

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for addition and alterations

APPLICANT: WINN Design + Build/James Finn

LOCATION: Old and Historic Alexandria District
609 South Pitt Street

ZONE: RM/Residential Townhouse Zone

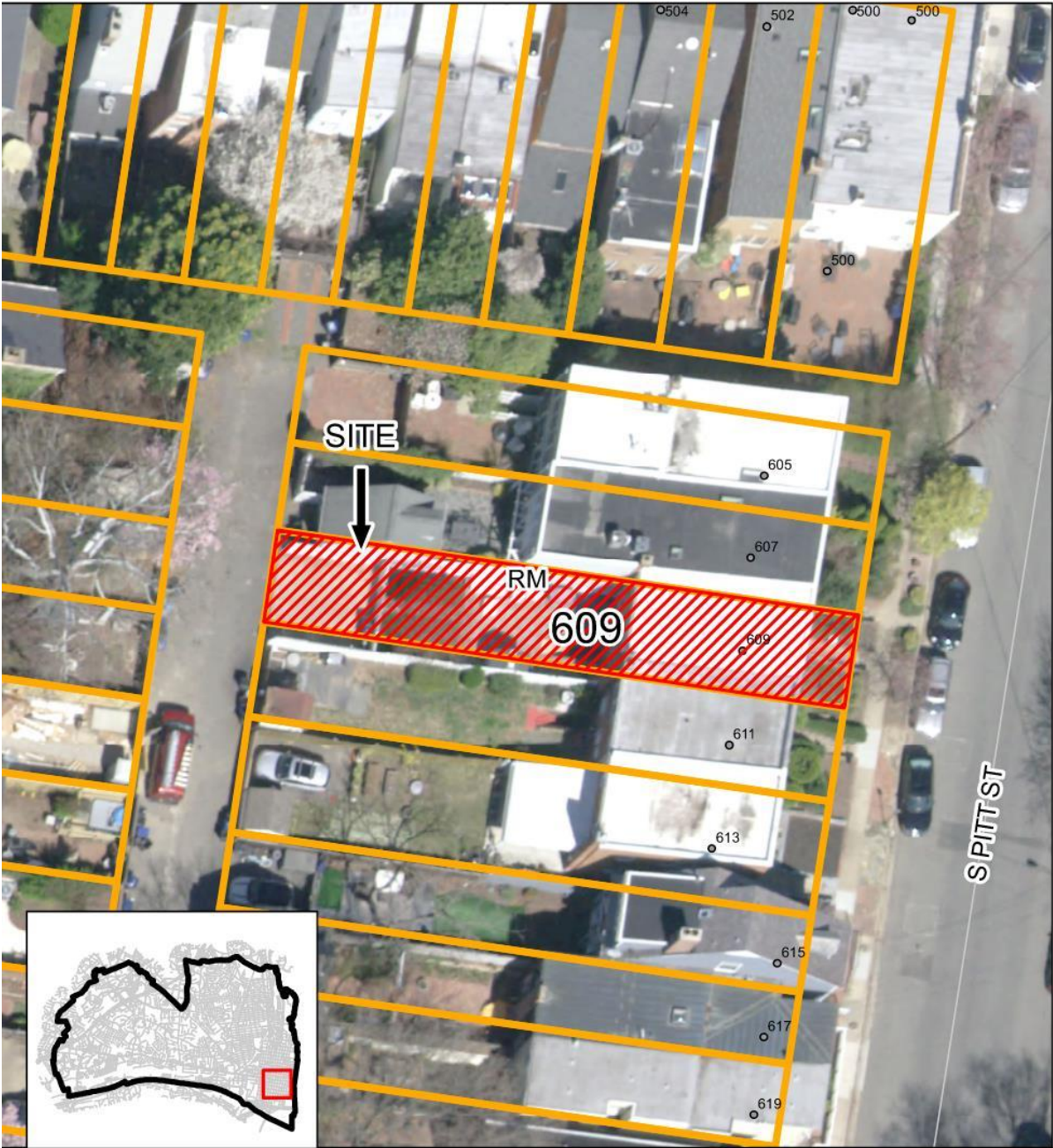
STAFF RECOMMENDATION


Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations with the following conditions:

1. Both siding materials must have the same architecturally appropriate profile, the fiber cement siding must have a smooth finish;
2. Work with staff on the window configuration on the south elevation and submit final specification details to confirm compliance with the Alexandria New and Replacement Window Performance Specifications in the Historic Districts;
3. The wood portion of the proposed fence must be installed vertically;
4. Work with staff on the final selection of the replacement six-panel door; and,
5. Include the statements from Alexandria Archaeology, below, in the General Notes of all on all construction documents that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. Call Alexandria Archaeology (703/746-4399) two (2) weeks before the starting date of any ground disturbance so that City archaeologists can arrange for a time to inspect the property. The language noted above shall be included on all Final Site Plan sheets involving any ground disturbing activities. (Archaeology)
 - b. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
 - c. The applicant shall not allow any metal detection and/or artifact collection to be conducted the property, or allow independent parties to collect or excavate artifacts, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)


GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.






BAR#2023-00353 & BAR#2023-00354
609 S Pitt Street



0 12.5 25 50 Feet



Note: Staff coupled the applications for a Permit to Demolish (BAR2023-00354) and Certificate of Appropriateness (BAR2023-00353) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct a two-story rear addition, as well as alterations, at 609 South Pitt Street.

The proposed two-story rear addition will be approximately 23' in height and 14' wide. There are two types of siding proposed for the addition, fiber cement siding on the first-story and Accoya wood siding on the second-story. The wood siding will be installed vertically. A new 6' fence is also proposed on the south property line that separates the subject property from 611 South Pitt Street. The lower 3' will be stamped concrete and the upper 3' will be a painted horizontal wood fence.

On the primary façade, the existing windows and door will be replaced in-kind. The proposed fiberglass windows and door will retain the existing SDL multi-light configuration. The materials proposed for the addition, replacement windows, door and fence are consistent with the Board's adopted policies.

Site context

The alley to the west, behind the subject property, is public. The proposed addition will be visible from the public alley.

II. HISTORY

The row of five, two story brick rowhouses at 605 through 613 South Pitt Street was constructed circa **1959** according to building permit records (Permit #7152, 11/4/1959). The houses are simple, vernacular residences with minimal Colonial Revival design influences, reflected in the use of red brick, multi-light double hung windows and classically detailed wood door surrounds. The front façade of the house at 609 South Pitt Street has two paired double-hung windows with eight-over-eight lights on the first story while the second story has two separate but closely spaced six-over-six windows. The front door has a simple door surround with a gabled pediment.

Previous BAR Approvals

BAR2007-0035 – The Board approved a Certificate of Appropriateness for new shutters.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relate only to the portions of the wall area proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

Certificate of Appropriateness

Staff has no objection to the proposed addition and alterations. The *Design Guidelines* states that an approach to a design for a residential addition is one which creates a distinct yet compatible contrast with the original building through the use of differing materials, colors, and abstraction of the principal design elements of the original building. The proposed addition is similar to the main block in height, mass, and scale. It differentiates itself from the main block with its window configuration and material selection. While the addition will be visible, it does not obscure, or dilute the architectural importance of the original structure.

The applicant is proposing to use two types of siding on the addition, fiber cement siding on the first-story and Accoya wood siding on the second-story. The wood siding will be installed vertically. Staff believes that the addition would be more harmonious if both siding materials were

installed horizontally and with the same profile. Additionally, the fiber cement siding should have a smooth/grain-free finish.

The *Design Guidelines* state that windows are a principal character defining feature of a building and serve both functional and aesthetic purposes. The size, location, type, and trim of windows are a defining element of architectural styles. The window configuration on the south elevations has a significant impact on the appearance of the addition and should be more defined and balanced with the west elevation. The applicant should work with staff to update the window configuration prior to submitting a building permit application.

Fences serve as a distinctive feature of the streetscape and individual yards. The *Design Guidelines* state that an important visual feature of the historic districts are the fences, garden walls, and gates that define property lines. Fences also provide a sense of privacy and enclosure for property owners. Horizontal board fences are more commonly used in rural settings rather than urban settings like the historic district. Since the proposed fence will abut a public alley and will be visible, staff recommends that the wood portion of the proposed fence must be installed vertically to be consistent with the abutting fence and other visible fences throughout the historic district.

Lastly, the proposed replacement door isn't consistent with the Colonial Revival style of the main block. The applicant should work with staff to find a door that is architecturally appropriate for the property. With the condition noted above, staff recommends approval of the proposed addition and alterations.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed two-story rear addition will comply with zoning.

Code Administration

C-1 A building permit is required.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
 - a. For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
 - b. For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec. 5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

Conditions

1. Call Alexandria Archaeology (703/746-4399) two (2) weeks before the starting date of any ground disturbance so that City archaeologists can arrange for a time to inspect the property. The language noted above shall be included on all Final Site Plan sheets involving any ground disturbing activities. (Archaeology)
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Findings

- F-1 In 1867, an African American man named George Seaton built a school for Black children on the west side of the 600 block of S. Pitt St. that became known as the Seaton School and later the Snowden School for Boys. This school was one of the first learning institutions dedicated to the education of Black children in Alexandria. The school was a wood structure, two stories tall, and spanned 100 ft. by 50 ft. in size. According to historic maps, a portion of the school is located on the west half of the lot at 609 S. Pitt St. The school operated for nearly 50 years until a fire in 1915 forced it to close.

The applicant proposes to dig a basement for an addition on the property within the likely footprint of the school. Alexandria Archaeology would like the opportunity to monitor this project when the basement is excavated to record and document any evidence of the Seaton School that might be uncovered, particularly whether indications of the 1915 fire are present. This archaeological monitoring is provided free of charge, and the archaeologists will not halt or impede the construction process. The archaeologists are there mainly to observe. Please have the contractor or the applicant contact Alexandria Archaeology two weeks in advance of ground disturbance so a monitoring schedule can be arranged. Or email Deputy City Archaeologist Garrett Fesler (garrett.fesler@alexandriava.gov)

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR2023-00354 & BAR2023-00353: 609 South Pitt Street

BAR CASE#

(OFFICE USE ONLY)

ADDRESS OF PROJECT: 609 South Pitt Street, Alexandria VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 080.02-03-31 ZONING: RM

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: WINN Design + Build / James Finn

Address: 6723 WHITTIER AVENUE

City: McLEAN State: VA Zip: 22101

Phone: 703-876-9696 E-mail: james@winndesign.com

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐

Name: James Finn Phone: 703-965-0068

E-mail: james@winndesign.com

Legal Property Owner:

Name: DEROHANESIAN JOHN GREGORY AND TIROL ANNA LOURDES TRS

Address: 609 South Pitt Street

City: Alexandria State: VA Zip: 22314

Phone: 202-713-0827 E-mail: jgdalt@gmail.com

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|--|--|-----------------------------------|
| <input type="checkbox"/> awning | <input checked="" type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input checked="" type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Construct 2 story addition on full basement at rear of property to include new basement areaway stair and fence; portion of rear wall where addition joins to be encapsulated other areas to be modified to permit window changes; replacement of front windows in kind - no modification to opening sizes - with insulated glass windows

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- | | | |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Survey plat showing the extent of the proposed demolition/encapsulation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Description of the reason for demolition/encapsulation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible. |

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

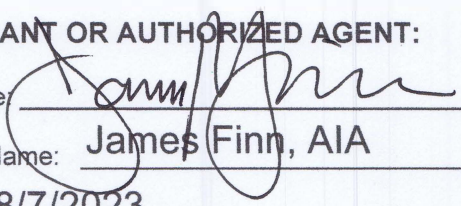
Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

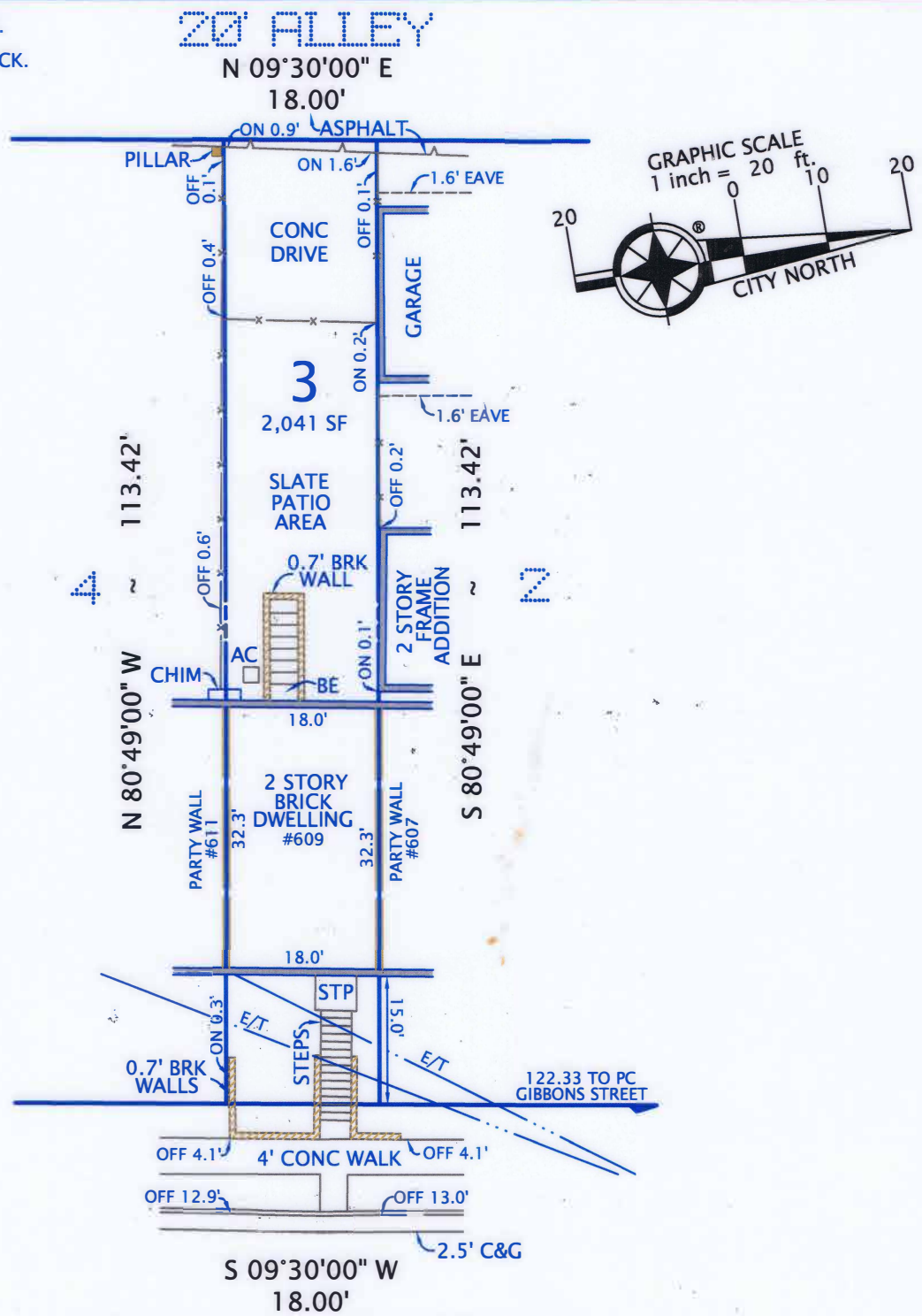
ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: James Finn, AIADate: 8/7/2023

- NOTES: 1. FENCES ARE FRAME.
2. WALLS ARE 0.7' BRICK.



SOUTH PITT STREET
66' R/W

PLAT

SHOWING HOUSE LOCATION ON
LOT 3
PROPERTY OF

JOHN L. DONIPHAN &
RICHARD F. DOWNHAM

(DEED BOOK 506, PAGE 632)

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1" = 20'

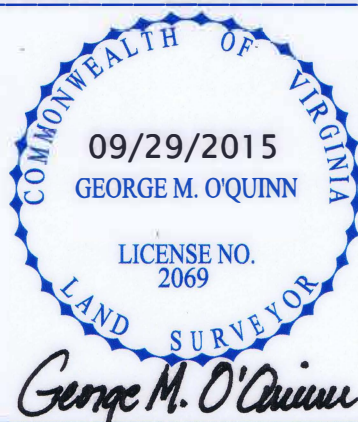
SEPTEMBER 29, 2015

I HEREBY CERTIFY THAT THE POSITIONS OF
ALL THE EXISTING IMPROVEMENTS HAVE BEEN
CAREFULLY ESTABLISHED BY A CURRENT FIELD
SURVEY AND UNLESS SHOWN THERE ARE NO
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO
RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



Ordered by:

228 S. Washington Street
Suite 100
Alexandria, VA 22314
703-739-0100

DOMINION Surveyors Inc.®

8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

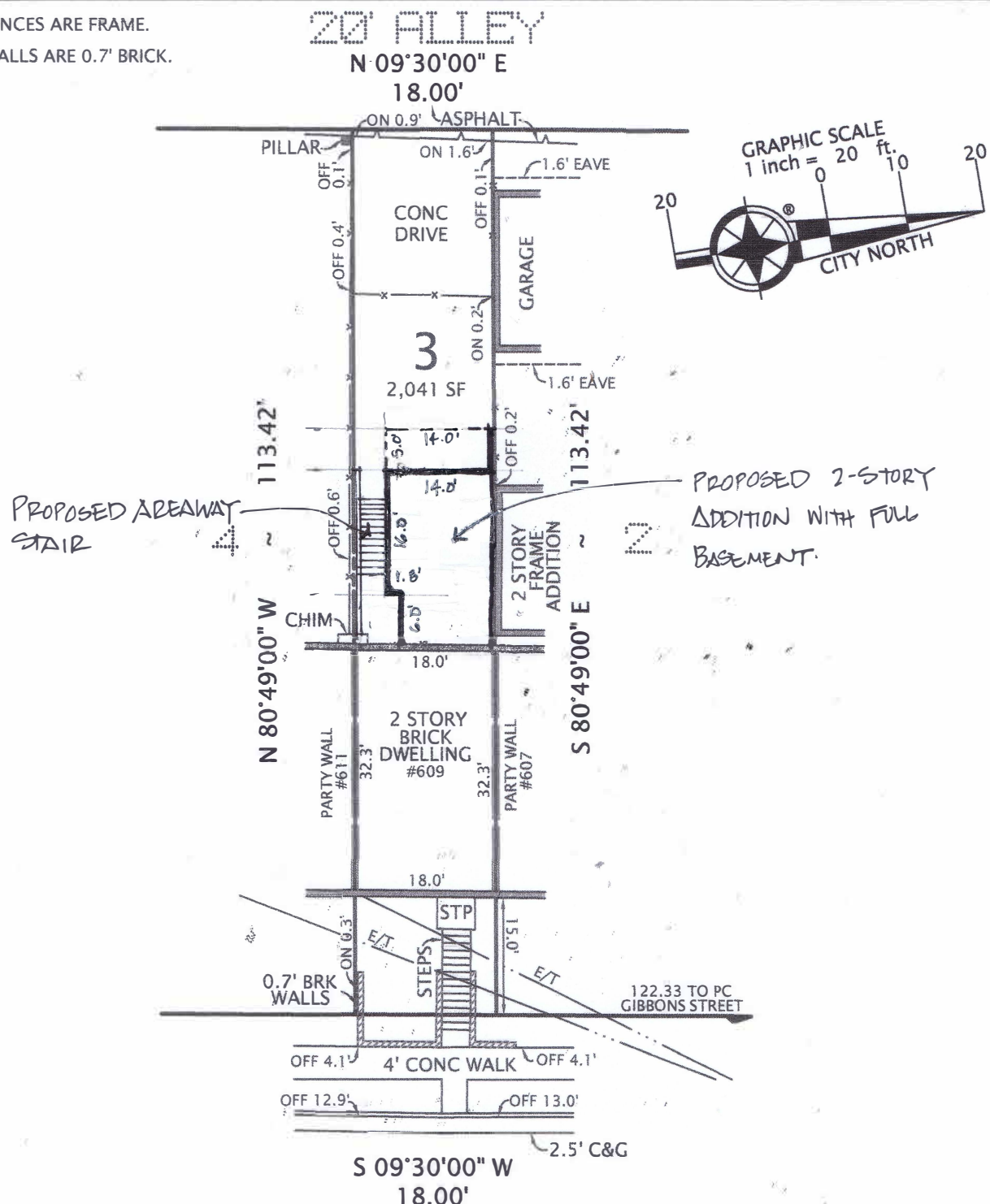
CASE NAME: LERNER ~ DEROHANESIAN/TIROL

CASE NO: OTAS1509002

#150911027

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NOTES: 1. FENCES ARE FRAME.
2. WALLS ARE 0.7' BRICK.



SOUTH PITT STREET
66' R/W

PLAT
SHOWING HOUSE LOCATION ON
LOT 3
PROPERTY OF
**JOHN L. DONIPHAN &
RICHARD F. DOWNHAM**
(DEED BOOK 506, PAGE 632)

CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' SEPTEMBER 29, 2015

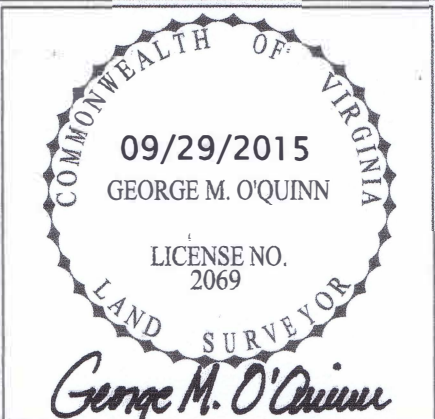
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I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



MBH
Settlement Group, L.C.

Ordered by:
228 S. Washington Street
Suite 100
Alexandria, VA 22314-
703-739-0100

DOMINION Surveyors Inc.®
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

CASE NAME: LERNER ~ DEROHANESIAN/TIROL CASE NO: OTAS1509002 #150911027

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. MICHAEL WINN	6723 WHITTIER AVE MCLEAN VA 22101	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 609 South Pitt Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. The John Gregory Deschane Trust	609 S. Pitt St. Alexandria VA	undivided 1/2 interest
2. The Anna Lardes Trust	609 S. Pitt St. Alexandria, VA 22314	undivided 1/2 interest
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/1/2023 Anna Lardes Tirol

Date

Printed Name

Anna Lardes Tirol

Signature

8/1/2023 John Gregory Deschane

John Gregory Deschane



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 609 S. Pitt Street
Street Address

RM
Zone

A2. 2,041.00 x 1.50 = 3,061.50
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement	583.60
First Floor	583.60
Second Floor	583.60
Third Floor	
Attic	
Porches	
Balcony/Deck	62.40
Lavatory***	
Other**	

Allowable Exclusions**

Basement**	583.60
Stairways**	93.50
Mechanical**	
Attic less than 7'***	
Porches**	
Balcony/Deck**	62.40
Lavatory***	50.00
Other**	
Other**	

B1. 1,813.20 Sq. Ft.
Existing Gross Floor Area*

B2. 789.50 Sq. Ft.
Allowable Floor Exclusions**

B3. 1,023.70 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross 1,813.20 B2. Total Exclusions 789.50

C. Proposed Gross Floor Area

Proposed Gross Area

Basement	297.90
First Floor	297.90
Second Floor	352.50
Third Floor	
Attic	
Porches	70.00
Balcony/Deck	
Lavatory***	
Other	

Allowable Exclusions**

Basement**	297.90
Stairways**	
Mechanical**	
Attic less than 7'***	
Porches**	
Balcony/Deck**	
Lavatory***	72.40
Other**	
Other**	

C1. 1,018.30 Sq. Ft.
Proposed Gross Floor Area*

C2. 370.30 Sq. Ft.
Allowable Floor Exclusions**

C3. 648.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross 1,018.30 C2. Total Exclusions 370.30

D. Total Floor Area

D1. 1,671.70 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 3,061.50 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. 1,285.20 Sq. Ft.
Existing Open Space

E2. 714.35 Sq. Ft.
Required Open Space

E3. 799.20 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

16

Date: _____

8/7/2023

Application Received 8/21

NOTIFICATION OF CHANGES

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TIROL-DEROHANESIAN RESIDENCE

609 SOUTH PITT STREET
ALEXANDRIA VA 22314

BAR SUBMISSION 8/7/23

SHEET

A201

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DOORS AND WINDOWS AT REAR
TO BE MARVIN ELEVATE WITH
PRE-FINISHED BLACK EXTERIOR
AND INTERIOR

GLASS RAILING ON
STANDOFFS

WING WALL WITH
HARDIE SIDING

PRECONSTRUCTION & FINISHED GRADE AT REAR

STAMPED CONCRETE AREAWAY
WALL, PTD. WITH INTEGRAL
HORIZ WOOD FENCE TOP, PTD.
AREAWAY STAIR

1 WEST ELEVATION (REAR)

REPLACEMENT WINDOWS
TO BE MARVIN ELEVATE,
WHITE EXTERIOR WITH
SDL IN CONFIGURATION
TO MATCH EXISTING
WINDOWS

REPLACEMENT WINDOWS,
TYP. (4) OPENINGS
EXISTING SHUTTERS TO
REMAIN

REPLACEMENT DOOR
WITH EXISTING DOOR
SURROUND TO REMAIN

BSMT CEILING

PATIO / PRECONSTRUCTION AND FINISHED GRADE

EXISTING BRICK AND
SLATE RETAINING WALLS,
STEPS AND PATIO

3 EAST ELEVATION (FRONT)

SHOU SUGI BAN VERTICAL
SIDING / RAIN SCREEN AT
SECOND FLOOR OF ADDITION

TOP OF PLATE

HEAD HEIGHT

PAINTED FLAT PANEL WITH
5/4X2 TRIM INTEGRAL TO
WINDOW TRIM

SECOND FLOOR

HEAD HEIGHT

HORIZONTAL HARDIE SIDING, PTD.

DOG DOOR

PRECONSTRUCTION & FINISHED GRADE AT REAR

LIVING ROOM

CONCRETE FOUNDATION WALL
WITH STAMPED BRICK FINISH,
PTD.

CONCRETE AREAWAY STAIR
WITH PAINTED CONC. RISERS
AND SLATE TREADS

BASEMENT

2 SOUTH ELEVATION / AREAWAY SECTION

A/C COMPRESSORS

TPO ROOF

BEDROOM 2

PRIMARY
BEDROOM

SECOND FLOOR

KITCHEN

DINING
ROOM

SITTING
AREA

FIRST FLOOR

MECHANICAL

BASEMENT

BSMT CEILING

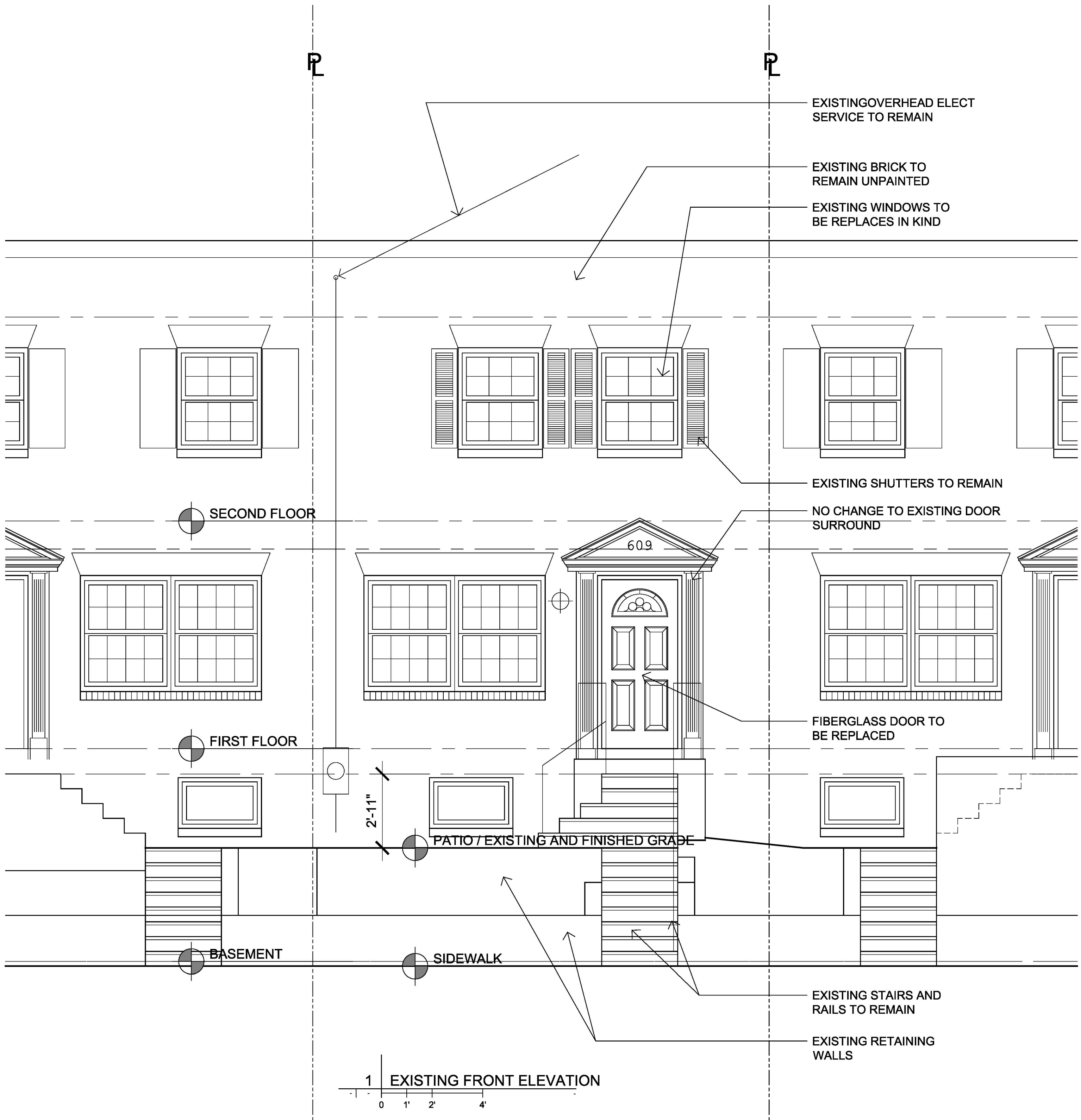
PATIO / PRECON & FINISHED GRADE AT FRONT

RECREATION
ROOM

EXISTING BRICK
AND SLATE
RETAINING WALLS,
STEPS AND PATIO

UNDERPIN EXISTING
FOUNDATION WALL

PTD BRICK SILLS, TYP.



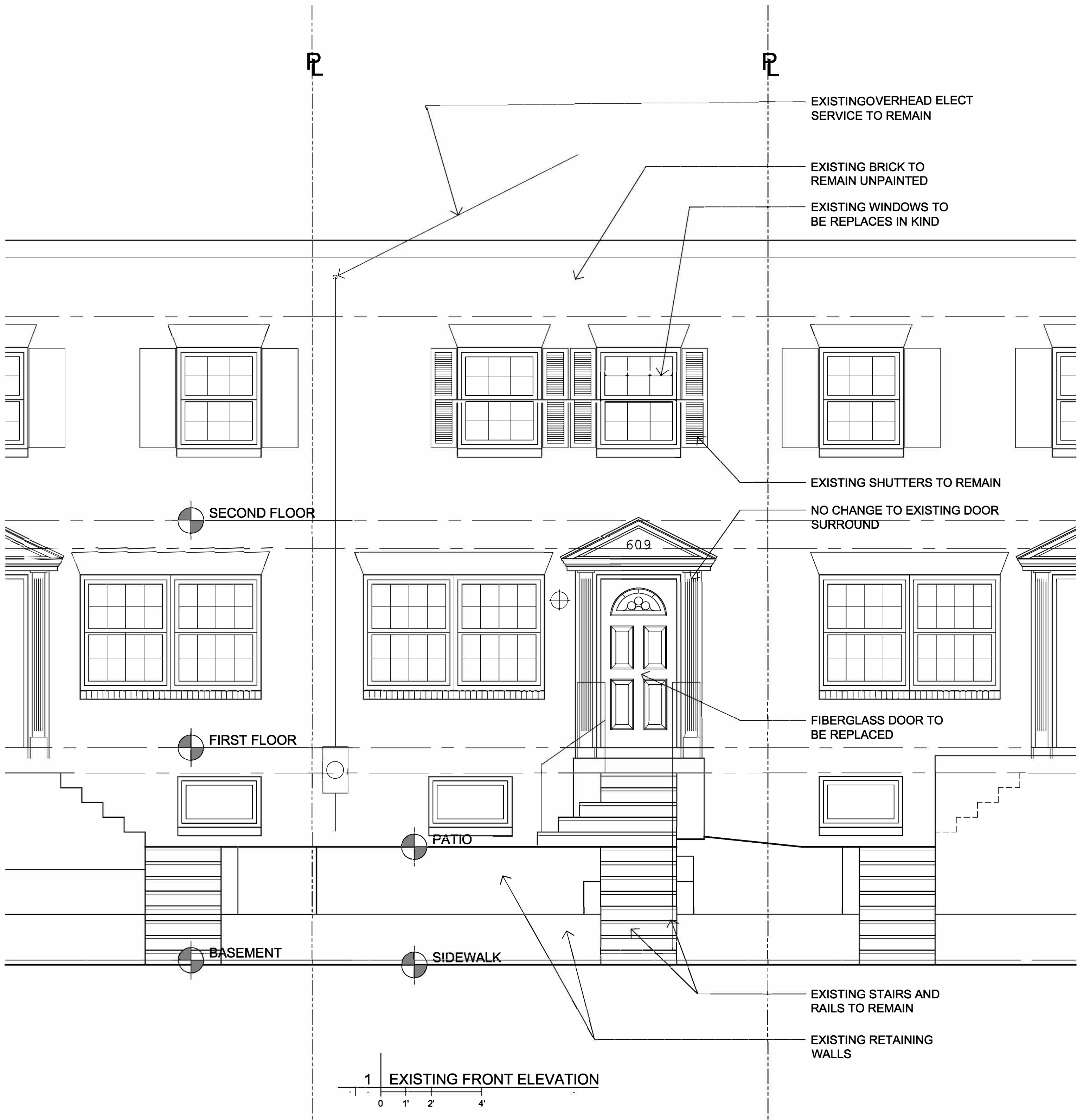
EXTERIOR VIEW FROM SIDEWALK

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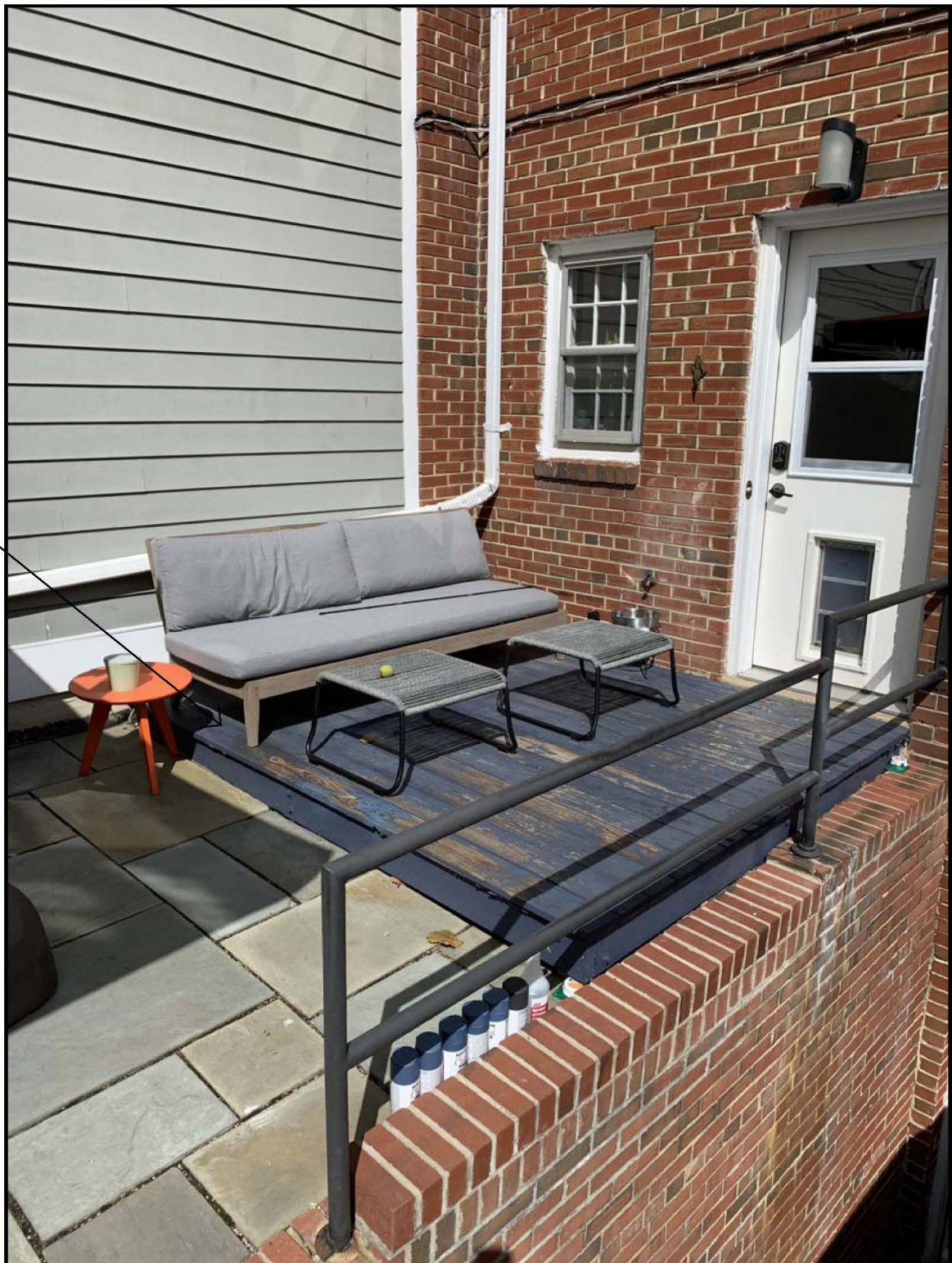
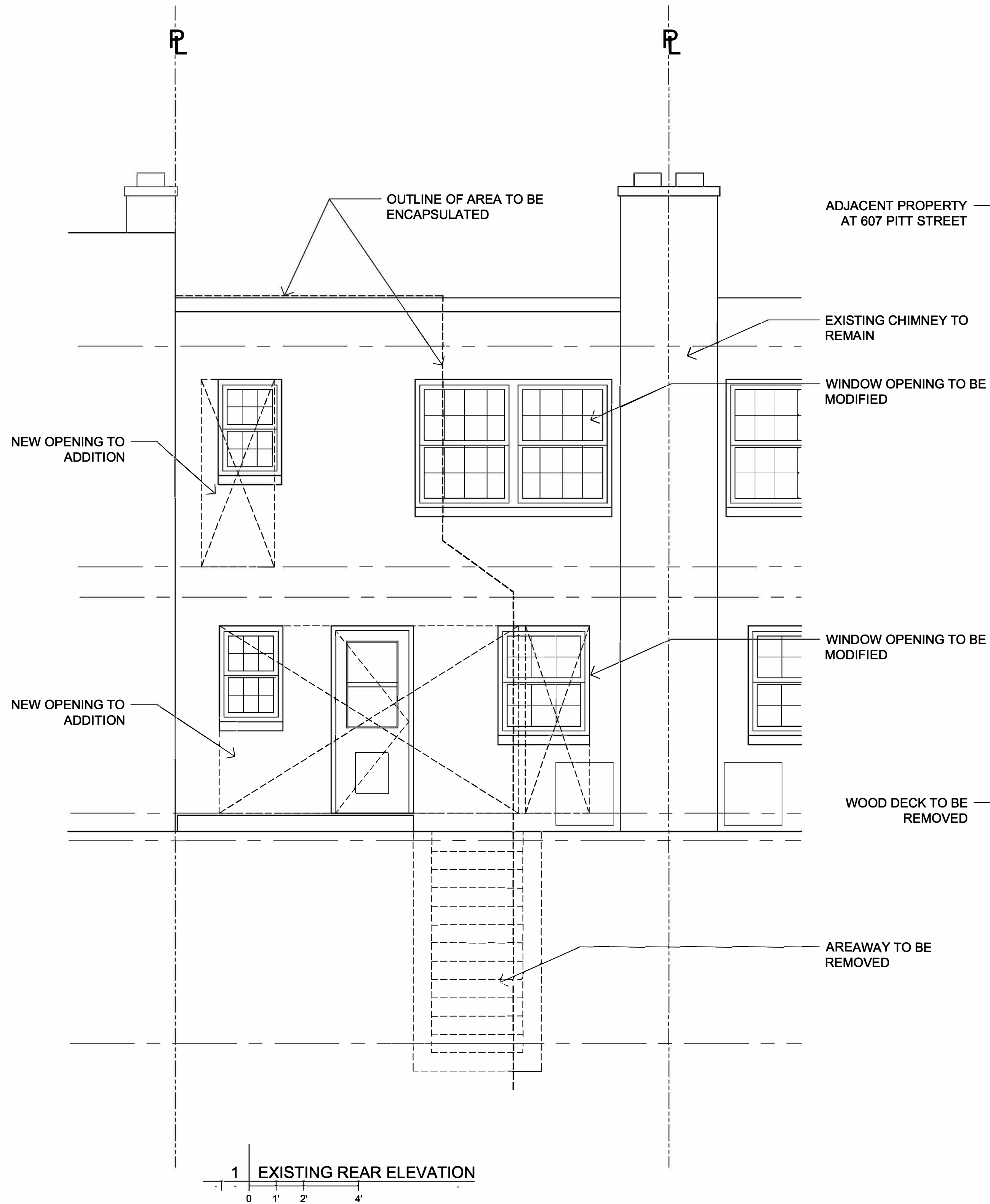
EXTERIOR VIEW FROM SIDEWALK

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COMPOSITE PHOTOS OF EXISTING REAR ELEVATION

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609 SOUTH PITT STREET
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SHEET
AD203

ADJACENT PROPERTY



607 PITT STREET (REAR)

SUBJECT PROPERTY



VIEW FROM ALLEY

DETACHED GARAGE OF
ADJACENT PROPERTY
AT 607 PITT STREET



PARKING PAD AT ALLEY

PARKING PAD



TIROL-DEROHANESIAN RESIDENCE

609 SOUTH PITT STREET
ALEXANDRIA VA 22314

ADDITIONS AND WHOLE HOUSE RENOVATION

ISSUED AUGUST 7, 2023
FOR BAR SUBMISSION

OWNER

ANNALOU TIROL AND JOHN DEROHANESIAN
609 SOUTH PITT STREET
ALEXADRIA VA 22314

jgdalt@gmail.com

**DESIGN/BUILD
CONTRACTOR**

WINN DESIGN, LLC
6723 WHITTIER AVENUE
McLEAN, VIRGINIA 22101

703-876-9696

james@winndesign.com
ATTN: James Finn, AIA

**STRUCTURAL
ENGINEER**

JZ STRUCTURAL CONSULTING, INC.
43130 AMBERWOOD PLAZA, SUITE 235
CHANTILLY, VA 20152

703-327-9912

jon@jzstructure.com
ATTN: Jon Zhang, PE

PROJECT SUMMARY

STREET ADDRESS:
609 SOUTH PITT STREET
ALEXANDRIA VA 22314

SCOPE OF WORK:
ADDITION AND WHOLE HOUSE RENOVATION

LOCAL JURISDICTION:
CITY OF ALEXANDRIA, VA

APPLICABLE CODES:
2018 VIRGINIA UNIFIED STATEWIDE BUILDING CODE
ALL LOCAL CODES AND ORDINANCES FOR
JURISDICTIONS HAVING AUTHORITY

WIND ZONE:
115 MPH BASIC WIND SPEED

CLIMATE ZONE:
CLIMATE ZONE 4

DRAWING LIST

A001 COVER SHEET
A002 GENERAL NOTES

A004 EXISTING FAR
A005 PROPOSED FAR
A006 OPEN SPACE

AD101 DEMOLITION PLANS
AD201 EXISTING FRONT ELEVATION
AD202 EXISTING REAR ELEVATION
AD203 EXISTING PICTURES

A101 PROPOSED FLOOR PLANS
A102 PROPOSED ROOF PLAN

A201 ELEVATIONS AND BUILDING SECTIONS
A202 ELEVATIONS AND BUILDING SECTIONS
A203 ELEVATIONS AND BUILDING SECTIONS



ARCHITECTURE, INTERIORS
& CONSTRUCTION

6723 WHITTIER AVENUE
McLEAN, VIRGINIA 22101

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A001

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GENERAL NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF EXTERIOR PLYWOOD SHEATHING, FACE OF INTERIOR FRAMING, FACE OF MASONRY OR CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE. DIMENSIONS AND NOTES ARE TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED. DRAWINGS AT LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS AT A SMALLER SCALE.
2. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE AND SAFE PERFORMANCE OF ANY TEMPORARY WORK REQUIRED FOR CONSTRUCTION OF THE PROJECT. ALL TEMPORARY WORK SHALL BE INCLUDED IN THE THE CONTRACT SUM.
3. THE DRAWINGS INDICATE THE DESIGN INTENT OF THE WORK AND REFERENCE APPLICABLE BUILDING CODES AS PART OF THE SPECIFICATIONS. THE CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE COMPLIANCE OF WORK TO THOSE CODES.
4. ALL MECHANICAL AND ELECTRICAL DESIGN SHALL BE PERFORMED ON A DESIGN/BUILD BASIS WITH THE SELECTED TRADE CONTRACTOR AND SHALL CONFORM TO ALL APPLICABLE CODES ADOPTED BY THE LOCAL JUSIDIDITION. ALL DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL NECESSARY CALCULATIONS, SUBMISSIONS AND TRADE PERMITS SHALL BE THE RESPONSIBILITY OF THE SUB-CONTRACTOR.

DOORS AND WINDOWS:

1. U.N.O. ALL WINDOW AND DOOR SIZES SHOWN ARE INTENDED TO BE AESTHETIC OR SASH OPENING SIZES. FOR EXAMPLE A 2854DH WINDOW INDICATES A 2'-8" WIDE X 5'-4" DOUBLE HUNG WINDOW. EXACT ROUGH OPENINGS AND CONFIRMATION THAT SELECTED WINDOW MANUFACTURER MEET NOTED EGRESS REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. SAFETY GLAZING SHALL BE REQUIRED AT ALL LOCATIONS AS NOTED IN R308.4. THESE SHALL INCLUDE BY NOT BE LIMITED TO:
 - 2.1. GLAZING IN SWINGING DOORS AND SIDELIGHTS
 - 2.2. WINDOWS AT TUB OR SHOWER LOCATION WITH A SILL LESS THAN 60" ABOVE THE DRAIN
 - 2.3. GLAZING ADJACENT TO STAIRWAYS AND LANDINGS (LESS THAN 36" HORIZ.) AND WITH A SILL LESS THAN 60" ABOVE WALKING SURFACE.
 - 2.4. WINDOWS WITH A SILL LESS THAN 18" ABOVE THE FINISHED FLOOR.
3. EGRESS WINDOWS SHALL MEET THE REQUIREMENTS OF R310.1
4. WINDOW WELLS SHALL MEET THE REQUIREMENTS OF R310.2
5. FINAL WINDOW SPECIFICATION PER WINDOW SCHEDULE. ALL WINDOWS TO HAVE INSULATED LOW-E GLASS WITH A U-FACTOR OF 0.4 OR LESS.

SITE WORK:

1. DEBRIS SHALL NOT ACCUMULATE ON SITE. SALE OR BURNING OF MATERIAL ON SITE IS PROHIBITED. SITE AND ADJACENT AREAS SHALL BE KEPT CLEAN AND FREE FROM MUD, DIRT AND DEBRIS AT ALL TIMES.
2. NEEDLING, SHORING, AND DEMOLITION ARE POTENTIALLY HAZARDOUS AND DIFFICULT TYPES OF WORK, REQUIRING EXTRAORDINARY CARE AND CAUTION DURING THEIR PERFORMANCE. THE SEQUENCE OF TASKS FOR REMOVAL AND INSTALLATION SHALL BE FULLY DETERMINED IN ADVANCE.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE, AND SAFE PERFORMANCE OF ANY TEMPORARY BRACING OR SHORING. AT ALL TIMES DURING THE WORK, THE CONTRACTOR MUST MONITOR THE PERFORMANCE OF THE TEMPORARY SHORING.
4. RE-GRADE ALL WORK TO CREATE ADEQUATE WATER RUN-OFF AWAY FROM AFFECTED BUILDING. THE NEW RAW GRADE ADJACENT TO THE STRUCTURE SHALL BE COVERED WITH STRAW AFTER FINAL FOUNDATION PAINT AND/OR CLEANING.
5. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF; REFER TO STRUCTURAL NOTES. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.
6. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL
7. COMPACTED BACKFILL BELOW BUILDING SLABS - ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIAL TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIALS SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 95% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D698.
8. ALL DOWNSPOUTS SHALL BE TERMINATED INTO SPLASH BLOCKS. PROVIDE OPTION FOR UNDERGROUND DRAINAGE WITH PVC PIPE. CORRUGATED PLASTIC LANDSCAPE PIPING SHALL NOT BE ACCEPTED.
9. ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND /OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL GOVERNED BY THE LOCAL AUTHORITIES. ALL PUBLIC SIDEWALKS AND STREETS SHALL BE SWEPT CLEAN AT ALL TIMES DURING EXCAVATION. ALL CATCH BASINS AND DRAIN AREAS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION. IF ANY CATCH BASINS OR DRAINS BECOME CLOGGED DURING EXCAVATION OR CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING. CONTRACTOR SHALL PROVIDE EROSION CONTROL AND SILT FENCE IMMEDIATELY ADJACENT TO CONSTRUCTION TO PREVENT SEDIMENT RUNOFF DOWN THE HILL.

MOISTURE AND THERMAL PROTECTION:

1. DAMPROOF ALL EXTERIOR FOUNDATION WALLS AS REQUIRED BY CODE. WATERPROOFING OF WALLS SHALL ONLY BE REQUIRED IN AREAS WHERE A HIGH WATER TABLE EXISTS OR OTHER SEVERE SOIL-WATER CONDITIONS ARE KNOWN TO EXIST PER R406.2
2. CODE APPROVED CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS. SIMILAR FLASHING SHALL BE INSTALLED AT THE INTERSECTION OF MASONRY AND WOOD FRAME CONSTRUCTIONS; UNDER AND AT THE END OFS OF MASONRY, WOOD , OR METAL COPINGS AND SILLS; CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM AT WALL AND ROOF INTERSECTIONS; AT JUNCTIONS OF WALLS AND ROOFS, AND IN AL VALLEYS AND AROUND ALL ROOF OPENINGS/PENETRATIONS.
3. PROVIDE GUTTERS AND DOWNSPOUTS TO GRADE.
4. SIDING TO BE HARDIE-PLANK, INSTALLED PER MANUFACTURE'S SPECIFICATIONS.
5. ROOFING SHALL BE MIN 25-YR ASPHALT SHINGLES. PROVIDE ALL REQUIRED FLASHING AND ICE AND WATER SHIELD TO MIN 24" INSIDE OF EXTERIOR WALL LINE. INSTALLATION PER MANUFACTURE'S SPECIFICATIONS.
6. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS ZIP SHEATHING OR APPROVED EQUAL HOUSE WRAP. ALL JOINTS TO BE TAPED AND INSTALLED PER MANUFACTURERS SPECIFICATIONS AND OVERLAPPED TO PROVIDE PROPER FLOW OF BULK WATER.
7. ALL SLABS ON GRADE IN CONDITIONED SPACES SHALL BE INSULATED WITH MIN R-10 RIGID INSULATION FROM TOP OF SLAB DOWNWARD TO 24" BELOW SLAB OR INWARD 24" FROM EXTERIOR OF SLAB AT ALL SLAB PERIMETER AREAS
8. ROCKWOOL INSULATION IS TO BE USED IN ALL AREAS EXPOSED TO UNCONDITIONED SPACES PER THE STATE OF VIRGINIA CODE REQUIREMENTS.
 - 8.1. 2X6 EXTERIOR WALLS TO HAVE MIN R-21 INSULATION
 - 8.2. CEILINGS TO HAVE MIN R-49 INSULATION
 - 8.3. FLOORS OVER UNCONDITIONED SPACES TO HAVE MIN R-30 INSULATION
9. EXAMINE SUBSTRATES AND CONDITIONS UNDER WHICH INSULATION WORK IS TO BE PERFORMED. DO NOT PROCEED WITH INSTALLATION OF INSULATION UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED TO INSTALLER'S SATISFACTION.
10. CLEAN SUBSTRATES OF SUBSTANCES HARMFUL TO INSULATION OR VAPOR RETARDER, INCLUDING THE REMOVAL OF PROJECTIONS WHICH MIGHT PUNCTURE VAPOR RETARDERS.
11. ALL JOINTS, SEAMS, PENETRATIONS; OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING; AND OTHER SOURCES OF AIR LEAKAGE THROUGH THE THERMAL ENVELOPE SHALL BE CAULKED. GASKETED. WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT UNCONTROLLED AIR MOVEMENT.
12. RECESSED LIGHTS INSTALLED IN THE BUILDING ENVELOPE SHALL BE IC-AT RATED

INTERIOR FINISHES:

1. ENSURE A SMOOTH TRANSITION BETWEEN FLOOR TYPES.
2. PROVIDE SCHLUTTER SYSTEM TILE UNDERLAYMENT AT ALL TILE INSTALLATIONS. INSTALLATIONS TO FOLLOW MANUFACTURER'S RECOMMENDATIONS
3. ALL FINISHED WALLS AND CEILING TO BE FINISHED WITH ASTM C36, 1/2" THICK REGULAR TYPE: SW SHEETROCK MANUFACTURED BY U.S. GYPSUM OR SMOOTH WALL MANUFACTURED BY NATIONAL GYPSUM CO.
4. MOISTURE-RESISTANT WALLBOARD: ASTM C 630, REGULAR TYPE "MR" MANUFACTURED BY U.S. GYPSUM. SHALL BE USED AT BATHS AND LAUNDRY ROOMS. NOTE MOISTURE RESITANT WALLBOARD IS NOT RECOMMENDED ON CEILINGS
5. UTILIZE "DUROCK" INTERIOR TILE BACKER BY U. S. GYPSUM OR APPROVED EQUAL AT ALL VERTICAL TILE INSTALLATIONS
6. USE MATERIALS FOR TRIM, ADHESIVES AND ACCESSORIES AS RECOMMENDED BY THE MANUFACTURER AND IN ACCORDANCE WITH HIGHEST INDUSTRY STANDARDS.
7. ALL GYPSUM WALLBOARD TO BE GLUED AND SCREWED TO STUDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL JOINTS SHALL BE TAPED AND SANDED SMOOTH AND FLUSH FOR PAINTING. JOINTS WITH EXISTING WALLS ARE TO ALIGN EXACTLY AND BE SMOOTH. JOINTS AT INTERSECTING PLANES TO BE STRAIGHT WITHIN 1/8" OVER 8'-0".
8. NO NEW SURFACE SHALL HAVE LESS THAN ONE PRIME COAT AND TWO FINISH COATS OF PAINT.



6723 WHITTIER AVENUE
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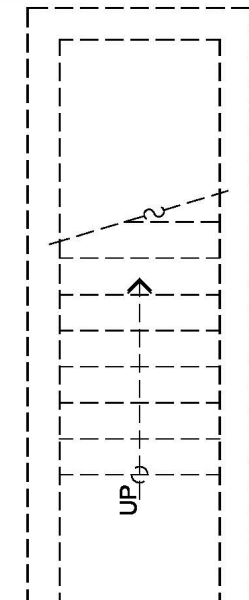
TIROL-DEROHANESIAN RESIDENCE

609 SOUTH PITT STREET
ALEXANDRIA VA 22314

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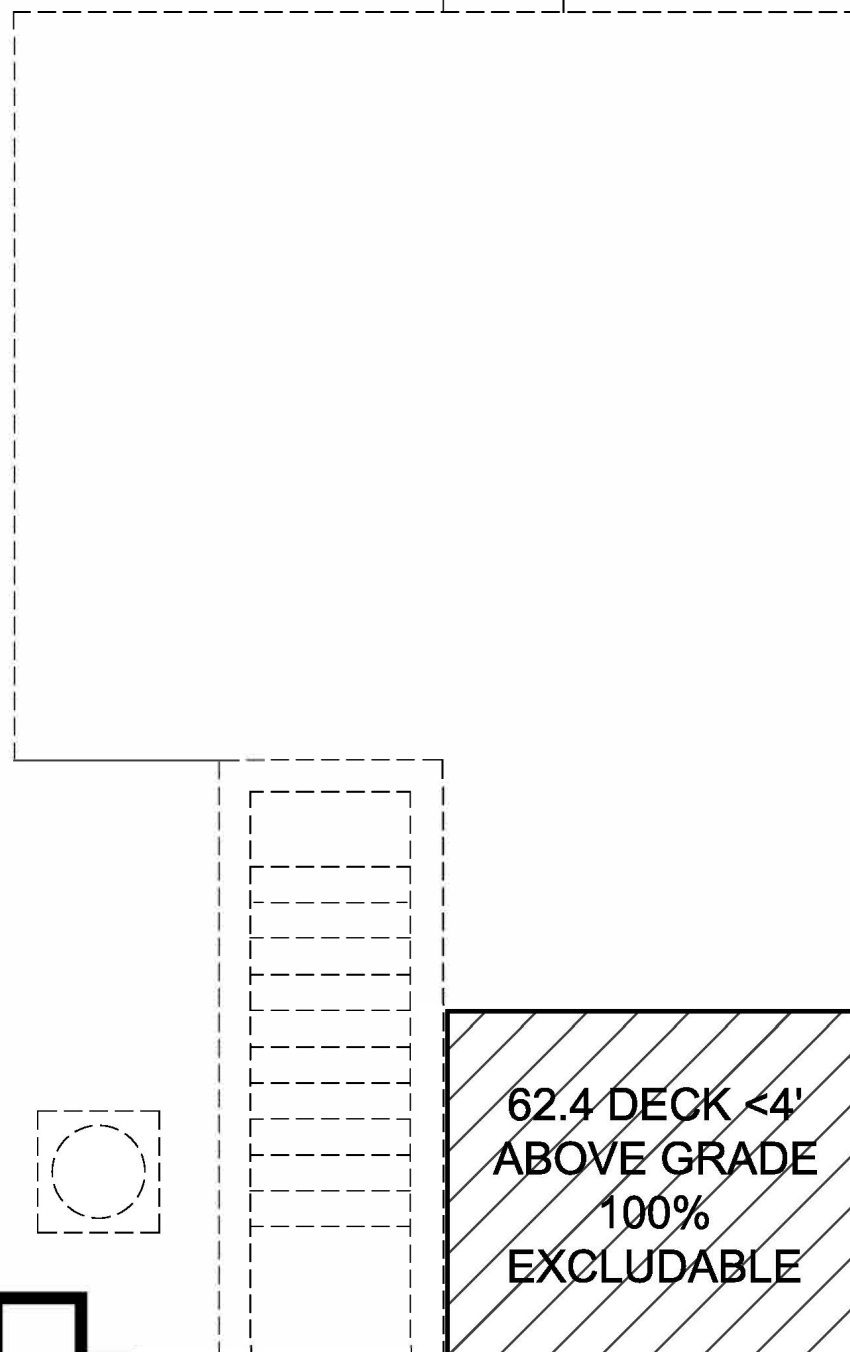
A002



881.5
BASEMENT
100%
EXCLUDABLE

1 EXISTING LOWER LEVEL FAR PLAN

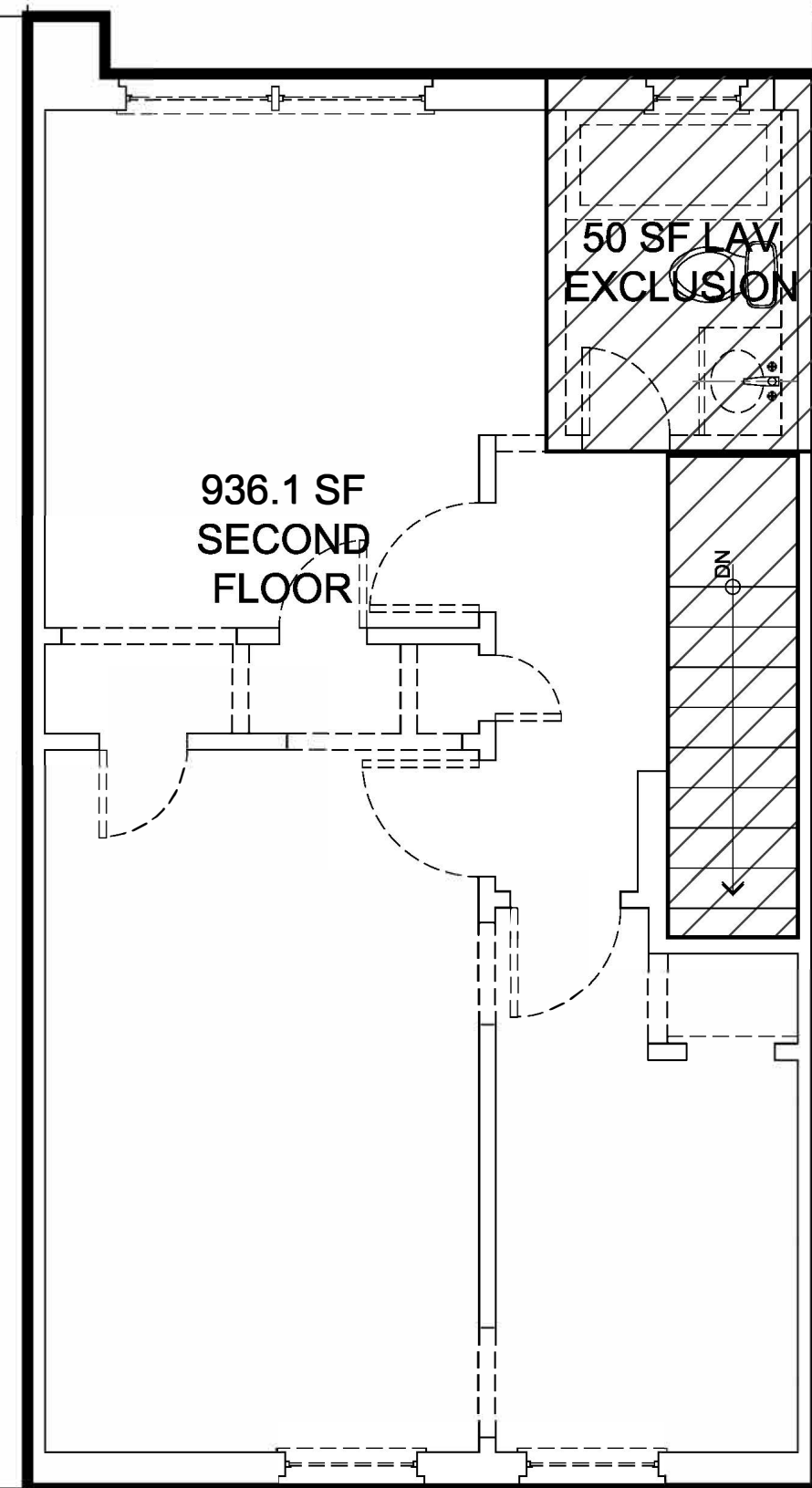
0 2' 4' 8'



881.5 SF
FIRST
FLOOR

2 EXISTING FIRST FLOOR FAR PLAN

0 2' 4' 8'



936.1 SF
SECOND
FLOOR

3 EXISTING SECOND FLOOR FAR PLAN

0 2' 4' 8'

TIROL-DEROHANESIAN RESIDENCE

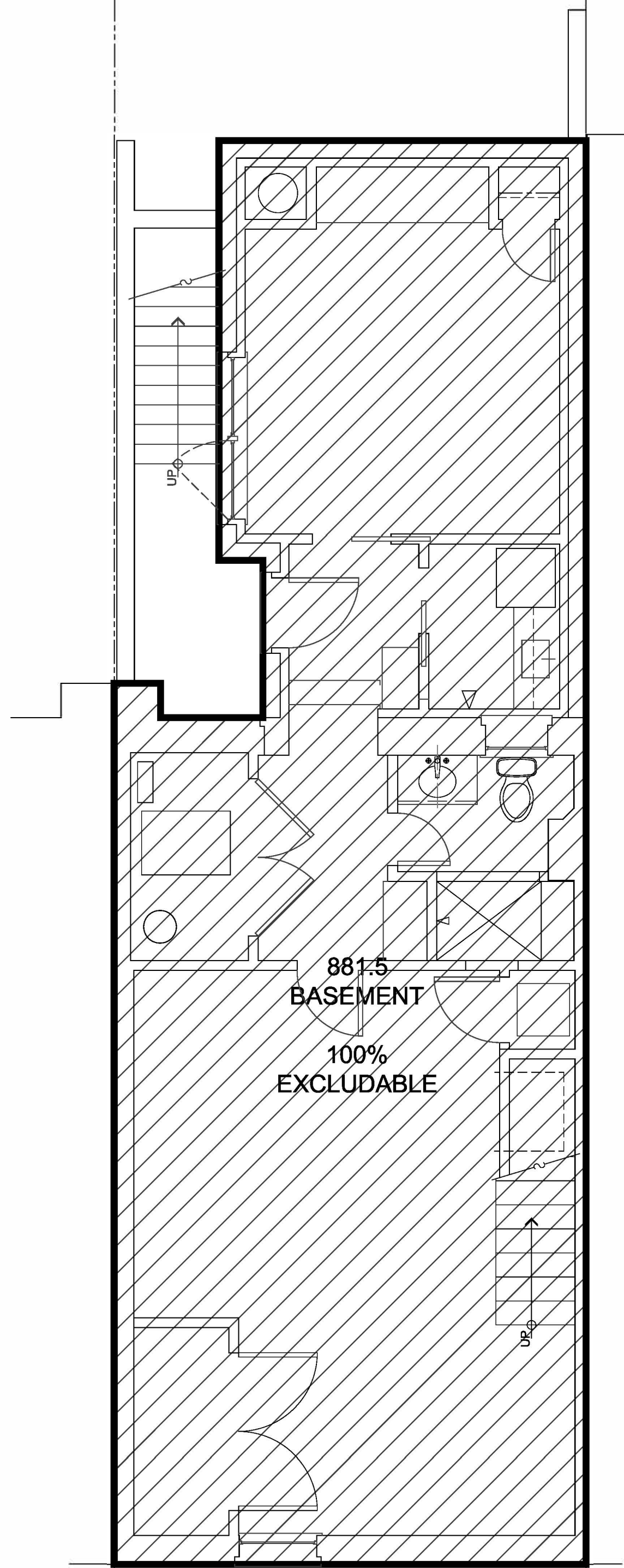
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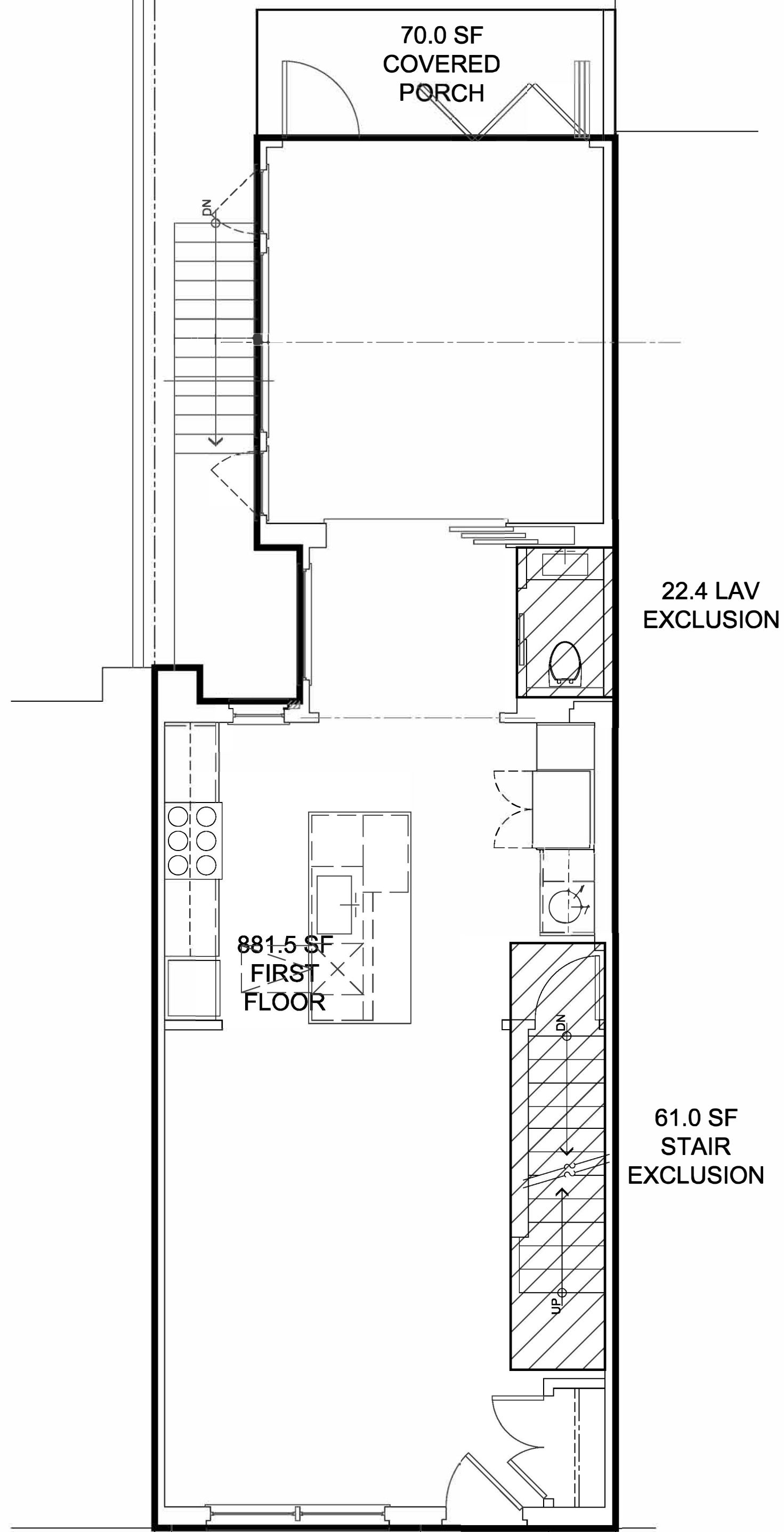
SHEET

A005

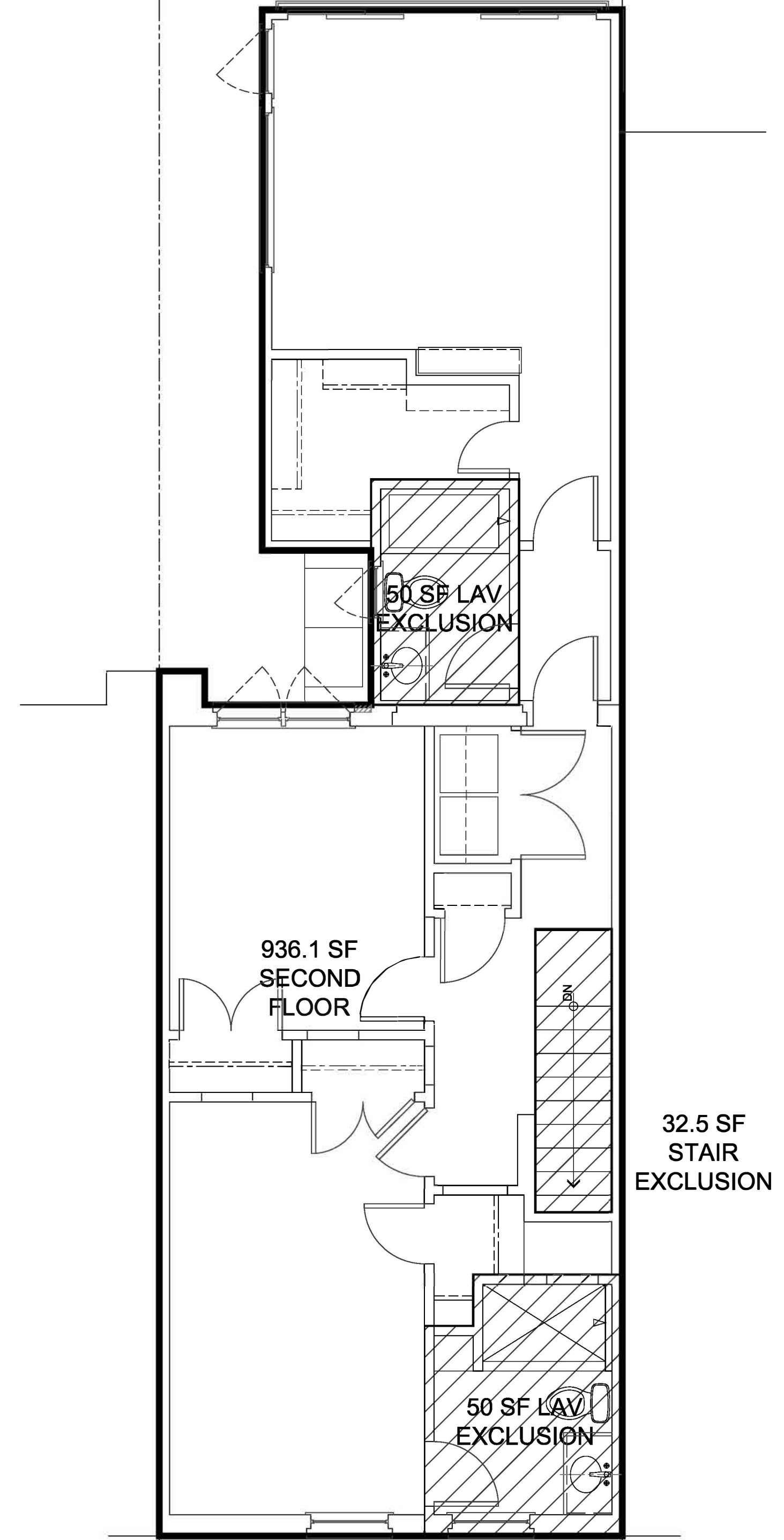
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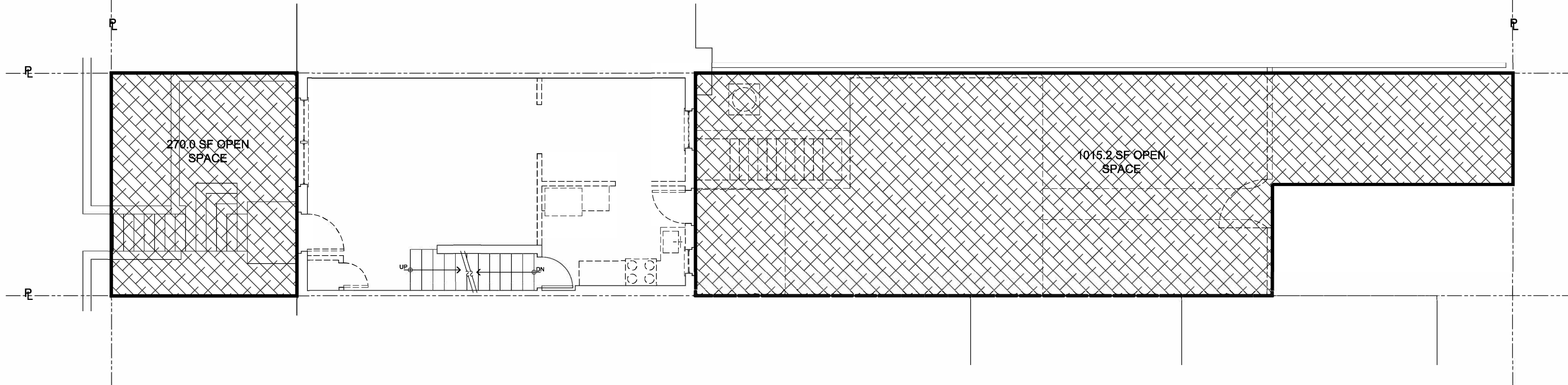
1 PROPOSED LOWER LEVEL FAR PLAN



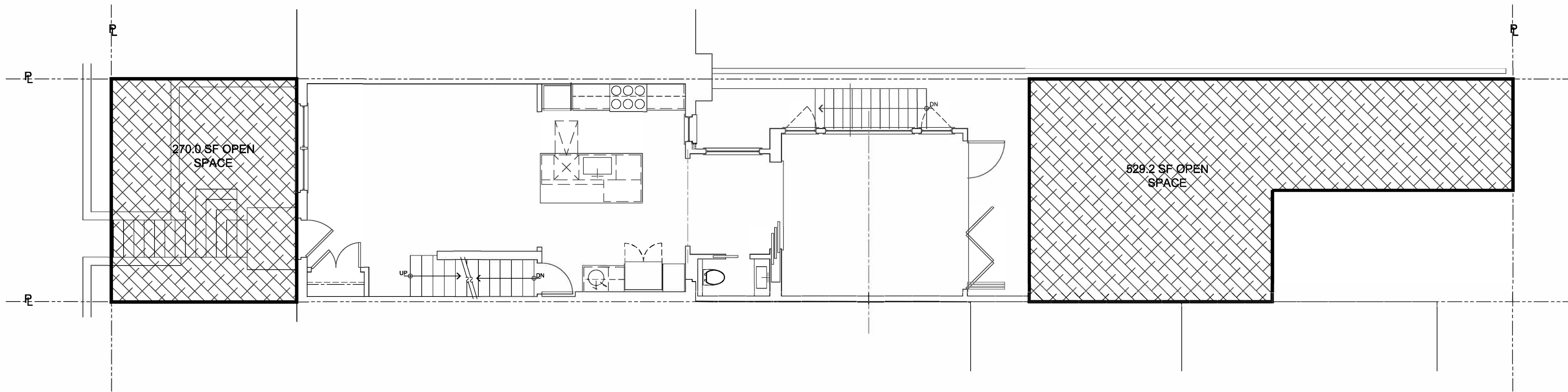
2 PROPOSED FIRST FLOOR FAR PLAN



3 PROPOSED SECOND FLOOR FAR PLAN



1 EXISTING OPEN SPACE



2 PROPOSED OPEN SPACE

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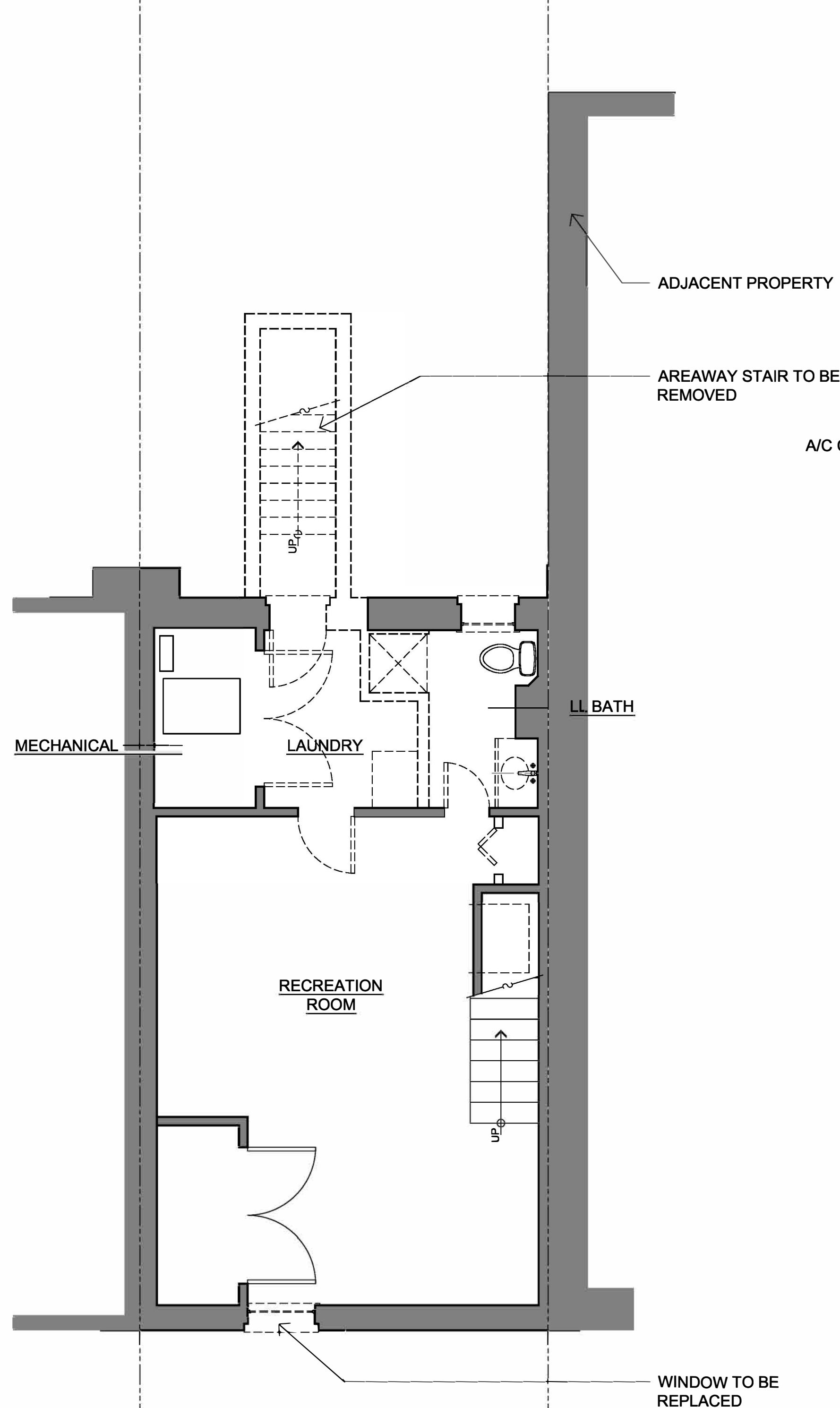
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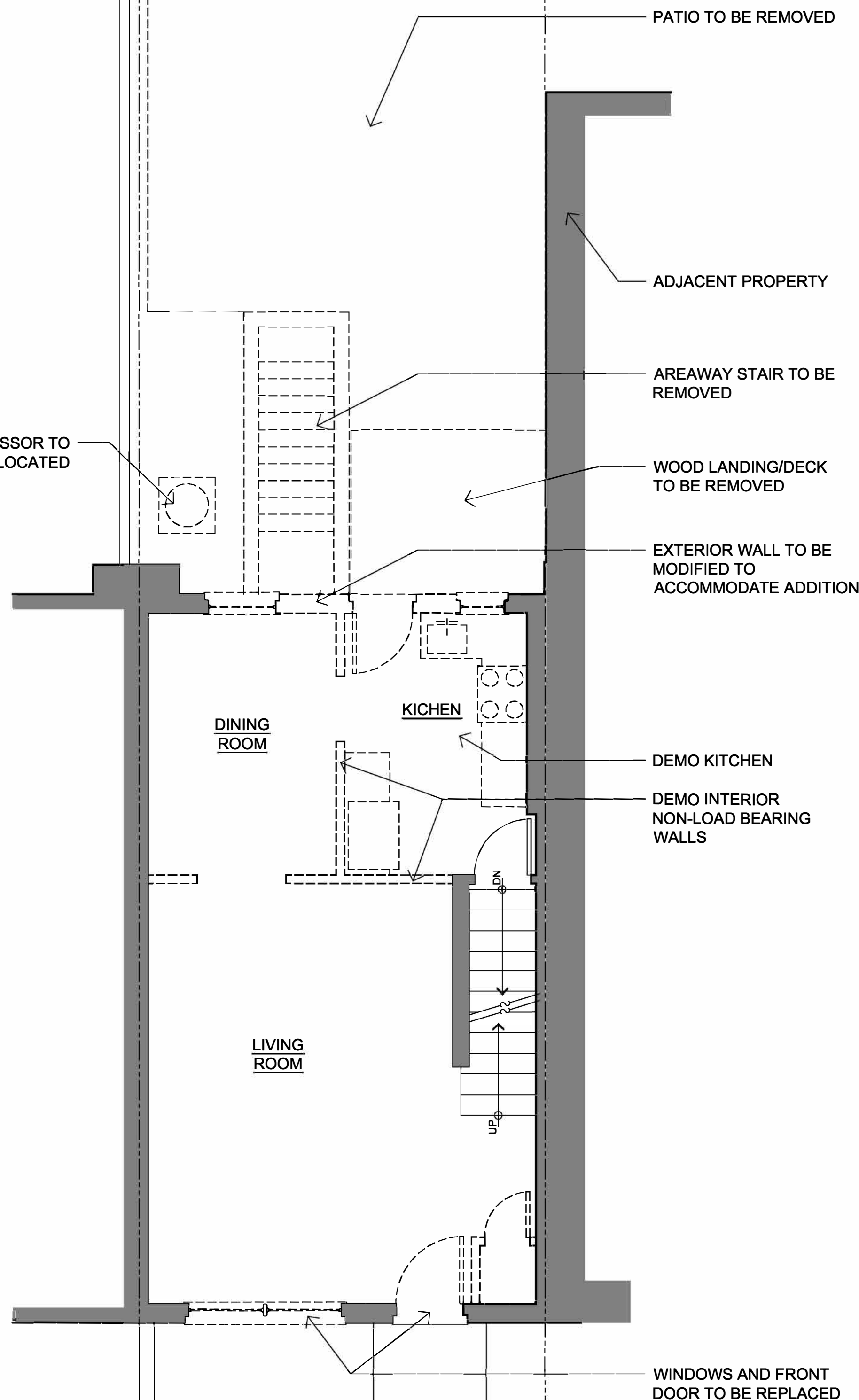
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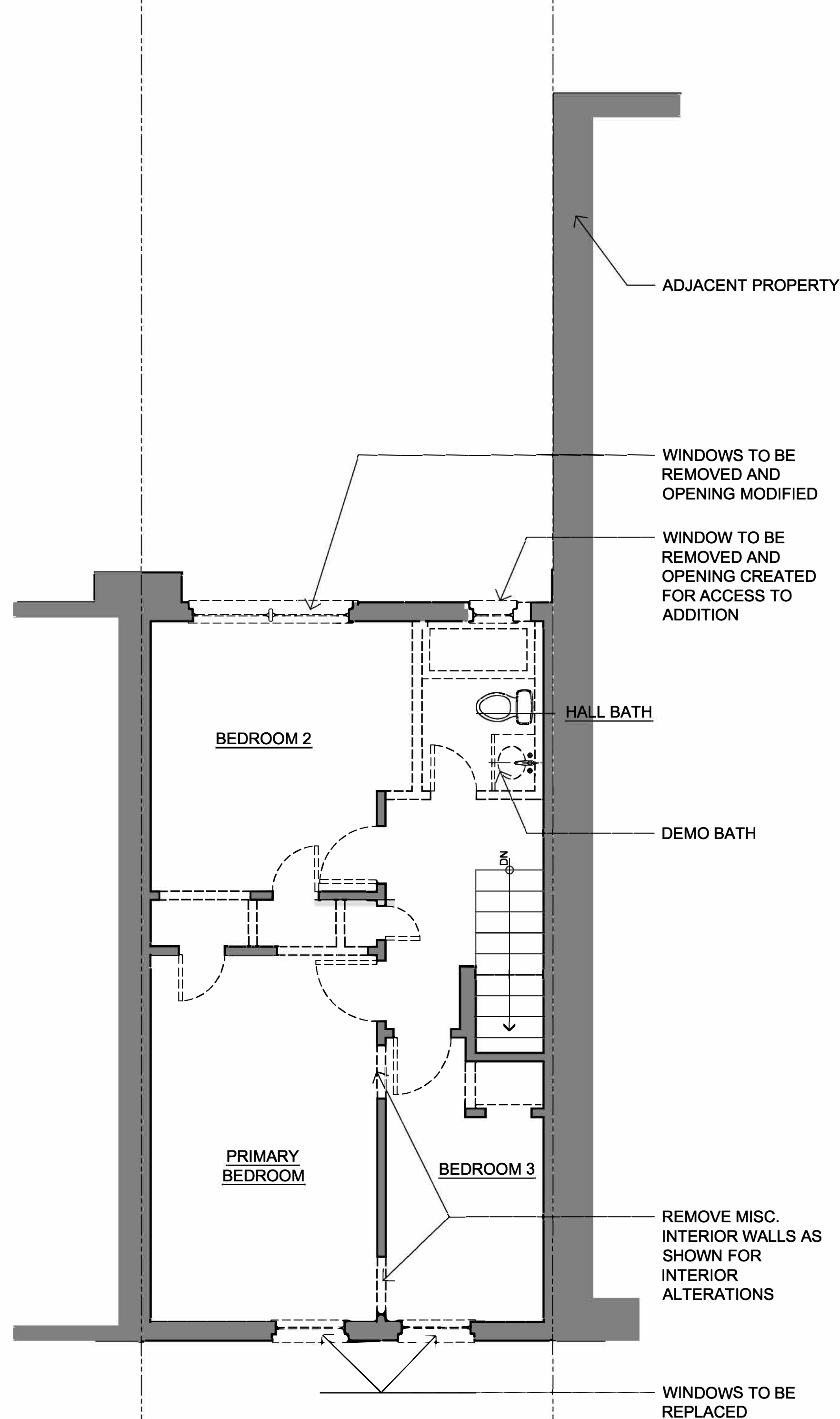
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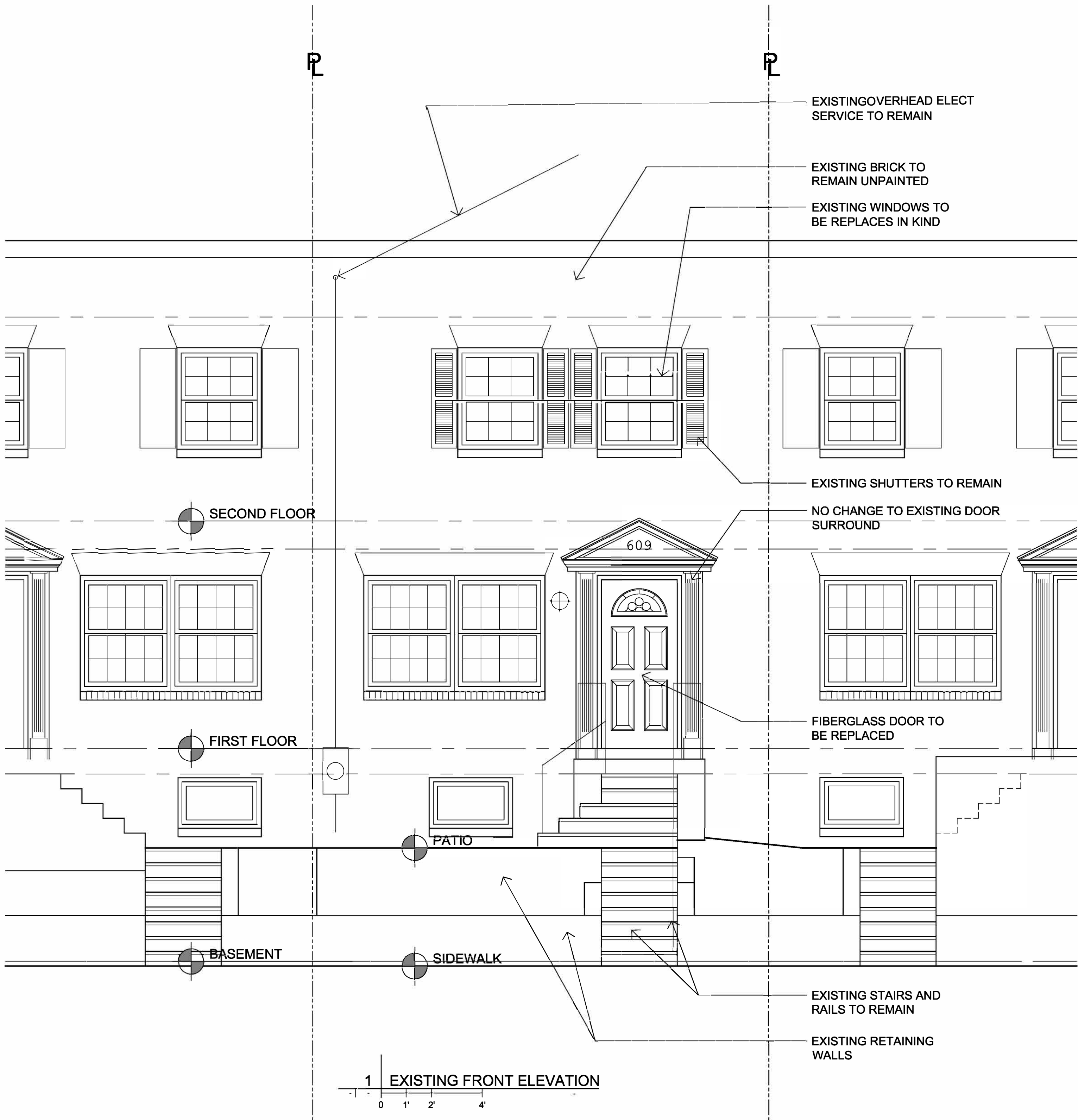
1 EXISTING LOWER LEVEL PLAN



2 EXISTING FIRST FLOOR PLAN



3 EXISTING SECOND FLOOR PLAN



EXTERIOR VIEW FROM SIDEWALK

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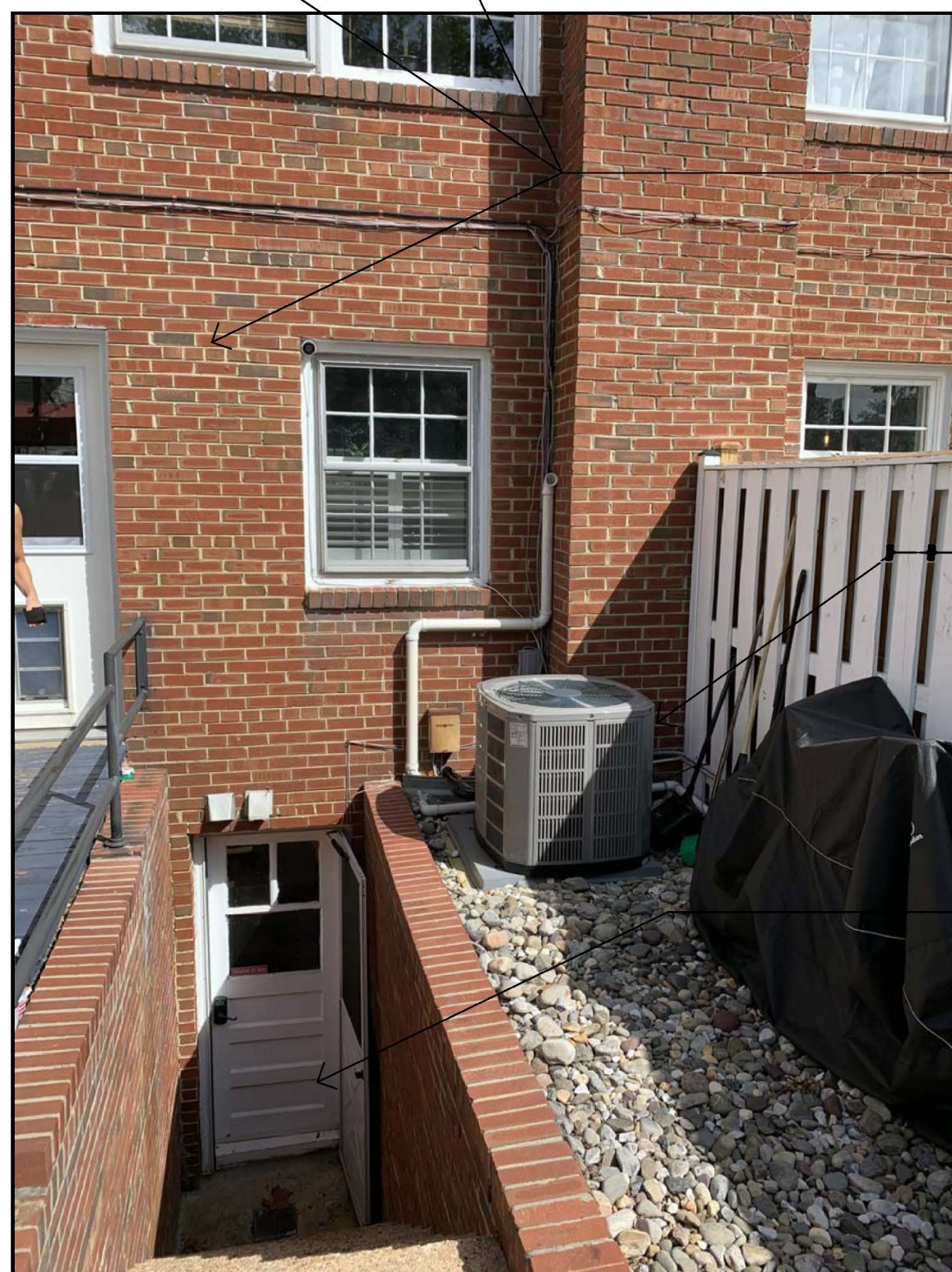
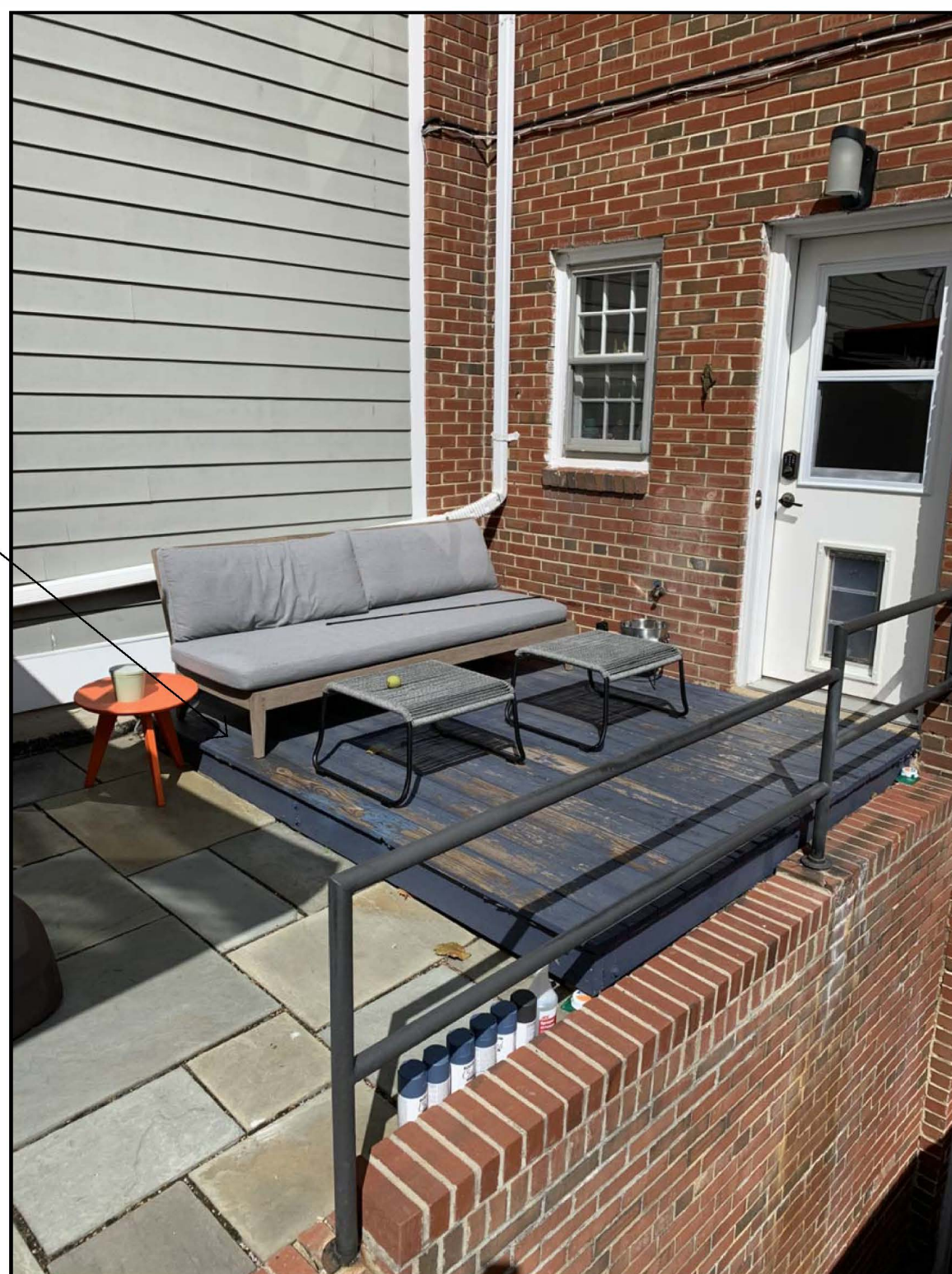
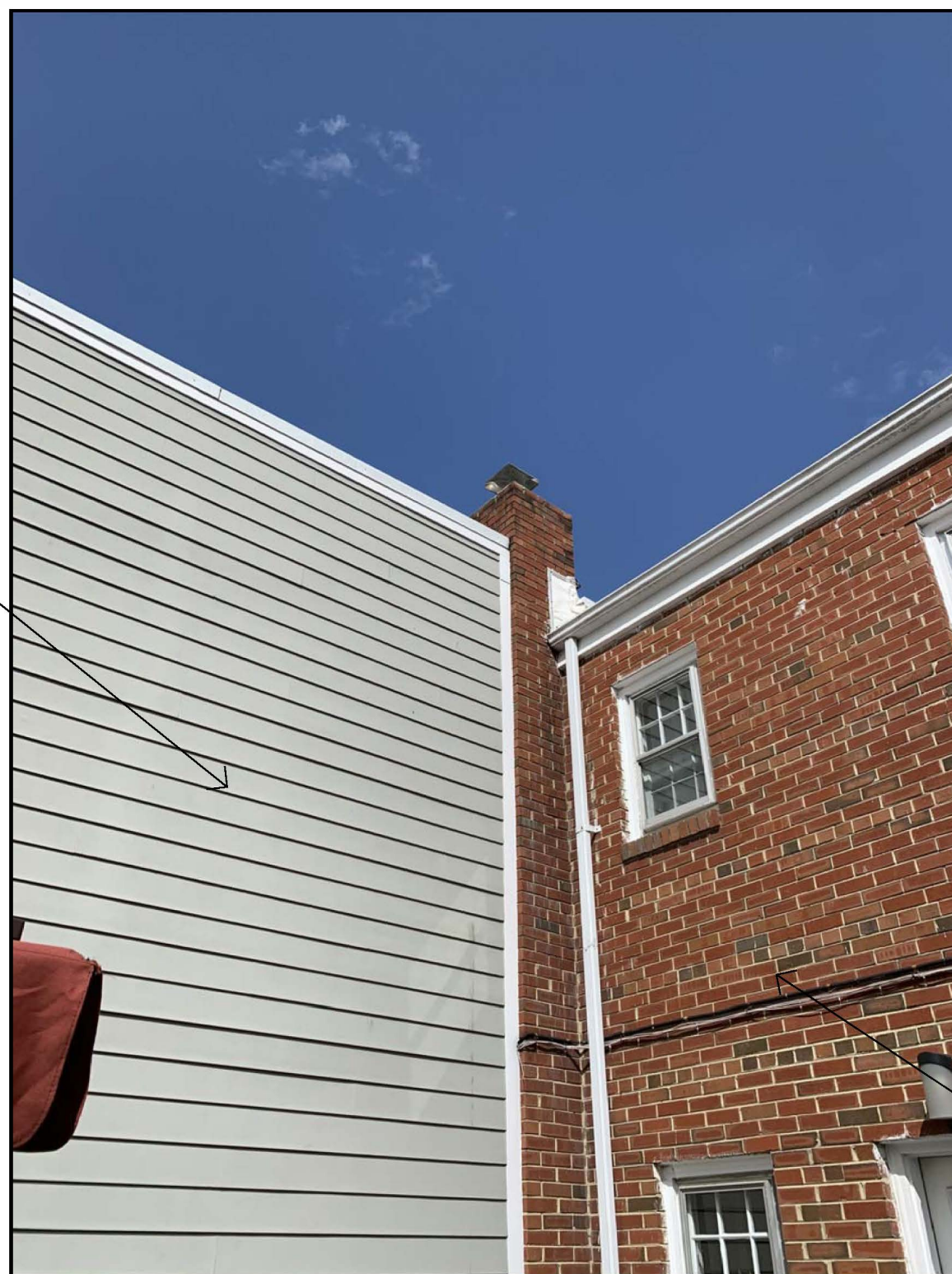
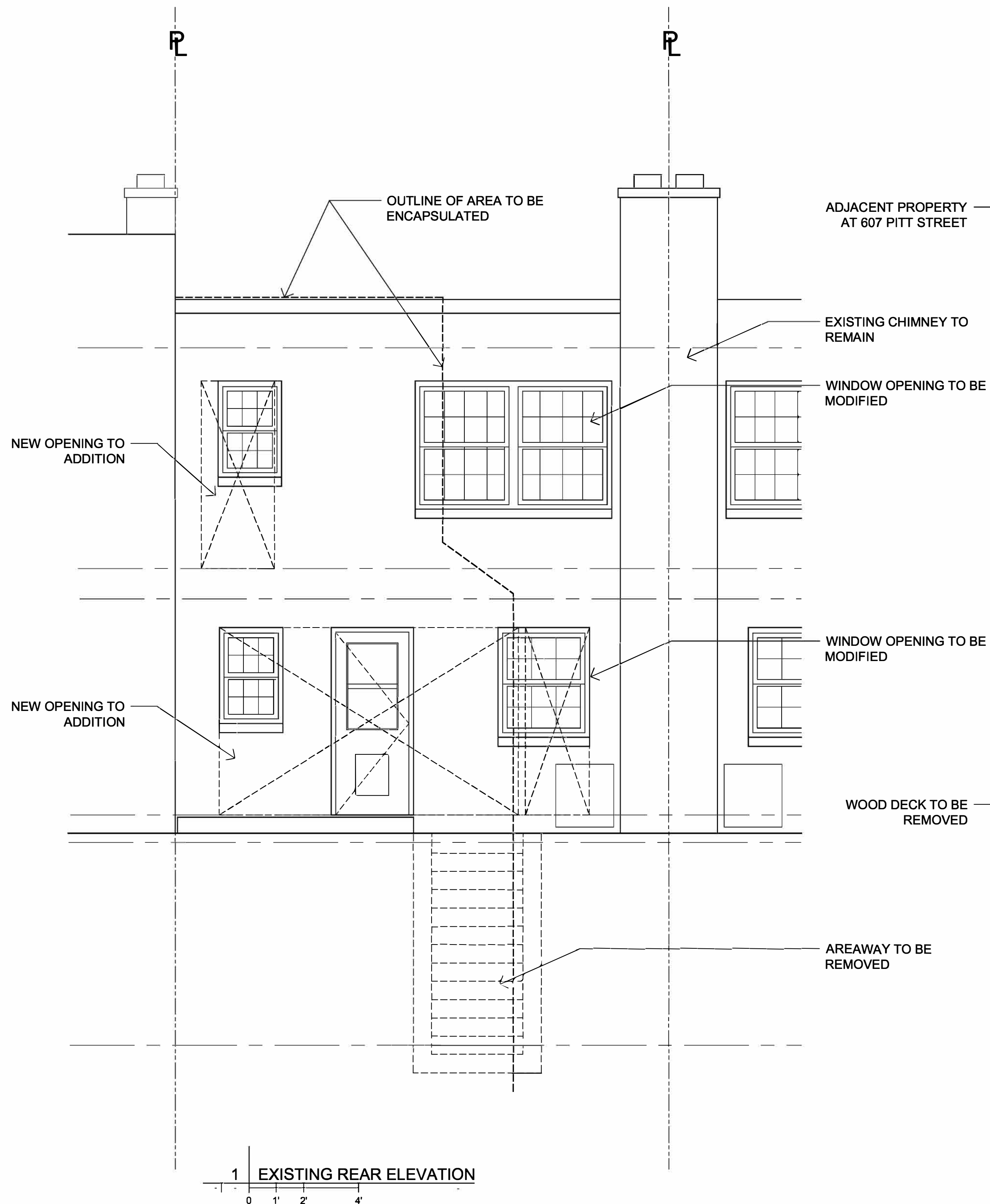
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COMPOSITE PHOTOS OF EXISTING REAR ELEVATION

REAR WALL TO BE
MODIFIED / ENCAPSULATED

A/C COMPRESSOR TO BE
RELOCATED

AREAWAY TO BE
REMOVED

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ADJACENT PROPERTY



607 PITT STREET (REAR)

SUBJECT PROPERTY



VIEW FROM ALLEY

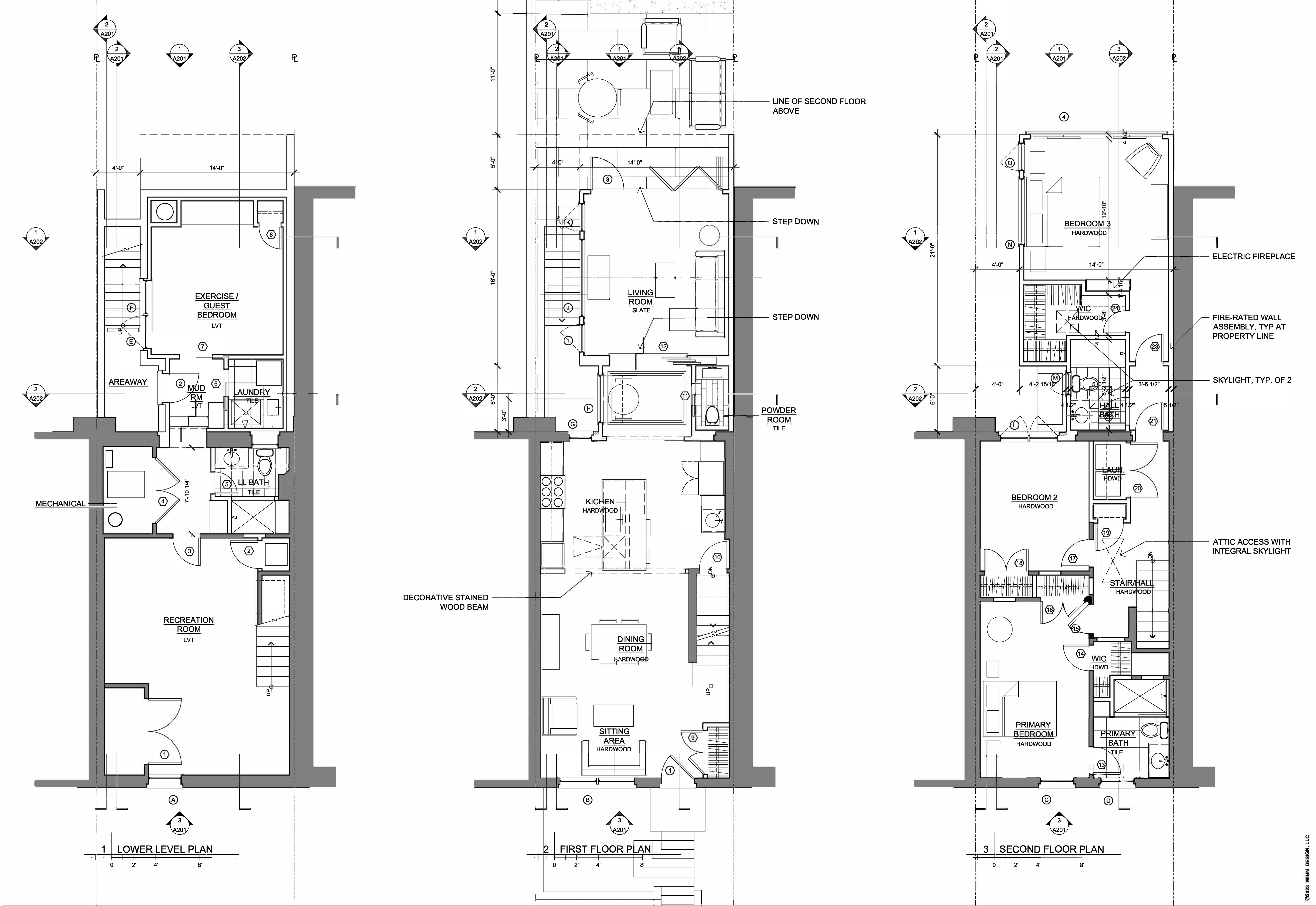
DETACHED GARAGE OF
ADJACENT PROPERTY
AT 607 PITT STREET



PARKING PAD AT ALLEY

PARKING PAD





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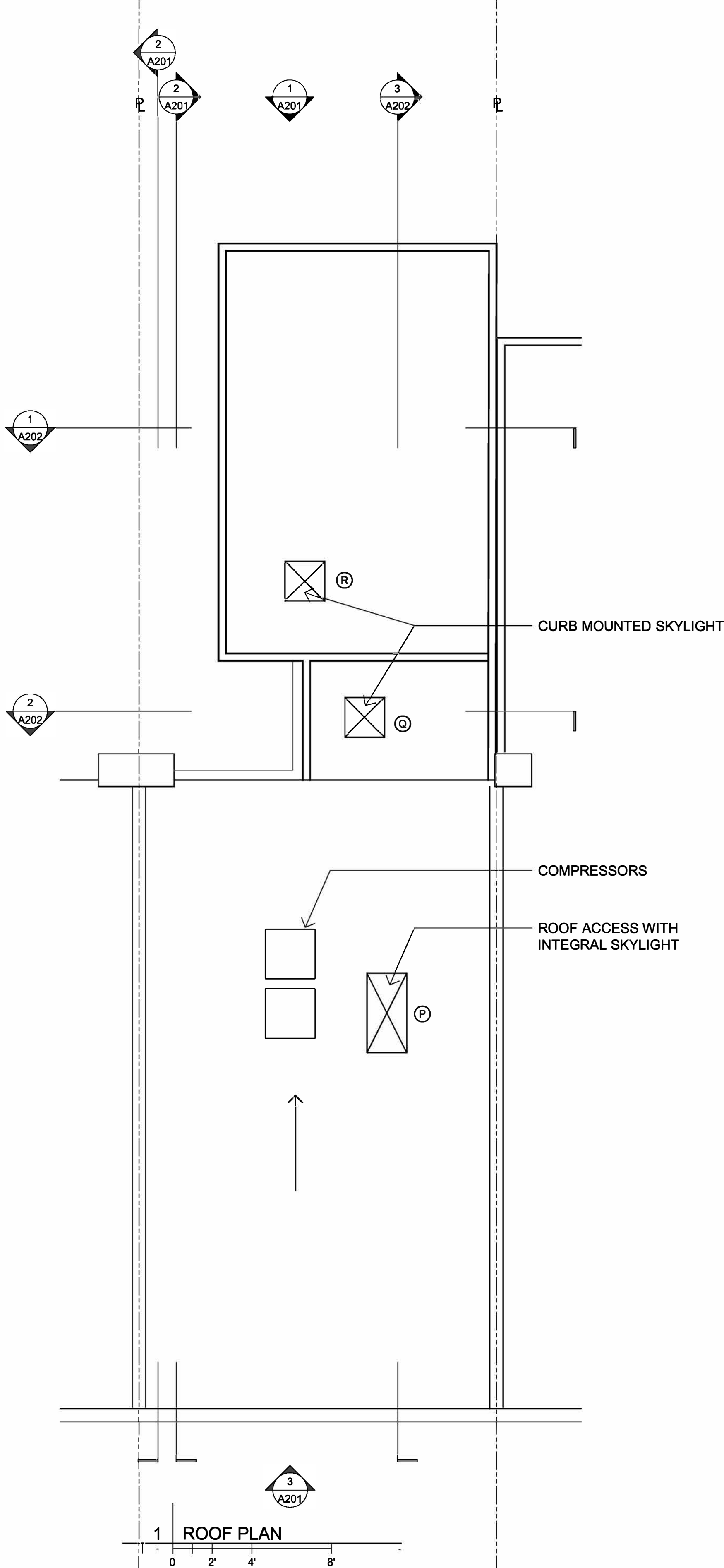
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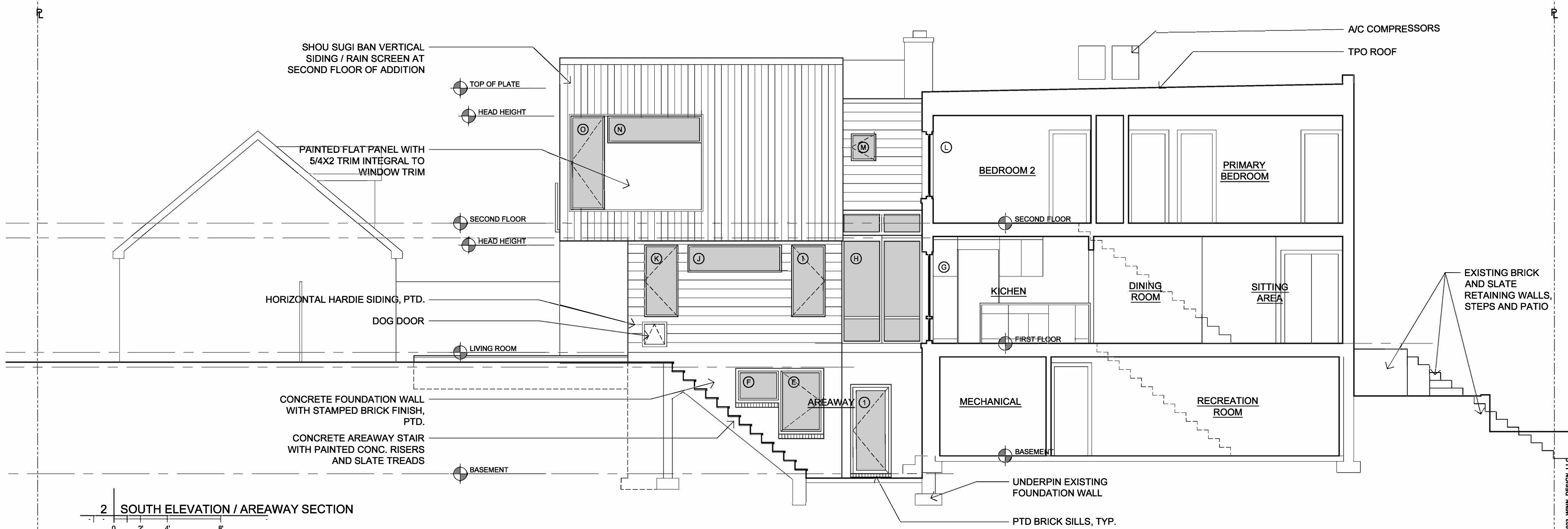
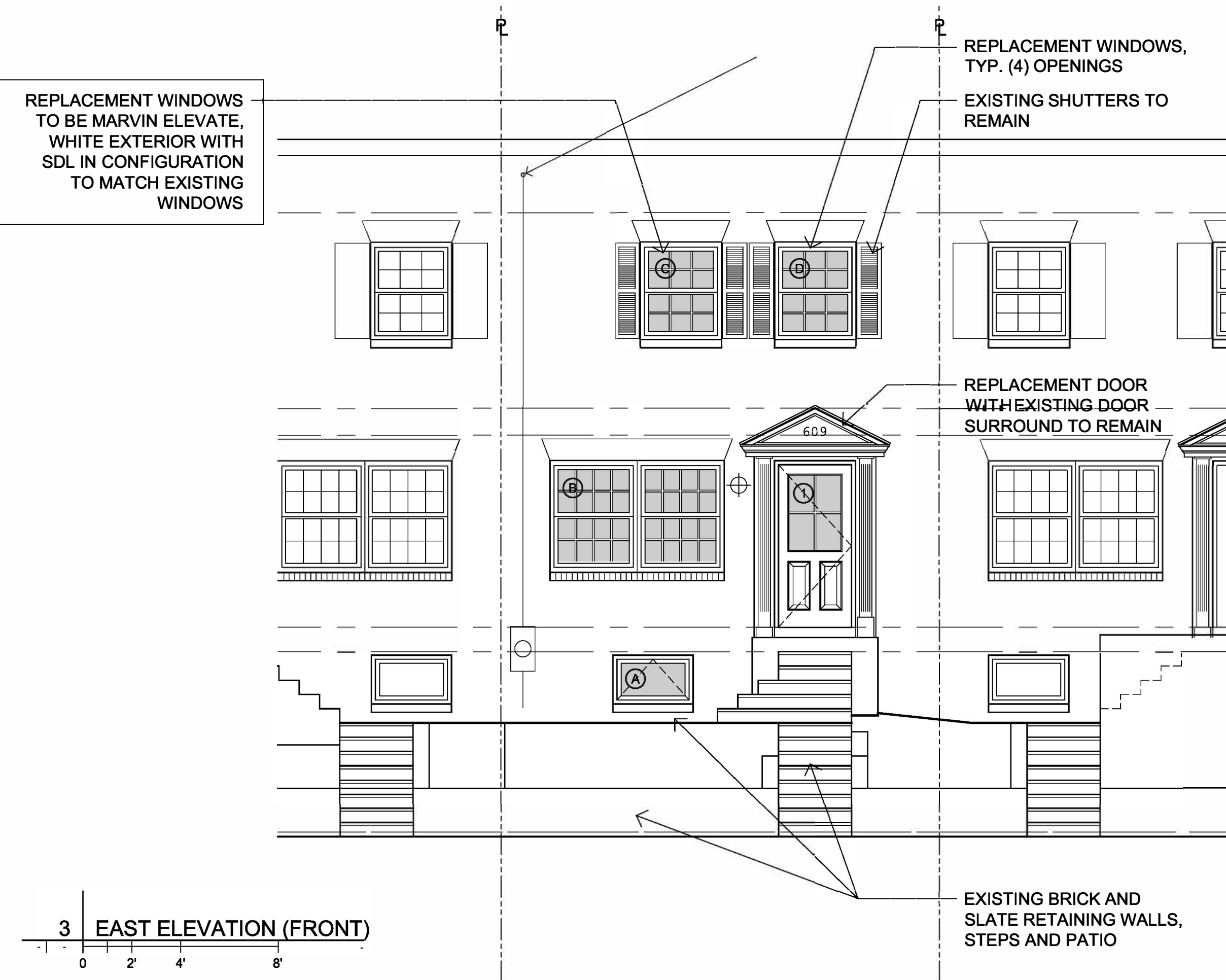
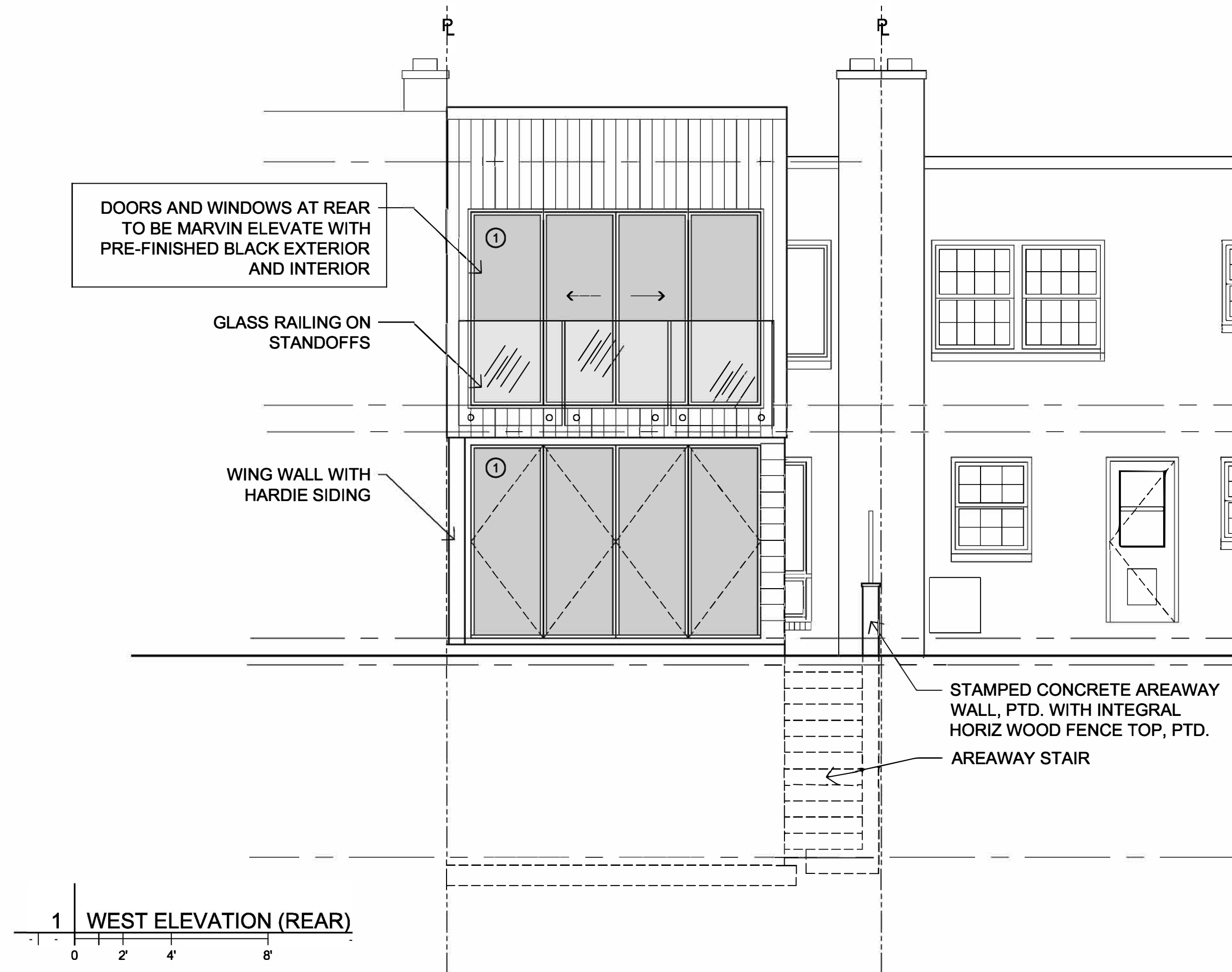
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