

**ISSUE:** Certificate of Appropriateness for alterations

**APPLICANT:** Jelks H. Cabaniss III

**LOCATION:** Old and Historic Alexandria District  
210 Duke Street

**ZONE:** Residential Townhouse Zone

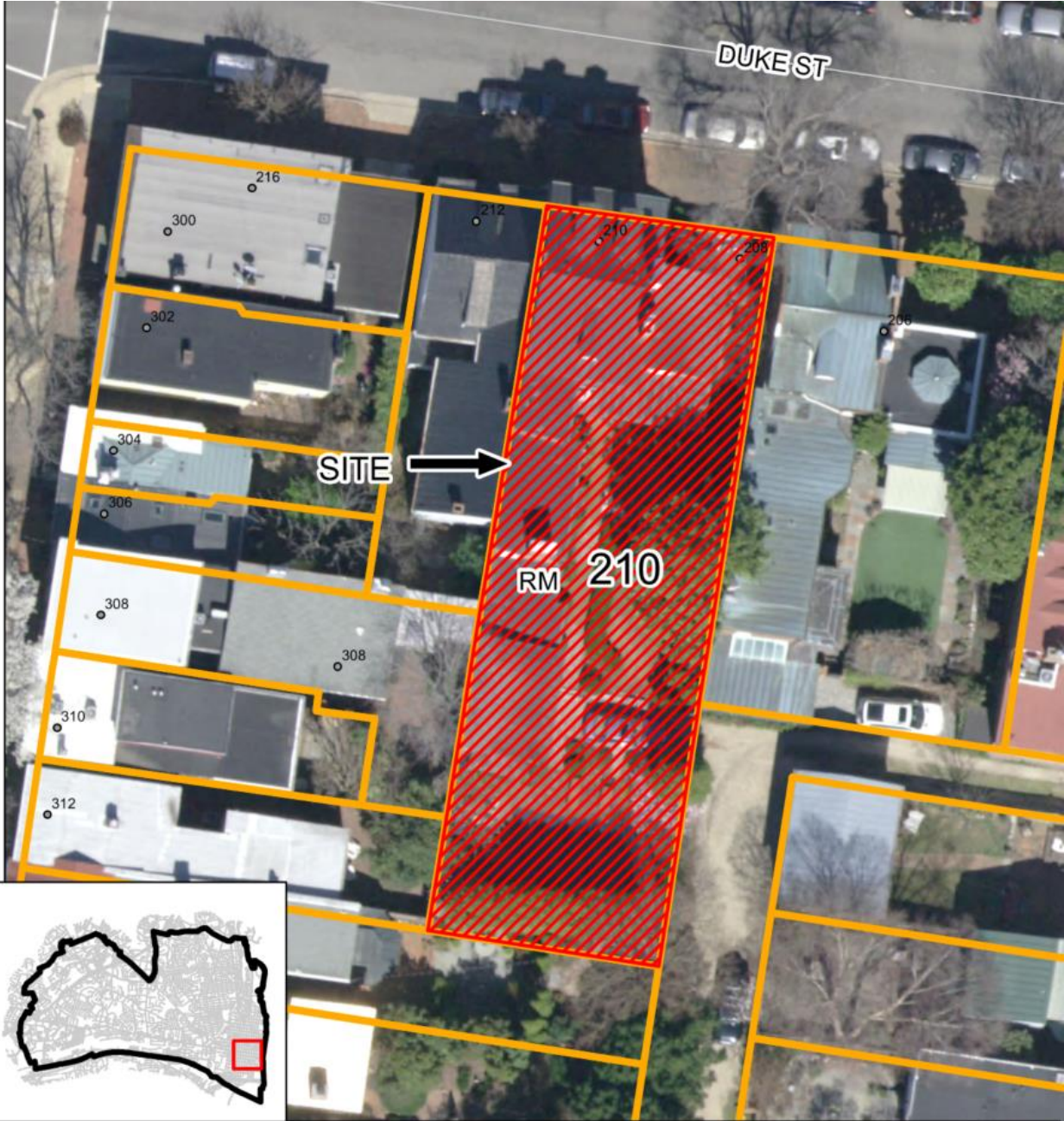
---


**STAFF RECOMMENDATION**

Staff recommends approval of the Certificate of Appropriateness, as submitted.


**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



 **BAR#2023-00531**  
**210 Duke Street**

0 12.5 25 50 Feet

N 

## **I. APPLICANT'S PROPOSAL**

The applicant requests a Certificate of Appropriateness to install custom black wrought iron guardrails on the existing steps.

### **Site context**

The structure at 210 Duke Street is located on the south side of the 200 block of Duke Street. The steps to which the proposed railings will be attached are at the front entry door directly adjacent to the public sidewalk. As such, the proposed railings will be highly visible from the public right of way (Figure 1).



Figure 1: View of 210 Duke Street from Duke Street, note entry stoop where proposed railings will be located

## **HISTORY**

According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, the structure was probably built by John Short, who acquired the lot in **1783**. In **1789** the property was listed for sale with a three-story brick structure. Dr. James Craik purchased the property in 1795 and remained there until 1809. He was a colleague and friend of George Washington, serving as the Surgeon General of the Revolutionary Army. Dr. Craik was one of three physicians attending to George Washington during his final days.

There are easements on the property from both the Historic Alexandria Foundation and the Virginia Department of Historic Resources. The BAR's purview is limited to the criteria set out in Section 10 of the Alexandria Zoning Ordinance, this does not include the interpretation or enforcement of historic easements. For reference, the applicant has included approval letters from both groups in the submission materials.

*Previous BAR Approvals*

- BAR 2005-0161 – Alterations to existing structure
- BAR 2004-0252 – Addition to existing structure
- Permit 26633-8/22/69 – Replace roofing
- Permit 17263-6/2/61 – Repointing of exterior masonry
- Permit 4892 -2/11/43 -Replace Roofing

**III. ANALYSIS**

The *Design Guidelines* state that “Stoops, steps, and railings are important functional elements of the entrances to buildings,” and that their design “should be appropriate to the historic style of the structure.” They further note that “Stoops, steps, and railings should not hide, obscure or cause the removal of historic details.”

The entry steps at 210 Duke Street are unusual in that they are a later addition to the building and are of a different style than the main structure. As noted in the submission materials, in 1933, the entry to the building included simple wood steps without railings. The current decorative curved stone steps were added sometime after that time (Figure 2). While the curved steps are lovely, they are somewhat at odds with the overall building style.



**Figure 2: Previous (left) and current (right) design for the entry stoop**

Noting the *Design Guidelines* comments regarding the compatibility of the design for a railing with the design for the historic structure, staff finds that the proposed design for the new railing successfully bridges the gap between the different styles of the entry stoop and the building. The curving rail that follows the stair and the lateral scrolls at the base of the stair are reminiscent of the elegant curving stone steps. The simple black metal rails and pickets along with the decorative finial are appropriate for the style of the building. The attachment method for the railings locates the connection to the building at joints in the brick to avoid damage to the historic masonry. While the attachment of a post into an existing stone step can sometimes cause damage to the step, the later nature of these steps limits concerns regarding damage to historic fabric.

Consistent with the *Design Guidelines*, the simple design does not detract from or obscure the historic structure beyond.

With these considerations, staff recommends that the Board approve the requested Certificate of Appropriateness as submitted.

**STAFF**

Bill Conkey, AIA Historic Preservation Architect, Planning & Zoning  
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**II. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

C-1 Proposed railings for existing exterior stairs will comply with zoning.

**Code Administration**

C-1 Building permit is required, the handrail design shall comply with VCC sec. 1014

**Transportation and Environmental Services**

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5,

- Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

- F-1 No archaeological oversight is required for this project.

**V. ATTACHMENTS**

- 1 – Supplemental Materials*  
*2 – Application for BAR 2023-00531, 210 Duke Street*  
*3 – HAF and VDHR Easement approvals*

BAR CASE# \_\_\_\_\_  
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 208-210 Duke St.

DISTRICT:  Old & Historic Alexandria  Parker - Gray  100 Year Old Building

TAX MAP AND PARCEL: 075.03-06-06 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
*(Required if more than 25 square feet of a structure is to be demolished/impacted)*
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*

Applicant:  Property Owner  Business *(Please provide business name & contact person)*

Name: Jelks H. Cabaniss III

Address: 210 Duke St.

City: Alexandria State: VA Zip: 22314

Phone: 703-861-9393 E-mail: \_\_\_\_\_

Authorized Agent *(if applicable)*:  Attorney  Architect  \_\_\_\_\_

Name: Robert Bentley Adams Phone: 703-626-0767

E-mail: bud.adamsarchitects@gmail.com

Legal Property Owner:

Name: Jelks H. Cabaniss III

Address: 210 Duke St

City: Alexandria State: VA Zip: 22314

Phone: 708-861-9393 E-mail: jelks.cabaniss@gmail.com

**NATURE OF PROPOSED WORK:** Please check all that apply

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: Please check all that apply.
  - awning
  - doors
  - lighting
  - other hand railing
  - fence, gate or garden wall
  - windows
  - pergola/trellis
  - HVAC equipment
  - siding
  - painting unpainted masonry
  - shutters
  - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** Please describe the proposed work in detail (Additional pages may be attached).

Owner seeks approval for a hand rail to be installed at the front door steps for safety.

---

---

---

---

---

---

---

---

---

---

**SUBMITTAL REQUIREMENTS:**

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- Square feet of existing signs to remain: \_\_\_\_\_.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR CASE# \_\_\_\_\_

(OFFICE USE ONLY)

**ALL APPLICATIONS:** Please read and check that you have read and understand the following items:

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

---

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: Robert Bentley Adams

Printed Name: Robert Bentley Adams

Date: 12-18-2023

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Jelks H. Cabaniss III	210 Duke St.	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Jelks H. Cabaniss III	208-210 Duke St.	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2. N/A		
3. N/A		

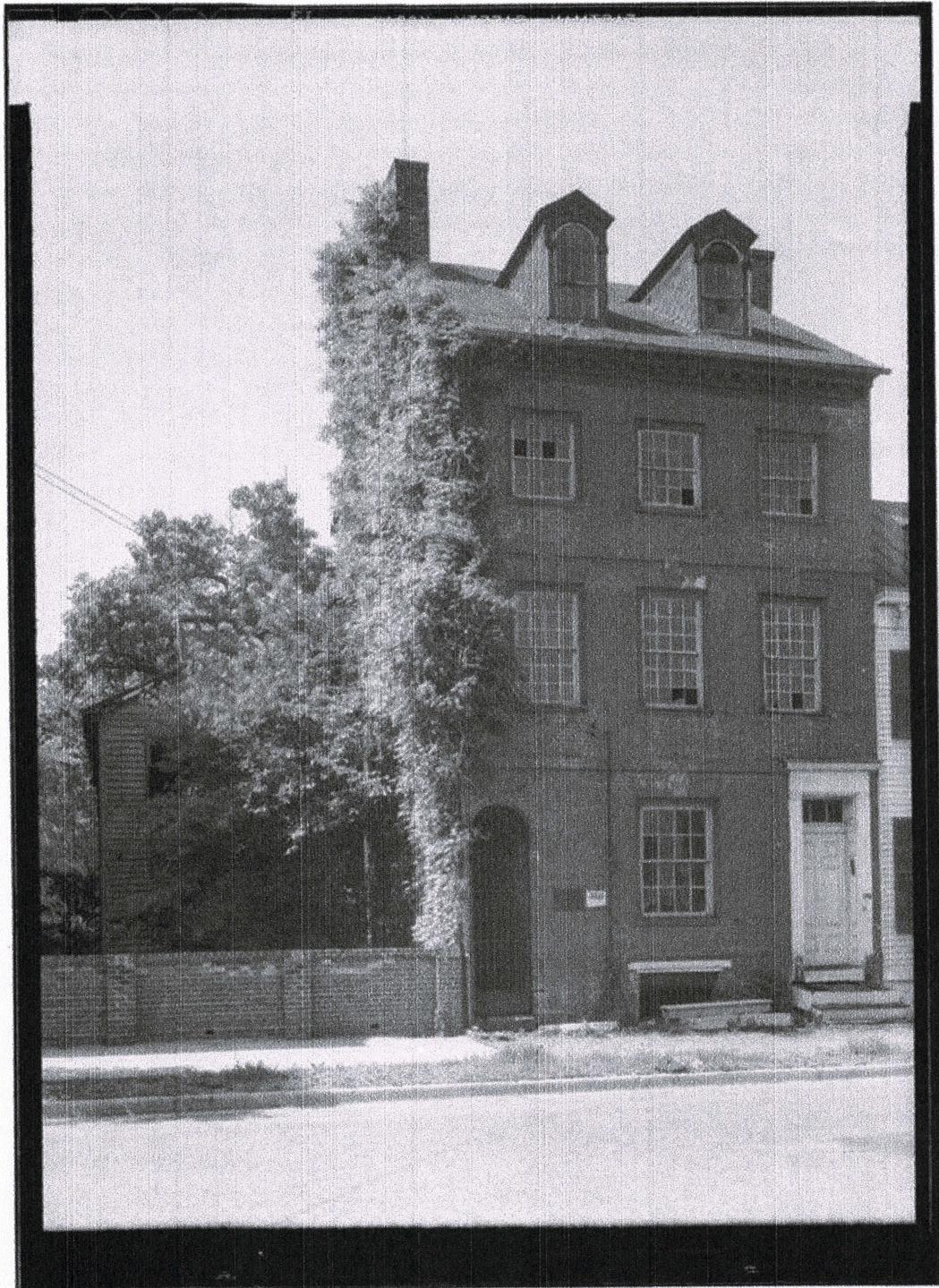
**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12-18-2023  
Date

Robert Bentley Adams  
Printed Name

*Robert Bentley Adams*  
Signature

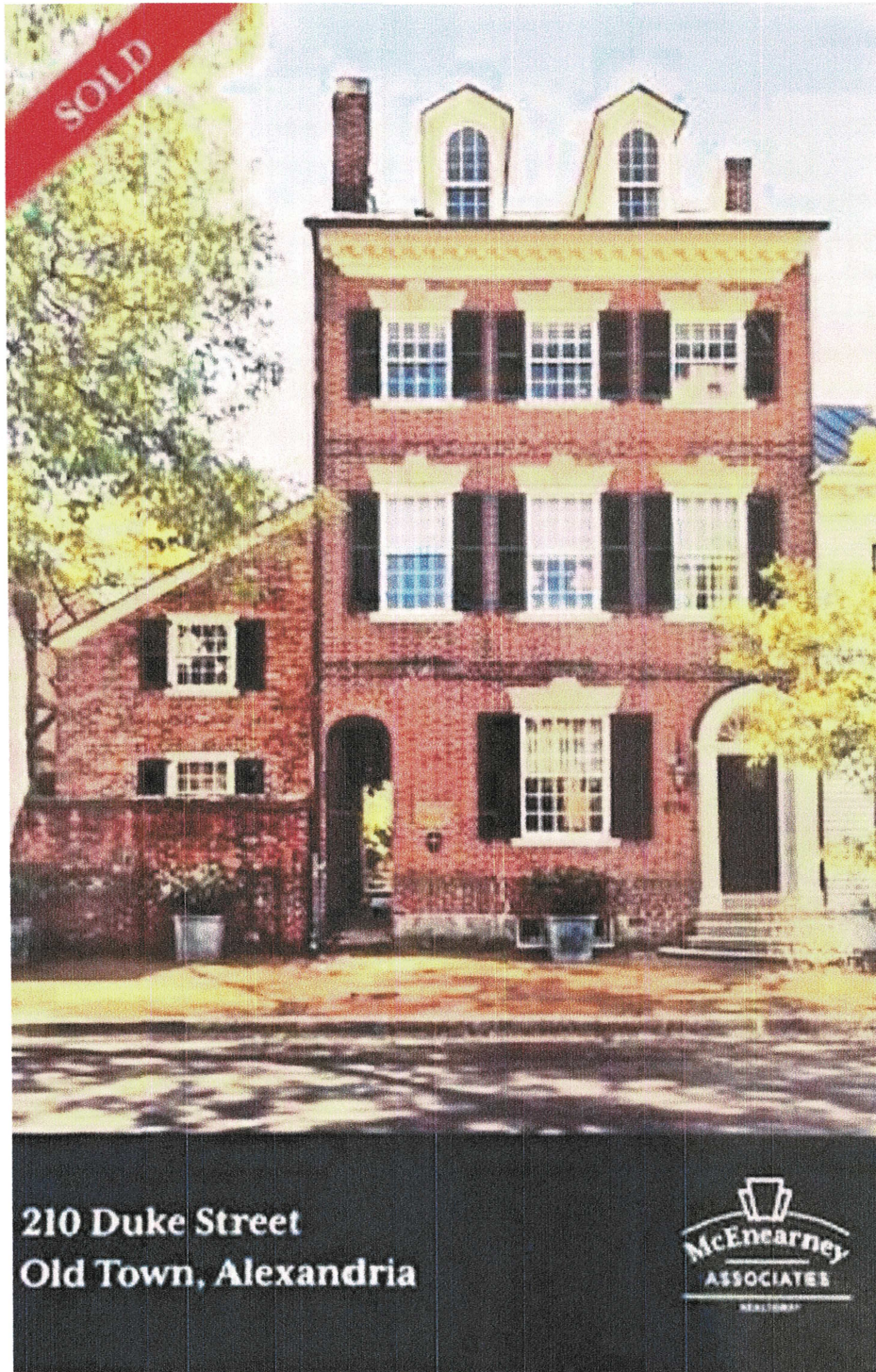


NOTE:  
WOODEN  
STEPS  
1933

LIBRARY OF CONGRESS  
HISTORIC BUILDINGS SURVEY  
C. 1933  
210 DUKE STREET



210 Duke Street  
Circa 1933  
Showing Front Steps



210 Duke Street  
Old Town, Alexandria



## 210 Duke Street Existing Conditions Whole House



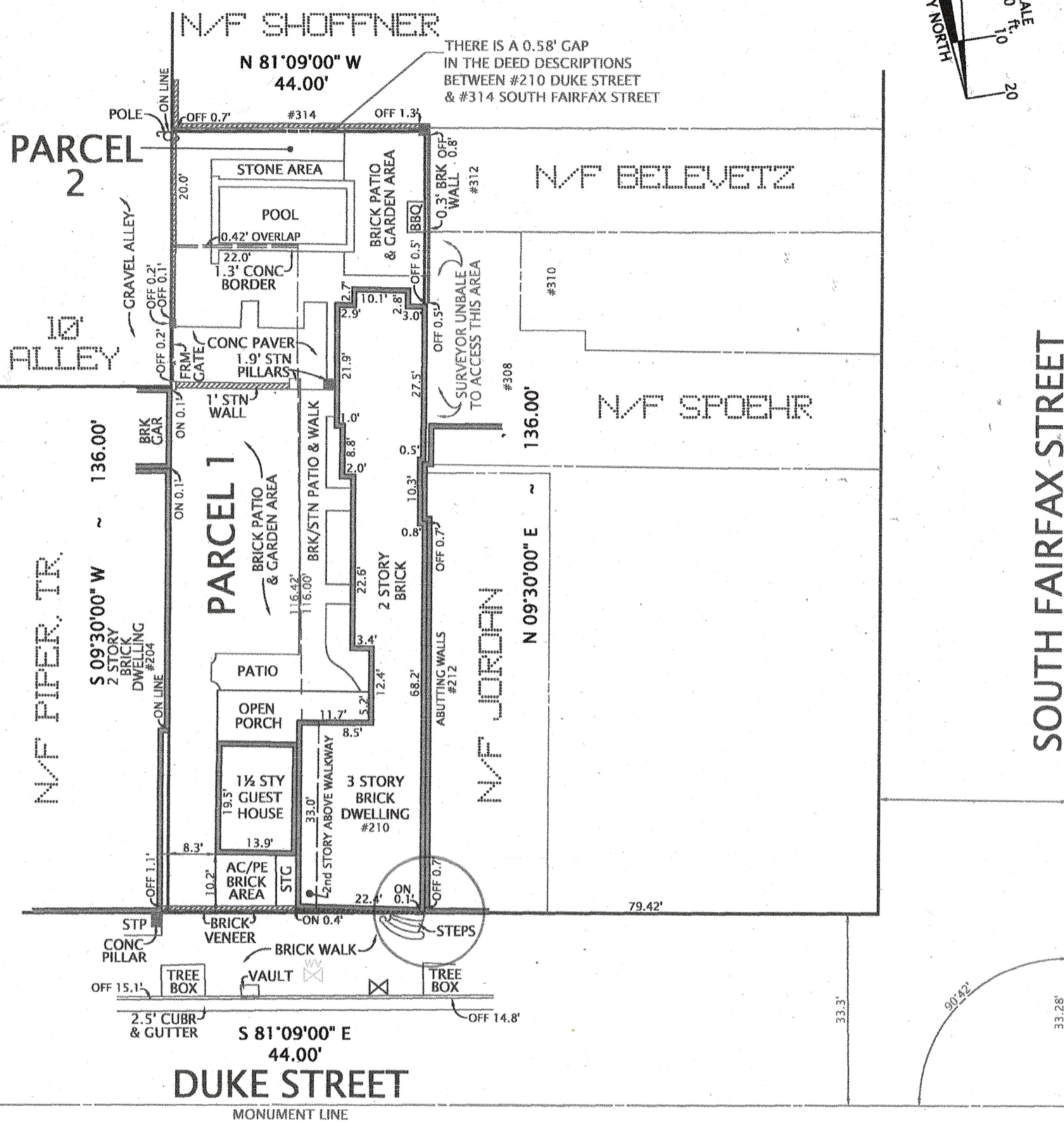
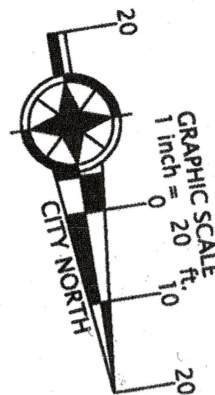
210 Duke Street  
Existing Conditions  
Front Steps



**210 Duke Street  
Proposed Railing  
Front Steps**



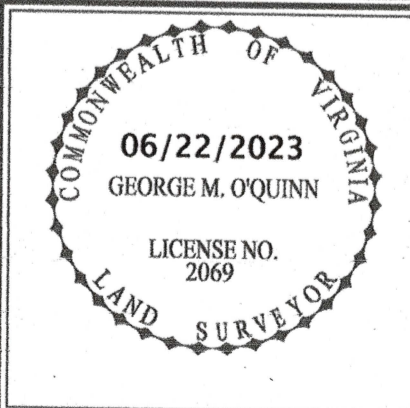
- NOTES: 1. WALLS ARE 0.7' BRICK UNLESS NOTED.  
 2. UTILITIES ARE UNDERGROUND.  
 3. AREA = 5,984 SF.



PLAT  
 SHOWING HOUSE LOCATION ON  
 THE PROPERTY LOCATED AT  
**#208/210 DUKE STREET**  
 (INST. # 170009269)  
 CITY OF ALEXANDRIA, VIRGINIA  
 JUNE 22, 2023

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.  
 A TITLE REPORT WAS NOT FURNISHED.  
 NO CORNER MARKERS SET.



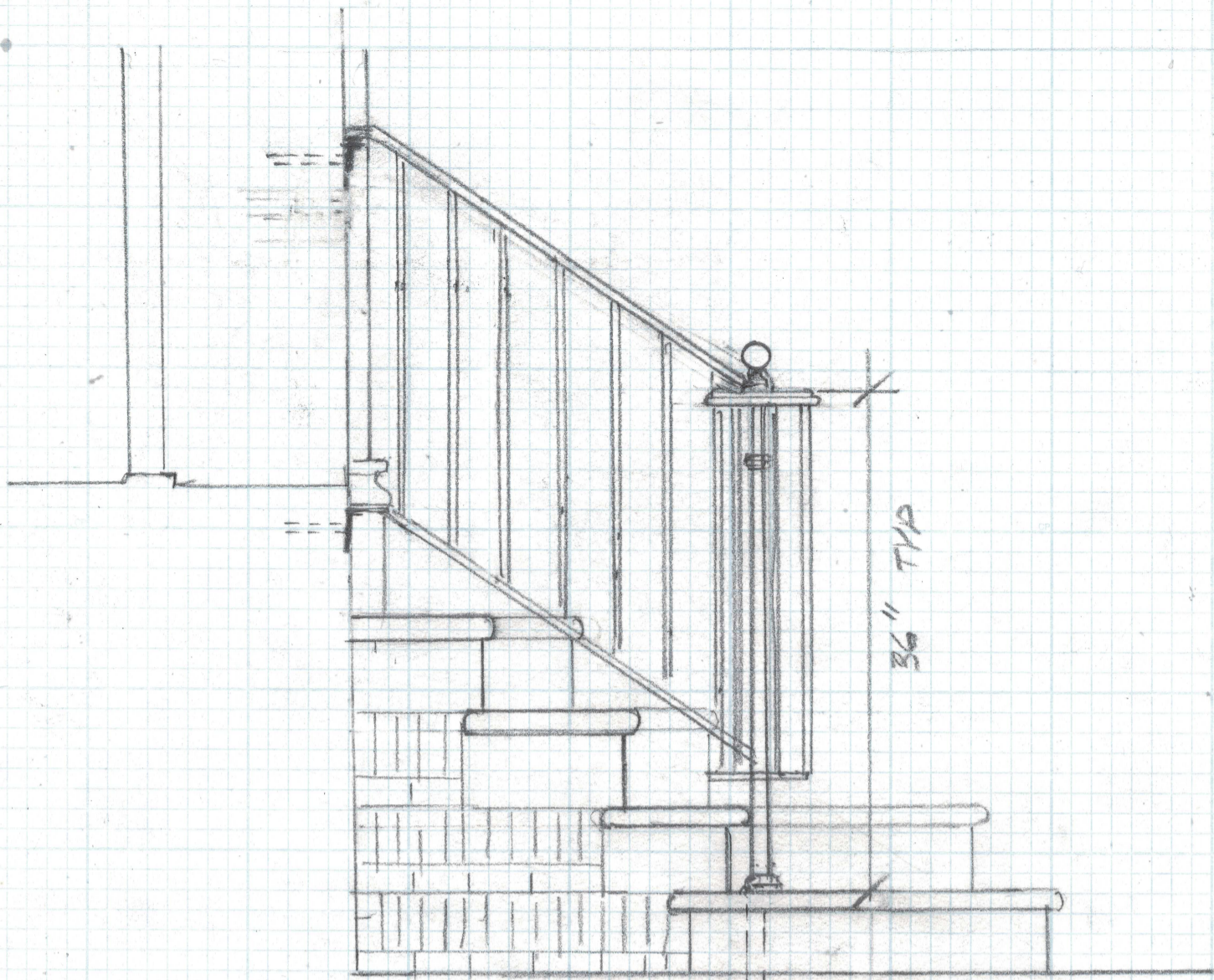
CASE NAME:  
 SMITH ~ CABANISS  
 LAND, CARROLL & BLAIR PC

**DOMINION** Surveyors Inc.®  
 8808-H PEAR TREE VILLAGE COURT  
 ALEXANDRIA, VIRGINIA 22309  
 703-619-6555  
 FAX: 703-799-6412

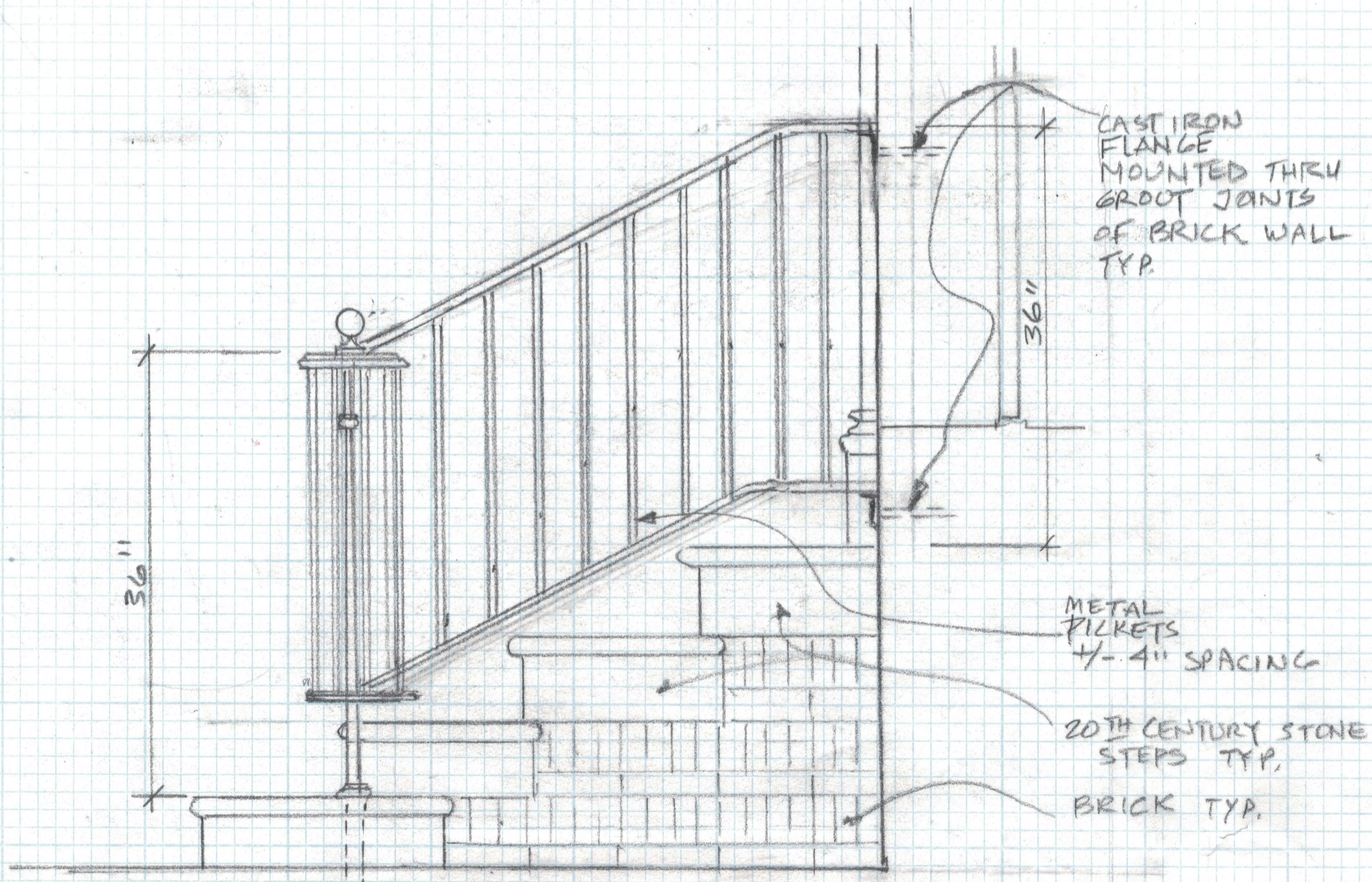
COPYRIGHT BY DOMINION SURVEYORS, INC. THE INFORMATION CONTAINED ON THIS DOCUMENT MAY NOT BE COPIED, REPRODUCED OR ALTERED IN ANY FORM WITHOUT PERMISSION IN WRITING FROM THE COPYRIGHT OWNER.

CASE NAME: CABANISS

#230613007



PROPOSED FRONT STEP HANDRAIL  
 EAST ELEVATION  
 SC: 1" = 1'-0"



PROPOSED FRONT STEP HANDRAIL  
 WEST ELEVATION  
 SC: 1" = 1'-0"



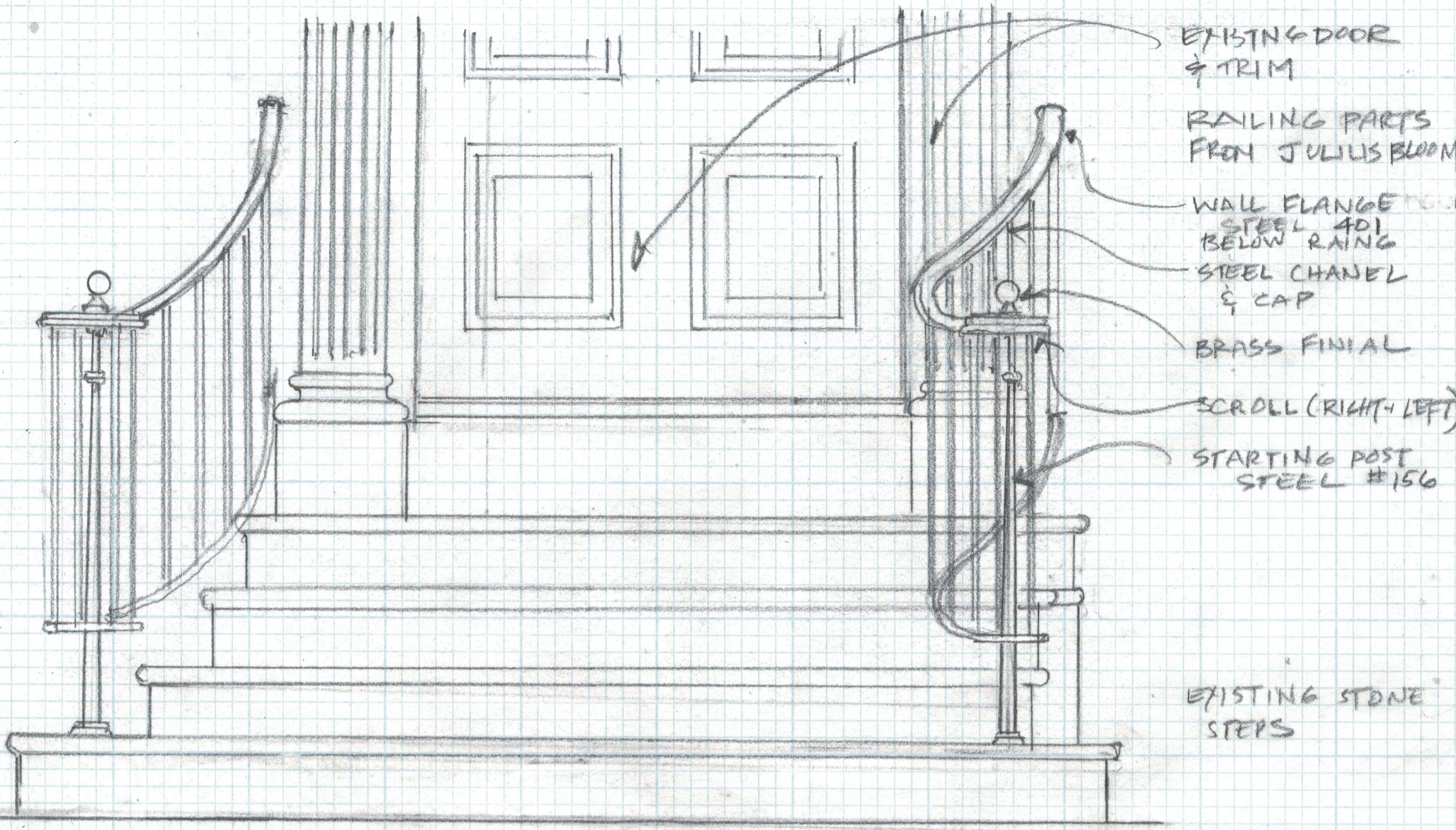
ROBERT BENTLEY ADAMS & ASSOCIATES P.C.  
 510 S. Fairfax Street Alexandria Virginia 22314  
 Tel 703 626 0767 [bud.adamsarchitects@gmail.com](mailto:bud.adamsarchitects@gmail.com)

Mr. & Mrs. Jelks Cabaniss  
 210 Duke Street  
 Alexandria Virginia 22314

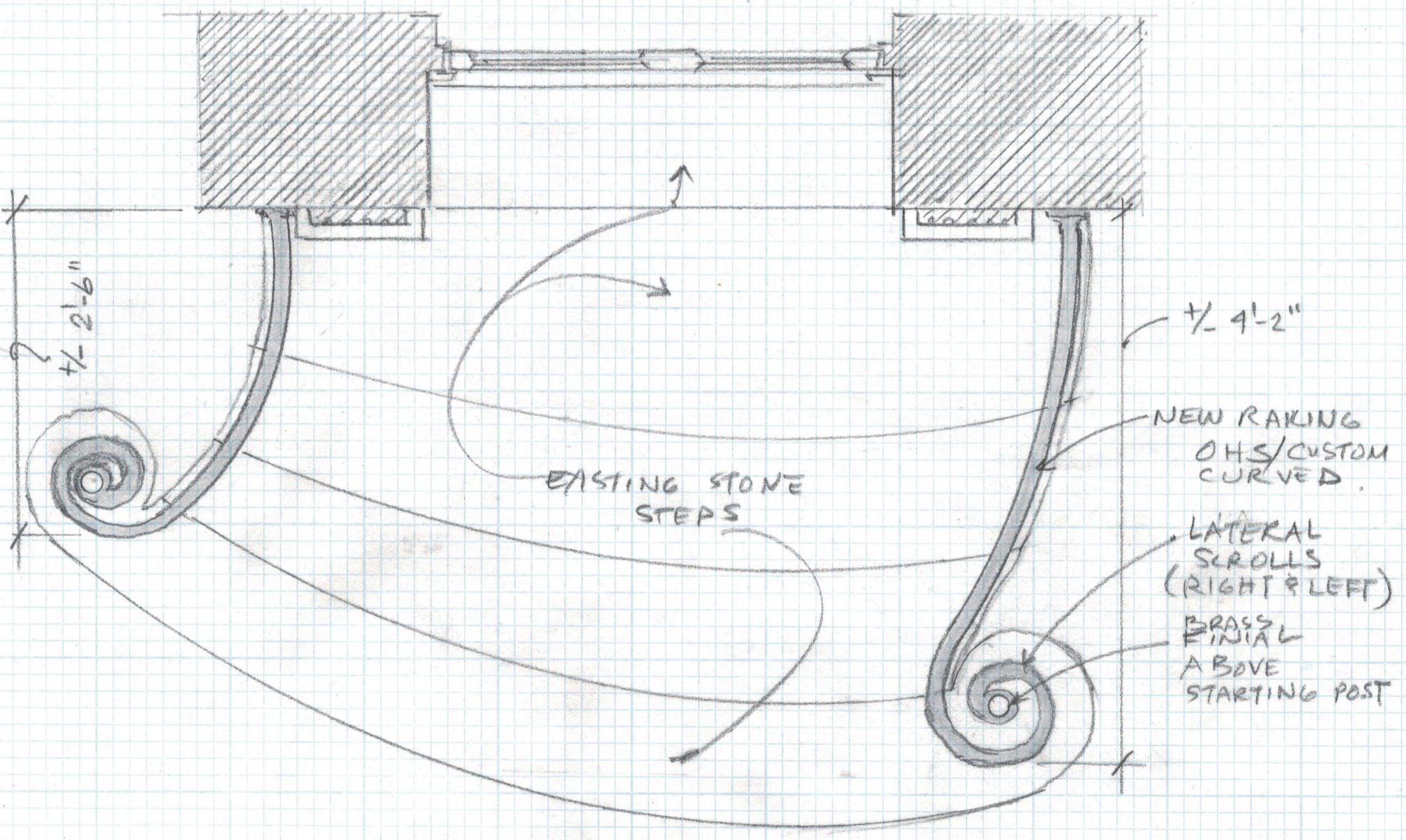
Scale: 1" = 1'-0"  
 Date: 12-18-2023

Sheet:

3



PROPOSED FRONT STEPS HANDRAIL  
NORTH ELEVATION  
 SC: 1" = 1'-0"



PROPOSED FRONT STEPS HANDRAIL  
PLAN VIEW  
 SC: 1" = 1'-0"



ROBERT BENTLEY ADAMS & ASSOCIATES P.C.  
 510 S. Fairfax Street Alexandria Virginia 22314  
 Tel 703 626 0767 [bud.adamsarchitects@gmail.com](mailto:bud.adamsarchitects@gmail.com)

Mr. & Mrs. Jelks Cabaniss  
 210 Duke Street  
 19 Alexandria Virginia 22314

Scale: 1" = 1'-0"  
 Date: 12.18.2023

Sheet:  
 2



CC JHR

# COMMONWEALTH of VIRGINIA

## Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Travis A. Voyles  
Secretary of Natural and  
Historic Resources

Julie V. Langan  
Director  
Tel: (804) 482-6446  
Fax: (804) 367-2391  
www.dhr.virginia.gov

January 3, 2024

Jelks H. Cabaniss III  
210 Duke Street  
Alexandria, VA 22314

Re: Proposed Installation of New Handrails; Masonry Repairs  
Dr. James Craik House, City of Alexandria  
DHR File # 100-0017\_ep

Dear Jelks,

Thank you for submitting a project review request for your property, the Dr. James Craik House, located in the City of Alexandria. As you are aware, this property is subject to an historic preservation easement held by the Virginia Board of Historic Resources and administered by the Department of Historic Resources (DHR). According to the provisions of the easement, modifications made to the property require the prior review and approval of DHR.

The project review request was submitted to our office electronically on your behalf by Robert Bentley Adams, Architect on December 14, 2023, and included a description of the proposed work including: installation of traditional metal handrails at the front entry steps; limited repointing of existing historic masonry and treatment of moisture infiltration at the basement. Photographs of the existing entry, handrail sketches (Robert Bentley Adams & Associates, P.C. dated 12-18-2023), and a proposed rendering illustrating the new handrails comprised the submission.

After careful review, our office determined that the majority of this request appears consistent with the Secretary of the Interior's *Standards for Rehabilitation*, as well as the easement provisions, provided the following condition is met:

### Masonry Repointing

All repointing must be completed using a lime-based mortar that matches the historic in color, composition, and joint width and profile. Repointing should only be completed where necessary, and not over the course of complete building elevations.

The application of waterproof coatings is not an approved treatment for historic masonry due to its irreversible nature. It is the understanding of DHR that this action was completed in the absence of the prior review and approval required by Provision 4 of the easement. Please provide the manufacturer information for the coating applied as well as photographs of the affected area.

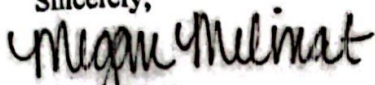
Western Region Office  
962 Kime Lane  
Salem, VA 24153  
Tel: (540) 387-5443  
Fax: (540) 387-5446

Northern Region Office  
5357 Main Street  
PO Box 519  
Stephens City, VA 22655  
Tel: (540) 868-7029  
Fax: (540) 868-7033

Eastern Region Office  
2801 Kensington Avenue  
Richmond, VA 23221  
Tel: (804) 367-2323  
Fax: (804) 367-2391

This approval for the handrail installation and repointing is valid for one year from the date of this letter. Please contact our office if the scope of work changes, or if you are unable to complete the work within one year. Thank you for your stewardship of this important property.

Sincerely,



Megan Melinat  
Director, Preservation Incentives Division  
[Megan.melinat@dhr.virginia.gov](mailto:Megan.melinat@dhr.virginia.gov)

c: Robert Bentley Adams, architect

Western Region Office  
962 Kimo Lane  
Salem, VA 24153  
Tel: (540) 387-5443  
Fax: (540) 387-5446

Northern Region Office  
5357 Main Street  
PO Box 519  
Stephens City, VA 22655  
Tel: (540) 868-7029  
Fax: (540) 868-7033

Eastern Region Office  
2801 Kensington Avenue  
Richmond, VA 23221  
Tel: (804) 367-2323  
Fax: (804) 367-2391