE SIZED BY CONTRACTOR.
- ALL SUBFLOORING IS ASSUMED TO BE 3/4" THICK, GLUED & NAILED.
- ALL EXTERIOR WALLS ARE DIMENSIONED TO OUTSIDE OF 1/2" SHEATHING
- CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL ANGLED WALLS ON FLOOR PLANS ARE AT 45 DEGREE ANGLE, UNLESS OTHERWISE NOTED.
- LATERALLY UNSUPPORTED WALLS 12'-0" HIGH OR HIGHER SHALL BE 2X6 AND BALLOON FRAMED UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ABOVE ALL OPENINGS THAT ARE
- (1) LOAD BEARING AND LESS THAN OR EQUAL TO 3 FT. .......USE 4X6.
- (3) NON-LOAD BEARING AND LESS THAN OR EQUAL TO 6 FT.. USE 4X6.
- (4) NON-LOAD BEARING AND MORE THAN 6 FT. .....USE (2) 2X12 WITH 1/2" PLYWOOD BETWEEN.
- (5) ALL EXTERIOR OPENINGS USE (2) 2X12 WITH 1/2" PLYWOOD BETWEEN.
- ALL TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER ACCORDING TO THE LOADING INDICATED ON THIS PLAN. ALL EXTERIOR CORNERS SHALL BE BRACED IN EACH DIRECTION WITH LET-IN DIAGONAL BRACING OR PLYWOOD.
- INSTALL CROSS-BRIDGING AS REQUIRED COLLAR TIES ARE TO BE SPACED 4'-0" O.C.
- ALL PURLINS AND KICKERS ARE TO BE 2X6'S, UNLESS NOTED OTHERWISE.

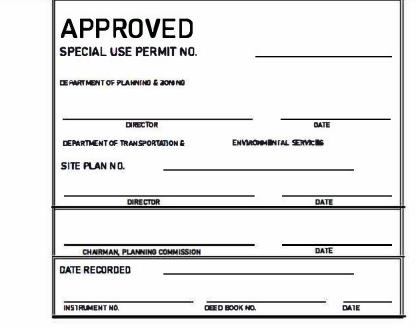
## MISC. NOTES:

- PREFABRICATED FIREPLACES AND FLUES ARE TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- ALL MATERIALS, SUPPLIES AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND PER LOCAL CODES AND REQUIREMENTS.
- PROVIDE PROPER INSULATION FOR ALL PLUMBING.
- 1/2" WATER-RESISTANT DRYWALL AROUND SHOWERS, TUBS AND WHIRLPOOLS.
- 5/8" TYPE "X" FIRE CODE DRYWALL ON GARAGE WALLS AND CEILINGS.
- IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING UNIT IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE, FALL PROTECTION MUST COMPLY WITH R312.2.1
- WINDOW OPENING CONTROL DEVICES ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE SHALL COMPLY WITH ASTM F2090.
- CONFIRM WINDOW OPENINGS FOR YOUR LOCAL EGRESS REQUIREMENTS AND MINIMUM LIGHT AND VENTILATION REQUIREMENTS.
- HEADROOM AT STAIRS SHALL HAVE A MINIMUM CLEARANCE OF 6'-B" HIGH.
- PROVIDE PROPER HANDRAILS AT STAIRS PER LOCAL CODES.
- THE MECHANICAL AND ELECTRICAL LAYOUTS ARE SUGGESTED ONLY. CONSULT YOUR MECHANICAL AND ELECTRICAL CONTRACTORS FOR EXACT SPECIFICATIONS, LOCATIONS AND SIZES.



# Fontanelle





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\*\*LEGAL DISCLAIMER: AUTHORIZATION FOR USE OF HOUSE PLANS\*\*

BY PURCHASING AND USING THE PLANS PROVIDED BY THE DESIGNER, THE PURCHASER ACKNOWLEDGES THAT THEY HAVE READ, UNDERSTOOD, AND AGREED TO BE BOUND BY THE TERMS AND CONDITIONS SET FORTH IN THIS LEGAL DISCLAIMER.

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2.\*\*NON-TRANSFERABILITY\*\*: THE PURCHASER ACKNOWLEDGES AND AGREES THAT THE RIGHTS GRANTED UNDER THIS DISCLAIMER ARE NON-TRANSFERABLE AND MAY NOT BE ASSIGNED, SUBLICENSED, OR OTHERWISE CONVEYED TO ANY OTHER PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF THE DESIGNER.

3. \*\*COPYRIGHT AND INTELLECTUAL PROPERTY RIGHTS\*\*. THE PLANS PROVIDED BY THE DESIGNER ARE PROTECTED BY COPYRIGHT AND OTHER INTELLECTUAL PROPERTY LAWS. THE PURCHASER ACKNOWLEDGES THAT ALL RIGHTS, TITLE, AND INTEREST IN ANO TO THE PLANS, INCLUDING BUT NOT LIMITED TO COPYRIGHT, REMAIN WITH THE DESIGNER.

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> 6. \*\*INDEMNIFICATION\*\*: THE PURCHASER AGREES TO INDEMNIFY AND HOLD HARMLESS THE DESIGNER FROM ANY CLAIMS, DAMAGES, LOSSES, OR EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR RELATED TO THE PURCHASER'S USE OF THE PLANS.

7. \*\*GOVERNING LAW\*\*: THIS DISCLAIMER SHALL BE GOVERNED BY AND CONSTRUED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEBRASKA, WITHOUT REGARD TO ITS CONFLICT OF LAW PRINCIPLES.

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GOODLIF

STOCK PLANS PLAN MODIFICATIONS NEW HOME DESIGN REMODEL/ADDITION

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BUILDING DESION

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SHEET

-5/4x6 COMPOSITE
FRIEZE BRD. (TYP)
-1/2"x0" COMPOSITE
FASCIA BRD. (TYP)
- SECOND LEVEL PLATE RIDGE VENT (TYP) ARCHITECTURAL GRADE SHINGLES (TVP) —DEXDRATIVE BRACKET MAIN LEVEL PLATE LIN 9-11/8" 23'-7" Building Height

REAR ELEVATION



APPROVED SPECIAL USE PERMIT NO.

FRONT ELEVATION

1007-4SR-1C Fontanelle SHETT 0.2

Elevations 1



CONFORMS TO ALL APPLICABLE LOCAL BUILDING CODES. WHILE DILIGENT EFFORTS HAVE BEEN UNDERTAKEN TO PLANS DISCLAIMS ANY LIABILITY FOR CONSTRUCTION ERRORS RESULTING FROM LACK OF EXPERTISE IN HOME CONSTRUCTION. THE DESIGNER IS NOT LICENSED AS AN ARCHITECT OR ENGINEER,







GOOD LIFE

STOCK PLANS Plan Modifications

NEW HOME DESIGN REMODEL/ADDITION FINISHED BASEMENTS RENDERING

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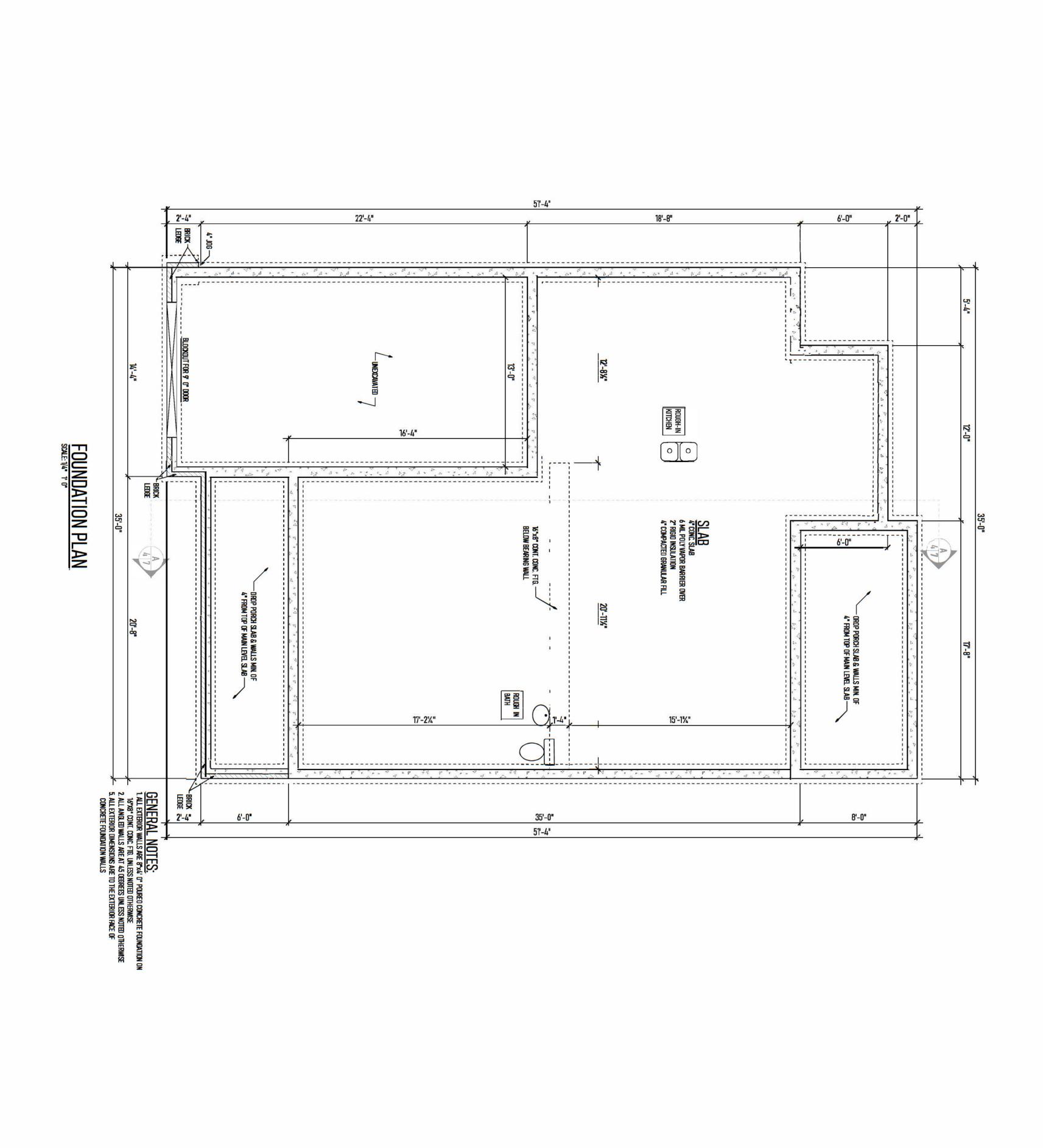
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DEPARTMENT OF PLANNING & ZONING

SHEET 0.3

ARCHITECTURAL GRADE SHINGLES (TYP) SECOND LEVEL PLATE LINE ------1/2"x8" composite fascia BRD. (Typ) HARDIE FIBER CEMENT LAP SIDING -- 5/4x4 COMPOSITE CORNER TRIM (TYP) DECORATIVE BRACKET 8x8 CEDAR POST W/ 1x8 CEDAR TRIM (TOP & BOTTOM) POURED CONC. FOUNDATION LEFT ELEVATION SCALE 1/4" = 1' 0"





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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR

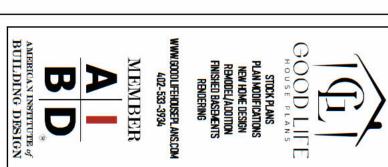
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1007-4SR-1C Fontanelle





IT IS THE DUTY OF THE PURCHASER AND/OR CONSTRUCTION PROFESSIONAL TO ENSURE THAT CONSTRUCTION CONFORMS TO ALL APPLICABLE LOCAL BUILDING CODES. WHILE DILIGENT EFFORTS HAVE BEEN UNDERTAKEN TO ENSURE THE ACCURACY AND COMPLETENESS OF THESE PLANS, THE DRAFTER CANNOT WARRANT AGAINST HUMAN ERROR. THE OWNER, CONSTRUCTION PROFESSIONAL, SUBCONTRACTORS, AND SUPPLIERS ARE REQUIRED TO INDEPENDENTLY VERIFY ALL DIMENSIONS, STRUCTURAL COMPONENTS, CONSTRUCTION METHODS, SITE CONDITIONS, AND SPECIFICATIONS, ASSUMING SOLE RESPONSIBILITY THEREAFTER. IN THE EVENT OF ANY DISCREPANCIES, GOOD LIFE HOUSE PLANS MUST BE PROMPTLY NOTIFIED BEFORE COMMENCEMENT OF CONSTRUCTION. GOOD LIFE HOUSE PLANS DISCLAIMS ANY LIABILITY FOR CONSTRUCTION ERRORS RESULTING FROM LACK OF EXPERTISE IN HOME CONSTRUCTION. THE DESIGNER IS NOT LICENSED AS AN ARCHITECT OR ENGINEER.



GOOD LIFE

STOCK PLANS Plan modifications

NEW HOME DESIGN REMODEL/ADDITION FINISHED BASEMENTS RENDERING

WWW.GOODLIFEHOUSEPLANS.COM 402-533-3934

**MEMBER** 

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AMERICAN INSTITUTE of BUILDING DESIGN

SHEET

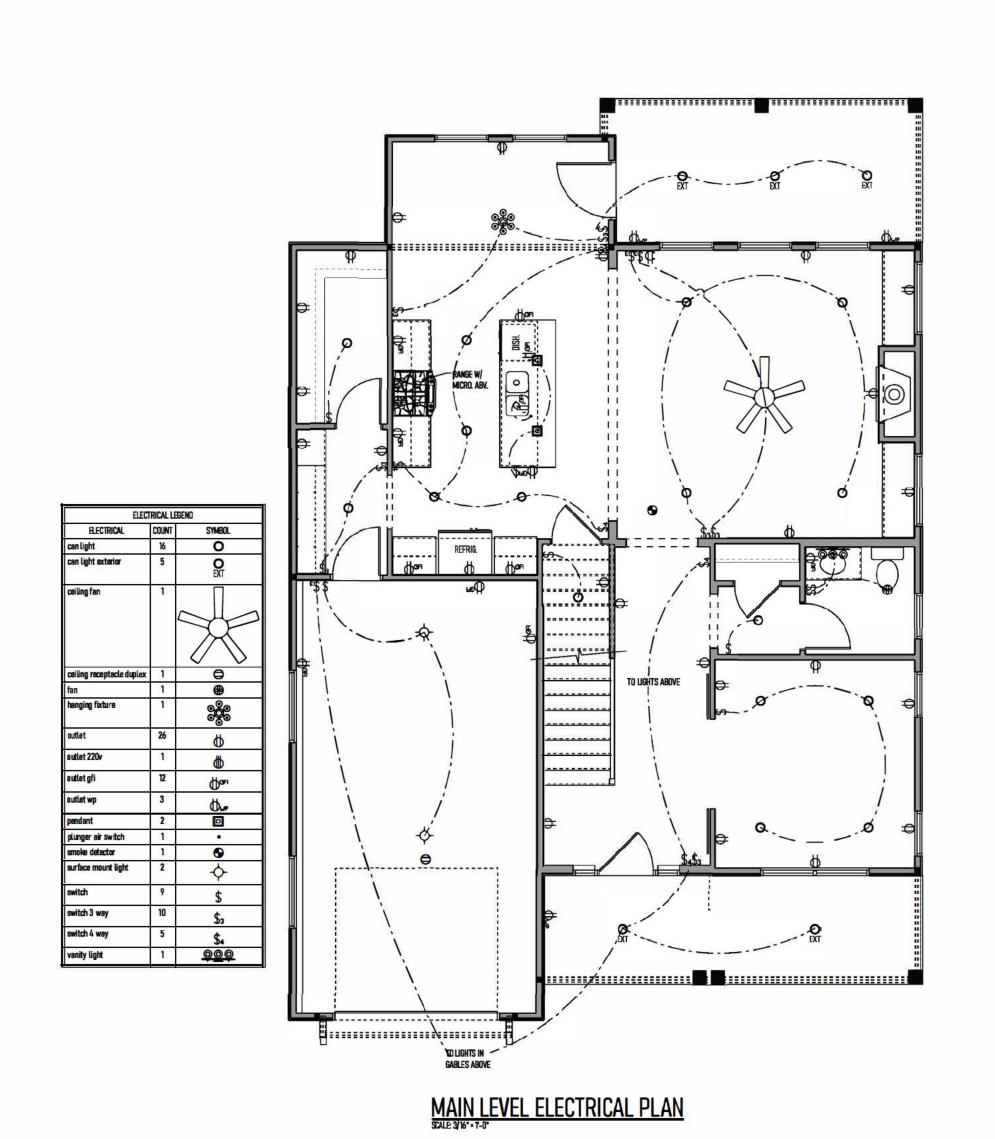
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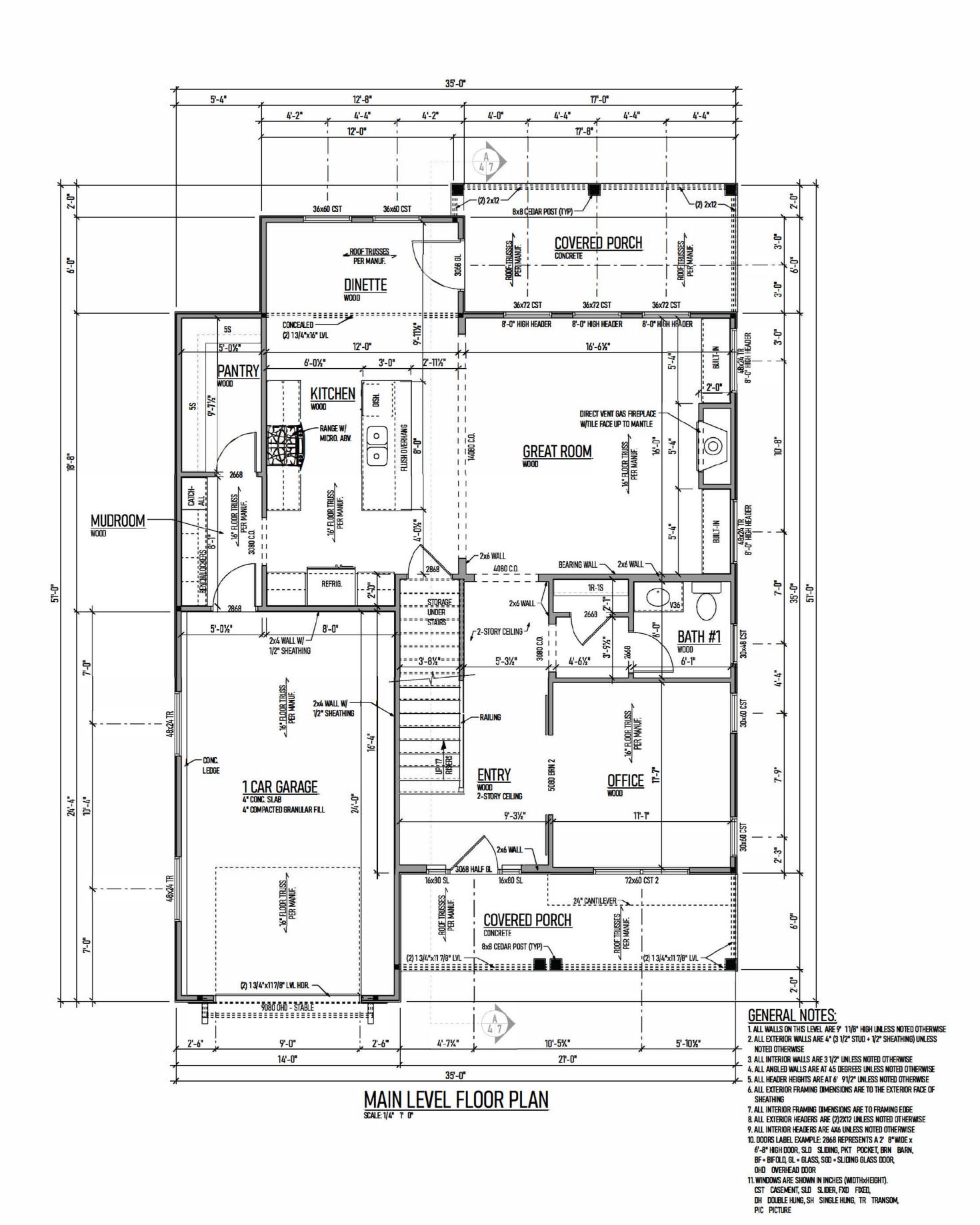
DEPARTMENT OF PLANNING & ZONING

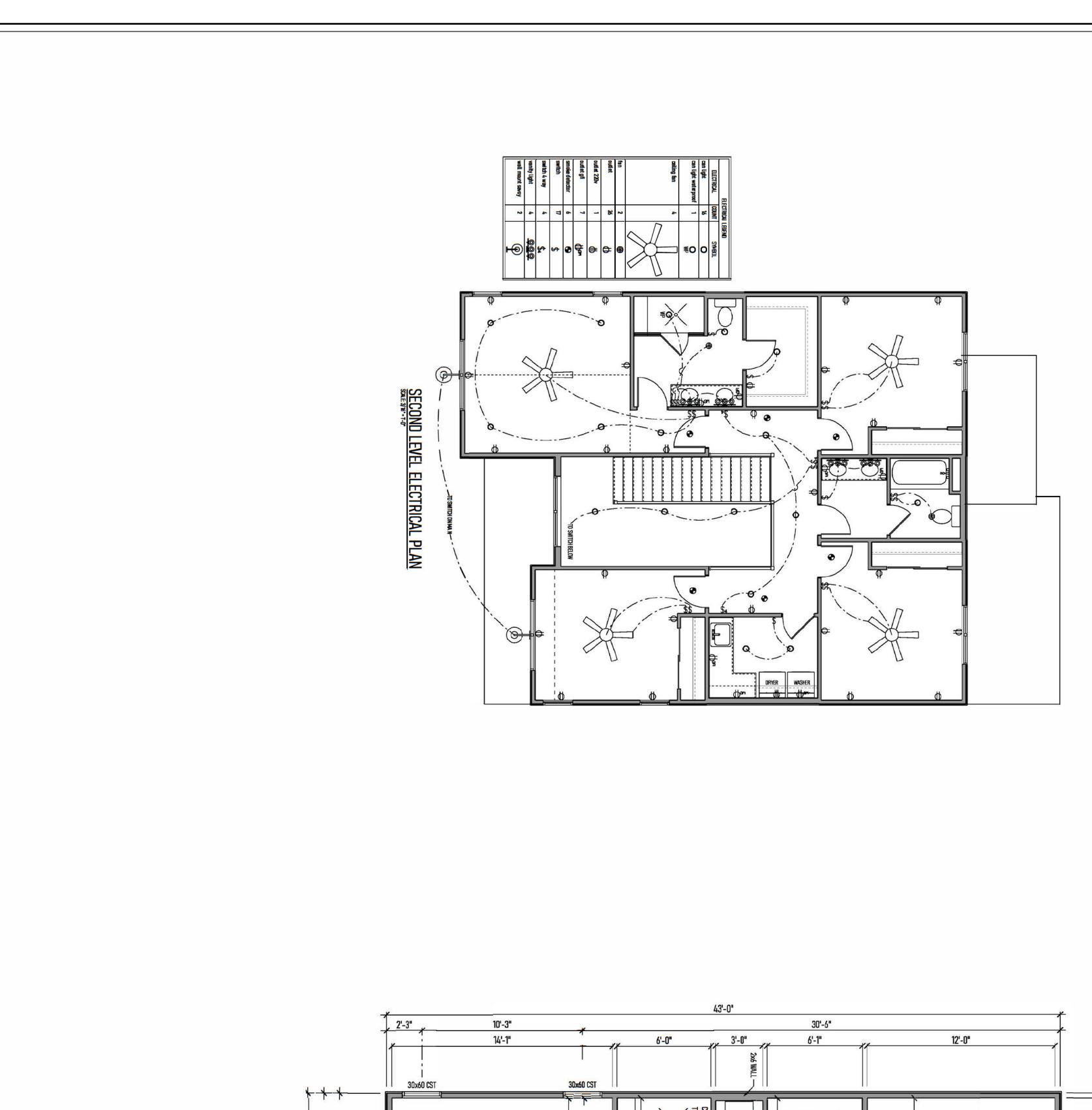
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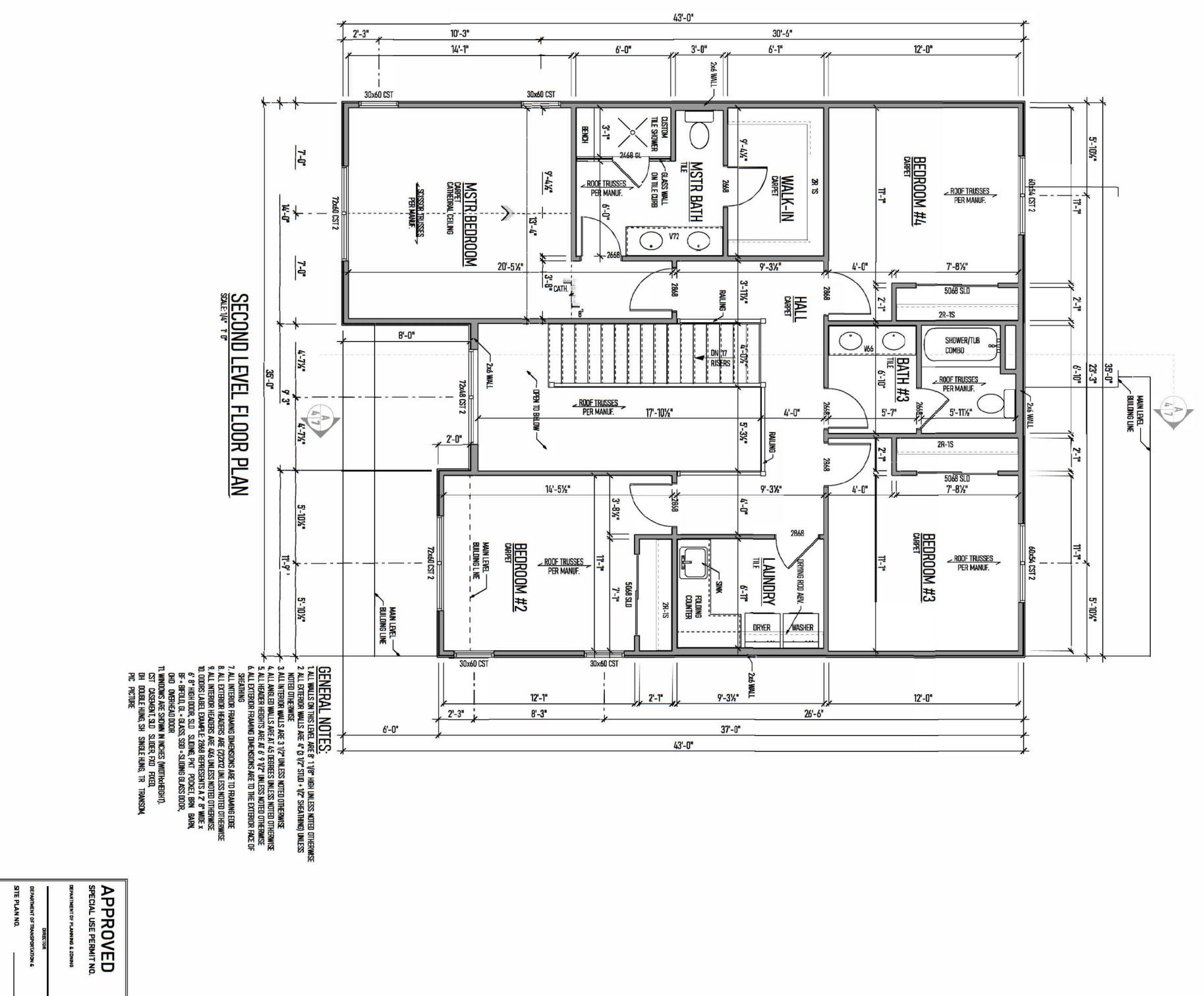
SPECIAL USE PERMIT NO.

INSTRUMENT NO.









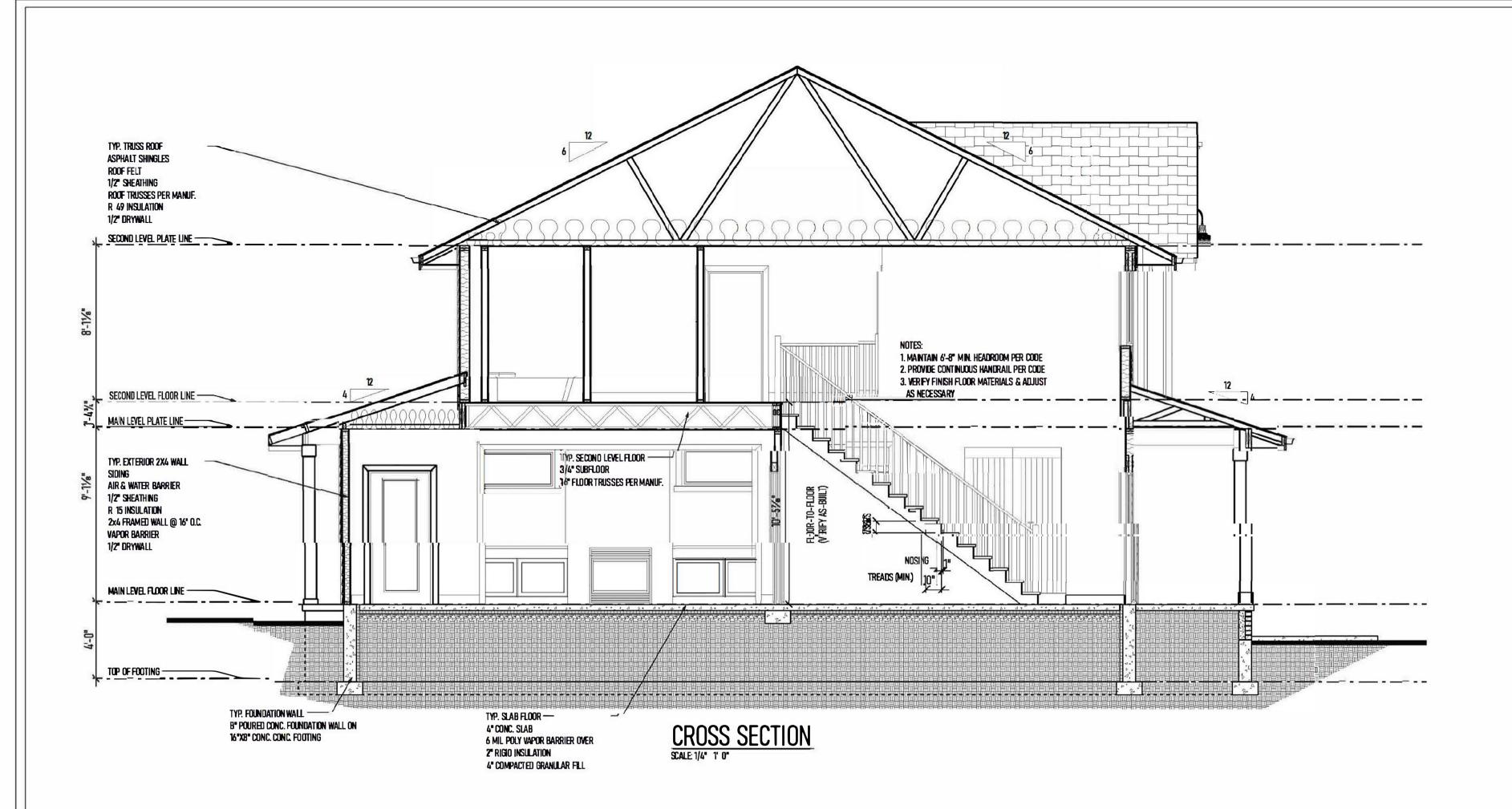
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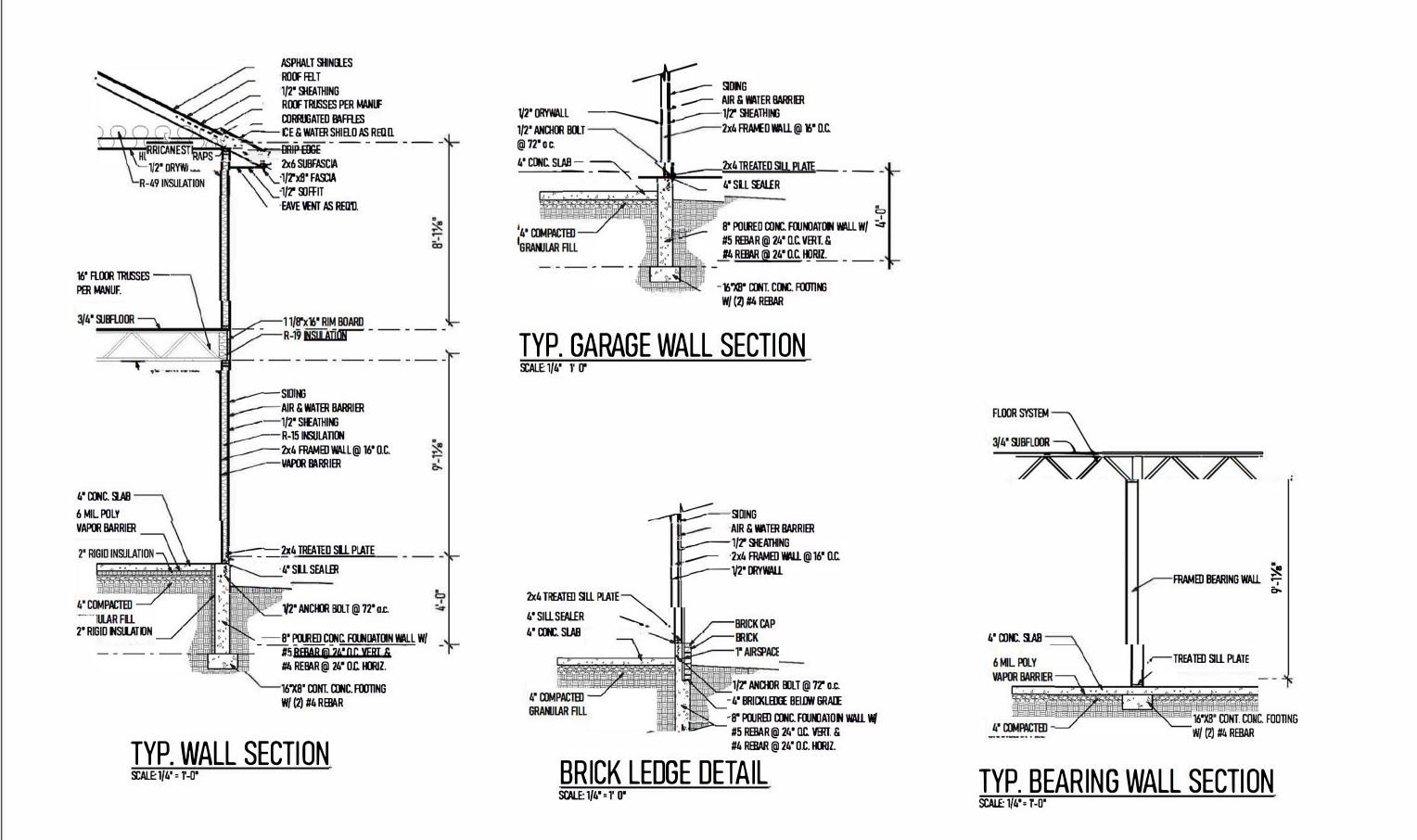


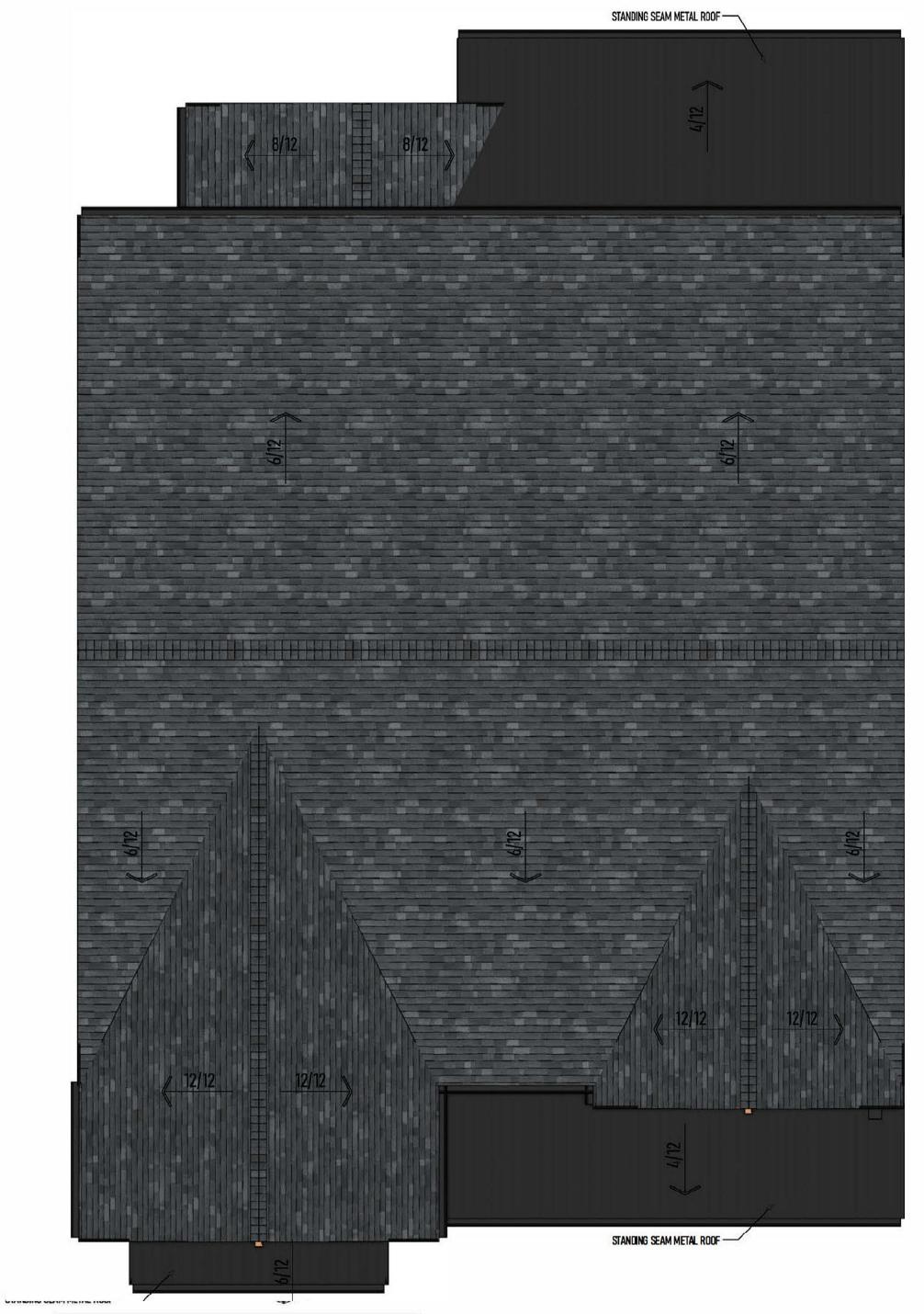


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ROOF NOTES:

1. ROOF VENTING TO BE 1/150 OF ATTIC AREA, SPLIT EVENLY BETWEEN EAVE & ROOF VENTS

2. ASHPALT SHINGLES ON ALL ROOF SURFACES UNLESS NOTED OTHERWISE

3. ICE & WATER SHIELD FROM EDGE OF EAVE TO 2' O" BACK FROM INSIDE EDGE OF EXTERIOR WALL & AT ALL VALLEYS
4. ROOF OVERHANGS, UNLESS NOTED OTHERWISE:

3/12= 30" 4/12 6/12 24" 7/12-8/12 18" 9/12 10/12 16" 12/12 & UP = 12"

GABLE ENDS 12" 5. ADJUST HEEL HEIGHTS & OVERHANGS AS NEEDED
6. PROVIDE GUTTERS AS NEEDED, DOWNSPOUTS TO BE LOCATED ON SITE
7. JOG ALL FLUES & VENTS TO BACKSIDE OF ROOF ROOF PLAN SCALE 1/4" T 0"

APPROVED SPECIAL USE PERMIT NO.	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION 4 ENVIRO	HAMENTAL SERVICES
SITE PLAN NO.	
SITE PLAN NO.  DIRECTOR	DATE
DIRECTOR  CHARMAN, PLANNING COMMISSION	DATE

GOODLIFE STOCK PLANS Plan modifications NEW HOME DESIGN REMODEL/ADDTION FINISHED BASEMENTS RENDERING WWW.GOODLIFEHOUSEPLANS.COM 402-533-3934 **MEMBER** 

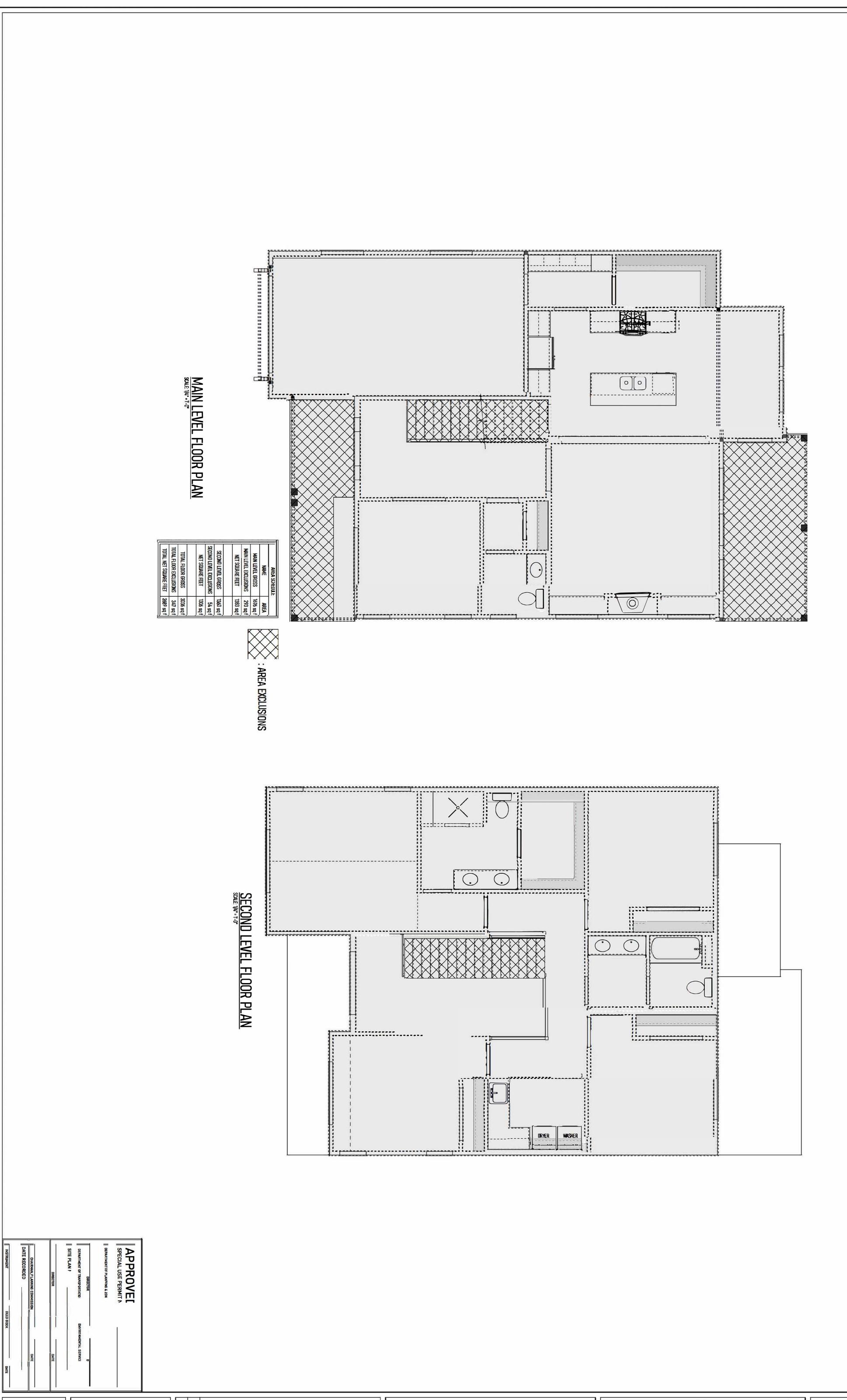
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**Details** Ø Roof Plan

DATE: 12.13.24

<del>-</del>10 Fontanelle PLAN# 1007

SHEET



131

PLANS DISCLAIMS ANY LIABILITY FOR CONSTRUCTION ERRORS RESUlting FROM LACKOF EXPERTISE IN HOME



From: Alison Maltz
To: PlanComm

Subject: [EXTERNAL]Written Comments for April 1 Planning Commission Docket

**Date:** Wednesday, March 19, 2025 11:37:21 AM

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### Dear Planning Commission,

I am writing in regards to the item on the April 1, 2025 docket: Rezoning #2025-00001 Development Special Use Permit #2024-10010 126 Longview Drive & 2921 Nob Hill Court - Westridge Towns

As a homeowner in the Longview Hill neighborhood, I do not approve of rezoning the land at 126 Longview Drive & 2921 Nob Hill Court from R-8 residential to a RA multi-unit Zone. This project requests increasing the density of housing in my neighborhood to more than three times over what current R-8 residential zoning restrictions allow for. It is my understanding that regulations currently allow for 5.45 units per acre, which I believe is appropriate for the neighborhood. This rezoning request has huge implications for flooding, parking and wildlife in the Longview Hill neighborhood.

There is already a shortage of street parking in the neighborhood due to three apartment buildings and Nob Hill Court is a small cul de sac with extremely limited street parking available to residents. The plans for the 19 townhomes in the Westridge Towns project do not provide any visitor parking spots and only two parking spots per unit. The provision of no visitor parking spots is a bad plan and will be detrimental to current residents.

I am also extremely upset to learn that this project requires the removal of all trees on the property including three additional trees that are on adjacent neighbor's properties. Something that makes the Longview Hill neighborhood special is that we have mature trees filled with wildlife. The large property on Longview is currently home to ONE 200 year old home and a small forest of mature trees. Trees on the property have been there for decades if not centuries and provide homes to pollinators, birds, opossums, raccoons, owls, foxes and squirrels all of which have been spotted in the neighborhood. Removing the mature tree canopy on this large parcel of land will displace wildlife. I was hopeful that there would be more of an effort to preserve the green space and trees for wildlife. Completely developing and paving this green space also has flooding implications as the neighborhood already suffers from flooding due to not having storm drains.

I sincerely hope the planning committee takes into account all of the issues that will impact current residents of the Longview Hill neighborhood and does not change the current zoning designation of our R-8 neighborhood to allow for increased density.

Sincerely, Alison Maltz

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