

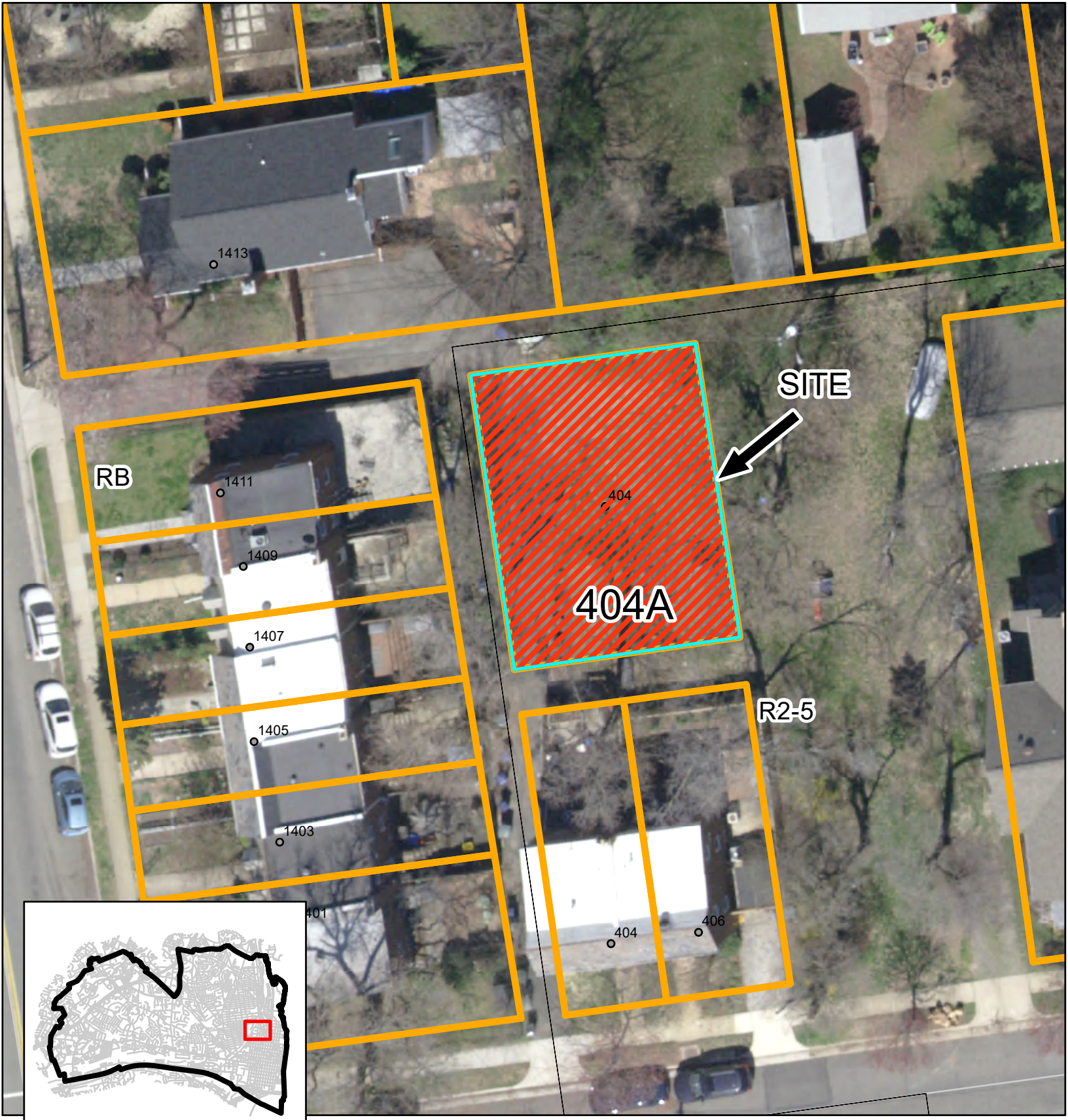


DOCKET ITEM #6
Special Use Permit #2023-00076
404-A E. Alexandria Ave – Substandard Lot without Street
Frontage Development

Application	General Data	
Public Hearing and consideration of a request for Special Use Permits for the redevelopment of a vacant substandard lot with a single-family dwelling, a lot without frontage on a public street, and a parking reduction.	Planning Commission Hearing:	January 4, 2024
	City Council Hearing:	January 20, 2024
Address: 404-A E. Alexandria Avenue	Zone:	R 2-5/ Residential Single Family and Two Family
Applicant: Eric Teran and Daniela Gross	Small Area Plan:	Potomac West Small Area Plan

Staff Recommendation: APPROVAL subject to compliance with all applicable codes, ordinances and the recommended permit conditions found in Section III of this report.

Staff Reviewers: Rachel Drescher, rachel.drescher@alexandriava.gov
Sam Shelby, sam.shelby@alexandriava.gov



Special Use Permit #2023-00076 404A East Alexandria Avenue



I. DISCUSSION

The applicants, Eric Teran and Daniela Gross, request Special Use Permit (SUP) approval to develop a single-family dwelling on a vacant, substandard lot without street frontage at 404-A East Alexandria Avenue. The existing lot is substandard as it does not meet the R-2-5 zone’s minimum lot area and lot width requirements. The applicants also request SUP approval for a parking reduction.

SITE DESCRIPTION

The Zoning Ordinance classifies the subject property at 404-A East Alexandria Avenue as a vacant, substandard lot of record without street frontage. The lot has a rectangular shape and measures approximately 59 feet (along its east and west lot lines) by 45 feet (along its north and south lot lines). It has a lot size of 2,662 square feet. 10-foot-wide alleys run along the north, west and south lot lines of the subject property. A portion of unimproved City right-of-way (ROW) abuts the subject property to the east. Single-family, two-family, and multi-family dwellings coexist within the same block. Figure one, below, shows the subject property.



Figure 1 - Subject Property (vacant lot)

BACKGROUND

The subject property was created by a re-subdivision of a portion of Block 10 of the “Park Addition to Alexandria” subdivision in 1938. Aerial imagery dating back to 1937 shows that the subject property has been continuously vacant since its creation. In 2013, vacation request (VAC #2013-00001) was submitted to vacate a portion of the right-of-way adjacent to the subject property. It was subsequently withdrawn.

PROPOSAL

The applicants request SUP approvals to develop the subject property with a two-story dwelling. The proposed dwelling would have 1,082.50 square feet of net floor area and would measure 19.83 feet in height from average pre-construction grade to the midpoint of the dwelling's gable roof.

The applicants' proposed design exhibits a contemporary architectural style, which exhibits clean lines, minimal ornament, and a traditional form. Figures two through five, below, show the proposed elevations.

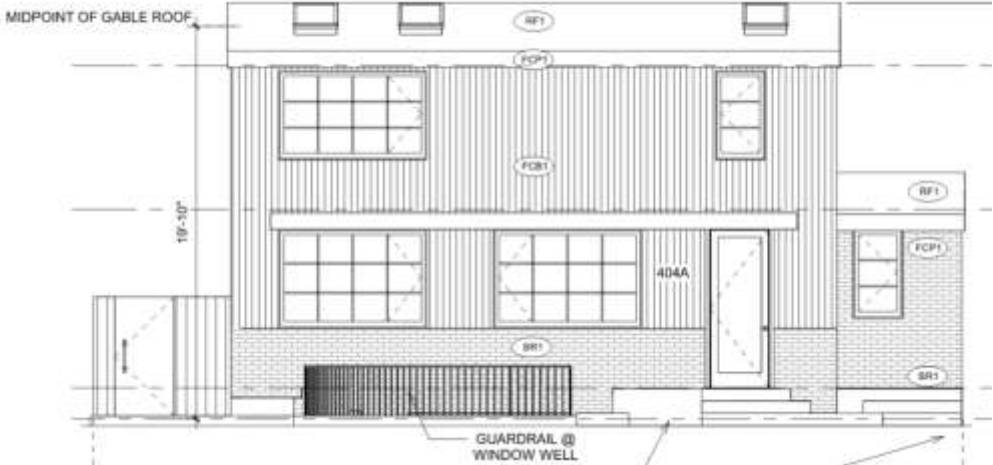


Figure 2 - Proposed North Elevation (Front)



Figure 3 – Proposed North Elevation (Rear)



Figure 4 - Proposed West Elevation (Side)

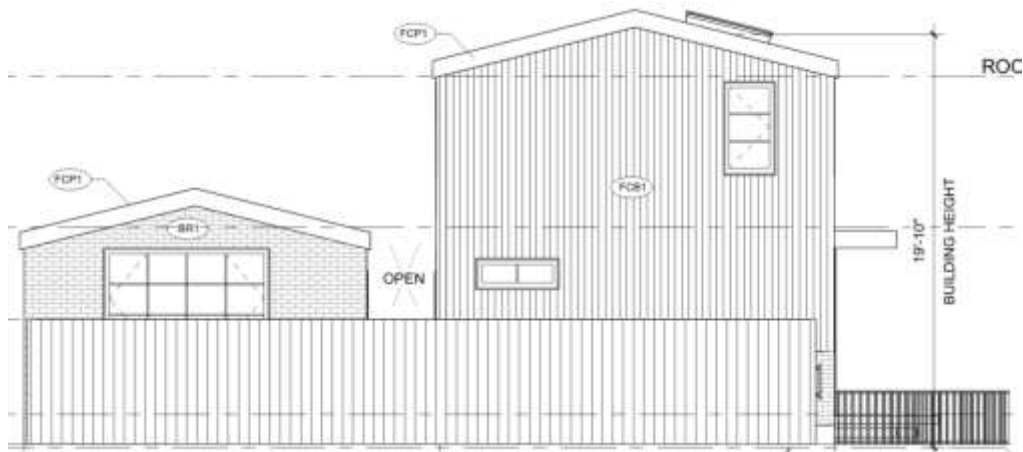


Figure 5 - Proposed East Elevation (Side)

The dwelling would measure approximately 30.67 feet by 19 feet with a footprint of about 661.29 square feet, including the front porch. It would provide a front yard of 20 feet; a west side yard of 7.0 feet; an east side yard of 7.0 feet; and a 19.83-foot rear yard. Figure 6, below, shows the proposed site plan.

The site currently contains no trees nor landscaping. The applicants propose a Black Gum tree in the front yard of the property upon redevelopment to satisfy the City's required 25 percent tree canopy coverage.

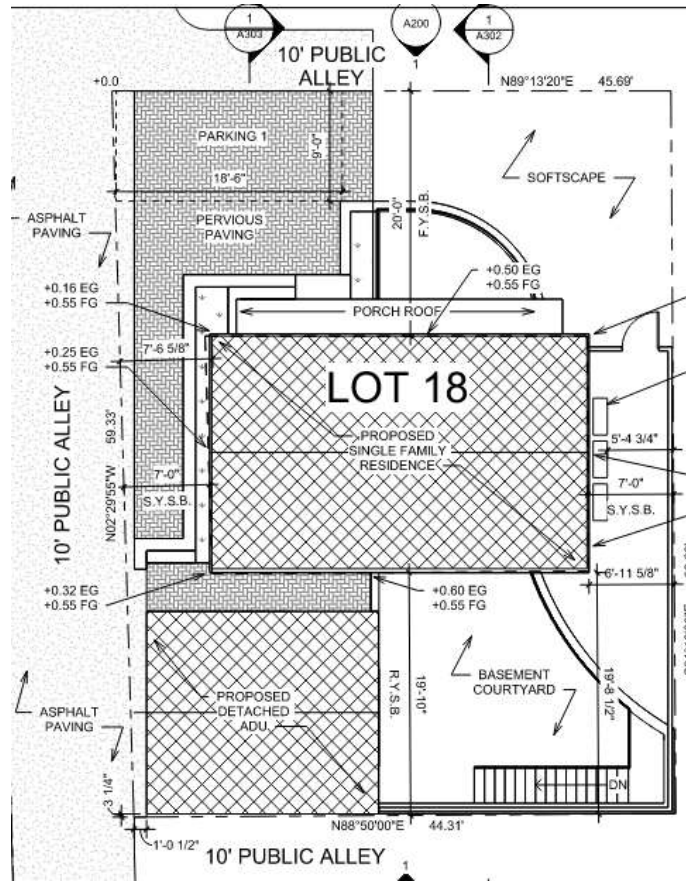


Figure 6 - Proposed Site Plan

PARKING

Zoning Ordinance section 8-200(A)(1) requires two off-street parking spaces for a single-family dwelling. The applicants would use the alley off Mount Vernon Avenue to access the property. The applicants are requesting a one space reduction to the two-space requirement.

ZONING

The subject property is zoned R-2-5/Residential Single and Two Family. For single-family dwellings, the R-2-5 zone requires a minimum lot size of 5,000 square feet. The zone also requires the lot to be at least 50 square feet wide and have at least 40 feet of frontage along a public street.

The subject property is 2,662 square feet and 45 feet wide. Given that the subject property is zoned R-2-5, was a lot of record prior to December 28, 1951 and does not meet the R-2-5 zone’s minimum lot size nor lot width requirements, Zoning Ordinance Section 12-401 applies and states:

Any lot in the . . . R-2-5 . . .residence zones, which lot was of record on December 28, 1951, and continuously thereafter, but which lot has less area or less width at the front lot line or front building line than the minimum required for use in the zone where it is situated (referred to hereafter in this section as a substandard lot), may be developed only with a single-family dwelling and its accessory buildings, subject to the following provisions:

- (A) No person has at any time from and after May 14, 1974, contemporaneously held any present or future freehold estate, except as trustee only, or an equitable interest of like quantum, in the substandard lot and in any contiguous land; and
- (B) A special use permit is granted under the provisions of section 11-500; and
- (C) City council, upon consideration of the special use permit, finds that the proposed development will not unreasonably impair an adequate supply of light and air to adjacent property, will not diminish or impair the established property values in the surrounding areas, and will be compatible with the existing neighborhood character.

Because the subject property is surrounded by alleys and unimproved right-of-way, it does not have any “contiguous land.” Section 12-401(A) would be met. Therefore, City Council may consider a SUP request for development of the subject property with a single-family dwelling. In order to approve the SUP, City Council must find that the proposal meets the requirements of sections 11-500 and 12-401(C).

The subject property also has no street frontage. Zoning Ordinance Section 7-1007 allows for lots without frontage on a public street to be developed with SUP approval. In determining which yard would be considered the subject property’s front, the proposal must be analyzed for compliance with Zoning Ordinance section 11-504, including but not limited to subsections (B)(10) and (11). These provisions require that the proposed development be compatible with the surrounding neighborhood character.

The existing lot and proposed dwelling would meet all other zoning requirements. The following table provides a summary of all zoning regulations as they pertain to the subject property and proposed dwelling:

Table 1 – Zoning Analysis

	Required	Proposed
Lot Area	5,000 Sq. Ft.	2,662 Sq. Ft.*
Lot Width	Min. 50.0 Ft.	45.0 Ft.*
Lot Frontage	Min. 40.0 Ft.	0 Ft.
Front Yard	Min. 20 Ft. (between the range of all lots within the contextual block face)	20 Ft. (Main Building) 17 Ft. (Open Porch)
Side Yard (East)	7.0 Ft. (Main Building) (1:3 height to setback ratio, 7 Ft. min.) 1.0 Ft. (ADU)	7.0 Ft. (Main Building) 24.25 Ft. (ADU)
Side Yard (West)	7.0 Ft. (Main Building) (1:3 height to setback ratio, 7 Ft. min.) 1.0 Ft. (ADU)	7.0 Ft. (Main Building) 1.0 Ft. (ADU)
Rear Yard	19. Ft. (Main Building) (1:1 height to setback ratio, 7 Ft. min.) 0 Ft. (ADU)**	19.83 Ft. (Main Building) 0 Ft. (ADU)
Net Floor Area	1,197 Sq. Ft. 0.45 Floor Area Ratio (FAR)	1,096 Sq. Ft. 0.45 Floor Area Ratio (FAR)
Height	Max. 30.0 Ft. (Main Building) Max. Height of main building or 20 Ft., whichever is lesser (ADU)	19.80 Ft. (Main Building) 12.45 Ft. (ADU)
Threshold Height	Max. 3.67 Ft.	1.58 Ft.

*Deficiency resulting in a substandard lot

**Per Section 7-1003, one-half of the width of an alley to the rear of a property can be used to comply with the rear yard setback

MASTER PLAN DESIGNATION

The proposed single-family residential use is consistent with the Potomac West Small Area Plan which designates this area for medium-density residential development.

II. STAFF ANALYSIS

Staff supports the applicants’ proposal. As required by Zoning Ordinance section 12-401(C), the proposed development would not impact light nor air supply to adjacent properties, diminish nor impair property values, and would be compatible with existing neighborhood character in terms of height, bulk, and design.

LIGHT AND AIR

The proposed design of the new dwelling would meet the required side, rear, and front yard setbacks established by the R-2-5 zone, providing adequate light and air to the adjacent parcels. In addition, the property is surrounded by alleys and public right-of-way, which provide further setback from the adjacent properties.

PROPERTY VALUES

The City’s Real Estate Department assessed the property as a vacant lot with no building valuation. The development of a new dwelling on the vacant lot would increase the assessed value for the property. This would increase the assessed value of comparably sized properties in the neighborhood. The new infill construction will not adversely affect surrounding property values.

HEIGHT

Staff finds the proposed dwelling to be compatible with neighborhood character in terms of height. In this case, the heights for all adjacent houses surrounding the parcel were examined (Figure 8). The height of the dwellings on these properties, as measured to the roof ridgeline, is shown in Table 2.

Staff finds the height of the proposed two-story dwelling to be compatible with the neighborhood, overall. The 1400 block of Mount Vernon Avenue and 400 block of East Alexandria Ave, which contains the subject property includes a mix of one and two-story single-family dwellings as well as two story semi-detached, multifamily and townhouse dwellings. The proposed dwelling would be one of the shorter dwellings of the surrounding buildings to this property.

Table 2 – Dwelling Heights

Address	Height of roof ridge
1413 Mt Vernon Ave	16.75 Ft.
Proposed Dwelling at 404-A E. Alexandria Ave	21.02 Ft.
1403 Mt Vernon Ave	25.92 Ft.
1409 Mt Vernon Ave	25.92 Ft.
Average Height	26.96 Ft.
1401 Mt Vernon Ave	27.92 Ft.
1405 Mt Vernon Ave	27.92 Ft.
1407 Mt Vernon Ave	27.92 Ft.
1411 Mt Vernon Ave	27.92 Ft.
404 E. Alexandria Ave	27.92 Ft.
406 E. Alexandria Ave	27.92 Ft.
408 E. Alexandria Ave	33.50 Ft.

BULK

Staff finds the applicants’ proposal compatible with neighborhood character in terms of bulk. The proposed dwelling would be of similar size or smaller in terms of mass and scale than a majority of the other buildings within the block with a significant portion of the floor area below grade. The dwelling is also surrounded by alleys on three sides of the lot and public right of way on the fourth side, providing additional distance from other surrounding dwellings, further reducing the visual impact of the modest dwelling.

DESIGN

While the overall proposed contemporary design would be the first of its kind for this block, the applicant has incorporated architectural elements that are common for the area, such as a rectangular form, gable roof, windows with divided lites, and a partial brick façade.

The design would fit well with the varied architecture along the 400 block of East Alexandria and 1400 block of Mount Vernon Avenues as well as the wider Del Ray neighborhood. Further, the house would be minimally visible from both Mount Vernon Avenue and East Alexandria Avenue.

Examples of rectangular structures on Mount Vernon and East Alexandria Avenues:



Examples of gable roofs along Mount Vernon and East Alexandria Avenues:



Staff has included further design analysis with regard to the subject property’s lack of public street frontage in the following section.

LOT WITHOUT FRONTAGE

While staff is not aware of any other lots without frontage in Del Ray, the applicants’ proposed design would compensate for the unique configuration of the subject property. First, the smaller lot size, as compared to the surrounding lots, necessitates a smaller and shorter dwelling than those that surround it. Second, the low-pitched roof would reduce the dwelling’s perceived height and bulk. Third, unlike typical dwellings with basements that are only partially below grade, the proposed dwelling’s basement would be fully below grade, which hides its bulk from view. Further, having the first floor close to the actual grade level reduces the overall building height.

Any amount of the basement above grade would make the dwelling seem larger visually and would make it physically taller. Overall, while the site is unique, the proposed dwelling's size, height, and design features would mimic the appearance of an accessory building. The proposed dwelling would therefore fit on this challenging site without changing the essential character of the neighborhood.

Staff finds this lot to have sufficient vehicular and pedestrian access as it is surrounded by alleys and public right of way. The alley off Mount Vernon Avenue would provide vehicular access to the property, just as it already serves the driveway to the dwellings located at 1413 and 1409 Mount Vernon Avenue. Pedestrians could access the subject property from the alleys off Mount Vernon and East Alexandria Avenues and the adjacent public right of way.

Regarding which yard would be considered the subject property's front yard, staff found the proposed orientation to be compatible with the surrounding properties. Without exception, the dwellings that surround the subject property are located on rectangular lots with their front yards placed along one of the short sides of the lot. The proposed design would mirror this configuration. Also, the proposed design orients the rear of the dwelling toward the rear of the dwellings along East Alexandria Ave, and one side yard toward the rear of the dwellings along Mount Vernon Avenue. The front yard orientation is the most appropriate toward the alley where vehicular access is already being used for the existing dwelling at 1413 Mount Vernon Avenue.



Figure 7 – Aerial showing orientation of existing buildings

PARKING REDUCTION

Staff supports the request for a parking reduction. Providing two parking spaces on the site is infeasible due to the limited maneuverability on the narrow alleys, small lot size, and utility equipment located within the alley to the north. In addition, many of the surrounding dwellings do

not provide off-street parking, and there is still ample on-street parking on both Mount Vernon and East Alexandria Avenues. The property is close to several bus routes along both Mount Vernon and East Monroe Avenues, about a half mile from the Braddock metro station, and walkable to essential neighborhood amenities including a grocery store and a pharmacy. This reduction aligns with the Zoning for Housing text amendments to reduce parking requirements for residential dwellings.

ADDITIONAL CONSIDERATIONS

Community Engagement

The applicants met with the surrounding neighbors on November 2, 2023, and at the Del Ray Land Use committee meeting on November 7, 2023. The Del Ray Citizens' Association provided a letter to staff and the applicants outlining their concerns with the project, which include the design, emergency access, stormwater management, the FAR basement exclusion and setbacks, the impact of utility lines, the impact on neighboring trees, vision clearance at the alley entrances, and the use of the accessory dwelling unit as a short-term rental.

Design

While this is the only alley lot in the Del Ray neighborhood, as described in detail above, the applicants' design is sensitive to its unique configuration.

Emergency access

Emergency vehicle access is required within 100 feet of a dwelling's main entrance. The entrance of the proposed dwelling is roughly 107 feet from Mount Vernon Avenue. The applicants would be required to request a code modification through Code Administration during the building permit process and provide further fire protection to the dwelling to the satisfaction of the fire department and Code Administration. The Fire Department and Department of Code Administration would ensure that all life safety requirements are met under any future building permit reviews. SUP approval would not preclude necessary improvements or changes to the building or site to ensure life safety requirements are met.

Stormwater management

Compliance with stormwater requirements will be ensured during the grading plan process.

FAR basement exclusion and setbacks

Per Section 2-120, a basement shall only count as floor area where the average finished grade is four feet or more below the bottom of first floor construction. Per Section 2-150.2, average finished grade is calculated by averaging the surface level elevations at 10-foot intervals around the perimeter of the proposed building, which includes the basement. Figure 8 shows the points used to calculate average finished grade from the bottom of the first floor.

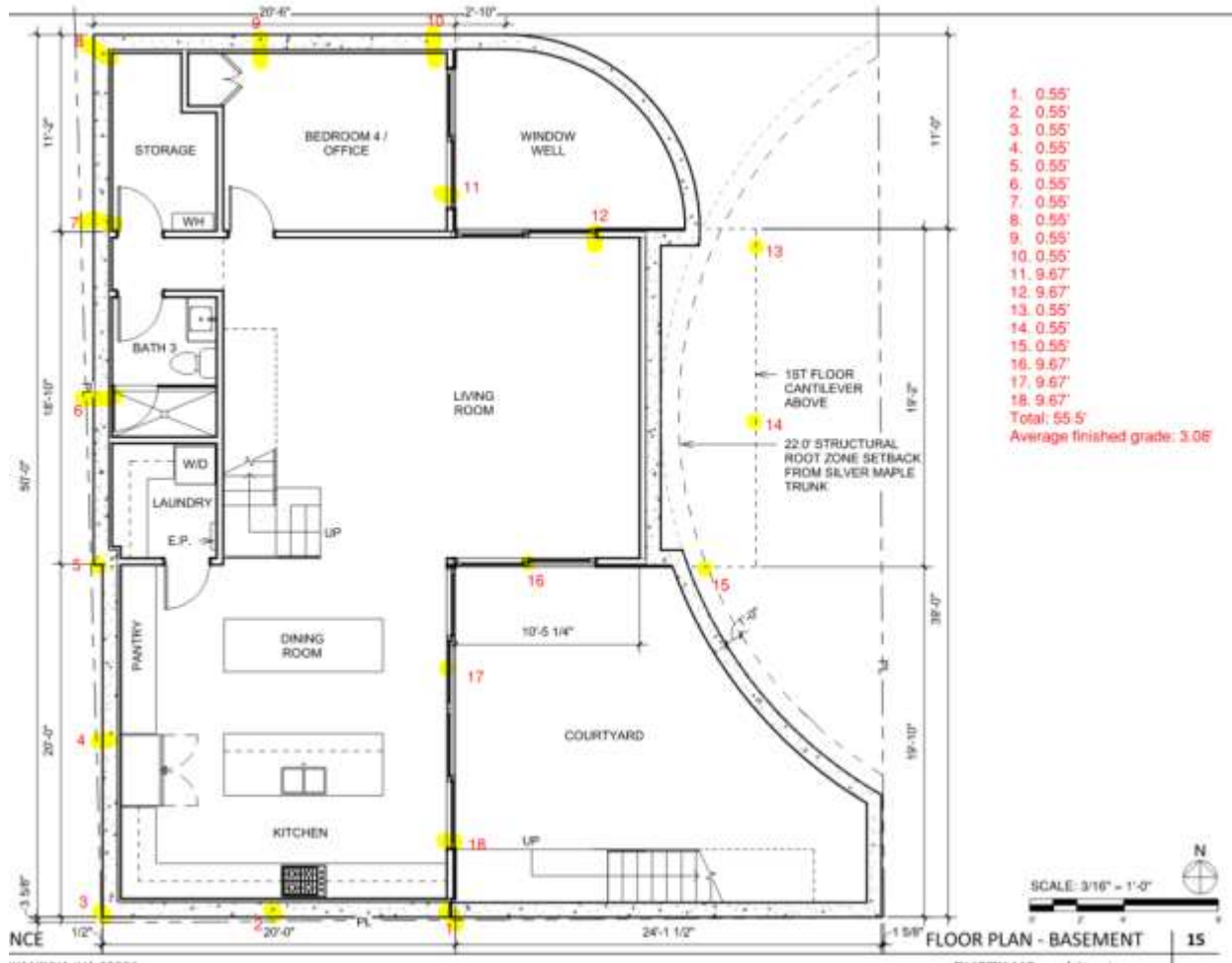


Figure 8 – Average finished grade calculation

Per Section 2-193, setback to height ratio is based upon the height of each portion of the building above average pre-construction grade. The basement is fully below average pre-construction grade. The basement and courtyard must be fully on private property.

Utility line relocation

The property currently has extensive utility lines running above the site. If approved, the applicants must work with Dominion to reconfigure the lines prior to starting construction on the site. If the reconfiguration results in any significant changes to the plan, then the applicants will be required to request a Special Use Permit for the new design per condition #1.

Trees

An existing Silver Maple tree is located within the public right-of-way to the east of the property. The applicant has made significant design adjustments to ensure the tree’s critical root zone would not be impacted. Further, the applicants would be required to adhere to tree protection measures as outlined in the City’s landscape guidelines. If these measures fail, the applicants shall be required to either replace the tree as determined by the City Arborist or pay a contribution fee of

\$2,500 per condition #5. In addition, the adjacent properties contain two Siberian Elms, a Northern Catalpa, and a White Mulberry that could be affected by construction work on the subject property. The applicant will be required to notify the immediate property owners of the potential impact to their trees and take measures to ensure minimal impacts per condition #3 and #4.

Vision clearance at alley entrance

Both alleys' intersections with East Alexandria and Mount Vernon Avenues are existing and are currently utilized by adjacent property owners to access off-street parking areas. The applicant proposes no changes to these intersections. The alley's entrance complies with the City's vision clearance requirements.

Short term rental

Section 7-203(B)(7) prohibits an ADU to be used as a short-term rental for more than 120 days per year.

CONCLUSION

Staff found that the proposal would meet all approval criteria. Staff recommends approval of the SUP request subject to the conditions contained in Section III of this report.

III. RECOMMENDED CONDITIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances, and the following conditions:

1. The dwelling's bulk, height, and design, including materials, shall be substantially consistent with the application materials submitted December 14, 2023 to the satisfaction of the Director of Planning and Zoning. (P&Z)
2. A minimum 25 percent canopy coverage shall be provided. (P&Z)
3. The applicant shall install all tree protection fencing prior to demolition of the site or structures, delivery of materials (stockpiling), and/or placement or operation of heavy machinery on the site. (P&Z)
4. The applicant shall notify owners of the immediately adjacent properties of the potential impact to trees on their properties as a result of construction prior to the application of the grading plan and provide delivery information for the correspondence. The applicant shall ensure tree protection of neighboring trees by reducing the limit of disturbance around the trees as much as possible, root pruning, root matting and similar best practices. (P&Z)
5. If tree protection measures fail for trees located on public property, the applicant shall be responsible for planting a replacement tree as determined by the City Arborist or paying the City \$2,500 replacement fee. (RPCA)

6. The applicant shall be responsible for repairs to any adjacent City right-of-way if damaged during construction activity. (T&ES)
7. The applicant shall repave the portion of the public alley abutting the subject property to the west. (T&ES)
8. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
9. The applicant shall install a backflow preventer on the sanitary sewer lateral connection to the basement and provide notation of this on the grading plan and building permit. (T&ES)
10. The Applicant shall install a minimum of one (1) bollard near the electrical box to prevent vehicles from striking the equipment. (T&ES)

STAFF: Rachel Drescher, Urban Planner, Department of Planning and Zoning
Sam Shelby, Principal Planner, Department of Planning and Zoning
Tony LaColla, AICP, Division Chief, Department of Planning and Zoning

Staff Note: In accordance with section 11-506(c) of the Zoning Ordinance, construction or operation shall be commenced and diligently and substantially pursued within 36 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). In order to comply with this code requirement, the applicant shall provide a completed Recycling Implementation Plan (RIP) Form within 60 days of SUP approval. Contact the City's Recycling Program Coordinator at (703) 746-4410, or via e-mail at commercialrecycling@alexandriava.gov, for information about completing this form. (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Section 5-1-42- Collection by Private collectors. (c) Time of collection. Solid waste shall be collected from all premises not serviced by the city at least once each week. No

collections may be made between the hours of 11:00 p.m. and 7:00 a.m. (6:00 a.m. from May 1, through September 30) if the collection area is less than 500 feet from a residential area. (T&ES)

Code Enforcement:

C-1 Building permit is required.

Recreation, Parks and Cultural Activities:

F-1 If tree protection measures fail for any tree located on public property, the applicant shall be responsible for planting a replacement tree as determined by the City Arborist or paying a \$2,500 replacement fee to the City. Due to the site location, suitable replacements would be a +2" caliper London plain tree, American elm variety, red oak species, sweetgum, or ginkgo (male only). If the precautions are followed to protect the tree, the chances of survivability would be moderate to high.

Police Department:

No comments received.

Fire Department:

C-1 EMERGENCY VEHICLE ACCESS as required in the City of Alexandria Code D101.1 Requirements. The following requirements shall be followed when designing emergency vehicle access:

1. Access for emergency vehicles shall be provided to within 100 feet of the main or principal entrance to every building. The access shall be provided by a public or private street or parking lot.

In the event access is not available a code modification will be required.



APPLICATION SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

PROPERTY LOCATION: 404-A East Alexandria Ave

TAX MAP REFERENCE: 43.04 **ZONE:** R-2-5

APPLICANT:

Name: Eric Teran and Daniela Gross

Address: 2800 N. Rosser ST, Alexandria, VA 22311

PROPOSED USE: Single Family Residence

- THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Eric Teran
 Print Name of Applicant or Agent
2800 N. Rosser ST.
 Mailing/Street Address
Alexandria, VA 22311
 City and State Zip Code

8/14/23
 Signature Date
202.569.9620 _____
 Telephone # Fax #
eteran@eustilus.com
 Email address

PROPERTY OWNER'S AUTHORIZATION

As the property owner of 404-A East Alexandria Ave, I hereby

(Property Address)

grant the applicant authorization to apply for the SUP use as

(use)

described in this application.

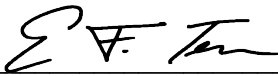
Name: Eric Teran

Phone: 202.569.9620

Please Print

Address: _____

Email: eteran@eustilus.com

Signature: 

Date: 8/14/23

- 1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

Required floor plan and plot/site plan attached.

Requesting a waiver. See attached written request.

- 2. The applicant is the (check one):

Owner

Contract Purchaser

Lessee or

Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

NA

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Eric Teran		50%
2. Daniela Gross		50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2800 N. Rosser ST, Alexandria, VA 22311 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. NA		
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here.](#)

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. NA		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/14/23

Eric Teran

Date

Printed Name

Signature

USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):
- a new use requiring a special use permit,
 - an expansion or change to an existing use without a special use permit,
 - an expansion or change to an existing use with a special use permit,
 - other. Please describe: _____

5. Please describe the capacity of the proposed use:

- A. How many patrons, clients, pupils and other such users do you expect?
Specify time period (i.e., day, hour, or shift).
NA

- B. How many employees, staff and other personnel do you expect?
Specify time period (i.e., day, hour, or shift).
NA

6. Please describe the proposed hours and days of operation of the proposed use:

Day:	Hours:
NA _____	NA _____
_____	_____
_____	_____
_____	_____

7. Please describe any potential noise emanating from the proposed use.

- A. Describe the noise levels anticipated from all mechanical equipment and patrons.
NA

- B. How will the noise be controlled?
NA

8. Describe any potential odors emanating from the proposed use and plans to control them:

NA

9. Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)
Typical of a single family residence

B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)
Typical of a single family residence

C. How often will trash be collected?
Weekly per the trash collection schedule for this neighborhood

D. How will you prevent littering on the property, streets and nearby properties?
NA

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?

NA

ALCOHOL SALES

13.

A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

1 Standard spaces
_____ Compact spaces
_____ Handicapped accessible spaces.
_____ Other.

Planning and Zoning Staff Only
Required number of spaces for use per Zoning Ordinance Section 8-200A _____
Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No

B. Where is required parking located? (*check one*)

on-site
 off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

[X] Parking reduction requested; see attached supplemental form

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are available for the use? NA

Planning and Zoning Staff Only
Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____
Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No

B. Where are off-street loading facilities located? NA

C. During what hours of the day do you expect loading/unloading operations to occur?
NA

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?
NA

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Access is through an alley

SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? Yes No

Do you propose to construct an addition to the building? Yes No

How large will the addition be? _____ square feet.

18. What will the total area occupied by the proposed use be?

0 sq. ft. (existing) + 870 sq. ft. (addition if any) = 870 sq. ft. (total)

19. The proposed use is located in: (*check one*)

a stand alone building

a house located in a residential zone

a warehouse

a shopping center. Please provide name of the center: _____

an office building. Please provide name of the building: _____

other. Please describe: _____

End of Application



Department of Planning & Zoning Special Use Permit Application Checklist

Supplemental application for the following uses:

- Automobile Oriented
- Parking Reduction
- Signs
- Substandard Lot
- Lot modifications requested with SUP use

Interior Floor Plan

- Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

If Applicable

- Plan for outdoor uses

Contextual site image

- Show subject site, on-site parking area, surrounding buildings, cross streets



APPLICATION - SUPPLEMENTAL

PARKING REDUCTION

Supplemental information to be completed by applicants requesting special use permit approval of a reduction in the required parking pursuant to section 8-100(A)(4) or (5).

1. Describe the requested parking reduction. (e.g. number of spaces, stacked parking, size, off-site location)

To provide one standard size parking space instead of two on a residential lot in the R-2-5 zone.

2. Provide a statement of justification for the proposed parking reduction.

There are major bus routes on Mt. Vernon Ave. less than 100' from the lot and a metro stop approximately 3,000 feet from the lot.

3. Why is it not feasible to provide the required parking?

The lot is difficult to pull in and out for two cars due to the narrow alley and existing conditions.

4. Will the proposed reduction reduce the number of available parking spaces below the number of existing parking spaces?

_____ Yes. No.

5. If the requested reduction is for more than five parking spaces, the applicant must submit a *Parking Management Plan* which identifies the location and number of parking spaces both on-site and off-site, the availability of on-street parking, any proposed methods of mitigating negative affects of the parking reduction.

6. The applicant must also demonstrate that the reduction in parking will not have a negative impact on the surrounding neighborhood.



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. Street Address R-2-5
 Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area	Allowable Exclusions**	
Basement <input type="text"/>	Basement** <input type="text"/>	B1. <input type="text" value="0.00"/> Sq. Ft.
First Floor <input type="text"/>	Stairways** <input type="text"/>	Existing Gross Floor Area*
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	B2. <input type="text" value="0.00"/> Sq. Ft.
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	Allowable Floor Exclusions**
Attic <input type="text"/>	Porches** <input type="text"/>	B3. <input type="text" value="0.00"/> Sq. Ft.
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	Existing Floor Area Minus Exclusions
Balcony/Deck <input type="text"/>	Garage** <input type="text"/>	(subtract B2 from B1)
Garage <input type="text"/>	Other*** <input type="text"/>	
Other*** <input type="text"/>	Other*** <input type="text"/>	
B1. Total Gross <input type="text" value="0.00"/>	B2. Total Exclusions <input type="text" value="0.00"/>	

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area	Allowable Exclusions**	
Basement <input type="text" value="1,222.00"/>	Basement** <input type="text" value="1,222.00"/>	C1. <input type="text" value="2,807.00"/> Sq. Ft.
First Floor <input type="text" value="587.00"/>	Stairways** <input type="text" value="78.00"/>	Proposed Gross Floor Area*
Second Floor <input type="text" value="587.00"/>	Mechanical** <input type="text" value="0.00"/>	C2. <input type="text" value="1,711.00"/> Sq. Ft.
Third Floor <input type="text" value="0.00"/>	Attic less than 7'*** <input type="text" value="0.00"/>	Allowable Floor Exclusions**
Attic <input type="text" value="0.00"/>	Porches** <input type="text" value="81.00"/>	C3. <input type="text" value="1,096.00"/> Sq. Ft.
Porches <input type="text" value="81.00"/>	Balcony/Deck** <input type="text" value="0.00"/>	Proposed Floor Area Minus Exclusions
Balcony/Deck <input type="text" value="0.00"/>	Garage** <input type="text" value="0.00"/>	(subtract C2 from C1)
Garage <input type="text" value="0.00"/>	Other*** <input type="text" value="0.00"/>	
Other*** <input type="text" value="330.00 ADU"/>	Other*** <input type="text" value="330.00 ADU"/>	
C1. Total Gross <input type="text" value="2,807.00"/>	C2. Total Exclusions <input type="text" value="1,711.00"/>	

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301



- ALEXANDRIA VACANT LOTS 1
- DEL REY VACANT LOTS 2
- DEL REY SIMILAR LOTS 3
- SITE PHOTOS 4
- HEIGHT STUDY 12
- PROJECT INFORMATION 13
- SITE PLAN 14
- FLOOR PLANS 15
- ELEVATIONS 19
- SECTIONS 23
- SHADOW STUDY 27
- PARKING DIAGRAM 30
- FIRE DIAGRAM 31
- LANDSCAPE NOTES 32
- LANDSCAPE PLANS 33
- LANDSCAPE DETAILS 34
- RENDERINGS 36
- MATERIAL COMPATIBILITY 41

EUSTILUS architecture

2800 N.ROSSER ST.
ALEXANDRIA, VA 22311

202.569.9620
WWW.EUSTILUS.COM
ETERAN@EUSTILUS.COM

5213 FILLMORE AVE
 5233 SEMINARY RD
 2715 N ROSSER ST
 2211 & 2213 IVOR LA
 1101 FINLEY LA
 1321 N. PEGRAM ST



DEL REY MAP, PAGE 2

2010 LA GRANDE AVE.

404A E. ALEXANDRIA AVE.

906 JUNOIR ST

1119 QUEEN ST

17 W LINDEN ST

1215 A CAMERON ST

310 A PRINCESS ST

211 COMMERCE ST

219 A S FAYETTE ST

308 N. QUAKER LA

16 VACANT LOTS PER THE FOLLOWING GUIDELINES:

1. VACANT LOTS CLASSIFIED AS RESIDENTIAL
 2. VACANT LOTS NOT OWNED BY THE CITY OF ALEXANDRIA
 3. VACANT LOTS NOT OWNED BY THE ADJACENT OWNER
 4. VACANT LOTS NOT BEING USED FOR PARKING
- *PER THE ALEXANDRIA GIS PARCEL VIEWER

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404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301



2010 LA GRANDE AVE.

NEIGHBORHOOD AREA,
PAGE 3

404A E. ALEXANDRIA AVE.

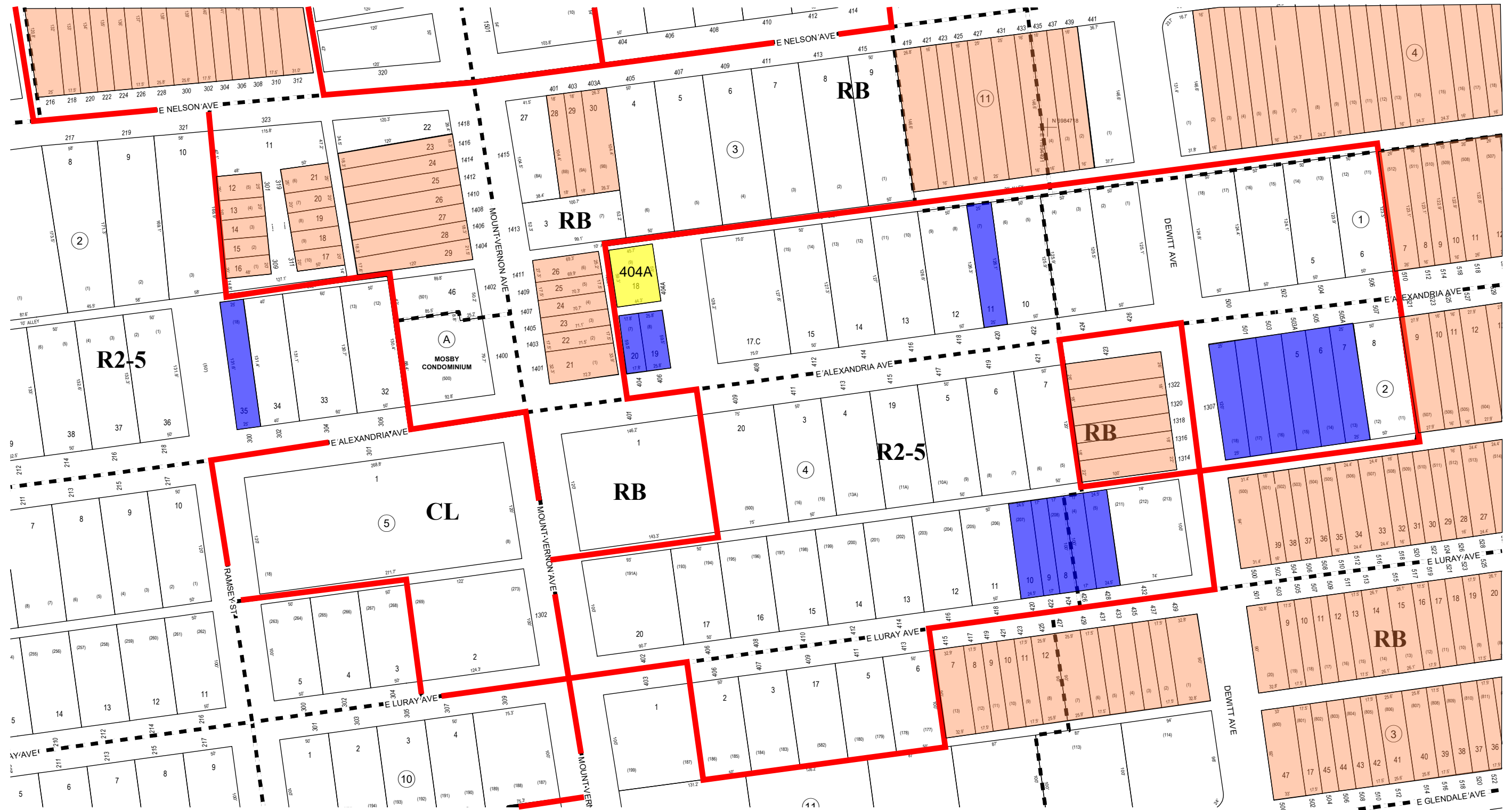
- 2 VACANT LOTS PER THE FOLLOWING GUIDELINES:
1. VACANT LOTS CLASSIFIED AS RESIDENTIAL
 2. VACANT LOTS NOT OWNED BY THE CITY OF ALEXANDRIA
 3. VACANT LOTS NOT OWNED BY THE ADJACENT OWNER
 4. VACANT LOTS NOT BEING USED FOR PARKING
- *PER THE ALEXANDRIA GIS PARCEL VIEWER

GROSS - TERAN RESIDENCE


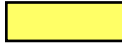


404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

DEL REY - VACANT LOTS

EUSTILUS architecture



LEGEND

	ZONE BOUNDARY
	R-2-5 404A, SUBJECT PROPERTY
	R-2-5 15 LOTS SIMILAR SIZE
	RB 134 LOTS SIMILAR SIZE

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404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

DEL REY - NEIGHBORING SIMILAR LOT SIZES

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1. NORTHWEST CORNER OF MT. VERNON AVE. & E. ALEXANDRIA AVE.



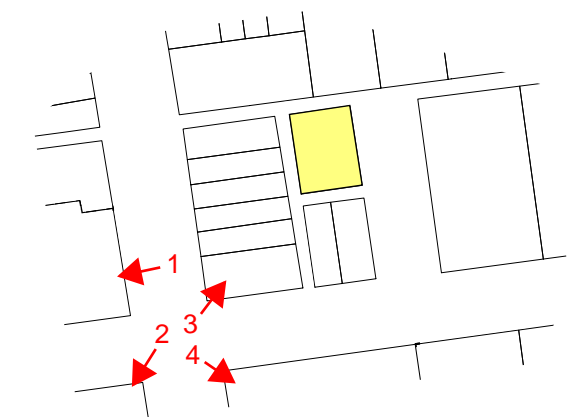
2. NORTHEAST CORNER OF MT. VERNON AVE. & E. ALEXANDRIA AVE.



3. SOUTHWEST CORNER OF MT. VERNON AVE. & E. ALEXANDRIA AVE.



4. SOUTHEAST CORNER OF MT. VERNON AVE. & E. ALEXANDRIA AVE.



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404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

SITE PHOTOS

4

EUSTILUS architecture



1. 1413 MT. VERNON AVE. NORTH OF PUBLIC ALLEY ENTRANCE



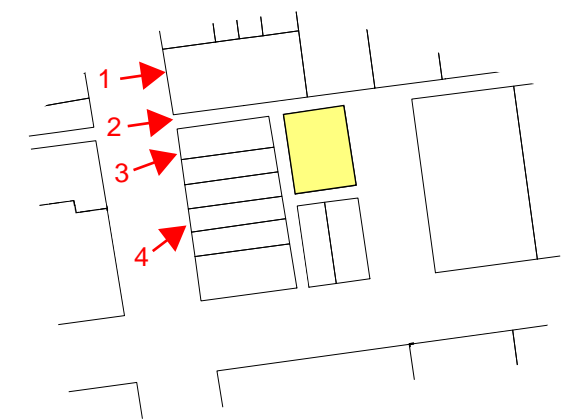
2. PUBLIC ALLEY ENTRANCE FROM MT. VERNON AVE.



3. 1405 - 1411 MT. VERNON AVE., PUBLIC ALLEY ENTRY ON THE LEFT



4. 1401 - 1407 MT. VERNON AVE.



GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

SITE PHOTOS

5

EUSTILUS architecture



1. VIEW OF 1401 MT. VERNON AVE. ALONG E. ALEXANDRIA AVE.



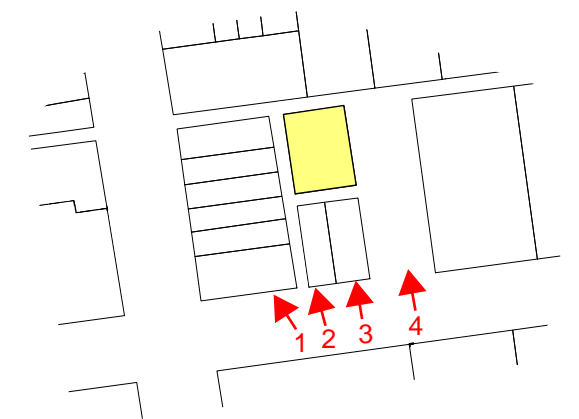
2. PUBLIC ALLEY ENTRY FROM E. ALEXANDRIA AVE.



3. 404 & 406 E. ALEXANDRIA AVE., PUBLIC ALLEY ENTRY ON THE LEFT



4. VACANT LAND BETWEEN 406 & 408 E. ALEXANDRIA AVE.



GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

SITE PHOTOS

6

EUSTILUS architecture



1. VACANT LAND BETWEEN 406 & 408 E. ALEXANDRIA AVE., 404A BACK LEFT OF THE PHOTO



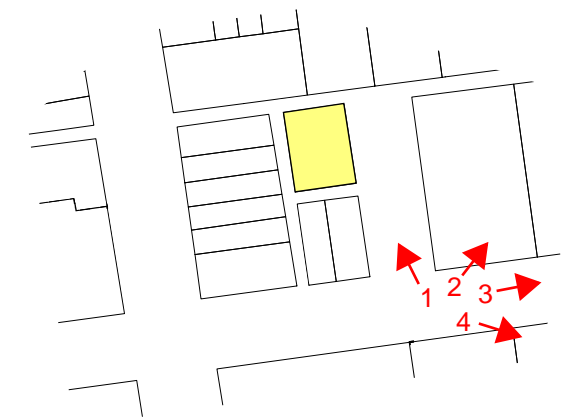
2. 408 - 414 E. ALEXANDRIA AVE.



3. VIEW EAST ON E. ALEXANDRIA AVE.



4. 411 - 413 E. ALEXANDRIA AVE.



GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

SITE PHOTOS

7

EUSTILUS architecture



1. PUBLIC ALLEY LOOKING WEST TO MT. VERNON AVE FROM 404A



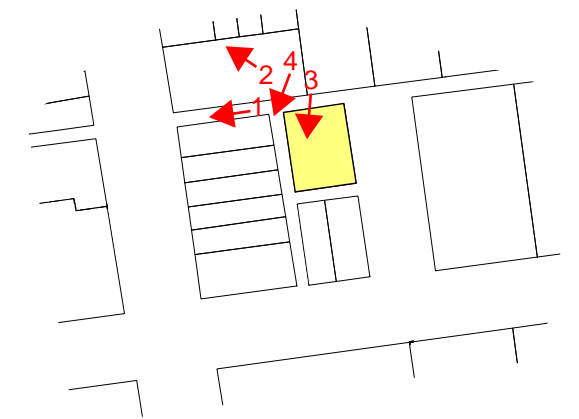
2. 1413 MT. VERNON AVE SIDE AND REAR FACADE



3. REAR FACADES OF HOUSES ALONG MT. VERNON AVE. TO THE RIGHT & MT. VERNON AVE. TO THE REAR OF THE PHOTO



4. 1403 TO 1411 MT. VERNON AVE. REAR FACADES



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404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

SITE PHOTOS

8

EUSTILUS architecture



1. EXISTING UTILITY POLE FOR HOMES AT 1405 TO 1411 MT. VERNON AVE. & 404 TO 406 E. ALEXANDRIA AVE.



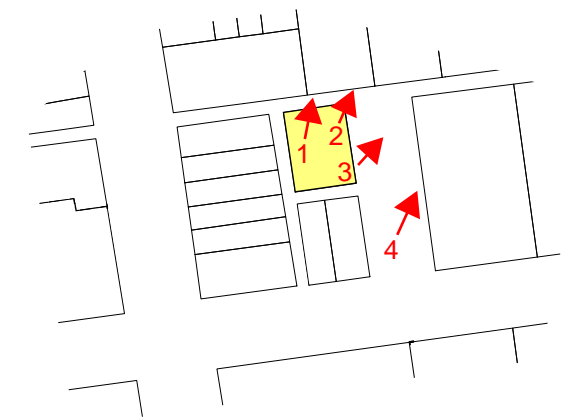
2. LOOKING NORTH FROM 404A TO UTILITY POLE AND REAR HOMES ALONG E. NELSON AVE.



3. 408 E. ALEXANDRIA AVE. DETACHED GARAGE AND ADU



4. 408 E. ALEXANDRIA AVE. WEST SIDE YARD



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404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

SITE PHOTOS

9

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1. 404A, APPROXIMATE LOT OUTLINED IN RED



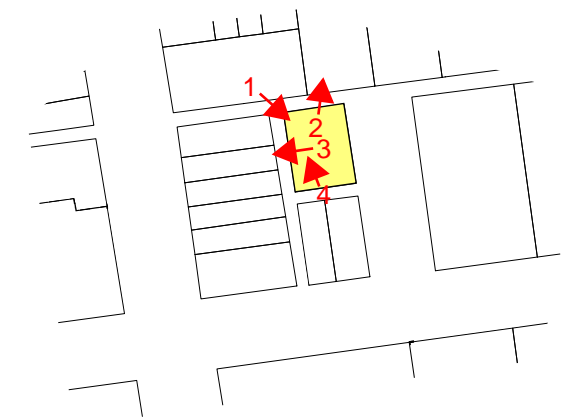
2. LOOKING NORTH FROM 404A



3. REAR FACADES AND YARDS OF 1407 - 1411



4. LOOKING NORTH FROM 404A TO 1413 MT. VERNON AVE. & THE REAR FACADES OF THE ROWHOMES ALONG E. NELSON AVE., APPROXIMATE LOT OUTLINED IN RED



GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301



1. 404A, LOOKING SOUTHEAST, APPROXIMATE LOT OUTLINED IN RED



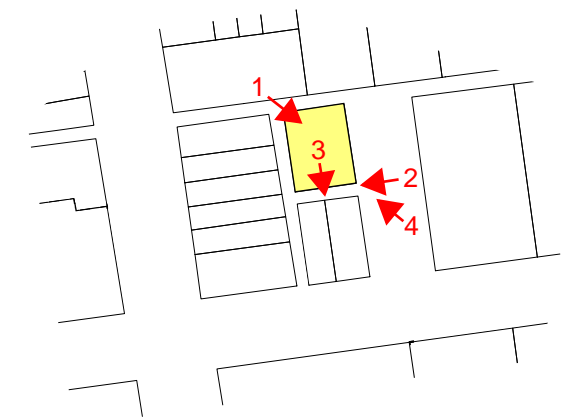
2. 404A, LOOKING WEST, APPROXIMATE LOT OUTLINED IN RED



3. 404A, LOOKING SOUTH AT 404 & 406 E. ALEXANDRIA AVE & ALLEY, APPROXIMATE LOT OUTLINED IN RED



4. LOOKING TOWARDS 404A, APPROXIMATE LOT OUTLINED IN RED



GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

SITE PHOTOS

11

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<u>ADDRESS</u>	<u>THRESHOLD</u>	<u>ROOF RIDGE</u>	<u>STORIES</u>
1401 MT. VERNON AVE	3'-6"	27'-11"	2
1403 MT. VERNON AVE	3'-6"	25'-11"	2
1405 MT. VERNON AVE	3'-6"	27'-11"	2
1407 MT. VERNON AVE	3'-6"	27'-11"	2
1409 MT. VERNON AVE	3'-6"	25'-11"	2
1411 MT. VERNON AVE	3'-6"	27'-11"	2
1413 MT. VERNON AVE	0'-6"	16'-9"	1
404 E. ALEXANDRIA AVE	3'-6"	27'-11"	2
406 E. ALEXANDRIA AVE	3'-6"	27'-11"	2
408 E. ALEXANDRIA AVE	3'-8"	33'-6"	2
PROPOSED			
404 A E. ALEXANDRIA AVE	0'-0"	21'-10"	2



GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

PROJECT DATA

OWNER: DANIELA GROSS & ERIC TERAN
 2800 N. ROSSER ST.
 ALEXANDRIA, VA 22311

EXISTING VACANT LOT
 PROPOSED SINGLE FAMILY RESIDENCE
 SCOPE OF WORK NEW TWO STORY RESIDENCE OVER A
 BASEMENT WITH A DETACHED ADU

APPLICABLE CODES

VIRGINIA RESIDENTIAL CODE 2015

ZONING DATA

MAP-BLOCK-LOT-NUMBER 043.04-03-18
 ZONE R-2-5
 USE GROUP R-3
 CONSTRUCTION TYPE VB

	REQUIRED	PROPOSED
LOT SIZE	5,000 SF	2,661.84 SF
LOT WIDTH	50'-0"	59'-3"
LOT FRONTAGE	40'-0"	45'-8"
BULK REQUIREMENTS		
FRONT YARD SETBACK	20'-0"	20'-0"
REAR YARD SETBACK	1:1	19'-10"
SIDE YARD SETBACK	1:3	7'-0"
HEIGHT LIMIT	30'-0"	19' 10"
FLOOR AREA RATIO	0.45	0.44
1ST FLOOR		587 SF
2ND FLOOR		587 SF
TOTAL		1,174 SF
BASEMENT		1,222 SF
DETACHED GARAGE		314 SF

PUBLIC ALLEY

LOT 26

LOT 25

LOT 24

LOT 23

10' PUBLIC ALLEY

10' PUBLIC ALLEY

10' PUBLIC ALLEY

LOT 20

LOT 19

LOT 18

PROPOSED SINGLE FAMILY RESIDENCE

PROPOSED DETACHED ADU

BASEMENT COURTYARD

PARKING 1

PORCH ROOF

SOFTSCAPE

HOUSE HEIGHT CALCULATIONS		
SPOT	PRE-ELEVATION	POST ELEVATION
1	0.16	0.55
2	0.25	0.55
3	0.32	0.55
4	0.60	0.55
5	0.94	0.55
6	0.90	0.55
7	0.84	0.55
8	0.50	0.55
SUM	4.51	4.40
AVERAGE	0.56	0.55

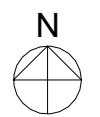
ROOF EAVE ELEVATIONS	18.30'
PEAK ROOF (HIGHEST RIDGE)	22.33'
ROOF MIDPOINT (ROOF HEIGHT)	20.35'
PROPOSED DWELLING HEIGHT	19.80'

CONDENSOR UNITS

UNDEVELOPED LAND

EX. 44" SILVER MAPLE

SCALE: 1/8" = 1'-0"



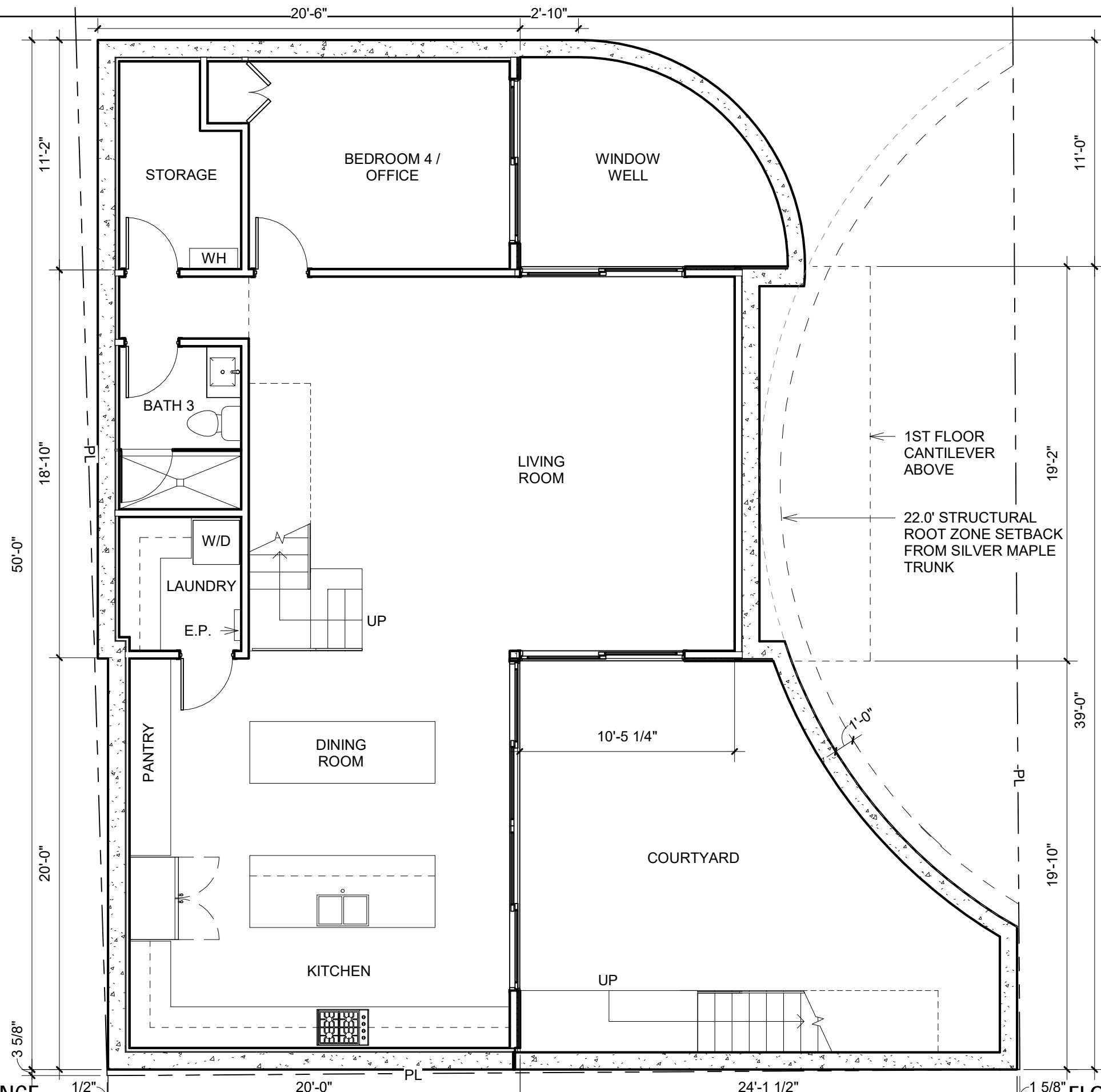
SITE PLAN

14

GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

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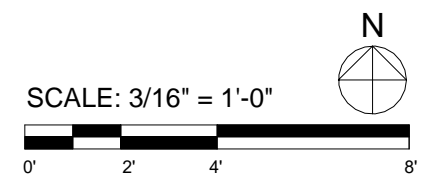
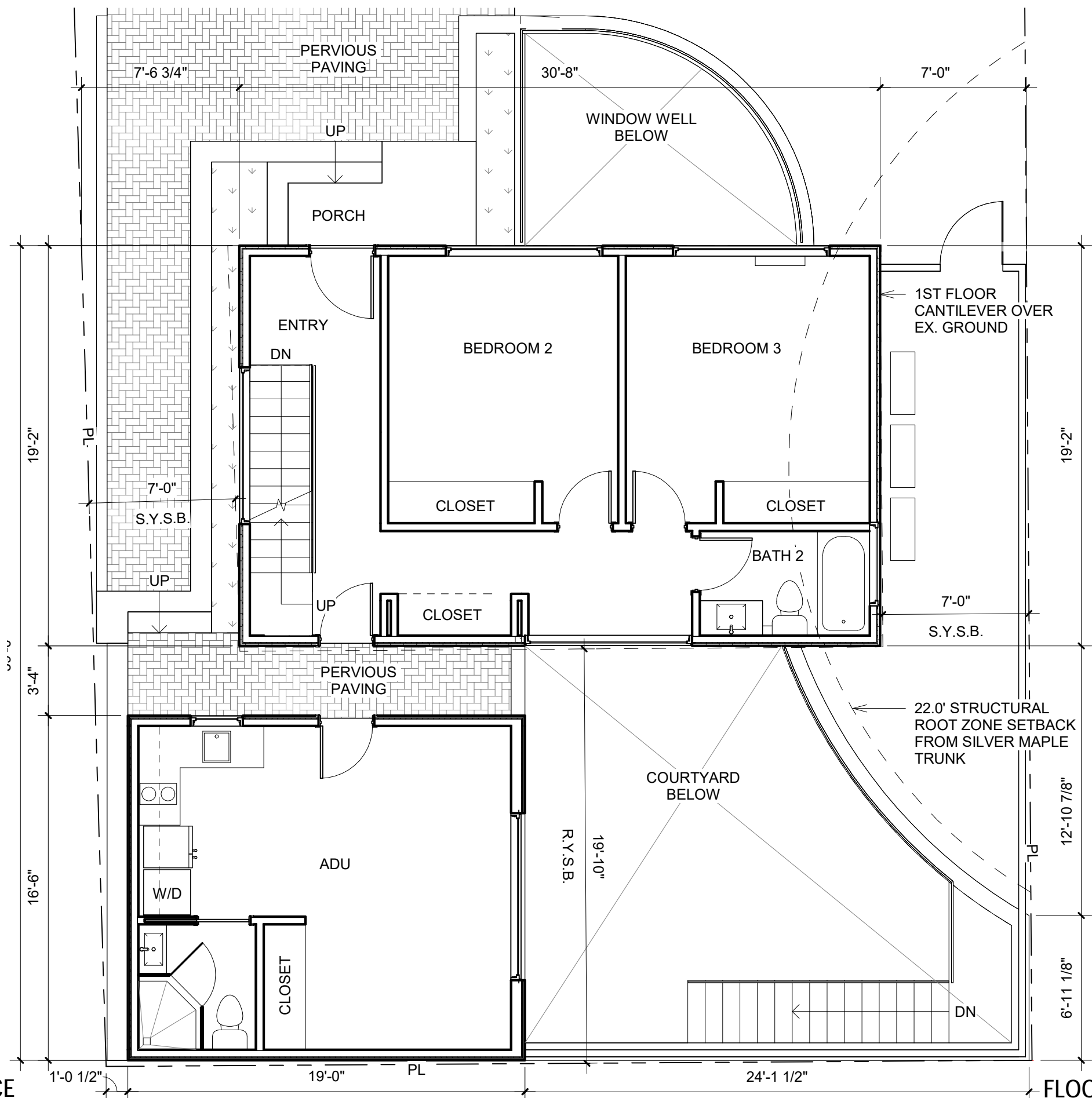
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404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

FLOOR PLAN - BASEMENT

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15



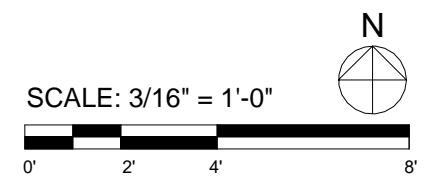
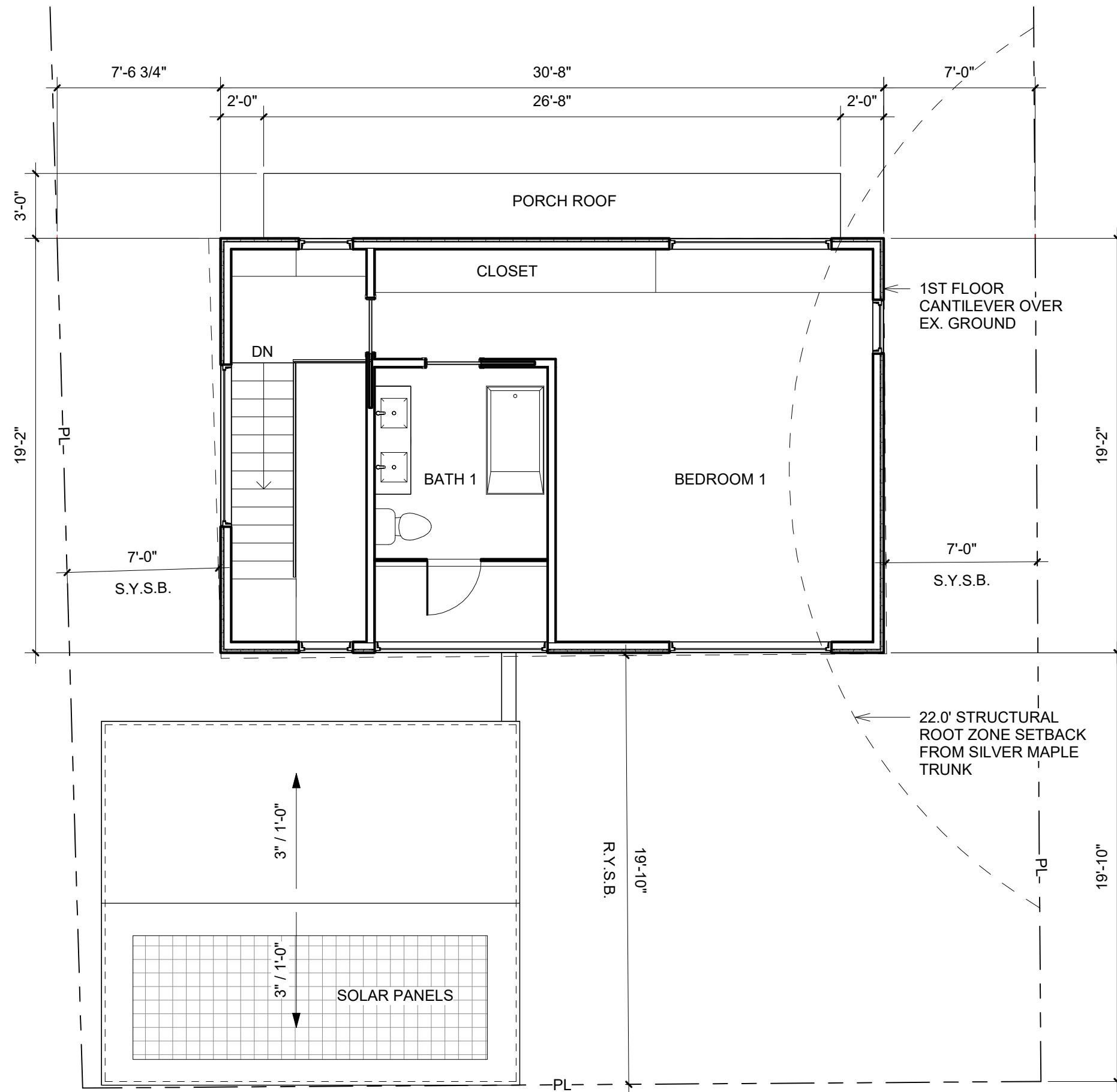
GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

FLOOR PLAN - FIRST FLOOR

16

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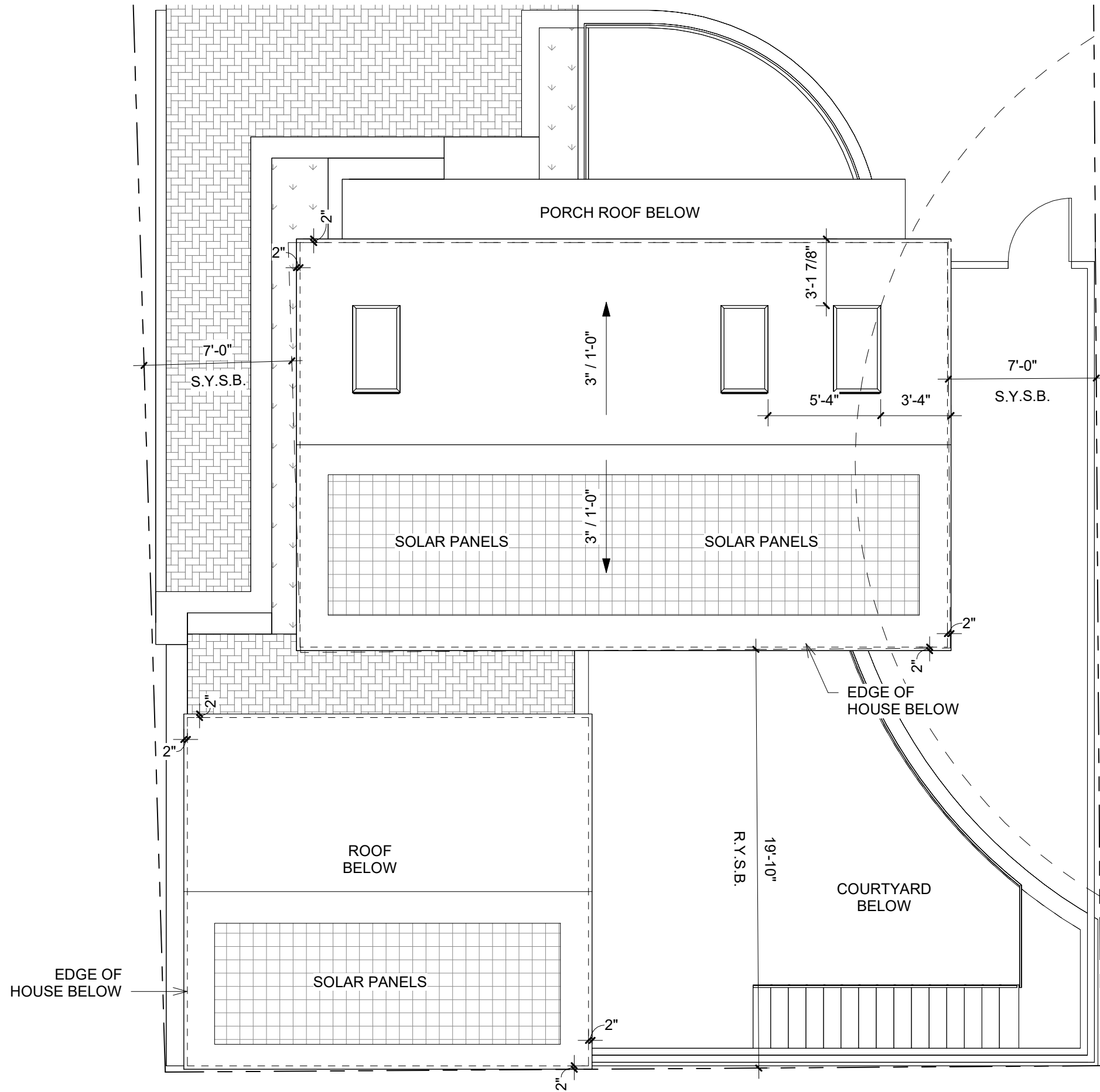
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404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

FLOOR PLAN - SECOND FLOOR

EUSTILUS architecture

17



GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

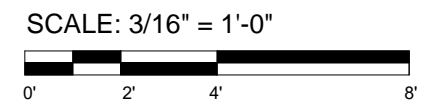
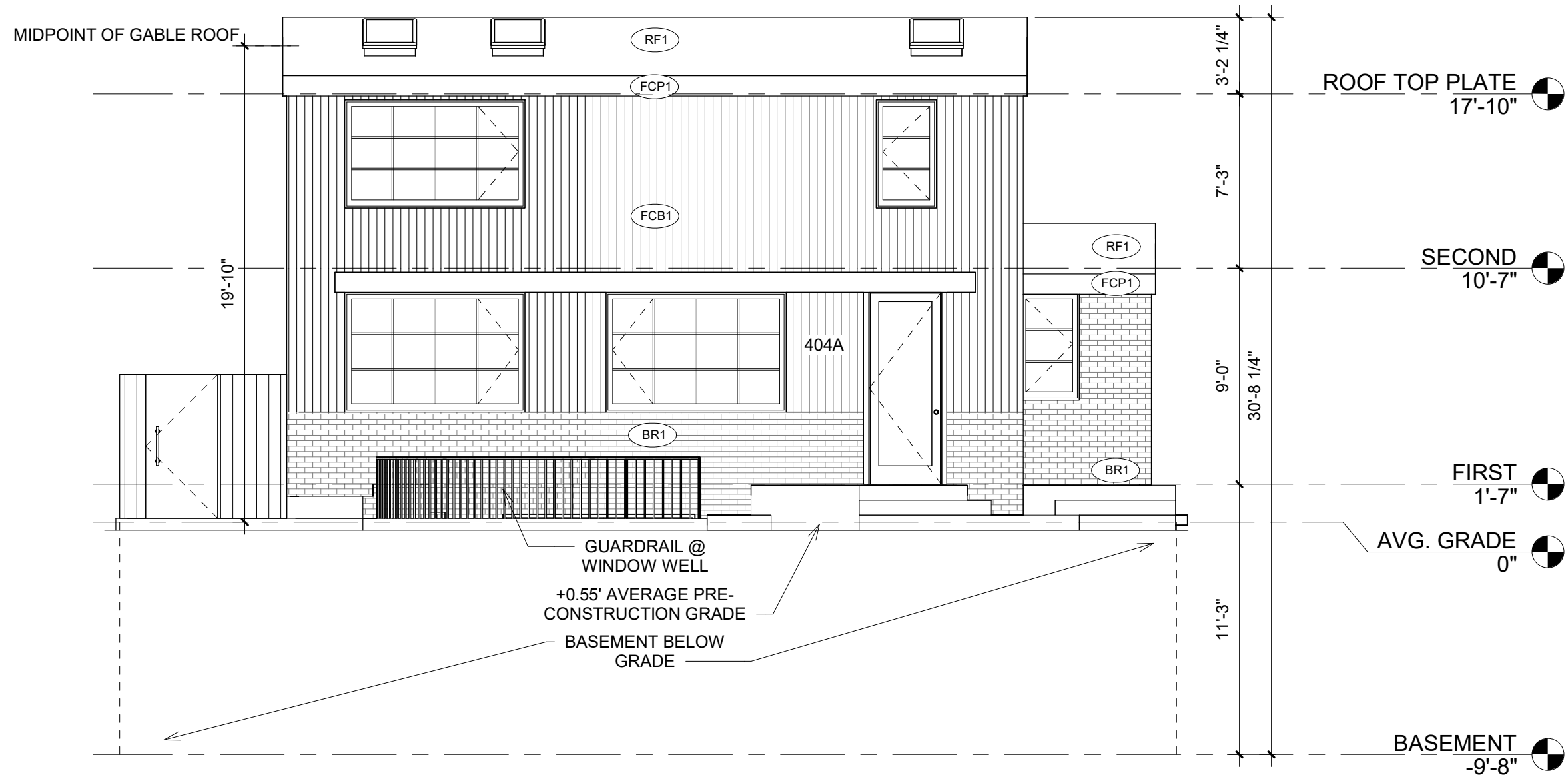
SCALE: 3/16" = 1'-0"



ROOF PLAN

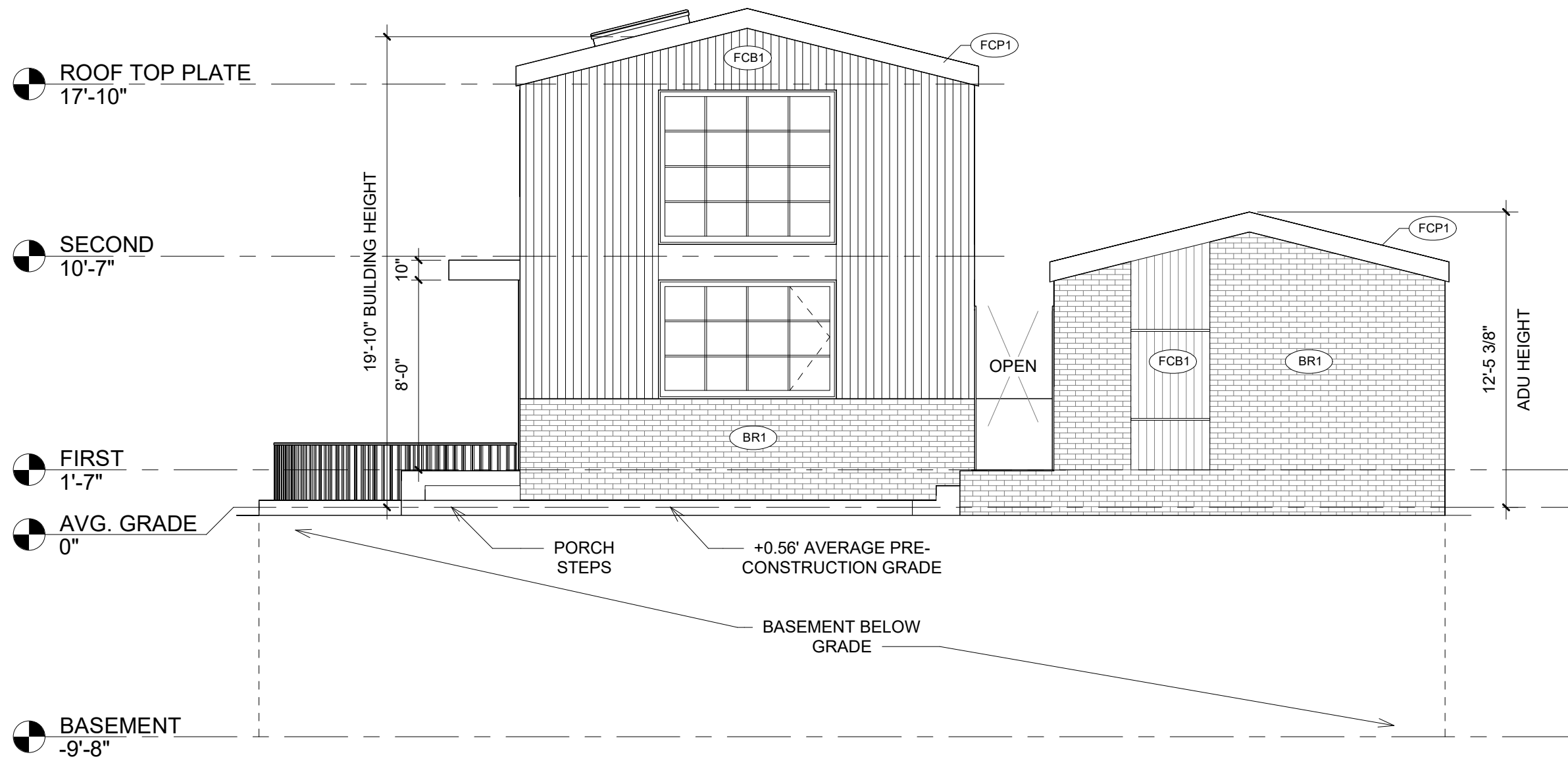
18

EUSTILUS architecture



GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301



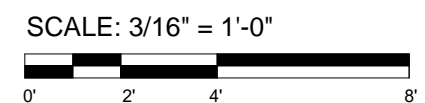
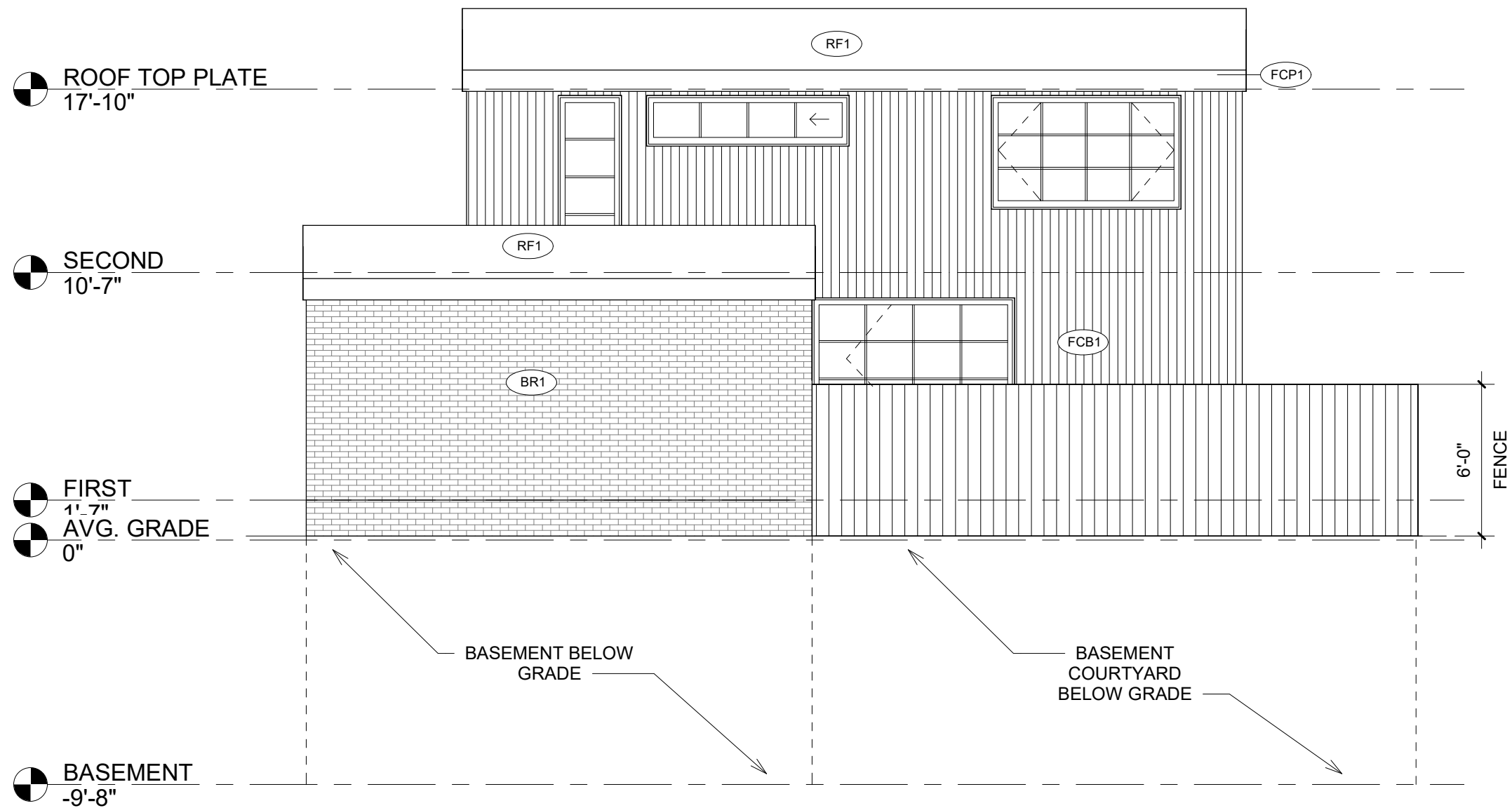
GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

SCALE: 3/16" = 1'-0"

ELEVATION - WEST | 20

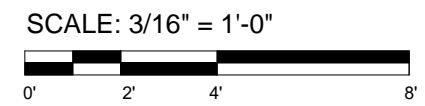
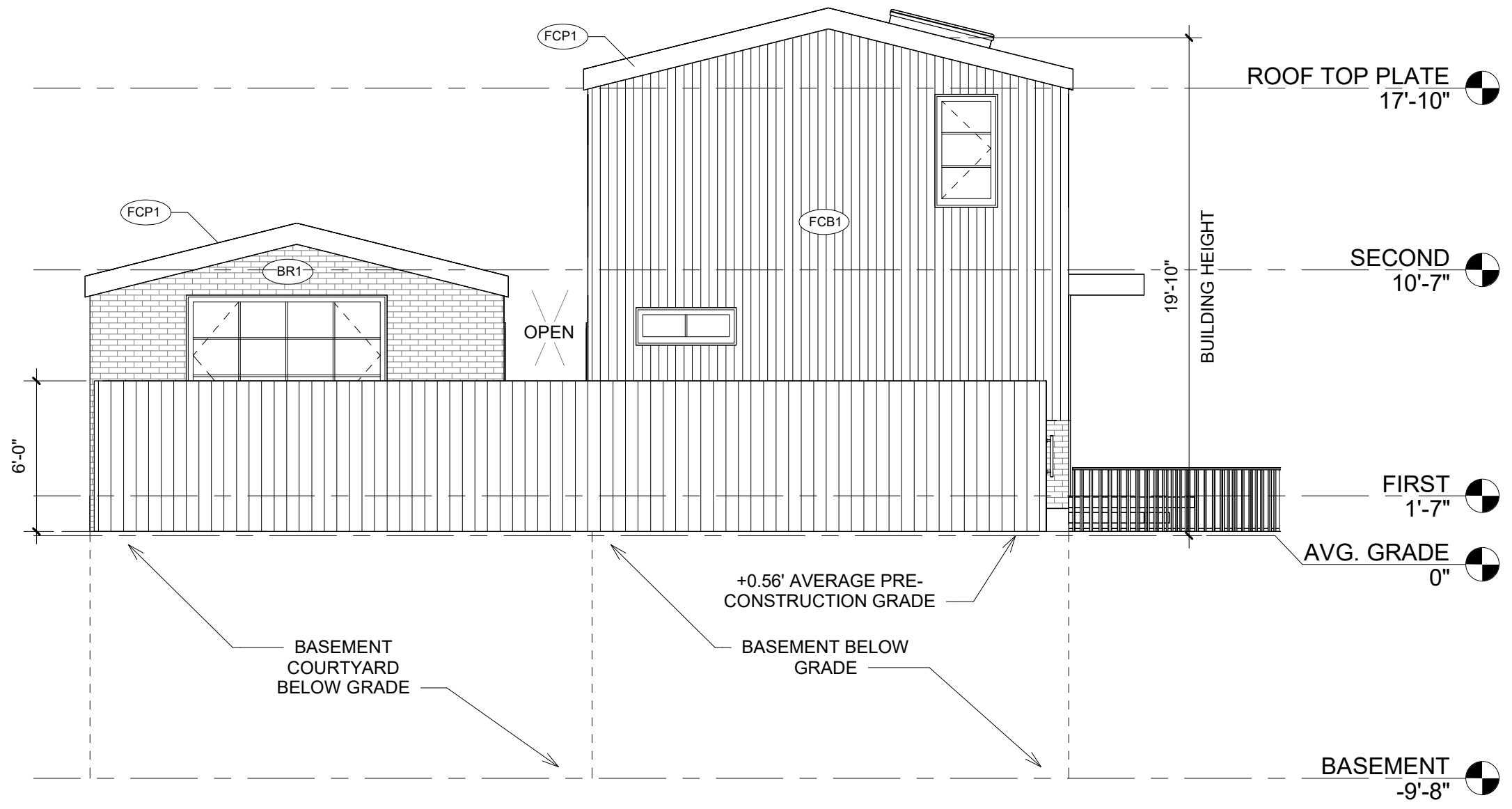
EUSTILUS architecture



GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

ELEVATION - SOUTH | 21
 EUSTILUS architecture

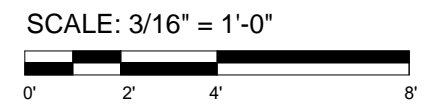
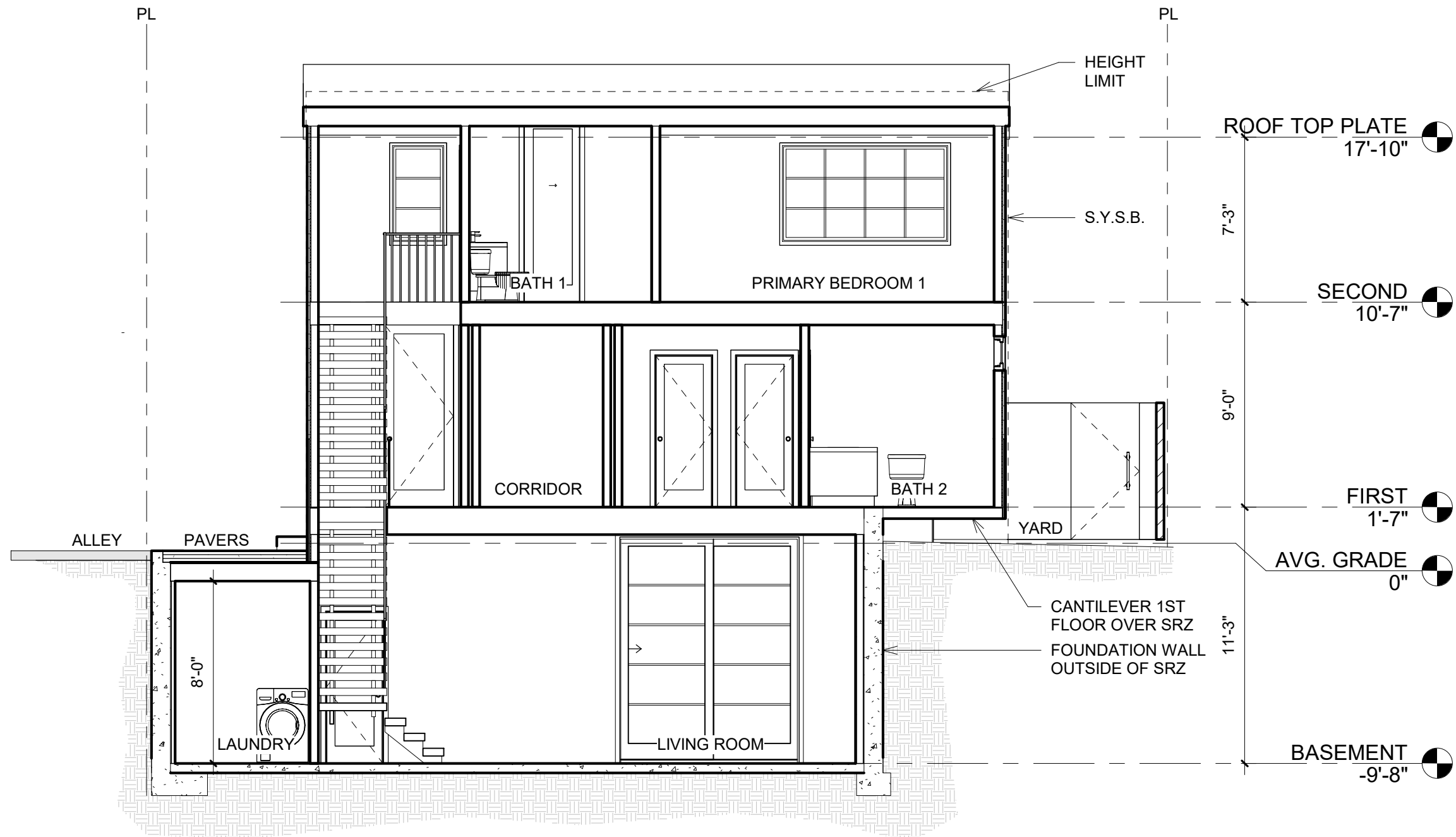


GROSS - TERAN RESIDENCE

404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

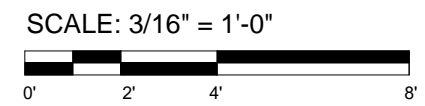
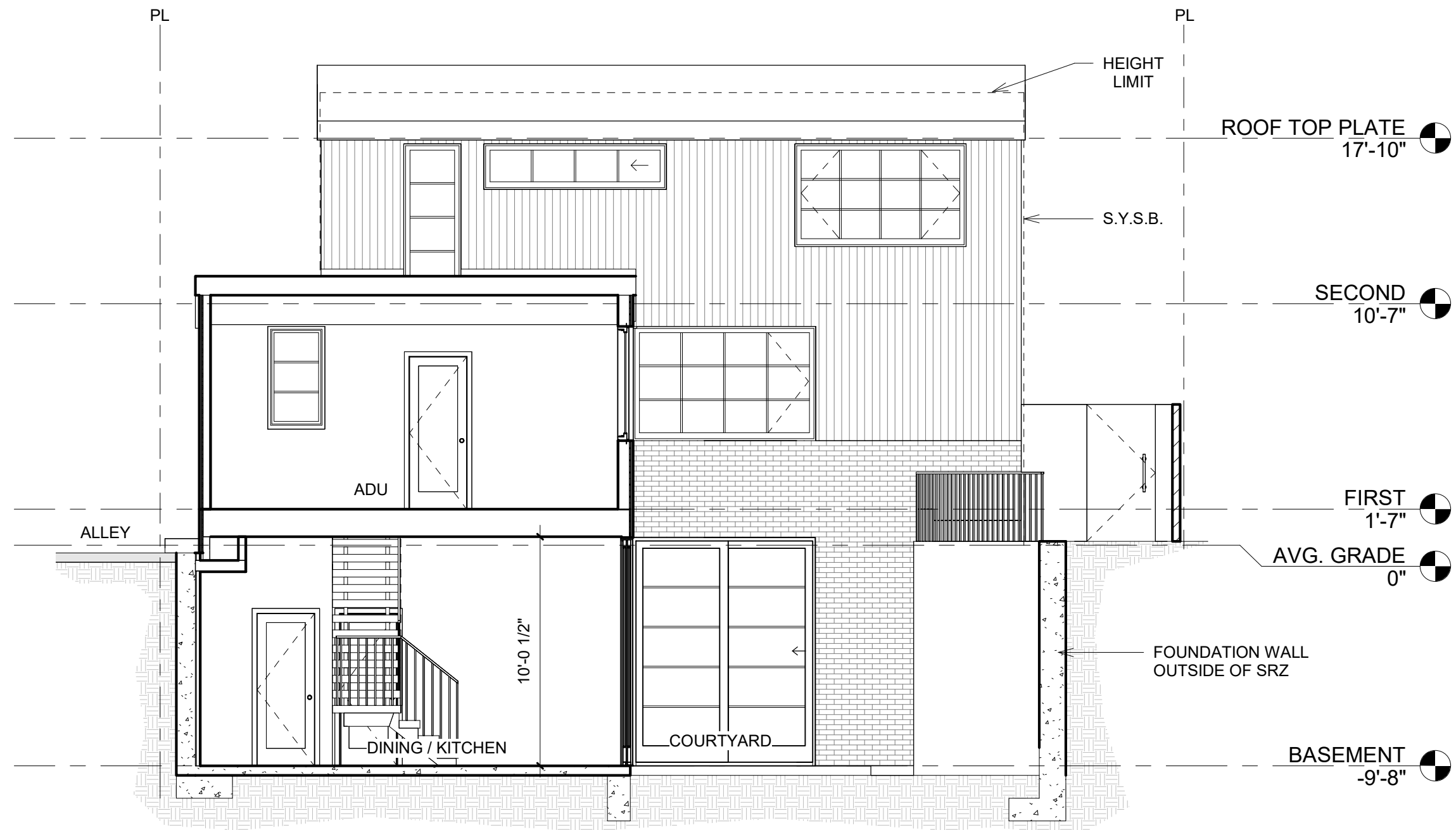
ELEVATION - EAST | 22

EUSTILUS architecture



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SECTION: EAST - WEST 01 | 23
 EUSTILUS architecture

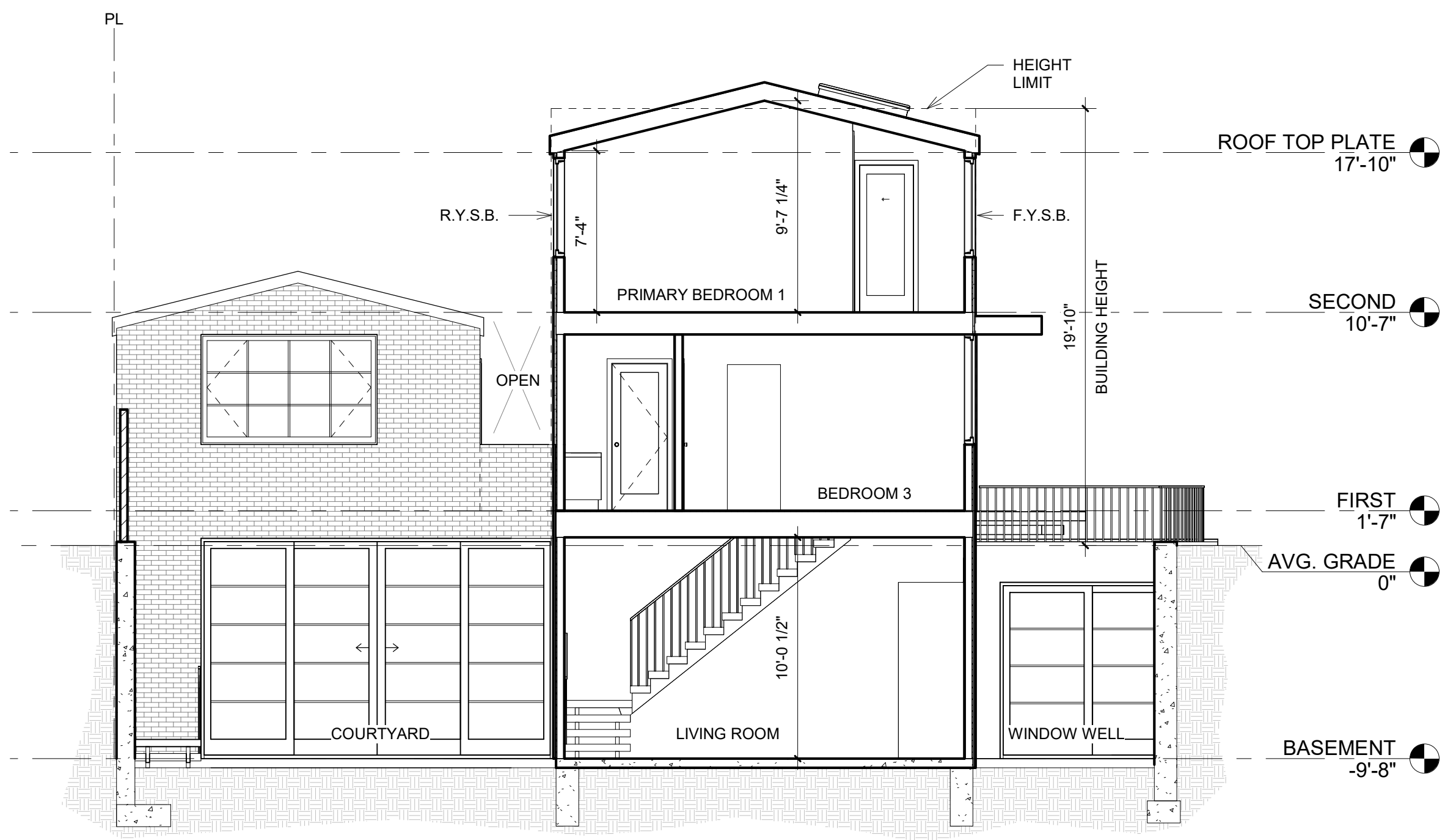


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SECTION: EAST - WEST 02

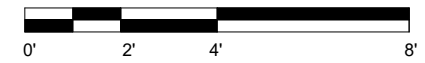
EUSTILUS architecture



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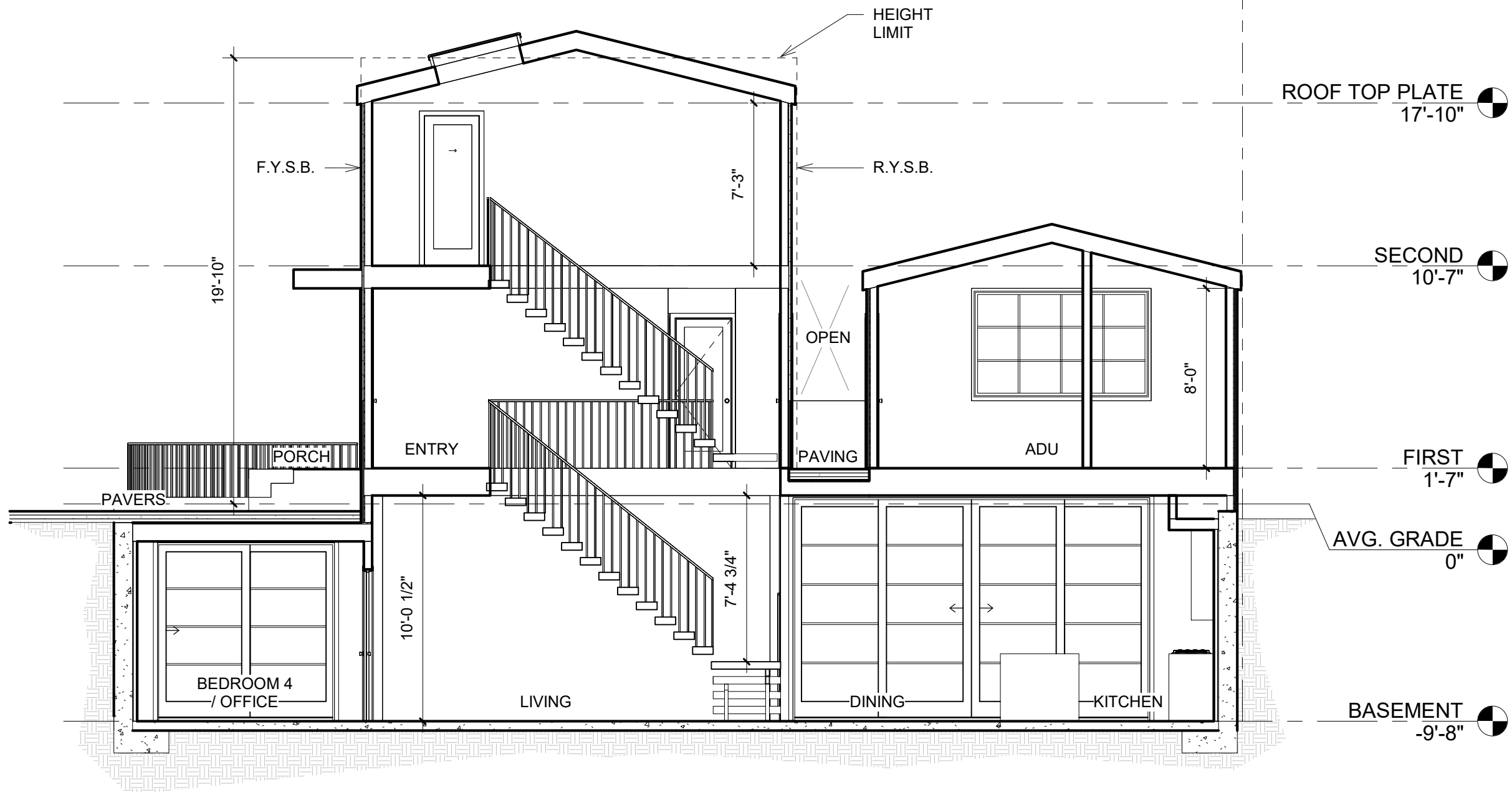
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SECTION: NORTH - SOUTH 01

25

EUSTILUS architecture

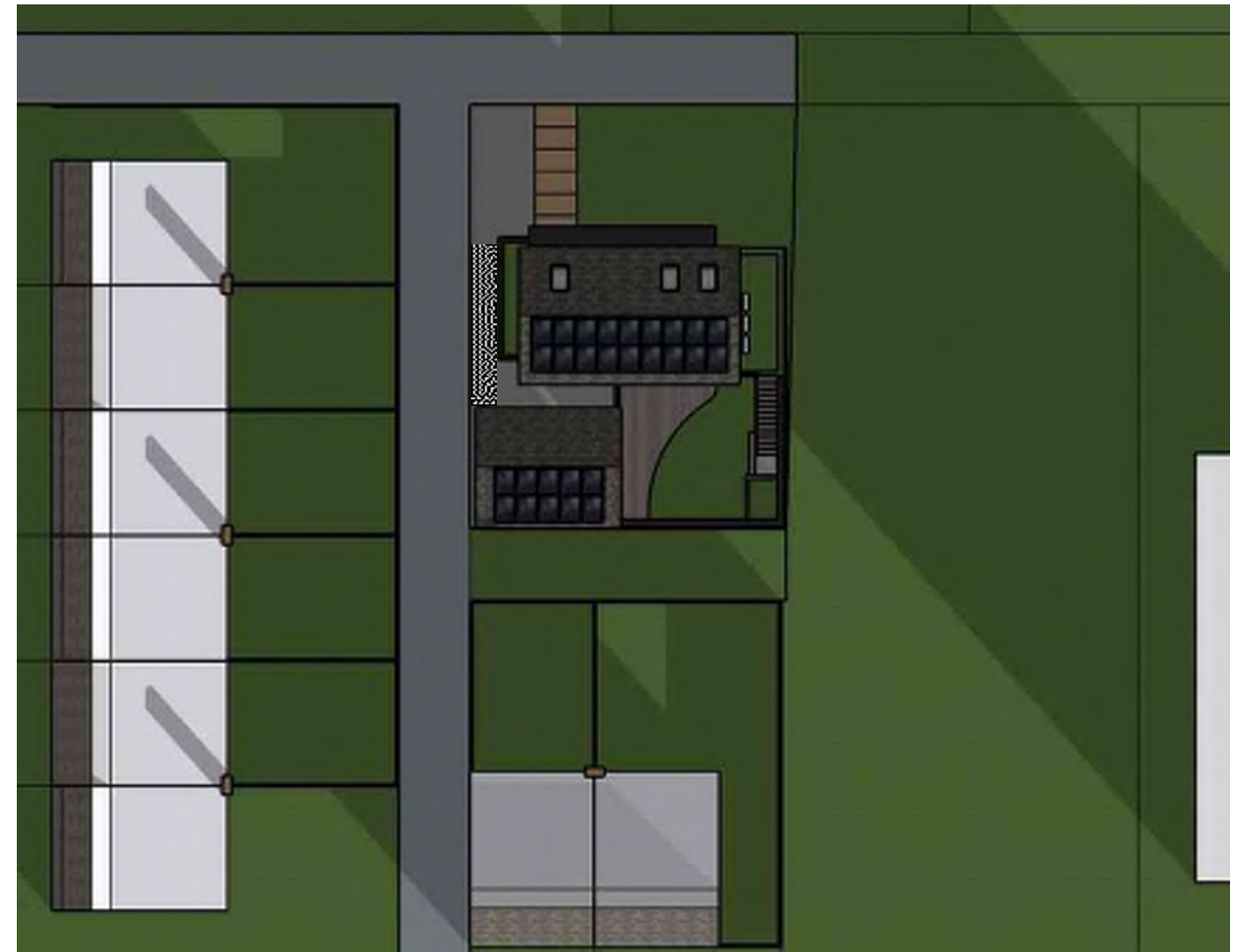


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SECTION: NORTH - SOUTH 02

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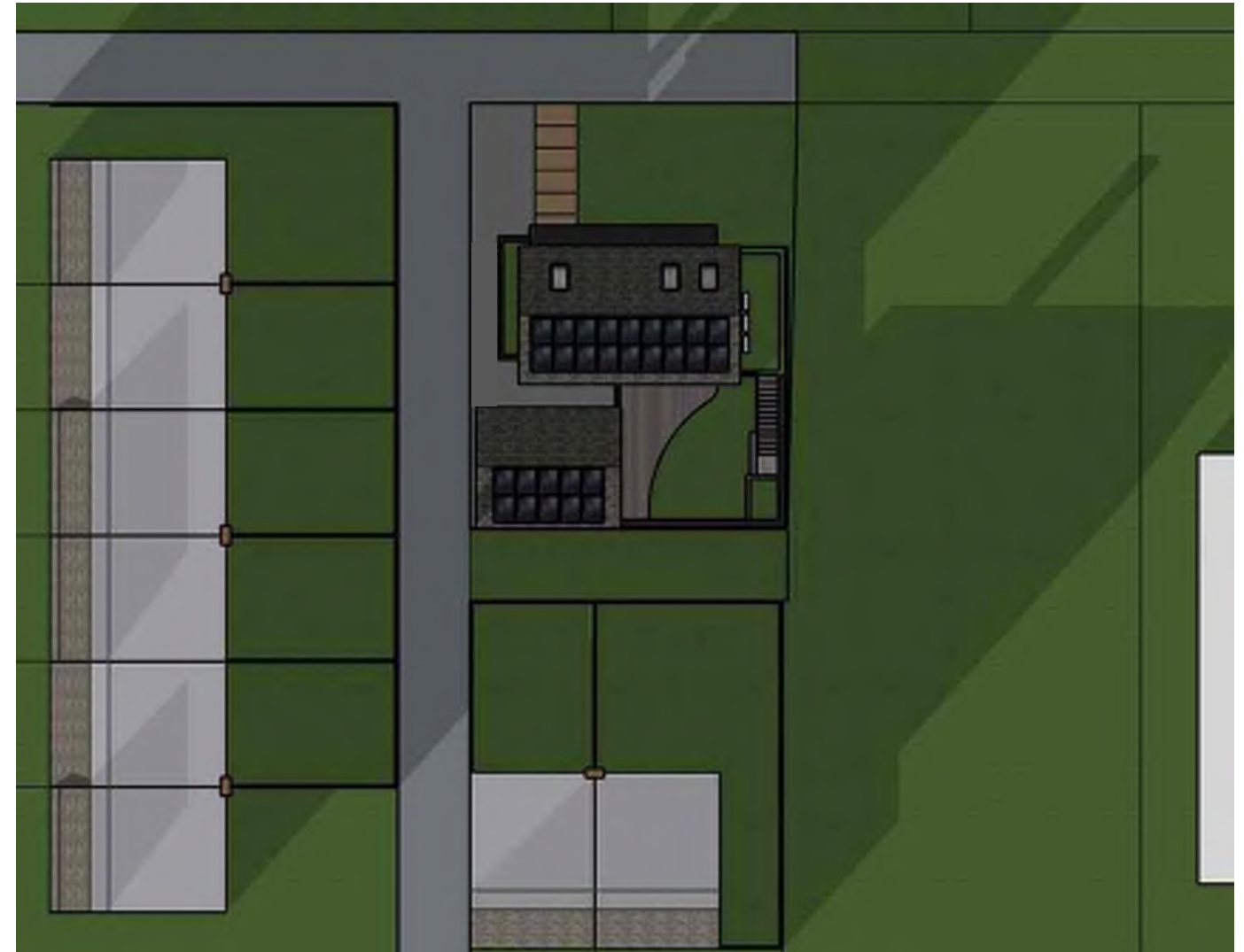
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WINTER SOLSTICE - 9:00 A.M.



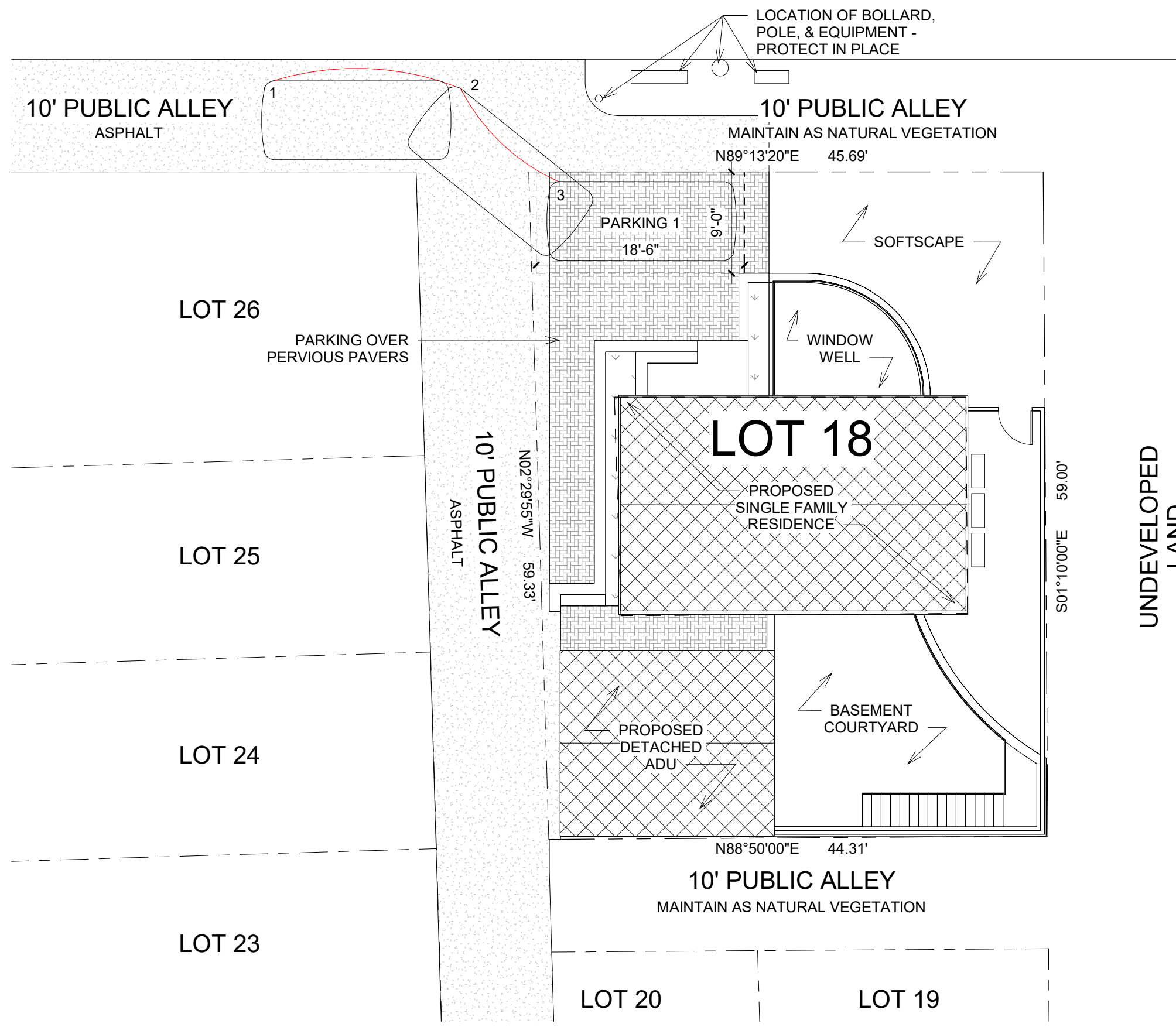
SUMMER SOLSTICE - 12:00 P.M.

WINTER SOLSTICE - 12:00 P.M.

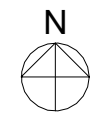
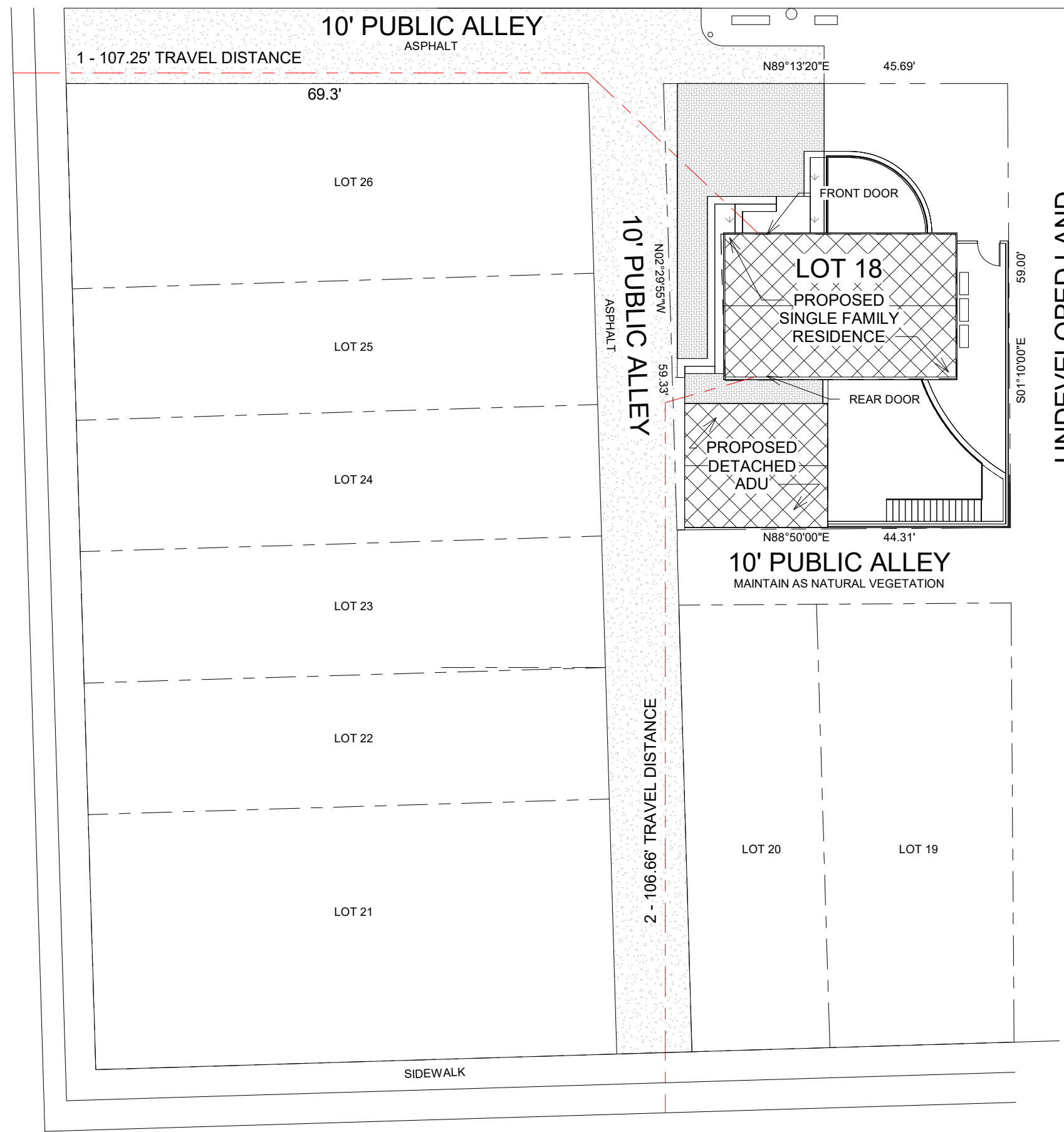


SUMMER SOLSTICE - 3:00 P.M.

WINTER SOLSTICE - 3:00 P.M.



MT. VERNON AVE,



SCALE: 1/16" = 1'-0"

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E. ALEXANDRIA AVE

FIRE ACCESS DIAGRAM

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Becker Landscaping & Tree Service
10698 Moore Dr.
Manassas, Va. 20111
703-330-5204

Narrative of Tree Preservation
404 E. Alexandria Ave., Alexandria, Va.

1. All tree preservation activities shall be done according to the City Landscape Guidelines and meet current industry standards as specified by the International Society of Arboriculture and the American National Standards Institute.
2. Excavation and demolition shall occur. Prior to this tree protective fence shall be installed. Signs shall be placed every 50' indicating the tree protection areas. No activity, materials or equipment shall go beyond the tree protective fence which shall remain in place until completion of construction.
3. Root pruning will be performed for trees # 1N-5N along the TPF line. This will be a trench 18" deep without pulling or tearing the roots beyond the trench wall.
4. The canopy coverage requirements will be met through the planting of trees.
5. There are no invasive plants on this lot.
6. There are no "Heritage", "Specimen", "Memorial" or "Street" trees on this lot or neighboring lots.

Bill Becker

ISA Certified Arborist # MA – 0216A
 November 7, 2023

Tree List for 404 E. Alexandria., Alexandria, VA

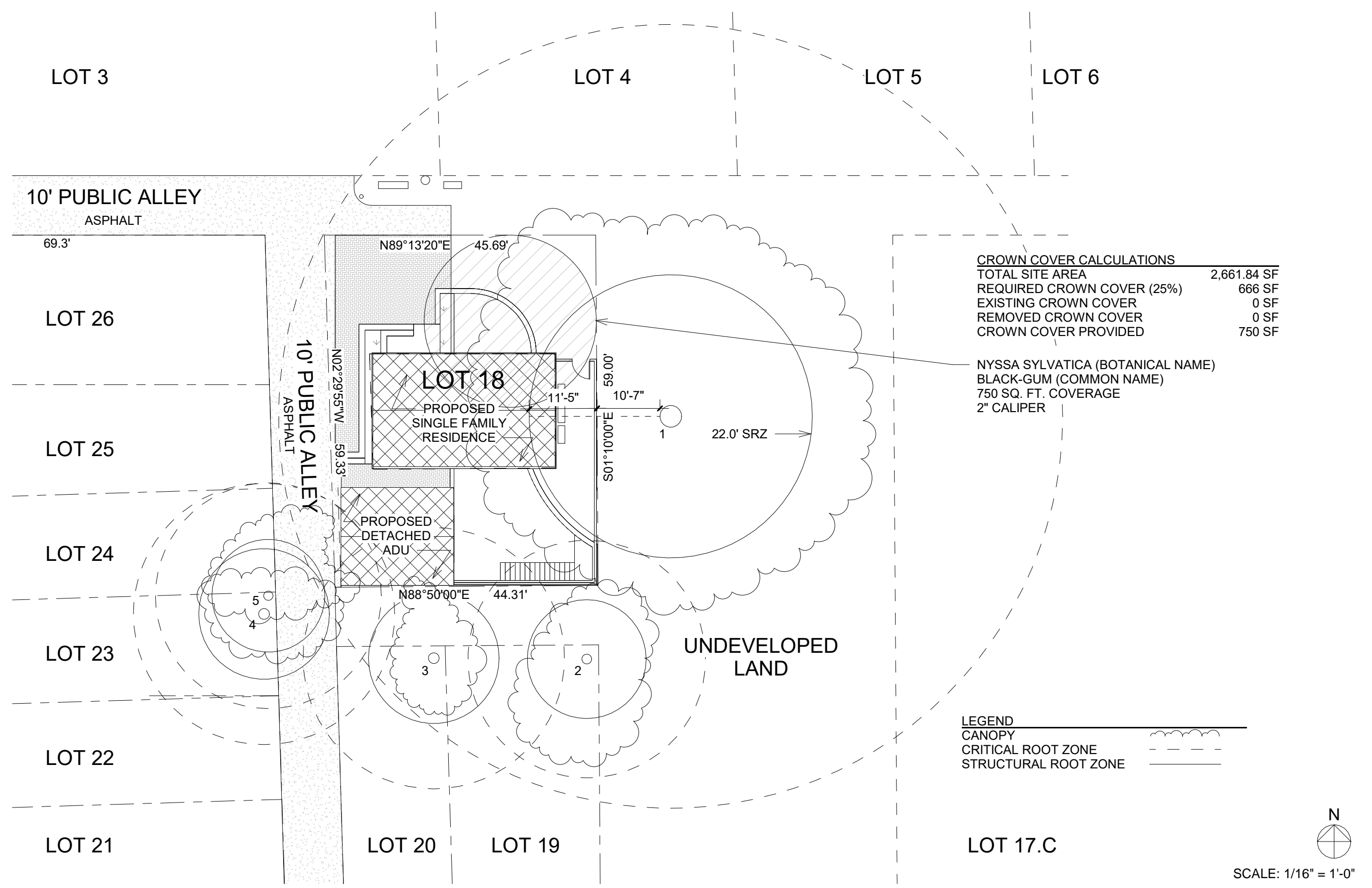
Prepared by Bill Becker, ISA Certified Arborist # MA-0216A November 7, 2023

Lot size = 2,662 s. f. requiring 666 s. f. tree canopy. Existing tree canopy = 0 s. f. Preserved tree canopy = 0 s. f.
 N denotes neighbor's tree. R denotes City Right of Way tree. J denotes jointly owned tree. * denotes not counted for credit.

Tree #	Common Name Botanical name	DBH Height	Health	Comments/Condition	Preservation Measures	Canopy Sq. Ft.
1N	Silver Maple Acer saccharinum	44"	55	Partially topped, cavity in trunk.	Save – install protective fence. Root prune along fence.	N/A
2N	Siberian Elm Ulmus pumila	20"	45	Topped.	Save – install protective fence. Root prune along fence.	N/A
3N	Northern Catalpa Catalpa speciosa	22"	85		Save – install protective fence. Root prune along fence.	N/A
4N	White Mulberry Morus alba	22"	25	Topped.	Save – install protective fence. Root prune along fence.	N/A
5N	Siberian Elm Ulmus pumila	8x4"	75	Declining.	Save – install protective fence. Root prune along fence.	N/A

LANDSCAPE NOTES

1. The property owner and/or applicant, specifier, contractor and installer of plant material are responsible for understanding and adhering to the standards set forth in the most recent version of the city of Alexandria Landscape Guidelines and applicable conditions of approval. All questions regarding application of, or adherence to, the standards and/or conditions of approval shall be directed to the city prior to commencement of demolition, construction, or any land disturbing activity.
2. The City-approved city-approved landscape plan submission, including plant schedule, notes and details shall be the document used for installation purposes and all procedures set forth in the landscape guidelines must be followed.
3. The contractor contractor shall not interfere with any tree protection measures or impact any existing vegetation identified to be preserved per the approved tree and vegetation protection plan.
4. Any changes, alterations or modifications to the site conditions that affect vegetation protection zones will require an amendment to the approved tree and vegetation protection plan and/or details.
5. Installation of plant material may only occur during the planting seasons identified in the landscape guidelines.
6. In lieu of more strenuous specifications, all landscape related work shall be installed and maintained in accordance with the current and most up-to-date edition (at time of construction) of Landscape Specification Guidelines as produced by the Landscape Contractors Association of Maryland, District of Columbia and Virginia; Gaithersburg, Maryland.
7. Substitutions to the approved plant material shall not occur until written approval is provided by the City..
8. Maintenance for this project shall be performed by the owner, applicant, successor(s) and/or assign(s) in perpetuity and in compliance with City of Alexandria Landscape Guidelines and as conditioned by project approval, as applicable.



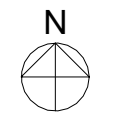
CROWN COVER CALCULATIONS

TOTAL SITE AREA	2,661.84 SF
REQUIRED CROWN COVER (25%)	666 SF
EXISTING CROWN COVER	0 SF
REMOVED CROWN COVER	0 SF
CROWN COVER PROVIDED	750 SF

NYSSA SYLVATICA (BOTANICAL NAME)
 BLACK-GUM (COMMON NAME)
 750 SQ. FT. COVERAGE
 2" CALIPER

LEGEND

CANOPY	
CRITICAL ROOT ZONE	
STRUCTURAL ROOT ZONE	



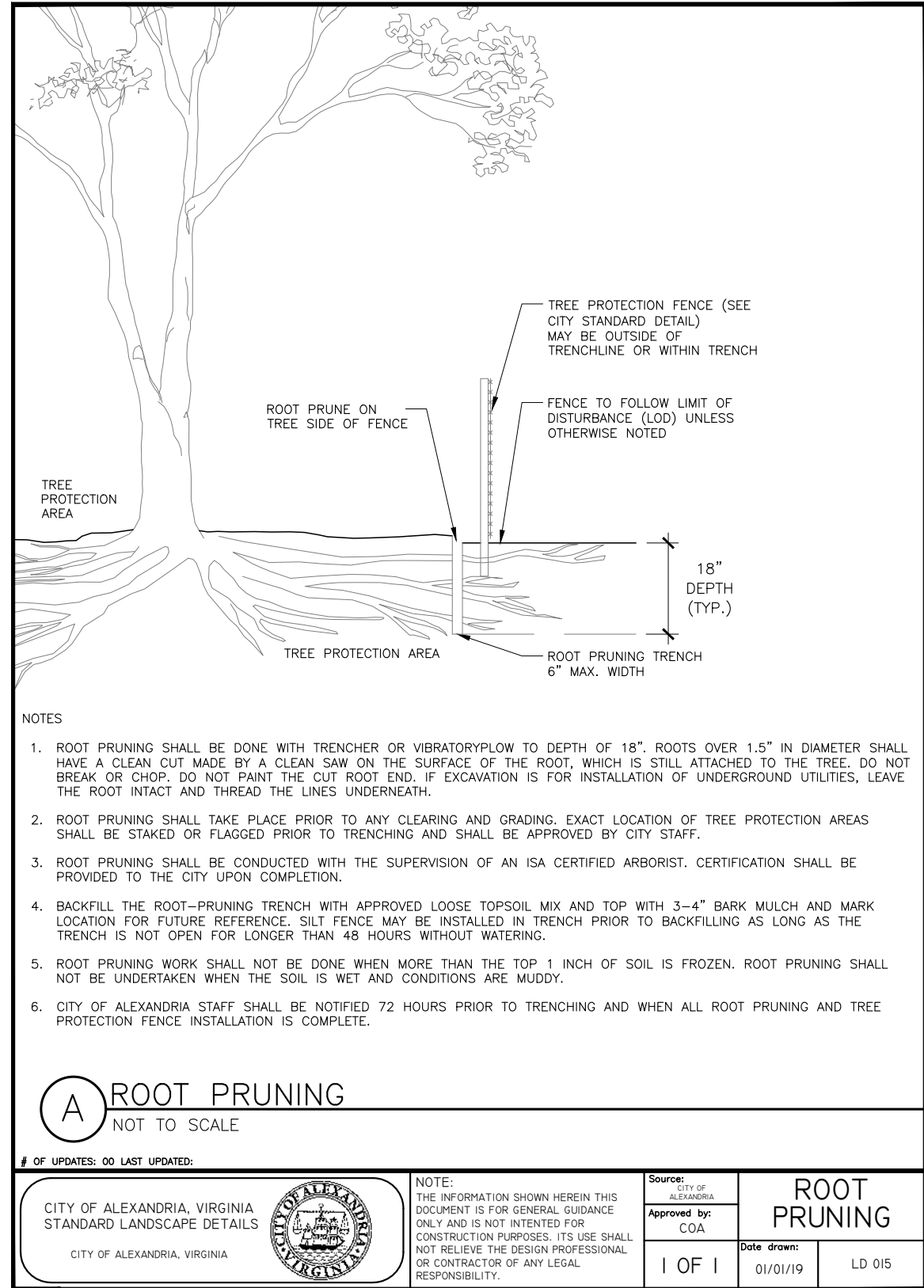
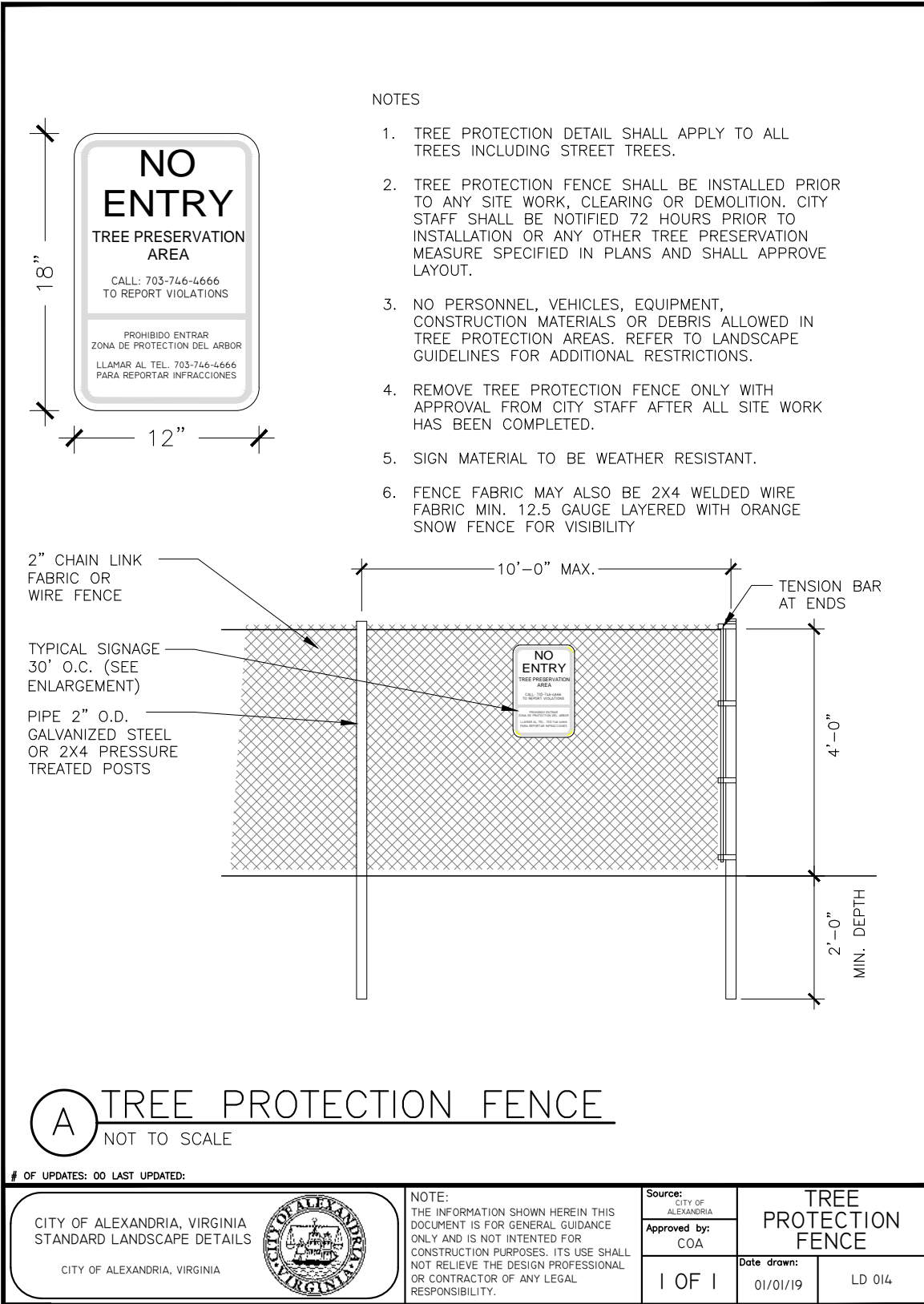
SCALE: 1/16" = 1'-0"

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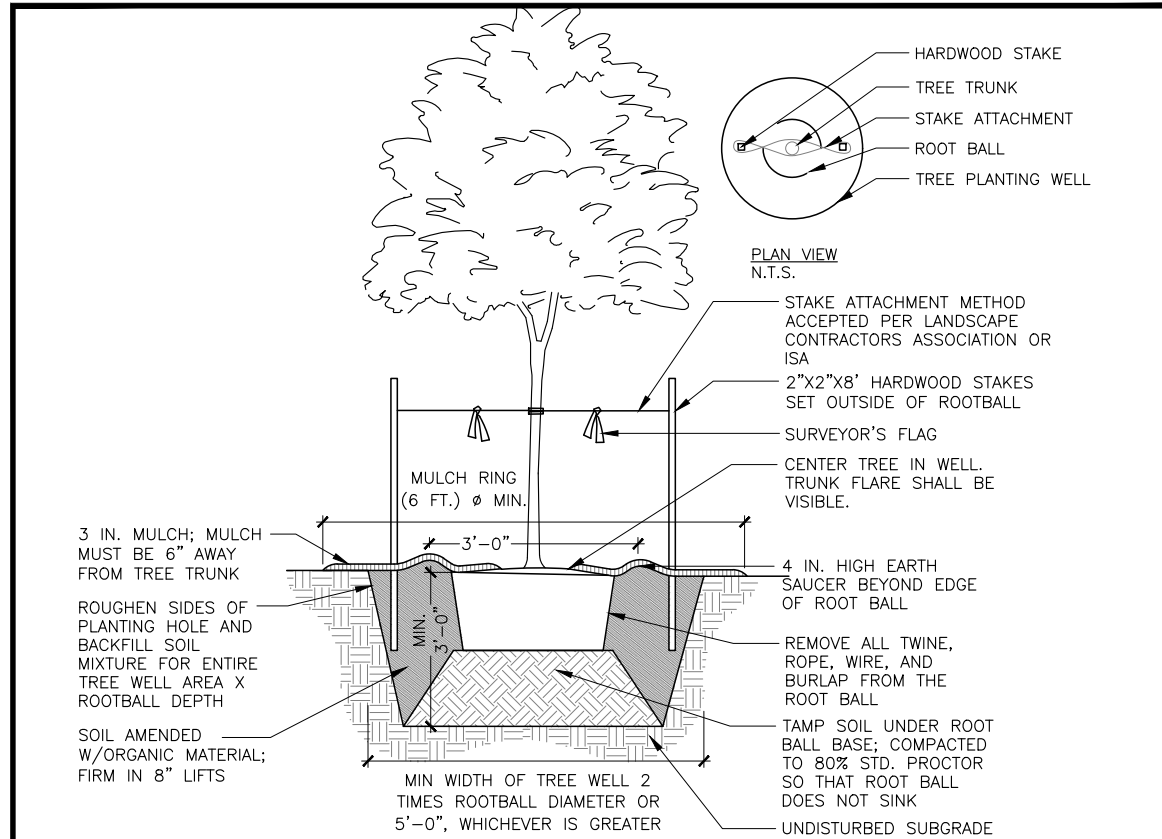
404A E. ALEXANDRIA AVE., ALEXANDRIA, VA 22301

LANDSCAPE PLAN

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SCALE: 1" = 10'-0"




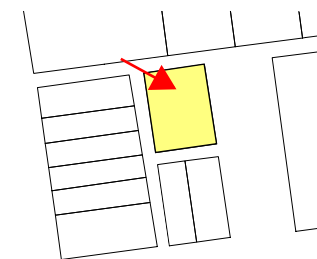
NOTES

1. AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT PRUNE INTO OLD WOOD ON EVERGREENS.
2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES
4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
5. TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED.
6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.
7. STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUM AFTER STAKING.
8. INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION. ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED TOPSOIL / BACKFILL MIXTURE.
9. CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF.

A DECIDUOUS TREE PLANTING
NOT TO SCALE

OF UPDATES: 01 LAST UPDATED: 12/02/2019

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA		NOTE: THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.	Source: CITY OF ALEXANDRIA	DECIDUOUS TREE PLANTING	
			Approved by: COA		
			1 OF 1	LD 001	

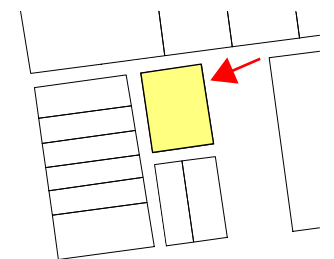


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VIEW OF FRONT AND SIDE FACADES

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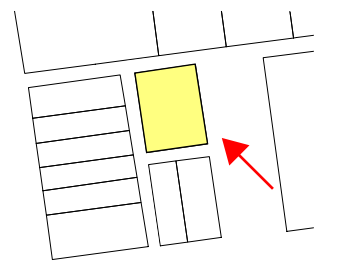
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VIEW FROM UNDEVELOPED LAND LOOKING AT EAST FACADE

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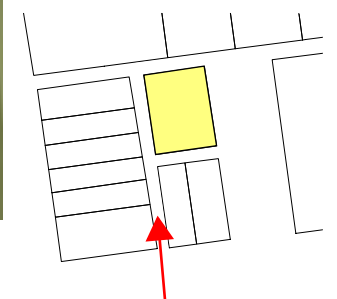


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VIEW FROM UNDEVELOPED LAND ALONG E. ALEXANDRIA AVE.

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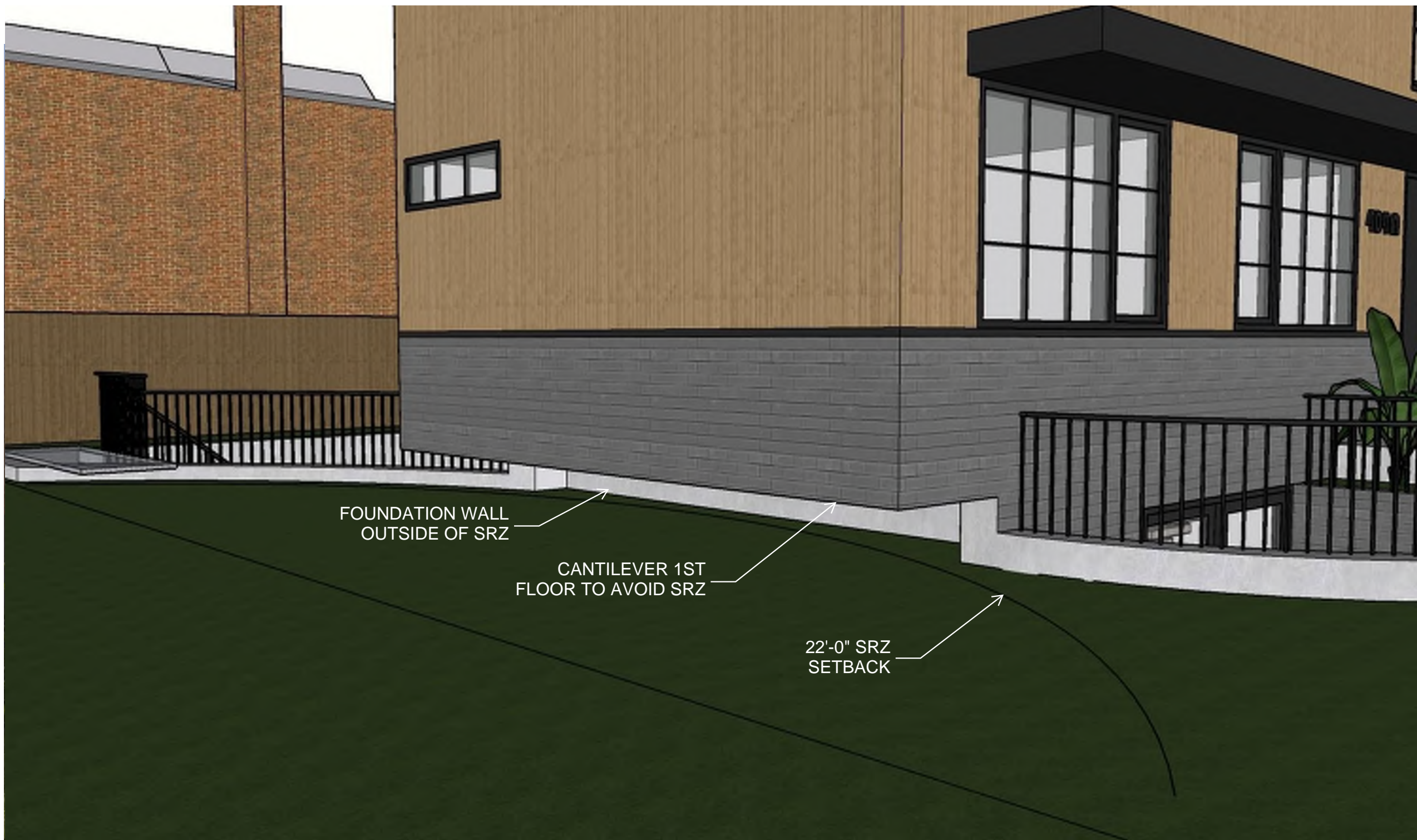


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VIEW FROM MT. VERNON AVE. ALLEY ENTRY

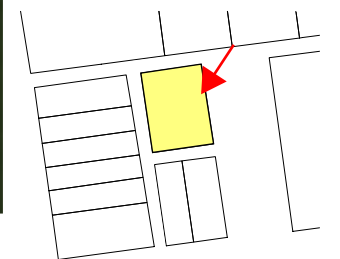
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FOUNDATION WALL
OUTSIDE OF SRZ

CANTILEVER 1ST
FLOOR TO AVOID SRZ

22'-0" SRZ
SETBACK



THE ORIENTATION OF THE HOUSE IS EAST TO WEST WHICH IS THE SAME DIRECTION FOR THE HOMES ALONG MT. VERNON AVE.

DIVIDED LITES ARE A COMMON FEATURES IN WINDOWS THROUGHUOT DEL REY.

THE MAJORITY OF DEL REY HOMES HAVE PORCHES OR AWNINGS OVER THEIR FRONT DOORS. THIS CANTILEVER ROOF COMPLEMENTS THIS FEATURE.

THE GABLE ROOF IS A DOMINANT FEATURE FOR THE HOMES ALONG E. ALEXANDRIA AVE. THE ROOF HEIGHT IS LOWER THAN ALL ADJACENT HOME TO MINIMIZE THE SIZE OF THE STRUCTURE.

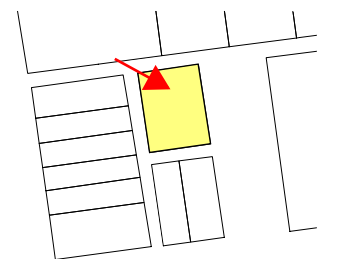
THE GABLE ROOF ALLOWS FOR SOLAR PANELS TO BE INSTALLED ON THE SOUTH FACING ROOF OF THE MAIN HOUSE AND ADU.

THE EIGHT ADJACENT HOMES ALONG MOUNT VERNON AVE. ARE ALL NARROW WITH A SIMILAR WIDTH.

THE FIBER CEMENT SIDING COMPLEMENTS THE HOMES ALONG E. ALEXANDRIA AVE.

THE BRICK SIDING COMPLEMENTS THE HOMES ALONG MOUNT VERNON AVE

PERVIOUS PAVERS ALLOW FOR WATER FILTRATION TO NATIVE SOIL



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MATERIAL COMPATIBILITY

EUSTILUS architecture