

City of Alexandria, Virginia

MEMORANDUM

DATE: SEPTEMBER 19, 2012

TO: CHAIRMAN AND MEMBERS OF THE
OHAD BOARD OF ARCHITECTURAL REVIEW

FROM: AL COX, FAIA, HISTORIC PRESERVATION MANAGER

SUBJECT: 213 SOUTH FAIRFAX STREET
BAR2012-0262 and 263

At the September 5, 2012 hearing, the Board deferred the application for a Permit to Demolish and a Certificate of Appropriateness for an addition, requesting that the applicant return with a proposal which reduced the height of the addition's roofline and addresses the neighbor's concerns regarding the removal of the trees on the site.

The applicant met with the neighbors and has responded to the Board's comments with a revised submission. The revised submission includes a slight re-design of the addition's roof, which lowers the east cornice of the addition and aligns it with the cornice on the rear ell. Additionally, the second floor east elevation windows have been converted into a gabled dormer with a set of paired, nine-over-nine windows. An additional window was added to the second floor of the south elevation to relieve the visual mass of this wall. Finally, the applicant has also offered to purchase three new trees for the neighbor's property, to mitigate the removal of two existing trees on the subject property that served as green privacy screening.

ANALYSIS

The applicant has submitted a revised design which addresses the concerns raised by the Board and the neighbors. The cornice height of the addition, as viewed from Fairfax Street, has been reduced and the roof forms simplified. Trees have been offered which will replace the lost tree canopy and soften the view from the neighbors and the street. The applicant has also submitted a plan sketch of this block based on the building footprints from the 1907 Sanborn Insurance maps which have been overlayed on the City's current real estate maps. This sketch shows the very modest size of the proposed addition relative to the large 20th century additions that have been approved on the neighboring houses.

Staff finds that the proposed design, as amended, is still appropriate and compatible with the main historic house in terms of mass, scale, height, and architectural expression and that it does not negatively impact the integrity of this historic resource or nearby buildings of historic merit. Staff recommends approval of the application, as conditioned.

STAFF RECOMMENDATION, SEPTEMBER 19, 2012

Staff recommends that the Board approve the application, per amended plans dated September 12, 2012 with the conditions that:

1. That there will be no further demolition of the masonry walls, window openings or roof structure being capsulated as part of this addition unless reviewed and approved by the BAR.
2. That the design professionals and/or chimney contractors work with BAR staff to select appropriate and visually minimal chimney caps, damper/caps, or dampers to be installed on top of the existing chimneys.
3. *That the applicant will assist in the cost of the installation of three new trees on the north side of the property located at 217 South Fairfax Street. (new condition)*
4. The statements in the archaeology conditions below appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
 - Ground disturbing activities shall be monitored by City archaeologists. The applicant/developer shall call Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that an inspection/monitoring schedule for city archaeologists can be arranged.
 - The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

ATTACHMENTS

1 – Updated Supporting Materials

2 – Previous Staff Report for BAR2012-0262 and 263 with minutes and the original application materials

333 North Fairfax Street
Alexandria, Virginia 22314
Tel. 703 684.5994
Fax. 703 548.0975

Project:

213 South Fairfax St.

213 S Fairfax St.,
Alexandria, VA
22314

Drawing:

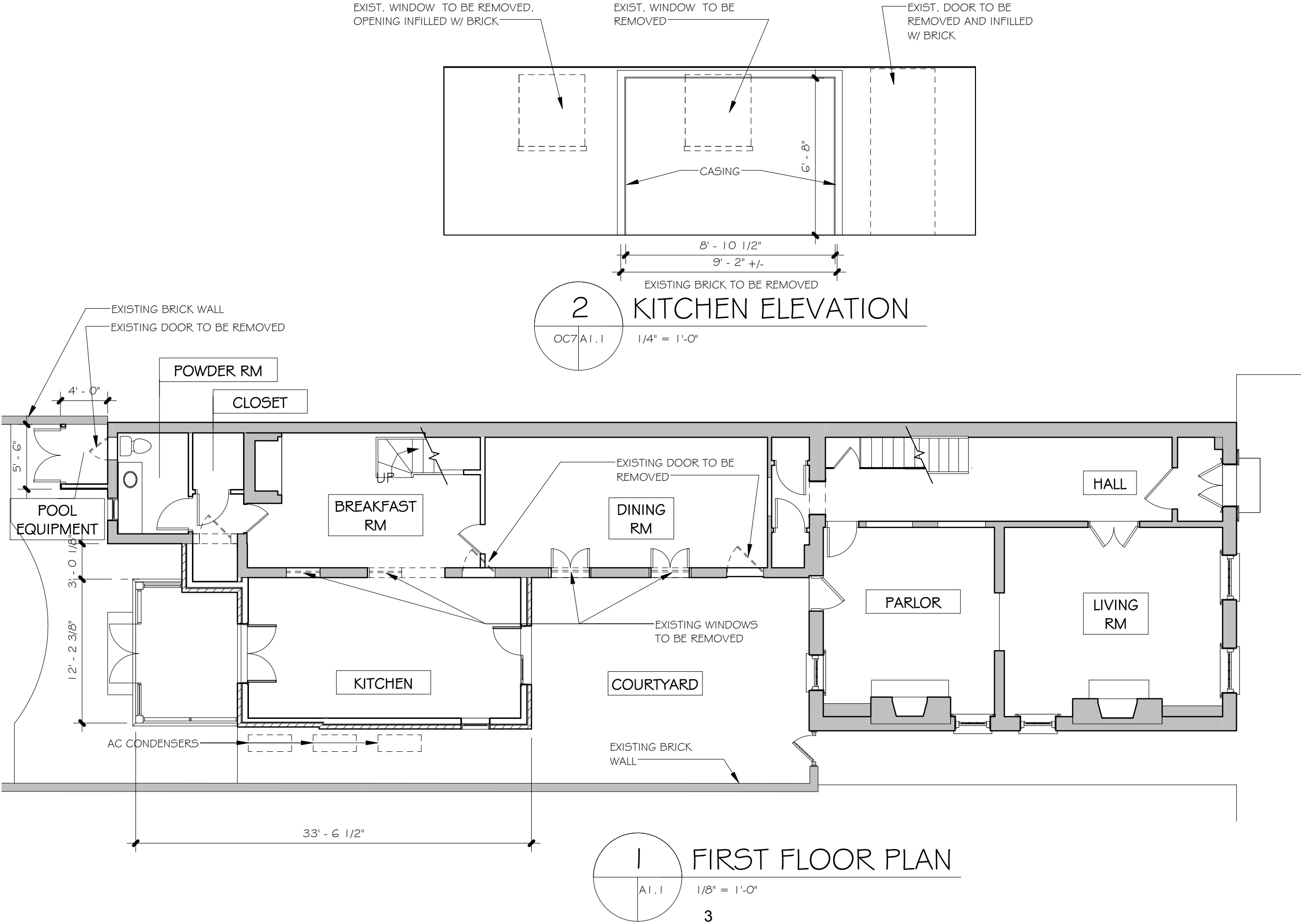
First Floor Plan

Date: 12 Sept. 2012

Project No: 12005

Sheet Number:

A1.1

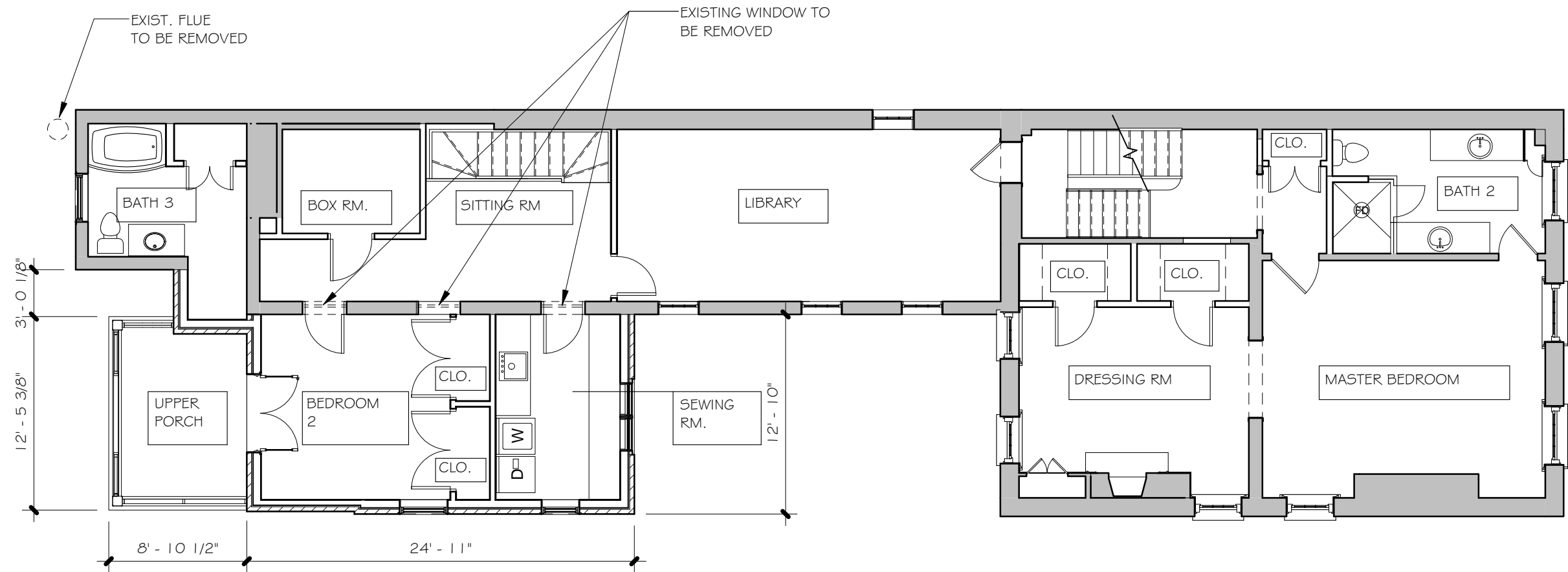


333 North Fairfax Street
Alexandria, Virginia 22314
Tel. 703 684.5994
Fax. 703 548.0975

Project:
213 South Fairfax St.

213 S Fairfax St.,
Alexandria, VA
22314
Drawing:

Second Floor Plan



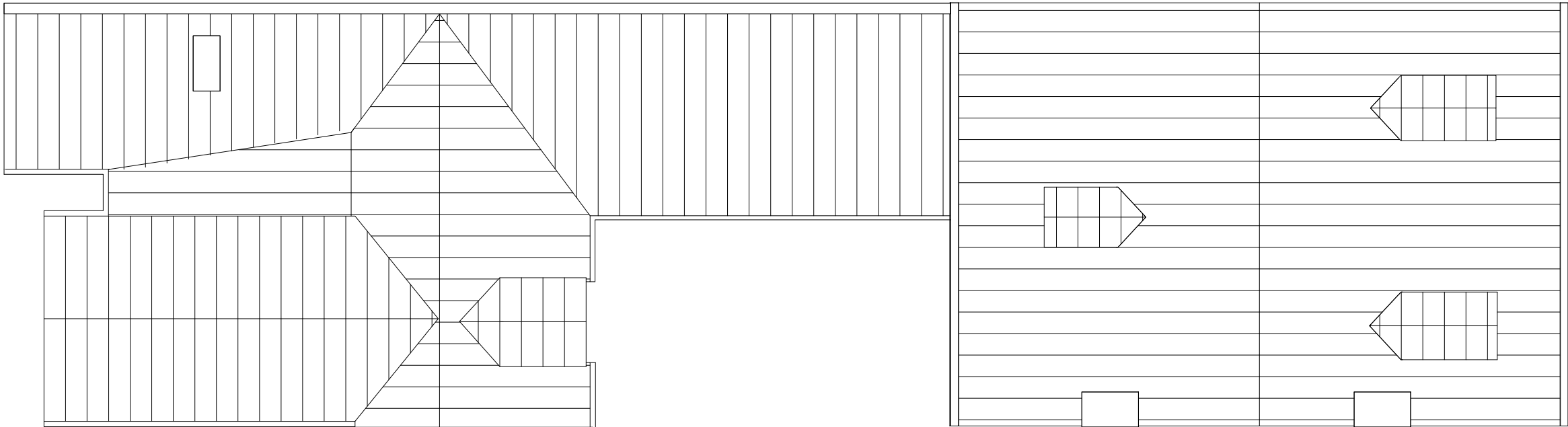
1 SECOND FLOOR PLAN
A1.2 1/8" = 1'-0"

Date: 12 Sept. 2012

Project No: 12005

Sheet Number:

A1.2



1 ROOF PLAN
A1.3 1/8" = 1'-0"

Date: 12 Sept. 2012

Project No: 12005

Sheet Number:

A1.3

333 North Fairfax Street
Alexandria, Virginia 22314
Tel. 703 684.5994
Fax. 703 548.0975

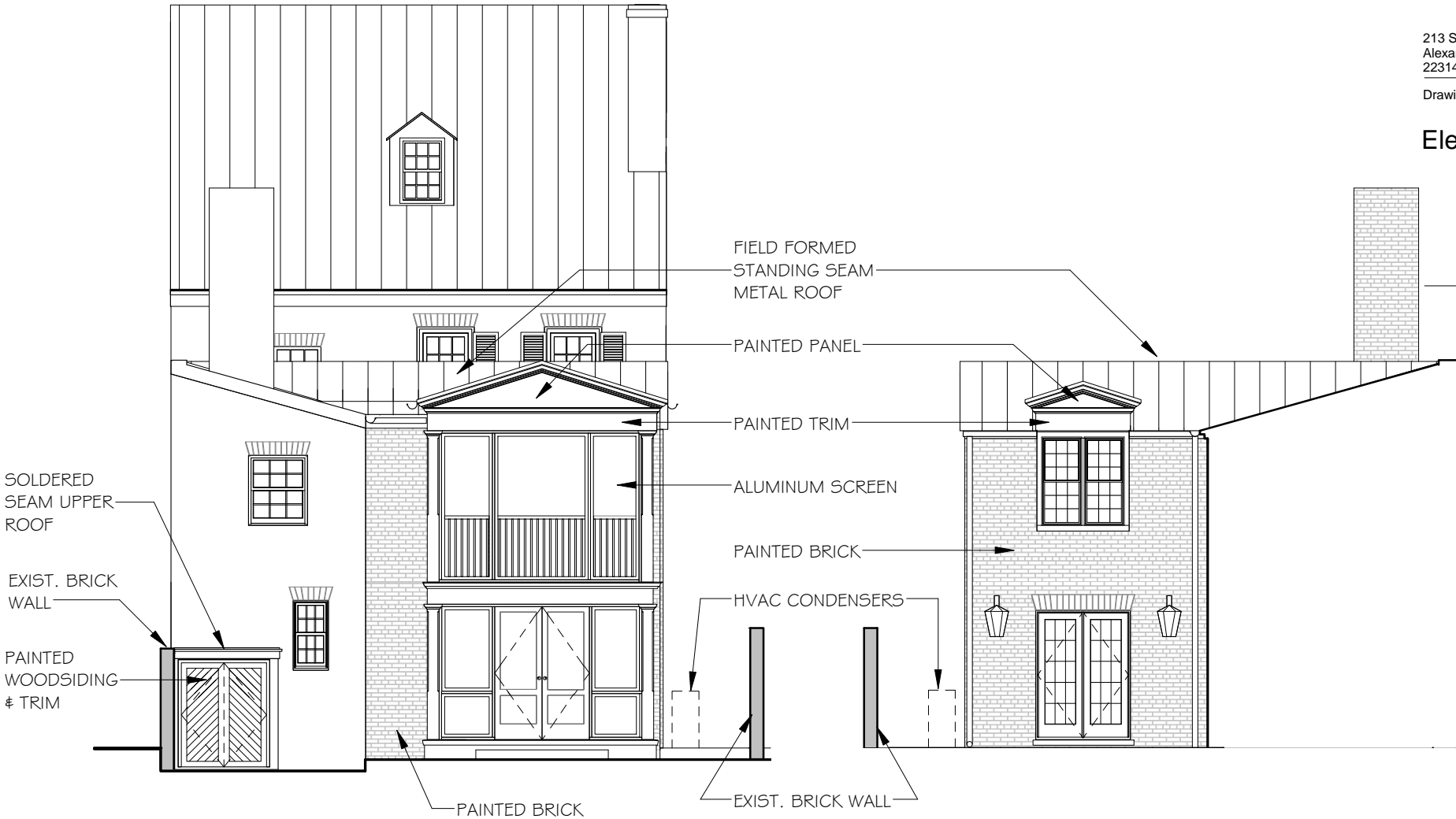
Project:
213 South Fairfax St.

213 S Fairfax St.,
Alexandria, VA
22314
Drawing:

Elevations



1 EAST ELEVATION
A2.1 1/8" = 1'-0"



2 WEST ELEVATION
A1.0 | A2.1 1/8" = 1'-0"

3 EAST ELEVATION
D1.2 | A2.1 1/8" = 1'-0"

Date: 12 Sept. 2012

Project No: 12005

Sheet Number:

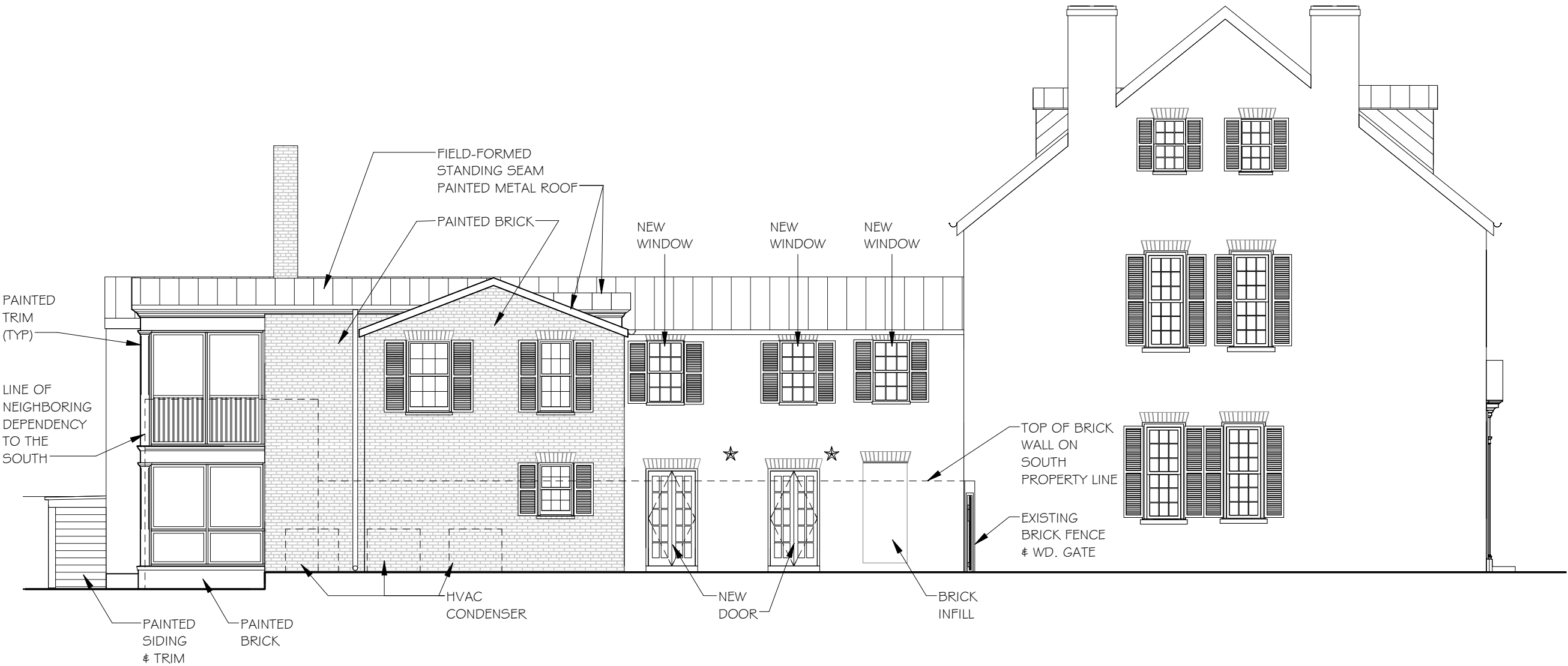
A2.1

333 North Fairfax Street
Alexandria, Virginia 22314
Tel. 703 684.5994
Fax. 703 548.0975

Project:
213 South Fairfax St.

213 S Fairfax St.,
Alexandria, VA
22314
Drawing:

Elevations



1 SOUTH ELEVATION
A1.01 | A2.3 1/8" = 1'-0"

Date: 12 Sept. 2012

Project No: 12005

Sheet Number:

A2.3



□ = ADDITION

▨ = PROPOSED
ADDITION

□ = FOOTPRINT
(1907 SANBORN)

Docket Item # 9 & 10
BAR CASE # 2012-0262 & 2012-0263

BAR Meeting
September 5, 2012

ISSUE: Partial Demolition/Capsulation; Certificate of Appropriateness for Alterations and Addition

APPLICANT: Alphonso J & Susan K Procopio by John Cole, Cole & Denny Inc.

LOCATION: 213 South Fairfax Street

ZONE: RM / Residential

BOARD ACTION September 5, 2012: Deferred for further study, 4-2.

SPEAKERS

John Cole, architect for the applicants, spoke in support of the application and responded to questions.

John Hynan, representing the Historic Alexandria Foundation, generally expressed support for the application, provided that the staff recommendations are followed. HAF is concerned about historic walls being retained once they become interior walls and noted that in the past easements were generally required.

Mary Davis Holt, property owner at 217 South Fairfax Street, expressed concerns about the proposed addition and its impact on her property. She expressed concern about the size of the addition, the loss of historic walls and the removal of trees.

BOARD DISCUSSION

Mr. Carlin understood the neighbor's concerns and noted that this was a very important block. He noted the visibility from South Fairfax Street and believed the addition could visually overwhelm the existing house, particularly once the existing large tree was removed. He also believed the three gable roof forms on the addition were excessive.

Mr. von Senden stated that, other than the screened porch, the addition fit in well but that he agreed with Mr. Carlin that a simpler roof form would be better.

Dr. Fitzgerald noted that HAF raised an important concern regarding how to track what changes might happen to an interior wall that the Board has conditioned an approval to retain. Mr. Cox explained that the City's permit tracking system could flag the property in such a way so that Staff can monitor any changes. Dr. Fitzgerald believed the addition would be minimally visible but noted the neighbor's concerns and found a restudy to be worthwhile.

Mr. Smeallie found the addition to be a few feet too large and agreed with Dr. Fitzgerald that a restudy was warranted.

Mr. Neale did not believe the addition was overwhelming and thought the proposed roof forms were fine. He supported the way the detailing of the addition reflected the historic house.

On a motion by Dr. Fitzgerald, seconded by Mr. Smeallie, the Board deferred the application for further study, 4-2, with Mr. Neale and Mr. von Senden voting against the deferral.

REASON

The Board recognized the neighbors' concerns and found that a restudy was appropriate in this case to address the perceived size of the addition.

STAFF RECOMMENDATION: September 5, 2012

Staff recommends that the Board approve the application with the conditions that:

1. That there will be no further demolition of the masonry walls, window openings or roof structure being capsulated as part of this addition unless reviewed and approved by the BAR.
2. That the design professionals and/or chimney contractors work with BAR staff to select appropriate and visually minimal chimney caps, damper/caps, or dampers to be installed on top of the existing chimneys.
3. The statements in the archaeology conditions below appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
 - Ground disturbing activities shall be monitored by City archaeologists. The applicant/developer shall call Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that an inspection/monitoring schedule for city archaeologists can be arranged.
 - The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

***EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**CASE BAR2012-0262 &
CASE BAR2012-0263**



***Note:** BAR #2012-0262 (Permit to Demolish/Capsulate) and BAR #2012-0263 (Certificate of Appropriateness) have been combined for clarity and brevity. This item requires a roll call vote.

I. ISSUE: The proposal includes the following:

Permit to Demolish/Capsulate

South Elevation (Side Elevation)

- Partially demolish (approx. 120 sq. ft.) and capsulate (approx. 656 sq. ft.) of wall area.
- Enclose the door opening on the first floor with recessed brick (approx. 1"). The door will retain its existing brick jack arch.
- Remove the existing six-over-six double-hung windows on the first floor and the brick beneath the windows in order to create openings for two, ten-light wood, French doors.

West Elevation (Rear Elevation):

- Enclose the door opening on the first floor with brick. The brick jack arch is not proposed to be retained.

Certificate of Appropriateness

South Elevation (Interior Side)

- Construct a two-story, painted brick addition (25' x 12'- 4 3/8"). The addition will contain a new kitchen on the first level and a bedroom/sewing room on the second. A two-story screen porch (9' x 12'- 4 3/8") will extend from the west (rear) elevation and will be constructed with painted, chamfered columns supporting a simple frieze. The east elevation will feature a set of French doors on the first floor and two, six-over-six SDL painted wood windows on the second. Both sets of openings will be capped with brick jack arches. The entire addition will be sheathed in a field-formed, painted standing-seam metal roof to match the existing historic massings.
- Replace the non-historic, single-glazed, sash on the on the second-story of the rear ell with six-over-six, painted wood SDL double-hung windows with 5/8" muntins. The windows will be a full-frame replacement and are trimmed by a simple brick mould (These windows are not visible from the ROW.)
- Install two, ten-light wood, French doors in the enlarged window openings on the first floor of the rear ell (these doors are not visible from the ROW.)
- Install new caps, damper/caps, or dampers on the existing chimneys. The design will be as low profile as possible.

West Elevation (Rear)

- Construct a wood, pool equipment cabinet (4'- 0" x 5'- 6" x 5'- 6") affixed the rear wall of the extension (This structure will not be visible from the ROW.)
- Replace the existing non-historic single-glazed, sash on the first-story of the extension with six-over-six, painted wood SDL double-hung window with 5/8" muntins. The window will be a full-frame replacement and will be trimmed with a simple brick mould (This window is also not visible from the ROW.)
- Install a new, six-over-six, painted wood SDL double-hung window with 5/8" muntins on the second story of the extension. The window will be a full-frame

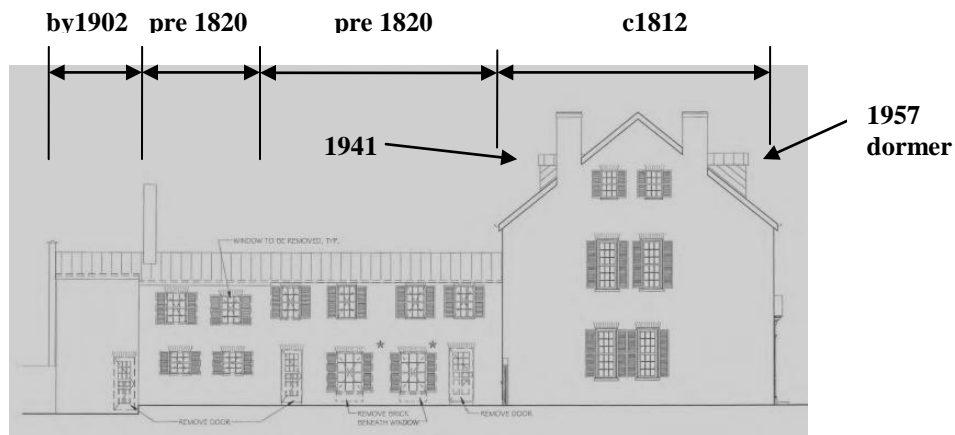
replacement and will be trimmed with a simple, brick mould (This window is also not visible from the ROW.)

North Elevation (Property Line Side)

- Replace the existing non-historic single-glazed, sash on the on the second-story of the extension with six-over-six, painted wood SDL double-hung window with 5/8" muntins. The window will be a full-frame replacement and will be trimmed with a simple brick mould.
- Remove the old chimney stub and cap from the roof.

II. HISTORY

Historic Context



The main block of the house facing Fairfax Street was built **c1812**.¹ By 1820, a two-story ell was constructed in two phases.² During this same period, the two-story ell was altered by encapsulating the south wall with a one-story open porch, which no longer exists. By 1902⁴, a two-story masonry extension to the ell and a metal roof were added to the building. In 1941 a rear dormer was added to the attic and a two-story rear addition was constructed onto the rear of the main block, which also does not currently exist today.⁵ Finally, in 1957, the BAR approved two dormer windows on the front elevation.⁶

Description of the Existing Building/Site

The main building mass is a freestanding, two-story, side gable, double-pile, three bay, side hall brick dwelling (**c1812**). There is a stone walled basement beneath this portion of the structure and the adzed and pit sawn first floor joists and original flooring are visible above. Much of the interior trim has been altered on the lower floors but the handsome three story stairway and elegant, simple

¹ Per Ethelyn Cox "Historic Alexandria, Virginia Street by Street," the main house was constructed by Reuben Johnson in 1812.

² Inspection of the second floor joists in both portions of the ell indicate that they were shaped with an adze and pit sawn, indicating that this entire portion of the structure likely pre-dates 1820.

⁴ As documented by 1902 Sanborn Fire Insurance Maps.

⁵ As documented by 1941 Sanborn Fire Insurance Maps.

⁶ BAR History Cards, BAR Hearing 4/10/57.

handrail are remarkably intact. Exterior details include a Flemish bond front façade with 6-course common bond secondary elevations, a simple molded brick cornice, brick jack arches, and the paneled recessed entry. The six-panel entry door is capped with a three-light transom. The windows are a combination of 12/12, 9/9 and 6/6, single pane, double hung, wood windows flanked by operable, two-paneled louvered wood shutters. Based on Staff's field inspection, all of the window sashes were replaced in the mid-20th century, though most of the beaded perimeter frames appear to be original. The entire roof is painted standing seam metal and is crowned by two, interior end chimneys on the south elevation.

The two-story, masonry rear ell is six-bays wide but, based on site investigation, appears to have been constructed in two phases, both utilizing hand hewn second floor joists that would indicate both sections were constructed prior to 1820. As the ell walls butt into the west masonry wall of the main house, it does not appear that the service ell was ever a freestanding "flounder" predating the main house. Architectural details of the ell include 6-course common bond brick, a saw tooth brick cornice and brick jack arches. All of the window sashes and doors have been replaced on the ell and contain float glass. Several windows frames are mid-20th century and have aluminum weather stripping in the jambs. The footprint of the ell is completed on the west end with the two-bay, two-story c1902 extension, also constructed with 6-course common bond brick.

The subject property faces east with the front building wall located on the eastern property line on S. Fairfax Street. The property is enclosed with a six-foot high brick wall in the rear and contains several trees, two of which will be removed for the construction of this addition. The property can also be accessed in at the rear from a public alley.

Previous BAR Approvals

The BAR approved two dormer windows on the front elevation in 1957. Staff was unable to locate any recent BAR cases for this address.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in

architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, the criteria to demolish and capsule are not met and the Permit to Demolish/Capsulate should be granted. The Board regularly approves the partial demolition and capsulation of secondary elevations to allow for additions or other alterations when the existing walls are not of unusual or uncommon design, texture, material or construction. In addition, based on Staff's field inspection, the doors and window openings in the areas proposed for capsulation have already been altered several times. In this case, the majority of the existing historic elements which define and give this building its integrity will remain intact. As the drawings illustrate, the homeowner intends to retain most of the existing exterior walls within the new construction. However, once the historic wall becomes an interior wall, the Board has no further purview when/if the current or a future homeowner desires to make changes or alterations. For this reason, Staff recommends that a condition be placed on the capsulated walls, window openings and roof structure, ensuring that they remain intact after becoming interior features. Staff supports the demolition/encapsulation application, with the above recommended condition. This condition will allow future historians to understand the evolution of the structure and retain the overall integrity of the building so that it could be restored in the future, if desired.

Certificate of Appropriateness

The construction of an addition to any building within the historic district must be evaluated not only for its impact on the building to which it is being attached, but also for its impact on the district as a whole. The *Design Guidelines* encourage designs for new additions that are "respectful of the existing structure and which seek to be background statements or which echo the design elements of the existing structure." It should not overwhelm the existing structure and must be sympathetic to the traditional street and building patterns within the district, including patterns of height, massing and roof pitch. An addition's design should also respect the architectural heritage of the historic structure by creating subtle delineations between the historic house and the new additions.

As the attached drawings illustrate, the addition is set back 60 feet from the front property line, and will be minimally visible from South Fairfax Street. The proposed addition's mass and scale are compatible with the architectural styles of the house and are sympathetic to the adjacent neighbors and the existing development patterns along the street.

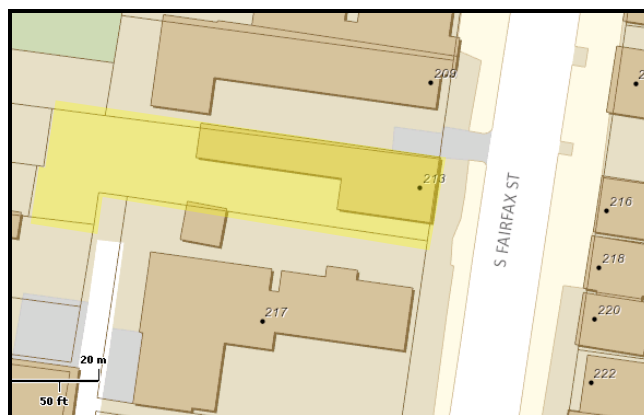


Illustration of existing site

The proposed two-story addition will capsule the north wall of the later c1885 and 1902 additions and only one bay of the pre-1820s ell (see illustration below.)



The proposed capsulation is to be located on a secondary elevation, is barely visible from a public ROW and most of the current exterior walls will remain intact. The Board generally supports additions which follow these practices. Staff has examined the windows proposed to be replaced on the ell and has found the existing sashes are modern replacements, many with aluminum jamb liners and nailed butt joints. Additionally, the two windows on the first floor proposed to be demolished were shortened in a previous kitchen renovation. Also, it appears that only one or two of the windows and doors still retain the original early-19th century beaded trim. Based on these findings, Staff does not object to the proposed full-frame replacement of the windows on the addition with SDL, painted wood windows with a 5/8" muntin.

The proposed two-story screen porch will extend from the new addition into the garden. It will provide a screen porch off the kitchen for the first floor and a private balcony for the second bedroom on the second floor. This porch softens the visual effect of the addition on the historic structure and reinforces the historic garden use. This elevation will be minimally visible from the rear public ROW, as there are mature trees, a six-foot (6') high brick wall and approximately 40' in distance between the addition and the alley.

Finally, the utilization of modern six-over-six painted SDL wood windows, painted brick⁷, painted wood columns, and cornice, a painted-standing seam metal roof, and copper gutters and downspouts on the new addition will provide a subtle differentiation treatment which will distinguish the new addition from the historic block's details. As a general preservation philosophy, retention and restoration of original fabric on the historic portion of the building, and the use of modern, but compatible, materials on the addition is practiced throughout the proposed addition and Staff feels that the subtle amount of differentiation proposed is sufficient.

In Staff's opinion, the addition, as viewed from the street, is appropriate and compatible with the main historic house in terms of mass, scale, height, and architectural expression and does not negatively impact the integrity of this historic resource or nearby buildings of historic merit.

Staff recommends approval of the Permit to Demolish/Capsulate and the Certificate of Appropriateness for an addition with the conditions noted above.

⁷ The applicant might elect to remove the paint from the historic portion of the house. In such case, the addition would be constructed of un-painted brick to closely match the existing historic brick color and mortar joints.

STAFF:

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R – recommendation S - suggestion F- finding

Zoning

- F-1 The RM zone requires each residential lot which is at least 25' but less than 35' wide shall provide one side yard of at least five feet. The subject property is 31' wide.
- C-1 The proposed addition and mechanical enclosure comply with zoning.
- C-2 The proposed AC units are located in the required south side yard and do not comply with zoning.

Archaeology

- F-1 This property is situated in the early historic core of the town and has potential to yield significant archaeological resources that could provide insight into life in early 19th-century Alexandria. According to Ethelyn Cox in *Historic Alexandria, Virginia, Street by Street*, the house at 213 South Fairfax Street was built by Reuben Johnston in 1812. However, it is possible that there were structures present even earlier. By 1845 Johnston's heirs conveyed the property to Francis L. Smith who subsequently sold the property in 1855.
- F-2 While the expected amount of ground disturbance for the proposed addition is relatively small, given the age of the lot, the possibility that historic archaeological resources will be encountered is quite good.

RECOMMENDATIONS

1. The statements below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
 - a. Ground disturbing activities shall be monitored by City archaeologists. The applicant/developer shall call Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that an inspection/monitoring schedule for city archaeologists can be arranged.
 - b. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

- c. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

Code Administration

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Plan Review Services Division Chief, at ken.granata@alexandriava.gov or 703.746.4193.
- C-1 A building and trade permits are required for this project. Five sets of *construction documents* that fully detail the construction as well as framing schematics shall accompany the permit application(s). If a Virginia licensed design professional prepares drawings, the plans shall bear the signature and seal of the Virginia licensed design professional in accordance with the Code of Virginia Section 54.1-410B.
- C-2 Wall bracing system to adequately transfer lateral loads (wind governing) to the foundation is required for building permit. Provide one of the three following methods: 1) a prescriptive wall bracing method; 2) a proprietary performance system tested and approved by a nationally recognized testing agency; or 3) a signed and sealed lateral resistance system designed by a licensed design professional (Structural Engineer) in the Commonwealth of Virginia (provide original document)
- C-3 A one-hour fire-resistance-rated exterior wall assembly (exposure from both sides) for all exterior walls within 5ft from the property-line is required for building permit. Provide one of the following: 1) a performance system tested approved by a nationally recognized testing agency, i.e. UL assembly or ICC Evaluation Report; or 2) provide an assembly description based on the Virginia Construction Code "Prescriptive Fire Resistance".

Transportation and Environmental Services (T&ES)

RECOMMENDATIONS

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)

CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

V. ATTACHMENTS

1 – Supporting Materials

2 – Application for BAR2012-0262 & 263 213 South Fairfax Street

Demolition / Encapsulation:

- 1) Replace all windows to remain on the back "el" with simulated divided light, painted wood windows. *Reason: improved energy efficiency and sound isolation. Alternatives: The existing, single-pane sash are not original to the house – keeping them perpetuates inefficient energy use. SDL units offer significant improvement in energy efficiency and sound attenuation and are not readily visible from a public way.*
- 2) Replace two windows on the first floor of the back "el" with paired, simulated divided light, painted wood, in-swinging doors. The existing opening widths will remain unchanged. *Reason: better access to garden courtyard and relief from narrowness within the existing room. Alternatives: Larger, new openings were considered but would disrupt the scale and rhythm of the existing façade. The proposed solution retains the character of the elevation while allowing improved access to the garden.*
- 3) Remove the capped chimney stub and associated roofing from the north elevation. *Reason: provide a continuous parapet cap for better waterproofing. Alternatives: keeping the existing condition was considered, but since the original chimney no longer exists as a character-defining feature and continuous parapet flashing is considered a best practice for waterproofing the proposed solution offers the best protection for the remaining original fabric.*
- 4) Remove the existing exterior door from the current Dining Room and infill the opening with brick set back approximately 1 inch from the surrounding existing wall surface. *Reason: provides additional interior wall space to receive furniture. Alternatives: retaining the existing doorway eliminates the opportunity to create wall space on the interior for furniture placement. Insetting the masonry infill allows the creation of much-needed interior wall space while retaining the rhythm of the exterior elevation.*
- 5) Remove one existing window and the exterior door from the current Kitchen and infill the openings with brick set flush with the surrounding existing wall. Remove one existing window in the current Kitchen and a portion of the adjacent brick wall to create an opening approximately 9'2" wide by 6'8" tall between the current Kitchen area and the new kitchen space. *Reason: allows open connection and access between the existing space and proposed kitchen addition, improving the function of both spaces. Alternatives: converting the existing windows to open doorways was considered, but does not allow adequate functional connection between the new addition and the adjacent living space. The proposed framed opening reflects the "punched opening" character consistent with intra-room connections of the period.*
- 6) Remove the exterior wall in portions of the southwest corner of the "el" in order to connect with the proposed addition. *Reason: allows open connection and access between the existing space and proposed kitchen addition, improving the function of both spaces. Alternatives: leaving the masonry walls undisturbed was considered but does not allow for appropriate interior connections to the adjacent spaces.*
- 7) Remove portions of the existing painted, standing seam roof on the "el" to connect with the proposed addition. *Reason: allows appropriate waterproof connection with the proposed addition. Alternatives: leaving the existing metal roofing in place and roofing over it is theoretically possible, but not recommended.*

Proposed Addition

The proposed addition is a two-story, 890 GSF wing that connects to the southwest end of the existing "el". It provides new kitchen space on the first floor and a bedroom and sewing room on the second floor above. A screened porch is provided on both levels on the west side of the addition.

The exterior of the addition is brick painted to match the existing structure. Windows and doors are simulated divided lite units with 5/8" wide grill bars affixed to the exterior and interior with a spacer in the void space between panes. Windows are double-hung construction.

The porch is frame construction with trim painted to match the color of the existing house and black, aluminum screening.

Decorative lights flanking the first floor doorway on the east elevation are electric, wall-mounted copper lanterns.

The new pool equipment enclosure on the west end of the "el" is frame construction with painted, beveled-and-beaded wood clapboard siding and doors. It has a soldered copper low-slope roof. The enclosure will not rise above the north garden wall that it abuts.

The two existing HVAC condensing units will be relocated to the south side of the new addition accompanied by an additional new unit in the same location.

213 S. FAIRFAX

WOOD DOUBLE-HUNG
SIMULATED DIVIDED LITE SASH

DOUBLE-HUNG

Wood

INDICATES DESIGN PRESSURE (DP) RATING WITH STANDARD GLAZING
###** INDICATES OPTIONAL DESIGN PRESSURE RATING

WOOD SPECIES

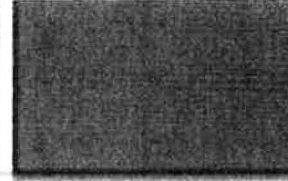
Solid Pine AuraLast
standard ✓



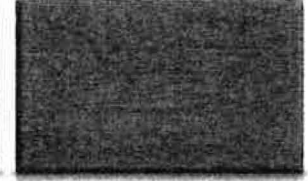
Knotty Alder
optional interior



Vertical-Grain Douglas Fir
optional interior and exterior



Mahogany
optional interior and exterior



DIVIDED LITES



Simulated Divided Lites (SDL)



Precise Simulated Divided Lites (PDL)



Grilles between the Glass (GBG)



Full-Surround Wood Grilles (FS)

SIMULATED DIVIDED LITE PROFILES

1" Copper



5/8" Putty



7/8" Putty



1-1/8" Putty



5/8" Bead



7/8" Bead



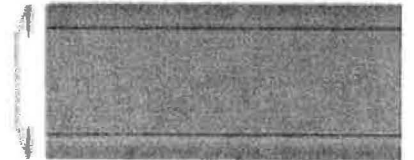
1-1/8" Bead



1-3/8" Bead



2-5/16" Bead



EXTERIOR TRIM



Adams



Brickmould



Flat (3-1/2",
4-1/2", 5-1/2")



Backband



Adams



Brickmould



Flat



Manchester

213 S. FAIRFAX
DOUBLE HUNG WINDOWS.

TEXTURED AND TINTED GLASS



Obscure



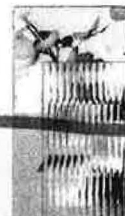
Spectrum Seedy



Glue Chip



Rain



Narrow Reed



Sandblasted



Bronze



Grey



Clear



Green

(Many other glass options available. See your JELD-WEN dealer for details)

P242

LONDON STREET LIGHT

Sizes: (Including Mounting)

Large - H32" W17" D19"

Medium - H26" W13" D15" (Shown)

Configurations Available:

Wall Mount

- C Bracket (Shown)
- J Bracket
- Scroll Bracket

Post Mount

Column Mount

Hanging

Finishes:

Copper

- Natural Copper
- Dark Copper (Shown)
- Museum Copper
- Verdigris Copper

Brass

- Natural Brass
- Antique Brass



213 S. FAIRFAX.
EXTERIOR LIGHT FIXTURES

MILLWOOD

Sizes: (Including Mounting)

Large - H27" W15" D9" (Shown)

Medium - H21" W11.5" D7"

Configurations Available:

Wall Mount

- Flush Mount (Shown)
- J Bracket
- Scroll Bracket

Post Mount

Column Mount

Hanging

Finishes:

Copper

- Natural Copper
- Dark Copper
- Museum Copper
- Verdigris Copper (Shown)

Brass

- Natural Brass
- Antique Brass



McLEAN
LIGHTING WORKS

Project:

213 South Fairfax St.

213 S Fairfax St.,
Alexandria, VA
22314

Drawing:

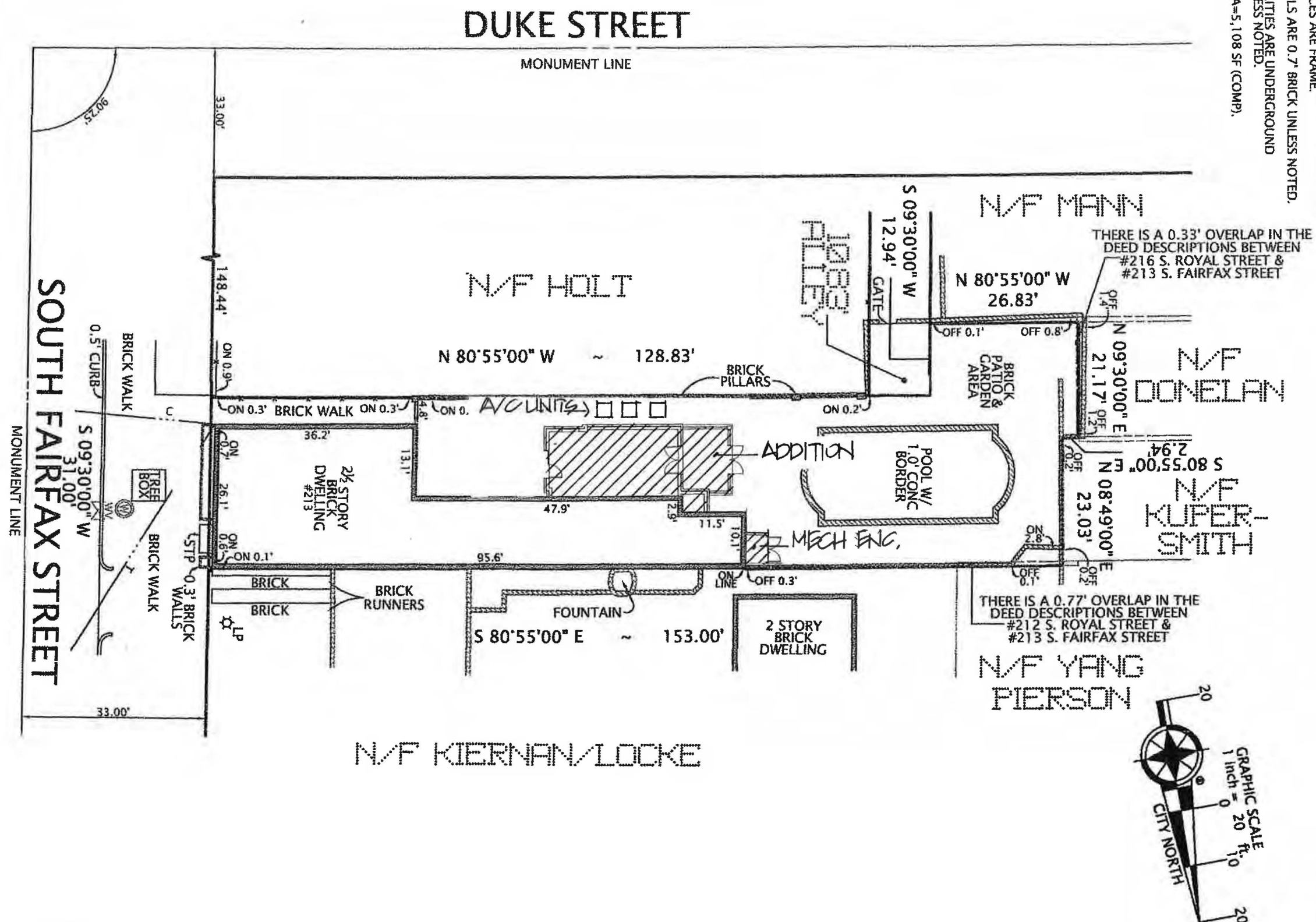
Architectural Site Plan

Date: 6 Aug. 2012

Project No: 12005

Sheet Number:

GO.1

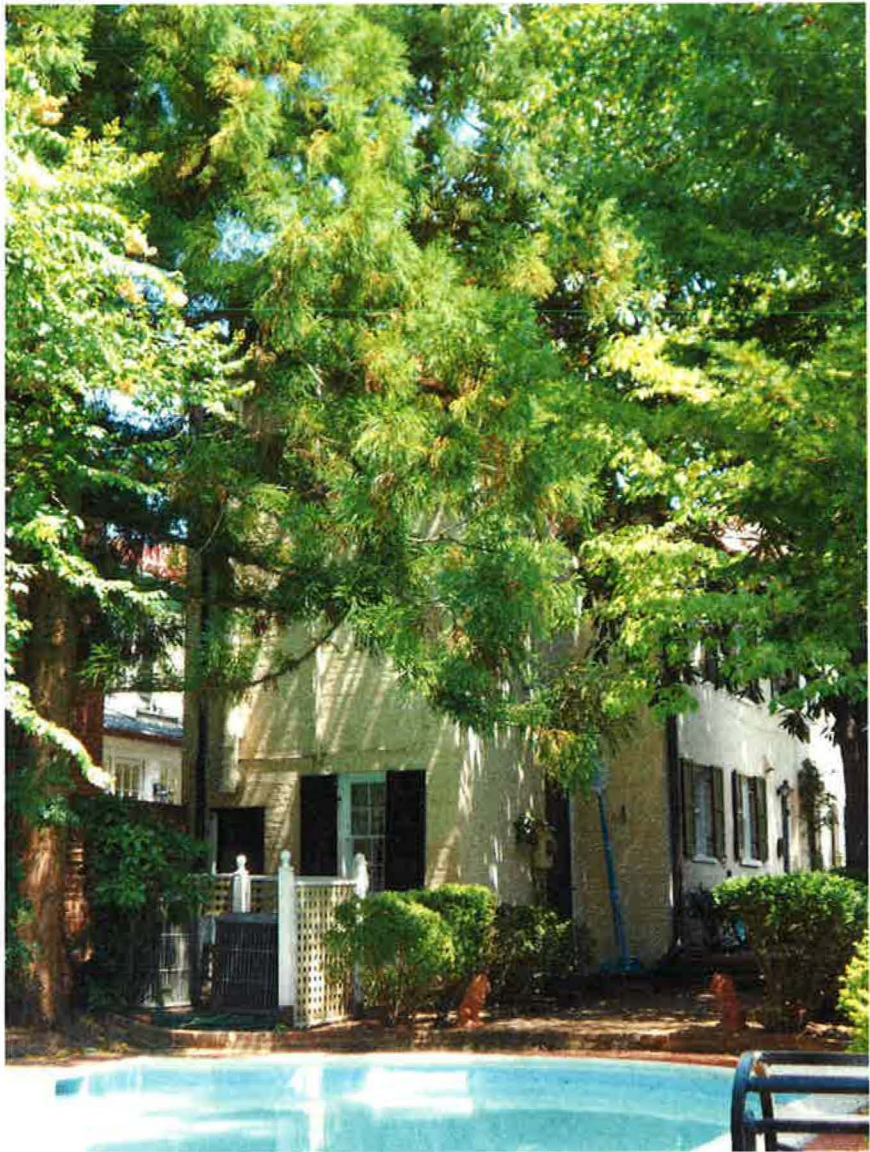




Northeast elevation



Southeast elevation



West elevation

Date: 6 Aug. 2012

Project No: 12005

Sheet Number:

G0.2

333 North Fairfax Street
Alexandria, Virginia 22314
Tel. 703 684.5994
Fax. 703 548.0975

Project:
213 South Fairfax St.

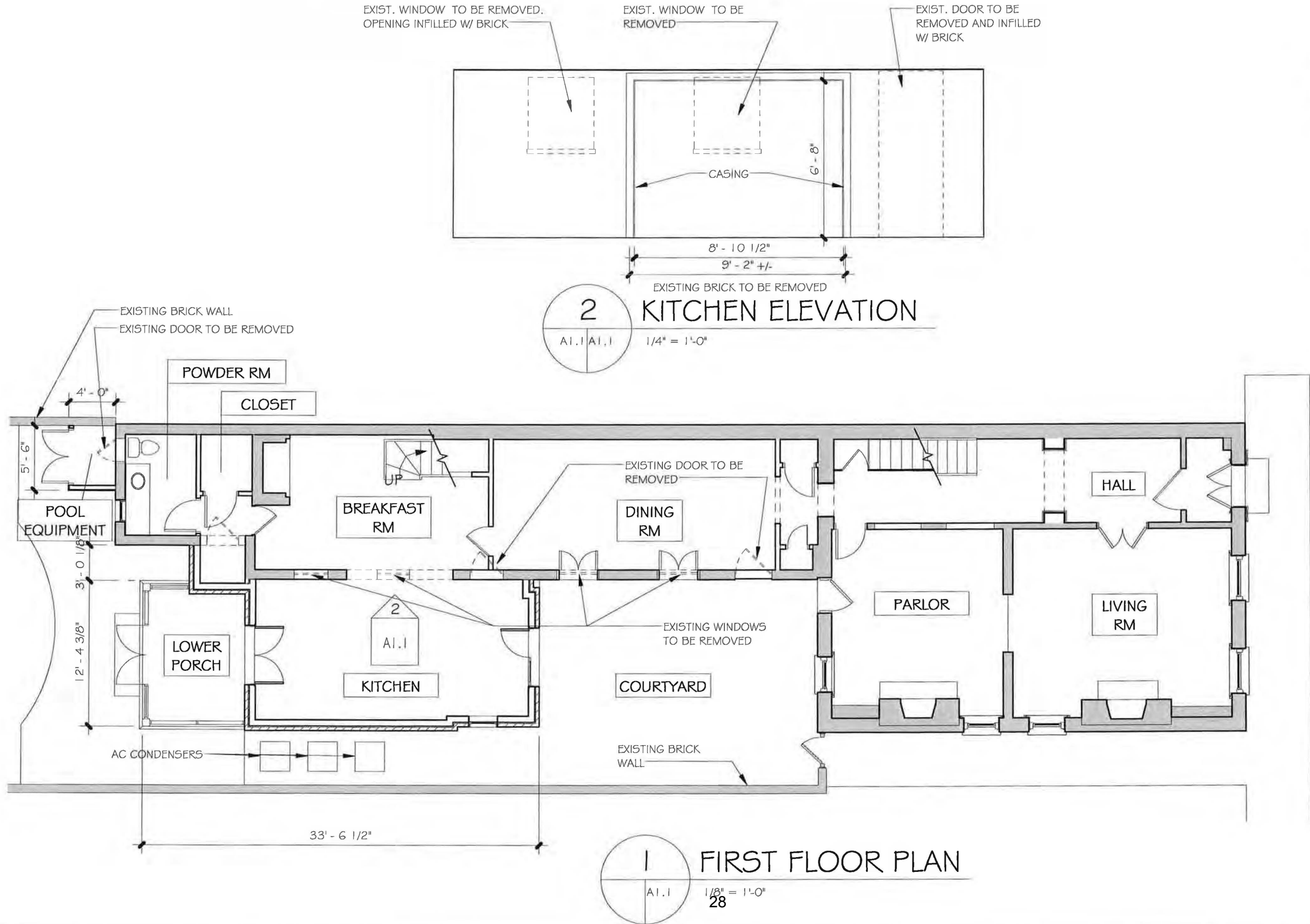
213 S Fairfax St.,
Alexandria, VA
22314
Drawing:
Photographs



Southwest elevation

Date: 6 Aug. 2012
Project No: 12005
Sheet Number:

G0.3



Date: 6 Aug. 2012

Project No: 12005

Sheet Number:

A1.1

333 North Fairfax Street
Alexandria, Virginia 22314
Tel. 703 684.5994
Fax. 703 548.0975

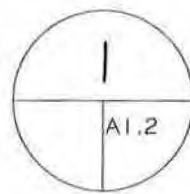
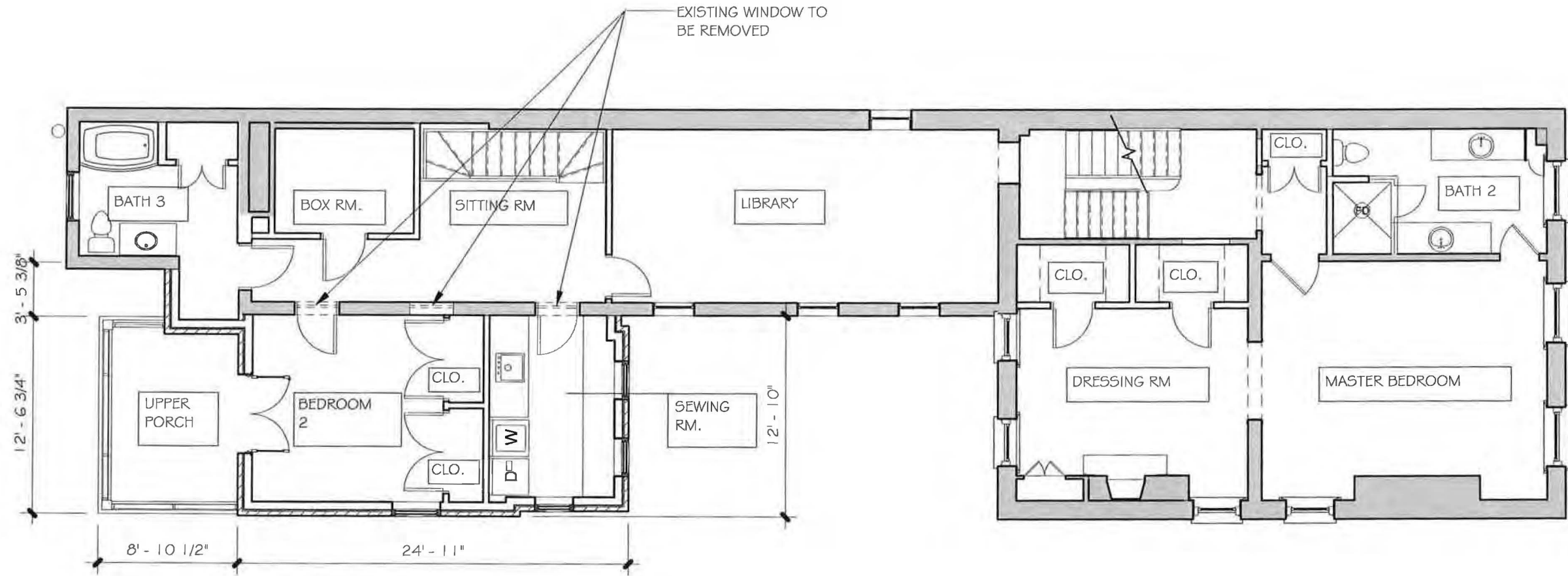
Project:

213 South Fairfax St.

213 S Fairfax St.,
Alexandria, VA
22314

Drawing:

Second Floor Plan



SECOND FLOOR PLAN

1/8" = 1'-0"

Date: 6 Aug. 2012

Project No: 12005

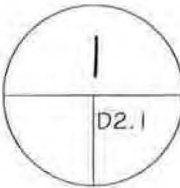
Sheet Number:

A1.2

333 North Fairfax Street
Alexandria, Virginia 22314
Tel. 703 684.5994
Fax. 703 548 0975

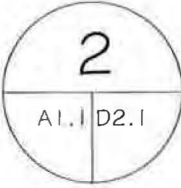
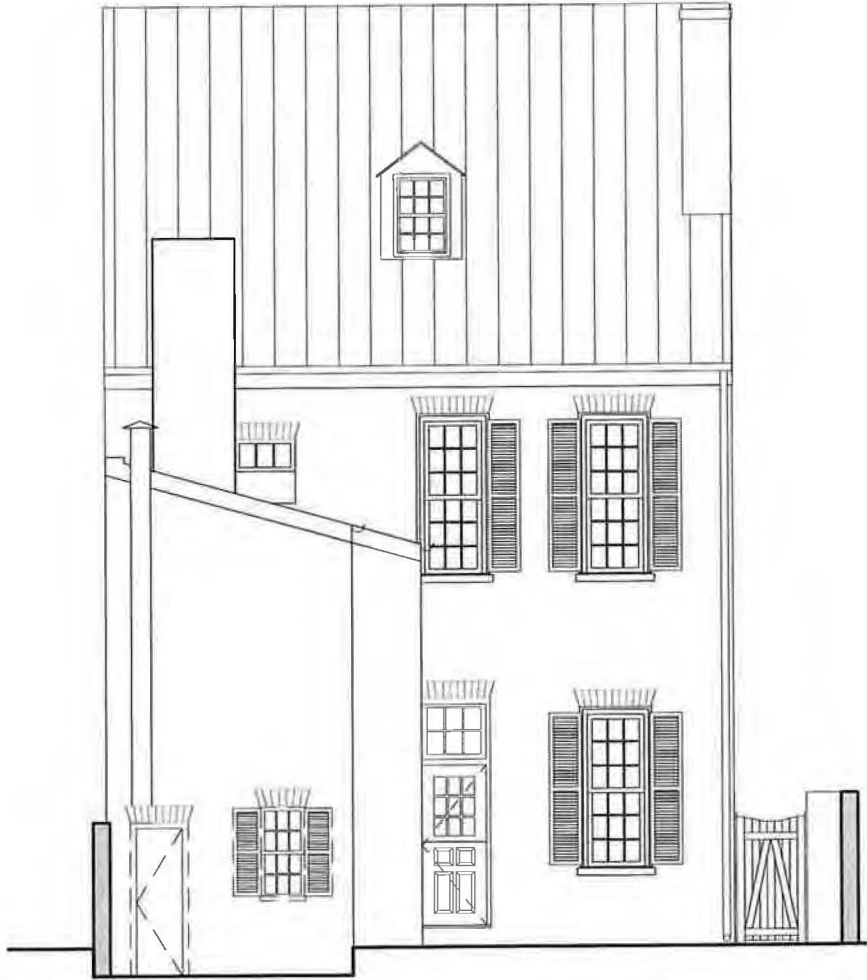
Project:
213 South Fairfax St.

213 S Fairfax St.,
Alexandria, VA
22314
Drawing:
Demolition Elevaitons



DEMOLITION EAST ELEVATION

1/8" = 1'-0"



DEMOLITION WEST ELEVATION

1/8" = 1'-0"

Date: 6 Aug. 2012

Project No: 12005

Sheet Number:

D2.1

333 North Fairfax Street
Alexandria, Virginia 22314
Tel. 703 684.5994
Fax. 703 548.0975

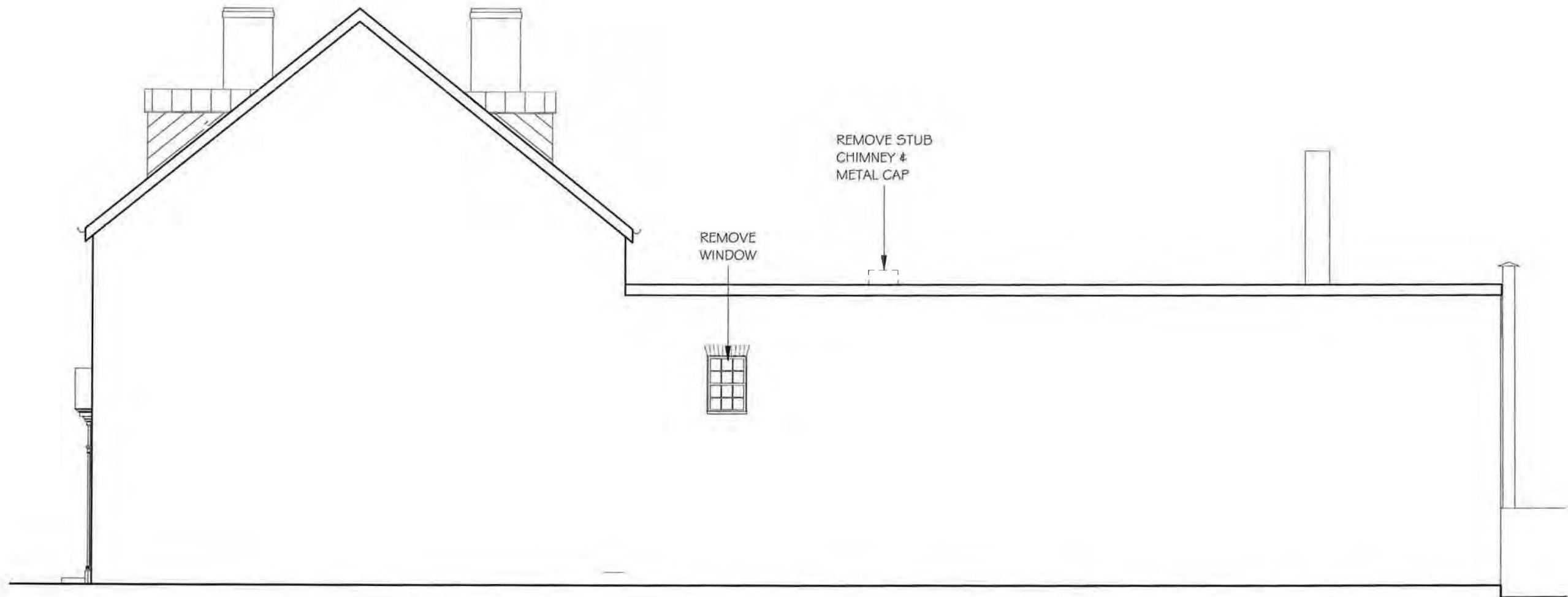
Project:

213 South Fairfax St.

213 S Fairfax St.,
Alexandria, VA
22314

Drawing:

Demolition Elevaitons



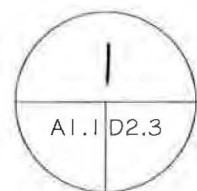
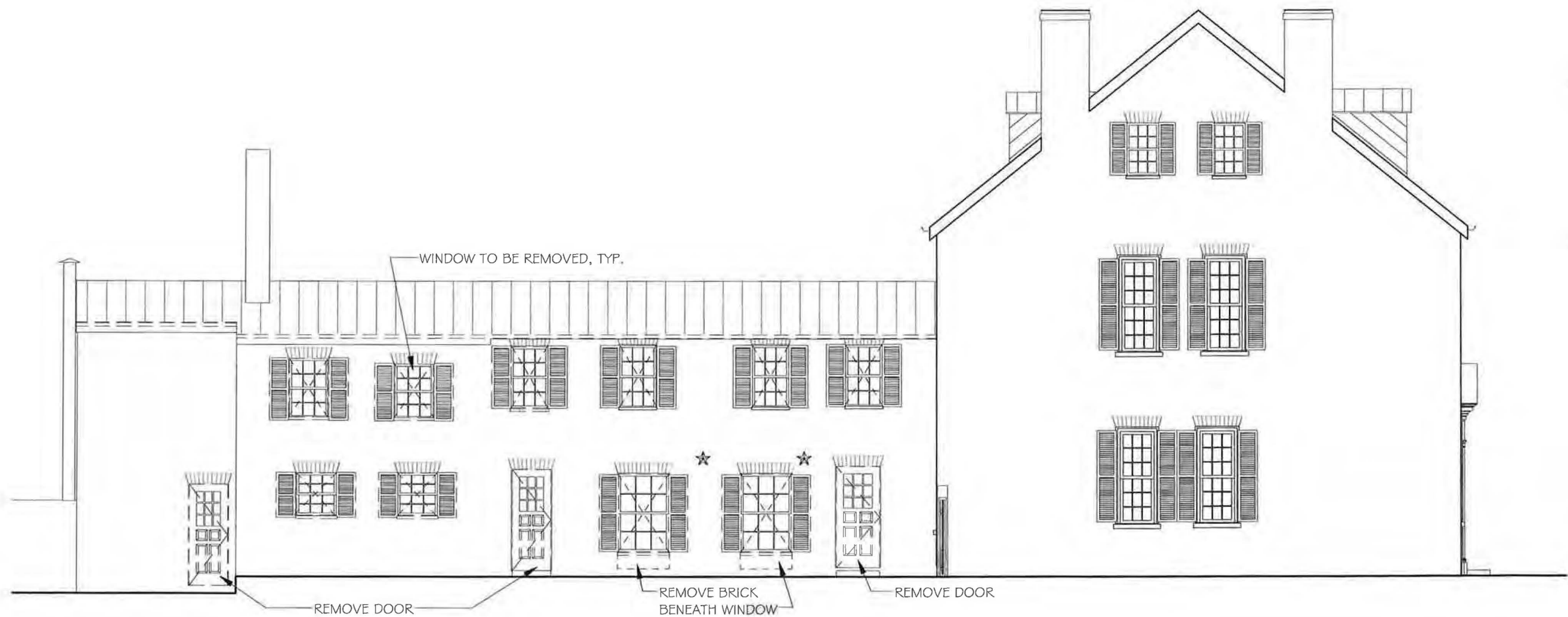
1 NORTH ELEVATION
D2.2 1/8" = 1'-0"

Date: 6 Aug. 2012

Project No: 12005

Sheet Number:

D2.2



SOUTH ELEVATION

1/8" = 1'-0"

Date: 6 Aug. 2012

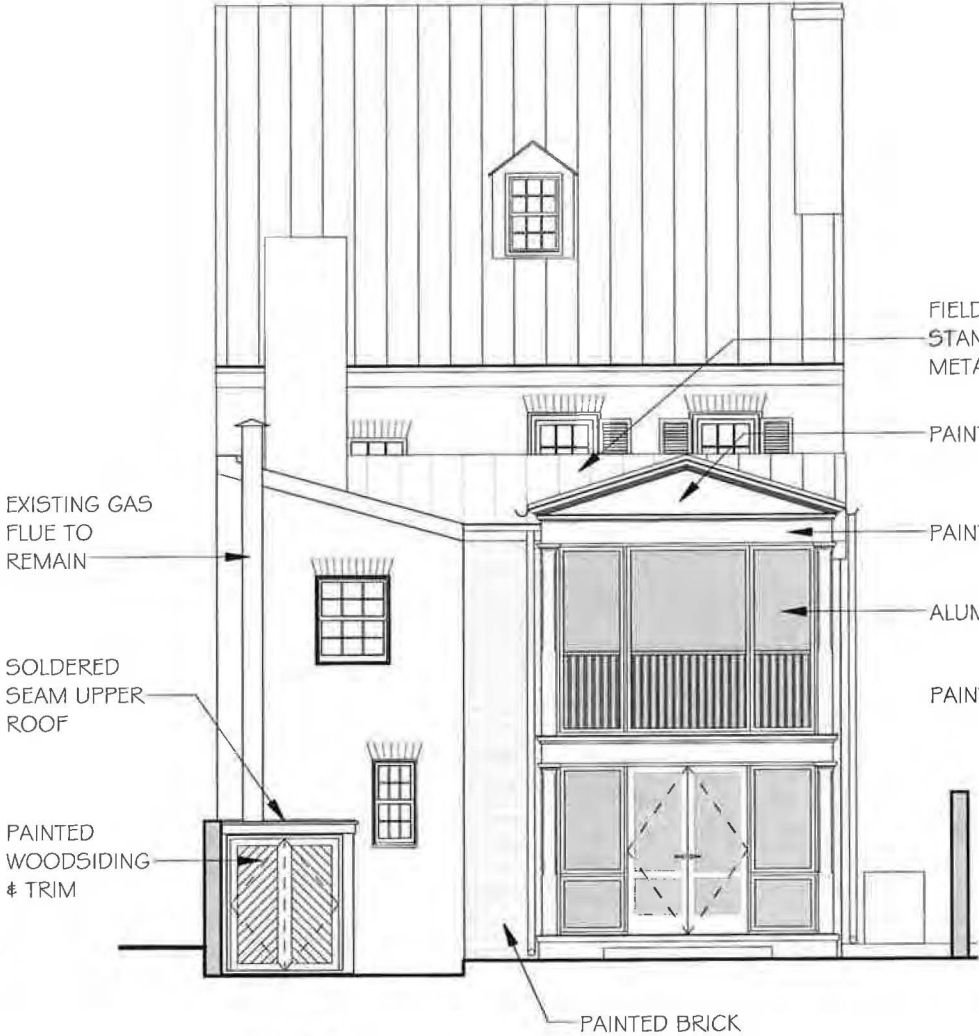
Project No: 12005

Sheet Number:

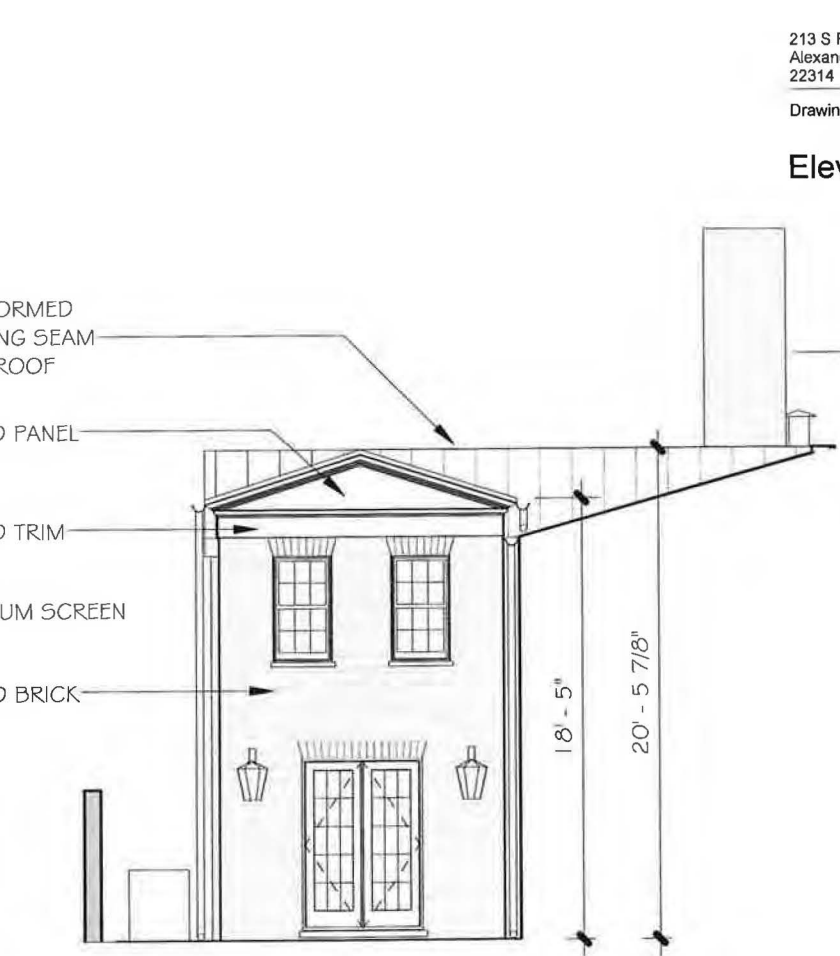
D2.3



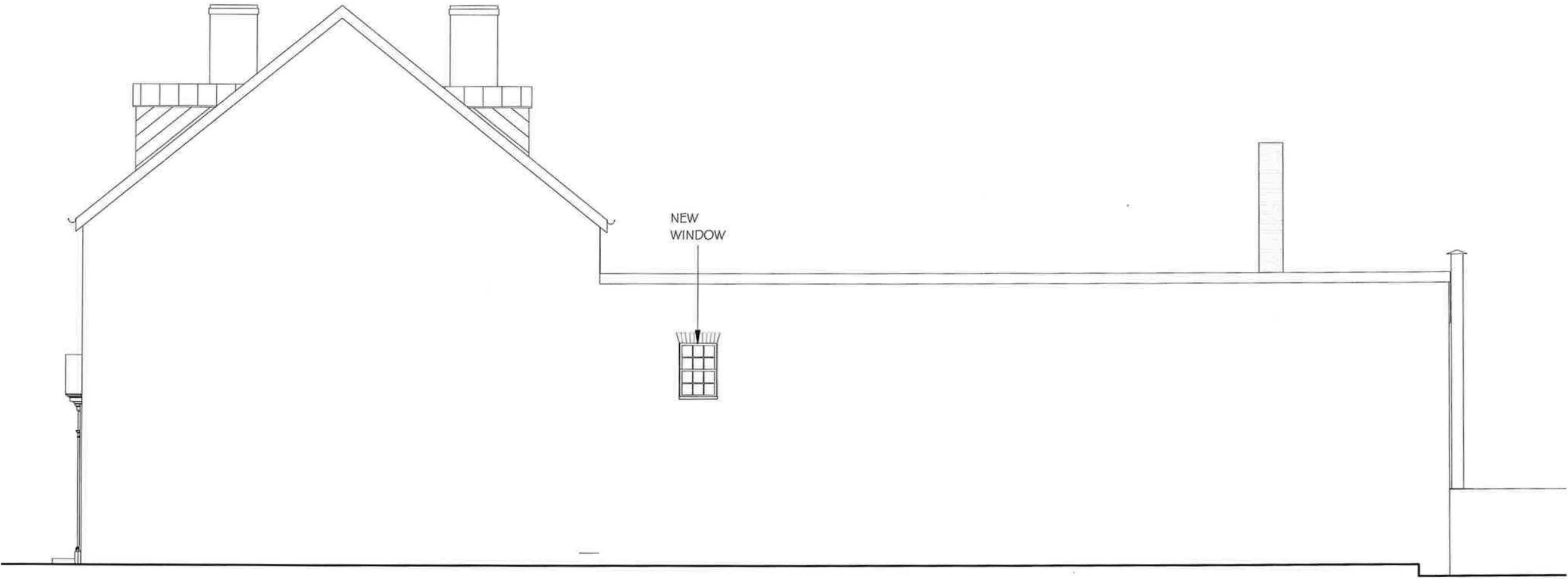
1 EAST ELEVATION
A2.1 1/8" = 1'-0"



2 WEST ELEVATION
A1.1 A2.1 1/8" = 1'-0"



3 EAST ELEVATION
D1.2 A2.1 1/8" = 1'-0"



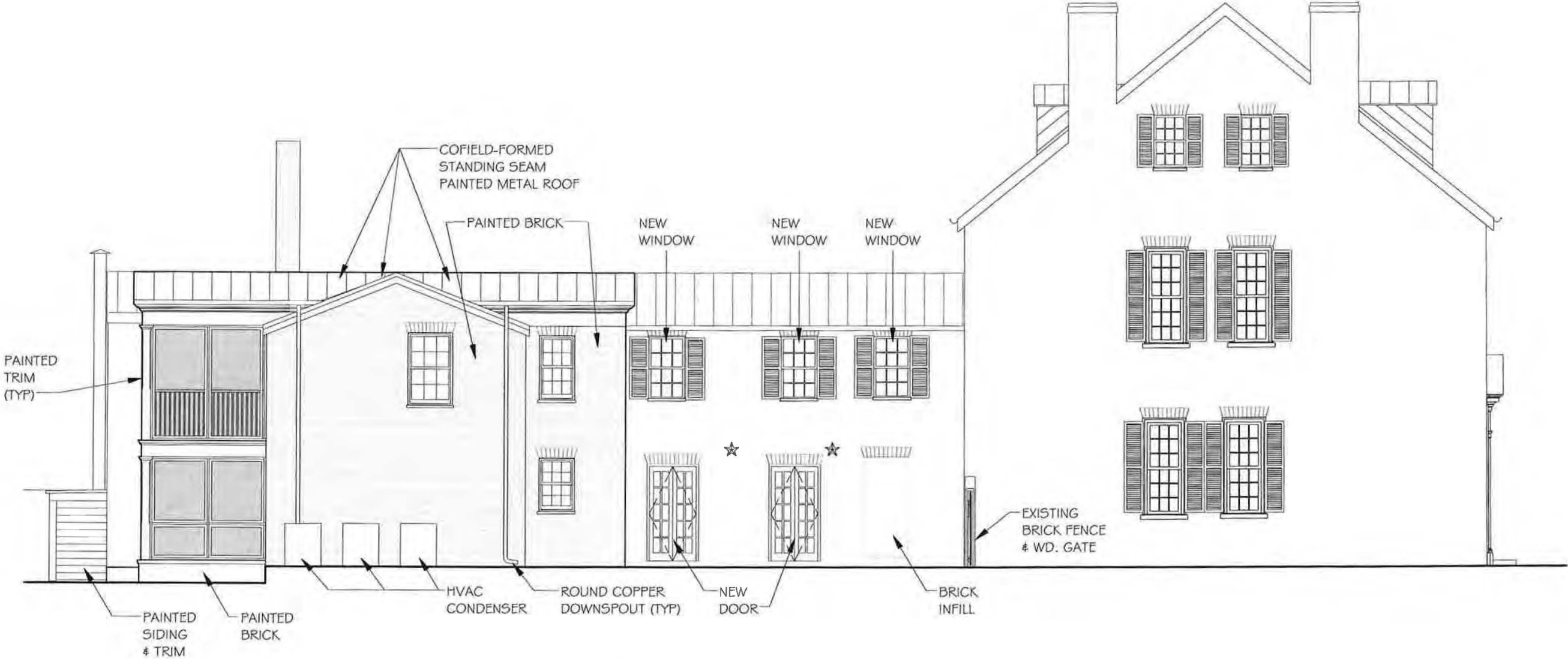
1 NORTH ELEVATION
A2.2 1/8" = 1'-0"

Date: 6 Aug. 2012

Project No: 12005

Sheet Number:

A2.2



1 SOUTH ELEVATION
A1.1 A2.3 1/8" = 1'-0"

Date: 6 Aug. 2012

Project No: 12005

Sheet Number:

A2.3

BAR Case # _____

ADDRESS OF PROJECT: 213 S. Fairfax St.TAX MAP AND PARCEL: 075.03-01-02ZONING: RM**APPLICATION FOR:** *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)**Applicant:** ☒ Property Owner ☐ Business *(Please provide business name & contact person)*Name: Alphonso J & Susan K ProcopioAddress: 213 S. Fairfax St.City: AlexandriaState: VA Zip: 22314Phone: (703) 684-5994E-mail: susanprocopio@gmail.com**Authorized Agent** *(if applicable):* ☐ Attorney ☒ Architect ☐ _____Name: John Cole for Cole & Denny IncorporatedPhone: (703) 684-5994E-mail: jcole@coleanddenny.com**Legal Property Owner:**Name: same as Applicant (above)

Address: _____

City: _____

State: _____ Zip: _____

Phone: _____

E-mail: _____

- | | | |
|------------------------------|--|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there an historic preservation easement on this property? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there a homeowner's association for this property? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input checked="" type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input checked="" type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

See attached description

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☒ ☐ FAR & Open Space calculation form.
 - ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☒ ☐ Existing elevations must be scaled and include dimensions.
 - ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
 - ☐ ☐ Square feet of existing signs to remain: _____
 - ☐ ☐ Photograph of building showing existing conditions.
 - ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
 - ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR Case # _____

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: John E. Cole

Date: 08/06/2012



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 213 South Fairfax Street

Zone RM

A2. 5,108 SF

x 1.5

= 7,662 SF

Total Lot Area

Floor Area Ratio Allowed by Zone

Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	982 SF	Basement**	982 SF
First Floor	1697 SF	Stairways**	327 SF
Second Floor	1697 SF	Mechanical**	
Third Floor	614	Other**	138 SF
Porches/ Other	inc	Total Exclusions	<u>1447 SF</u>
Total Gross *	4990 SF		

B1. Existing Gross Floor Area *
4990 Sq. Ft.

B2. Allowable Floor Exclusions**
1447 Sq. Ft.

B3. Existing Floor Area minus Exclusions
3543 Sq. Ft.
(subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	-	Basement**	-
First Floor	467 SF	Stairways**	-
Second Floor	445 SF	Mechanical**	22 SF
Third Floor	-	Other**	-
Porches/ Other	inc	Total Exclusions	<u>22 SF</u>
Total Gross *	912 SF		

C1. Proposed Gross Floor Area *
912 Sq. Ft.

C2. Allowable Floor Exclusions**
22 Sq. Ft.

C3. Proposed Floor Area minus Exclusions
890 Sq. Ft.
(subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 4,433 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 7,662 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	3,247 SF
Required Open Space	1,788 SF (35% of lot area)
Proposed Open Space	2,606 SF

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: 

Date: 8/5/2012