

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Cathleen Curtin Architects

LOCATION: Old and Historic Alexandria District
1311 Prince Street

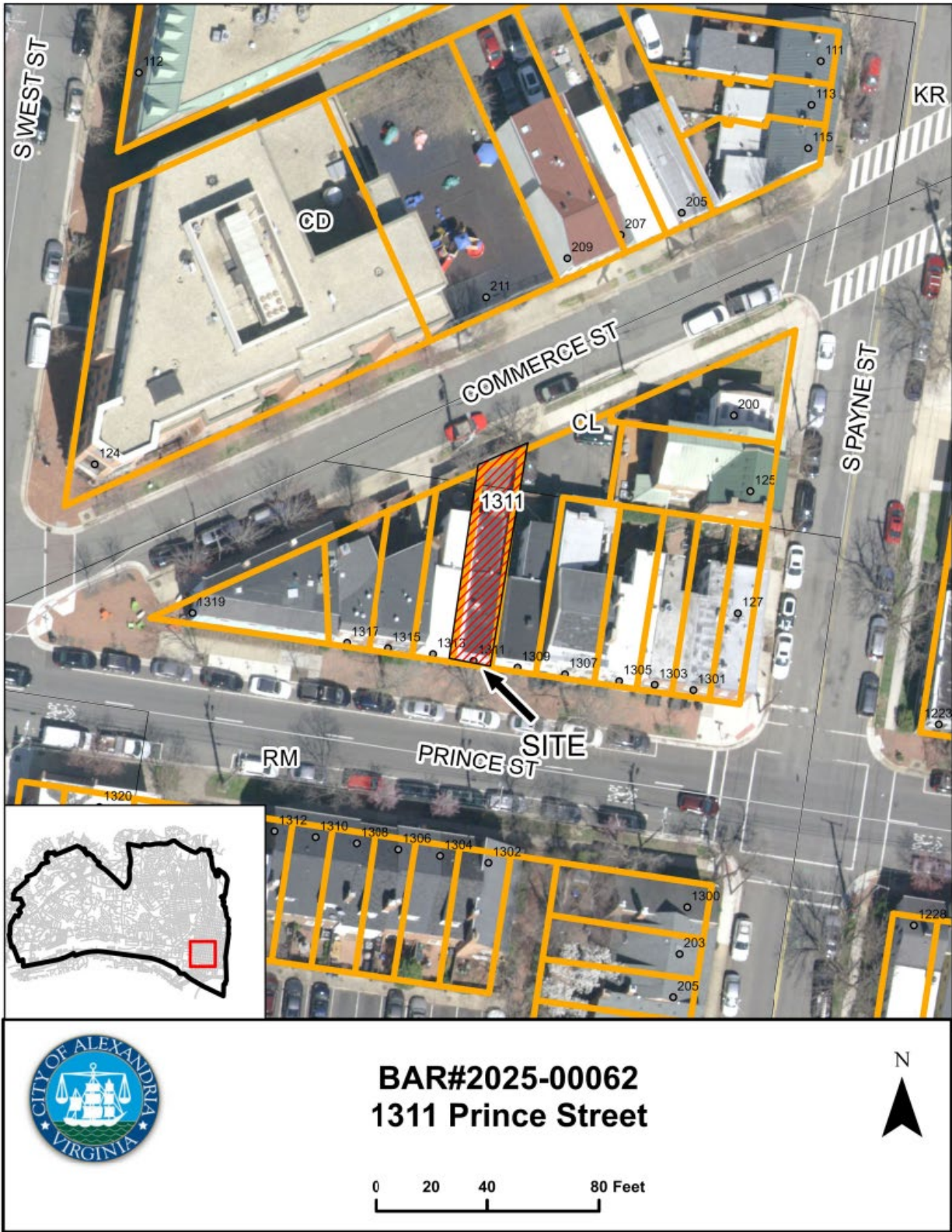
ZONE: RM

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness for alterations to install a new window on the first-floor rear (north) wall, replace the rear east-facing side door with a new 15-lite French door, and replace the asphalt roofing in-kind. The roof work does not require BAR approval because it is a flat roof and not visible from the public right-of-way.

Site context

The building is bound by Prince Street to the south, Commerce Street to the north, and attached townhouses to the east and west. The proposed alterations will be visible from Commerce Street.

II. HISTORY

The two story, two bay brick residence at 1311 Prince Street is part of a triplet, built along with the houses at 1309 and 1313 Prince Street. The structures do not appear on the Hopkins maps of 1877 but do appear with the current footprint on the 1885 Sanborn maps. This places their original construction some time between **1877** and **1885**.

Previous BAR Approvals

BAR #2010-00089	Replace fence
BAR #2022-00213	Repair/move fence and install gate
BAR #2024-00195	Install new exterior lighting

III. ANALYSIS

The applicant requests a Certificate of Appropriateness for alterations to install a new window on the first-floor rear (north) wall and replace the rear east-facing side door with a new wood 15-lite French door. A small amount of existing wall area on the north elevation will be demolished to create an opening for the new window, which will be a six-over-six Marvin Ultimate double-glazed wood window (Figure 1). The new 15-lite door will replace an existing 6-lite door.

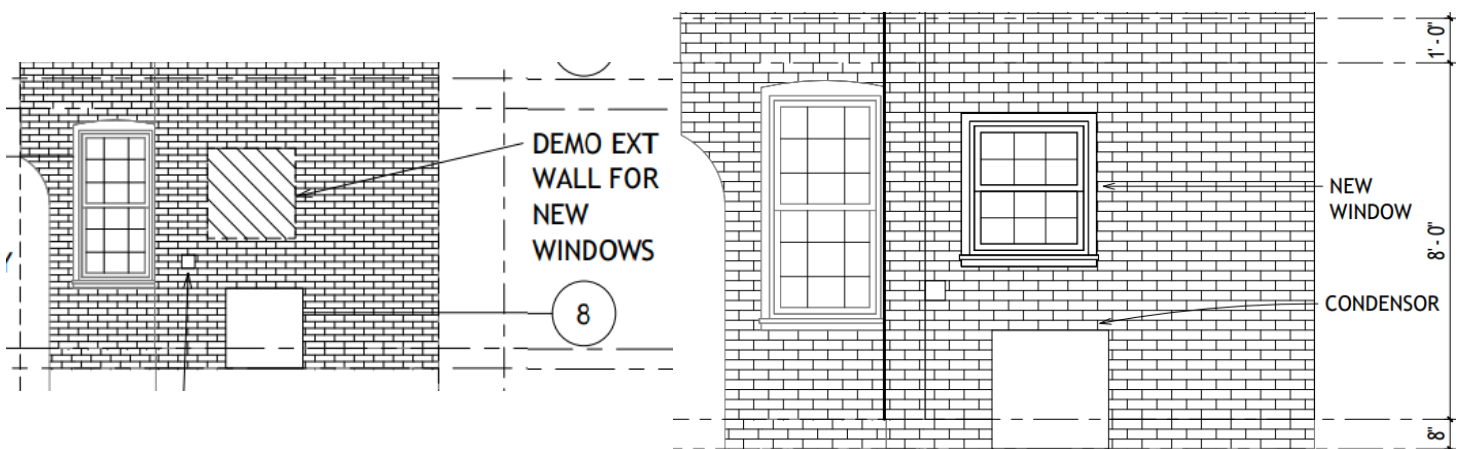


Figure 1. Drawing of proposed window

The *Design Guidelines* describes windows as important character defining features. Staff finds the proposed window to be an appropriate alteration to the house. After adding a window to the north elevation, the overall composition of the elevation would remain consistent with the secondary elevation of a typical historic structure. In 2020, neighboring 1309 Prince received BAR approval to add a new window to the rear (north) elevation (BAR #2020-00500). So, the proposed alteration would be similar to another that has been approved nearby. The proposed window also stylistically matches the other windows on the rear elevation, and the technical specifications meet the BAR's administrative approval guidelines for windows. Staff also finds the proposed 15-lite French door to be an appropriate change, as the existing door is not historic, and the appearance will largely remain the same when viewed from the street.

Overall, staff finds that the proposed alterations are appropriate and do not detract from the architectural character of the subject property or the surrounding neighborhood. Staff therefore recommends **approval** of the Certificate of Appropriateness for alterations, as submitted.

STAFF

Brendan Harris, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed demolition to create new door and windows will comply with Zoning.

Code Administration

A building permit is required.

Transportation and Environmental Services

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F1. After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C6. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No archaeology comments.

V. ATTACHMENTS

Application Materials

- Completed application
- Plans
- Material specifications
- Scaled survey plat if applicable
- Photographs
- Public comment, if applicable
- Any other supporting documentation

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*☐ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH*(Required if more than 25 square feet of a structure is to be demolished/impacted)*☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____

Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Cathleen Curtin

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Cathleen Curtin	1311 PRINCE ST	0 %
2. RL SHEEDY	1311 PRINCE ST	100%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1311 Prince St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. RL SHEEDY	1311 PRINCE ST	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

03.19.25

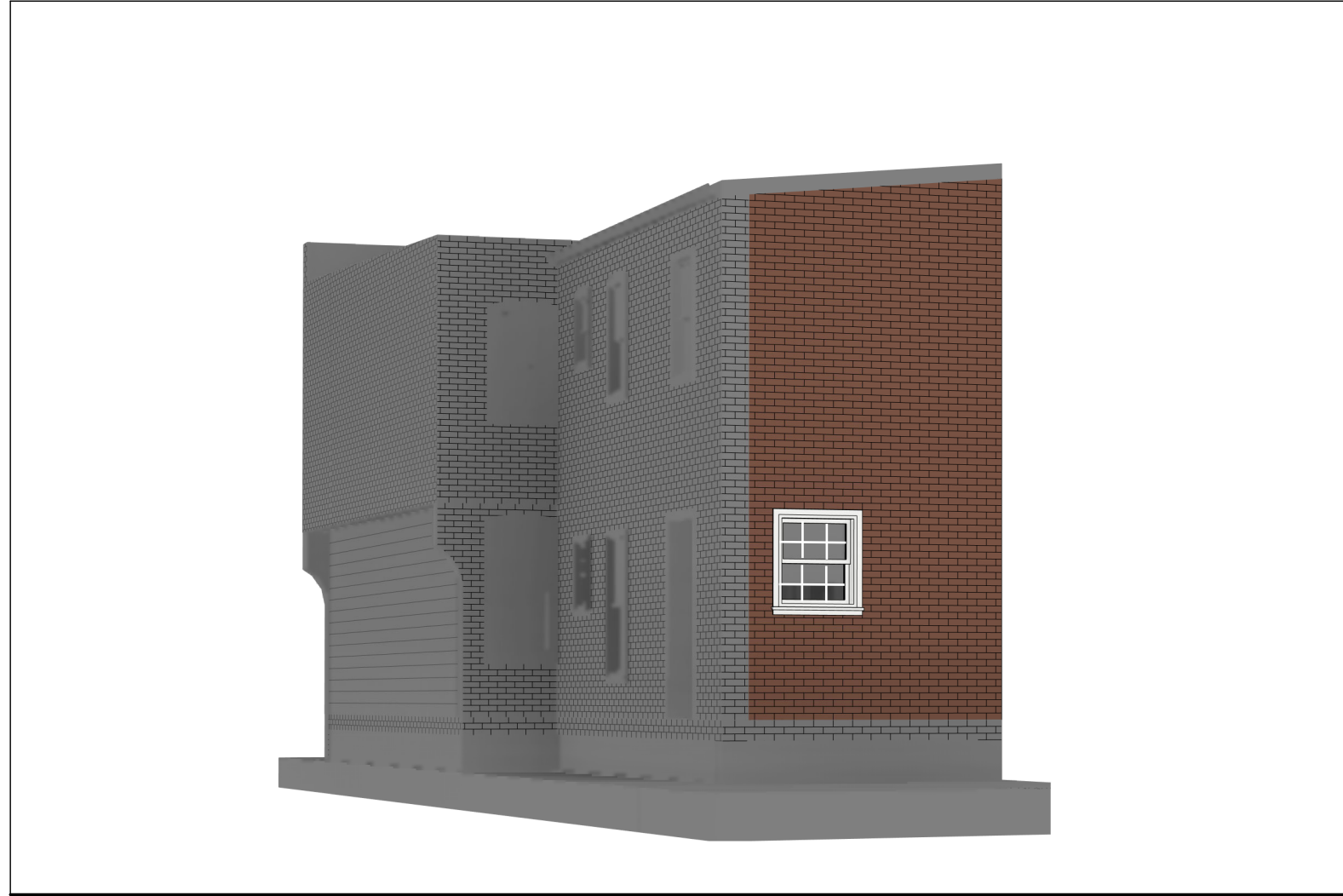
Date

CATHLEEN CURTIN

Printed Name

Cathleen Curtin
CATHLEEN CURTIN

Signature



BUILDING CODE DESIGN INFORMATION

- ZONE RM
- CONSTRUCTION TYPE- VB/BCOA 5A
- IEBC 2021
- NEC 2021
- 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC)
- VIRGINIA RESIDENTIAL CODE/VRC 2021
- NFPA NATIONAL ELECTRICAL CODE 2020

ASCE 7, MINIMUM DESIGN LOADS FOR BUILDINGS + OTHER STRUCTURES
ACI 530/ ASCE 6/ TMS/ 602 BUILDING CODE RQMTS FOR MASONRY CONSTRUCTION
LVL STRUCTURAL DESIGN PROPERTIES

SCOPE OF WORK : USE GROUP - RM, TOWNHOUSE
PLANS SUPPORT:

1. FIRST FLOOR REAR ADDITION OF A 1ST FLOOR WINDOW
2. NEW STRUCTURAL SUPPORT AND FRAMING WORK
3. NEW MECHANICAL/ ELECTRICAL/ PLUMBING IN KITCHEN

TOTAL BUILDING AREA	
AREA CALCULATIONS	
TOTAL LOT AREA	1057.0 SF
EXISTING HOUSE AREA	1179.0 SF (ABOVE GRADE)
TOTAL EXSITNG BLDG AREA	1179.0 SF, 81.8% OF LOT
NEW ADDITION	0.0 SF
TOTAL NEW ADDITION	0.0 SF, 14.60% OF LOT
NEW TOTAL BLDG AREA	0.0, 85.5% OF LOT
NEW LIVABLE AREA	
ABOVE GRADE 2 STORY LIVING AREA	1179.0 SF
NEW ADDITION AREA	0.0 SF
TOTAL NEW LIVABLE AREA	0.0 SF
BUILDING HEIGHT ALLOWED:	35.0 FT
BUILDING HEIGHT ACTUAL:	30.0 FT
FRONT YARD SETBACK ALLOWED	0.0 FT
FRONT YARD SETBACK ACTUAL	0.0 FT
SIDE YARD SETBACK ALLOWED	0.0 FT
SIDE YARD SETBACK ACTUAL	16.0 FT
REAR YARD SETBACK ALLOWED	16.0 FT
REAR YARD SETBACK ACTUAL	19.25 FT

1311 PRINCE STREET ALEXANDRIA, VIRGINIA 22314 NEW KITCHEN WINDOW

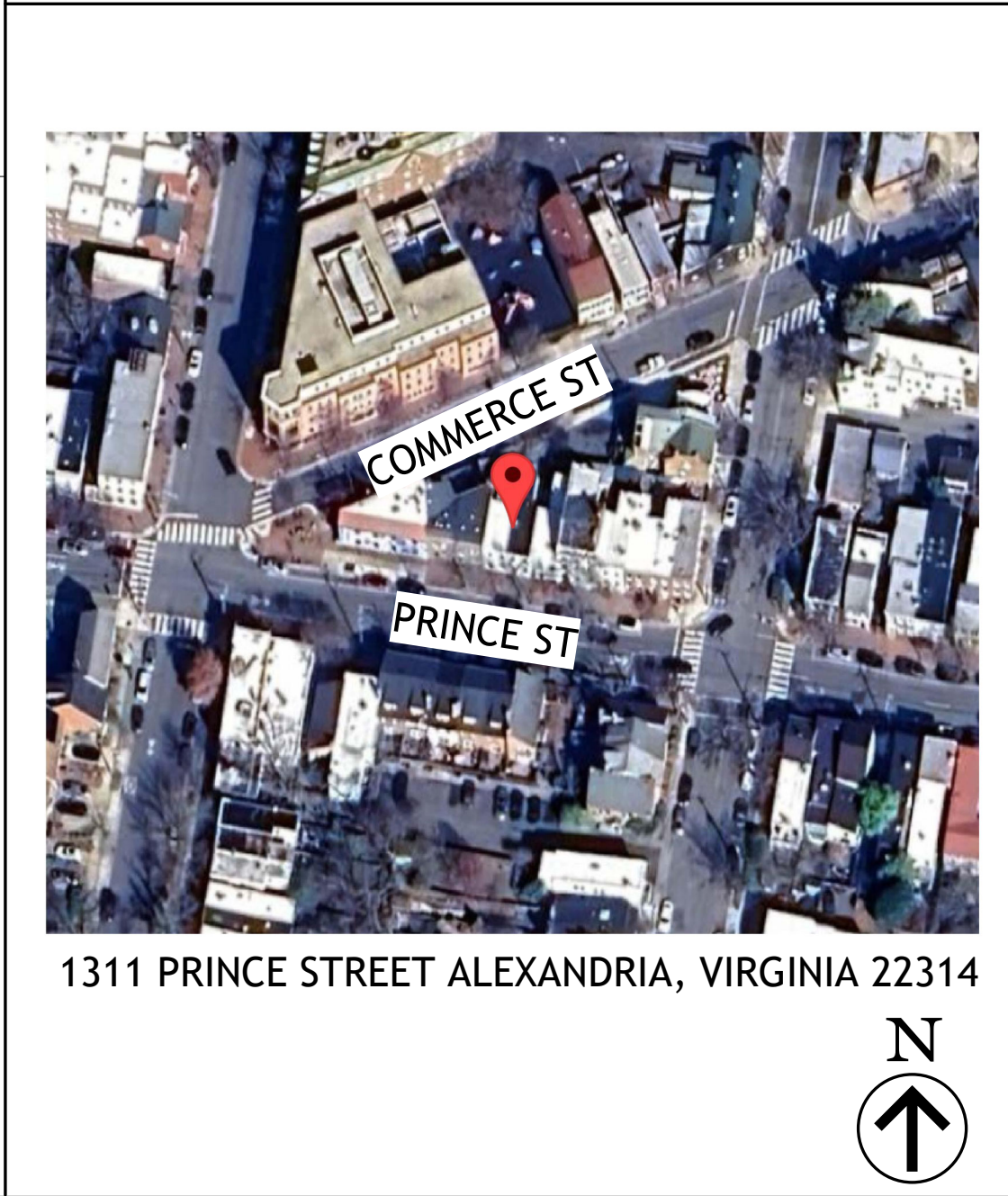
LOT 1311 PRINCE STREET
MAP# 074.01-02-21
PROPERTY OWNER R. L. SHEEDY

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO SURVEY AND VERIFY EXISTING GRADES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. DO NOT SCALE DRAWINGS. FIGURE DIMENSIONS SHALL GOVERN.
 - DIMENSIONS ARE SHOWN TO FACE OF DRYWALL UNLESS OTHERWISE NOTED.
 - COMPLY WITH ALL PRODUCT MANUFACTURER INSTRUCTIONS AND REQUIREMENTS CONCERNING STORAGE, HANDLING, PROTECTION, INSTALLATION, ADJUSTMENT, WARRANTY, ETC.
 - SLOPE MEMBRANE ROOF MIN 1/4" PER 12"
 - COMPLY WITH ALL REQUIREMENTS OF ROOFING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - ALL APPLIANCES, EQUIPMENT, FIXTURES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS

ENERGY COMPLIANCE	
MINIMUM INSULATION VALUES WINDOWS/ DOORS U 0.32 / SHGC 0.24 ROOF /CEILING R 49 WALLS (WOOD FRAMED) R 15 ROOF/CEILING INSULATION IS CLOSED CELL SPRAY FOAM, IMPERMEABLE, TIGHT TO THE UNDER SIDE OF THE ROOF SHEATHING. ALL LAMPS IN NEW LIGHT FIXTURES TO BE HIGH EFFICIENCY LED.	WITH UNDERSIDE OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
AIR BARRIER AND INSULATION INSTALLATION	
1. AIR BARRIER AND THERMAL BARRIER - A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.	7. CRAWL SPACE WALLS - WHERE PROVIDED IN LIEU OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS. EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
2. CEILING/ATTIC - THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	8. SHAFTS, PENETRATIONS - DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
3. WALLS - CAVITIES WITHIN CORNERS AND HEADERS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A MINIMUM THERMAL RESISTANCE OF R-3 PER INCH. THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.	9. NARROW CAVITIES - BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
4. WINDOWS, SKYLIGHTS AND DOORS - THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	10. RECESSED LIGHTING - RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL.
5. RIM JOISTS - RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER.	11. PLUMBING AND WIRING - BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
6. FLOORS (INCLUDING ABOVE-GARAGE AND CANTILEVERED FLOORS) - INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT	12. SHOWER OR TUB ON EXTERIOR WALL - EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED, AND AN AIR BARRIER SHALL BE INSTALLED ON THE INTERIOR SIDE OF THE EXTERIOR WALL, ADJACENT TO THE SHOWER OR TUB.
	13. ELECTRICAL/PHONE BOX ON EXTERIOR WALLS - THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
	14. HVAC REGISTER BOOTS - HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.

ABBREVIATION KEY			
AB - AS BUILT	CRS - COURSE	GYP - GYPSUM	PNL - PANEL
ABV - ABOVE	CSMT - CASEMENT	H - HIGH	PL - PROPERTY LINE
AC - ABOVE COUNTER	CT - COUNTERTOP	HH - HANDHELD	PTD - PAINTED
AD - AREA DRAIN	CTR - CENTER	HB - HOSE BIB	REC'D - RECESSED
ADJ - ADJUSTABLE	D - DEEP	HDWR - HARDWARE	REF - REFRIGERATOR
AFF - ABOVE FINISHED FLOOR	DBL - DOUBLE	HP/C - HEAT PUMP/ CONDENSER	RENO - RENOVATED
AFG - ABOVE FINISHED GRADE	DEMO - DEMOLISHED	HWH - HOT WATER HEATER	RFI - RIGID FOAM INSULATION
AH - AIR HANDLER	DIAM - DIAMETER	INT - INTERIOR	R + S - ROD + SHELF
AL - ALUMINIUM	DR - DOOR	INSLD - INSULATED	S - SHELVES
A/W - AREA WAY	DW - DISHWASHER	KIT - KITCHEN	SDL - SIMULATED DIVIDED LIGHT
BA - BEFORE	DWR - DRAWER	L - LONG	SIM - SIMILAR
B+B - BOARD+BATTEN	DWH- HOT WATER ON DEMAND	LAV - LAVATORY	SK - SCHEMATIC
BC - BELOW COUNTER	EA - EACH	LBW - LOAD BEARING WALL	SGL - SINGLE
BD - BOARD	ELEV - ELEVATION	LVL - LAMINATED VENEER LUMBER	SQ - SQUARE
BDRM - BEDROOM	ENCL - ENCLOSURE	MC - MEDICINE CABINET	STL - STEEL
BE - BASEMENT EGRESS	EQ - EQUAL	MLDG - MOLDING	SST - STAINLESS STEEL
BR - BRUSHED	EPB - ELECTRIC PANEL BOX	MT - MARBLE THRESHOLD	T - TREAD
BS - BACK SPLASH	EXT - EXTERIOR	MTD - MOUNTED	T+G - TONGUE+GROOVE
BEV CTR - BEVERAGE CENTER	EXSTG - EXISTING	MTL - MATERIAL	TTL - TOTAL
CAB - CABINET	EXP - EXPOSED	MW - MICROWAVE	TBD - TO BE DECIDED
CATV - CABLE TV	FDTN - FOUNDATION	NOM - NOMINAL	TEMP - TEMPERED
CH - CHROME	FIN - FINISHED	N - NEW	TYP - TYPICAL
CL - CLOSET	FOB - FACE OF BLDG	NA - NOT APPLICABLE	UCL - UNDER CABINET LIGHTS
CLG - CEILING	FTG - FOOTING	NTS - NOT TO SCALE	UPR - UPPER
CMU - CONCRETE MASONRY UNIT	FLR - FLOOR	OA - OVERALL	W - WIDE
CO - CASED OPENING	GC - GENERAL CONTRACTOR	OPNG - OPENING	W/- WITH
CONC - CONCRETE	GD - GARBAGE DISPOSAL	OPP - OPPOSITE	WC - WATER CLOSET
COND - CONDENSER	GL - GLASS	P - PANTRY/POWDER	WD - WOOD

DRAWING LIST GENERAL CS COVER SHEET
SPECIFICATIONS SP 1 SPECIFICATIONS 1 SP 2 SPECIFICATIONS 2 SP 3 SPECIFICATIONS 3
SITE SITE 1 EXSTG SITE PLAN SITE 2 EXTERIER PHOTOS OF EXISTING HOUSE
DEMOLITION AD 101 DEMO FOUNDATION + 1ST FLOOR PLAN AD 102 DEMO 2ND FLR + ROOF PLAN AD 103 DEMO EAST, WEST + SOUTH ELEVATIONS AD 104 DEMO AT BUILDING SECTION
ARCHITECTURAL A 101 NEW FOUNDATION + 1ST FLOOR PLAN A 102 NEW 2ND + ROOF FLOOR PLAN A 103 NEW KITCHEN REFLECTED CEILING PLAN A 201 NEW EAST ELEVATION A 202 NEW BUILDING SECTIONS A 203 WALL SECTIONS A 301 NEW FOUNDATION + KITCHEN PLAN A 302 RENOVATED BATHROOM PLAN W/ INTERIOR ELE A 303 NEW KITCHEN INTERIOR ELEVATIONS A 401 DOOR, WINDOW + ROOM FINISH SCHEDULE
STRUCTURE S100 STRUCTURAL PLANS
MECHANICAL M100 MECHANICAL PLANS
ELECTRICAL E100 ELECTRICAL SPECS NOTES + SCHEDULES E100 ELECTRICAL LIGHTING + POWER PLANS
PLUMBING P100 PLUMBING FLOOR PLANS



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ALEXANDRIA VA
703 200 9534

1311 PRINCE ST,
ALEXANDRIA, VA
22314

PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE COMMONWEALTH OF VIRGINIA.

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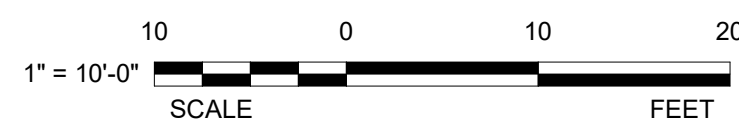
COVER SHEET

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CS

Scale



Scale	
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REPLACE EXISTING DOOR
W/15 LITE FRENCH DOOR

PARTIAL VIEW OF EAST ELEVATION



NORTH ELEVATION VIEW AT REAR

NEW WINDOW
LOCATION

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EXTERIOR PHOTOS OF
EXISTING HOUSE

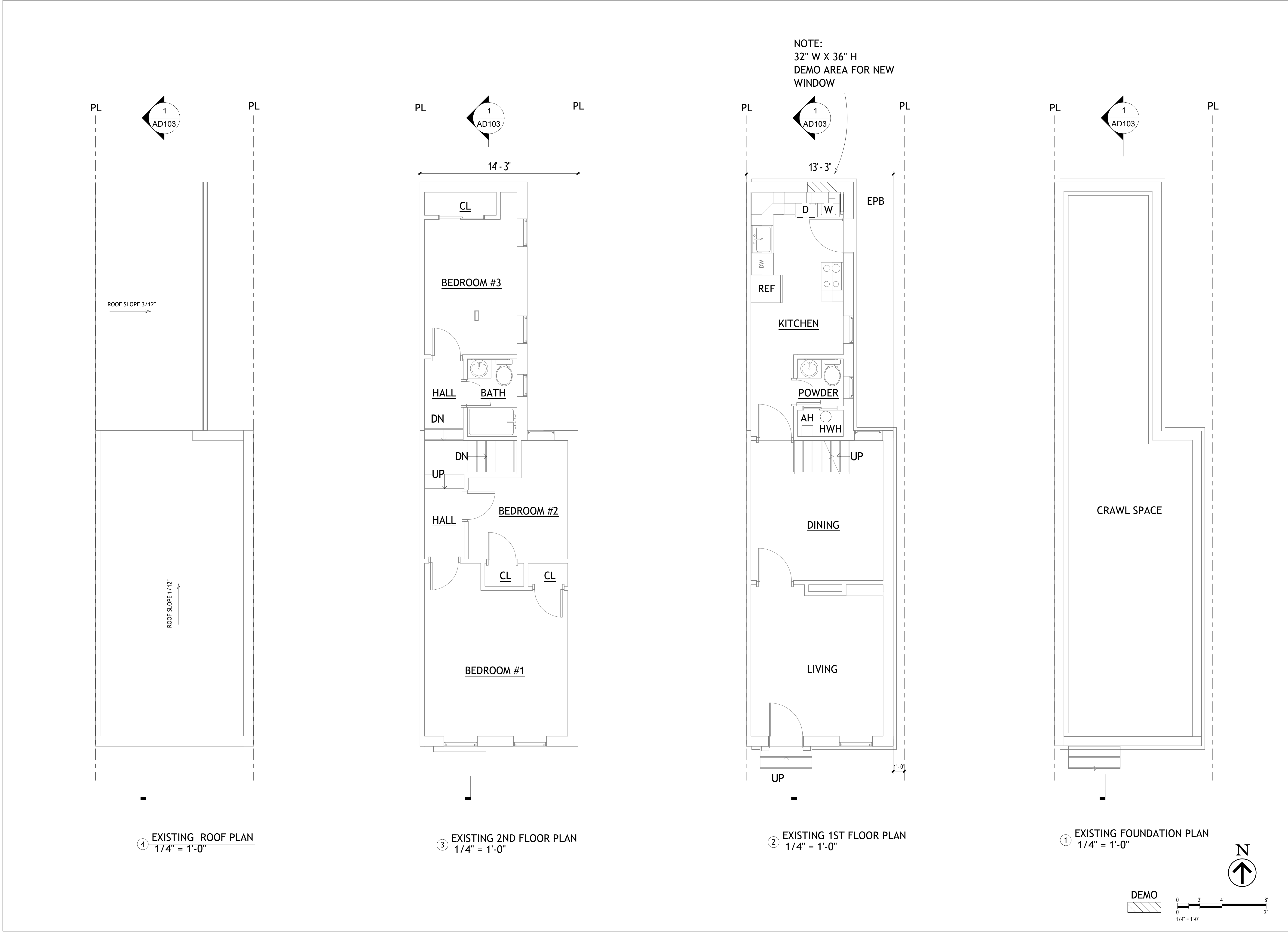
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SITE 2

Scale

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DEMO FLOOR PLANS

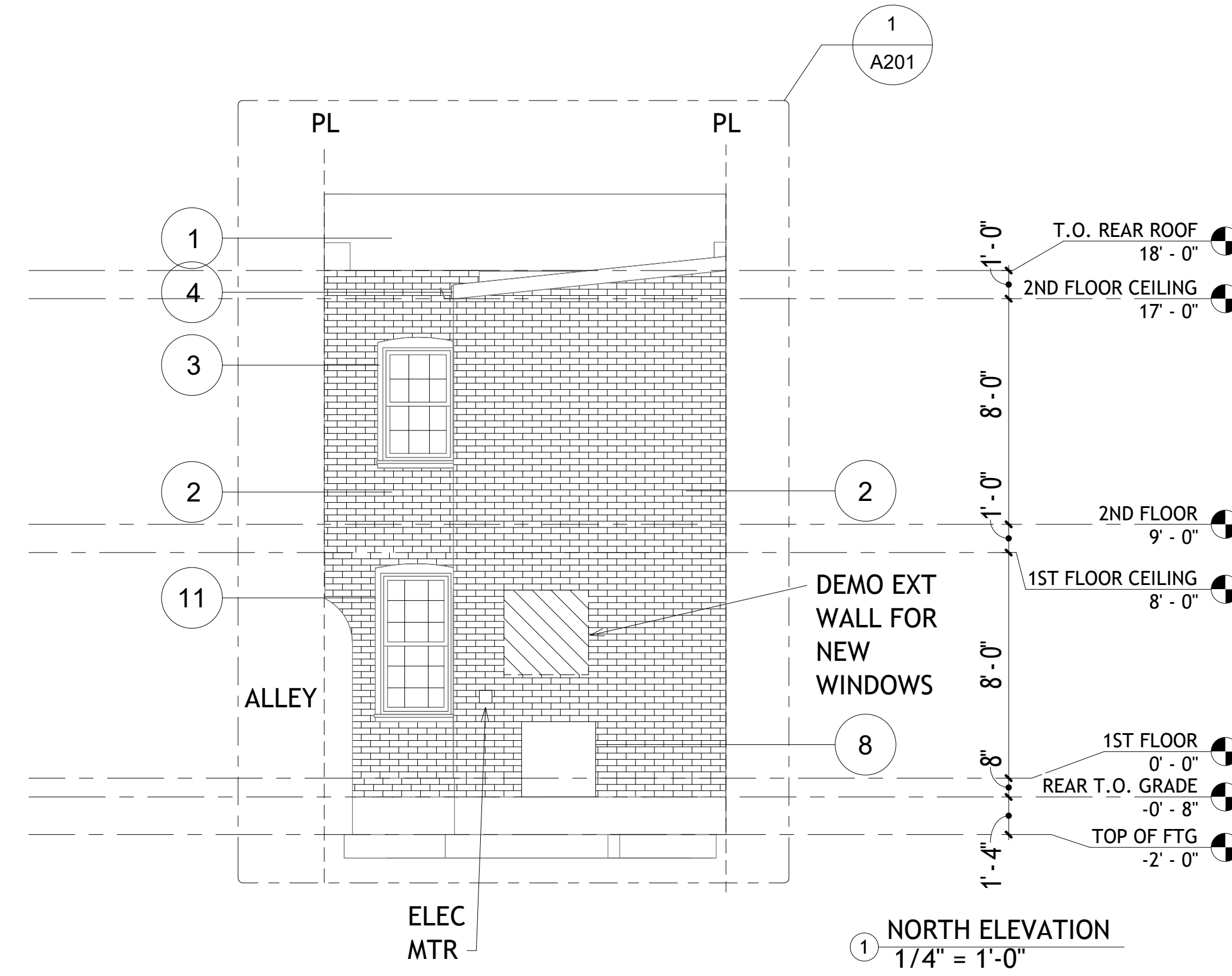
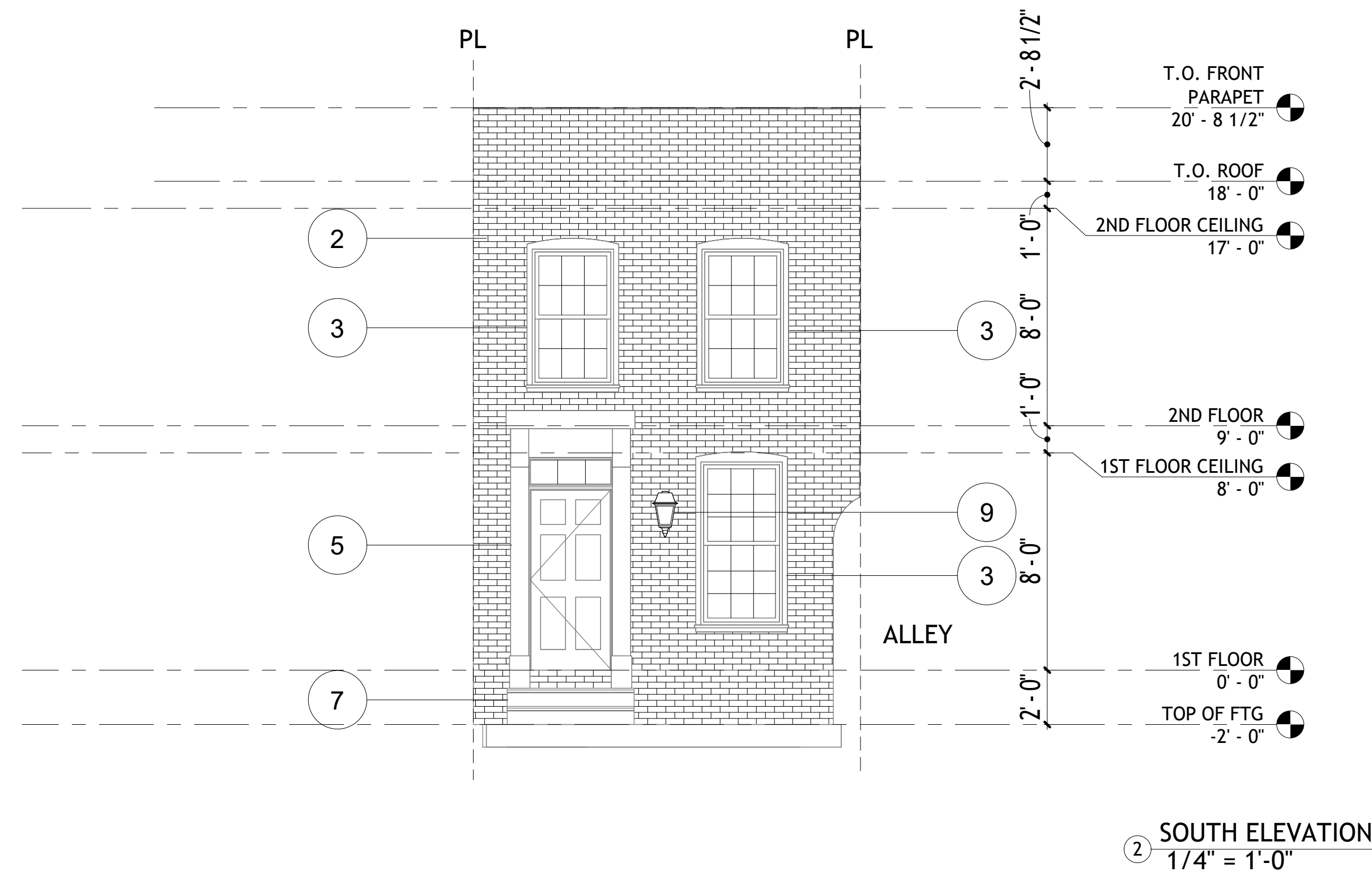
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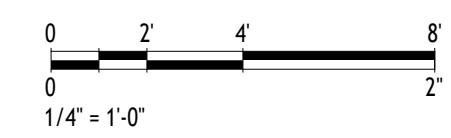
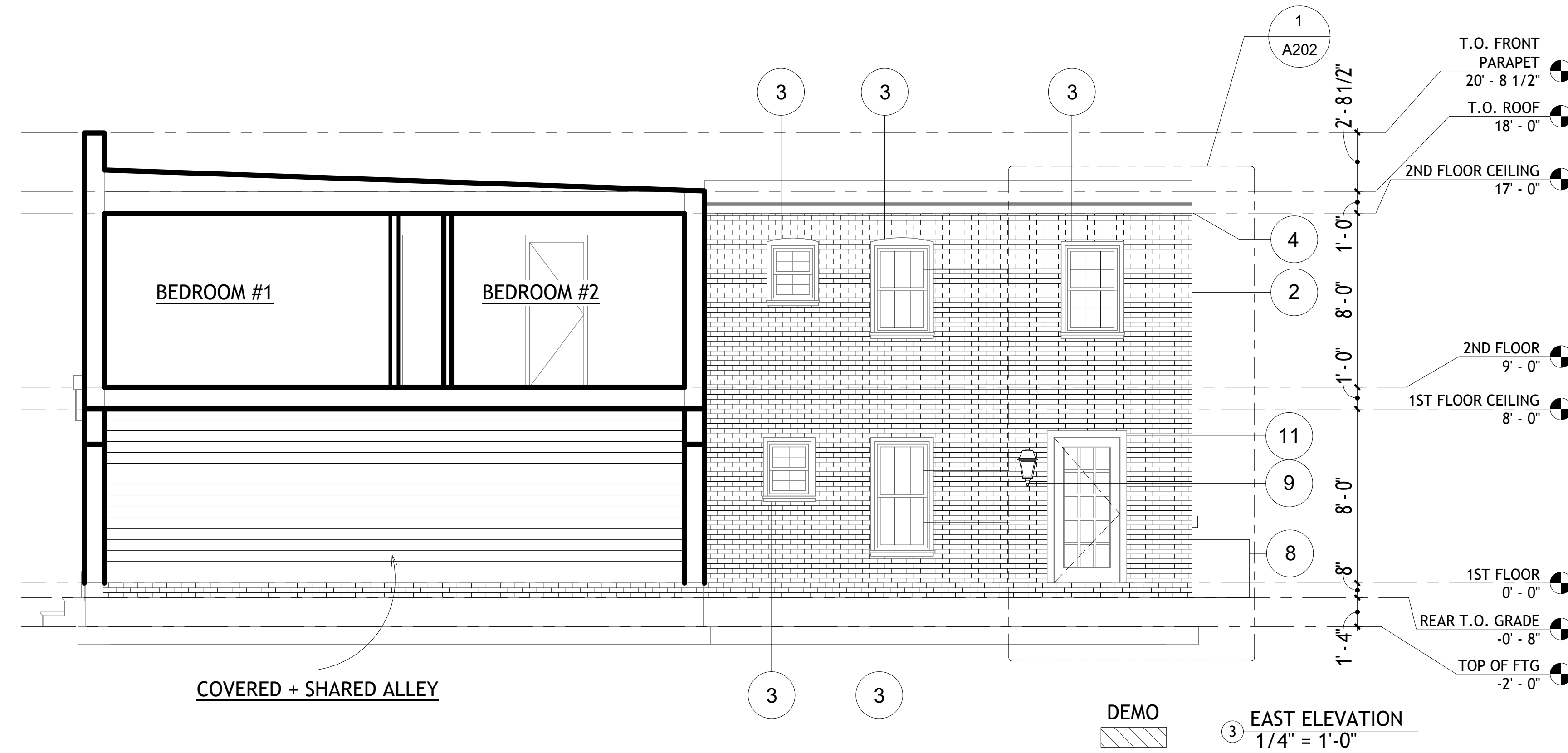
AD101

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#	MATERIAL
1	TPO ROOFING MEMBRANE
2	EXSTG BRICK
3	3/4" X 4" TRIM
4	3/4" X 8" WOOD FASCIA + RAKE BD, 12" OH
5	EXSTG FRONT DOOR W/ TRANSOM
6	EXSTG KITCHEN DOOR
7	EXSTG RAILING + STEPS
8	EXSTG HVAC CONDENSER
9	EXSTG EXTERIOR LIGHTS
10	NEW ASPHALT ROOFING TO MATCH EXISTING
11	NEW WINDOW AND DOOR



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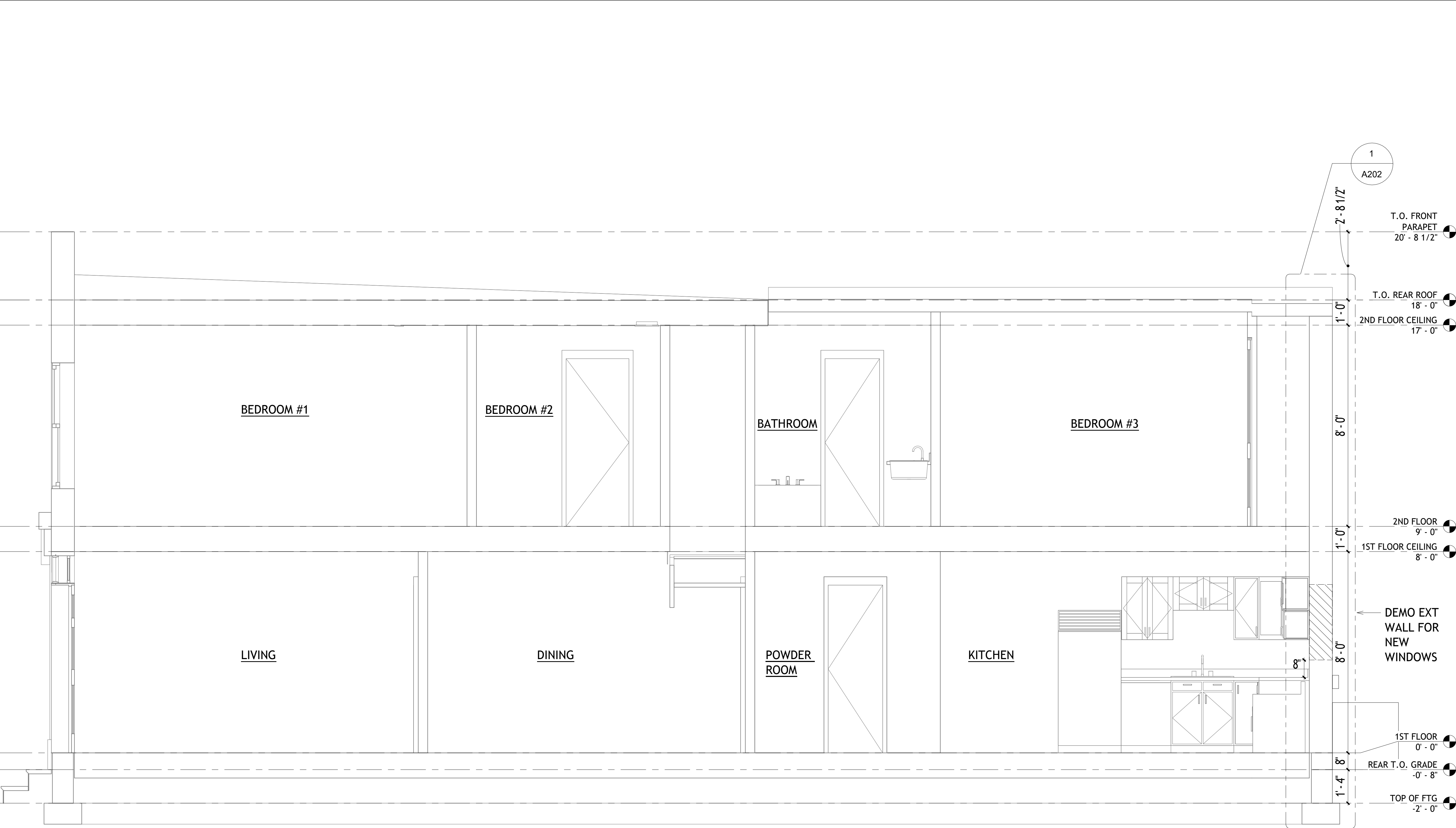
NORTH, SOUTH AND EAST
ELEVATIONS

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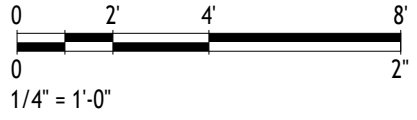
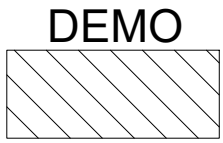
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AD102

Scale 1/4" = 1'-0"



1 NO - SO BUILDING SECTION
1/2" = 1'-0"



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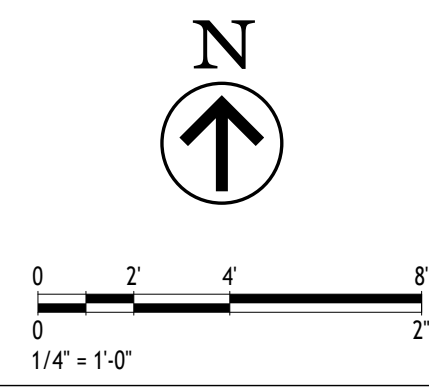
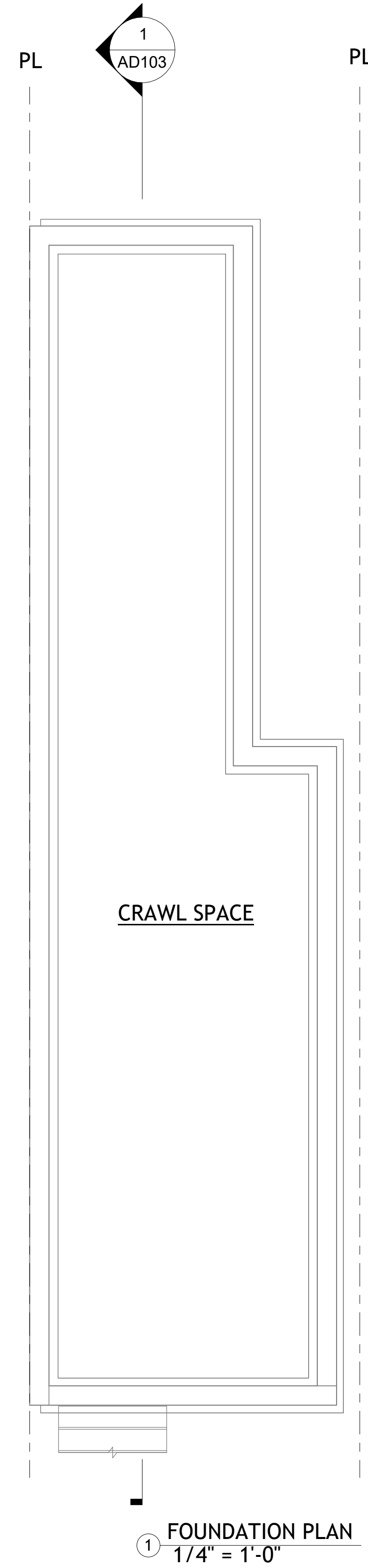
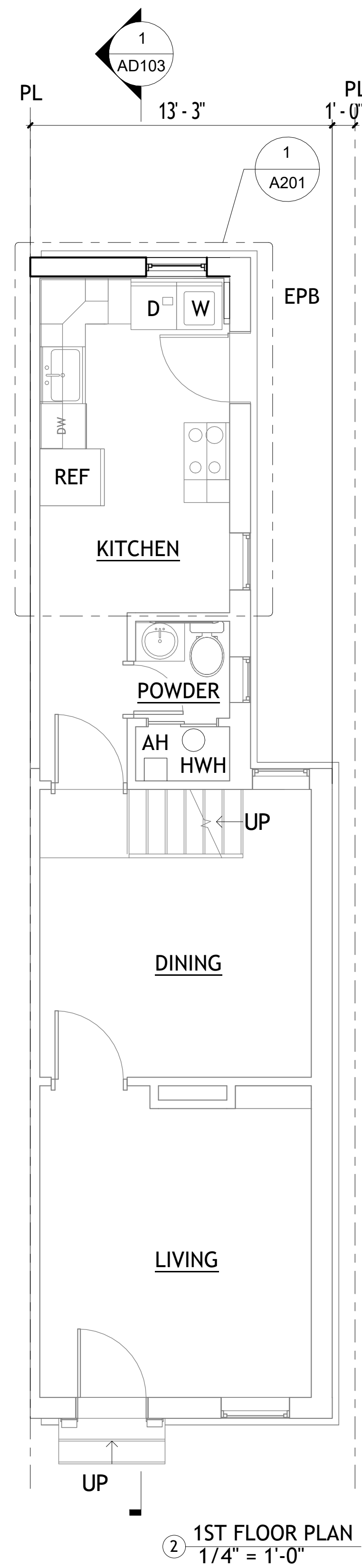
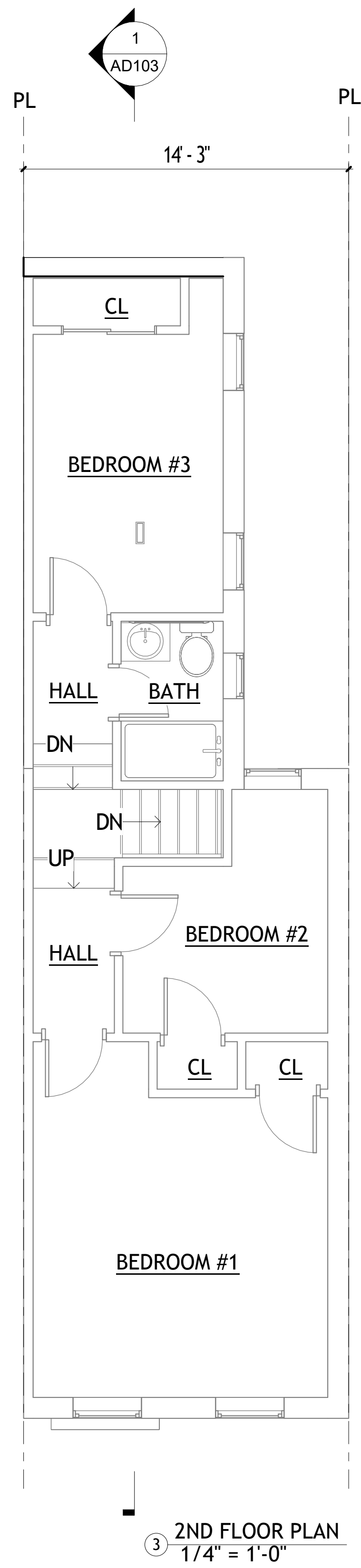
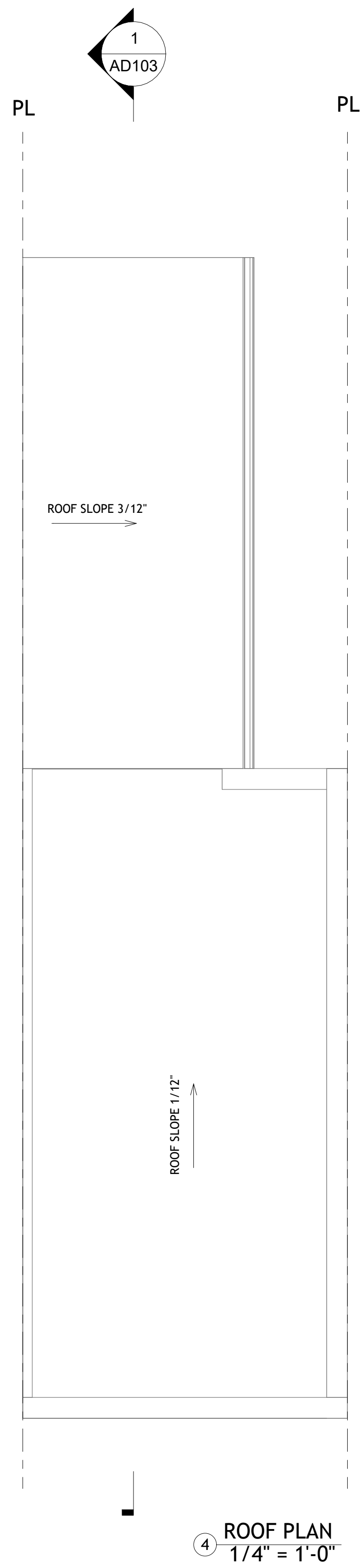
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AD103

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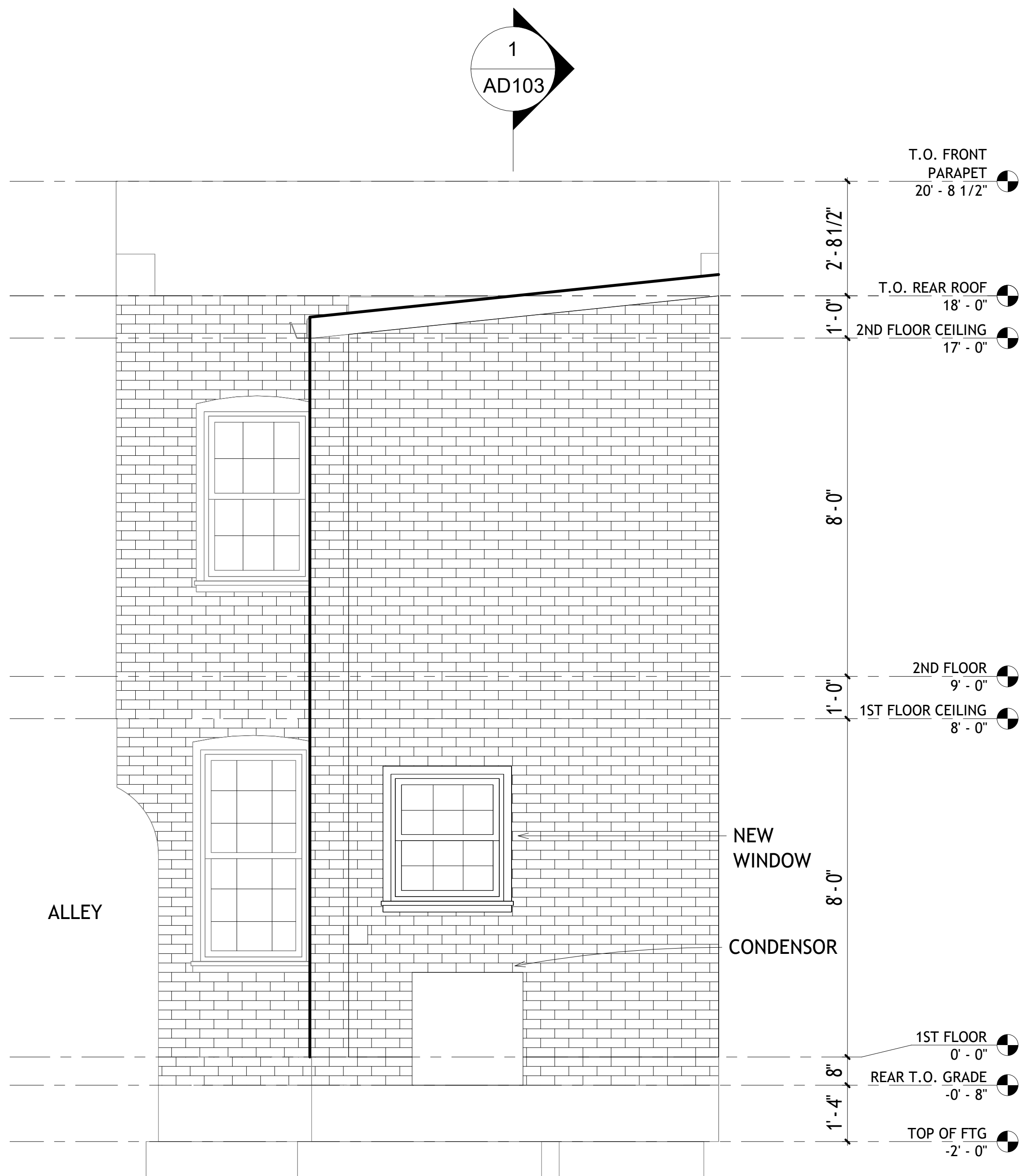
NEW KITCHEN PLANS

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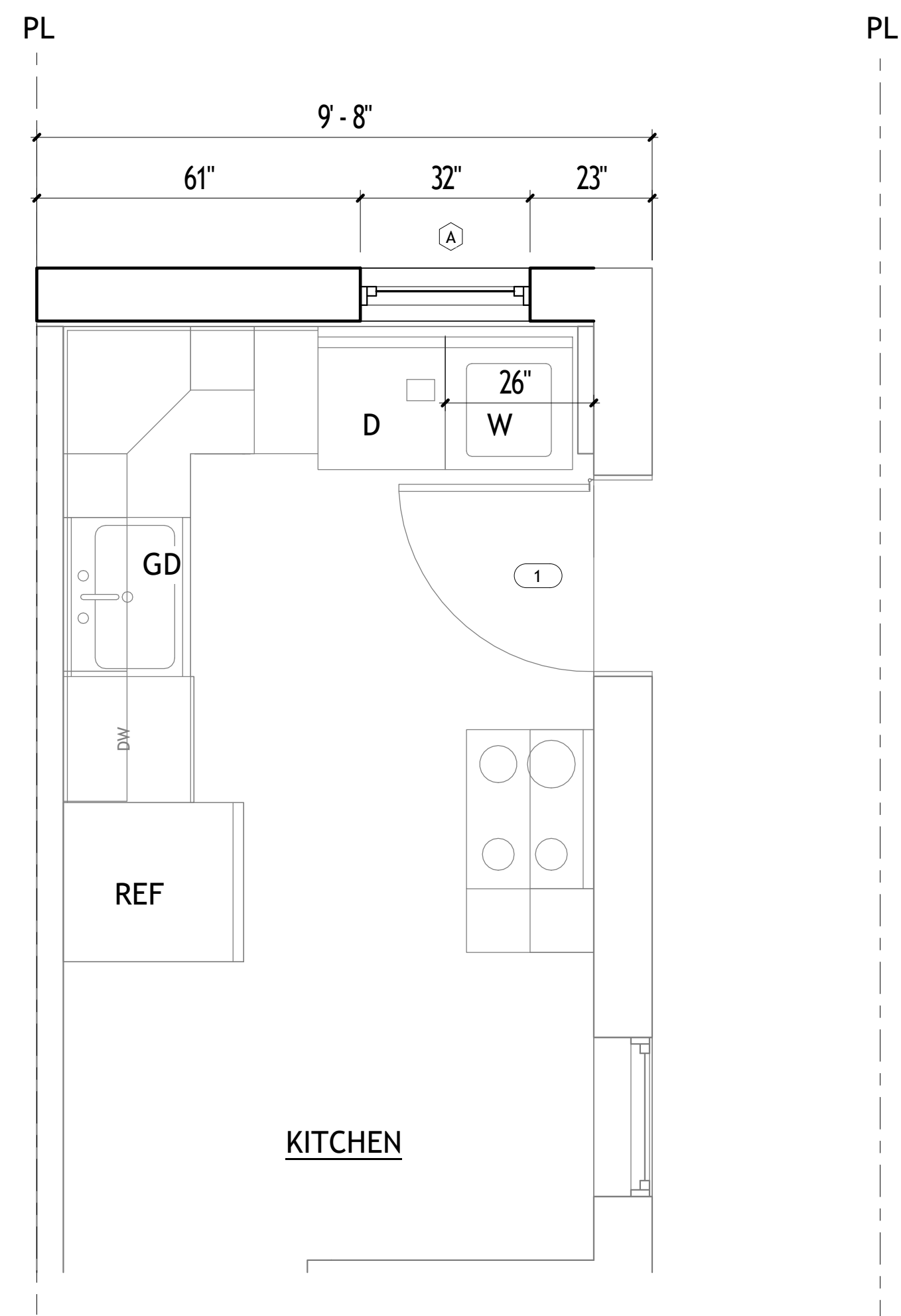
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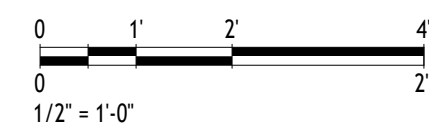
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REAR WINDOW ELEVATION
DETAIL
① 1/2" = 1'-0"



② 1ST FLOOR PLAN DETAIL
1/2" = 1'-0"



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**NEW PLAN + ELEVATION
DETAILS**

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A201

Scale	1/2" = 1'-0"
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DOOR SCHEDULE

#	ROOM	DOOR PANEL SIZE (INCHES)	DOOR	HINGE TYPE	HARDWARE	FINISH	GLASS	NOTES
1	KITCHEN EXTERIOR DOOR	32" W X 80" H	FRAMED, INSULATED 15 LITE FRENCH DOOR, RECTANGULAR SDL, PRIMED WHITE WOOD, MARVIN ULTIMATE	INSWING	DBL PULL W/ MULTI POINT LOCKING SYTEM, KEYED SECURITY DEADBOLT	PRIMED PINE WHITE FINISH INT + EXT.; SATIN NICKEL, LEVER	INSUL, TEMPERED, DBL GLAZED	2 1/4" PANEL, CLEAR GLASS, SDLS (SIM DIV LITE W/ SPACE BAR), EXT SATIN NICKEL KICK PLATE

WINDOW SCHEDULE

#	ROOM	SIZE (INCHES)	TYPE	GLASS	FINISH	NOTES
A	MAIN FLOOR KITCHEN, MARVIN ULTIMATE	32"W X 36" H	PRIMED WHITE WOOD (EXT/INT), 6 OVER 6, SDLS (SIM DIV LITE W/ SPACE BAR), DOUBLE HUNG	INSUL/ TEMPERED/ DBL GLAZED	HARDWARE SATIN NICKEL	

ROOM FINISH SCHEDULE

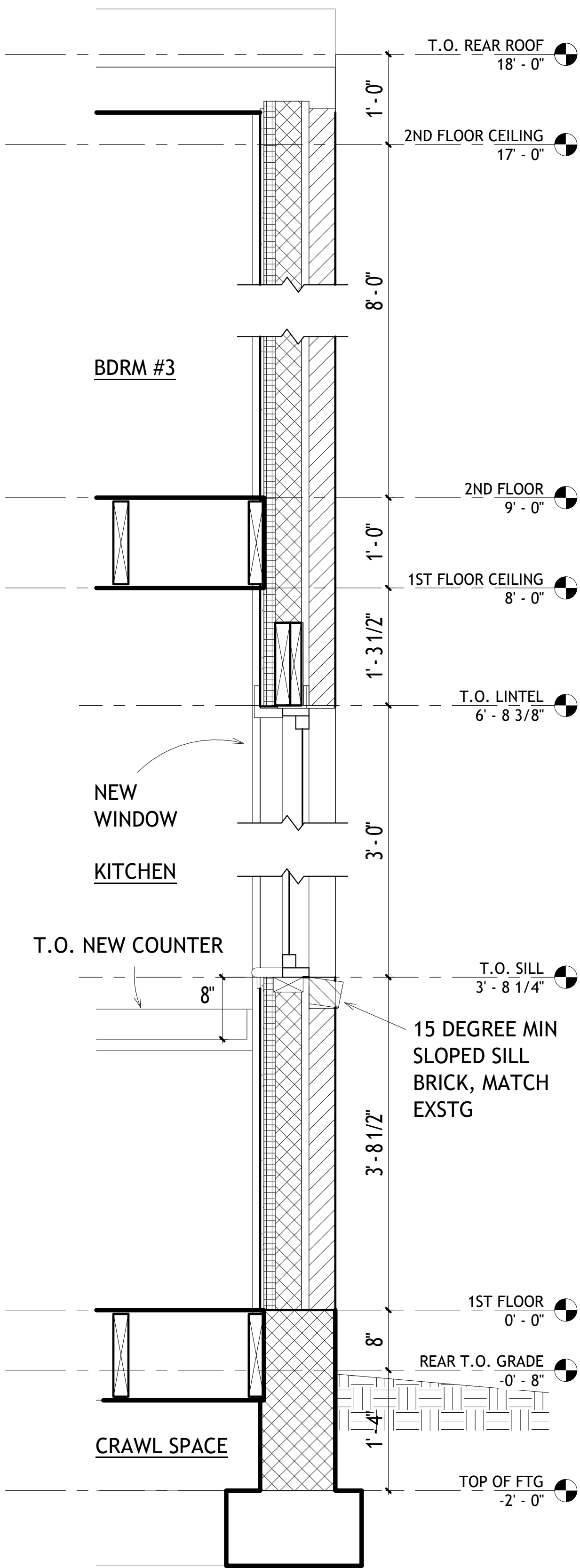
ROOM	FLOORS	WALLS	CEILINGS	TRIM + CABINETS	NOTES
KITCHEN	NA	EGGSHELL PAINT FINISH	FLAT	NA	NEW COUNTER W/ 4" H INTEGRATED BACK SPLASH

GENERAL TRIM + MOULDING NOTES

- 1. EXSTG EXT. DOOR + WINDOW TRIM IS 4" X ¾" FLAT, MATCH EXSTG
- 2. DOOR + CASED OPNG WITH PLINTH TO MATCH EXSTG INT.
- 3. WINDOWS HAVE STOOL AND APRON MATCH EXSTG

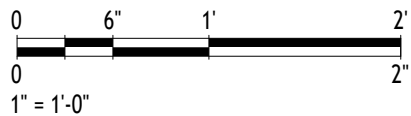
GENERAL NOTES FOR DOORS + WINDOWS MARVIN ULTIMATE

- 1. PRIMED WOOD EXT. W/ PRIMED WOOD INTERIOR
- 2. STUD FRAME DIMENSION 5.5 X 3.5 W (SIGHTLINES)
- 3. INTEGRAL FLAT CASING MOLD W/ NAILING FIN.
- 4. ALL OPERABLE WINDOWS TO HAVE WINDOW OPENING CONTROL DEVICE + MULTIPOINT LATCH ACTUATOR
- 5. STD. ALUMINIUM FRAMED MESH SCREEN AT ALL WINDOWS
- 6. ALL EXT WINDOW TRIM TO MATCH EXSTG W/ AZEK TRIM
- 7. ALL DOORS TO HAVE HINGE STOPS-NO DOOR STOP
- 8. GLAZING U-FACTOR 0.55
- 9. SHGC VALUE-0.40
- 10.SAFETY GLAZING: PLEASE NOTE THAT SAFETY GLAZING IS REQUIRED IN HAZARDOUS LOCATIONS (REF.2015 IRD R308.1 AND R308.4)



NO - SO BUILDING SECTION

CALLOUT
1" = 1'-0"



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NEW WALL SECTION DETAIL
+ DOOR + WINDOW
SCHEDULE

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