

***Special Use Permit #2025-00010***  
***3111 Circle Hill Road – Substandard Lot Redevelopment***

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Application	General Data	
Public Hearing and consideration of a request for a Special Use Permit to construct a single-unit dwelling on a developed substandard lot.	<b>Planning Commission Hearing:</b>	May 6, 2025
	<b>City Council Hearing:</b>	May 17, 2025
<b>Address:</b> 3111 Circle Hill Road	<b>Zone:</b>	R-8/Residential Single Family
<b>Applicant:</b> Character Holdings 7, LLC, represented by Duncan Blair, attorney	<b>Small Area Plan:</b>	Northridge/Rosemont Small Area Plan

**Staff Recommendation:** APPROVAL subject to compliance with all applicable codes, ordinances and the recommended permit conditions found in Section III of this report.

**Staff Reviewers:** Sam Shelby, [sam.shelby@alexandriava.gov](mailto:sam.shelby@alexandriava.gov)  
Catherine McDonald, [catherine.mcdonald@alexandriava.gov](mailto:catherine.mcdonald@alexandriava.gov)

**PLANNING COMMISSION ACTION, MAY 6, 2025:** On a motion by Commissioner Dube, seconded by Vice Chair Koenig, the Planning Commission moved to recommend approval of SUP #2025-00010. The motion carried on a vote of 7 to 0.

Reason: The Planning Commission agreed with staff analysis.

Discussion:

Chair McMahon asked staff about a letter sent by a nearby resident which identified a lot size discrepancy between the City's Real Estate Assessment records and the applicant's engineering firm. Staff explained that this is a common issue and that the City records for several properties in the immediate vicinity appeared to have similar discrepancies. Staff explained that the applicant's lot size was determined by a licensed surveyor and is the correct lot size. City records would be updated as part of the grading plan and building permit reviews.

Chair McMahon also asked staff about the proposed detached garage and whether there would be any effects on Monticello Park which is immediately adjacent to the subject property. Staff explained that the garage would be about 50 feet from the park's boundaries, well outside the identified Resource Protection Area. Any stormwater issues would be identified and accounted for in the subsequent grading plan review.





## I. DISCUSSION

The applicant, Character Holdings 7, LLC, represented by Duncan Blair, attorney, requests Special Use Permit (SUP) approval to construct a single-unit dwelling on a developed, substandard lot at 3111 Circle Hill Road. The existing lot is substandard as it does not meet the R-8 zone's minimum lot width requirement.

### SITE DESCRIPTION

The Zoning Ordinance classifies the subject property as a developed, substandard lot of record. It has a lot size of 14,085 square feet with 50 feet of frontage along Circle Hill Road. The lot has an irregular shape and widens significantly from front to back. A two-story dwelling currently occupies the site. City Real Estate Assessment records indicate the dwelling was constructed in 1936. It provides a 31.8-foot front yard; east and west side yards of 12.6 and 6.6 feet, respectively; a 114.6-foot rear yard; and approximately 1,731 square feet of floor area.



*Figure 1 – Subject Property*

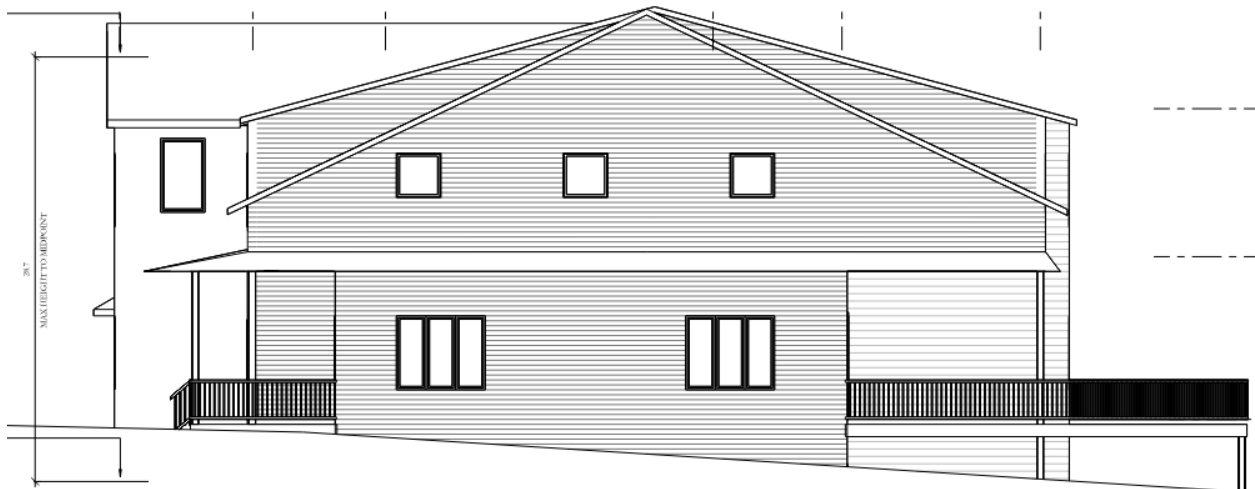
### PROPOSAL

The applicant requests SUP approval to redevelop the subject property with a new two-story dwelling and two-story detached garage. The dwelling would have 4,067 square feet of net floor area and would measure 28.7 feet tall; the garage would have 788 square feet of net floor area and would measure 22.7 feet tall.

The applicant's proposed design reflects a mix of architectural styles. It would have a predominantly rectangular building form with some varied, asymmetrical massing along each of its facades and mixed roof forms. The dwelling would be clad with horizontal fiber cement siding and would have modern windows without grids. Its front elevation would include an open porch with a standing-seam metal roof. The porch's roof form would wrap around the dwelling. Figures 2 through 5, below, show the proposed elevations.



*Figure 2 – Front Elevation*



*Figure 3 – West Side Elevation*



*Figure 4 – East Side Elevation*



*Figure 5 – Rear Elevation*

The dwelling would measure roughly 62 by 36 feet with a footprint of 1,892 square feet. It would provide a 24.3-foot front yard and a 69.5-foot rear yard. Because of the lot's shape, the dwelling would provide 11.7 and 11.2-foot east and west side yards, respectively, where the lot is narrowest.

Figure 7, below, shows the proposed site plan.

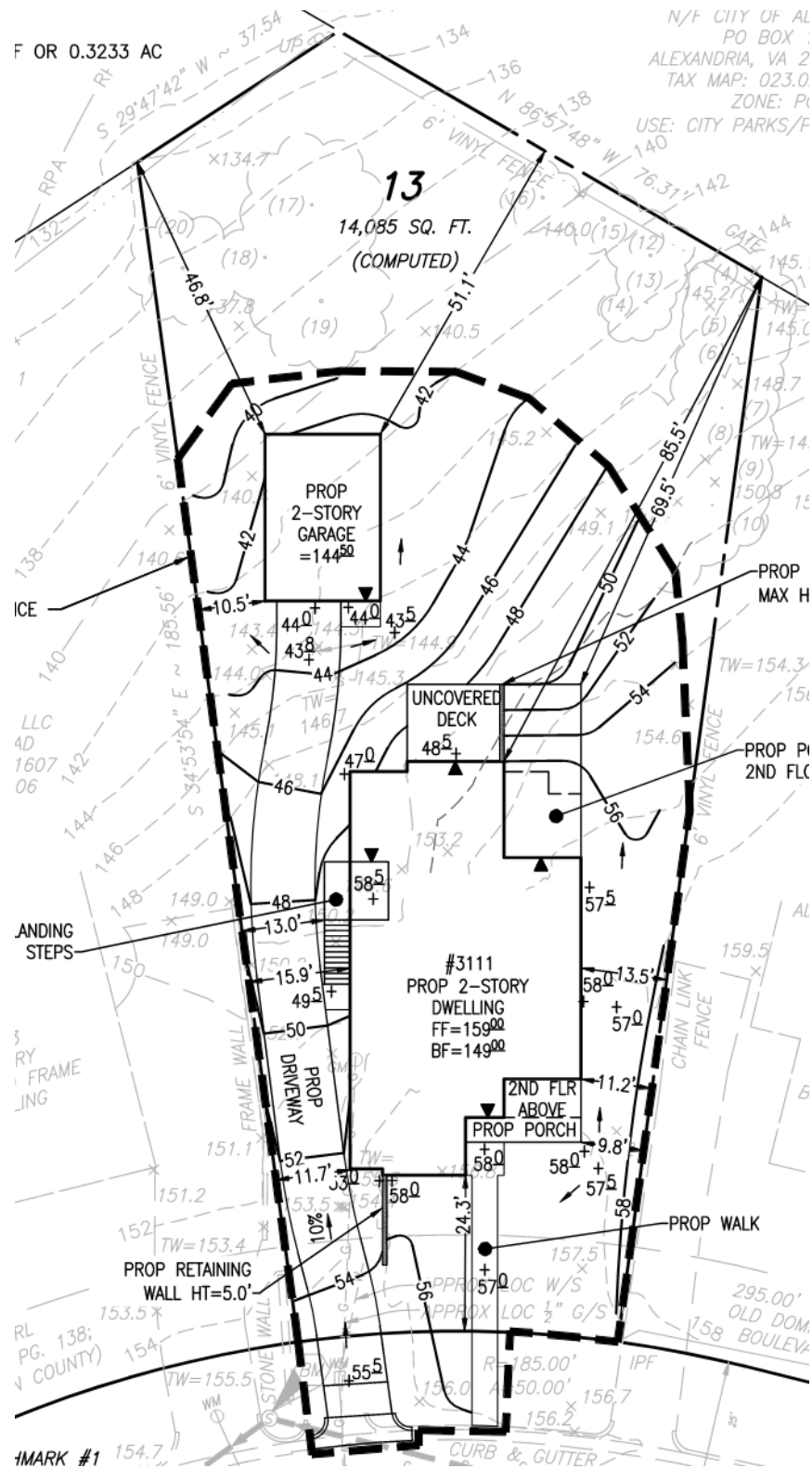


Figure 7 – Proposed Site Plan

### PARKING

Zoning Ordinance section 8-200(A)(1) requires one off-street parking space for a single-unit dwelling. The proposed garage and driveway would satisfy this requirement by providing two off-street spaces.

### ZONING

The subject property is zoned R-8/Residential. For single-unit dwellings, the R-8 zone requires a minimum lot size of 8,000 square feet, a minimum lot width of 65 feet and a minimum lot frontage of 40 feet. Given the subject property's width of 58 feet, Zoning Ordinance section 12-901 applies and classifies the subject property as a substandard lot. Because the applicant proposes redevelopment of the substandard lot, Zoning Ordinance section 12-901(C) applies and requires SUP approval. Despite its substandard width, the subject property provides a lot size of nearly double the R-8 zone's minimum lot size.

The existing lot and proposed dwelling would meet all R-8 zoning requirements except for lot width. The following table provides a summary of all zoning regulations as they pertain to the subject property and proposed dwelling:

*Table 1 – Zoning Analysis*

	<b>Required/Permitted</b>	<b>Existing</b>	<b>Proposed</b>
<b>Lot Area</b>	8,000 Sq. Ft.	14,085 Sq. Ft.	No change
<b>Lot Width</b>	65 Ft.	58 Ft.	No change
<b>Lot Frontage</b>	40 Ft.	50 Ft.	No change
<b>Front Yard</b>	22.1 – 31.6 Ft.	31.6 Ft.	24.3 Ft.
<b>Side Yard (East)</b>	12.6 Ft. (dwelling, from midpoint) 9.5 Ft. (dwelling, from eave) 9 Ft. (garage)	12.5 Ft.	15.9 Ft. (dwelling, from midpoint) 11.7 Ft. (dwelling, from eave) 10.5 Ft. (garage)
<b>Side Yard (West)</b>	12.6 Ft. (dwelling, from midpoint) 9.5 Ft. (dwelling, from eave) 9 Ft. (garage)	6.5 Ft.	13.5 Ft. (dwelling, from midpoint) 11.2 Ft. (dwelling, from eave) 52.13 (garage)
<b>Rear Yard</b>	28.7 Ft. (dwelling) 22 Ft. (garage)	101 Ft.	69.5 Ft. (dwelling) 46.8 Ft. (garage)
<b>Floor Area</b>	4,929.75 Sq. Ft. 0.35 Floor Area Ratio (FAR)	~1,731 Sq. Ft. 0.12 FAR	4,698 Sq. Ft. 0.33 FAR
<b>Height</b>	30 Ft.	23.4 Ft.	28.7 Ft.
<b>Threshold Height</b>	34.4 Ft.	3.5 Ft.	2.42 Ft.

### MASTER PLAN DESIGNATION

The proposed single-unit residential use is consistent with the Northridge/Rosemont Small Area Plan which designates this area for low-density residential uses.

## II. STAFF ANALYSIS

Staff supports the applicant's proposal to develop this substandard lot with a new two-story dwelling. As required by Zoning Ordinance section 12-901(C), the proposed dwelling would be compatible with the existing neighborhood in terms of height, bulk, and design.

### HEIGHT

Staff finds the proposed dwelling to be compatible with neighborhood character in terms of height. Dwelling heights are shown in Table 2, below.

*Table 2 – Dwelling Heights*

3110 Circle Hill Road	19.1 Ft.
3106 Circle Hill Road	19.7 Ft.
3108 Circle Hill Road	21.1 Ft.
<b>Average</b>	<b>23.4 Ft.</b>
3109 Circle Hill Road	26.8 Ft.
<b>Average + 20%</b>	<b>28.1 Ft.</b>
<b>Proposed Dwelling</b>	<b>28.7 Ft.</b>
3113 Circle Hill Road	30.1 Ft.

The surrounding dwellings have a range of heights with an average of 23.4 feet. The proposed dwelling would be about 22 percent taller than the average dwelling height of the block face. The dwelling would be about 1.4 feet shorter than the dwelling's immediate neighbor to the east at 3113 Circle Hill Road. Although it would be 1.9 feet taller than the dwelling's immediate neighbor to the west at 3109 Circle Hill Road, this property is slightly uphill from the subject property so any height difference would not be visually apparent.

Staff finds the proposed height to be compatible given that it represents a modest increase from the established height. The applicant's proposed design would also serve to lessen or eliminate the visual impact of the additional height. Staff provides more explanation of this point in the design section of this report.

### BULK

Staff finds that the proposed dwelling would be similar in size to its surrounding dwellings. Nearly all the surrounding dwellings have had major additions and the subject property's most immediate neighbors have been redeveloped with new builds. As a result, the proposed dwelling's floor area and FAR is within the range of those of the surrounding dwellings. Although the proposed dwelling is the second largest within the block, the applicant's design choices also reduce the impact of the proposed bulk.



*Table 3 – Dwelling FARs*

Address	FAR	Floor Area	Lot size
3106 Circle Hill Road	0.34	3,504 Sq. Ft.	10,350 Sq. Ft.
3108 Circle Hill Road	0.28	2,536 Sq. Ft.	9,037 Sq. Ft.
3109 Circle Hill Road	0.25	2,266 Sq. Ft.	9,103 Sq. Ft.
3110 Circle Hill Road	0.25	2,465 Sq. Ft.	9,779 Sq. Ft.
<b><i>Proposed Dwelling</i></b>	<b><i>0.33</i></b>	<b><i>4,066 Sq. Ft.</i></b>	<b><i>14,085 Sq. Ft.</i></b>
3113 Circle Hill Road	0.30	4,197 Sq. Ft.	14,058 Sq. Ft.

## DESIGN

Staff finds that the proposed design would be compatible with this section of Circle Hill Road. The dwellings within the block across the street from the subject property (3106, 3108, and 3110 Circle Hill Road) are all fairly typical dwellings for Beverley Hills. They all feature asymmetrical facades, traditional windows, and varied façade materials. The subject property’s immediate neighbors at 3109 and 3113 Circle Hill Road both have dwellings that were constructed within the last five years. The dwelling at 3109 Circle Hill has a Colonial Revival architectural style with a prominent front gable and expansive front porch. The dwelling at 3113 Circle Hill has a modern architectural style with mixed façade materials and predominately rectangular building form.

Overall, the block displays a wide range of styles and there is not necessarily a set of cohesive design elements that are common to all the neighboring dwellings. The proposed dwelling would, however, borrow some of the more common features of neighboring dwellings such as articulated massing, varied roof forms, a front-facing gable, an asymmetrical façade, and a front porch.

The applicant’s proposed side-facing gable rooflines also help the proposed dwelling to “read” as a shorter dwelling. The roof form at the front and rear corners of the dwelling are not a full two-stories in height. This design choice would reduce the visual impact of the bulk of the proposed dwelling. Given all of these factors, staff finds that the proposed design would be compatible with the neighborhood.

## ADDITIONAL CONSIDERATIONS

Staff notified the North Ridge Citizens’ Association (NRCA) of the request on March 18, 2025, and followed up on April 11, 2025. NRCA has not provided a statement to staff.

The applicant also worked collaboratively with staff and the City Architect to refine the proposal since the original submission. After meeting with staff, the applicant opted to increase the number and shifted the arrangement of windows, added architectural details, and amended roof pitches to make the proposed dwelling more compatible with the surrounding neighborhood.

Regarding tree preservation, in addition to complying with the City’s Landscape Guidelines at the future administrative review of the grading plan, staff recommends Condition #2 to ensure an existing mature tree be preserved.

### CONCLUSION

Staff found that the proposed dwelling's height, bulk and design would be compatible with the established neighborhood character. Subject to the conditions contained in Section III of this report, staff recommends approval of the SUP request.

### **III. RECOMMENDED CONDITIONS**

Staff recommends **approval** subject to compliance with all applicable codes and ordinances, and the following conditions:

1. The dwelling's bulk, height, and design, including materials, shall be substantially consistent with the application materials submitted April 3 and 9, 2025 to the satisfaction of the Director of Planning and Zoning. (P&Z)
2. A tree protection plan to the satisfaction of the director shall be submitted with the grading plan to ensure the preservation and protection of tree #11. (P&Z)

STAFF: Catherine McDonald, Urban Planner, Department of Planning and Zoning  
Sam Shelby, Principal Planner, Department of Planning and Zoning  
Tony LaColla, AICP, Division Chief, Department of Planning and Zoning

#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F - finding

##### Transportation & Environmental Services:

No comments received.

##### Code Enforcement:

C-1 A building permit and plan review are required prior to the start of construction.

##### Recreation, Parks and Cultural Activities:

No comments.

##### Fire Department:

No comments or concerns.

##### Historic Alexandria (Archaeology):



## APPLICATION

# SPECIAL USE PERMIT

### SPECIAL USE PERMIT #

3111 Circle Hill Road, Alexandria, Virginia

### PROPERTY LOCATION:

23.02 06 05

R8

### TAX MAP REFERENCE:

### ZONE:

**APPLICANT:** Character Holdings 7, LLC, a Virginia limited liability company

Name:

Address:

Section 12-901 (C) Special Use Permit to construct a new single

### PROPOSED USE:

unit dwelling on a developed substandard lot.

- ☒ THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Duncan W. Blair, Attorney Agent

Print Name of Applicant or Agent

Mailing/Street Address

Alexandria, Virginia 22314

City and State

Zip Code

Signature

N/A

Date

2 17 2025

Telephone #

Fax #

Email address



## **Department of Planning & Zoning**

### **Special Use Permit Application Checklist**

#### **Supplemental application for the following uses:**

- ☐ Automobile Oriented
- ☐ Parking Reduction
- ☐ Signs
- ☒ Substandard Lot
- ☐ Lot modifications requested with SUP use

#### **Interior Floor Plan**

- ☐ Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

#### **If Applicable**

- ☐ Plan for outdoor uses

#### **Contextual site image**

- ☒ Show subject site, on-site parking area, surrounding buildings, cross streets





**Department of Planning & Zoning**  
**Supplemental Special Use Permit Application Checklist**  
**New Development or Redevelopment of Substandard Lots**

**Floor Area Ratio Worksheet:**

- ☒ Existing Building
- ☒ Proposed Building

**Contextual Blockface Study:**

- ☒ Threshold heights for each property
- ☒ Front setbacks for each property
- ☒ Building heights for each property
- \*Contact staff to confirm contextual blockface*
- ☒ Photos of comparison buildings on both sides of the block
- ☒ Site plan of immediate area showing comparison buildings and adjacent streets
- ☒ Plat submitted to scale showing existing building(s)
- ☒ Existing trees and trees proposed for removal – include caliper and tree species

**Elevation drawings to scale with dimensions for:**

- ☒ Height of existing building
- ☒ Proposed building design including dimensions for setbacks and heights

**Scaled plans with dimensions for:**

- ☒ Floor plans for each floor of proposed building, including basement and attic
- ☒ Roof truss section

**PROPERTY OWNER'S AUTHORIZATION**

3111 Circle Hill Drive, Alexandria, VA.

As the property owner of \_\_\_\_\_, I hereby

(Property Address)

Section 12-901 (c) Special Use Permit

grant the applicant authorization to apply for the \_\_\_\_\_ use as

(use)

described in this application.

Character Holdings 7, LLC, a Va. limited

Name: liability company

Phone: \_\_\_\_\_

Please Print

Address: \_\_\_\_\_

Email: \_\_\_\_\_

Signature: BY: Duncan W. Blair, Attorney

Date: 2 18 25

- 1.** Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

☒ **Required floor plan and plot/site plan attached.**

☐ **Requesting a waiver. See attached written request.**

- 2.** The applicant is the (check one):

☒ Owner

☐ Contract Purchaser

☐ Lessee or

☐ Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

Character Holdings 7, LLC is a Virginia limited liability company. The sole member of

the limited liability company is Jacob Hamilton \_\_\_\_\_

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <del>S</del> Character Holdings 7, LLC	[REDACTED]	100%
2. See Attached		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 3111 Circle Hill Road, Alex. Va. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Character Holdings 7, LLC	[REDACTED]	100%
2. See attached		
3.		

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. <del>Character Holdings 7, LLC</del>	NONE	
2. Character Companies , Inc.		
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

2 18 25

Duncan W. Blair, Attoreney Agent



Date

Printed Name

Signature

**OWNERSHIP AND DISCLOSURE STATEMENT**

**ADDITIONAL INFORMATION**

The owner and applicant is Character Holdings 7, LLC  
Virginia limited liability company.

Character Companies, Inc., a Virginia Corporation  
Is the sole owner and member of Character Holdings 7, LLC

Jacob Hamilton is the sole owner and member of Character Companies Inc.





## USE CHARACTERISTICS

4. The proposed special use permit request is for *(check one)*:

- ☐ a new use requiring a special use permit,
- ☐ an expansion or change to an existing use without a special use permit,
- ☐ an expansion or change to an existing use with a special use permit,
- ☒ other. Please describe: SUP to construct a new single unit dwelling on a developed substandard lot.

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).

Not Applicable -Single unit dwelling.

B. How many employees, staff and other personnel do you expect?  
Specify time period (i.e., day, hour, or shift).

Not Applicable -Single unit dwelling.

6. Please describe the proposed hours and days of operation of the proposed use:

Not Applicable -Single unit dwelling.

Day:

Hours:

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7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

Not Applicable -Single unit dwelling.

B. How will the noise be controlled? Not Applicable -Single unit dwelling.

- 8.** Describe any potential odors emanating from the proposed use and plans to control them:

Not Applicable -Single unit dwelling.

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- 9.** Please provide information regarding trash and litter generated by the use.

- A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

Not Applicable -Single unit dwelling.

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- B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

Not Applicable -Single unit dwelling.

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- C. How often will trash be collected?

Not Applicable -Single unit dwelling.

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- D. How will you prevent littering on the property, streets and nearby properties?

Not Applicable -Single unit dwelling.

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- 10.** Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

[ ] Yes.

[✓] No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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- 11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

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- 12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?  
Not Applicable -Single unit dwelling.

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## **ALCOHOL SALES**

- 13.** A. Will the proposed use include the sale of beer, wine, or mixed drinks?

☐ Yes ☒ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

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## PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

2 Standard spaces  
           Compact spaces  
           Handicapped accessible spaces.  
           Other.

**Planning and Zoning Staff Only**

Required number of spaces for use per Zoning Ordinance Section 8-200A           

Does the application meet the requirement?

☐ Yes ☐ No

- B. Where is required parking located? (*check one*)

☒ on-site

☐ off-site

If the required parking will be located off-site, where will it be located?

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**PLEASE NOTE:** Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

☐ **Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? Not Applicable -Single unit dwelling.

**Planning and Zoning Staff Only**

Required number of loading spaces for use per Zoning Ordinance Section 8-200           

Does the application meet the requirement?

☐ Yes ☐ No

Not Applicable -Single unit dwelling.

B. Where are off-street loading facilities located? \_\_\_\_\_

C. During what hours of the day do you expect loading/unloading operations to occur? <sup>Z</sup>

Not Applicable -Single unit dwelling.

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

Not Applicable -Single unit dwelling.

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Not Applicable -Single unit dwelling.

## SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? ☐ Yes ☒ No

Do you propose to construct an addition to the building? ☐ Yes ☒ No

How large will the addition be? \_\_\_\_\_ square feet.

18. What will the total area occupied by the proposed use be? 7,474.46 GFA

\_\_\_\_\_ sq. ft. (existing) + \_\_\_\_\_ sq. ft. (addition if any) = \_\_\_\_\_ sq. ft. (total)

19. The proposed use is located in: (check one)

☐ a stand alone building

☒ a house located in a residential zone

☐ a warehouse

☐ a shopping center. Please provide name of the center: \_\_\_\_\_

☐ an office building. Please provide name of the building: \_\_\_\_\_

☐ other. Please describe: \_\_\_\_\_

End of Application





# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations for

### Single and Two-Family Residential Outside Historic Districts

A

#### A. Property Information

A1. 3111 Circle Hill Dr  
Street Address

R-8  
Zone

A2. 14,085.00 x 0.35 = 4,929.75  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

#### B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Attic less than 7***	
Attic		Porches**	
Porches		Balcony/Deck**	
Balcony/Deck		Garage**	
Garage		Other***	
Other***		Other***	

B1. 0.00 Existing Gross Floor Area\* Sq. Ft.

B2. 0.00 Allowable Floor Exclusions\*\* Sq. Ft.

B3. 0.00 Existing Floor Area Minus Exclusions (subtract B2 from B1) Sq. Ft.

Comments for Existing Gross Floor Area

B1. **Total Gross** 0.00 B2. **Total Exclusions** 0.00

#### C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**	
Basement	1,883.73	Basement**	1,883.73
First Floor	1,883.73	Stairways**	196.92
Second Floor	2,121.50	Mechanical**	
Third Floor		Attic less than 7***	312.39
Attic		Porches**	143.50
Porches	143.50	Balcony/Deck**	506.00
Balcony/Deck	506.00	Garage**	
Garage	936.00	Other***	
Other***		Other***	

C1. 7,474.46 Proposed Gross Floor Area\* Sq. Ft.

C2. 3,042.54 Allowable Floor Exclusions\*\* Sq. Ft.

C3. 4,431.92 Proposed Floor Area Minus Exclusions (subtract C2 from C1) Sq. Ft.

C1. **Total Gross** 7,474.46 C2. **Total Exclusions** 3,042.54

#### D. Total Floor Area

D1. 4,431.92 Sq. Ft.  
Total Floor Area (add B3 and C3)

D2. 4,929.75 Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

#### E. Open Space (RA & RB Zones)

E1. Existing Open Space Sq. Ft.

E2. Required Open Space Sq. Ft.

E3. Proposed Open Space Sq. Ft.

#### Notes

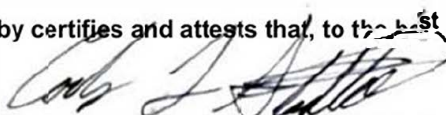
\*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

\*\* Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\* Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

 24

11.February.2025  
Date:

TAX ASSESSMENT MAP NUMBER: 023.02-06-05  
PLAT SUBJECT TO RESTRICTIONS OF RECORD  
INST. #250000702  
TOTAL SITE AREA = 14,085 SF OR 0.3233 AC

CITY OF  
ALEXANDRIA

PO BOX 178  
ALEXANDRIA, VA 22313-1500  
TAX MAP: 014.04-13-36  
ZONE: POS  
USE: CITY  
PARKS/PLAYGROUNDS  
DB. 618, PG. 341

MONTICELLO PARK

N/F CITY OF ALEXANDRIA  
PO BOX 178  
ALEXANDRIA, VA 22313-1500  
TAX MAP: 023.02-06-08  
ZONE: POS  
USE: CITY PARKS/PLAYGROUNDS

RECORD NORTH  
(DB. 255, PG. 138)

LIMITS OF DISTURBANCE

512

N/F 3113 CIRCLE HILL, LLC  
3113 CIRCLE HILL ROAD  
ALEXANDRIA, VA 22305-1607  
TAX MAP: 023.02-06-06  
ZONE: R-8  
USE: RESIDENTIAL  
INSTR #220000050

N/F NICOLE E. MAYER &  
JEFFREY P. SEIBEL  
3109 CIRCLE HILL ROAD  
ALEXANDRIA, VA 22305-1607  
TAX MAP: 023.02-06-04  
ZONE: R-8  
USE: RESIDENTIAL  
INSTR #040032451

#3113  
2-STORY  
BRICK AND FRAME  
DWELLING

#3111  
2-STORY  
BRICK DWELLING  
WITH BASEMENT

#3109  
2-STORY  
BRICK AND FRAME  
DWELLING

15' BRL  
(DB. 255, PG. 138;  
ARLINGTON COUNTY)

BENCHMARK #1  
SAN MH  
TOP=155.23  
INV IN=147.88  
INV OUT=147.76

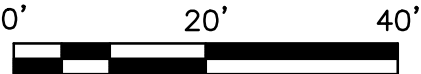
CIRCLE HILL ROAD

295.00' TO PI  
OLD DOMINION  
BOULEVARD

Tree #	Common Name	DBH (Inches)	CRZ (Feet)	Condition Rating %	Radius of Canopy (Feet)	Remove?	Off site or shared	Field Notes
2	Chestnut oak	33.5	33.5	40%	30	X		Dead branches with decay on stem
3	White oak	25	25.0	10%	15	X		Detrimental dieback and pruned branches
11	White oak	30.4	30.4	70%	30	X		Few broken branches, dieback starting
15	American holly	8.2	8.2	70%	10			Crowded canopy
19	Kosa dogwood	7	8.0	90%	15		ROW	
20	Black walnut	6	8.0	90%				
21	American holly	10	10.0	90%			Off	

NOTE: TREE INVENTORY AND TREE ANALYSIS  
CONDUCTED BY NATE GROVES, ISA CERTIFIED  
ARBORIST (MA-7022A).

GRAPHIC SCALE



1" = 20'

DESIGN: TJD	DATE	REVISION
DRAWN: TJD		
SCALE: 1"=20'		
DATE: FEB 2025		
SHEET 1 OF 8		
FILE: 24-227		

EXISTING CONDITIONS PLAT  
PROPERTY LOCATED AT  
3111 CIRCLE HILL RD  
(DEED BOOK 255, PAGE 138)  
CITY OF ALEXANDRIA, VIRGINIA



625 N. WASHINGTON ST  
SUITE 250  
ALEXANDRIA, VA 22314  
703.549.6422  
www.rcfassoc.com

ENGINEERING • LAND SURVEYING • PLANNING

TAX ASSESSMENT MAP NUMBER: 023.02-06-05  
PLAT SUBJECT TO RESTRICTIONS OF RECORD  
INST. #250000702  
TOTAL SITE AREA = 14,085 SF OR 0.3233 AC

CITY OF  
ALEXANDRIA

PO BOX 178  
ALEXANDRIA, VA 22313-1500  
TAX MAP: 014.04-13-36  
ZONE: POS  
USE: CITY  
PARKS/PLAYGROUNDS  
DB. 618, PG. 341

MONTICELLO PARK

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PO BOX 178  
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TAX MAP: 023.02-06-08  
ZONE: POS  
USE: CITY PARKS/PLAYGROUNDS

RECORD NORTH  
(DB. 255, PG. 138)

LIMITS OF DISTURBANCE

512

N/F 3113 CIRCLE HILL, LLC  
3113 CIRCLE HILL ROAD  
ALEXANDRIA, VA 22305-1607  
TAX MAP: 023.02-06-06  
ZONE: R-8  
USE: RESIDENTIAL  
INSTR #220000050

PROP LANDING  
WITH STEPS

#3113  
2-STORY  
BRICK AND FRAME  
DWELLING

PROP RETAINING  
WALL HT=5.0'

15' BRL  
(DB. 255, PG. 138;  
ARLINGTON COUNTY)

BENCHMARK #1  
SAN MH  
TOP=155.23  
INV IN=147.88  
INV OUT=147.76

CIRCLE HILL ROAD  
50' R/W

13  
14,085 SQ. FT.  
(COMPUTED)

PROP  
2-STORY  
GARAGE  
=14450

UNCOVERED  
DECK  
485+

#3111  
PROP 2-STORY  
DWELLING  
FF=15900  
BF=14900

2ND FLR  
ABOVE  
PROP PORCH

PROP WALK

PROP RETAINING WALL  
MAX HT=7.5'

PROP PORCH WITH  
2ND FLOOR ABOVE

N/F NICOLE E. MAYER &  
JEFFREY P. SEIBEL  
3109 CIRCLE HILL ROAD  
ALEXANDRIA, VA 22305-1607  
TAX MAP: 023.02-06-04  
ZONE: R-8  
USE: RESIDENTIAL  
INSTR #040032451

#3109  
2-STORY  
BRICK AND FRAME  
DWELLING

GRAPHIC SCALE



1" = 20'

DESIGN: TJD  
DRAWN: TJD  
SCALE: 1"=20'  
DATE: FEB 2025  
SHEET 2 OF 8  
FILE: 24-227

DATE	REVISION

SPECIAL USE PERMIT PLAT  
PROPERTY LOCATED AT  
3111 CIRCLE HILL RD  
(DEED BOOK 255, PAGE 138)  
CITY OF ALEXANDRIA, VIRGINIA

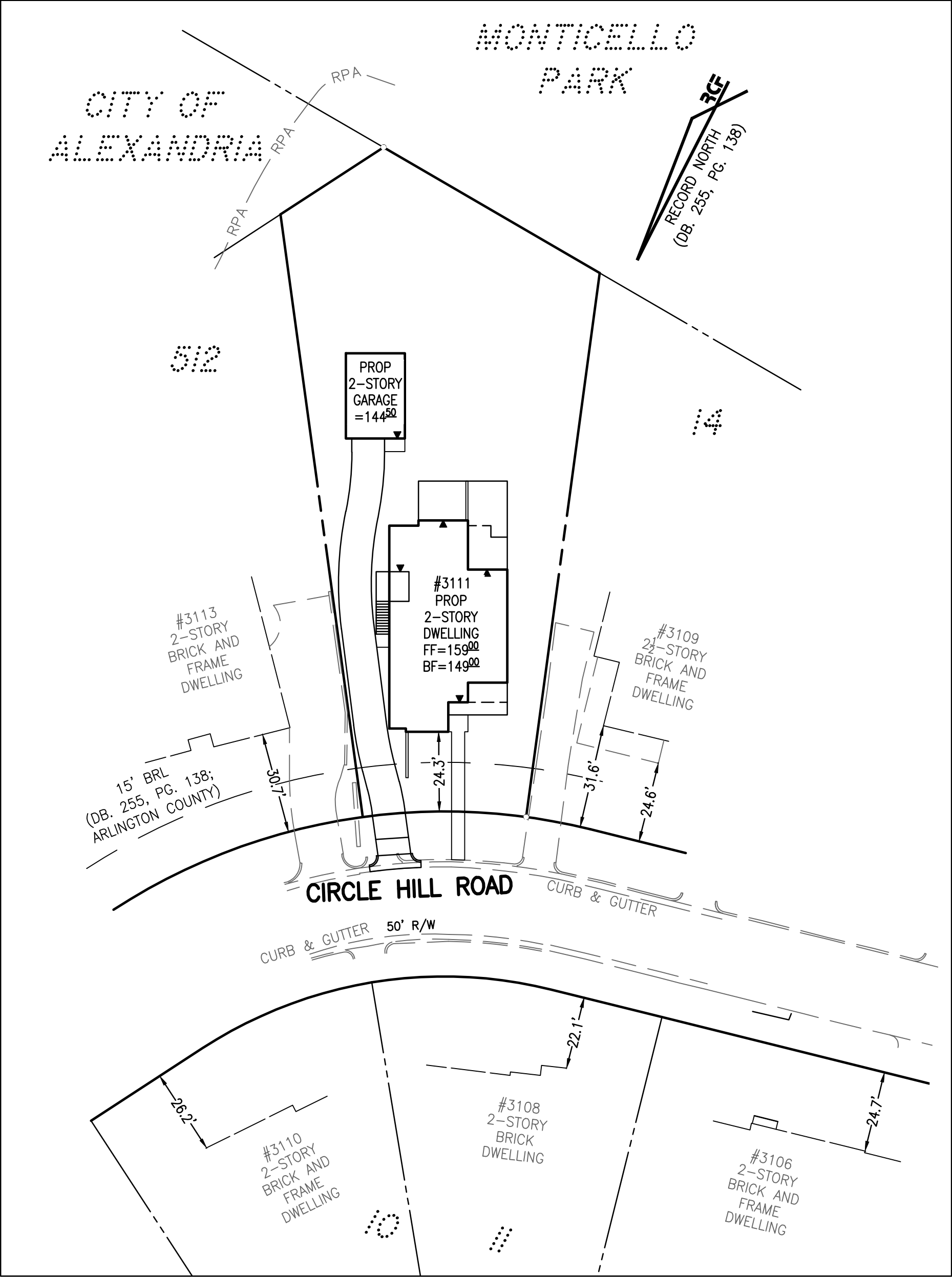


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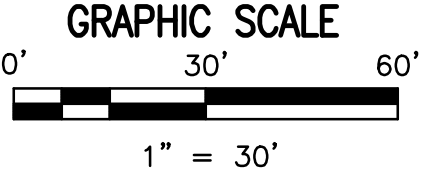
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TAX ASSESSMENT MAP NUMBER: 023.02-06-05  
PLAT SUBJECT TO RESTRICTIONS OF RECORD  
INST. #250000702  
TOTAL SITE AREA = 14,085 SF OR 0.3233 AC



**BUILDING COMPARISON EXHIBIT**  
SCALE: 1"=30'



DESIGN: TJD	DATE	REVISION
DRAWN: TJD		
SCALE: 1"=30'		
DATE: FEB 2025		
SHEET 3 OF 8		
FILE: 24-227		

**ZONING DATA**  
PROPERTY LOCATED AT  
**3111 CIRCLE HILL RD**  
(DEED BOOK 255, PAGE 138)  
**CITY OF ALEXANDRIA, VIRGINIA**



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TAX ASSESSMENT MAP NUMBER: 023.02-06-05  
PLAT SUBJECT TO RESTRICTIONS OF RECORD  
INST. #250000702  
TOTAL SITE AREA = 14,085 SF OR 0.3233 AC

BLOCK FACE STUDY

Front Setback and Threshold Data									
#3111 CIRCLE HILL ROAD (RCF #24-227)									
#3111 Circle Hill Road (Existing setback from property line = 31.5' , Existing Threshold Height = 3.5')									
Setback Data									
Setback From Property Line									
3113 CIRCLE HILL ROAD									
3109 CIRCLE HILL ROAD									
3106 CIRCLE HILL ROAD									
3108 CIRCLE HILL ROAD									
3110 CIRCLE HILL ROAD									
FRONT SETBACK IS BETWEEN 22.1' & 31.6'									
Threshold Data									
Address #									
3113 CIRCLE HILL ROAD									
3109 CIRCLE HILL ROAD									
3106 CIRCLE HILL ROAD									
3108 CIRCLE HILL ROAD									
3110 CIRCLE HILL ROAD									
MAXIMUM THRESHOLD HEIGHT 4.4'									

DESIGN: TJD	DATE	REVISION
DRAWN: TJD		
SCALE: NO SCALE		
DATE: FEB 2025		
SHEET 4 OF 8		
FILE: 24-227		

ZONING DATA  
PROPERTY LOCATED AT  
3111 CIRCLE HILL RD  
(DEED BOOK 255, PAGE 138)  
CITY OF ALEXANDRIA, VIRGINIA

RCF

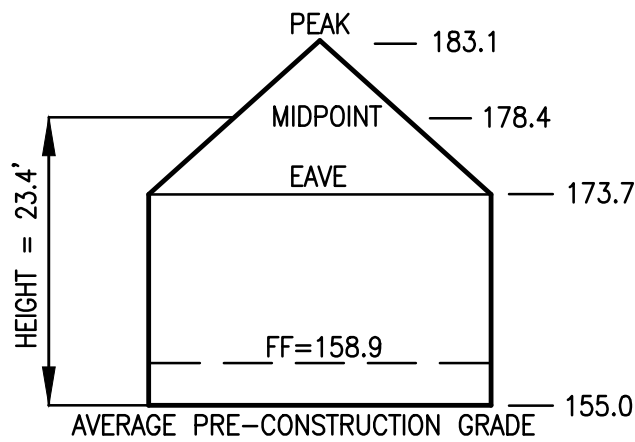
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TAX ASSESSMENT MAP NUMBER: 023.02-06-05  
PLAT SUBJECT TO RESTRICTIONS OF RECORD  
INST. #250000702  
TOTAL SITE AREA = 14,085 SF OR 0.3233 AC

## EXISTING DWELLING HEIGHT CALCULATION



EXISTING DWELLING HEIGHT CALCULATION				
AVERAGE EX. GRADE	ROOF EAVE ELEVATIONS	PEAK ROOF (HIGHEST RIDGE) ELEVATION	ROOF MIDPOINT (ROOF HEIGHT) ELEVATION	EXISTING DWELLING HEIGHT
155.0	173.7	183.1	178.4	23.4

# BLOCK FACE STUDY

[illegible]

DESIGN: TJD	DATE	REVISION
DRAWN: TJD		
SCALE: NO SCALE		
DATE: FEB 2025		
SHEET 5 OF 8		
FILE: 24-227		

**ZONING DATA**  
PROPERTY LOCATED AT  
**3111 CIRCLE HILL RD**  
(DEED BOOK 255, PAGE 138)  
**CITY OF ALEXANDRIA, VIRGINIA**



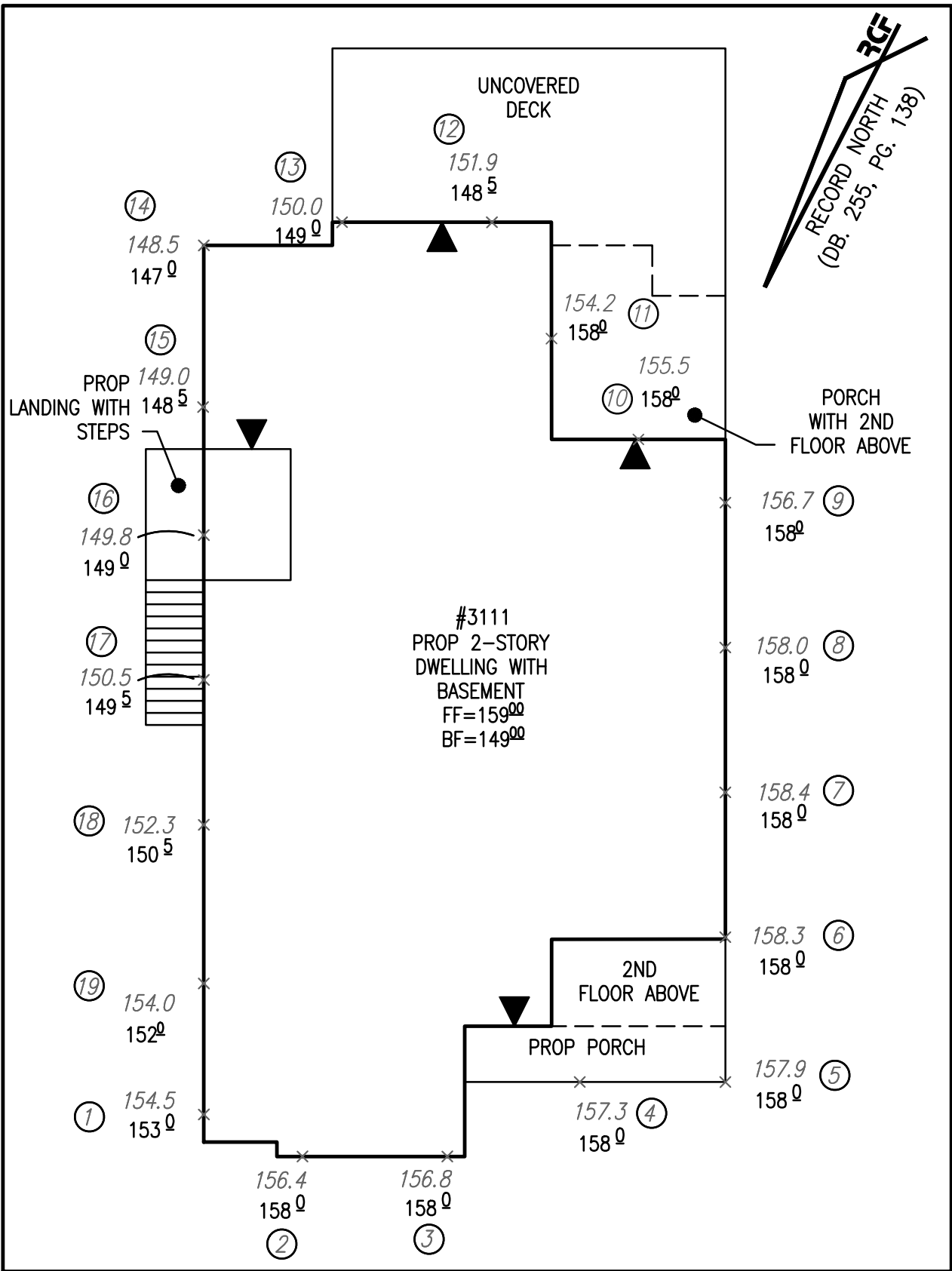
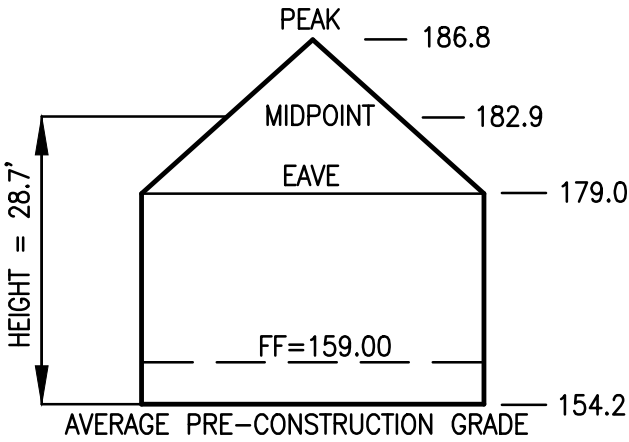
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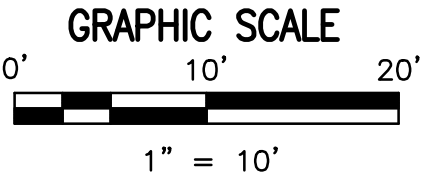
TAX ASSESSMENT MAP NUMBER: 023.02-06-05  
PLAT SUBJECT TO RESTRICTIONS OF RECORD  
INST. #250000702  
TOTAL SITE AREA = 14,085 SF OR 0.3233 AC

PROPOSED DWELLING  
HEIGHT CALCULATION

SPOTS	EXISTING - ELEVATION	PROPOSED- ELEVATION
1	154.5	153.0
2	156.4	158.0
3	156.8	158.0
4	157.3	158.0
5	157.9	158.0
6	158.3	158.0
7	158.4	158.0
8	158.0	158.0
9	156.7	158.0
10	155.5	158.0
11	154.2	158.0
12	151.9	148.5
13	150.0	149.0
14	148.5	147.0
15	149.0	148.5
16	149.8	149.0
17	150.5	149.5
18	152.3	150.5
19	154.0	152.0
SUM:	2930.0	2927.0
AVERAGE:	154.2	154.1



AVERAGE GRADE & DWELLING DETAIL  
(SCALE: 1" = 10')



DWELLING HEIGHT CALCULATION				
AVERAGE EX. GRADE	ROOF EAVE ELEVATIONS	PEAK ROOF (HIGHEST RIDGE) ELEVATION	ROOF MIDPOINT (ROOF HEIGHT) ELEVATION	PROPOSED DWELLING HEIGHT
154.2	179.0	186.8	182.9	28.7

SETBACK REQUIREMENTS FOR DWELLING

BUILDING SIDE	AVERAGE GRADE	BUILDING HEIGHT	ZONING SETBACK	SETBACK REQUIRED	SETBACK PROVIDED
FRONT	154.2	28.7'	22.1'-31.6'	22.1'-31.6'	24.3'
REAR	154.2	28.7'	1:1, MIN. 8'	28.7'	85.5'
WEST	154.2	24.2'	1:2, MIN. 8'	12.1	13.5'
EAST	154.2	24.2'	1:2, MIN. 8'	12.1	15.9'

Threshold	
AEG along front	156.58
FF Elev	159.00
Threshold (prov.)	2.42
Threshold (max)	4.4

BASEMENT EXCLUSION COMPUTATION

FIRST FLOOR ELEVATION=159.0

BOTTOM OF FIRST FLOOR CONSTRUCTION=158.0  
- AVERAGE FINISHED GRADE=154.1  
DIFFERENCE=3.9'\*

\*PER SECTION 2-120 OF THE CITY OF ALEXANDRIA ZONING ORDINANCE, THE BASEMENT SHALL NOT BE COUNTED AS FLOOR AREA WHERE THE AVERAGE FINISHED GRADE IS FEWER THAN 4.0' BELOW THE BOTTOM OF FIRST FLOOR CONSTRUCTION.

DESIGN: TJD	DATE	REVISION
DRAWN: TJD		
SCALE: 1"=10'		
DATE: FEB 2025		
SHEET 6 OF 8		
FILE: 24-227		

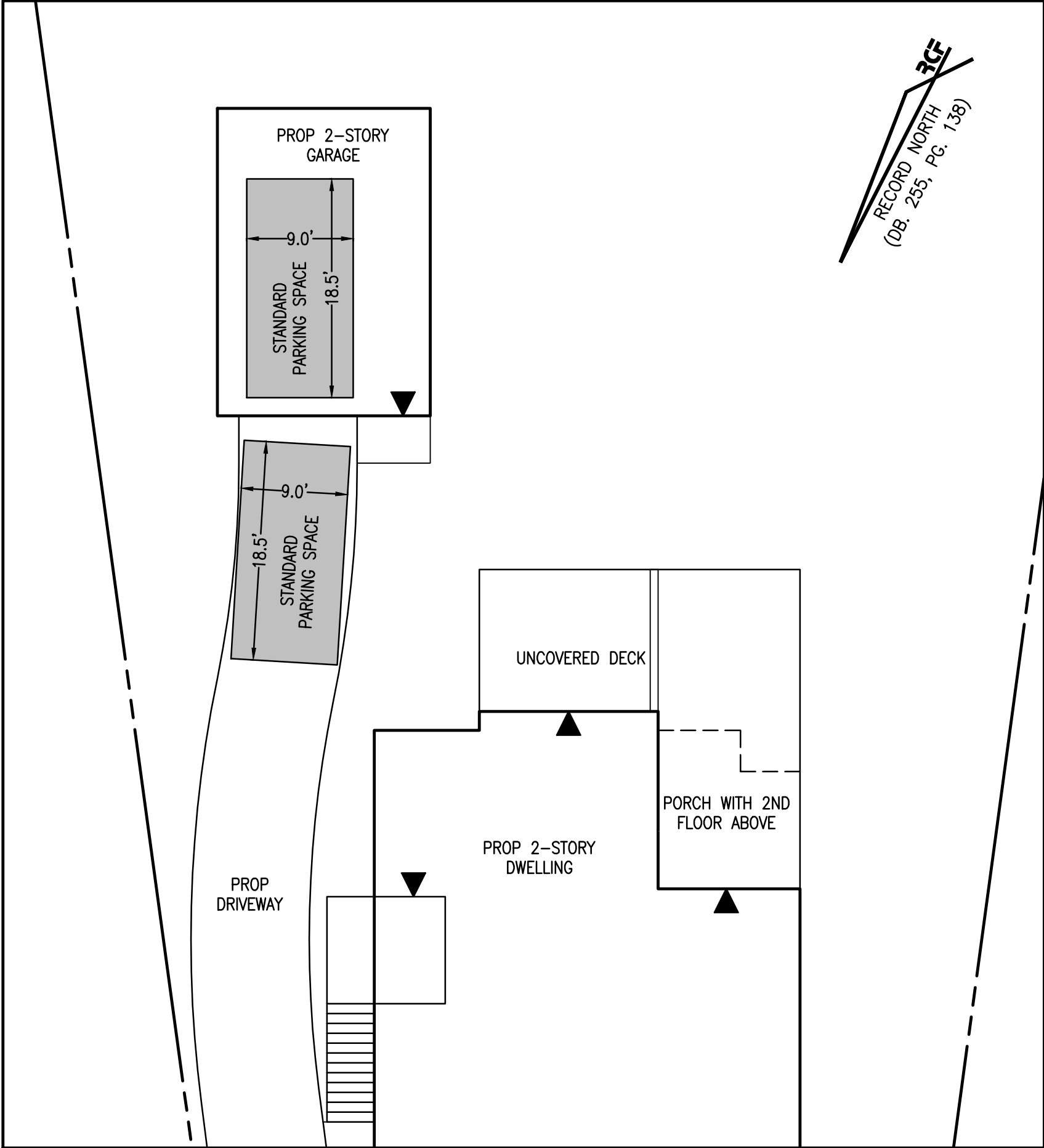
ZONING DATA  
PROPERTY LOCATED AT  
3111 CIRCLE HILL RD  
(DEED BOOK 255, PAGE 138)  
CITY OF ALEXANDRIA, VIRGINIA



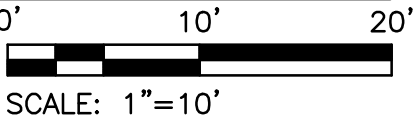
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TAX ASSESSMENT MAP NUMBER: 023.02-06-05  
PLAT SUBJECT TO RESTRICTIONS OF RECORD  
INST. #250000702  
TOTAL SITE AREA = 14,085 SF OR 0.3233 AC



PARKING REQUIREMENT DETAIL  
(SCALE: 1" = 10')



DESIGN: TJD	DATE	REVISION
DRAWN: TJD		
SCALE: 1"=10'		
DATE: FEB 2025		
SHEET 7 OF 8		
FILE: 24-227		

ZONING DATA

PROPERTY LOCATED AT

3111 CIRCLE HILL RD

(DEED BOOK 255, PAGE 138)

CITY OF ALEXANDRIA, VIRGINIA

RCF

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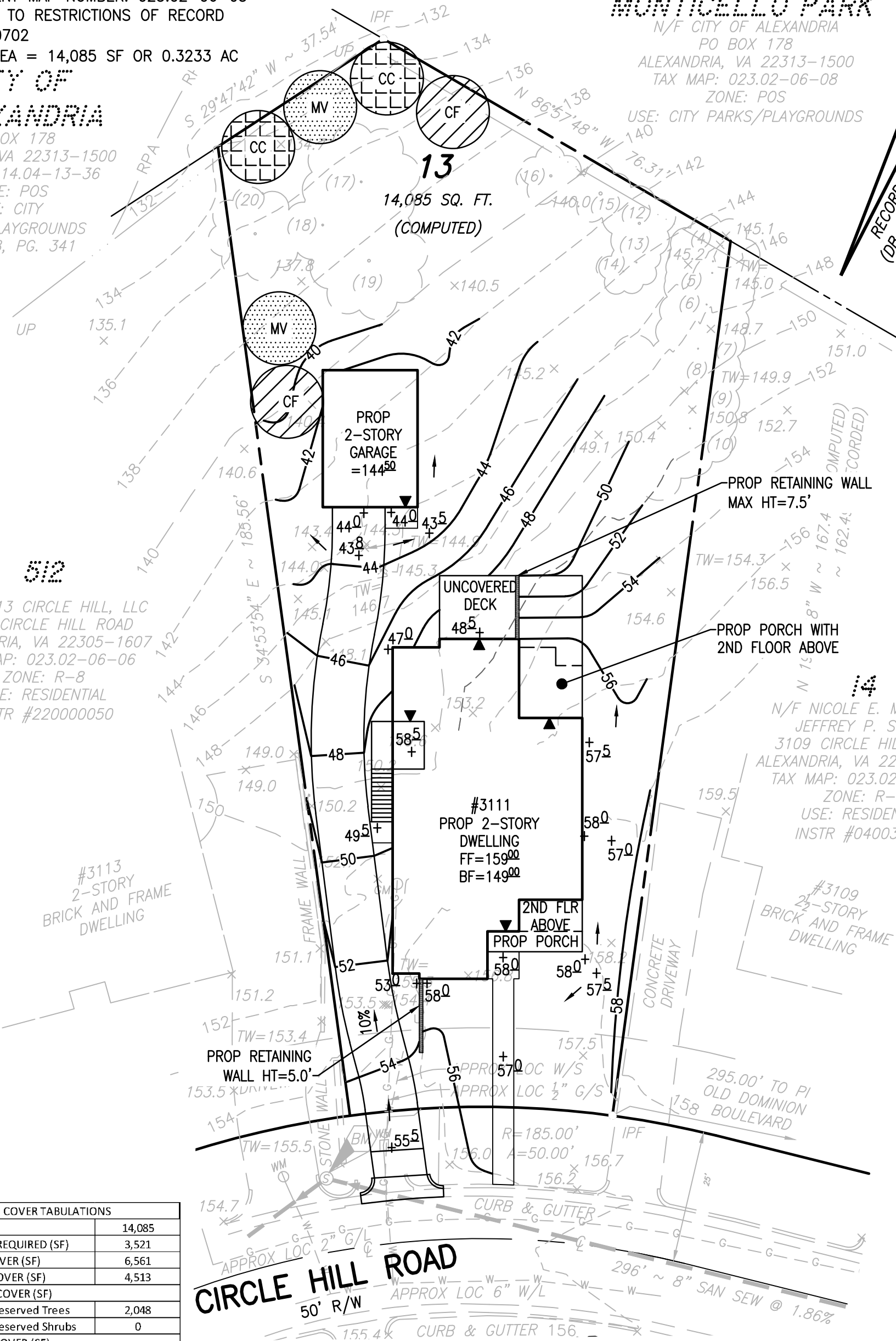
TAX ASSESSMENT MAP NUMBER: 023.02-06-05  
PLAT SUBJECT TO RESTRICTIONS OF RECORD  
INST. #250000702  
TOTAL SITE AREA = 14,085 SF OR 0.3233 AC

**MONTICELLO PARK**  
N/F CITY OF ALEXANDRIA  
PO BOX 178  
ALEXANDRIA, VA 22313-1500  
TAX MAP: 023.02-06-08  
ZONE: POS  
USE: CITY PARKS/PLAYGROUNDS

**CITY OF ALEXANDRIA**

PO BOX 178  
ALEXANDRIA, VA 22313-1500  
TAX MAP: 014.04-13-36  
ZONE: POS  
USE: CITY PARKS/PLAYGROUNDS  
DB. 618, PG. 341

**RCF**  
RECORD NORTH  
(DB. 255, PG. 138)



CROWN COVER TABULATIONS	
TOTAL SITE AREA (SF)	14,085
25% CROWN COVER REQUIRED (SF)	3,521
EXISTING CROWN COVER (SF)	6,561
REMOVED CROWN COVER (SF)	4,513
PRESERVED CROWN COVER (SF)	
Crown Cover from Preserved Trees	2,048
Crown Cover from Preserved Shrubs	0
PROPOSED CROWN COVER (SF)	
Crown Cover from Proposed Trees	1,500
Crown Cover from Proposed Shrubs	0
TOTAL CROWN COVER PROVIDED (%)	25.2%
TOTAL CROWN COVER PROVIDED (SF)	3,548

	PLAN KEY	QUANTITY	GENUS	SPECIES	COMMON NAME	CALIPER/HEIGHT	CCA PER TREE (SF)	TOTAL CROWN COVER (SF)	LOCAL/ REGIONAL (#)	EASTERN U.S. (#)	TOTAL
STANDARD TREES	MV	2	Magnolia	Virginiana	Sweetbay magnolia	2"-3" cal./12-14 ft. ht.	250	500	2	2	2
	CC	2	Crataegus	Calpodendron	Pear hawthorn	2"-3" cal./12-14 ft. ht.	250	500	2	2	2
	CF	2	Cornus	Florida	Flowering dogwood	2"-3" cal./12-14 ft. ht.	250	500	2	2	2
	TOTAL	6					STANDARD TREE CCA:	1,500	6	6	6
									100.0%	100.0%	100.0%

DESIGN: TJD	DATE	REVISION
DRAWN: TJD		
SCALE: 1"=20'		
DATE: FEB 2025		
SHEET 8 OF 8		
FILE: 24-227		

LANDSCAPE PLAN  
PROPERTY LOCATED AT  
**3111 CIRCLE HILL RD**  
(DEED BOOK 255, PAGE 138)  
CITY OF ALEXANDRIA, VIRGINIA



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SUITE 250  
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3111 Circle Hill Dr  
Alexandria, VA  
22305

stadlerdesign  
architecture | interiors

2000 Duke St | 3rd Floor  
Alexandria, VA 22314

3111 CIRCLE  
HILL DR

ALEXANDRIA, VA  
22305

Consultants:

Issued For:

No.: Description:

Date:

1 SUP-SUBMISSION

02/25/2025

Key Plan:

Seal & Signature:

Sheet Name:

COVER SHEET

Project No.:

19001

Sheet No.:

G-000

Scale:

1/2" = 1'-0"



SHEET INDEX

GENERAL SHEET INDEX		
NUMBER	NAME	ISSUANCE
G-000	COVER SHEET	SUP SUBMISSION
G-001	PROJECT INFORMATION	SUP SUBMISSION
G-100	SITE PLAN	SUP SUBMISSION
G-101	BUILDING AREAS	SUP SUBMISSION

ARCHITECTURAL SHEET INDEX		
NUMBER	NAME	ISSUANCE
A-502	BUILDING SECTION	
A-100	BASEMENT	SUP SUBMISSION
A-101	FIRST FLOOR	SUP SUBMISSION
A-102	SECOND FLOOR	SUP SUBMISSION
A-103	ROOF	SUP SUBMISSION
A-110	GARAGE	SUP SUBMISSION
A-500	BUILDING SECTION	
A-503	BUILDING SECTION	
A-400	BUILDING ELEVATIONS	SUP SUBMISSION
A-401	BUILDING ELEVATIONS	SUP SUBMISSION
A-410	GARAGE ELEVATIONS	SUP SUBMISSION

GENERAL NOTES

1. General Conditions of the Contract (AIA Document A-201) apply to this project.
2. All work shall comply with State and local Building Codes, fire department regulations, utility company standards, and the best trade practices.
3. The General Contractor shall arrange all inspections and tests as specified or required by the building department and shall pay all costs and fees for same. The Contractor shall secure all building permits and upon completion of the project (prior to final payment) deliver to the Owner a Certificate of Occupancy or Use from the building department.
4. All plumbing and electrical work shall be performed by State licensed contractors. Contractors shall submit all required permits, certificates, and sign-offs to Owner and Architect for their records.
5. The General Contractor shall verify all dimensions, be familiar with the existing conditions, and bring any discrepancies to the attention of the Architect prior to submission of construction proposal and before beginning work. The Drawings reflect conditions reasonably inferred from the existing visible conditions but cannot guaranteed by the Architect. Drawings may be scaled for estimating purposes and for general reference only. For all other dimensions or locations consult the Architect or refer to dimensions on Drawings. Verify all dimensions in the field.
6. The General Contractor shall lay out all work and be responsible for all dimensions and conditions for trades such as electrical, plumbing, etc.
7. The General Contractor shall provide and maintain access to the premises at all times.
8. The Construction Manager shall make the premises secure from the elements and trespass on a daily basis.
9. The General Contractor shall keep the construction site free and clear of all debris and keep out all unauthorized persons. Upon completion of Work, the entire construction area is to be thoroughly cleaned and prepared for occupancy by Owner. All materials and debris resulting from the Contractor's work shall be removed from the site and disposed of properly. Care shall be taken during construction that no debris or materials are deposited in any Right of Way area.
10. The General Contractor shall be responsible for protecting all existing and new conditions and materials on the site. Any damage caused by or during the execution of the Work is the Contractor's responsibility and shall be repaired to the Owner's satisfaction at the Contractor's expense.
11. No cutting or damage to building structural components will be allowed without written authorization from the Architect.
12. All utilities shall be connected to provide gas, electric, and water to all equipment whether said equipment is in Contract or not. Equipment shall be guaranteed to function properly upon completion.
13. Manufacturer's standard specifications and materials approved for project use are hereby made part of these Notes with same force and effect as if written out in full herein. All appliances, fixtures, equipment, hardware, etc. shall be installed in accordance with Manufacturer's specifications and procedures.
14. Written words take precedence over drawn lines. Large-scale details and plans take precedence over smaller details and plans. Should a conflict arrive between the Specifications and Drawings, the requirements deemed most stringent shall be used.
15. Minor details not usually shown or specified but necessary for proper and acceptable construction, installation, or operation of any part of the Work as determined by the Architect shall be included in the Work as if it were specified or indicated on the Drawings.
16. All architectural drawings and construction notes are complimentary. What is indicated and called for by one shall be binding as though called for by all.
17. No deviation from the Drawings or Specifications or intent of same shall be made without the Architect's written authorization.
18. All Work shall be guaranteed for one year after final approval. The General Contractor shall sign the written guarantee as provided by the Owner. The guarantee shall cover all general and subcontractor work. All defects discovered during this period shall be repaired to the Owner's satisfaction at the Contractor's expense.
19. All dimensions are to face of stud or centerline of structure unless otherwise noted (UON).
20. Door and window details are indicated on the Door and Window Schedules.
21. Door and window dimensions are to centerlines of units UNO.

LEGEND

- Wall Type (see wall type schedule)
- Door Type (see door schedule)
- Window Type (see window schedule)
- Building Section
- Wall Section
- Detail Number
- Building Elevation
- Interior Elevation
- Elevation Mark
- Room Name / Number
- Column Line
- Centerline
- Revision Tag

A.C.I.	AMERICAN CONCRETE INSTITUTE
BLDG.	BUILDING
CONC.	CONCRETE
C.J.	CONTROL JOINT
COL.	COLUMN
DET.	DETAIL
DIA.	DIAMETER
DN.	DOWN
EL/ELEV.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
FIN.	FINISH
FLR.	FLOOR
GALV.	GALVANIZED
GYP.	GYP SUM
I.D.	INSIDE DIAMETER
JT.	JOINT
MECH.	MECHANICAL
MIN.	MINIMUM
N.T.S.	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
OPG.	OPENING
O.D.	OUTSIDE DIAMETER
U.N.O.	UNLESS NOTED OTHERWISE
REF.	REFERENCE
R.	RISER
R.O.	ROUGH OPENING
RM.	ROOM
S/STL.	STAINLESS STEEL
STRUCT.	STRUCTURAL
SPEC.	SPECIFICATIONS
T.O.	TOP OF (...)
T.O.CONC.	TOP OF CONCRETE
.	TOP OF FRAMING
T.O.F.	TOP OF STEEL
T.O.STL.	TOP OF WALL
T.O.W.	TREAD
T.	TYPICAL
TYP.	AT
@	AND
+	BOARD
BD.	ABOVE FINISHED FLOOR
A.F.F.	UNLESS OTHERWISE NOTED
U.N.O.	VERIFY IN FIELD
V.I.F.	

BUILDING CODE

BUILDING CODE REFERENCES

2021 VIRGINIA RESIDENTIAL CODE

(BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE)

CODE#

1. BUILDING/DWELLING CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

2. STRUCTURAL CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

3. PLUMBING & GAS CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

4. MECHANICAL CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

5. ELECTRICAL CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

6. ENERGY CODE: VIRGINIA RESIDENTIAL CODE (VRC) 2021

STRUCTURAL

LIVE LOADS

DEAD LOADS

ROOF TRUSSES: 30PSF

10PSF

RAFTERS: 30PSF

12PSF

ATTIC FLOORS: 30PSF

12PSF

FLOORS: 40PSF

12PSF

GARAGE FLOORS: 50PSF

50PSF

DECKS: 40PSF

10PSF

BALCONIES: 60PSF

10PSF

STAIRS: 40PSF

20PSF

GROUND SNOW LOAD: 30LBS

DESIGN WIND SPEED: 115MPH (ULTIMATE)

SEISMIC DESIGN CATEGORY: B

FROST LINE: 24"

SOIL BEARING PRESSURE: 1500PSF

ENVIRONMENTAL

DECAY PROT REQUIRED: SLIGHT TO MODERATE

TERMITE PROT REQUIRED: MODERATE TO HEAVY

CLIMATE ZONE: 4-NON MARINE

ENERGY CODE: 2018 IECC CODE REQUIRED MINIMUMS

WINDOWS: U-VALUE: 0.32

SKYLIGHTS: U-VALUE: 0.55

CEILING: R49

WALLS: R15 (CAVITY)

FLOOR: R19

CRAWLSPACE: R10 (CONTINUOUS)

SLAB: R10 (CONTINUOUS)

ZONING INFORMATION

LEGAL DESCRIPTION	LOT 13 BLK 6 SEC 1 BEVERLY HILLS		
ZONING	R-8		
YEAR BUILT	NEW		
HISTORIC DESIGNATION	NO		
LOT AREA	EXISTING 14,085SF	PROPOSED	ALLOWED
NUMBER OF STORIES	N/A	2.0	2.0
BUILDING HEIGHT	N/A	27'9"	30'0"
BUILT AREA	N/A	4419.96SF	4929.75SF
EAR	N/A	0.31	0.35

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1	SUP SUBMISSION	02/25/2025

Key Plan:

Seal & Signature:

Sheet Name:

PROJECT INFORMATION

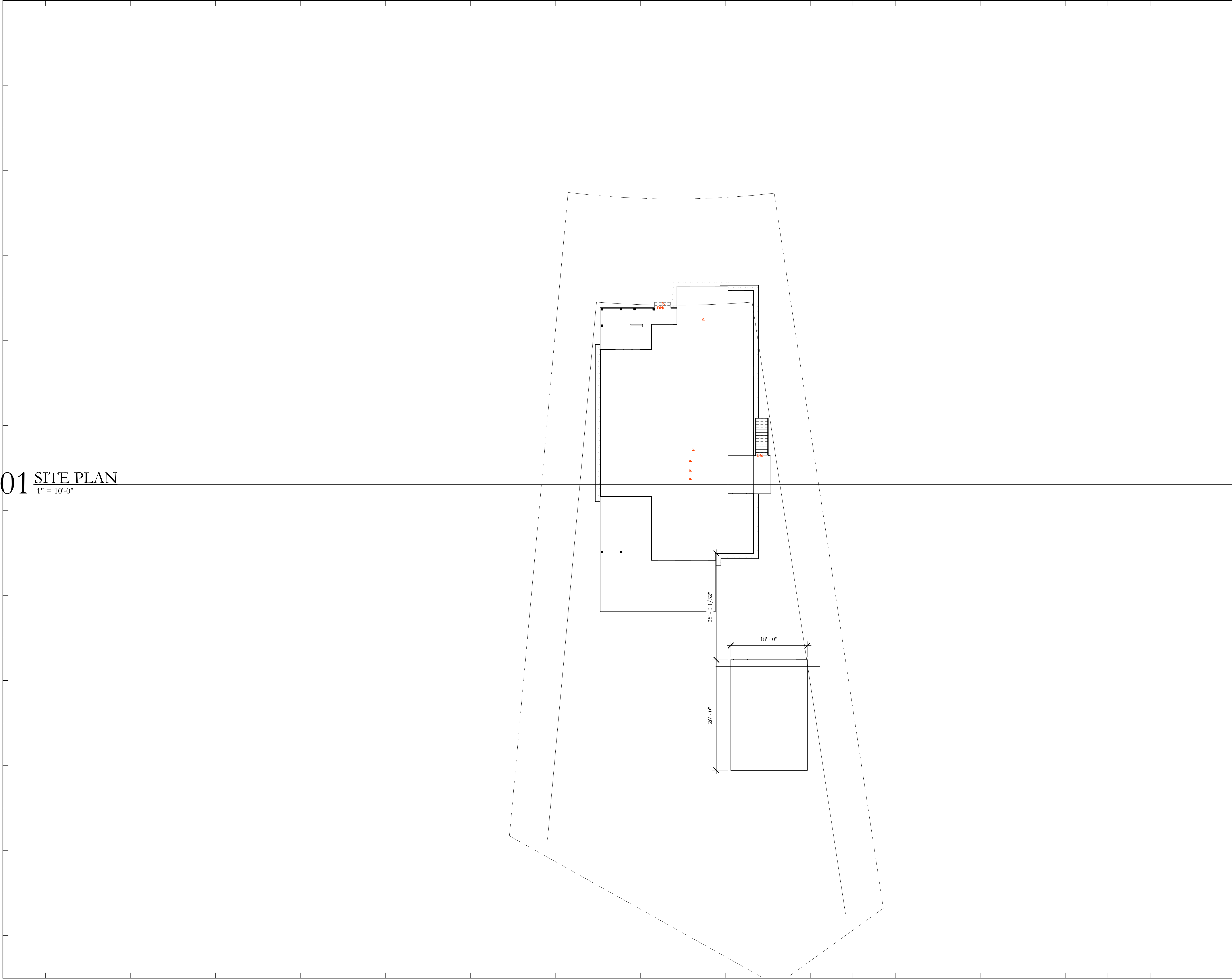
Project No.: 19001

Sheet No.:

G-001

Scale:

1/4" = 1'-0"



01 SITE PLAN  
1" = 10'-0"

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Key Plan:

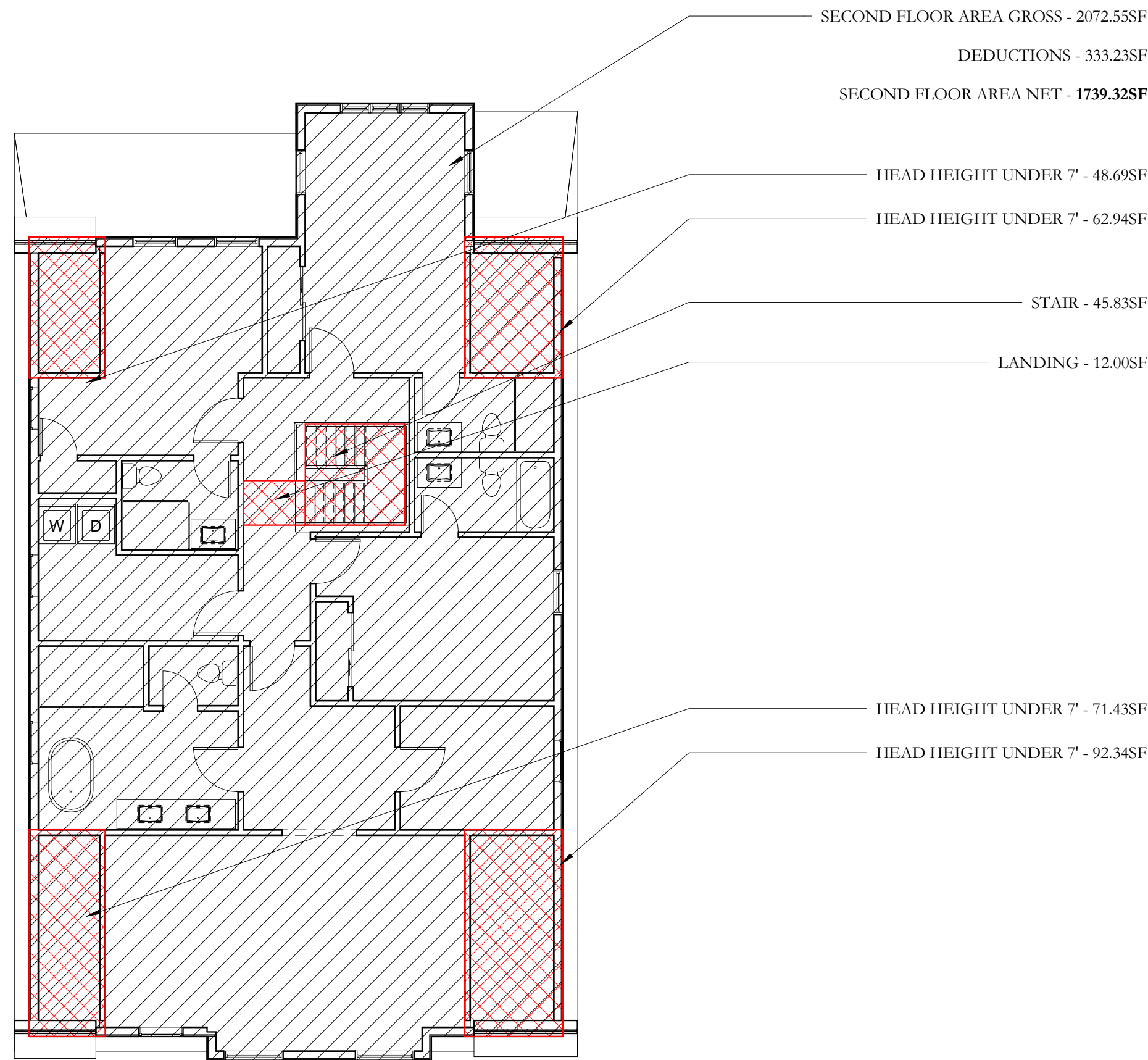
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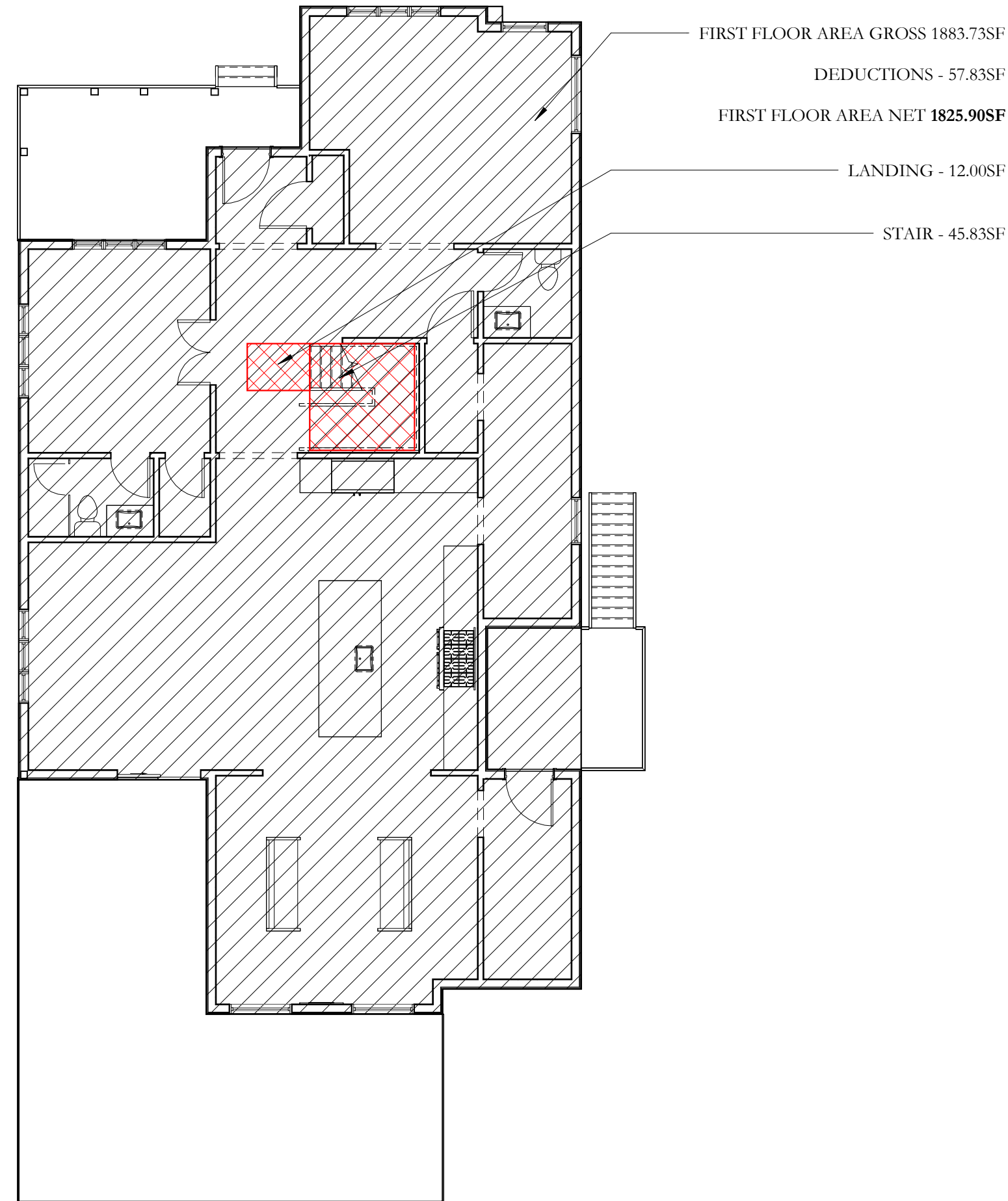
SITE PLAN

Project No.: 19001	Sheet No.:  G-100
Scale: 1" = 10'-0"	

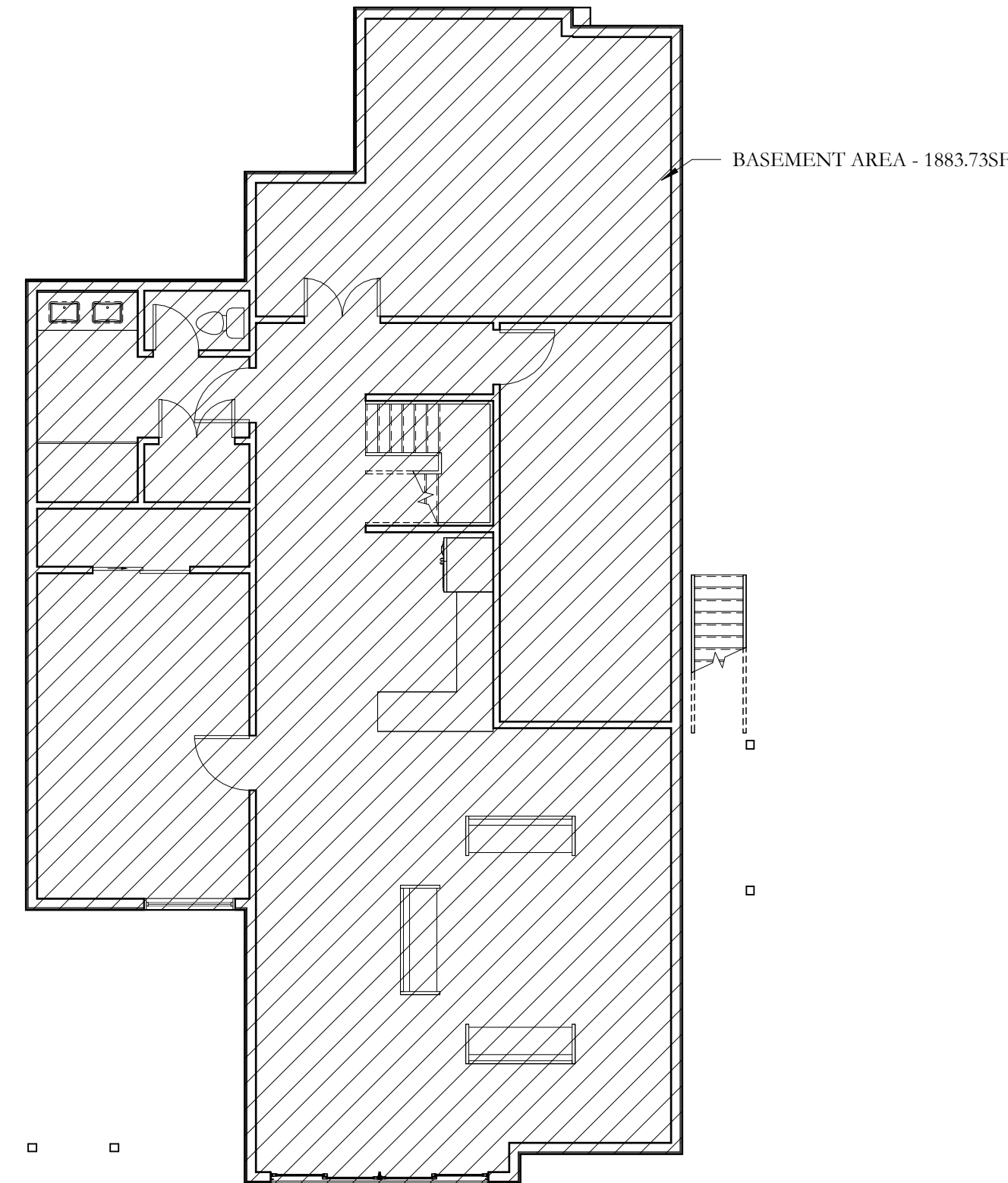




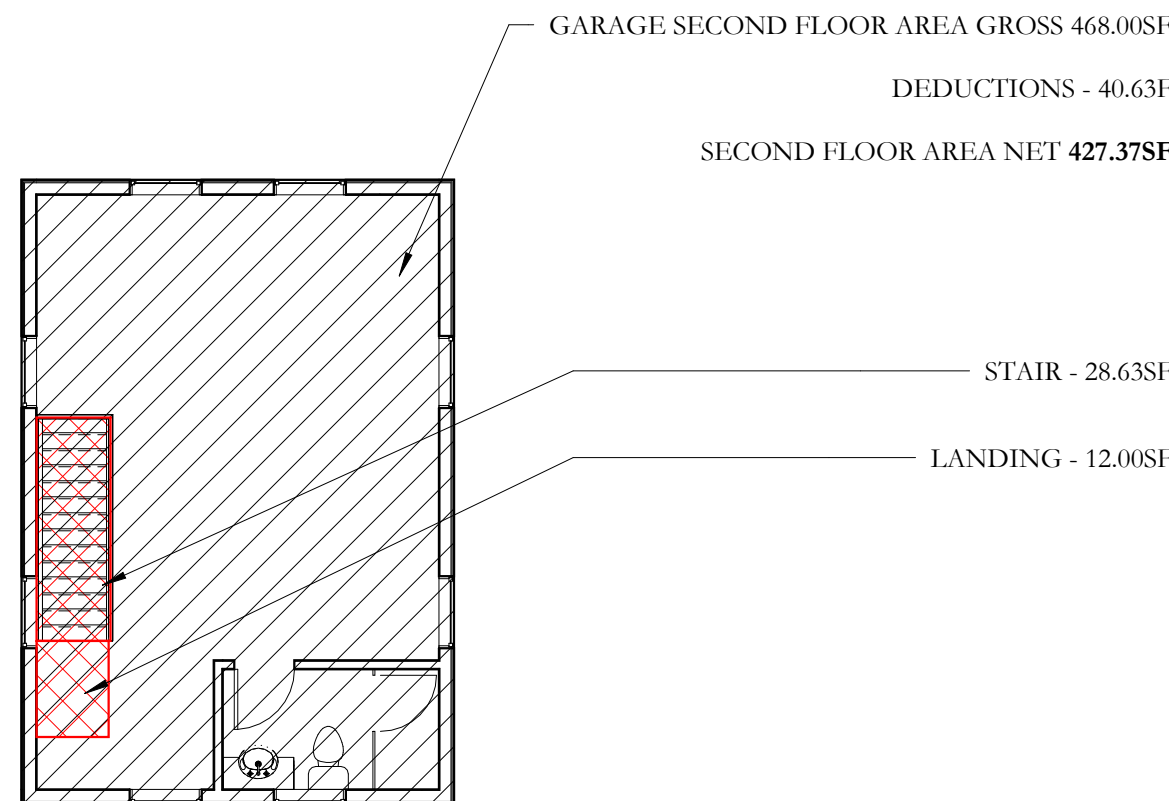
05 SECOND FLOOR AREAS  
1/8" = 1'-0"



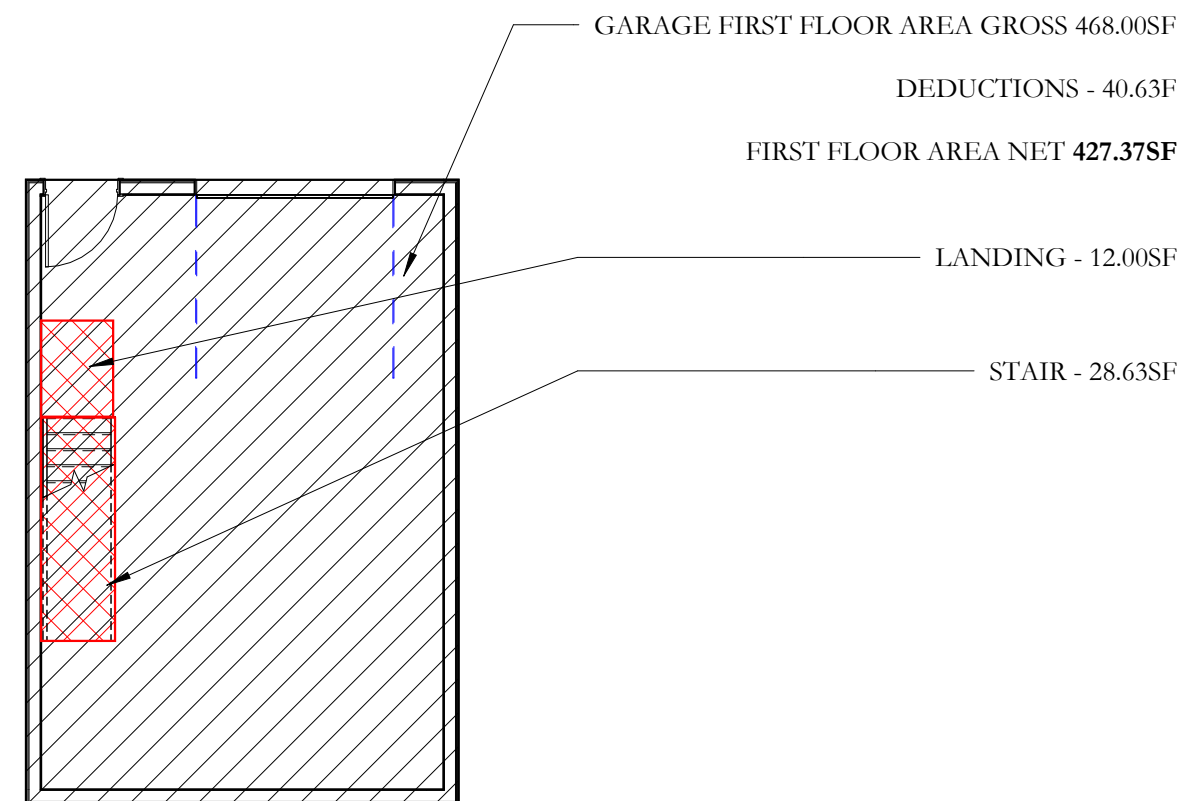
04 FIRST FLOOR AREAS  
1/8" = 1'-0"



03 BASEMENT AREAS  
1/8" = 1'-0"



02 GARAGE SECOND FLOOR AREAS  
1/8" = 1'-0"



01 GARAGE FIRST FLOOR AREAS  
1/8" = 1'-0"



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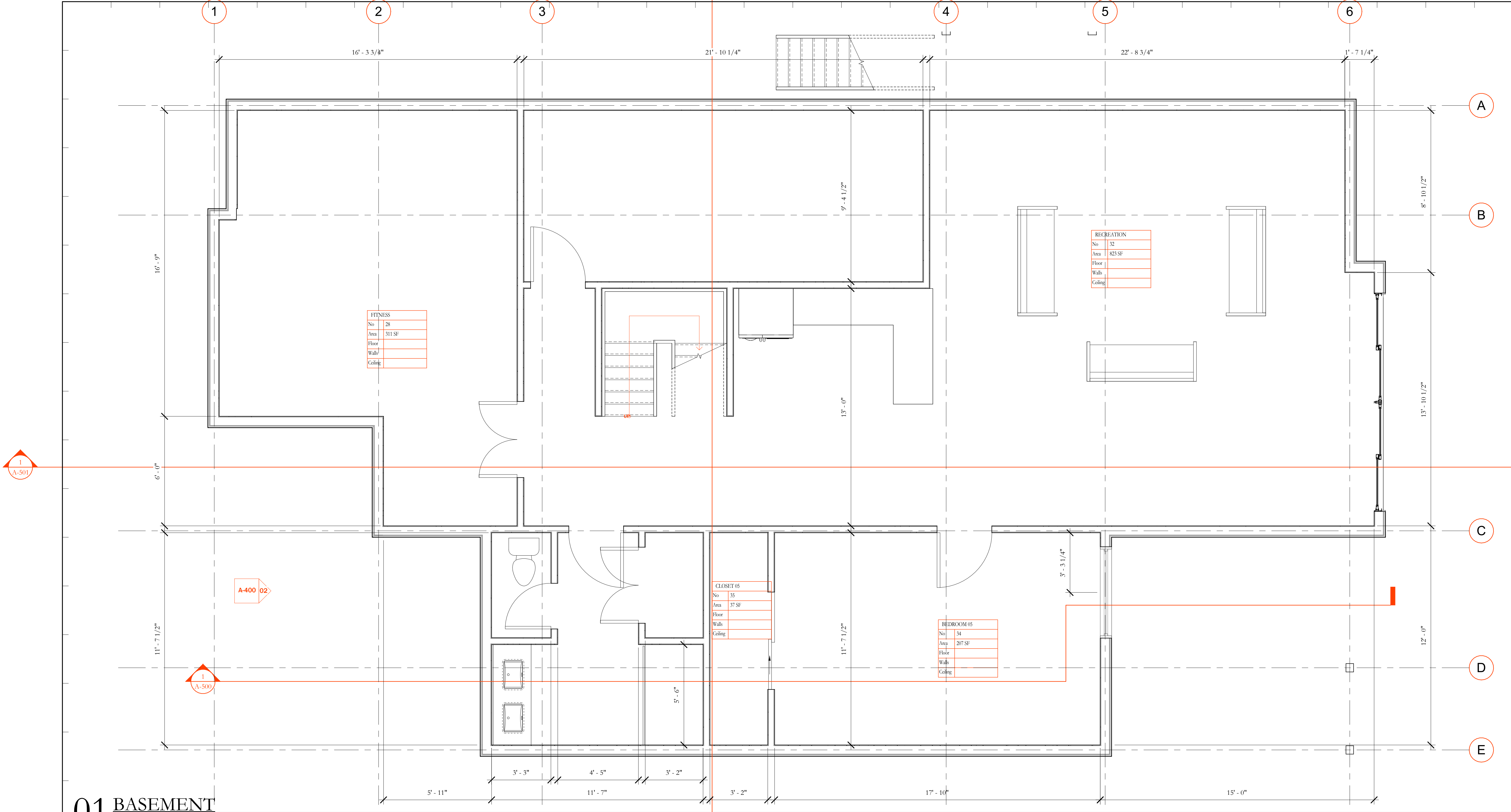
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BUILDING  
AREAS

Project No.: 19001	Sheet No.: G-101
Scale: 1/8" = 1'-0"	



01 BASEMENT  
3/8" = 1'-0"

GENERAL NOTES

1. VERIFY DIMENSION OF ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED.
2. BLEND ALL WALL AND CEILINGS NOTED "FOR FLUSH APPEARANCE" TO PROVIDE VISUAL FLATNESS.
3. BLEND NEW HARDWOOD FLOORING INTO EXISTING TO PROVIDE SEAMLESS APPEARANCE.
4. PROVIDE NEW AIR REGISTERS AND RETURN GRILLES IN RENOVATED SPACE.
5. REPLACE ALL TRIM AND MOULDING TO MATCH EXISTING.
6. PROVIDE SAMPLES OF FINISH MATERIALS TO ARCHITECT FOR FINAL APPROVAL.
7. PROVIDE 1/2" TOLERANCE TO ALL NEW APPLIANCES.
8. REMOVE ALL ABANDONED WIRING, CABLES, ETC. IN OPEN CEILING SPACE.
9. REPLACE ALL SWITCHPLATES AND CONVENIENCE OUTLET PLATES.
10. REPLACE ALL AIR SUPPLY AND RETURN REGISTERS.

LEGEND

	EXISTIN G		NEW FINISH
	TO BE DEMOLISHED		QUART Z
	FINISH TO BE DEMOLISHED		TIL E
	NEW PARTITION		WOO D

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BASEMENT

Project No.:

19001

Sheet No.:

A-100

Scale:

As indicated

01 FIRST FLOOR

3/8" = 1'-0"

GENERAL NOTES

1. VERIFY DIMENSION OF ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED.
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	EXISTIN G		NEW FINISH
	TO BE DEMOLISHED		QUART Z
	FINISH TO BE DEMOLISHED		TIL E
	NEW PARTITION		WOO D

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FIRST FLOOR

Project No.:

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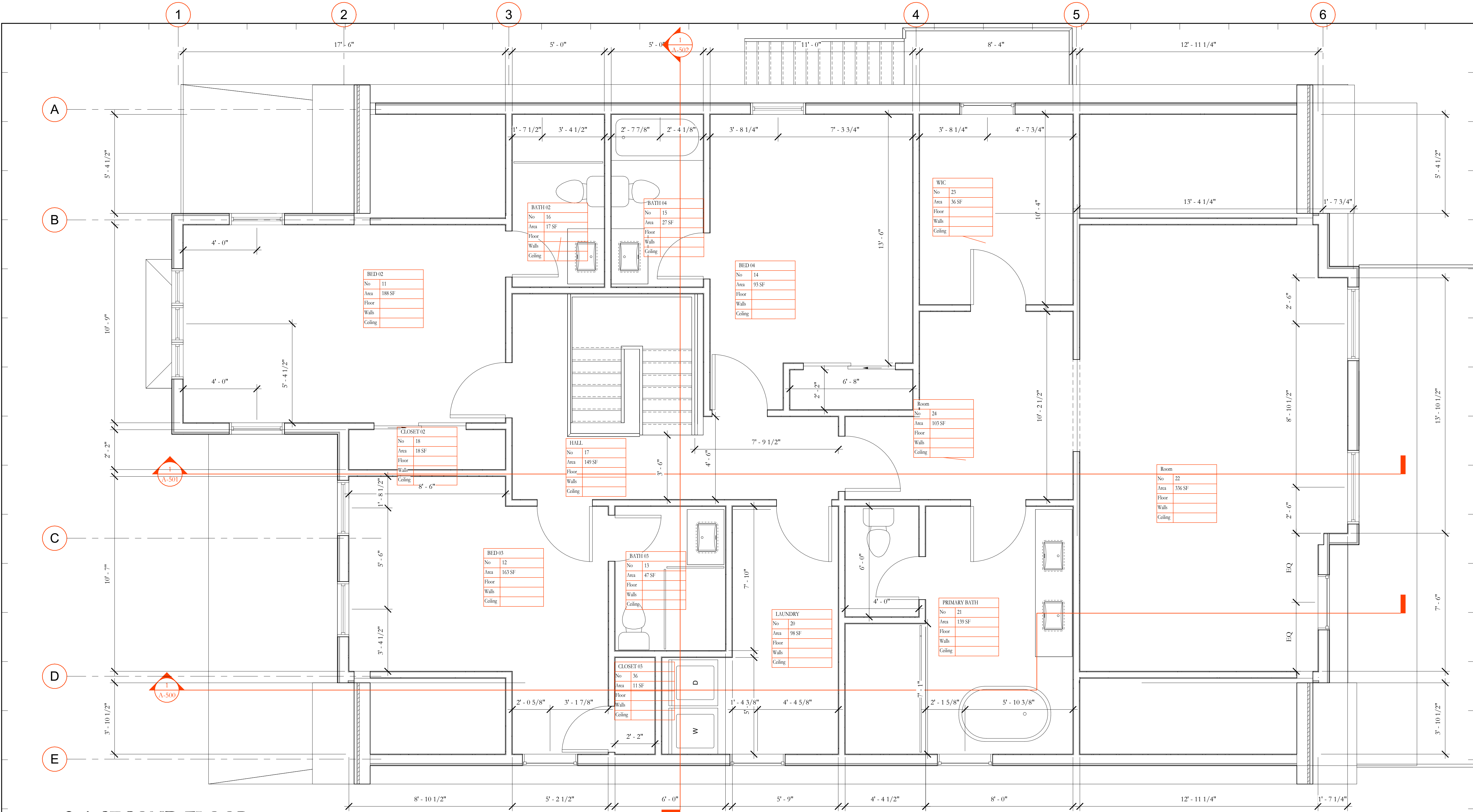
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As indicated





# 01 SECOND FLOOR

3/8" = 1'-0"

## GENERAL NOTES

1. VERIFY DIMENSION OF ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED.
2. BLEND ALL WALL AND CEILINGS NOTED "FOR FLUSH APPEARANCE" TO PROVIDE VISUAL FLATNESS.
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10. REPLACE ALL AIR SUPPLY AND RETURN REGISTERS.

## LEGEND

	EXISTING		NEW FINISH
	TO BE DEMOLISHED		QUARTZ
	FINISH TO BE DEMOLISHED		TILE
	NEW PARTITION		WOOD

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SECOND FLOOR

Project No.:

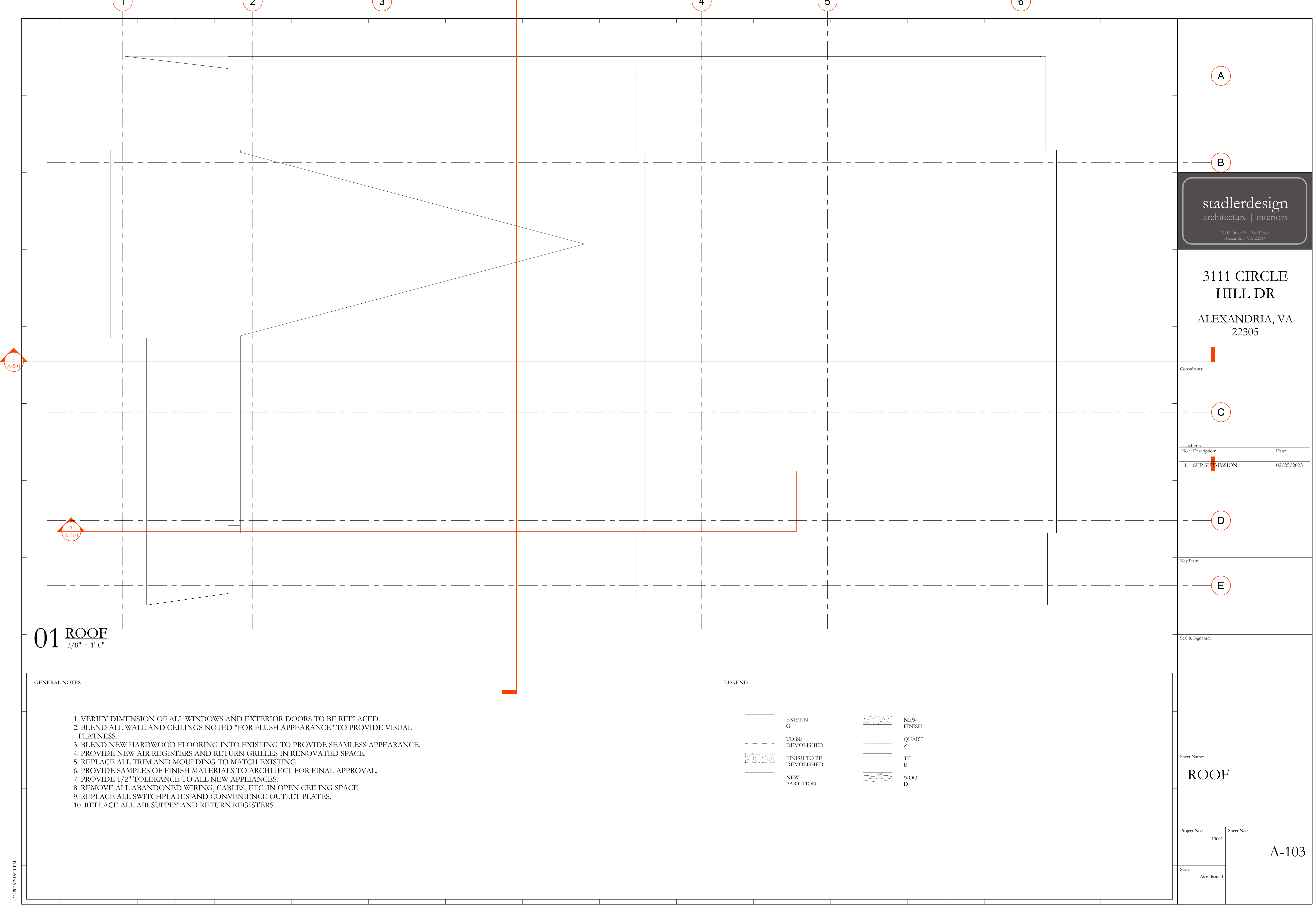
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A

B

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D

Key Plan:

E

Seal & Signature:

GENERAL NOTES

1. VERIFY DIMENSION OF ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED.
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LEGEND

	EXISTIN G		NEW FINISH
	TO BE DEMOLISHED		QUART Z
	FINISH TO BE DEMOLISHED		TIL E
	NEW PARTITION		WOO D

Sheet Name:

ROOF

Project No.:

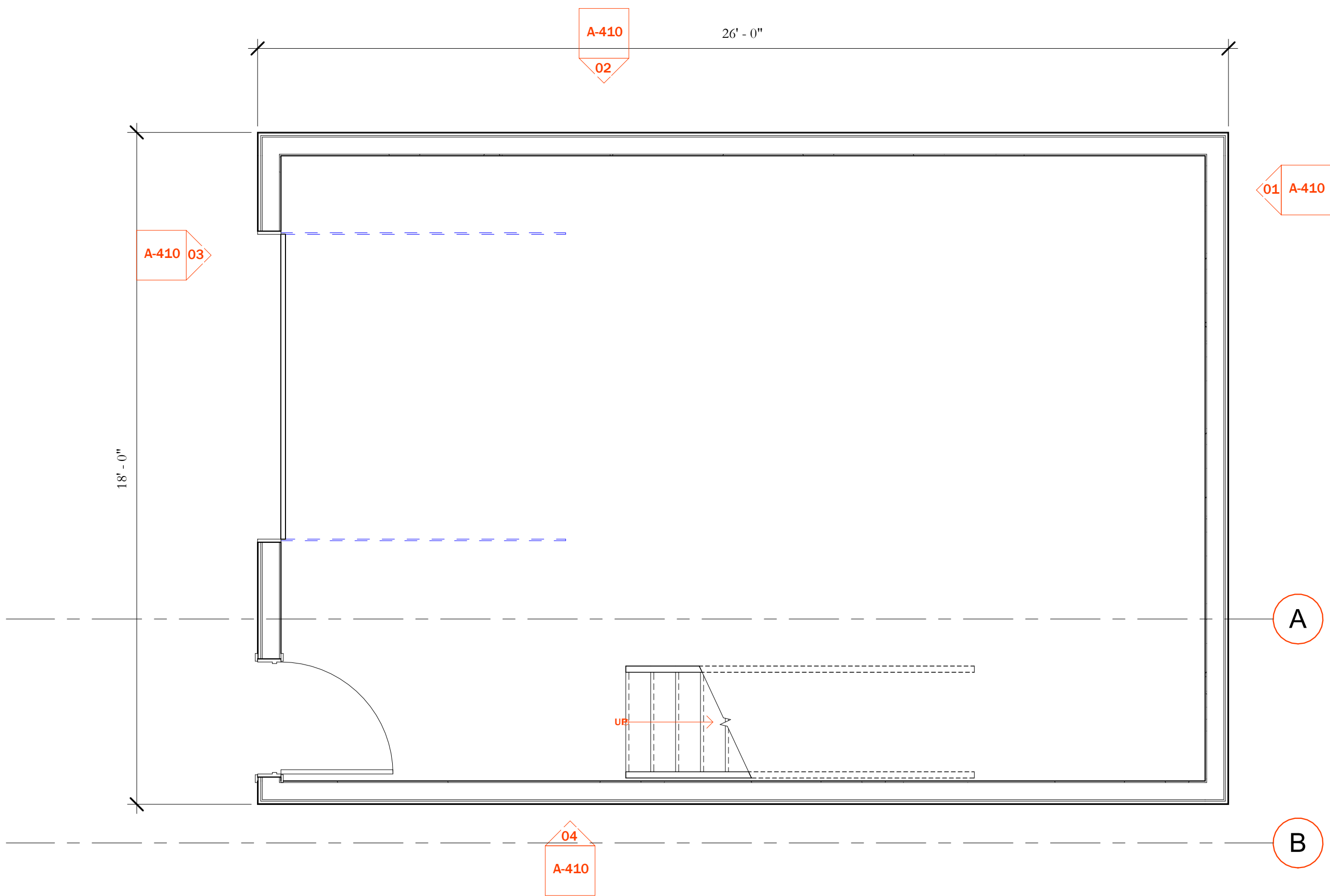
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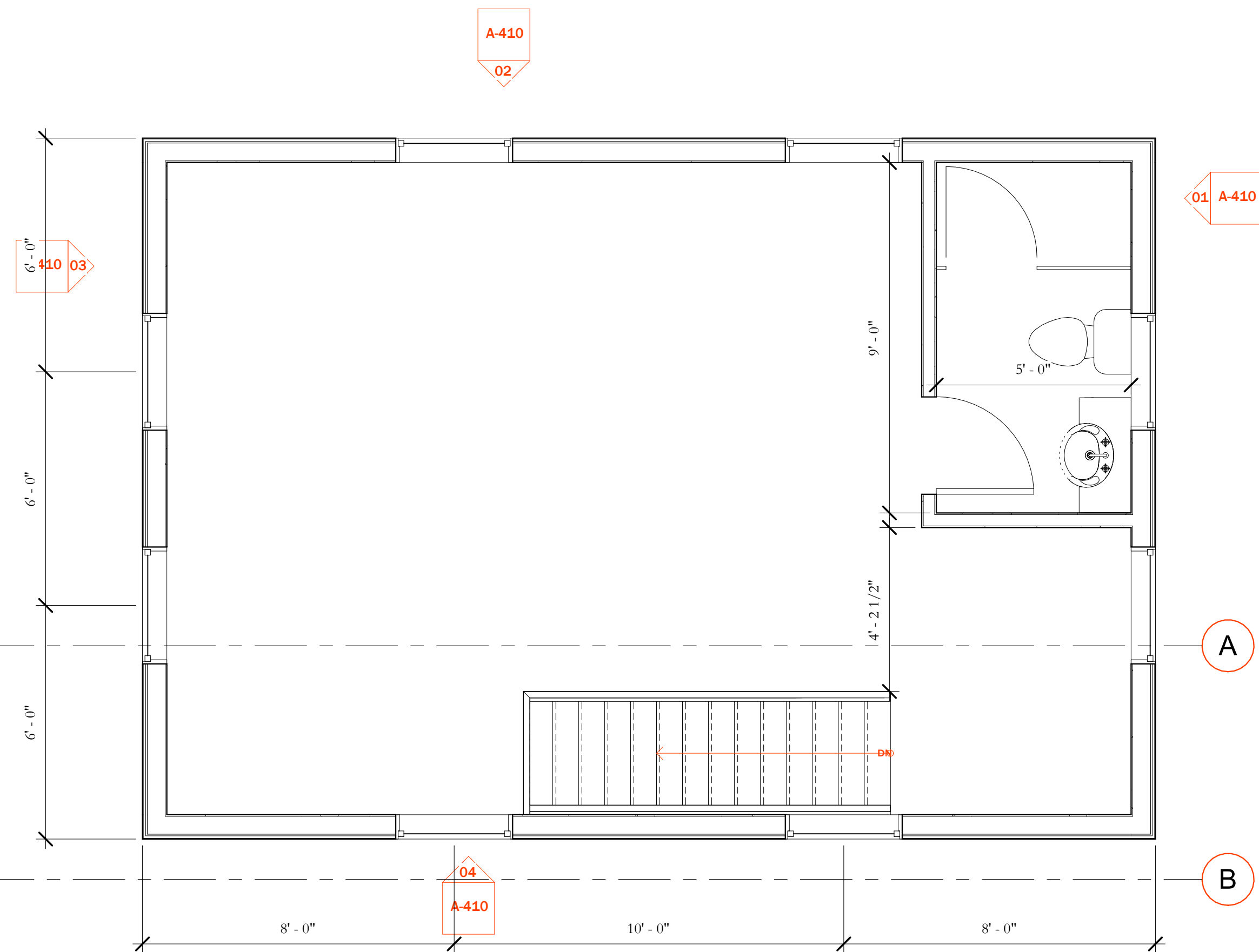
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Scale:

As indicated



02 FIRST FLOOR - GARAGE  
3/8" = 1'-0"



01 SECOND FLOOR - GARAGE  
3/8" = 1'-0"

GENERAL NOTES

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LEGEND

---	EXISTIN G	---	NEW FINISH
---	TO BE DEMOLISHED	---	QUART Z
---	FINISH TO BE DEMOLISHED	---	TIL E
---	NEW PARTITION	---	WOO D

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GARAGE

Project No.:

19001

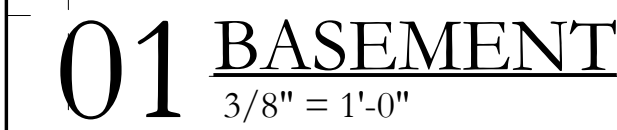
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**Key Plan:**

Seal &amp; Signature

GENERAL NOTES

IT IS THE INTENT THAT ALL RECEPTACLES, SWITCHES AND DEVICES BE CENTERED ON ALL FINISHED SURFACES, HORIZONTALLY AND VERTICALLY UNLESS NOTED OTHERWISE. IF FIELD CONDITIONS ARISE THAT MAKE CENTERING IMPOSSIBLE, CONSULT THE ARCHITECT FOR GUIDANCE ON FINAL PLACEMENT. CONTRACTOR SHALL COORDINATE ALL ROOF FRAMING TO ALLOW THE CENTERING SHOWN ON THIS PLAN FOR ALL RECESSED LIGHTING. IF ADDITIONAL FRAMING IS REQUIRED TO ACCOMMODATE THIS LAYOUT, THE CONTRACTOR SHALL INCL. SUCH FRAMING AS PART OF THE COST OF THE WORK. ANY COORDINATION SHALL TAKE PLACE DURING ROUGH FRAMING, PRIOR TO ROUGH-IN.

A. INSTALL ALL RECEPTACLES AT (INSERT HEIGHT)" A.F.F. (HORIZONTALLY/VERTICALLY), U.N.O.

B. INSTALL ALL ABOVE COUNTER OUTLETS (HORIZONTALLY/VERTICALLY) WITH A CENTERLINE OF(INSERT HEIGHT)" A.F.F., U.N.O.

C. INSTALL ALL SWITCHES (HORIZONTALLY/VERTICALLY) WITH CENTERLINE AT (INSERT HEIGHT)A.F.F. INSTALL BLOCKING AS NECESSARY TO ACHIEVE CENTERING.

D. MOUNT CENTERLINE OF THERMOSTATS + KEYPADS AT (INSERT HEIGHT) A.F.F. CENTER ON SWITCHES BELOW IF APPLICABLE.

E. ALL SWITCHES TO BE ON DIMMING CIRCUITS. NOTIFY ARCHITECT PRIOR TO ROUGH-IN OF ANY FIXTURE LOCATIONS THAT ARE NOT ABLE TO BE ON A DIMMING CIRCUIT SO ALTERNATE PLANS CAN BE MADE.

F. ALL EXPOSED SWITCHES AND OUTLETS TO BE \*(INSERT SERIES) SERIES WITH (INSERTCOVERPLATES) COVERPLATES BY (INSERT MANUF).

G. DEVICE COLOR: (INSERT COLOR) WITH MATCHING (INSERT COVERPLATE) COVERPLATES.\*\*COORDINATE THESE SELECTIONS WITH ARCHITECT PRIOR TO ORDERING

H. ALL OUTLETS IN BATHS, AT KITCHEN COUNTERS, AND WITHIN (INSERT CODE REQUIREMENTS) OF A SINK SHALL BE GFCI CIRCUITS.

I. INSTALLATION SHALL CONFORM TO CURRENT ADOPTED (INSERT YOUR REFERENCE NATIONAL ELECTRICAL CODE). IF THIS REQUIRES THE ADDITION OF RECEPTACLES, WIRING, DEVICES, SPECIAL CIRCUITING, BREAKERS, INTERRUPTERS, OR OTHER ITEMS NOT INDICATED ON THE PLANS, THE ELECTRICIAN SHALL MAKE THE CONTRACTOR AND ARCHITECT AWARE OF ANY OMISSIONS AND SHALL INCLUDE THEM AS PART OF THE COST OF THE WORK.

J. COORDINATE LOCATION OF ALL ELECTRICAL DEVICES WITH ANY INTERIOR ELEVATIONS.

K. NO DISTINCTION IS MADE ON THESE PLANS BETWEEN CIRCUITS REQUIRING SINGLE, THREE-WAY AND FOUR-WAY SWITCHES, THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY SYSTEM COMPONENTS TO ACHIEVE THE LIGHTING CONTROLS AS DRAWN.

LEGEND

D TV HOOK-UP (LIST  
CABLING REQ'D: CAT6,  
STRUCTURED CABLING,  
ETC.  
KEYPAD

## ETHERNET / PHONE (LIST JACK REQUIREMENTS)

§ SWITCH (DIMMING CIRCUIT)

 DUPLEX RECEPTAB  
(USB INDICATES  
CHARGING  
OUTLET/STATION)

 QUAD RECEPTACLE

 **GFCI DUPLEX  
RECEPTACLE**

 FLOOR DUPLEX RECEPTACLE  
(SPECIFY RECESSED OR  
SURFACE)

 THERMOSTAT EXHAUST FAN

HEAT DETECTOR (LOW = LOW  
TEMP SENSOR, LP = LP GAS  
DETECTOR

 SMOKE/CO DETECTOR

TRAN REMOTE TRANSFORMER

'E' ← FIXTURE TYPE, SEE  
SURFACE<sup>SCHED.</sup> MTD. LIGHT

 RECESSED LIGHT (ARROW  
= DIRECTIONAL)

Q WALL MOUNTED LIGHT

 MONOPOINT

## PLUG-IN FIXTURE

 PENDANT

OW  CEILING MOUNTED  
SPEAKER

## IN-WALL SPEAKER

LED STRIP LIGHT

↳ STEP LIGHT

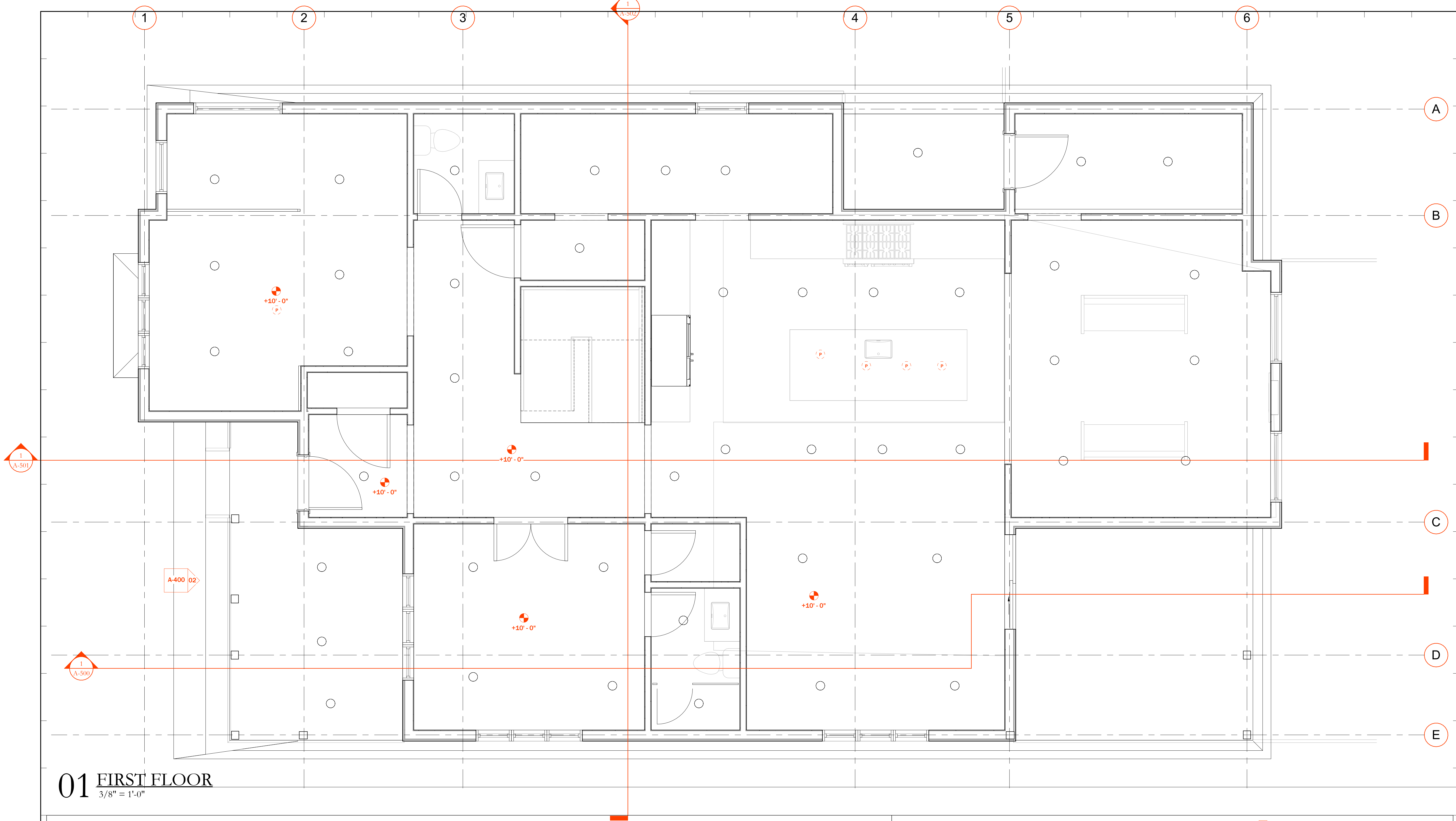
 IN-GROUND/WELL LIGHT



Diagram illustrating a track with heads. The track is represented by a horizontal line with vertical segments. Above the line, there are three downward-pointing triangles (heads). Below the line, there are three upward-pointing triangles (heads). The text "TRACK/HEADS" is written to the right of the diagram.

WALL MOUNTED SWING-ARM LIGHT

**[ ELEC ] ELECTRICAL PANEL**



01 FIRST FLOOR

3/8" = 1'-0"

GENERAL NOTES

IT IS THE INTENT THAT ALL RECEPTACLES, SWITCHES AND DEVICES BE CENTERED ON ALL FINISHED SURFACES, HORIZONTALLY AND VERTICALLY UNLESS NOTED OTHERWISE. IF FIELD CONDITIONS ARISE THAT MAKE CENTERING IMPOSSIBLE, CONSULT THE ARCHITECT FOR GUIDANCE ON FINAL PLACEMENT. CONTRACTOR SHALL COORDINATE ALL ROOF FRAMING TO ALLOW THE CENTERING SHOWN ON THIS PLAN FOR ALL RECESSED LIGHTING. IF ADDITIONAL FRAMING IS REQUIRED TO ACCOMMODATE THIS LAYOUT, THE CONTRACTOR SHALL INCL. SUCH FRAMING AS PART OF THE COST OF THE WORK. ANY COORDINATION SHALL TAKE PLACE DURING ROUGH FRAMING, PRIOR TO ROUGH-IN.

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C. INSTALL ALL SWITCHES (HORIZONTALLY/VERTICALLY) WITH CENTERLINE AT (INSERT HEIGHT)A.F.F. INSTALL BLOCKING AS NECESSARY TO ACHIEVE CENTERING.  
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F. ALL EXPOSED SWITCHES AND OUTLETS TO BE \*(INSERT SERIES) SERIES WITH (INSERTCOVERPLATES) COVERPLATES BY (INSERT MANUF).  
G. DEVICE COLOR: (INSERT COLOR) WITH MATCHING (INSERT COVERPLATE) COVERPLATES.\*\*COORDINATE THESE SELECTIONS WITH ARCHITECT PRIOR TO ORDERING  
H. ALL OUTLETS IN BATHS, AT KITCHEN COUNTERS, AND WITHIN (INSERT CODE REQUIREMENTS) OF A SINK SHALL BE GFCI CIRCUITS.  
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K. NO DISTINCTION IS MADE ON THESE PLANS BETWEEN CIRCUITS REQUIRING SINGLE, THREE-WAY AND FOUR-WAY SWITCHES, THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY SYSTEM COMPONENTS TO ACHIEVE THE LIGHTING CONTROLS AS DRAWN.

LEGEND

- |   |   |                              |
|---|---|------------------------------|
| TV HOOK-UP (LIST CABLING REQ'D: CAT6, STRUCTURED CABLING, ETC, KEYPAD | THERMOSTAT  | PLUG-IN FIXTURE              |
| ETHERNET / PHONE (LIST JACK REQUIREMENTS)                             | EXHAUST FAN   | PENDANT                      |
| SWITCH (DIMMING CIRCUIT)  | HEAT DETECTOR (LOW = LOW TEMP SENSOR, LP = LP GAS DETECTOR) | CEILING MOUNTED SPEAKER      |
| DUPLEX RECEPTABLE (USB INDICATES CHARGING OUTLET/STATION)             | SMOKE/CO DETECTOR   | IN-WALL SPEAKER              |
| QUAD RECEPTACLE   | REMOTE TRANSFORMER  | LED STRIP LIGHT              |
| GFCI DUPLEX RECEPTACLE  | RECESSED LIGHT (ARROW = DIRECTIONAL)                        | STEP LIGHT                   |
| FLOOR DUPLEX RECEPTACLE (SPECIFY RECESSED OR SURFACE)                 | WALL MOUNTED LIGHT  | IN-GROUND/WELL LIGHT         |
|   | MONOPOINT   | TRACK/HEADS                  |
|   |   | WALL MOUNTED SWING-ARM LIGHT |
|   |   | ELECTRICAL PANEL             |

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FIRST FLOOR  
RCP

Project No.:

Sheet No.:

19001

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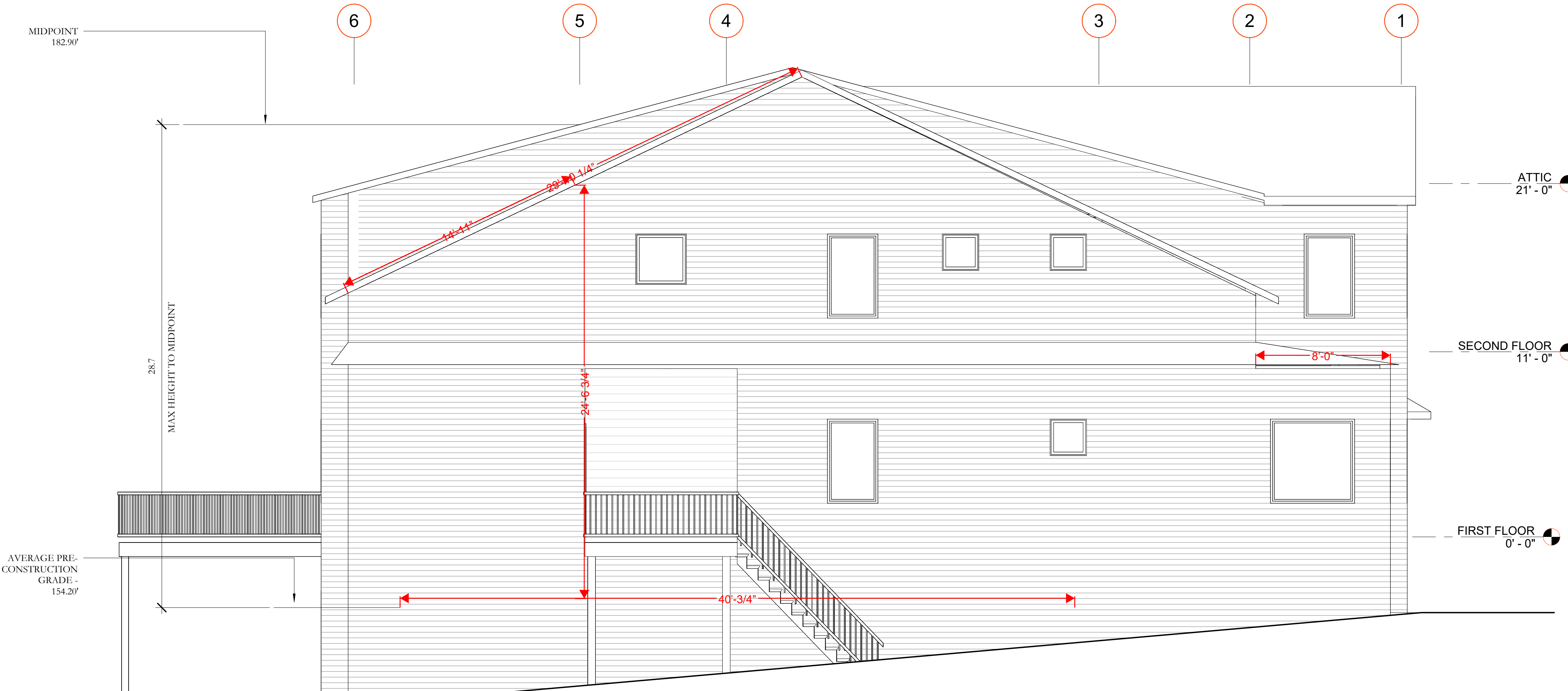
A-201







02 NORTH BUILDING ELEVATION  
1/4" = 1'-0"



01 EAST BUILDING ELEVATION  
1/4" = 1'-0"

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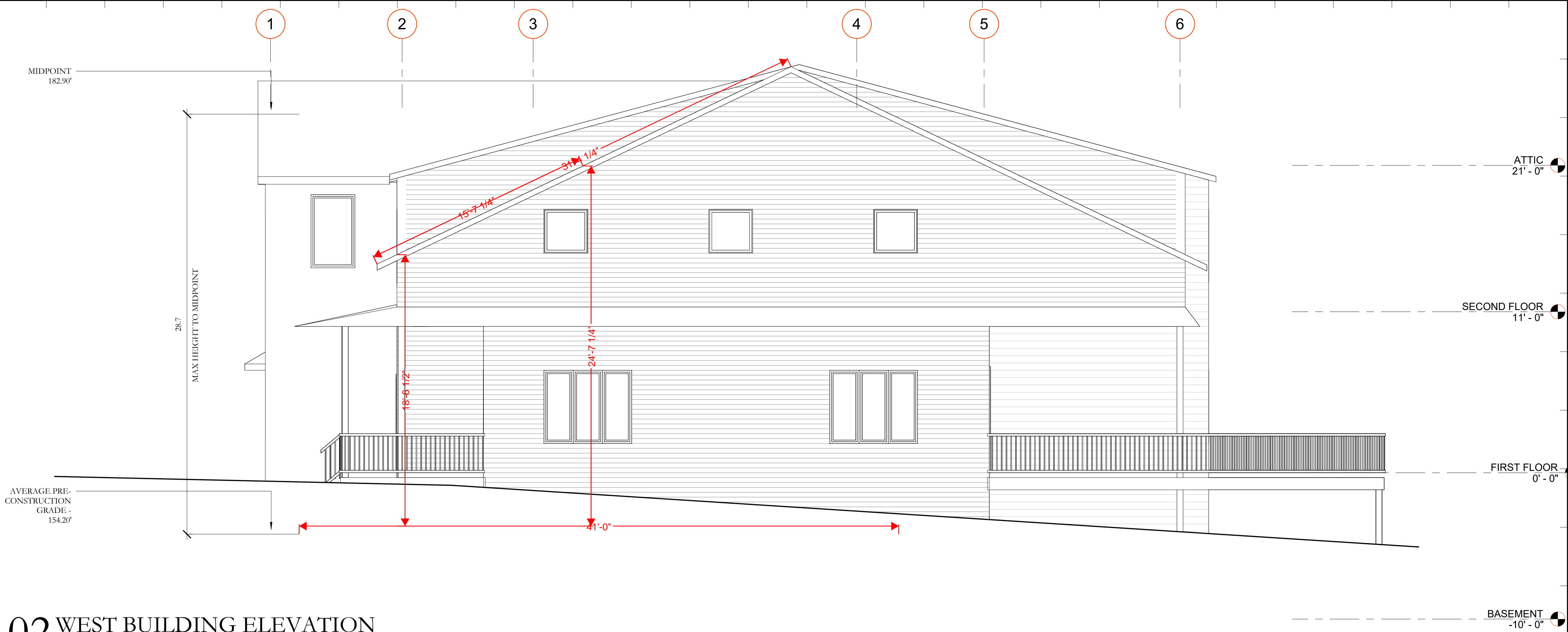
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Sheet Name:

BUILDING  
ELEVATIONS

Project No.:	Sheet No.:
19001	A-400
Scale:	1/4" = 1'-0"



02 WEST BUILDING ELEVATION  
1/4" = 1'-0"



01 SOUTH BUILDING ELEVATION  
1/4" = 1'-0"

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Date:	
02/25/2025	

Key Plan:

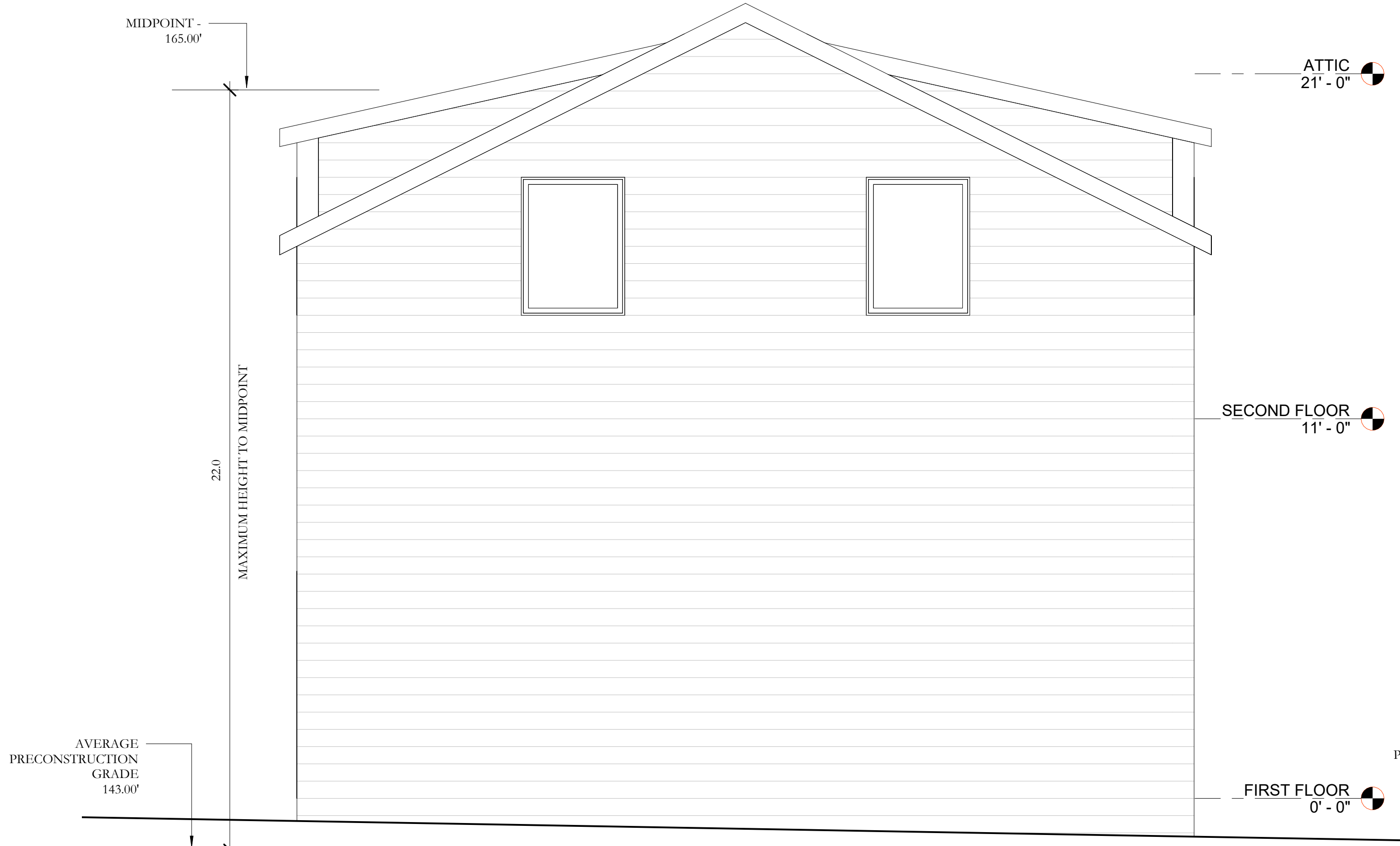
Seal & Signature:

Sheet Name:  
BUILDING  
ELEVATIONS

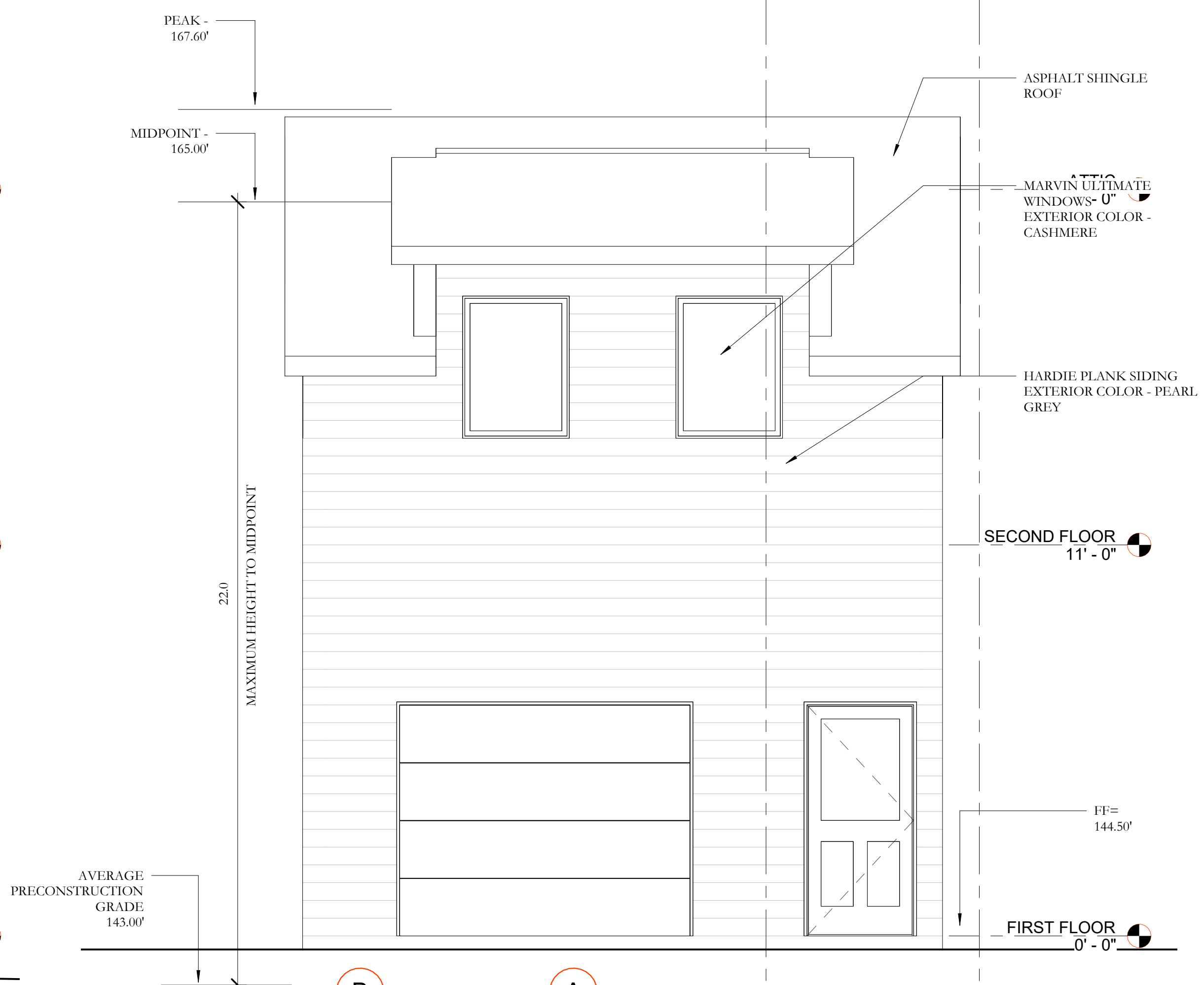
Project No.: 19001  
Sheet No.: A-401

Scale:  
1/4" = 1'-0"

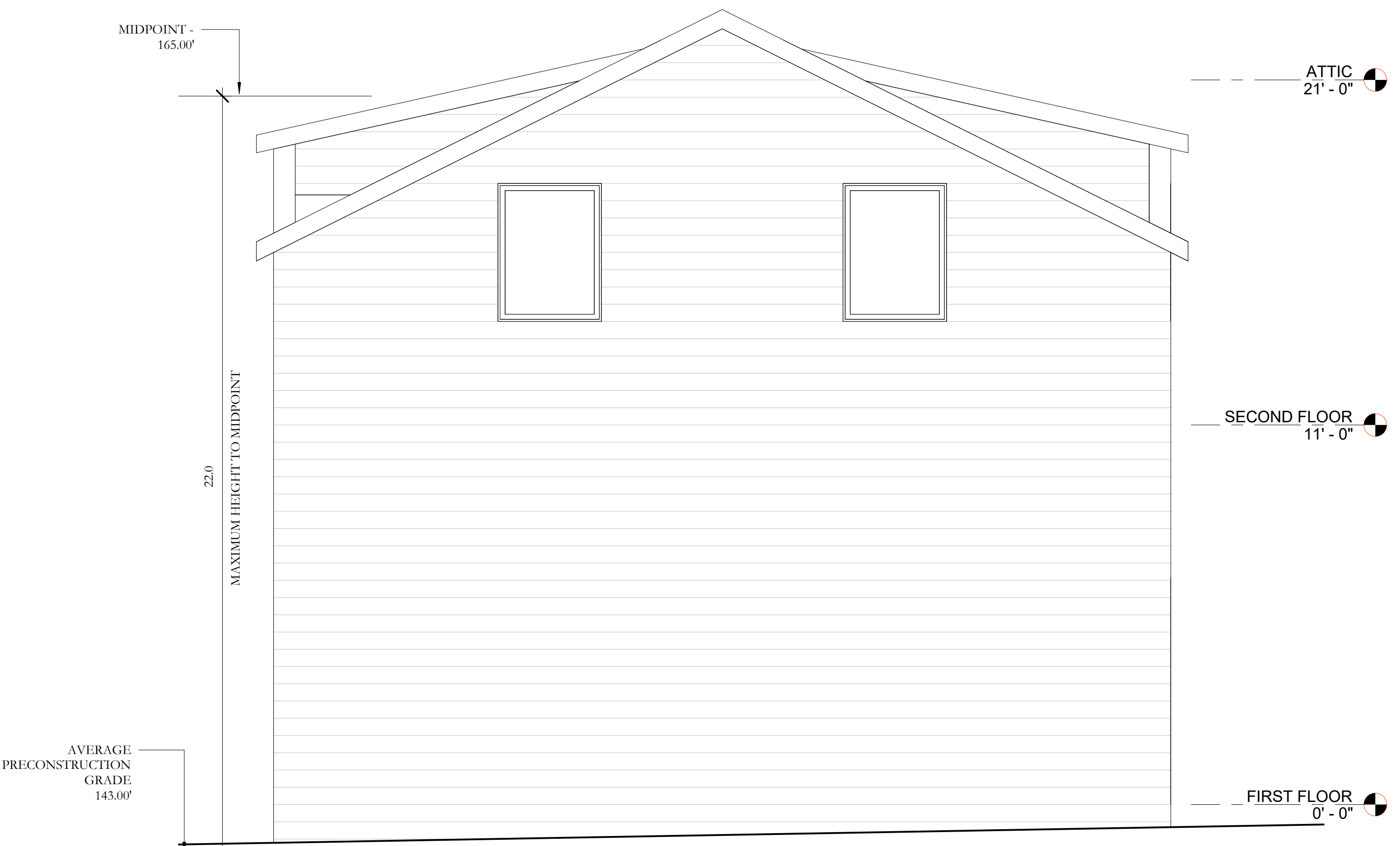




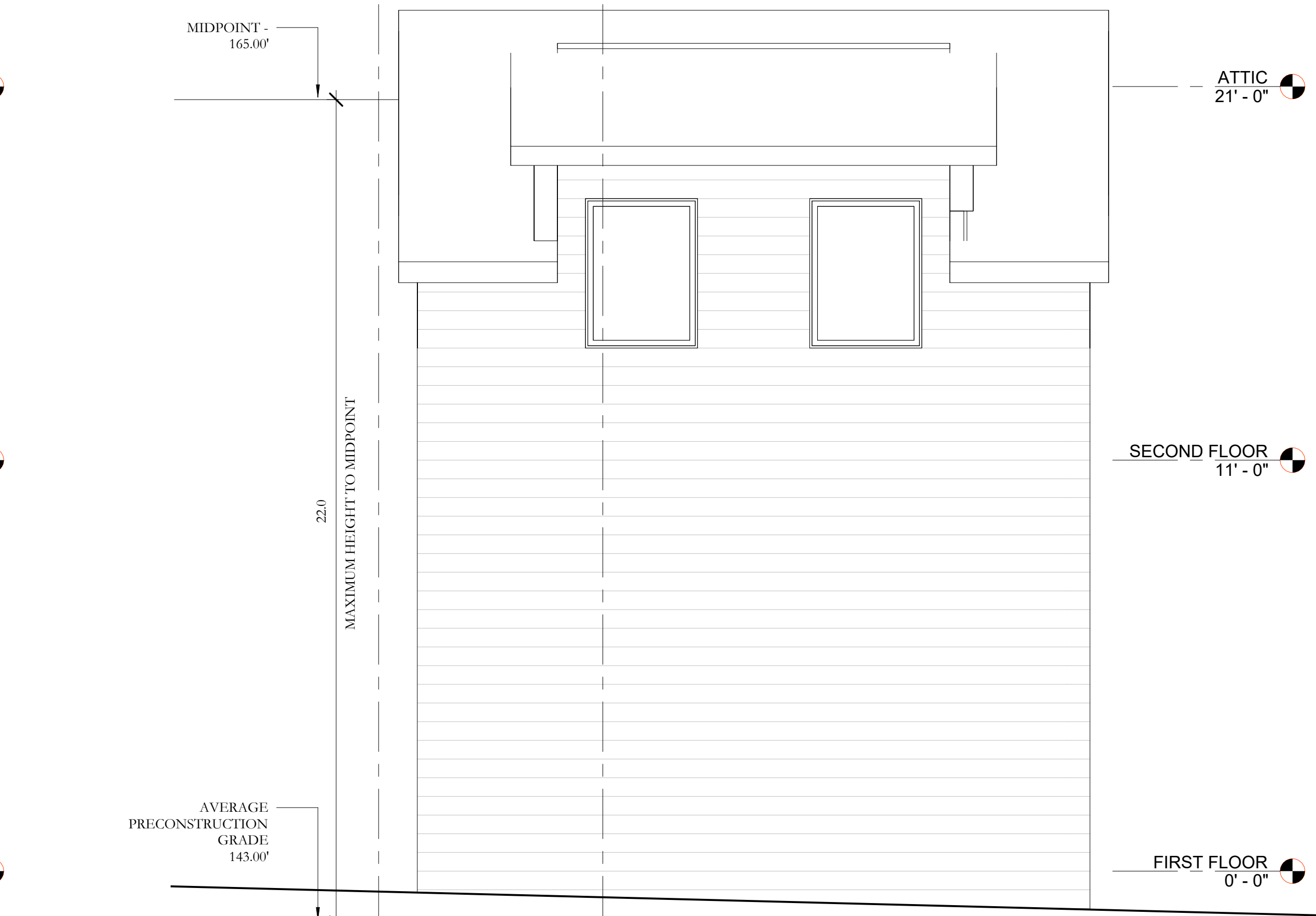
04 WEST GARAGE ELEVATION  
3/8" = 1'-0"



03 NORTH GARAGE ELEVATION  
3/8" = 1'-0"



02 EAST GARAGE ELEVATION  
3/8" = 1'-0"



01 SOUTH GARAGE ELEVATION  
3/8" = 1'-0"

stadlerdesign  
architecture | interiors

2000 Duke St | 3rd Floor  
Alexandria, VA 22314

3111 CIRCLE  
HILL DR  
ALEXANDRIA, VA  
22305

Consultants:

Issued For:

No.:	Description:	Date:
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1	SUP SUBMISSION	02/25/2025
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Key Plan:

Seal & Signature:

Sheet Name:

GARAGE  
ELEVATIONS

Project No.:

19001

Sheet No.:

A-410

Scale:

3/8" = 1'-0"

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3113 Circle Hill Road



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**From:** [Sunny Yoder](#)  
**To:** [PlanComm](#)  
**Subject:** [EXTERNAL]Planning Commission May 6, 2025, Docket item #15  
**Date:** Monday, May 5, 2025 3:34:03 PM

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To the Alexandria Planning Commission:

Regarding docket item #15 on the May 6 agenda, 3111 Circle Hill Road, the property owner has applied for a Special Use Permit to tear down the existing residence, which has 1731 square feet of above ground living space and just over 1000 square feet of basement--a total of 2731 square feet--and replace it with a structure that has approximately 5600 square feet above ground and almost 1900 square feet of basement—a total of almost 7500 square feet.

As a nearby resident of North Ridge, I am concerned about this project. Not only would the proposed residence be far larger than others nearby, the application may not be based on correct numbers. The lot size is shown as 14,085 square feet, and thus the allowed FAR as 4,929 square feet (.35 x 14,085). However, this lot size differs from that in the city assessment records, which show the lot as 10,018 square feet. If the published city records are correct, the actual FAR is 3,506 square feet. Since this is 926 square feet fewer than the FAR in the application, I ask that the Planning Commission carefully verify the lot size and the correct FAR as it considers whether to recommend approval of this SUP.

I also am concerned about the placement of a garage well behind the main residence and much closer to the boundary of Monticello Park than any other structure on Circle Hill Road. Excavation and construction of the garage could have detrimental effects on this valued city park since the property slopes steeply into the park and contains large native trees that might not survive the process.

Thank you for considering my concerns,

Sunny Yoder

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