

OWNER/APPLICANT

WOODBINE PROPERTY I LLC
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BRICK, NJ 08724
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7712 LITTLE RIVER TURNPIKE
ANNANDALE, VA 22003
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CONSULTING ARCHITECT

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723 ELECTRONIC DRIVE, SUITE 300
HORSHAM, PA 19044
CONTACT: RYAN McDERMOTT
EMAIL: mcdermott@brommerarchitects.com

ZONING TABULATIONS

2729 KING STREET, ALEXANDRIA, VA 22302
TAX MAP: 052.02-06-05

1) ZONING	EXISTING ZONING: R-8	PROPOSED ZONING: RB	
2) EXISTING USE	NURSING HOME		
3) PROPOSED USE	NURSING HOME		
4) TOTAL SITE AREA	167,165 SF		
5) EXISTING IMPERVIOUS AREA	102,608 SF		
6) PROPOSED IMPERVIOUS AREA	110,103 SF (INCLUDES EXISTING)		
7) TOTAL DISTURBED AREA	36,400 SF		
8) REQUIRED LOT AREA	N/A		
9) PROVIDED LOT AREA	N/A		
10) AVERAGE LOT AREA	N/A		
11) MIN. LOT AREA	N/A		
12) MIN. LOT WIDTH	N/A		
13) MAXIMUM DENSITY	N/A		
14) DENSITY	N/A		
11) GROSS & NET FLOOR AREA			
DESCRIPTION	GROSS FLOOR AREA (sq ft)	NET FLOOR AREA (sq ft)	COMMENTS
EX. BUILDING	101,110	85,039	PER FAR EXHIBIT 1/21/22
PORTION OF EX. BUILDING TO BE DEMOLISHED	6,068	6,068	
SUBTOTAL (EX. BUILDING TO REMAIN)	95,042	78,971	
PROP. BUILDING ADDITION	31,909	26,817	
TOTAL (EX. BUILDING TO REMAIN PLUS BUILDING ADDITION)	126,951	105,788	
12) MAXIMUM PERMITTED FAR 0.75			
13) FAR CALCULATIONS			
DESCRIPTION	FLOOR AREA RATIO		
EX. BUILDING TO REMAIN	0.472		
PROP. BUILDING ADDITION	0.161		
OVERALL (EX. BUILDING TO REMAIN PLUS BUILDING ADDITION)	0.633		
14) EXISTING STORAGE TO REMAIN 456 SF			

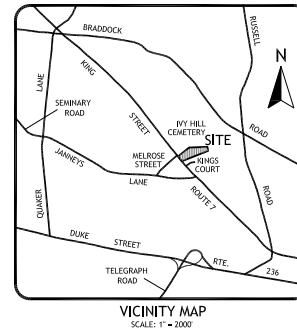
* SEE "DSUP AND MODIFICATIONS REQUESTED".

15) TOTAL NUMBER OF BEDS		307 (NO CHANGE FROM EXISTING)		
		EX. BLDG. TO REMAIN	PROP. BLDG. ADDITION	
16) MAX. PERMITTED BLDG. HEIGHT		45 FT.	35 FT.	
17) PROP. BLDG. HEIGHT		40 FT.	42 FT.	
18) AVG. BLDG. FINISHED GRADE		152.4 FT.	158.8 FT.	
19) NUMBER OF FLOORS		4 (3 ABOVE + BASEMENT)	3 (NO BASEMENT)	
20) REQUIRED MIN. BLDG. SETBACKS				
FRONT		N/A	20 FT.	
NORTHERN SIDE		40 FT.	42 FT.	
SOUTHERN SIDE		40 FT.	42 FT.	
REAR		40 FT.	N/A	
21) PROPOSED MIN. BLDG. SETBACKS				
FRONT		N/A	20 FT.	
NORTHERN SIDE		40 FT.	42 FT.	
SOUTHERN SIDE		40 FT.	42 FT.	
REAR		40 FT.	N/A	
22) REQUIRED MIN. ZONE SETBACKS				
FRONT		N/A	20 FT.	
NORTHERN SIDE		N/A	42 FT.	
SOUTHERN SIDE		N/A	42 FT.	
REAR		N/A	42 FT.	
23) PROPOSED MIN. ZONE SETBACKS				
FRONT		N/A	20 FT.	
NORTHERN SIDE		N/A	42 FT.	
SOUTHERN SIDE		N/A	42 FT.	
REAR		N/A	42 FT.	
24) LOT FRONTAGE REQUIRED		50 FT.		
25) LOT FRONTAGE PROVIDED		167 FT.		
26) OPEN SPACE REQUIRED		N/A		
27) OPEN SPACE PROVIDED		N/A		
28) TOTAL EXISTING PARKING ON SITE 143 (5 STANDARD + 132 COMPACT + 6 HANDICAPPED) ^B				
29) TOTAL REQUIRED PARKING 154 (307 TOTAL BEDS @ 1 SPACE/2 BEDS)				
30) TOTAL PROVIDED PARKING 154				
	REQUIRED PARKING	EX. PARKING TO REMAIN	PROP. PARKING	TOTAL PROVIDED PARKING
31) STANDARD PARKING	39	5	12	17
32) COMPACT PARKING	0	115	16	+131
33) HANDICAPPED PARKING	6	1	5	6
	REQUIRED LOADING	EX. LOADING TO REMAIN	PROP. LOADING	TOTAL PROVIDED LOADING
34) LOADING SPACES	5	2	0	4
35) EXISTING TRIP GENERATION 728 TPD (53 PEAK AM, 68 PEAK PM)				
36) PROPOSED TRIP GENERATION 728 TPD (53 PEAK AM, 68 PEAK PM)				
37) CROSSWALKS (NUMBER):				
STANDARD 1 0 0				
HIGH VISIBILITY 0 0 0				
38) CURB RAMPS 2 0 0				
39) SIDEWALKS (LF) 380 0 0				
40) BICYCLE PARKING (NUMBER SPACES):				
PUBLIC/VISITOR N/A N/A				
PRIVATE/GARAGE N/A N/A				
41) BICYCLE PATHS (LF) N/A N/A				
42) PEDESTRIAN SIGNALS N/A N/A				

NOTES:

a) SEE "ZONE TRANSITION SETBACK SCHEMATIC" ON SHEET 2 FOR ADDITIONAL INFO
b) PER MAY 2022 SITE SURVEY

PRELIMINARY DEVELOPMENT SITE PLAN WOODBINE CITY OF ALEXANDRIA DSUP 2022-10014



PROJECT NARRATIVE:

REQUEST FOR A MASTER PLAN AMENDMENT TO AMEND MAP 14 TO ALLOW A BUILDING HEIGHT UP TO 45 FT., REZONING FROM THE R-8 DISTRICT TO THE RB DISTRICT, AND APPLICATION FOR A DEVELOPMENT SPECIAL. USE PERMIT TO CONSTRUCT A 3-STORY ADDITION CONTAINING APPROXIMATELY 31,909 SQUARE FEET TO THE EXISTING WOODBINE REHABILITATION & HEALTHCARE CENTER TO FACILITATE ADDITIONAL PRIVATE ROOMS WHILE MAINTAINING THE TOTAL NUMBER OF EXISTING LICENSED BEDS.

EXISTING APPROVALS THAT APPLY TO THE SUBJECT SITE:

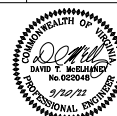
- SUP #2002
- SUP #97-0053
- EXISTING TREE PROTECTION EASEMENT, RECORDED UNDER INST. #160010326

"DSUP AND MODIFICATIONS REQUESTED:

- MASTER PLAN AMENDMENT TO AMEND MAP 14 TO ALLOW A BUILDING HEIGHT UP TO 45 FT.
- REZONING FROM THE R-8 TO THE RB DISTRICT.
- DEVELOPMENT SPECIAL USE PERMIT FOR "NURSING HOME" ADDITION.
- MODIFICATION TO BUILDING SETBACKS ALONG SIDE YARDS AS FOLLOWS:
 - NORTH SIDE YARD MODIFICATION FOR THE EXISTING BUILDING FROM 40 FT. TO 20 FT. AND FOR THE PROPOSED ADDITION FROM 42 FT. TO 38 FT.
 - SOUTH SIDE YARD MODIFICATION FOR THE EXISTING BUILDING FROM 40 FT. TO 20 FT. AND FOR THE PROPOSED ADDITION FROM 42 FT. TO 27 FT.
- MODIFICATION TO ZONE TRANSITION SETBACK ALONG SOUTHERN BOUNDARY FOR THE PROPOSED ADDITION FROM 42 FT. TO 27 FT.
- MODIFICATION TO ALLOW GREATER THAN 50% OF THE SOUTHERN SIDE YARD FOR PARKING.
- MODIFICATION TO ALLOW REDUCTION IN LOADING FROM 5 TO 2 SPACES.
- SPECIAL USE PERMIT FOR A PARKING REDUCTION TO INCREASE PERMITTED NUMBER OF COMPACT SPACES FROM MAX. 75% TO 85%.

BUILDING CODE SUMMARY - ADDITION ONLY	
APPLICABLE CODES (VIRGINIA STATEWIDE BUILDING CODES)	USE GROUP
VIRGINIA BUILDING & FIRE CODE RELATED REGULATIONS	2018 IBC = I-2 INSTITUTIONAL
VIRGINIA CONSTRUCTION CODE	2018 NFPA = HEALTH CARE
VIRGINIA STATEWIDE FIRE PREVENTION CODE	2018
VIRGINIA ENERGY CONSERVATION CODE	2018
VIRGINIA EXISTING BUILDING CODE	2018 CONSTRUCTION TYPE
VIRGINIA FUEL GAS CODE	2018 VUBC = IA
VIRGINIA MECHANICAL CODE	2018 NFPA = II(111)
VIRGINIA PLUMBING CODE	2018
VIRGINIA MAINTENANCE CODE	2018 SPRINKLERED = YES
INTERNATIONAL FIRE CODE	2018 STORIES = 3

SEE SHEET 13 FOR FLOOR AREAS PER FLOOR



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7712 Little River Turnpike
Annandale, VA 22003
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Fax: 703.642.8251
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SHEET INDEX

- COVER SHEET
- GENERAL NOTES & DETAILS
- CONTEXT MAP
- EXISTING CONDITIONS
- PRELIMINARY SITE PLAN 30 SCALE
- PRELIMINARY SITE PLAN 20 SCALE
- SITE SECTIONS
- BUILDING ELEVATION WEST
- BUILDING ELEVATION NORTH
- BUILDING ELEVATION EAST
- BUILDING ELEVATION SOUTH
- GROUND FLOOR PLAN
- SECOND FLOOR PLAN
- THIRD FLOOR PLAN
- ROOF PLAN
- FAR
- SCHEMATIC ARCHITECTURAL MASSING
- AUTOTURN ANALYSIS
- EXISTING TREE SURVEY
- TREE PRESERVATION NOTES AND DETAILS
- LANDSCAPE PLAN
- LANDSCAPE COMPUTATIONS
- LANDSCAPE NOTES AND DETAILS
- ENVIRONMENTAL STORMWATER PLAN
- ENVIRONMENTAL STORMWATER PLAN
- ENVIRONMENTAL STORMWATER PLAN
- ENVIRONMENTAL STORMWATER PLAN
- LIGHTING & SIGNAGE PLAN
- G.I.S. DIMENSION PLAN
- SIGHT DISTANCE

SHEET
1
OF
27
ZP-13088

PLAN DATE 6/3/22 7/21/22 8/19/22 9/20/22	APPROVED SPECIAL USE PERMIT NO. _____ DEPARTMENT OF PLANNING & ZONING DIRECTOR _____ DATE _____ DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____ DIRECTOR _____ DATE _____ CHAIRMAN, PLANNING COMMISSION _____ DATE _____ DATE RECORDED _____ INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____
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[illegible]

THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS DEFINED BY THE CITY OF ALEXANDRIA 2019 GREEN BUILDING POLICY USING THE LEED BD+C HEALTHCARE RATING SYSTEM AND WILL ACHIEVE THE EQUIVALENT OF LEED SILVER CERTIFICATION FOR THE BUILDING ADDITION ONLY. PLEASE REFER TO THE "2729 KING STREET ADDITIONS AND RENOVATIONS LEED CERTIFICATION" PACKAGE SUBMITTED UNDER SEPARATE COVER.

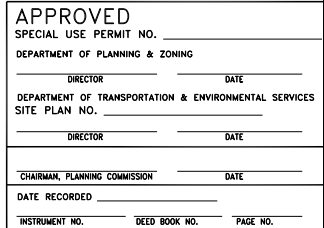
SEE SHEETS 21 - 23 FOR STORMWATER PLAN AND NARRATIVES

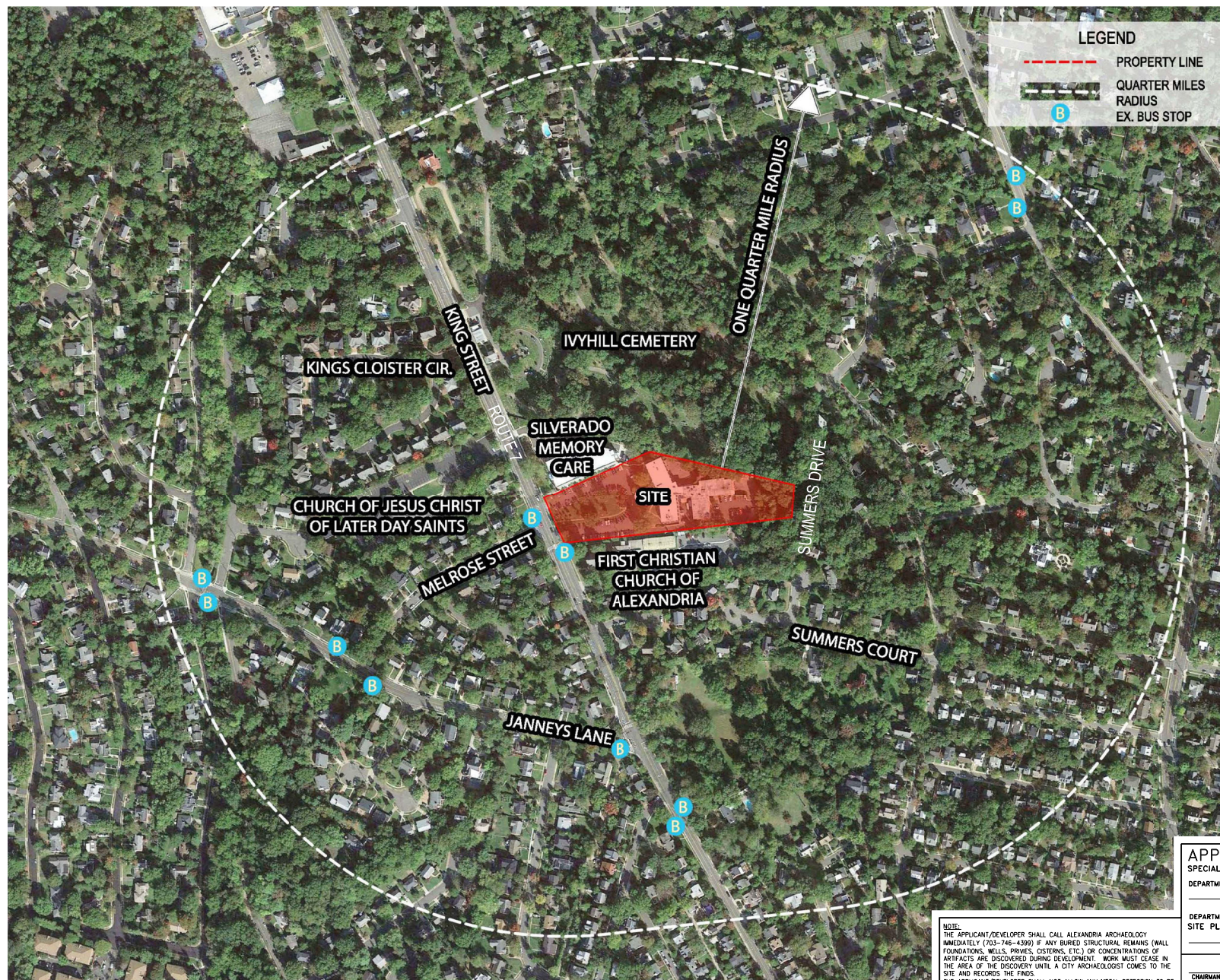
IT IS NOT ANTICIPATED THAT THE PROPOSED IMPROVEMENTS WILL RESULT IN ADDITIONAL SANITARY FLOWS THAT EXCEED 10,000 GPD. HENCE, A SANITARY OUTFALL ANALYSIS IS NOT REQUIRED.

BASED ON INFORMATION FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE AND THE GENERALIZED ALEXANDRIA SOILS MAP PROVIDED IN THE CITY OF ALEXANDRIA MASTER PLAN'S WATER QUALITY MANAGEMENT SUPPLEMENT, THERE ARE NO KNOWN MARINE CLAY AREAS WITHIN THE PROPOSED DEVELOPMENT AREA OF THE SITE. HOWEVER, THERE ARE MARINE CLAYS ON THE EAST SIDE OF THE SUBJECT PARCEL.

BASED ON INFORMATION FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE AND THE GENERALIZED ALEXANDRIA SOILS MAP PROVIDED IN THE CITY OF ALEXANDRIA MASTER PLAN'S WATER QUALITY MANAGEMENT SUPPLEMENT, THERE ARE NO KNOWN OR EXPECTED CONTAMINANTS WITHIN THIS SITE.

- ALL REQUIRED ACOGNITION PRESERVATION MEASURES SHALL BE COMPLETED PRIOR TO GROUNDOISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING, OR DRIVING) OF ANY ZONING DISTRICT (SUCH AS ZONING DISTRICT 16.1 OF THE ZONING ORDINANCE) OR A RESOURCE MANAGEMENT PLAN MUST BE IN PLACE TO RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL AN ARCHAEOLOGY AT (703)746-4399.
- THE APPLICANT/ARCHAEOLOGIST SHALL FURNISH ARCHAEOLOGY IMMEDIATELY (703)746-4399 IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
- THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY META DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY AN ARCHAEOLOGY.
- ALL REQUIRED ACOGNITION PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.





Client
WOODBINE PROPERTY 1 LLC

Contact: Peter Modil

Revision / Issue		
No.	Description	Date

Issue	
Date	Description
6/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB.-COMPLETENESS
8/19/2022	1ST SUB.-COMPLETENESS
9/20/2022	1ST SUB.-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
----------------	-------------------

Project No. ZP-13088

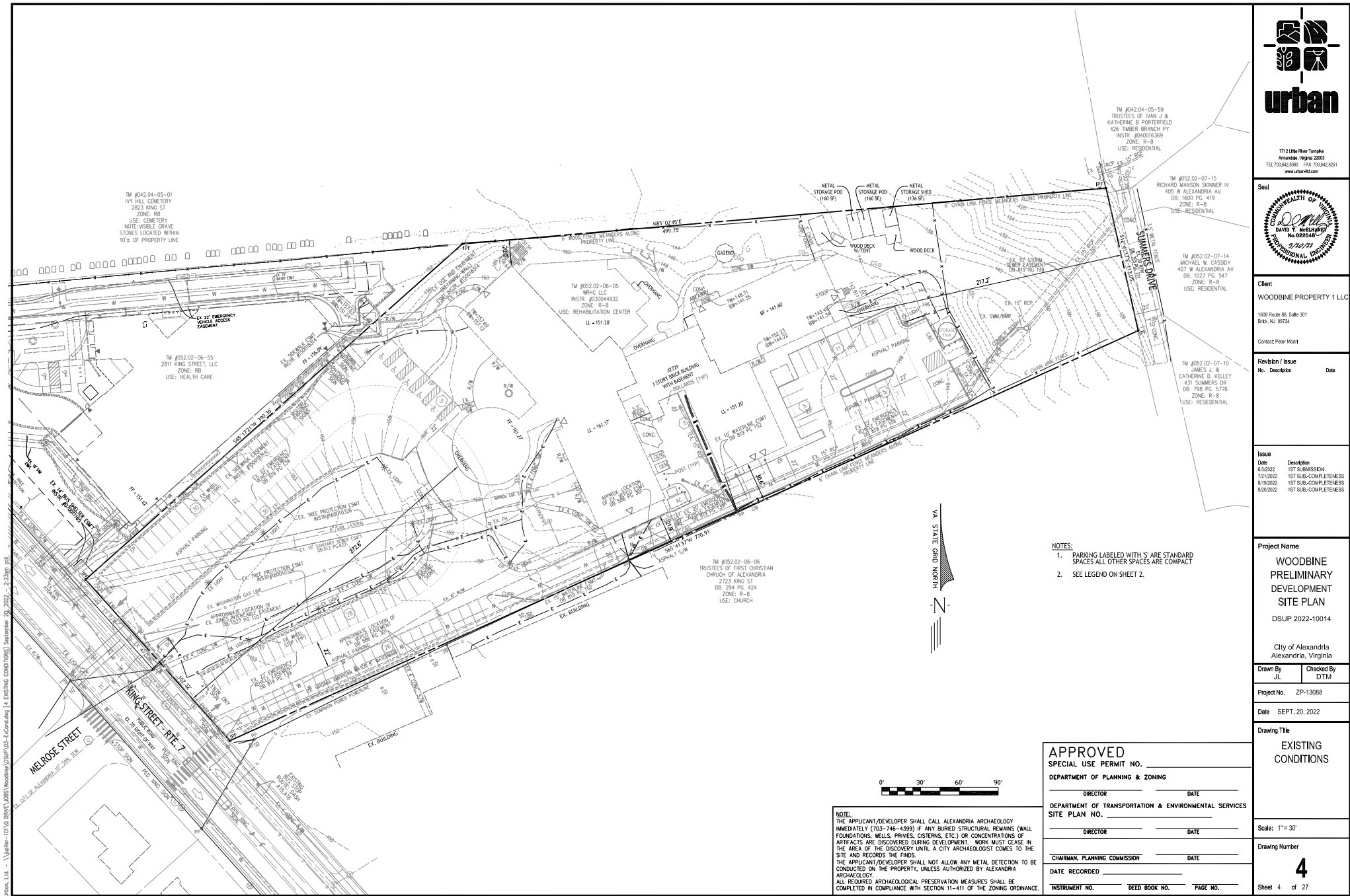
Date SEPT. 20, 2022

Drawing Title

CONTEXT
MAP

Scale: 1" = 100'

Drawing Number
3
Sheet 3 of 27



7712 Little River Turnpike
Arlington, Virginia 22203
TEL 703.542.0300 FAX 703.542.8251
www.urbanetd.com

Seal

Client

WOODBINE PROPERTY 1 LLC
1008 Route 55, Suite 301
Bldg. No. 0024

Contact: Peter Modt

Revision / Issue

No.	Description	Date
1	1ST SUBMITTAL	6/20/2022
2	1ST SUB-COMPLETENESS	7/21/2022
3	1ST SUB-COMPLETENESS	8/20/2022

Issue

Date	Description
6/20/2022	1ST SUBMITTAL
7/21/2022	1ST SUB-COMPLETENESS
8/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

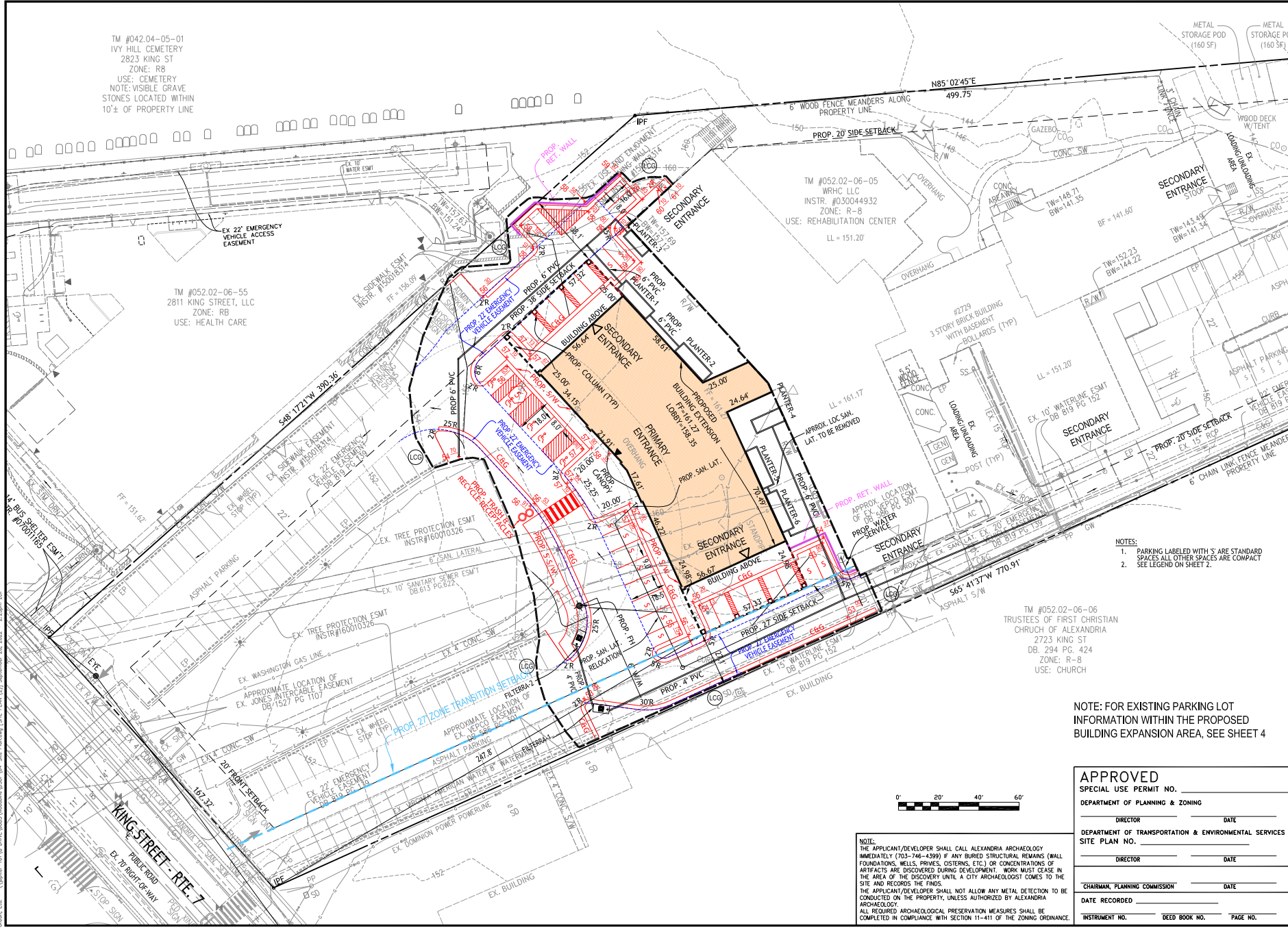
EXISTING
CONDITIONS


Scale: 1" = 30'

Drawing Number

4


Sheet 4 of 27





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Client

WOODBINE PROPERTY 1 LLC

1008 Route 88, Suite 301
Bldg. No. 8824

Contact: Peter Modt

Revision / Issue

No.	Description	Date
1	1ST SUBMISSION	7/10/21
2	1ST SUB-COMPLETENESS	8/10/22
3	1ST SUB-COMPLETENESS	9/20/22
4	1ST SUB-COMPLETENESS	10/20/22

Issue

Date	Description
8/10/22	1ST SUBMISSION
7/10/2022	1ST SUB-COMPLETENESS
8/10/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
----------------	-------------------

Project No. ZP-13088

Date: SEPT. 20, 2022

Drawing Title

PRELIMINARY
SITE PLAN
20 SCALE

Scale: 1" = 20'

Drawing Number

6

Sheet 6 of 27

NOTE: FOR EXISTING PARKING LOT
INFORMATION WITHIN THE PROPOSED
BUILDING EXPANSION AREA, SEE SHEET 4

APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

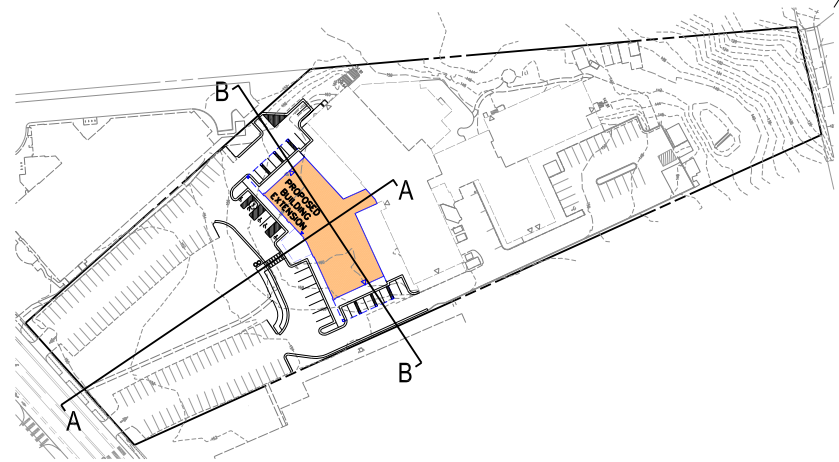
CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

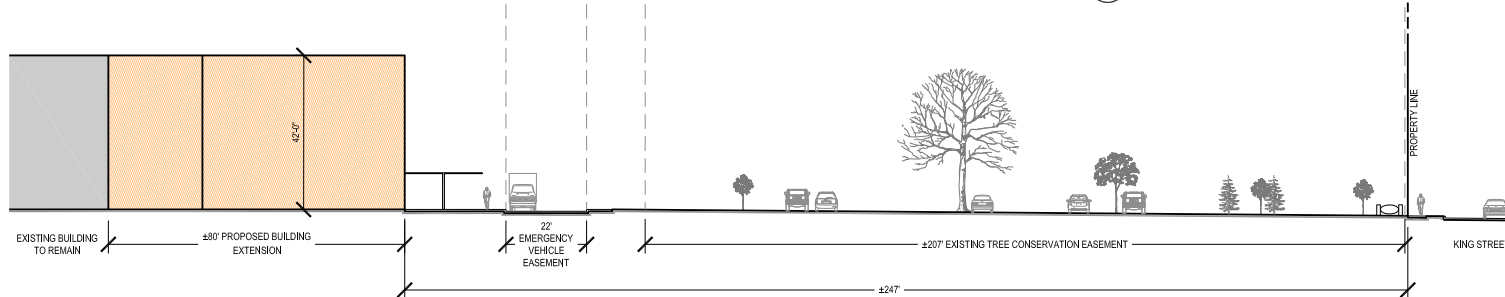
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

NOTE:
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY
IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL
FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF
ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN
THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE
SITE AND RECORDS THE FINDS.
THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE
CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA
ARCHAEOLOGY.
ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE
COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

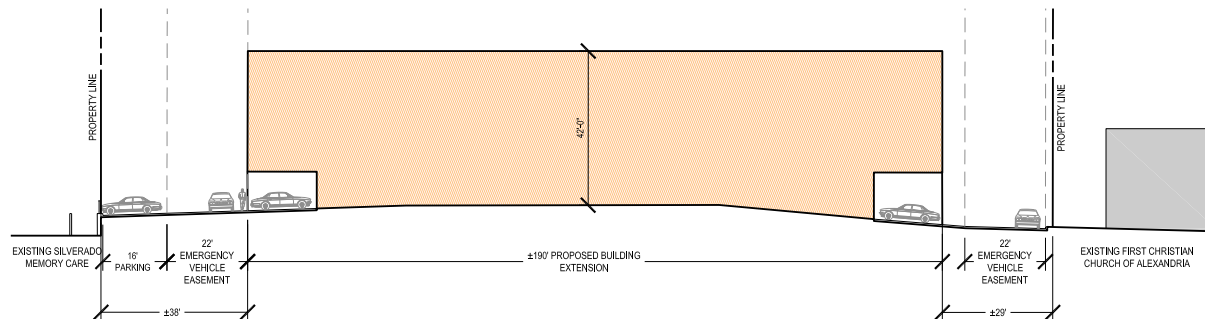
Urban, LLC - 1101 G Street, Suite 1000, Alexandria, VA 22304-4400 (571) 546-1000 [S: SITE, SE: SECTIONS] September 20, 2022 - 2:24pm v01



SECTION KEY
1"=60'



A EAST-WEST SECTION FACING SOUTH
1/16"=1'-0"



B NORTH-SOUTH SECTION FACING WEST
1/16"=1'-0"

NOTE:
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4599) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
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NOTE: GRADE ELEVATIONS AND DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING

APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____

DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____

DATE _____

CHAIRMAN, PLANNING COMMISSION _____

DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____

DEED BOOK NO. _____

PAGE NO. _____



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Seal



Client

WOODBINE PROPERTY 1 LLC

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Boca, NJ 08024

Contact: Peter Modt

Revision / Issue

No. Description Date

Issue

Date	Description
6/2/2022	1ST SUBMISSION
7/2/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By
JL

Checked By
DTM

Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

SITE
SECTIONS

Scale: As Noted

Drawing Number

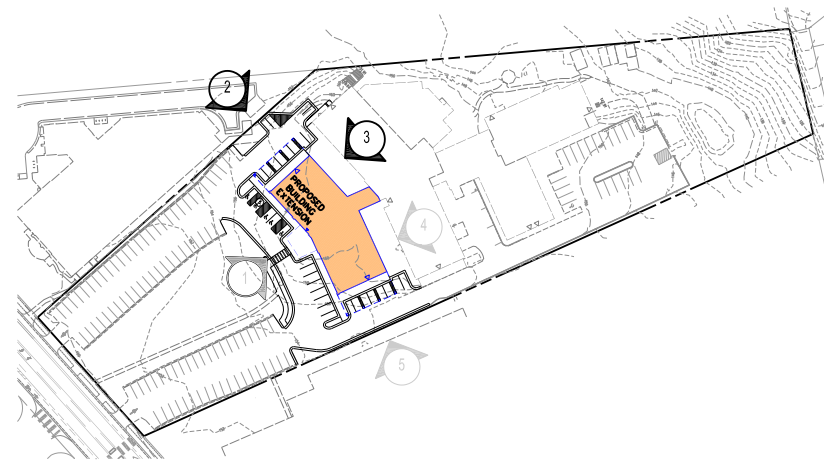
7

Sheet 7 of 27

ZP-13088



2 SIDE (NORTH)
1/8" = 1'-0"



ELEVATION KEY



3 REAR (NORTH)
1/8" = 1'-0"

RENDERINGS PREPARED BY

F.W. ARCHITECTS
ENGINEERS
PLANNERS
SURVEYORS
410-938-7800
www.frederickward.com
P.O. Box 727, 5 South Main Street Bar Ab Maryland 21014

NOTE: GRADE ELEVATIONS ARE APPROXIMATE AND
SUBJECT TO CHANGE WITH FINAL ENGINEERING

NOTE:
THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY
IMMEDIATELY (703-746-4999) IF ANY BURIED STRUCTURAL REMAINS (WALL
FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF
ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN
THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE
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ARCHAEOLOGY.
ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE
COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____



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Client
WOODBINE PROPERTY 1 LLC

1858 Route 88, Suite 301
Boca, NJ 08024

Contact: Peter Modot

Revision / Issue
No. Description Date

Issue
Date Description
6/2/2022 1ST SUBMISSION
7/21/2022 1ST SUB-COMPLETENESS
8/19/2022 1ST SUB-COMPLETENESS
9/20/2022 1ST SUB-COMPLETENESS

Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JIL Checked By DTM

Project No. ZP-13088

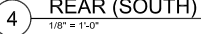
Date SEPT. 20, 2022

Drawing Title
BUILDING
ELEVATION:
NORTH

Scale: As Noted

Drawing Number
9
Sheet 9 of 27





NOTE: THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PIPES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

ALL BURIED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.
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1 THIRD FLOOR (PROPOSED)
1/8" = 1'-0"



RENDERINGS PREPARED BY



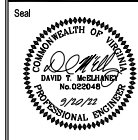
FREDERICK WAND ASSOCIATES
P.O. Box 727, 6 South Main Street, Suite 200, Alexandria, VA 22304
www.fwa-va.com 410-836-7800

NOTE:
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THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.
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APPROVED	
SPECIAL USE PERMIT NO. _____	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR _____	DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
CHAIRMAN, PLANNING COMMISSION _____	
DATE RECORDED _____	
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____



7712 Little River Turnpike
Arlington, Virginia 22203
TEL 703.642.3888 FAX 703.642.8211
www.urban-llc.com



Client
WOODBINE PROPERTY 1 LLC

1818 Route 88, Suite 301
Boca, NJ 08724

Contact: Peter Mood

Revision / Issue
No. Description Date

Issue
Date Description
6/2/2022 1ST SUBMISSION
7/2/2022 1ST SUB-COMPLETENESS
8/19/2022 1ST SUB-COMPLETENESS
9/20/2022 1ST SUB-COMPLETENESS

Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By
JL

Checked By
DTM

Project No. ZP-13088

Date SEPT. 20, 2022

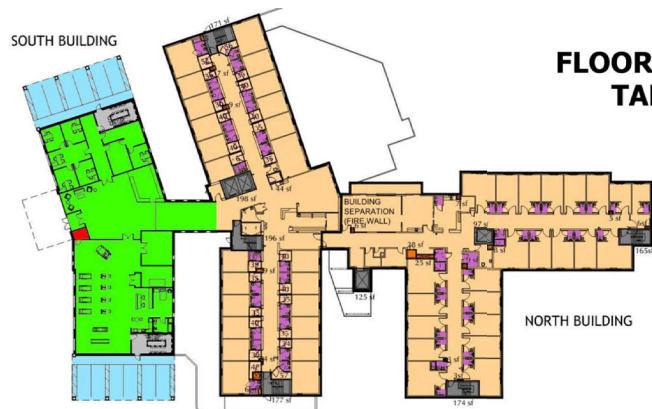
Drawing Title
THIRD
FLOOR
PLAN

Scale: As Noted

Drawing Number

11C

Sheet 11C of 27



FLOOR AREA RATIO (FAR) TABULATION EXHIBIT 7-21-22

AREA LEGEND:

- EXISTING ROOF/CANOPY/OVERHANG (EXCLUDED)
- NEW ROOF/CANOPY/OVERHANG (EXCLUDED)
- EXISTING STAIRS, ELEVATORS AND RAMP (EXCLUDED)
- NEW STAIRS, ELEVATORS AND RAMP (EXCLUDED)
- EXISTING MECHANICAL / ELECTRICAL (EXCLUDED)
- NEW MECHANICAL / ELECTRICAL (EXCLUDED)
- EXISTING LAVATORY (GSP PER OCCURRENCE EXCLUDED)
- NEW LAVATORY (GSP PER OCCURRENCE EXCLUDED)
- NEW COVERED PARKING AREA WITH OCCUPIED SPACE ABOVE
- EXISTING BASEMENT (EXCLUDED)
- EXISTING GSF
- NEW GSF
- EXISTING GSF TO BE DEMOLISHED (NOT SHOWN)

BASEMENT LEVEL:
GROSS SQUARE FEET PER FLOOR 5,763 S.F.
EXISTING BASEMENT EXCLUSION -5,763 S.F.
NET FLOOR AREA 0 S.F.

GROUND FLOOR KEY PLAN:
GROSS SQUARE FEET PER FLOOR 30,230 S.F.
EXISTING ROOF EXCLUSION -523 S.F.
EXISTING STAIR EXCLUSION -463 S.F.
EXISTING LAVATORY EXCLUSION -1,106 S.F.
EXISTING HVAC EXCLUSION -260 S.F.
NET FLOOR AREA 27,469 S.F.

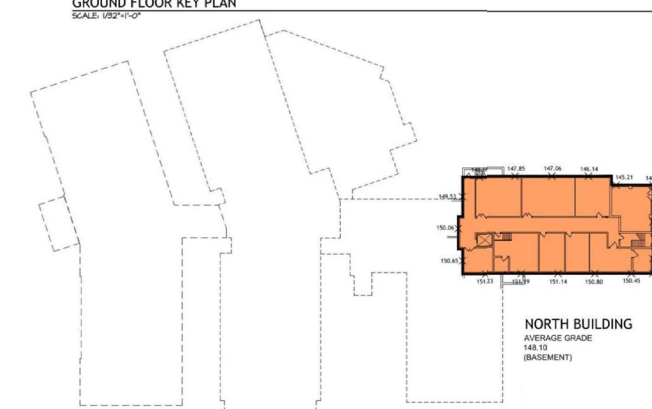
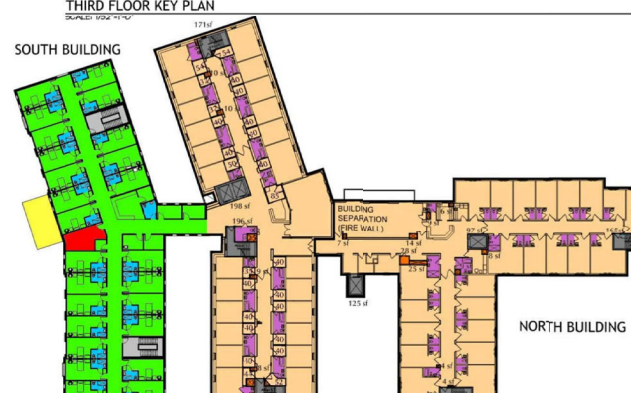
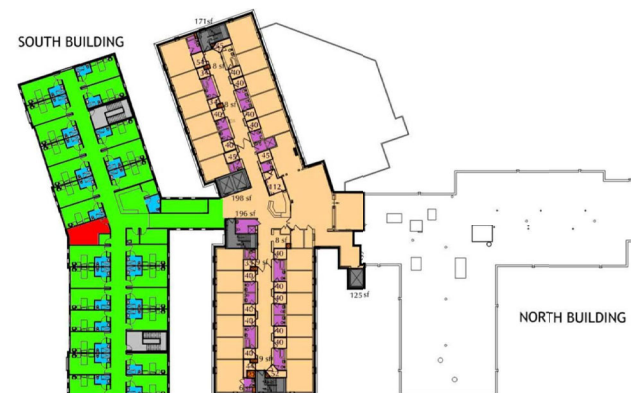
FIRST FLOOR KEY PLAN:
EXISTING GSF 26,354 S.F.
NEW GSF 7,855 S.F.
EXISTING DEMOLISHED -3,034 S.F.
NEW ROOF EXCLUSION -424 S.F.
COVERED PARKING AREA 3,864 S.F.
EXISTING STAIR EXCLUSION -1,038 S.F.
NEW STAIR EXCLUSION -528 S.F.
EXISTING HVAC EXCLUSION -143 S.F.
NEW HVAC EXCLUSION -50 S.F.
EXISTING LAVATORY EXCLUSION -1,550 S.F.
NET FLOOR AREA 30,306 S.F.

SECOND FLOOR KEY PLAN:
EXISTING GSF 26,516 S.F.
NEW GSF 10,595 S.F.
EXISTING DEMOLISHED -3,034 S.F.
EXISTING STAIR EXCLUSION -1,038 S.F.
NEW STAIR EXCLUSION -542 S.F.
EXISTING HVAC EXCLUSION -161 S.F.
NEW HVAC EXCLUSION -257 S.F.
EXISTING LAVATORY EXCLUSION -1,826 S.F.
NEW LAVATORY EXCLUSION -1,257 S.F.
NET FLOOR AREA 28,996 S.F.

THIRD FLOOR KEY PLAN:
EXISTING GSF 12,247 S.F.
NEW GSF 10,595 S.F.
EXISTING STAIR EXCLUSION -463 S.F.
NEW STAIR EXCLUSION -542 S.F.
EXISTING HVAC EXCLUSION -64 S.F.
NEW HVAC EXCLUSION -257 S.F.
EXISTING LAVATORY EXCLUSION -1,043 S.F.
NEW LAVATORY EXCLUSION -1,257 S.F.
NET FLOOR AREA 18,995 S.F.

BUILDING OVERALL:
BASEMENT LEVEL 0 S.F.
GROUND FLOOR KEY PLAN: 27,469 S.F.
FIRST FLOOR KEY PLAN: 27,442 S.F.
SECOND FLOOR KEY PLAN: 28,996 S.F.
THIRD FLOOR KEY PLAN: 18,995 S.F.
TOTAL BUILDING NET FLOOR AREA: 102,906 S.F.

FLOOR AREA RATIO:
BUILDING NET FLOOR AREA 102,906 S.F.
SITE AREA 167,165 S.F.
MAXIMUM RATIO 0.75
ACTUAL RATIO 0.64



NOTE:
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APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



7712 Little River Turnpike
Arlington, Virginia 22203
TEL 703.642.3850 FAX 703.642.3271
www.urban-va.com



Client
WOODBINE PROPERTY 1 LLC

1688 Route 88, Suite 301
Boca, NJ 08024

Contact: Peter Modt

Revision / Issue

No. Description Date

Issue

Date	Description
6/2/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By J.L. Checked By DTM

Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

FAR

Scale: As Noted

Drawing Number

13

Sheet 13 of 27



712 Little River Turnpike
Manassas, Virginia 22003
642.8080 FAX 703.642.8251
www.urban-jd.com

108 Route 88, Suite 301
 Hick, NJ 08724

Revision / Issue	
No.	Description
1	Initial Issue
2	Minor corrections
3	Major revision
4	Final version

Date	Description
3/2022	1ST SUBMISSION
21/2022	1ST SUB.-COMPLETENESS
19/2022	1ST SUB.-COMPLETENESS
20/2022	1ST SUB.-COMPLETENESS

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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Project No. ZP-13088

ate SEPT. 20, 2022

Drawing Title

SCHEMATIC
ARCHITECTURAL
MASSING

scale: N.A.

Drawing Number

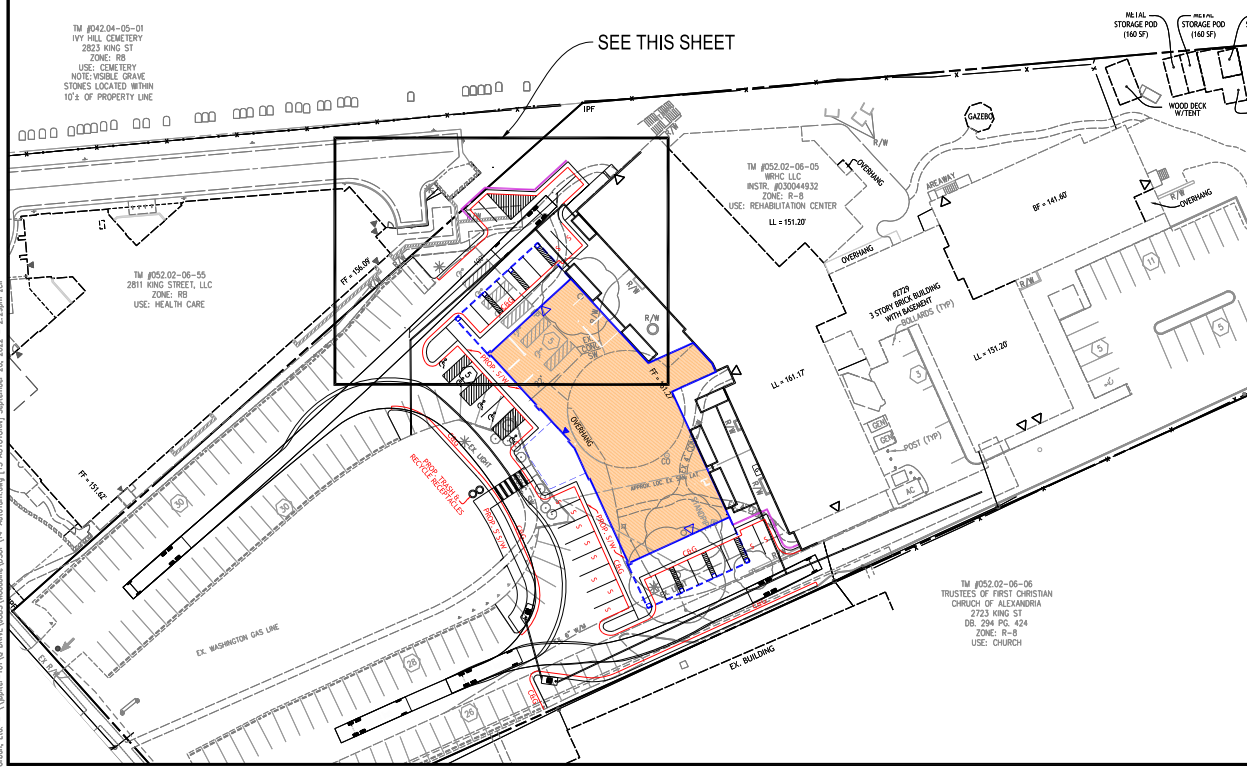
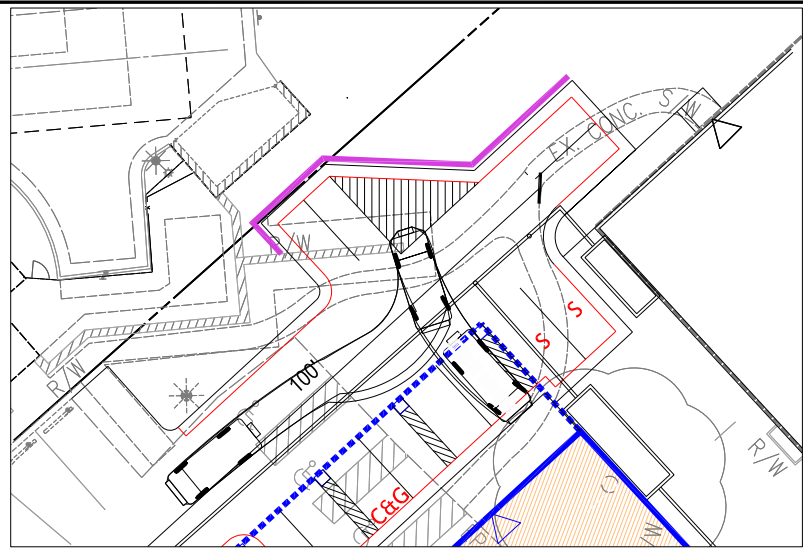
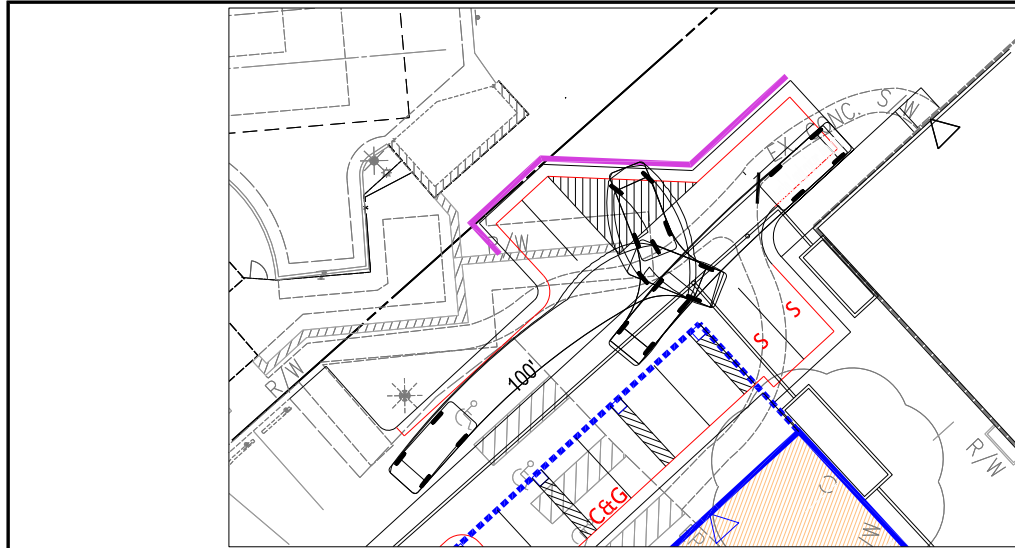
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Page 14 of 27

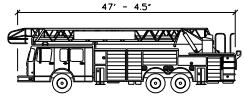


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APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
_____ DIRECTOR	_____ DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
_____ DIRECTOR	_____ DATE	
CHAIRMAN, PLANNING COMMISSION		
_____ DATE RECORDED	_____ INSTRUMENT NO.	_____ PAGE NO.



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TOWER 203 TURNING SPECS.
Turning Radius - Wall to Wall : 54.98 ft. +/- 2 ft.
Curb to Curb : 51.33 ft. +/- 2 ft.
Inside Turning Radius : 37.73 ft. +/- 2 ft.
Overall Length : 47' +/- 4.5'
Overall Width : 98'
Wheel Bases from Front Axle to Both Rear Axles : 240'
As Built With No Equipment or Water Gross Weight = 66,000 lbs.
Angle of Approach : 13 Degrees
Angle of Departure : 11 Degrees
Ramp Break Over : Break Over Angle is 9 Degrees

APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

7712 Little River Turnpike
Arlington, Virginia 22203
TEL 703.542.0300 FAX 703.542.8251
www.urbanetl.com

Seal

Client

WOODBINE PROPERTY 1 LLC
1008 Route 55, Suite 301
Bldg. N, 02204
Contact: Peter Modt

Revision / Issue

No.	Description	Date
1	1ST SUB-COMPLETENESS	6/30/2022
2	1ST SUB-COMPLETENESS	7/21/2022
3	1ST SUB-COMPLETENESS	8/19/2022
4	1ST SUB-COMPLETENESS	9/20/2022

Issue

Date	Description
6/30/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By
JL

Checked By
DTM

Project No.
ZF-13088

Date
SEPT. 20, 2022

Drawing Title

AUTOTURN
ANALYSIS

Scale: 1" = 30'

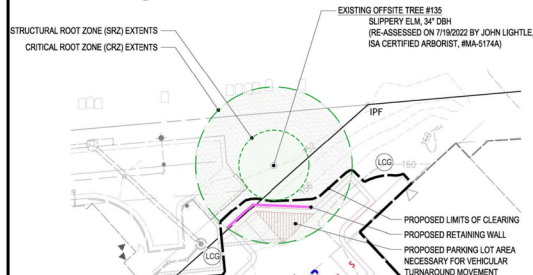
Drawing Number

15

Sheet 15 of 27

1 TREE #135 IMPACT ANALYSIS

STRUCTURAL ROOT ZONE (SRZ) EXTENTS
CRITICAL ROOT ZONE (CRZ) EXTENTS

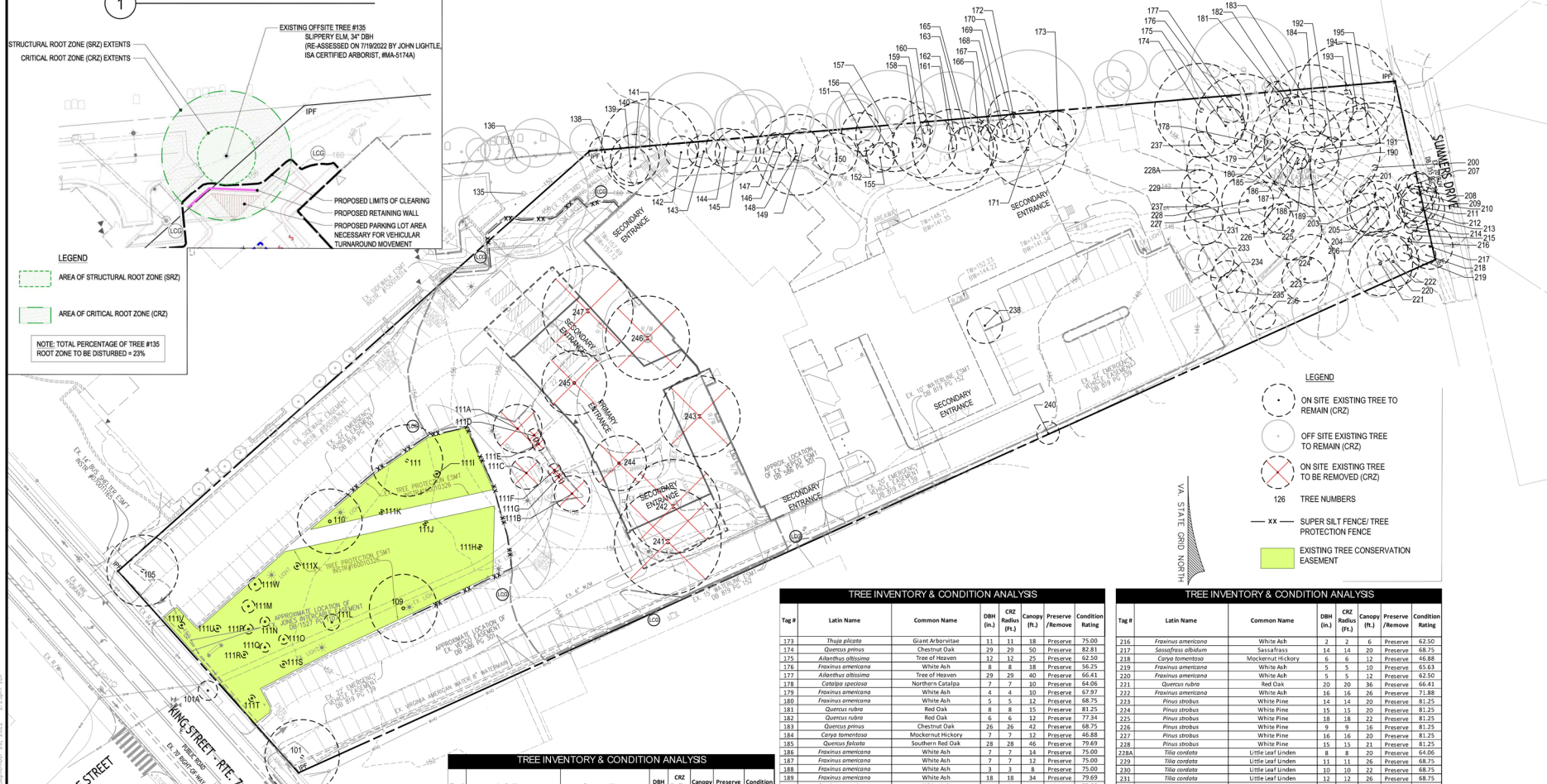


LEGEND

AREA OF STRUCTURAL ROOT ZONE (SRZ)

AREA OF CRITICAL ROOT ZONE (CRZ)

NOTE: TOTAL PERCENTAGE OF TREE #135
ROOT ZONE TO BE DISTURBED = 23%



Tag #	Latin Name	Common Name	DBH (in.)	CRZ Radius (ft.)	Canopy (ft.)	Preserve / Remove	Condition Rating
111X	Acer rubrum	Red Maple	5	2	5	Preserve	71.88
111Y	Ulmus americana	Slippery Elm	34	34	40	Preserve	67.10
136	Monarda	White Mulberry	16	16	28	Preserve	25.00
138	Quercus alba	White Oak	10	10	16	Preserve	71.88
139	Tilia tomentosa	Shed Linden	12	12	25	Preserve	44.06
140	Tilia cordata	Little Leaf Linden	15	15	20	Preserve	60.94
141	Carya tomentosa	Mockernut Hickory	30	30	35	Preserve	31.21
142	Thuja plicata	Grand Arborvitae	10	10	20	Preserve	75.00
143	Thuja plicata	Grand Arborvitae	11	11	18	Preserve	75.00
144	Thuja plicata	Grand Arborvitae	12	12	21	Preserve	75.00
145	Thuja plicata	Grand Arborvitae	14	14	20	Preserve	75.00
146	Thuja plicata	Grand Arborvitae	10	10	14	Preserve	75.00
147	Thuja plicata	Little Leaf Linden	6	6	24	Preserve	78.91
148	Quercus rubra	Red Oak	25	25	38	Preserve	84.38
149	Thuja plicata	Grand Arborvitae	10	10	15	Preserve	75.00
150	Thuja plicata	Grand Arborvitae	13	13	18	Preserve	75.00
151	Thuja plicata	Sweeping White Oak	15	15	25	Preserve	78.13
152	Thuja plicata	Grand Arborvitae	9	9	12	Preserve	75.00
153	Thuja plicata	Grand Arborvitae	9	9	12	Preserve	75.00
154	Thuja plicata	Grand Arborvitae	5	5	16	Preserve	75.00
155	Quercus rubra	Red Oak	23	23	35	Preserve	81.25
156	Thuja plicata	Grand Arborvitae	1	1	10	Preserve	75.00
157	Quercus alba	White Oak	20	20	38	Preserve	81.25
158	Thuja plicata	Grand Arborvitae	1	1	10	Preserve	75.00
159	Quercus rubra	Red Oak	25	25	35	Preserve	87.50
160	Thuja plicata	Grand Arborvitae	4	4	13	Preserve	75.00
161	Thuja plicata	Grand Arborvitae	4	4	12	Preserve	75.00
162	Quercus rubra	Red Oak	15	15	38	Preserve	78.13
163	Thuja plicata	Grand Arborvitae	3	3	12	Preserve	75.00
164	Thuja plicata	Grand Arborvitae	5	5	15	Preserve	75.00
165	Quercus rubra	Red Oak	16	16	40	Preserve	68.75
166	Thuja plicata	Grand Arborvitae	3	3	12	Preserve	75.00
167	Thuja plicata	Grand Arborvitae	5	5	10	Preserve	75.00
168	Quercus lyrata	Overcup Oak	16	16	40	Preserve	68.75
169	Thuja plicata	Grand Arborvitae	3	3	12	Preserve	75.00
170	Thuja plicata	Grand Arborvitae	5	5	10	Preserve	75.00
171	Quercus rubra	Red Oak	24	24	40	Preserve	78.91

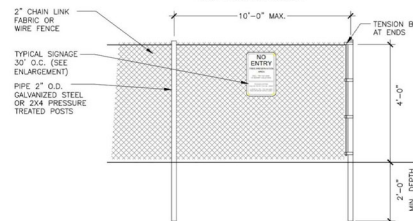
Tag #	Latin Name	Common Name	DBH (in.)	CRZ Radius (ft.)	Canopy (ft.)	Preserve / Remove	Condition Rating
173	Thuja plicata	Grand Arborvitae	11	11	18	Preserve	75.00
174	Quercus prinus	Chestnut Oak	29	29	50	Preserve	82.81
175	Alnus incana	Tree of Heaven	12	12	25	Preserve	62.50
176	Fraxinus americana	White Ash	8	8	18	Preserve	56.25
177	Alnus incana	Tree of Heaven	29	29	40	Preserve	66.41
178	Camptopetalum	Northern Catalpa	7	7	10	Preserve	64.06
179	Fraxinus americana	White Ash	4	4	10	Preserve	67.97
180	Fraxinus americana	White Ash	5	5	12	Preserve	68.75
181	Quercus rubra	Red Oak	6	6	15	Preserve	81.25
182	Quercus rubra	Red Oak	6	6	12	Preserve	77.34
183	Quercus prinus	Chestnut Oak	26	26	42	Preserve	68.75
184	Carya tomentosa	Mockernut Hickory	7	7	12	Preserve	46.88
185	Quercus falcata	Southern Red Oak	28	28	46	Preserve	79.69
186	Fraxinus americana	White Ash	7	7	14	Preserve	75.00
187	Fraxinus americana	White Ash	7	7	12	Preserve	75.00
188	Fraxinus americana	White Ash	3	3	8	Preserve	75.00
189	Fraxinus americana	White Ash	18	18	34	Preserve	76.61
190	Fraxinus americana	White Ash	3	3	7	Preserve	75.00
191	Ulmus americana	Slippery Elm	36	36	44	Preserve	9.38
192	Fraxinus americana	White Ash	5	5	10	Preserve	75.00
193	Quercus rubra	Red Oak	30	30	48	Preserve	87.50
194	Fraxinus americana	White Ash	7	7	12	Preserve	68.75
195	Fraxinus americana	White Ash	12	12	20	Preserve	56.25
200	Quercus rubra	Red Oak	40	40	52	Preserve	75.47
201	Fraxinus americana	White Ash	10	10	14	Preserve	67.97
202	Carya tomentosa	Mockernut Hickory	17	17	24	Preserve	67.50
203	Prunus americana	Black Cherry	13	13	30	Preserve	57.50
204	Carya tomentosa	Mockernut Hickory	7	7	12	Preserve	55.00
205	Quercus rubra	Honey Locust	7	7	15	Preserve	50.00
206	Fraxinus americana	White Ash	8	8	11	Preserve	56.25
207	Fraxinus americana	White Ash	12	12	13	Preserve	56.25
208	Nyssa sylvatica	Black Tupelo	12	12	14	Preserve	56.25
209	Nyssa sylvatica	Black Tupelo	12	12	15	Preserve	56.25
210	Nyssa sylvatica	Black Tupelo	12	12	13	Preserve	56.25
211	Nyssa sylvatica	Black Tupelo	14	14	18	Preserve	50.00
212	Quercus rubra	Red Oak	3	3	8	Preserve	44.06
213	Fraxinus americana	White Ash	4	4	6	Preserve	68.75
215	Quercus rubra	Red Oak	3	3	7	Preserve	62.50
216	Fraxinus americana	White Ash	2	2	6	Preserve	62.50

Tag #	Latin Name	Common Name	DBH (in.)	CRZ Radius (ft.)	Canopy (ft.)	Preserve / Remove	Condition Rating
216	Fraxinus americana	White Ash	2	2	6	Preserve	62.50
217	Sassafras albidum	Sassafras	14	14	20	Preserve	68.75
218	Carya tomentosa	Mockernut Hickory	6	6	12	Preserve	46.88
219	Fraxinus americana	White Ash	5	5	10	Preserve	65.63
220	Fraxinus americana	White Ash	5	5	12	Preserve	62.50
221	Quercus rubra	Red Oak	20	20	36	Preserve	66.41
222	Fraxinus americana	White Ash	16	16	26	Preserve	71.88
223	Pinus strobus	White Pine	14	14	20	Preserve	81.25
224	Pinus strobus	White Pine	15	15	20	Preserve	81.25
225	Pinus strobus	White Pine	18	18	22	Preserve	81.25
226	Pinus strobus	White Pine	9	9	16	Preserve	81.25
227	Pinus strobus	White Pine	16	16	20	Preserve	81.25
228	Pinus strobus	White Pine	15	15	21	Preserve	81.25
229	Tilia cordata	Little Leaf Linden	8	8	20	Preserve	64.06
230	Tilia cordata	Little Leaf Linden	10	10	22	Preserve	68.75
231	Tilia cordata	Little Leaf Linden	11	11	22	Preserve	68.75
232	Tilia cordata	Little Leaf Linden	11	11	21	Preserve	68.75
233	Tilia cordata	Little Leaf Linden	10	10	24	Preserve	68.75
234	Tilia cordata	Little Leaf Linden	13	13	25	Preserve	68.75
235	Tilia cordata	Little Leaf Linden	8	8	22	Preserve	68.75
236	Tilia cordata	Little Leaf Linden	8	8	22	Preserve	68.75
237	Tilia cordata	Little Leaf Linden	5	5	20	Preserve	63.28
238	Pinus strobus	White Pine	11	11	12	Preserve	71.88
240	Nyssa sylvatica	Black Tupelo	7	7	15	Preserve	66.25
241	Quercus prinus	Pin Oak	33	33	50	Remove	89.06
242	Quercus rubra	Red Oak	29	29	45	Remove	81.25
243	Magnolia x soulangeana	Saucer Magnolia	25	25	16	Remove	40.63
244	Corporalis bellidifolia	Columbian European Hornbeam	17	17	18	Remove	87.50
245	Corporalis bellidifolia	Columbian European Hornbeam	20	20	28	Remove	87.50
246	Acer rubrum	Red Maple	28	28	42	Remove	87.50
247	Magnolia x soulangeana	Saucer Magnolia	26	26	20	Remove	77.34

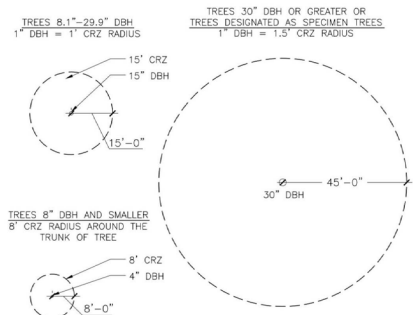
TREE INVENTORY & CONDITION ANALYSIS							
Tag #	Latin Name	Common Name	DBH (in.)	CRZ Radius (ft.)	Canopy (ft)	Preserve / Remove	Condition Rating
101	Quercus prinus	Pin Oak	23	23	46	Preserve	73.44
101A	Acer rubrum	Red Maple	6	6	10	Preserve	60.94
105	Quercus rubra	Red Oak	22	22	40	Preserve	62.50
109	Pinus caroliniana	Calley Pear	21	21	38	Preserve	71.88
110	Pinus caroliniana	Calley Pear	20	20	36	Preserve	68.75
111	Pinus caroliniana	Calley Pear	22	22	40	Preserve	65.63
111A	Pinus caroliniana	Purple Leaf Plum	15	15	17	Remove	34.38
111B	Pinus caroliniana	Calley Pear	11	11	15	Remove	56.25
111C	Lagerflora americana	Crape Myrtle	10	10	5	Remove	75.00
111D	Pinus caroliniana	American Holly	4	4	6	Remove	65.63
111E	Pinus caroliniana	American Holly	4	4	6	Remove	65.63
111F	Pinus caroliniana	American Holly	4	4	6	Remove	65.63
111G	Pinus caroliniana	American Holly	4	4	6	Remove	65.63
111H	Quercus rubra	Red Oak	1	1	5	Preserve	71.88
111I	Quercus rubra	Red Oak	2	2	5	Preserve	71.88
111J	Quercus rubra	Red Oak	1	1	5	Preserve	71.88
111K	Quercus rubra	Red Oak	1	1	5	Preserve	71.88
111L	Pinus caroliniana	Calley Pear	3	3	5	Preserve	71.88
111M	Pinus caroliniana	American Holly	1	1	5	Preserve	71.88
111N	Pinus caroliniana	American Holly	3	3	5	Preserve	71.88
111O	Cryptomeria japonica	Japanese Cryptomeria	4	4	6	Preserve	71.88
111P	Pinus caroliniana	American Holly	3	3	5	Preserve	71.88
111Q	Pinus caroliniana	American Holly	3	3	5	Preserve	71.88
111R	Pinus caroliniana	American Holly	3	3	5	Preserve	71.88
111S	Acer rubrum	Red Maple	2	2	6	Preserve	71.88
111T	Acer rubrum	Red Maple	2	2	6	Preserve	71.88
111U	Acer rubrum	Red Maple	2	2	6	Preserve	71.88
111V	Acer rubrum	Red Maple	2	2	6	Preserve	71.88
111W	Pinus caroliniana	Calley Pear	2	2	6	Preserve	71.88



- NOTES
1. TREE PROTECTION DETAIL SHALL APPLY TO ALL TREES INCLUDING STREET TREES.
 2. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEVOLUTION. CITY SHALL BE NOTIFIED 72 HOURS PRIOR TO INSTALLATION OR ANY OTHER TREE PRESERVATION MEASURE SPECIFIED IN PLANS AND SHALL APPROVE LAYOUT.
 3. NO PERSONNEL, VEHICLES, EQUIPMENT, CONSTRUCTION MATERIALS OR DEBRIS ALLOWED IN TREE PROTECTION AREAS. REFER TO LANDSCAPE DETAIL FOR ADDITIONAL INFORMATION.
 4. REMOVE TREE PROTECTION FENCE ONLY WITH APPROVAL FROM CITY STAFF AFTER ALL SITE WORK HAS BEEN COMPLETED.
 5. SIGN MATERIAL TO BE WEATHER RESISTANT.
 6. SIGN FENCE MAY ALSO BE 2X4 WELDED WIRE FABRIC 18" X 2.5 GAUGE LAYERED WITH ORANGE SIGNAGE FOR VISIBILITY.



1 TREE PROTECTION FENCE



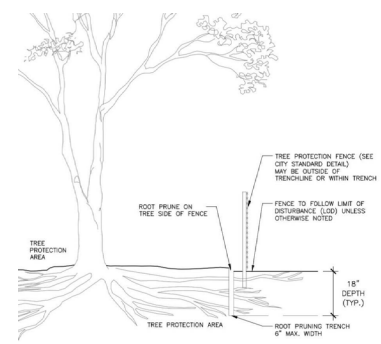
- NOTES:
1. GRAPHICALLY, THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED AS A CIRCULAR REGION MEASURED OUTWARD FROM A TREE TRUNK REPRESENTING THE AREA OF ROOTS THAT MUST BE MAINTAINED OR PROTECTED FOR THE TREE'S SURVIVAL.
 2. PLOT ACCURATE TRUNK LOCATIONS OF ALL TREES GREATER THAN 2" DIAMETER AT 54" ABOVE GRADE AND/OR TREE STANDS WITH DEVELOPMENT AREAS ON PLANS FOR THE PROJECT AND DELINEATE THEIR ESTIMATED CRITICAL ROOT ZONE.
 3. PLOT ACCURATE TRUNK LOCATIONS OF OFFSITE TREES WHICH WILL HAVE THEIR CRZ AFFECTED BY DEVELOPMENT AND DELINEATE THEIR ESTIMATED CRITICAL ROOT ZONE.

3 TREE PROTECTION DETAIL FOR DETERMINING CRITICAL ROOT ZONE
NTS

NOTE: THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY.

ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.



- NOTES
1. PRUIT PRUNING SHALL BE DONE WITH CHAINSAW OR UNIMPOLOVED TO DEPTH OF 18" ROOTS OVER 1.5" IN DIAMETER SHALL BE CUT OFF AT THE SURFACE. IF THE PRUNING CUTS ARE NOT ATTACHED TO THE MAIN TRUNK OR BRANCHES OF THE TREE OR DO NOT BREAK OR CRACK, DO NOT PUT THE CUT OFF END. IF EXCAVATION IS FOR INSTALLATION OF UNDERGROUND UTILITIES, LEAVE THE TRUNK AND BRANCHES OF THE TREE IN PLACE.
2. PRUIT PRUNING SHALL TAKE PLACE PRIOR TO ANY CLEARING AND GRADING. EXACT LOCATION OF TREE PROTECTION AREAS SHALL BE STAKED OR FLAGGED PRIOR TO TRENDING AND SHALL BE APPROVED BY CITY STAFF.
3. PRUIT PRUNING SHALL BE CONDUCTED UNDER THE SUPERVISION OF AN AS-CERTIFIED ARBORIST. CERTIFICATION SHALL BE PROVIDED TO THE CITY UPON COMPLETION.
4. BACKFILL THE PRUIT-PRUNING TREND WITH APPROXIMATE LOGS (TORSO, MAIN AND TOP WITH 3-4" BARK MOULD AND MARK THE TREND FOR FUTURE RESTORATION). SUCH TREND MAY BE INSTALLED IN TREND TO BACKFILL TO BACKFILL AS LONG AS THE TREND IS NOT OPEN FOR LONGER THAN 48 HOURS WITHOUT TENDING.
5. PRUIT PRUNING SHALL BE CONDUCTED IN THE WINTER MONTHS (NOVEMBER THROUGH MARCH). IN CASE OF ICE, PRUIT PRUNING SHALL NOT BE UNDERTAKEN WHEN THE SOIL IS WET AND CONDITIONS ARE MUDDY.
6. CITY OF ALEXANDRIA STAFF SHALL BE NOTIFIED 72 HOURS PRIOR TO THE BEGINNING OF ANY PRUIT PRUNING AND TREE REMOVAL OR TRIMMING OPERATION.

2 ROOT PRUNING

TREE PRESERVATION NOTES

- [illegible]

APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING _____		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION _____		
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____



WOODBINE PROPERTY 1 LLC

Contact: Peter Modri

Revision / Issue	Date
1. Description	

DATE	DESCRIPTION
3/3/2022	1ST SUBMISSION
21/10/2022	1ST SUB.-COMPLETENESS
19/10/2022	1ST SUB.-COMPLETENESS
20/2/2022	1ST SUB.-COMPLETENESS

Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
----------------	-------------------

Project No. ZP-13088

ate SEPT. 20, 2022

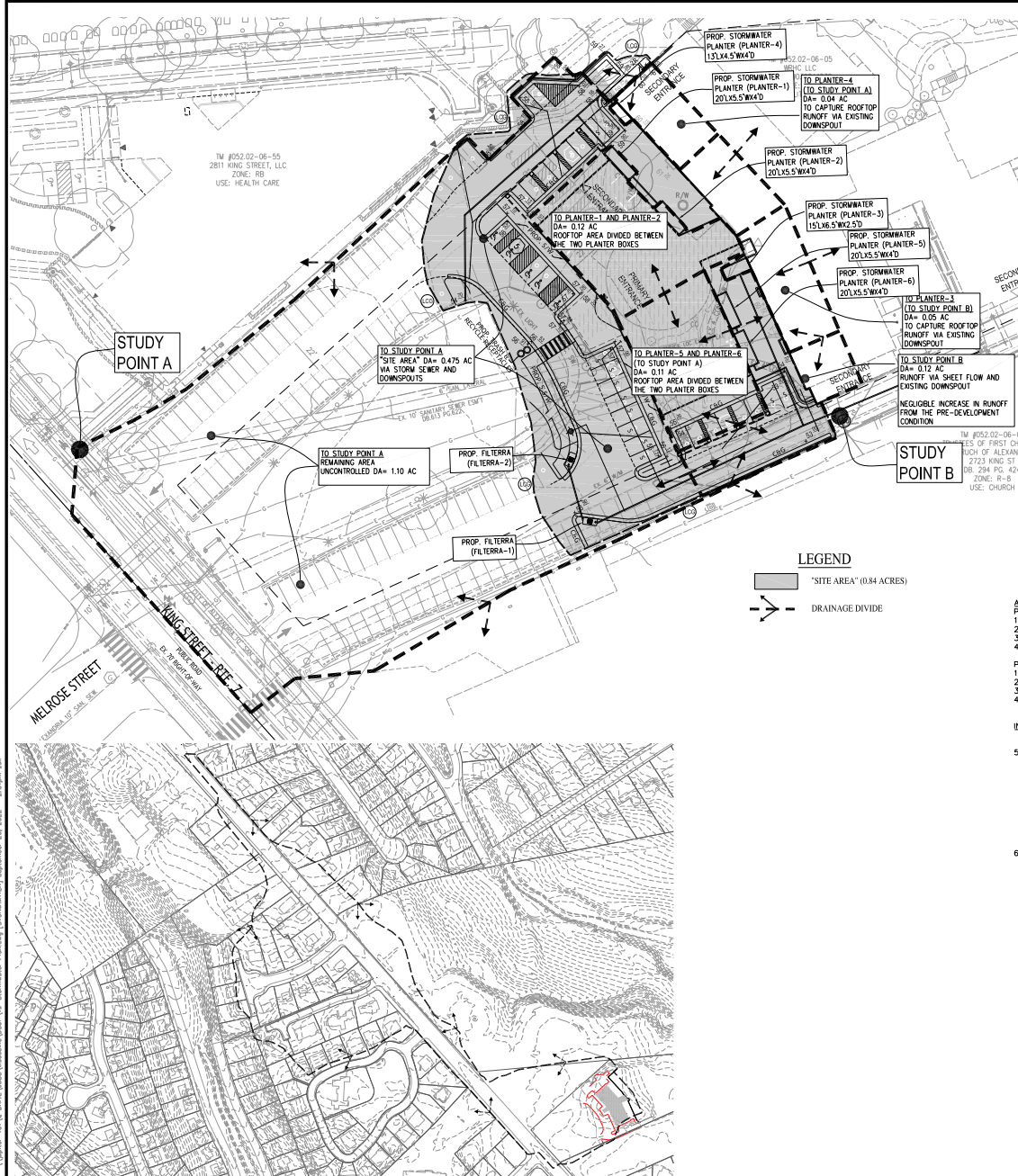
FREE PRESERVATION

NOTES AND DETAILS

Scale: 1" = 30'

Drawing Number

17



STORMWATER OUTFALL ANALYSIS MAP
SCALE: 1"=200'

STORM WATER MANAGEMENT/BMP NARRATIVE

THE "SITE AREA" TO BE UTILIZED FOR WATER QUALITY PURPOSES, IS DEFINED AS THE DISTURBED AREA AS WELL AS THE FRONT SIDE OF THE EXISTING BUILDING TO THE NORTHEAST OF THE SITE AS SHOWN ON THE MAP ON THIS SHEET. THIS AREA IS CALCULATED TO BE 0.83 ACRES. FOR WATER QUALITY PURPOSES, THE TOTAL DRAINAGE AREA TO THE RESPECTIVE STUDY POINT IS ANALYZED IN THE PRE- AND POST-DEVELOPMENT CONDITION.

THE 0.83 AC SITE IS LOCATED ON THE EAST SIDE OF KING STREET ABOUT 750' NORTH OF ITS INTERSECTION WITH JANNEY'S LANE. THE SITE IS LOCATED IN TAYLOR RUN WATERSHED AND HAS THE HYDROLOGIC SOIL GROUP D. SITE RUNOFF FROM THE PROPOSED IMPROVEMENTS WILL FOLLOW THE EXISTING DRAINAGE DIVIDES OF THE SITE, RESULTING IN TWO (2) CONCENTRATED OUTFALL POINTS (STUDY POINT A AND STUDY POINT B). THIS CONCEPT PLAN PROPOSES CONSTRUCTION OF A THREE STORY REHABILITATION FACILITY, PARKING AND DRIVE ASPILES. THE PROPOSED IMPROVEMENTS RESULT IN A SLIGHT INCREASE IN IMPERVIOUS AREA AS WELL AS OUTFALLS INTO A MANMADE SYSTEM AT BOTH STUDY POINTS. THEREFORE, CHANNEL PROTECTION WILL BE ACHIEVED PER 13-109.F.1.a.i AND FLOOD PROTECTION PER 13-109.F.2.a.i.7.

STUDY POINT A

A PORTION OF THE RUNOFF TO STUDY POINT A WILL BE COLLECTED INTO THREE (3) BMP PLANTER BOX FACILITIES (PLANTER-1 AND PLANTER-2, AND PLANTER-3) TO CAPTURE A LARGE PORTION OF THE ROOF RUNOFF FROM THE PROPOSED BUILDING, AS SHOWN ON THE MAP ON THIS SHEET. THE PLANTER BOX FACILITIES WILL OUTFALL VIA UNDERDRAIN TO THE EXISTING GRASS AREA TO THE WEST OF THE PROPOSED IMPROVEMENTS. THE THREE (3) PLANTER BOX FACILITIES ARE DESIGNED TO MEET WATER QUALITY REQUIREMENTS FOR THE "SITE AREA" AS WELL AS PROVIDE DETENTION CAPABILITIES TO ACHIEVE THE CHANNEL AND FLOOD PROTECTION REQUIREMENTS. FURTHERMORE, TWO (2) FILTERIA DEVICES (FILTERIA-1 AND -2) ARE PROPOSED TO MEET ADDITIONAL WATER QUALITY REQUIREMENTS. THE FINAL ANALYSIS WILL RESULT IN A DECREASED RUNOFF OF THE 10-YEAR STORM FROM THE PRE-DEVELOPMENT CONDITION PER 13-109.F.1.a.i. ONCE THE RUNOFF REACHES STUDY POINT A, THE RUNOFF TRAVELS VIA MAN-MADE CONVEYANCE SYSTEMS AND ULTIMATELY ENTERS THE TAYLOR RUN FLOODPLAIN. AT THIS POINT IS THE LIMIT OF ANALYSIS PER 13-109.F.1.a.i. WHERE THE SITE'S CONTRIBUTING DRAINAGE AREA IS LESS THAN OR EQUAL TO 1% OF THE TOTAL WATERSHED. THIS CRITERIA FOR THE LIMIT OF ANALYSIS IS THE SAME FOR BOTH CHANNEL AND FLOOD PROTECTION.

STUDY POINT B

THE RUNOFF TO STUDY POINT B HAS A SLIGHT INCREASE IN IMPERVIOUS AREA. TO ACCOMMODATE THIS INCREASED RUNOFF, THREE (3) PLANTER BOX FACILITIES (PLANTER-4, -5, AND -6) ARE PROPOSED TO CAPTURE A PORTION OF THE ROOF RUNOFF OF THE EXISTING BUILDING, AS WELL AS THE EASTERN HALF OF THE PROPOSED BUILDING, AS SHOWN ON THE MAP ON THIS SHEET. PLANTER-4, -5, AND -6 WILL OUTFALL VIA UNDERDRAIN AND CONNECT INTO THE EXISTING STORM SEWER SYSTEM THAT OUTFALLS TO THE EAST OF THE PROPOSED IMPROVEMENTS TO AN EXISTING EXTENDED DETENTION POND. PLANTER-4, -5, AND -6 IS DESIGNED TO MEET WATER QUALITY REQUIREMENTS FOR THE "SITE AREA" AS WELL AS PROVIDE DETENTION CAPABILITIES TO ACHIEVE A NO/NEGLECTIBLE INCREASE IN RUNOFF TO STUDY POINT B. STUDY POINT B ULTIMATELY OUTFALLS INTO AN EXISTING DETENTION POND THAT HAS BEEN DESIGNED TO CONVEY THE DEVELOPED SITE. IT IS THE OPINION OF THE SIGNING ENGINEER THAT THE ANALYSIS IS COMPLETE DUE TO NO INCREASE.

PRELIMINARY WATER QUALITY COMPUTATIONS ARE PREPARED BASED ON THE NEW STORMWATER REGULATIONS PER THE CITY'S ENVIRONMENTAL MANAGEMENT ORDINANCE EFFECTIVE JULY 1, 2014. THE VIRGINIA RUNOFF ESTIMATION METHOD COMPLIANCE SPREAD SHEET WAS USED TO DETERMINE THE PHOSPHORUS REMOVAL AND RUNOFF VOLUME REQUIREMENTS OF THE SITE. SWM/BMP DRAINAGE AREA MAP ARE SHOWN SHEET 22A AND COMPUTATIONS AND DETAILS ARE SHOWN ON SHEETS 23-24.

AS SHOWN IN THE COMPUTATIONS ON SHEET 23, THE PROPOSED WATER QUALITY DEVICES ACHIEVE 100% AND EXCEED THE REQUIRED PHOSPHORUS REMOVAL (0.84 LBS/YR) OF THE 0.30 LBS/YR. FURTHERMORE, THE ALEXANDRIA WATER QUALITY VOLUME DEFAULT COMPUTATIONS ARE PROVIDED ON SHEET 22A CONFIRMING THE REQUIREMENTS ARE MET PER 13-109.E.9. A CONTRIBUTION TO THE CITY'S WATER QUALITY IMPROVEMENT FUNDS WILL BE PAID.

STORMWATER RUNOFF CALCULATIONS

AREA BREAKDOWN (STUDY POINT A)

- PRE-DEVELOPMENT:
1. TOTAL STUDY POINT AREA = 73,877.76 SQ.FT. OR 1.696 ACRES
 2. IMPERVIOUS AREA = 1.07 ACRES
 3. PERVIOUS AREA = 0.626
 4. CN = 93

- POST-DEVELOPMENT:
1. TOTAL STUDY POINT AREA = 75,751 SQ.FT. OR 1.739 ACRES
 2. IMPERVIOUS AREA = 1.164 ACRES
 3. PERVIOUS AREA = 0.575
 4. CN = 95

INCREASE IN RUNOFF CALCULATION FOR THIS APPLICATION

5. PEAK DISCHARGE FOR DESIGN STORMS PER SCS METHOD
TC=5 MIN ("SITE AREA"), TC=10 MIN (PASS-THRU)

PRE-DEVELOPMENT (WITHOUT DETENTION)
Q2 PRE = 5.03 CFS
Q10 PRE = 8.47 CFS

POST-DEVELOPMENT (WITHOUT DETENTION)
Q2 POST = 5.21 CFS
Q10 POST = 8.50 CFS

6. POST-DEVELOPMENT RUNOFF (WITH DETENTION)

BOTH THE 2 AND 10 YEAR STORMS WILL BE DETAINED UTILIZING PLANTER BOX FACILITIES SUCH THAT THE POST-DEVELOPMENT PEAK FLOWS ARE EQUAL TO OR LESS THAN THE PRE-DEVELOPMENT PEAK FLOWS PER 13-109.F.1.a.i AND 13-109.F.2.a.i.

AREA BREAKDOWN (STUDY POINT B)

- PRE-DEVELOPMENT:
1. TOTAL STUDY POINT AREA = 6,316 SQ.FT. OR 0.145 ACRES
 2. IMPERVIOUS AREA = 0.084 ACRES
 3. PERVIOUS AREA = 0.061
 4. CN = 90

- POST-DEVELOPMENT:
1. TOTAL STUDY POINT AREA = 12,458.16 SQ.FT. OR 0.286 ACRES
 2. IMPERVIOUS AREA = 0.24 ACRES
 3. PERVIOUS AREA = 0.046
 4. CN = 96

INCREASE IN RUNOFF CALCULATION FOR THIS APPLICATION

1. PEAK DISCHARGE FOR DESIGN STORMS PER SCS METHOD
(ASSUME TC=5 MIN)

PRE-DEVELOPMENT (WITHOUT DETENTION)
Q2 PRE = 0.48 CFS
Q10 PRE = 0.82 CFS

POST-DEVELOPMENT (WITHOUT DETENTION)
Q2 POST = 0.80 CFS
Q10 POST = 1.25 CFS

2. POST-DEVELOPMENT RUNOFF (WITH DETENTION)

BOTH THE 2 AND 10 YEAR STORMS WILL BE DETAINED UTILIZING A PLANTER BOX FACILITY SUCH THAT THE POST-DEVELOPMENT PEAK FLOWS HAVE A NEGLECTIBLE INCREASE OR DO NOT EXCEED PRE-DEVELOPMENT PEAK FLOWS PER 13-109.F.1.a.i. AND 13-109.F.2.a.i.

NOTE:

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Client
WOODBINE PROPERTY 1 LLC

1608 Route 98, Suite 301
Berk, NJ 08724

Contact: Peter Modt

Revision / Issue
No. Description Date

Issue
Date Description
6/3/2022 1ST SUBMISSION
7/2/2022 1ST SUB-COMPLETENESS
8/10/2022 1ST SUB-COMPLETENESS
9/20/2022 1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By
JL

Checked By
DTM

Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

ENVIRONMENTAL
STORMWATER PLAN

Scale: 1"=30'

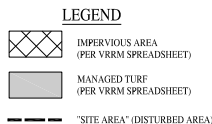
Drawing Number

21

Sheet 21 of 27



BMP LAND COVER MAP
(UTILIZED IN VRRM SPREADSHEET)
SCALE: 1"=40'



BMP SUMMARY FOR "SITE AREA"

PROJECT DESCRIPTION

RE-DEVELOPMENT

DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
PROJECT AREA (AC)	0.64	0.20	0.84
ON-SITE TREATED (AC)	0.36	0.03	0.39
OFF-SITE TREATED (AC)	0.09	N/A	0.09
TOTAL TREATED (AC)	0.45	0.03	0.48
ANY ON-SITE DISCONNECTED BY A VEGETATED BUFFER (25 FT)	N/A		
TOTAL TREATED OR DISCONNECTED			0.48

WATER TREATMENT

BMP LATITUDE (DEC. DEG.)	BMP LONGITUDE (DEC. DEG.)	BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)
38.816311	-77.072407	PLANTER-1 AND PLANTER-2	0.12	0.12	25%
38.816183	-77.072242				
38.816088	-77.072111	PLANTER-3	0.05	0.05	25%
38.816311	-77.072407	PLANTER-4	0.04	0.04	25%
38.815958	-77.072147	PLANTER-5 AND PLANTER-6	0.11	0.11	25%
		FILTERRA-1	0.10	0.08	65%
		FILTERRA-2	0.06	0.05	65%
		TOTAL	0.48	0.45	

WATER TREATMENT ON-SITE (ENTIRE SITE)

PROPOSED IMPERVIOUS: 0.64 AC
TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.64
= 1,161.60 CU. FT. WQV REQUIRED

TOTAL WQV TREATED: = 1016.7 CF (PLANTER BOX FACILITIES)
+ 476 CF (FILTERRA-1 AND -2)
= 1492.7 CF

% OF WQV TREATED = 100%

UNTREATED WATER QUALITY VOLUME = 0.00 CF (0%)

TOTAL IMPERVIOUS AREA TREATED = 0.32 AC (PLANTER BOX FACILITIES)
+ 0.13 AC (FILTERRA-1 AND -2)
= 0.45 ACRES

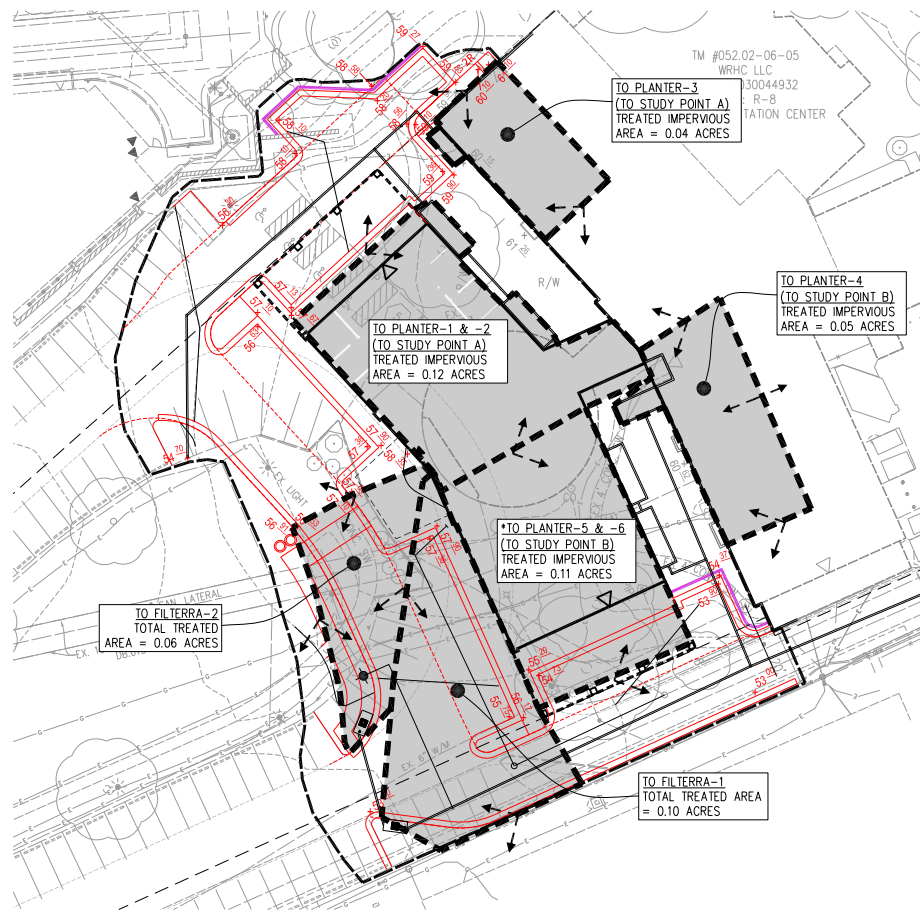
% OF IMP. AREA TREATED = 70%

UNTREATED IMP. AREA = 0.19 (30%)

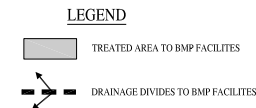
DETENTION ON SITE: YES (SIX PLANTER BOX FACILITIES)
PROJECT IS WITHIN WHICH WATERSHED? TAYLOR RUN
PROJECT DISCHARGES TO WHICH BODY OF WATER? TAYLOR RUN

NOTE:
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* PLANTER-5 AND PLANTER-6 MAY BE RELOCATED AT TIME OF DESIGN DUE TO POTENTIAL OUTFALL CONSTRAINTS



BMP DRAINAGE DIVIDES MAP
SCALE: 1"=40'



APPROVED

SPECIAL USE PERMIT NO. _____

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



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Client
WOODBINE PROPERTY I LLC

1608 Route 98, Suite 301
Brim, NJ 08724

Contact: Peter Modt

Revision / Issue
No. Description Date

Issue
Date Description
8/3/2022 1ST SUBMISSION
7/21/2022 1ST SUB-COMPLETENESS
6/10/2022 1ST SUB-COMPLETENESS
9/20/2022 1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By: JL Checked By: DTM

Project No. ZP-13088

Date: SEPT. 20, 2022

Drawing Title

ENVIRONMENTAL
STORMWATER PLAN

Scale: 1"=30'

Drawing Number

22

Sheet 22 of 27

STUDY POINT A

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)				0.15	0.15	0.25
Impervious Cover (acres)				0.47	0.47	0.95
Total				0.62		

Total Phosphorus Available for Removal in D.A. A (lb/yr)	1.10
Post Development Treatment Volume in D.A. A (ft ³)	1,757

Stormwater Best Management Practices (RR = Runoff Reduction)

--Select from dropdown lists--

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
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PLANTER BOX-1

6. Bioretention (RR)

6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.06	0	88	132	221	25	0.00	0.14	0.08	0.06	
---	----	--	------	---	----	-----	-----	----	------	------	------	------	--

PLANTER BOX-2

6. Bioretention (RR)

6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.06	0	88	132	221	25	0.00	0.14	0.08	0.06	
---	----	--	------	---	----	-----	-----	----	------	------	------	------	--

PLANTER BOX-3

6. Bioretention (RR)

6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.04	0	55	83	138	25	0.00	0.09	0.05	0.04	
---	----	--	------	---	----	----	-----	----	------	------	------	------	--

FILTERRA-1

14.b. Manufactured Treatment Device-Filtering	0	0.02	0.08	0	0	294	294	65	0.00	0.18	0.12	0.06	
---	---	------	------	---	---	-----	-----	----	------	------	------	------	--

FILTERRA-2

14.c. Manufactured Treatment Device-Genetic	0	0.03	0.05	0	0	182	182	65	0.00	0.11	0.07	0.04	
---	---	------	------	---	---	-----	-----	----	------	------	------	------	--

STUDY POINT B

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)				0.05	0.05	0.25
Impervious Cover (acres)				0.16	0.16	0.95
Total				0.21		

Total Phosphorus Available for Removal in D.A. B (lb/yr)	0.37
Post Development Treatment Volume in D.A. B (ft ³)	594

Stormwater Best Management Practices (RR = Runoff Reduction)

--Select from dropdown lists--

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
----------	-----------------------------	----------------------------------	--------------------------------------	--	-------------------------------------	--	---	-----------------------------------	--	--	-------------------------------------	--------------------------------	------------------------------------

PLANTER BOX-4

6. Bioretention (RR)

6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.05	0	69	103	172	25	0.00	0.11	0.06	0.05	
---	----	--	------	---	----	-----	-----	----	------	------	------	------	--

PLANTER BOX-5

6. Bioretention (RR)

6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.06	0	76	114	190	25	0.00	0.12	0.07	0.05	
---	----	--	------	---	----	-----	-----	----	------	------	------	------	--

PLANTER BOX-6

6. Bioretention (RR)

6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.05	0	69	103	172	25	0.00	0.11	0.06	0.05	
---	----	--	------	---	----	-----	-----	----	------	------	------	------	--

Site Results (Water Quality Compliance)

Area Checked	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	ADA CRITERIA
POWER/UPPER SPACES (sq)	0.00	0.00	0.00	0.00	0.00	OK
IMPERVIOUS COVER (sq)	0.47	0.16	0.00	0.00	0.00	OK
IMPERVIOUS COVER TREATED (sq)	0.12	0.10	0.00	0.00	0.00	OK
MANAGED TURF AREA (sq)	0.15	0.05	0.00	0.00	0.00	OK
MANAGED TURF AREA TREATED (sq)	0.03	0.02	0.00	0.00	0.00	OK
ADA CRITERIA	OK	OK	OK	OK	OK	

Site Treatment Volume (ft³)

2,389

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
Runoff Reduction Volume Achieved (ft ³)	108	265	0	0	0	373
TP Load Available for Removal (lb/yr)	1.10	0.37	0.00	0.00	0.00	1.47
TP Load Reduction Achieved (lb/yr)	0.40	0.21	0.00	0.00	0.00	0.61
TP Load Remaining (lb/yr)	0.57	0.16	0.00	0.00	0.00	0.83
Nitrogen Load Reduction Achieved (lb/yr)	1.75	1.47	0.00	0.00	0.00	3.22

Total Phosphorus

Final Post-Development TP Load (lb/yr)	0.57
TP Load Reduction Required (lb/yr)	0.90
TP Load Reduction Achieved (lb/yr)	0.61
TP Load Remaining (lb/yr)	0.96
Remaining TP Load Reduction Required (lb/yr)	0.35

** TARGET TP REDUCTION EXCEEDED BY 0.35 LB/YR/A **

Total Nitrogen (For Information Purposes)

Final Post-Development TN Load (lb/yr)	3.22
Nitrogen Load Reduction Achieved (lb/yr)	3.22
Remaining Post-Development Nitrogen Load (lb/yr)	0.00

NOTE:
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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

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Seal



Client

WOODBINE PROPERTY 1 LLC

1608 Route 98, Suite 301
Brim, NJ 08724

Contact: Peter Modt

Revision / Issue

No. Description Date

Issue

Date	Description
8/3/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/10/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By

JL

Checked By

DTM

Project No.

ZF-13088

Date

SEPT. 20, 2022

Drawing Title

ENVIRONMENTAL
STORMWATER PLAN

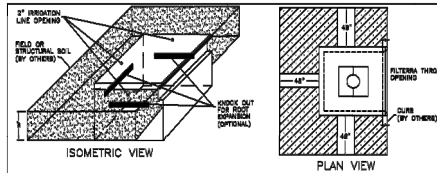
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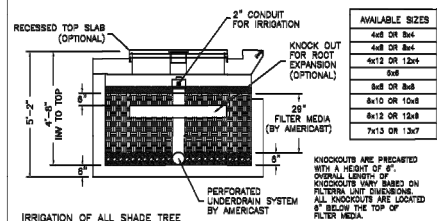
23

Sheet 23 of 27

PROPOSED FILTERRA DETAIL (FILTERRA-1 AND FILTERRA-2)



- POSSIBLE SCENARIOS FOR ROOT EXPANSION USING KNOCKOUTS:**
- THE DESIGNATED AREA AROUND THE FILTERRA UNIT PROVIDES ADEQUATE SOIL VOLUME FOR TREE ROOTS UNDER THE SURROUNDING LANDSCAPE. THESE ARE RECOMMENDED VOLUMES, SUBJECT TO SITE CONDITIONS AND ANTICIPATED GROWTH REQUIREMENTS.
 - IF THE DESIGNATED AREA AROUND THE FILTERRA UNIT WILL BE PAVED, BACKFILLING THIS AREA WITH STRUCTURAL SOILS WOULD ALLOW FOR IMPROVED ROOT GROWTH DUE TO NON-COMPACTED SOILS AND AERATION, AS WELL AS STABILIZATION OF THE TREE.
 - THIS DESIGN COULD BE COMBINED WITH PERVIOUS CONCRETE TO ALLOW THE ROOTS ACCESS TO MORE WATER.



IRRIGATION OF ALL SHADE TREE UNITS IS HIGHLY RECOMMENDED AND IS THE OWNER'S RESPONSIBILITY.

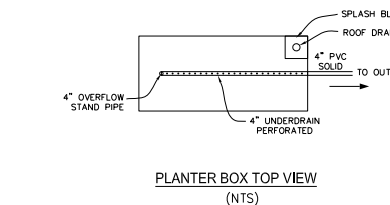
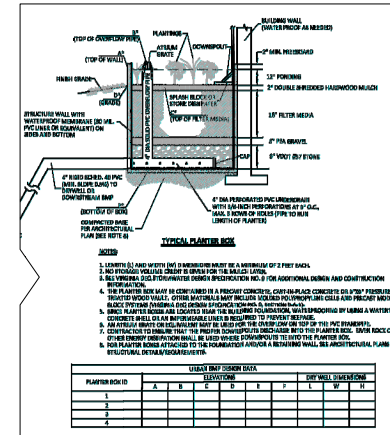
WOODBINES OF DRAWINGS ARE ONLY PERMITTED IF THE FOLLOWING CONDITIONS ARE MET:

DATE: 05-19-08 (REV. 02-17-08) 1

FILTERRA STREET/SHADE TREE CONFIGURATION WITH KNOCKOUTS - EAST ZONE

US 207 5,827,874 (REV. 05-08-01)

PROPOSED PLANTER BOX DETAIL (TYP.) (PLANTER-1 THRU PLANTER-6)



NOTE:

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Contact: Peter Modt

Revision / Issue
No. Description Date

Issue
Date Description
6/3/2022 1ST SUBMISSION
7/21/2022 1ST SUB-COMPLETENESS
8/10/2022 1ST SUB-COMPLETENESS
9/20/2022 1ST SUB-COMPLETENESS

Project Name
WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL **Checked By** DTM

Project No. ZP-13088

Date SEPT. 20, 2022

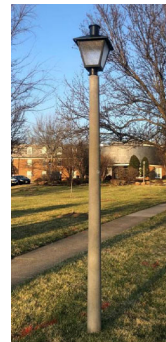
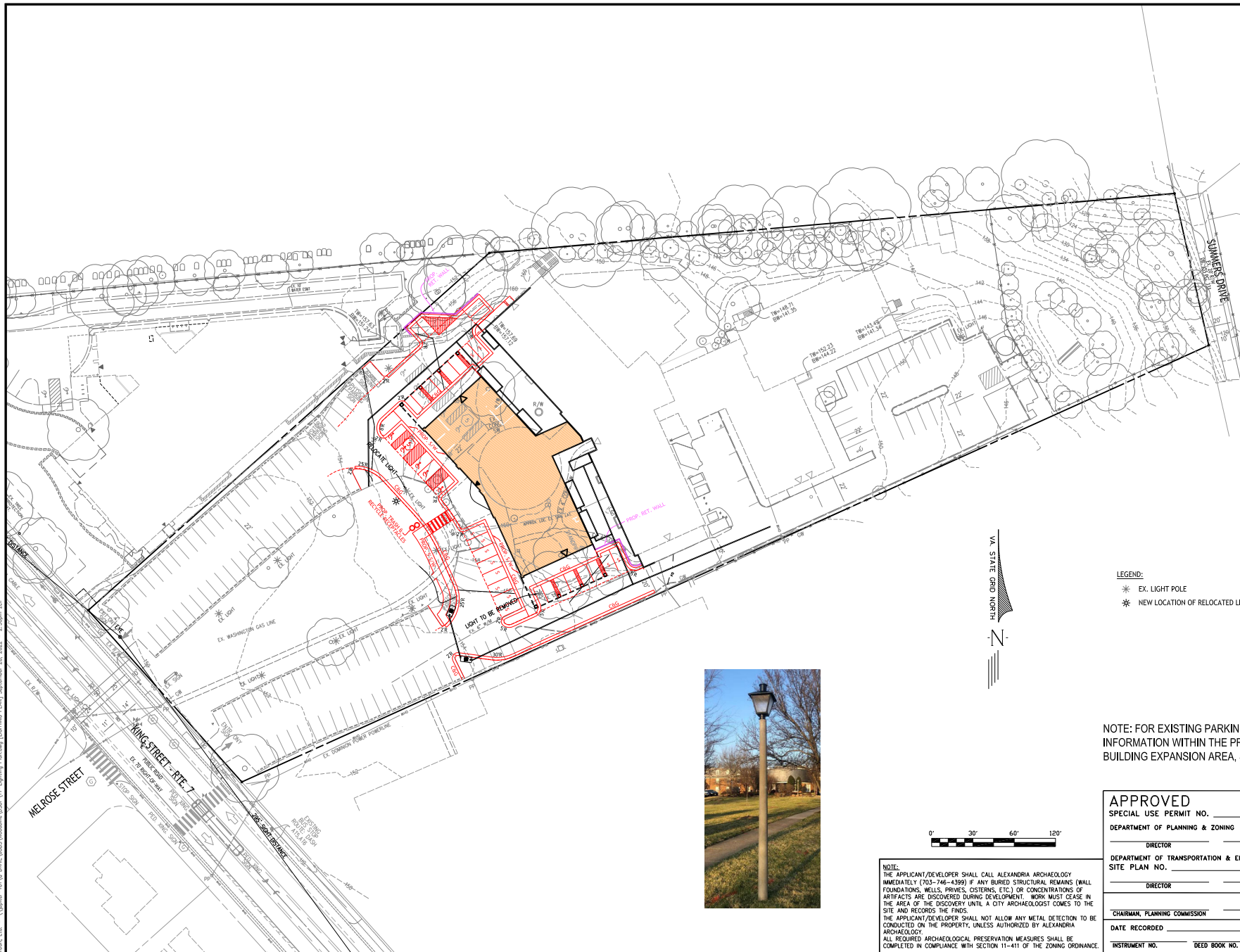
Drawing Title
ENVIRONMENTAL
STORMWATER PLAN

Scale: N/A

Drawing Number
24

Sheet 24 of 27

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DEPARTMENT OF PLANNING & ZONING
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SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



LEGEND:

- * EX. LIGHT POLE
- * NEW LOCATION OF RELOCATED LIGHT POLE

NOTE: FOR EXISTING PARKING LOT
INFORMATION WITHIN THE PROPOSED
BUILDING EXPANSION AREA, SEE SHEET 4

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DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

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DIRECTOR

CHAIRMAN, PLANNING COMMISSION

DATE RECORDED _____

E.	<u>INSTRUMENT NO.</u>	<u>DEED BOOK NO.</u>	<u>PAGE NO.</u>
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Client

WOODBINE PROPERTY 1 LLC

1608 Route 88, Suite 301
Bridgewater, N.J. 08734

Brick, NJ 08724

Contact: Peter Modl

Revision / Issue

40. Description	Date
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Issue

Date	Description
1/3/2022	1ST SUBMISSION
1/21/2022	1ST SUB.-COMPLETENESS
1/19/2022	1ST SUB.-COMPLETENESS
1/20/2022	1ST SUB.-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

City of Alexandria
Alexandria, Virginia

Drawn By

JL

Project No. _____

Project No. _____

Date SE

Drawing Title

LIGH

LIG

Scale: 1" = 30'

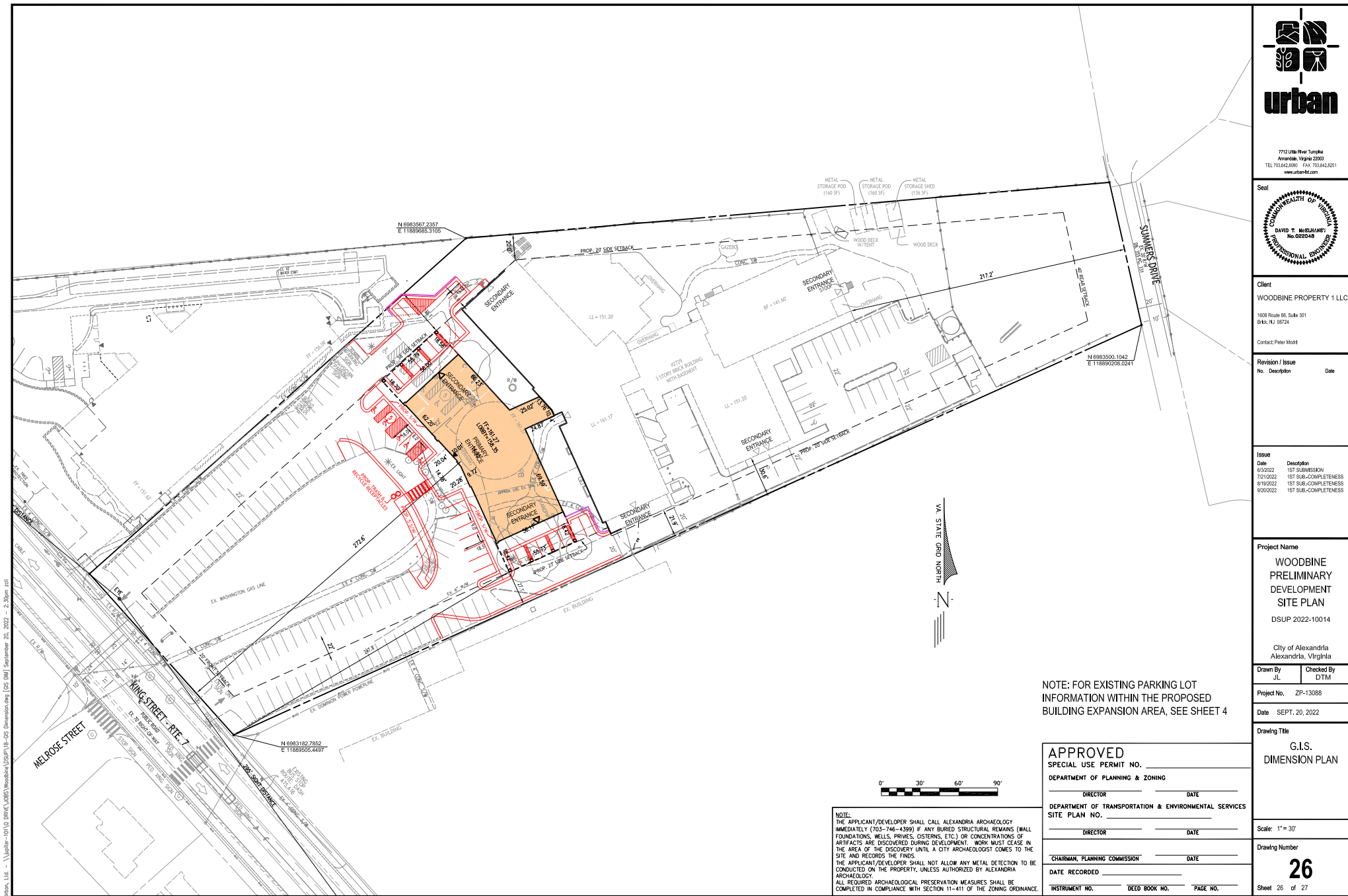
Drawing Number

25

Sheet 25 of 27

ZP-13088

Urban, LLC - 7712 Little River Turnpike, Alexandria, Virginia 22303
TEL 703.623.8891 FAX 703.623.8251
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NOTE: FOR EXISTING PARKING LOT
INFORMATION WITHIN THE PROPOSED
BUILDING EXPANSION AREA, SEE SHEET 4

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
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Client

WOODBINE PROPERTY 1 LLC
1038 Route 88, Suite 301
Bldg. NJ 85534
Contact: Peter Modt

Revision / Issue

No.	Description	Date
1	1ST SUBMISSION	8/22/2022
2	1ST SUB-COMPLETENESS	7/21/2022
3	1ST SUB-COMPLETENESS	8/19/2022
4	1ST SUB-COMPLETENESS	9/20/2022

Issue

Date	Description
8/22/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN
DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

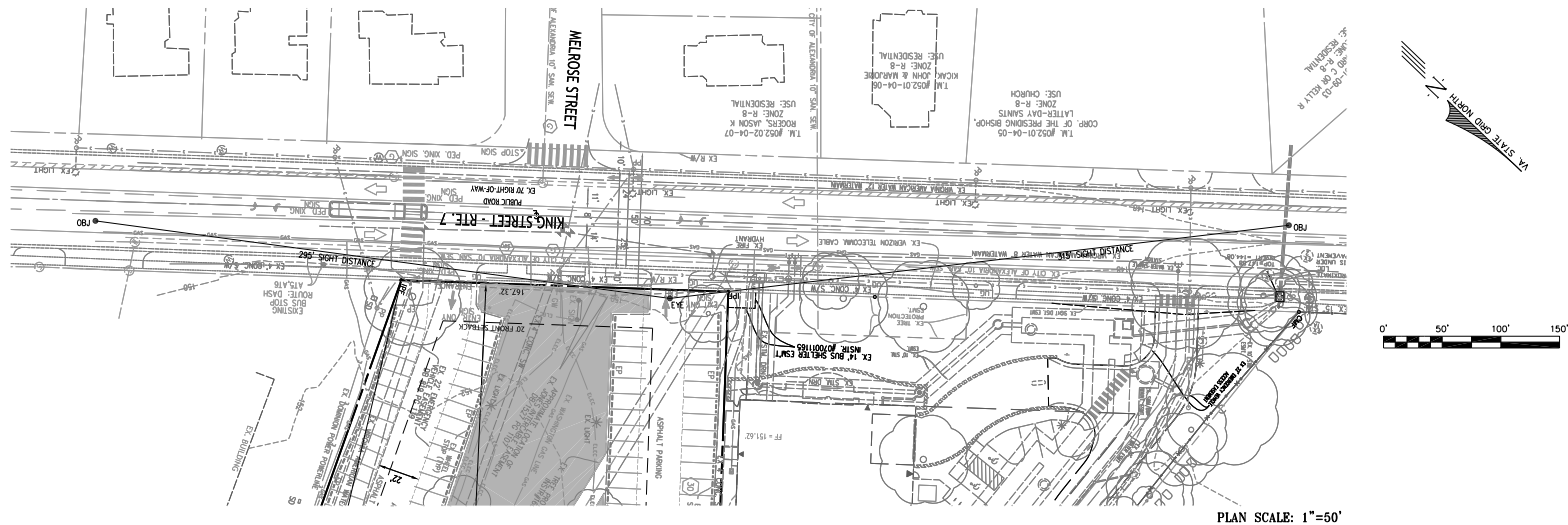
G.I.S.
DIMENSION PLAN

Scale: 1" = 30'

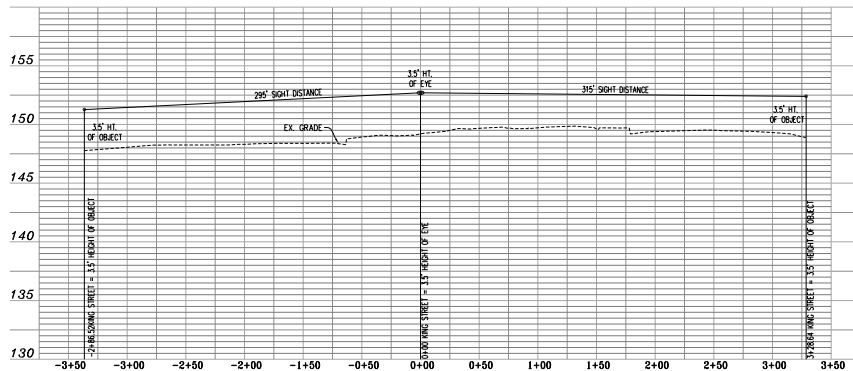
Drawing Number

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Sheet 26 of 27



SIGHT DISTANCE AT KING STREET WOODBINE EXIT
25 MPH POSTED SPEED



NOTE:
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WOODBINE PROPERTY 1 LLC

1818 Route 88, Suite 301
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Contact: Peter Mood

Revision / Issue

No.	Description	Date
1	1ST SUBMISSION	6/2/2022
2	1ST SUB-COMPLETENESS	7/21/2022
3	1ST SUB-COMPLETENESS	8/19/2022
4	1ST SUB-COMPLETENESS	9/20/2022

Issue

Date	Description
6/2/2022	1ST SUBMISSION
7/21/2022	1ST SUB-COMPLETENESS
8/19/2022	1ST SUB-COMPLETENESS
9/20/2022	1ST SUB-COMPLETENESS

Project Name

WOODBINE
PRELIMINARY
DEVELOPMENT
SITE PLAN

DSUP 2022-10014

City of Alexandria
Alexandria, Virginia

Drawn By JL	Checked By DTM
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Project No. ZP-13088

Date SEPT. 20, 2022

Drawing Title

SIGHT
DISTANCE

Scale: H: 1"=50'; V: 1"=5'

Drawing Number

27

Sheet 27 of 27