



APPLICATION

DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN

DSUP # 2025-10015

Project Name: 2051 Jamieson Avenue

PROPERTY LOCATION: 2051 Jamieson Avenue

TAX MAP REFERENCE: 073.01-02-04

ZONE: CDD #1

APPLICANT:

Name: Red Fox Development LLC

Address:

PROPERTY OWNER:

Name: CHI 2051 Jamieson Avenue LLC

Address:

SUMMARY OF PROPOSAL An amendment to the DSP #2002-0014 to increase building height, increase floor area, and to convert the use from office to residential

MODIFICATIONS REQUESTED Crown Coverage Modification; Section 6-403 Setback Ratio

SUP's REQUESTED For Mechanical Penthouse exceeding 15 feet in height

☒ **THE UNDERSIGNED** hereby applies for Development Site Plan with Special Use Permit approval in accordance with the provisions of Section 11-400 of the Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED** also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Kenneth W. Wire & Megan C. Rappolt, Wire Gill LLP

Print Name of Applicant or Agent

Mailing/Street Address

Alexandria, VA 22314

City and State

Zip Code

Signature

Telephone #

Fax #

Email address

September 5, 2025

Date

DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY

Application Received: _____

Received Plans for Completeness: _____

Fee Paid and Date: _____

Received Plans for Preliminary: _____

ACTION - PLANNING COMMISSION: _____

ACTION - CITY COUNCIL: _____

ALL APPLICANTS MUST COMPLETE THIS FORM.

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

1. The applicant is: (check one)

☐ The Owner ☐ Contract Purchaser ☐ Lessee or ☒ Other: Developer of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than three percent.

Red Fox Development LLC: Adam Peters, Greater than 3%

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- ☒ **Yes.** Provide proof of current City business license.
- ☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Adam Peters		Greater than 3%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2425 Mill Road (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See attached disclosure		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Adam Peters	None	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

September 5, 2025

Date

Ken W. Wire; Megan C. Rappolt, Wire Gill LLP

Printed Name



Signature



- 2. Narrative description.** The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 6-9. (Attach additional sheets if necessary.)

This DSUP application is for an amendment to previously approved DSP#2002-0014 to increase building height, increase floor area, and to convert the use from office to residential, and includes all the other SUPs and modifications listed in this application.

3. How many patrons, clients, pupils and other such users do you expect?

Specify time period (i.e., day, hour, or shift).

Typical for large residential building

4. How many employees, staff and other personnel do you expect?

Specify time period (i.e. day, hour, or shift).

Typical building management staff for large residential building

5. Describe the proposed hours and days of operation of the proposed use:

Day	Hours	Day	Hours
7	24	7	typical buisness hours

6. Describe any potential noise emanating from the proposed use:

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

Typical noise for a large residential building

B. How will the noise from patrons be controlled?

Building management staff and noise ordinance

7. Describe any potential odors emanating from the proposed use and plans to control them:

N/A

8. Provide information regarding trash and litter generated by the use:

A. What type of trash and garbage will be generated by the use?

Typical residential trash from a large multifamily building

B. How much trash and garbage will be generated by the use?

Typical amount of residential trash from a large multifamily building

C. How often will trash be collected?

Daily

D. How will you prevent littering on the property, streets and nearby properties?

Building management staff

9. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

10. Will any organic compounds (for example: paint, ink, lacquer thinner, or cleaning or degreasing solvent) be handled, stored, or generated on the property?

☐ Yes. ☐ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

Building maintenance and cleaning supplies for both the residential and retail components of the building. Specific names, quantities and disposal methods are unknown at this time.

11. What methods are proposed to ensure the safety of residents, employees and patrons?

Building and site lighting, & secured resident and vehicular access

ALCOHOL SALES

12. Will the proposed use include the sale of beer, wine or mixed drinks?

☐ **Yes.** ☐ **No.** *For the retail, it is unknown at this time*

If yes, describe alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

It is unknown at this time due to uncertain retail tenants.

PARKING AND ACCESS REQUIREMENTS

13. Provide information regarding the availability of off-street parking:

A. How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance?

See attached DSUP Plan set

B. How many parking spaces of each type are provided for the proposed use:

<u>See DSUP plans</u>	Standard spaces	*
<u> </u>	Compact spaces	
<u> </u>	Handicapped accessible spaces	
<u> </u>	Other	

- C. Where is required parking located? (check one) ☒ **on-site** ☐ **off-site**

If the required parking will be located off-site, where will it be located?

Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- D. If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the **Parking Reduction Supplemental Application**.

14. Provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance?
- B. How many loading spaces are available for the use?
- C. Where are off-street loading facilities located? Inside the building garage
- D. During what hours of the day do you expect loading/unloading operations to occur?
Typical business hours
- E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

After initial lease up, residential loading will be infrequent & typical for multifamily building as lessees turn over.

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Generally the existing street access is adequate and needed improvements are shown on the enclosed DSUP plans.

Disclosure Attachment

Owner Entity:

CHI 2051 Jamison Avenue LLC

James Campbell Company LLC Owns Greater than 3%

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

2051 JAMIESON

ALEXANDRIA, VIRGINIA

NARRATIVE DESCRIPTION OF DEVELOPMENT

THE PROJECT IS LOCATED AT 2051 JAMIESON AVE. THE EXISTING SITE CONSISTS OF AN OFFICE SPACE WITH GROUND FLOOR RETAIL. THE APPLICANT PROPOSED TO RENOVATE THE BUILDING TO CONVERT IT INTO A RESIDENTIAL USE WITH 17 ADU UNITS AND TO ADD FOUR FLOORS TO THE TOP OF THE BUILDING.

THIS SITE IS BORDERED TO THE NORTH AND EAST BY PARKING GARAGE. TO THE SOUTH BY COMMERCIAL AND OFFICE SPACE. TO THE WEST BY A CONDOMINIUM HOUSING.

SITE ACCESS: THE PRIMARY ACCESS TO THE SITE WILL BE FROM S EGGLEHART LANE.

SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

- CARLYLE SPECIAL USE PERMIT SUP2024-00063 AMENDMENT TO ALLOW FOR RESIDENTIAL USE, INCREASE IN BUILDING HEIGHT, INCREASE IN FLOOR AREA, BLOCK B DESIGN GUIDELINES REVISIONS, AND A REQUEST TO ADD A PROVISION SIMILAR TO SECTION 7-700 TO ALLOW BONUS DENSITY OVER 38% AS LONG AS 50% OF THAT ADDITIONAL DENSITY IS AFFORDABLE
- DEVELOPMENT SPECIAL USE PERMIT AMENDMENT TO DSPR2020-0014 TO CONVERT FROM OFFICE TO RESIDENTIAL USE, INCREASE THE FLOOR AREA, INCREASE THE BUILDING HEIGHT, CROWN COVERAGE MODIFICATION, SECTION 6-403 MODIFICATION AND PARKING REDUCTION.

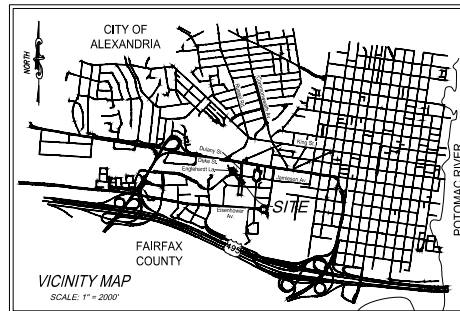
LIST OF EXISTING APPROVALS

- CARLYLE SUP - SUP2024-00063
- CARLYLE TMP SUP
- BUILDING SITE PLAN - DSP2022-0014

PREPARED BY:



engineering • surveying • land planning
4035 Ridge Top Rd., Suite 601, Fairfax, VA 22030
phone 703.273.6820 fax 703.273.7636



COMPLETE STREETS TABLE

	New	Upgraded
Crosswalks (number)		
Standard	0	0
High Visibility	0	0
Curb Ramps	0	0
Sidewalks (LF)	0	0
Bicycle Parking (number of spaces)		
Public/Visitor	4	N/A
Private/Garage	59	N/A
Bicycle Paths (LF)	N/A	N/A
Pedestrian Signals	0	0

OWNER / APPLICANT
CHI 2051 JAMIESON AVENUE LLC
1001 KAMOKILA BLVD
KAPOLEI, HI 96707
JOSHUA.GATELY@JAMESCAMPBELL.COM

ATTORNEY
WIRE GILL
700 N. FAIRFAX STREET
ALEXANDRIA, VA, 22314
(703) 863-5757
KWIRE@WIREGILL.COM

CIVIL ENGINEER
IMEG
4035 RIDGE TOP ROAD
SUITE 601
FAIRFAX, VIRGINIA 22030
(703) 273-6820
JOHN.L.HELM@IMEG.CORP.COM

ARCHITECT
COOPER CARY
625 NORTH WASHINGTON STREET, SUITE 200
ALEXANDRIA, VA, 22314
(703) 519-7127
BRANDONLENK@COOPERCARRY.COM

LANDSCAPE ARCHITECT
LANDDESIGN, INC.
200 SOUTH PEYTON STREET
ALEXANDRIA, VA, 22314
(703) 549-7784
MCLARK@LANDDESIGN.COM

SHEET INDEX

Sheet Number	Sheet Title
C100	COVER
C101	NOTES AND TABULATIONS
C200	EXISTING CONDITION PLAN
C201	CONTEXTUAL PLAN
C300	PRELIMINARY SITE PLAN
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C403	PRELIMINARY DIMENSION PLAN
C500	OPEN SPACE EXHIBIT
C700	SANITARY OUTFALL ANALYSIS
C701	SANITARY OUTFALL ANALYSIS
C750	SIGHT DISTANCE PLAN
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C760	LIGHTING & SIGNAGE PLAN
C800	TURNING MOVEMENTS
C801	TURNING MOVEMENTS

ARCHITECTURE SHEET INDEX

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A1-01	FLOOR PLANS
A1-02	FLOOR PLANS
A1-03	FLOOR PLANS
A1-04	FLOOR PLANS
A1-05	FLOOR PLANS
A4-01	BUILDING ELEVATIONS
A4-02	BUILDING SECTIONS
A4-03A	SITE SECTIONS
A4-03B	CONTEXT PERSPECTIVES
A4-10	BUILDING PERSPECTIVES - MEDIUM GRAY / ORIGINAL PROPOSAL
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LANDSCAPE SHEET INDEX

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L001	REFERENCE PLAN
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L701	DETAILS-PLANTING

DATE	REVISION
05/30/25	PRELIMINARY DSUP SUBMISSION
07/25/25	DSUP VERIFICATION SUBMISSION
08/28/25	REVISED COMPLETENESS 2

AREA TABULATIONS

SITE ADDRESS:
2051 JAMIESON AVENUE
TAX MAP NUMBER:
073.01-02-04

EX. TAX PARCEL AREA:
39,917 SF OR 0.96 AC

LIMITS OF DISTURBANCE: 0 SF (0 AC)
EXISTING IMPERVIOUS AREA: 6,970 SF (0.16 AC)
EXISTING PERVIOUS AREA: 32,234 SF (0.74 AC)

PROPOSED IMPERVIOUS AREA: 6,970 SF (0.16 AC)
PROPOSED PERVIOUS AREA: 32,234 SF (0.74 AC)

APPROVED	
SPECIAL USE PERMIT NO. 2025-10015	
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. —	
DIRECTOR	DATE
JOURNAL, PLANNING COMMISSION	
DATE RECORDED	
INSTRUMENT NO.	DEED BOOK NO.
	PAGE NO.

C100

114117

1. THE PROPERTY SHOWN HEREON IS IDENTIFIED ON THE CITY OF ALEXANDRIA, VIRGINIA GEOGRAPHIC INFORMATION SYSTEM (GIS) PLAN 073.021-02-34 AND IS ZONED CDD01.
2. THE PROPERTY SHOWN HEREON IS NOW IN THE NAME OF CH 2051 JAMESON AVENUE LLC, RECORDED IN INSTRUMENT IR8004320, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.
3. A) HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE VIRGINIA STATE GRID NORTH (1983/11-ZONE 4501) AS ESTABLISHED FROM A CURRENT GPS SURVEY.
B) THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) WHICH HAS BEEN ESTABLISHED FROM A CURRENT GPS SURVEY.
4. THE TITLE REPORT UNREVEALED ANY UNDERLYING TITLE LINES, EASEMENTS, SERVITUDES AND OTHER MATTERS OF TITLE MAY NOT BE SHOWN HEREON.
5. THE PHYSICAL IMPROVEMENTS AND TOPOGRAPHY SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY THIS FIRM BETWEEN THE DATES OF DECEMBER 2, 2024 AND DECEMBER 30, 2024 IN ACCORDANCE WITH THE MINIMUM ACCURACY STANDARDS OF THE COMMONWEALTH OF VIRGINIA UNLESS OTHERWISE NOTED.
6. NO GEOTECHNICAL, SUBSURFACE, FIELD REVIEWS, RESEARCH, ARCHIVAL OR GOVERNMENTAL RECORD REVIEWS, OR OTHER INVESTIGATIONS HAVE BEEN MADE FOR THE PURPOSE OF LOCATING, OR DETERMINING THE EXISTENCE OF, OR THE DEPTHS OF, ANY OTHER ENVIRONMENTAL CONCERNS ON-SITE IN THE PERFORMANCE OF MED CORPUS SERVICES FOR THE PROJECT AS SHOWN HEREON.
7. NO CERTIFICATION HAS BEEN MADE AS TO THE LOCATIONS OF UNDERGROUND UTILITIES SUCH AS, BUT NOT LIMITED TO, ELECTRIC, GAS, TELEPHONE, CATH, WATER, SANITARY AND STORM SEWERS.
8. DURING THE PROCESS OF OUR PHYSICAL SURVEY AND NOTIFICATIONS OF A CEMETERY WERE FOUND, NO FURTHER INSPECTION OF THIS PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.
9. THE PROPERTIES SHOWN HEREON ARE LOCATED ON FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL NUMBER 5103319 OF FIRM, REVISED JANUARY 11, 2024, ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
10. IN ACCORDANCE WITH THE CITY OF ALEXANDRIA MARINE GLAY AREAS MAP DATED NOVEMBER 1978, THERE ARE NO AREAS OF MARINE GLAY LOCATED IN THE VICINITY OF THESE SITES.
11. IN ACCORDANCE WITH THE RESOURCE PROTECTION AREAS MAP ADOPTED JUNE 12, 2004 BY THE CITY COUNCIL OF ALEXANDRIA, THERE ARE NO RESOURCE PROTECTION AREAS LOCATED ON THESE PROPERTIES.
12. THIS PROJECT IS NOT LOCATED IN A COMBINED SEWER AREA.
13. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS CURRENTLY LOCATED AT THESE SITES.
14. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO AREAS ON-SITE CONTAINING CONTAMINATED SOILS OR CONTAMINATED GROUNDWATER.
15. THE ENTIRE SUBJECT PROPERTIES CONSIST OF SOL TYPE B8 URBAN LAND - GRIET MILL.
16. CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH THE CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 1, ARTICLE B.
17. DRAINAGING AND OTHER CONTRIBUTION-RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXANDRIA PRETREATMENT FACILITY. THE CONTRACTOR IS REQUIRED TO CONTACT ALEXANDRIA'S PRETREATMENT COORDINATOR AT 703-721-3500 X2020

THE AREA SHOWN HEREON IS LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM), NO. 5155-190037F, WITH AN EFFECTIVE DATE OF JANUARY 11, 2024.

BY GRAPHIC DEPICTION ONLY, THE PROPERTY SHOWN HEREON IS SHOWN IN:

- FLOOD ZONE "X" (OTHER AREAS, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

A FIELD SURVEY WAS NOT PERFORMED TO DETERMINE THE FLOOD ZONES LISTED HEREON. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

THERE ARE NO RPA'S, TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE.

THIS PROJECT WILL COMPLY WITH THE CITY OF ALEXANDRIA 2019 GREEN BUILDING POLICY. ADAPTIVE REUSE OF AN EXISTING STRUCTURE IS AN INHERENTLY GREEN BUILDING STRATEGY. UTILIZING THE EXISTING STRUCTURE AND MAINTAINING THE VAST MAJORITY OF THE EXISTING EXTERIOR SKIN, THE PROJECT AIMS TO REUSE AS MUCH OF EXISTING OFFICE FACILITY AS IS POSSIBLE THROUGHOUT THE CHANGE OF USE TYPE. ANY FACADE SYSTEMS REQUIRING ALTERATION FOR THE CHANGE IN USE TYPE WILL COMPLY WITH ALEXANDRIA'S GREEN BUILDING POLICY. WHILE NEWLY CONSTRUCTED PORTION OF THE PROJECT ON THE TOP OF THE EXISTING BUILDING, THE PROJECT WILL COMPLY WITH MULTIFAMILY RESIDENTIAL ENERGY AND WATER USAGE AND REDUCTION POLICIES AS-REASONABLY POSSIBLE THROUGH THE CHANGE IN USE TYPE OF THE FACILITY. ADDITIONAL DETAILS WILL BE IDENTIFIED AND DEVELOPED AS FURTHER INVESTIGATORY STUDY OF THE EXISTING STRUCTURE IS AVAILABLE.

1. THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THIS PROJECT WILL PROVIDE NO STORMWATER MANAGEMENT PRACTICES, DUE TO NO SITE DISTURBANCE PROPOSED.

THIS PROJECT WILL PROVIDE NO BMP MANAGEMENT PRACTICES, DUE TO NO SITE DISTURBANCE PROPOSED.

SITE LOCATION/ADDRESS: TAX MAP NUMBERS:	2051 JAMESON AVE. ALEXANDRIA, VA 073.01-02-04
EXISTING ZONE:	CCD #1
PROPOSED ZONE:	CCD #1
EXISTING SITE AREA:	39,017 S.F. OR 0.90 AC
PROPOSED SITE AREA:	39,017 S.F. OR 0.90 AC
EXISTING USE:	OFFICE / RETAIL
PROPOSED USE:	RESIDENTIAL
PROPOSED NUMBER OF UNITS:	187 UNITS (132 1-BR, 55 2-BR/3-BR)
UNITS PER ACRE REQUIRED: UNITS PER ACRE PROVIDED:	N/A 187 UNITS / 0.90 AC = 208 DU/AC.
EXISTING GROSS FLOOR AREA: EXISTING NET FLOOR AREA:	146,713 SF 137,801 SF
GROSS FLOOR AREA PROPOSED: NET FLOOR AREA PROPOSED:	214,208 SF 189,422 SF
PERMITTED FAR: EXISTING FAR: PROPOSED FAR:	2.62 (PER ZO FOR CCD #1) 3.53 (AS CALCULATED PER EXISTING ZO) 4.85
REQUIRED LOT FRONTAGE: PROVIDED LOT FRONTAGE:	50' MINIMUM 164.8'
REQUIRED BUILDING SETBACK:	FRONT: NONE SIDE & REAR: 10' MINIMUM
PROVIDED BUILDING SETBACK:	NORTH: 17'-6" SOUTH: 8'-0" AND 11'-0" EAST: 17'-0" WEST: 5'-0"
	NOTE: SETBACKS PROVIDED ARE EXISTING CONDITIONS DSP2002-00014.
MAXIMUM BUILDING HEIGHT: PROPOSED BUILDING HEIGHT:	200' (PER ZO FOR CCD #1) 146' (NOTE: THE 10' PENHOUSE IS EXCLUDED FROM HEIGHT MEASUREMENT)
AVERAGE FINISHED GRADE:	38.4'
PARKING REQUIRED:	0.8 SPACE/BEDROOM - (5% REDUCTION PER SITE HALF-MILE WALKSHED) = [0.8 SPACES X 135 1-BR UNITS] + [1.6 SPACES X 55 2-BR UNITS] = 108 SPACES + 88 SPACES - 13 SPACES PER REDUCTION = 182 SPACES TOTAL

PARKING PROVIDED:	256 SPACES TOTAL 80 STANDARD 156 COMPACT 5 ACCESSIBLE 2 VAN ACCESSIBLE
REQUIRED LOADING SPACE: PROVIDED LOADING SPACE:	1 SPACE 1 SPACE
EXISTING TRIPS:	AVG. DAILY TRIPS = 567 VPD (SEE PROPOSED TRIP GENERATION COMPARISON)
PROPOSED TRIPS:	AVG. DAILY TRIPS = 286 VPD (SEE PROPOSED TRIP GENERATION COMPARISON)
PROPOSED BICYCLE PARKING:	59 BIKE PARKING LOCATION (3 PER 10 UNIT) 4 SHORT TERM BIKE PARKING (1 PER 50 UNIT)
APPROXIMATE AREA OF DISTURBANCE:	0 SF OR 0 ACRES
OPEN SPACE REQUIRED: OPEN SPACE PROVIDED:	25% x 39,017 = 9,754 SF AC-GRADE = 11,910 SF ABOVE-GRADE = 5,000 SF TOTAL = 17,000 SF OR 43.5%

PRE-DEVELOPMENT
A = 0.90 ACRES
$$C = \frac{(0.16)(0.35) + (0.74)(0.90)}{0.90} = 0.80$$

POST-DEVELOPMENT
 A = 0.90 ACRES

$$C = \frac{(0.16)(0.35) + (0.74)(0.90)}{0.90} = 0.80$$

$$Q_{10} = 6.48 \text{ CFS} - 6.48 \text{ CFS} = 0.00 \text{ CFS}$$

Existing	Land Use	ITE Code	Land Area 16,713 ft ²	In			Out			Total	In			Out			Total
				Av	Th	Tr	Av	Th	Tr		Av	Th	Tr	Av	Th	Tr	
General Office		710	146,714 ft ²	205	veh	28	veh	253	veh	38	veh	189	veh	228	veh	1,620	veh
Reduction (Transit, Other modes, TDM, and Internal)			69%	133	veh	19	veh	152	veh	26	veh	122	veh	168	veh	1,060	veh
Existing Total				72	veh	9	veh	81	veh	13	veh	67	veh	80	veh	567	veh
Proposed																	
Multifamily Housing (High-Rise)		221	187 du	16	veh	35	veh	71	veh	45	veh	18	veh	73	veh	846	veh
Reduction (Transit, Other modes, TDM, and Internal)			69%	11	veh	24	veh	47	veh	29	veh	13	veh	47	veh	550	veh
Proposed Total				5	veh	19	veh	24	veh	16	veh	10	veh	26	veh	296	veh
Net New Trips				-67	veh	10	veh	-57	veh	3	veh	-57	veh	-54	veh	-271	veh

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



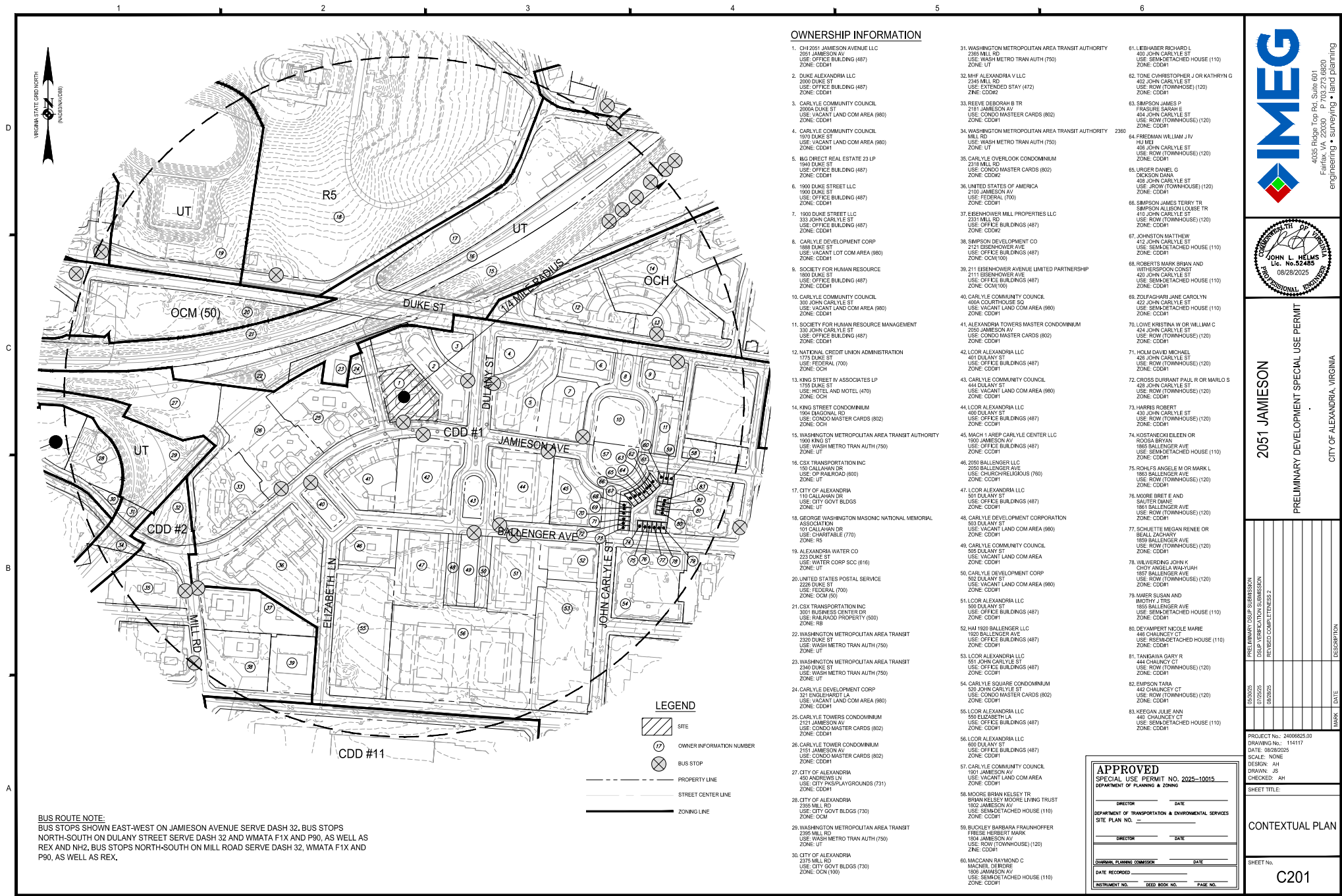
CITY OF ALEXANDRIA, VIRGINIA

[illegible]

PROJECT No.: 24006825.00
DRAWING No.: 114117
DATE: 08/28/2025
SCALE: NONE
DESIGN: AH
DRAWN: JS
CHECKED: AH
SHEET TITLE:

NOTES AND
TABULATIONS

SHEET No. C101



2051 JAMESON
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

DATE	DESCRIPTION
07/20/25	PRELIMINARY DSDP SUBMISSION
08/28/25	DSDP VERIFICATION SUBMISSION
09/02/25	REVISED COMPLETENESS 2

PROJECT NO.: 20000505.00
DRAWING NO.: 11417
DATE: 08/28/2025
SCALE: NONE
DESIGN: AH
DRAWN: JS
CHECKED: AH

SHEET TITLE:
CONTEXTUAL PLAN

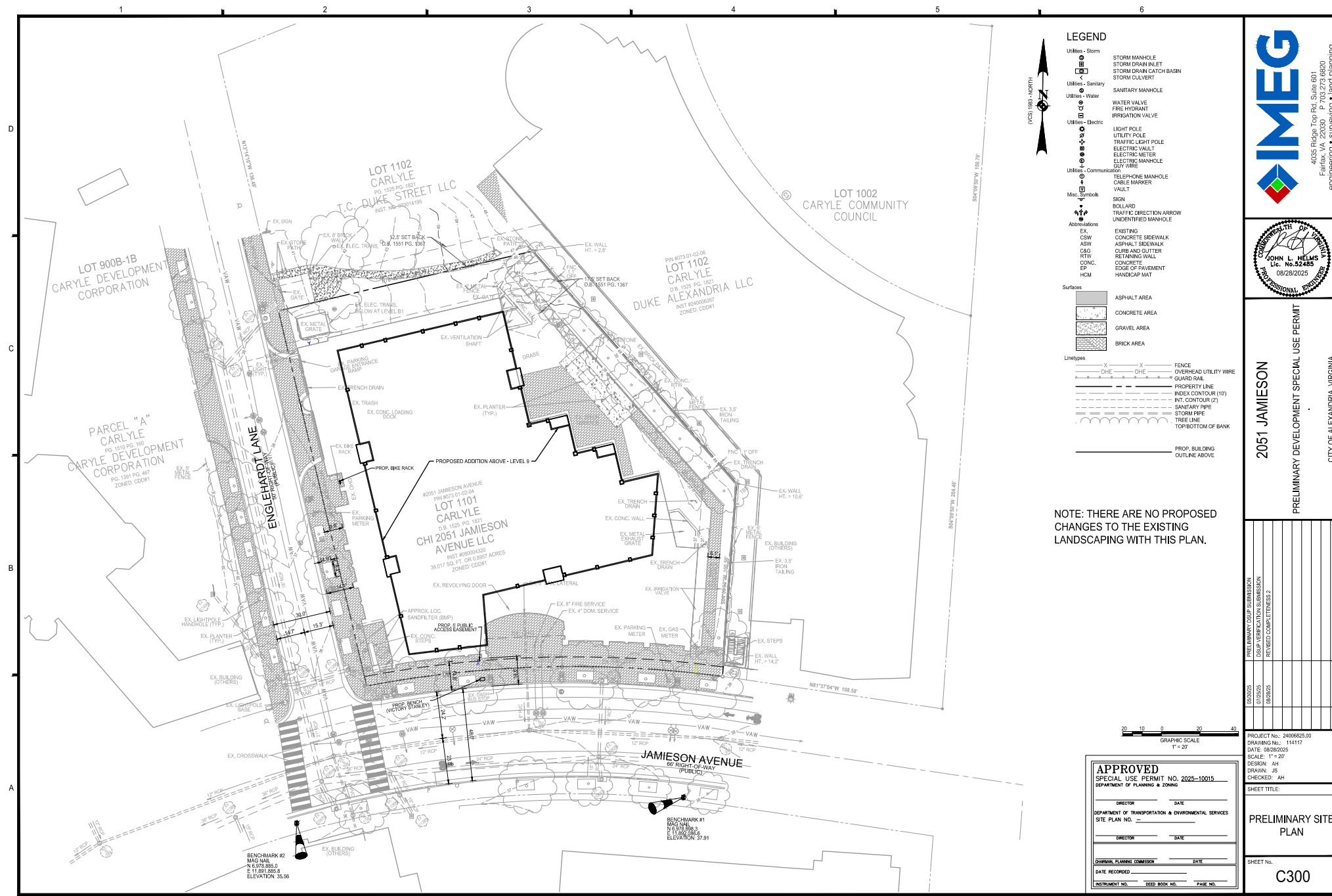
SHEET NO.
C201

APPROVED
SPECIAL USE PERMIT NO. 2025-10015
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SPECIAL USE PERMIT NO. 2025-10015

DIRECTOR _____ DATE _____
SPECIAL USE PERMIT NO. 2025-10015

DIRECTOR _____ DATE _____

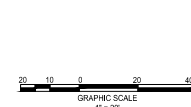
SUBMITTAL PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



LEGEND

- Utilities - Storm
 - STORM MANHOLE
 - STORM DRAIN INLET
 - STORM DRAIN CATCH BASIN
 - STORM CULVERT
- Utilities - Sanitary
 - SANITARY MANHOLE
- Utilities - Water
 - WATER VALVE
 - FIRE HYDRANT
 - IRRIGATION VALVE
- Utilities - Electric
 - LIGHT POLE
 - UTILITY POLE
 - TRAFFIC LIGHT POLE
 - ELECTRIC VAULT
 - ELECTRIC METER
 - ELECTRIC MANHOLE
 - GUY WIRE
- Utilities - Communication
 - TELEPHONE MANHOLE
 - CABLE MARKER
- Misc. Symbols
 - SIGN
 - BOLLARD
 - TRAFFIC DIRECTION ARROW
 - UNDERTHEIR MANHOLE
- Abbreviations
 - EX - EXISTING
 - CSW - CONCRETE SIDEWALK
 - ASW - ASPHALT SIDEWALK
 - C&G - CURB AND GUTTER
 - RTW - RETAINING WALL
 - CONC - CONCRETE
 - EP - EDGE OF PAVEMENT
 - HCM - HANDICAP MAT
- Surfaces
 - ASPHALT AREA
 - CONCRETE AREA
 - GRAVEL AREA
 - BRICK AREA
- Line Types
 - FENCE
 - OVERHEAD UTILITY WIRE
 - GUARD RAIL
 - PROPERTY LINE
 - INDEX CONTOUR (10')
 - INT. CONTOUR (2')
 - SANITARY PIPE
 - STORM PIPE
 - TREE LINE
 - TOP/BOTTOM OF BANK
 - PROP. BUILDING OUTLINE ABOVE

NOTE: THERE ARE NO PROPOSED CHANGES TO THE EXISTING LANDSCAPING WITH THIS PLAN.



APPROVED	
SPECIAL USE PERMIT NO. 2025-10015	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES	
SITE PLAN NO. _____	
DIRECTOR _____	DATE _____
SUBMITTING AGENCY	
DATE RECEIVED _____	DATE _____
INSTRUMENT NO. _____	DEED BOOK NO. _____ PAGE NO. _____

4035 Ridge Top Rd, Suite 601
Fairfax, VA 22030 P 703.273.6820
engineering • surveying • land planning

2051 JAMIESON

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

REVISION	DATE	DESCRIPTION
01/20/25		PRELIMINARY SUBMISSION
07/20/25		DISP. VERIFICATION SUBMISSION
08/20/25		REVISED COMPLETENESS 2

PROJECT NO.: 24000025.00

DRAWING NO.: 114117

DATE: 08/28/2025

SCALE: 1" = 20'

DESIGN: AH

DRAWN: JS

CHECKED: AH

SHEET TITLE:

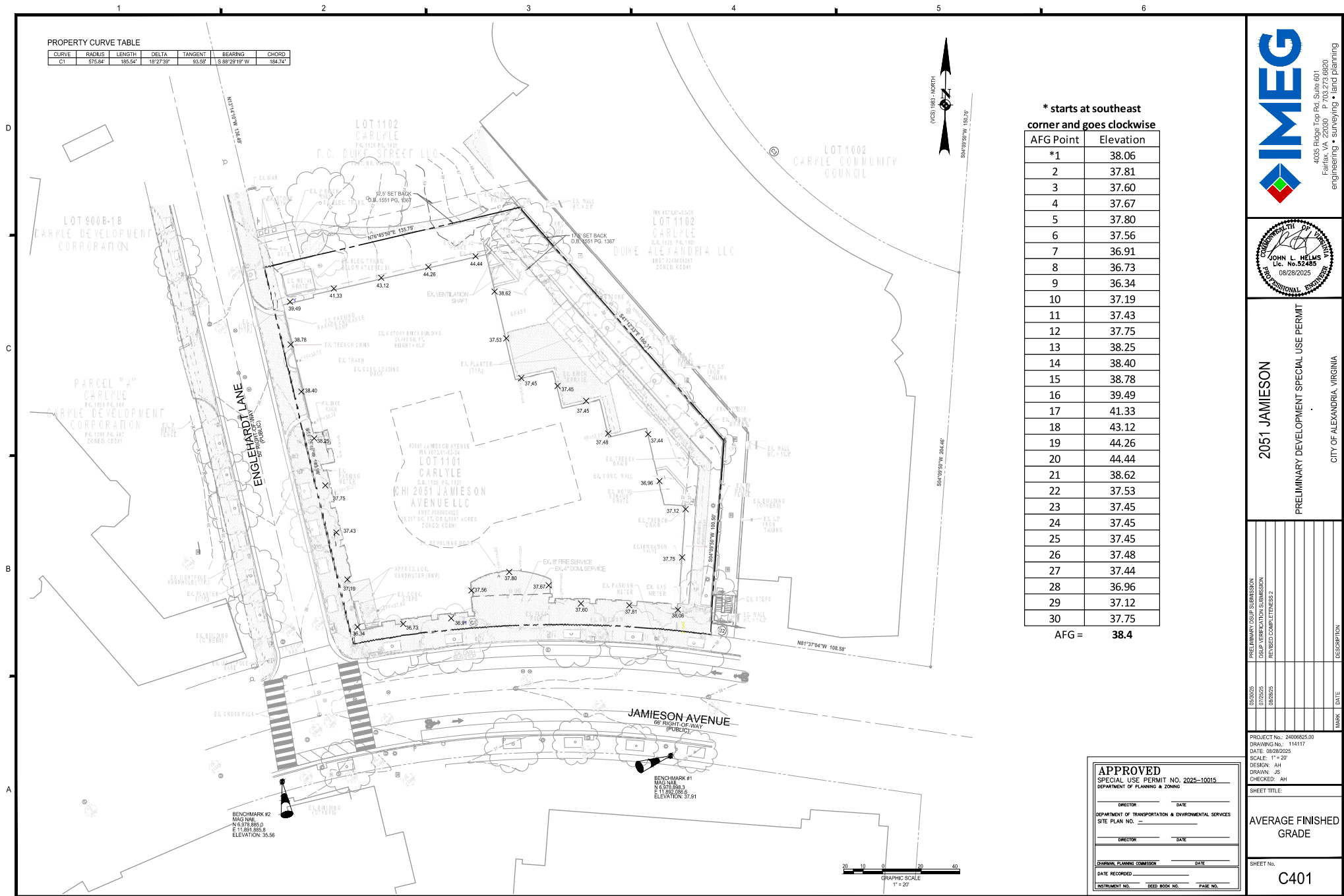
PRELIMINARY SITE PLAN

SHEET NO. _____

C300

PROPERTY CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	575.84	185.54	18°27'39"	93.55'	S 89°29'19" W	184.74'



* starts at southeast corner and goes clockwise

AFG Point	Elevation
*1	38.06
2	37.81
3	37.60
4	37.67
5	37.80
6	37.56
7	36.91
8	36.73
9	36.34
10	37.19
11	37.43
12	37.75
13	38.25
14	38.40
15	38.78
16	39.49
17	41.33
18	43.12
19	44.26
20	44.44
21	38.62
22	37.53
23	37.45
24	37.45
25	37.45
26	37.48
27	37.44
28	36.96
29	37.12
30	37.75

AFG = 38.4



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2051 JAMIESON
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

DATE	DESCRIPTION
07/20/25	PRELIMINARY DESIGN SUBMISSION
08/28/25	DESIGN VERIFICATION SUBMISSION
09/26/25	REVISED COMPLETENESS 2

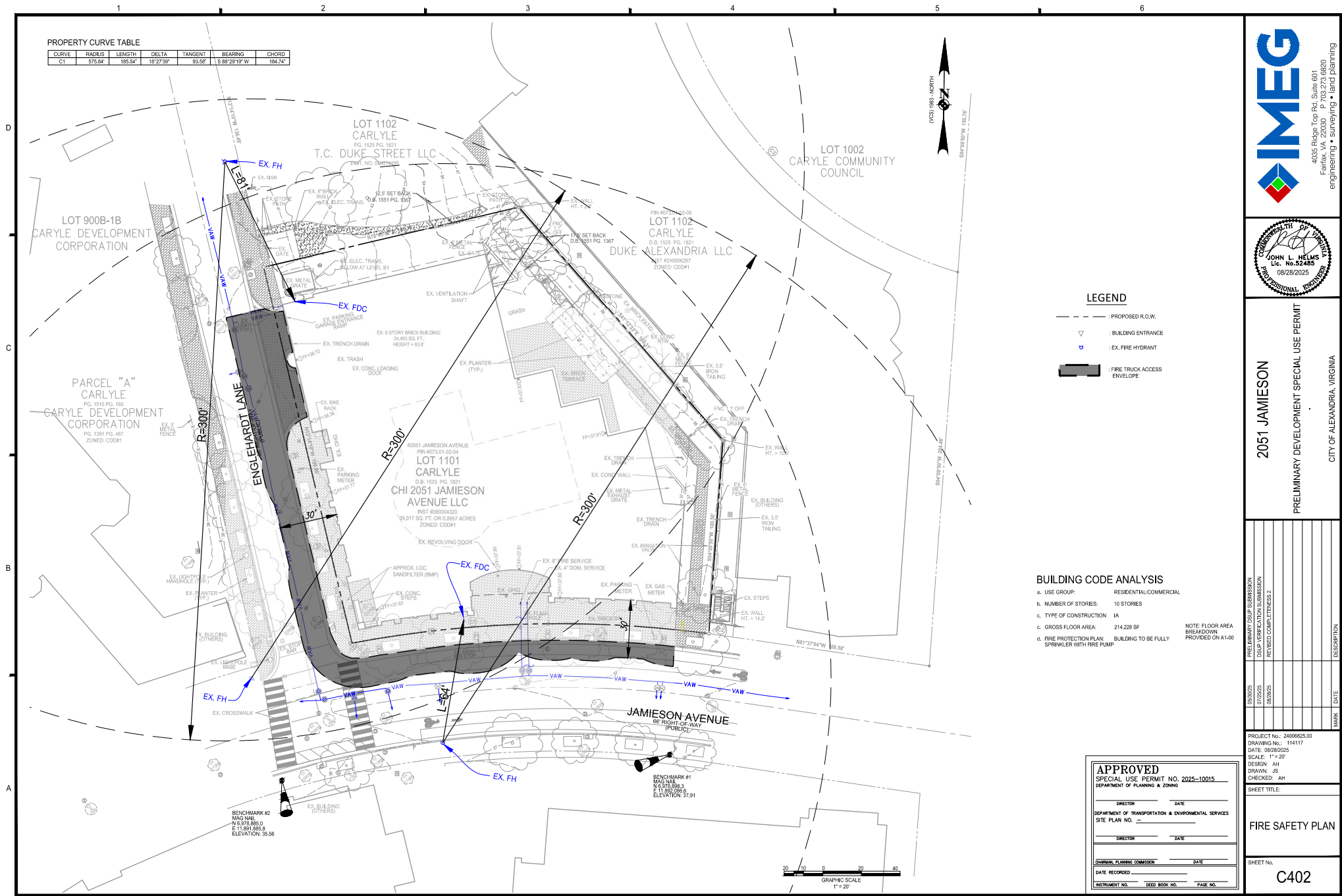
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DRAWING No.: 114517
DATE: 08/28/2025
SCALE: 1" = 20'
DESIGN: AH
DRAWN: JS
CHECKED: AH

SHEET TITLE:
AVERAGE FINISHED GRADE

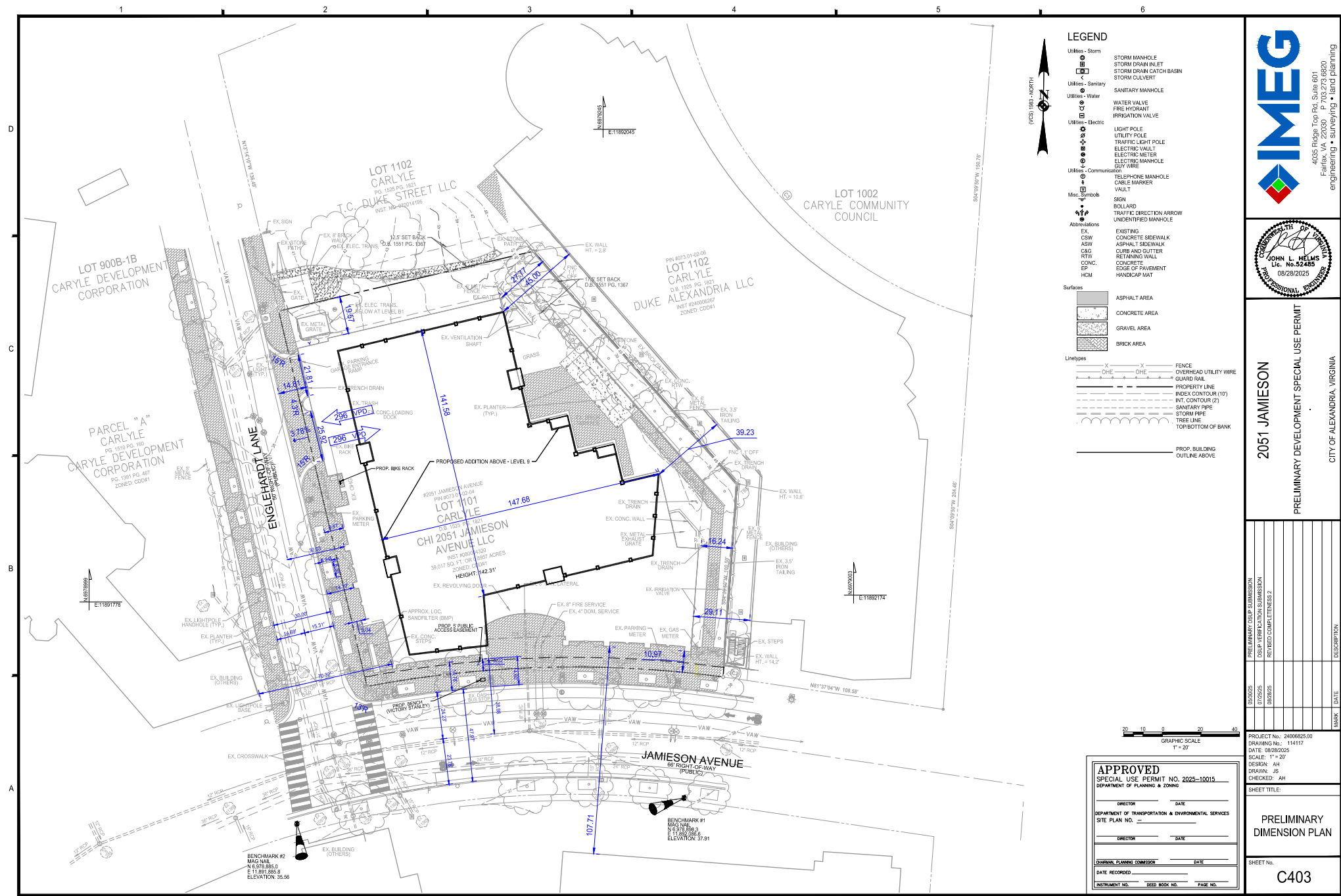
SHEET No.:
C401

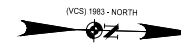
APPROVED
SPECIAL USE PERMIT NO. 2025-10015
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
DIRECTOR _____ DATE _____
JURISDICTION PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Project: JAMIESON 05/11/2023 JAMIESON 300'x100' SITE PLAN, 10/20/2023 10:35 AM, August 10, 2023

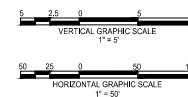


Project: JAMESON 05/11/2023 2023 JAMESON 05/11/2023 PRELIMINARY DIMENSION PLAN, PG. 2023-005 10:56 AM, User: jhewitt





SIGHT DISTANCE #1 PROFILE
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



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2051 JAMIESON

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

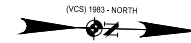
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PROJECT No.: 24006825.00
DRAWING No.: 114117
DATE: 08/28/2025
SCALE: 1" = 20'
DESIGN: AH
DRAWN: JS
CHECKED: AH
SHEET TITLE:

SIGHT DISTANCE
PLAN

SHEET No.

C750



The graph plots Sight Distance (m) on the y-axis (ranging from 15 to 55) against Stationing (m) on the x-axis (ranging from -1+75 to 3+00). Two curves are shown: a solid line for 'SIGHT DISTANCE (ENGINEER HADY LANE RIGHT TURN)' and a dashed line for 'SIGHT DISTANCE (ENGINEER HADY LANE LEFT TURN)'. Both curves start at approximately 35m at station -1+75, rise to a peak of about 40m at station 0+00, and then gradually decline. The right-turn curve reaches a minimum of 3.3m at station 0+00, while the left-turn curve reaches a minimum of 3.5m at station 0+00. The curves are labeled with their respective minimum values: 3.3 and 3.5.

Two graphic scales are shown. The top scale is labeled 'VERTICAL GRAPHIC SCALE' and '1" = 5''. It has markings for 5, 2.5, 0, and 5. The bottom scale is labeled 'HORIZONTAL GRAPHIC SCALE' and '1" = 50''. It has markings for 50, 25, 0, 50, and 100.



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2051 JAMIESON

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

CITY OF ALEXANDRIA, VIRGINIA

[illegible]

PROJECT No.: 24006825.00
DRAWING No.: 114117
DATE: 08/28/2025
SCALE: 1" = 20'
DESIGN: AH
DRAWN: JS
CHECKED: AH
SHEET TITLE:

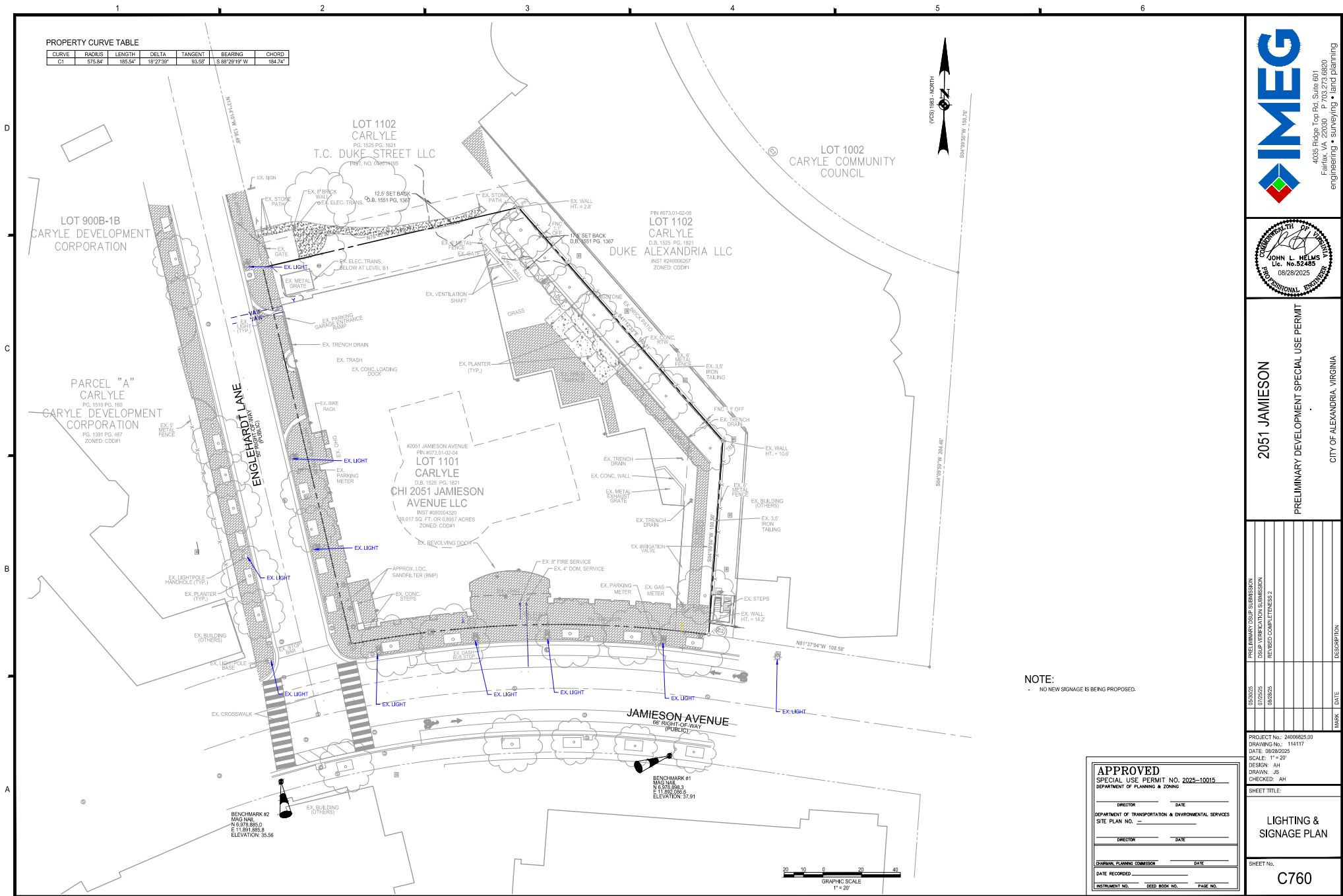
SITE DISTANCE PLAN

SHEET No.

C751

PROPERTY CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARINGS	CHORD
C1	575.84	185.54	18.2739°	93.95'	S 89.28°19' W	184.74'



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2051 JAMIESON
PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT
CITY OF ALEXANDRIA, VIRGINIA

MARK	DATE	DESCRIPTION
PRELIMINARY DISC SUBMISSION		
DISC VERIFICATION SUBMISSION		
REVISED COMPLETION 2		
07/20/25		
08/28/25		

PROJECT No.: 20000025.00
DRAWING No.: 114517
DATE: 08/28/2025
SCALE: 1" = 20'
DESIGN: AH
DRAWN: JS
CHECKED: AH

SHEET TITLE:
LIGHTING & SIGNAGE PLAN

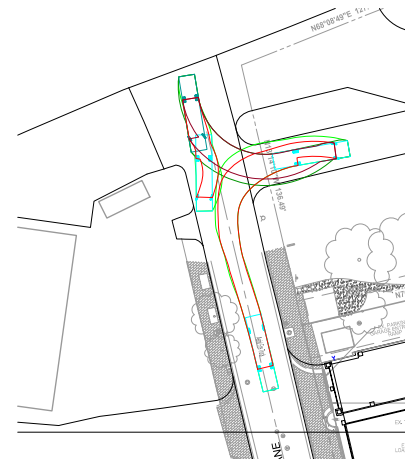
SHEET No.:
C760

APPROVED
SPECIAL USE PERMIT NO. 2025-10015
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
DEPARTMENT OF PLANNING & ZONING

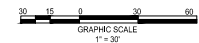
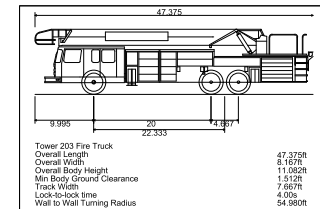
DIRECTOR _____ DATE _____
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

JAMIESON PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



FIRE TRUCK TURNAROUND
- ON ENGLEHARDT LANE



<h1 style="margin: 0;">APPROVED</h1> <p style="margin: 5px 0;">SPECIAL USE PERMIT NO. <u>2025-10015</u></p> <p style="margin: 0;">DEPARTMENT OF PLANNING & ZONING</p>		
DIRECTOR _____	DATE _____	
<p>DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES</p> <p>SITE PLAN NO. _____</p>		
DIRECTOR _____	DATE _____	
<p>CHAIRMAN, PLANNING COMMISSION _____</p> <p>DATE _____</p>		
<p>DATE RECORDED _____</p>		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____



2051 JAMIESON

PRELIMINARY DEVELOPMENT SPECIAL USE PERMIT

[illegible]

PROJECT No.: 24006825-00
DRAWING No.: 114117
DATE: 08/28/2025
SCALE: NONE
DESIGN: AH
DRAWN: JS
CHECKED: AH
SHEET TITLE:

TURNING MOVEMENTS

SHEET No. C901

NOT ISSUED FOR CONSTRUCTION

EXISTING GFA SCHEDULE - LEVELS 1-6													
Level	Gross Floor Area	Exterior Area	Floor Common Area								Area (Utilities/Boh)	Area (Parking)	Units
			Commercial	Corridor	Elevator	Interior Amenity	Lobby	Stair	Storage	Trash			
LEVEL 1	24,472 SF	0 SF	12,666 SF	0 SF	419 SF	1,939 SF	4,269 SF	385 SF	0 SF	169 SF	522 SF	4,116 SF	0
LEVEL 2	24,472 SF	0 SF	21,655 SF	0 SF	387 SF	0 SF	0 SF	381 SF	1,429 SF	170 SF	233 SF	0 SF	0
LEVEL 3	25,567 SF	0 SF	23,489 SF	0 SF	387 SF	0 SF	0 SF	381 SF	890 SF	170 SF	233 SF	0 SF	0
LEVEL 4	25,567 SF	0 SF	23,489 SF	0 SF	387 SF	0 SF	0 SF	381 SF	890 SF	170 SF	233 SF	0 SF	0
LEVEL 5	23,855 SF	0 SF	21,786 SF	0 SF	387 SF	0 SF	0 SF	381 SF	890 SF	170 SF	233 SF	0 SF	0
LEVEL 6	23,855 SF	0 SF	21,786 SF	0 SF	387 SF	0 SF	0 SF	381 SF	890 SF	170 SF	233 SF	0 SF	0
TOTAL	146,713 SF	0 SF	124,775 SF	0 SF	1,468 SF	1,939 SF	4,269 SF	1,429 SF	4,989 SF	1,020 SF	1,672 SF	4,116 SF	0

4 STORY EXISTING BELOW GRADE PARKING:
EXISTING PARKING GFA: 113,870
EXISTING TANDEN SPACES: 46
TOTAL EXISTING PARKING: 262

PARKING REQUIRED PER CARLYLE TMP: 227
PARKING PROVIDED: 216
TANDEN PROVIDED: 40
PARKING PROVIDED TOTAL: 256

1) TANDEN PARKING SPACES REQUIRED TO MEET TMP: 40 TANDEN SPACES REQUIRED TO MEET TMP: 40 TANDEN SPACES REQUIRED TO MEET TMP: 40

RESIDENTIAL - LEVELS 1-6													
Level	Gross Floor Area	Exterior Area	Floor Common Area								Area (Utilities/Boh)	Area (Parking)	Units
			Commercial	Corridor	Elevator	Interior Amenity	Lobby	Stair	Storage	Trash			
LEVEL 1	24,472 SF	0 SF	0 SF	1,907 SF	419 SF	0 SF	0 SF	385 SF	0 SF	169 SF	943 SF	4,116 SF	12
LEVEL 2	24,472 SF	0 SF	0 SF	2,216 SF	387 SF	0 SF	0 SF	381 SF	1,429 SF	170 SF	868 SF	0 SF	18,496 SF
LEVEL 3	25,567 SF	0 SF	0 SF	2,120 SF	387 SF	0 SF	0 SF	381 SF	885 SF	170 SF	868 SF	0 SF	20,238 SF
LEVEL 4	25,567 SF	0 SF	0 SF	2,120 SF	387 SF	0 SF	0 SF	381 SF	885 SF	170 SF	702 SF	0 SF	20,762 SF
LEVEL 5	23,855 SF	0 SF	0 SF	1,907 SF	387 SF	0 SF	0 SF	381 SF	885 SF	170 SF	627 SF	0 SF	19,410 SF
LEVEL 6	23,855 SF	0 SF	0 SF	1,907 SF	387 SF	0 SF	0 SF	381 SF	885 SF	170 SF	627 SF	0 SF	19,410 SF
TOTAL	146,713 SF	0 SF	0 SF	12,238 SF	1,468 SF	0 SF	0 SF	1,429 SF	4,989 SF	1,020 SF	4,642 SF	4,116 SF	123

PROPOSED BUILDING AREAS (IN SF):

ABOVE GRADE GFA: 214,228
BELOW GRADE PARKING GFA: 113,501
TOTAL GFA: 327,729
TOTAL NSGA: 189,422

OPT A:
RESIDENTIAL GFA: 142,597
RETAIL GFA: 0
PARKING GFA: 117,817

OPT B:
RESIDENTIAL GFA: 138,333
RETAIL GFA: 4,264
PARKING GFA: 117,817

RESIDENTIAL - LEVELS 7-10													
Level	Gross Floor Area	Exterior Area	Floor Common Area								Area (Utilities/Boh)	Area (Parking)	Units
			Commercial	Corridor	Elevator	Interior Amenity	Lobby	Stair	Storage	Trash			
LEVEL 7	20,706 SF	0 SF	0 SF	1,855 SF	403 SF	0 SF	0 SF	381 SF	332 SF	105 SF	256 SF	0 SF	16,776 SF
LEVEL 8	16,389 SF	2,860 SF	0 SF	1,541 SF	426 SF	2,277 SF	0 SF	419 SF	245 SF	73 SF	126 SF	0 SF	11,260 SF
LEVEL 9	16,351 SF	0 SF	0 SF	1,541 SF	426 SF	0 SF	0 SF	419 SF	245 SF	73 SF	126 SF	0 SF	13,517 SF
LEVEL 10	16,388 SF	0 SF	0 SF	1,541 SF	426 SF	0 SF	0 SF	419 SF	245 SF	73 SF	126 SF	0 SF	13,570 SF
TOTAL	69,834 SF	2,860 SF	0 SF	6,418 SF	1,681 SF	2,277 SF	0 SF	1,619 SF	1,065 SF	330 SF	671 SF	0 SF	55,155 SF

NOTES:
1. EXTERIOR AMENITY (2,860 SF) IS NOT INCLUDED IN GFA

6 STORY EXISTING OFFICE BUILDING WITH 4-STORY ADDITION:

EXISTING BUILDING GFA: 146,713

EXISTING BUILDING NSGA: 137,803

ALLOWABLE GFA EXCEEDING LIMITS (GFA) = 137,803 SF (MAX) - 137,803 SF (EXISTING) = 0 SF

PROPOSED NEW NSGA MAX: 137,803 x 1.4 = 193,064

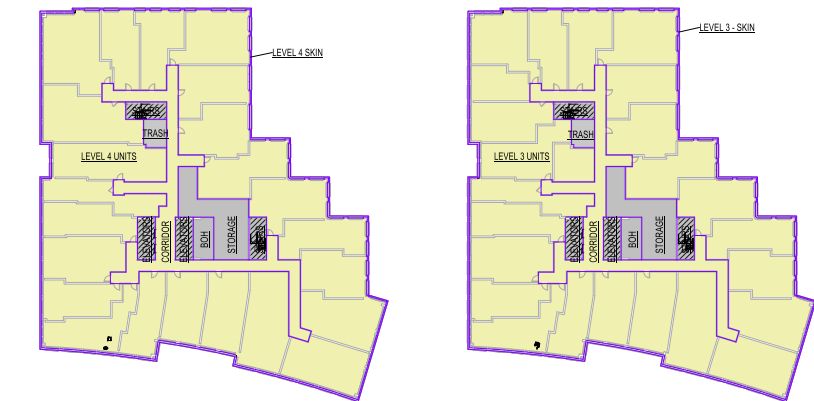
PROPOSED TOTAL GFA: 214,228

ALLOWABLE GFA EXCEEDING LIMITS (GFA) = 214,228 SF (MAX) - 214,228 SF (EXISTING) = 0 SF

NOTE: THE EXISTING BUILDING FACADE, STRUCTURE, AND BELOW-GRADE GARAGE LEVELS ARE TO BE RETAINED AS A PORTION OF THE PROJECT'S GREEN BUILDING STRATEGY. THE PROJECT CONSISTS OF AN ADAPTIVE-REUSE/RENOVATION OF THE EXISTING 6-STORY OFFICE BUILDING AND A NEW-CONSTRUCTION 4-FLOOR ADDITION FOR RESIDENTIAL USE.

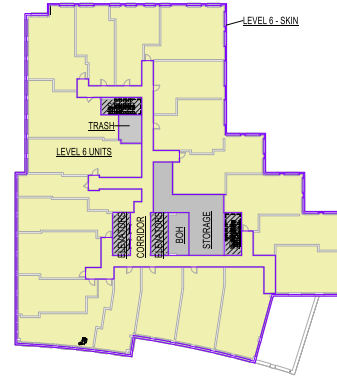
UNIT TABS DSP/DSP (RENTABLE) - EXISTING BUILDING LEVELS 1-6													
Unit Type	L1	L2	L3	L4	L5	L6	Total Units	Total Count	Area (Sq Ft)	Unit	Total Sq Ft	Area (Sq Ft)	Unit
1000	13	12	14	13	11	11	103	103	103,734 SF	103	103,734 SF	103,734 SF	103

UNIT TABS DSP/DSP (RENTABLE) - PROPOSED ADDITION LEVELS 7-10													
Unit Type	L7	L8	L9	L10	Total Units	Total Count	Area (Sq Ft)	Unit	Total Sq Ft	Area (Sq Ft)	Unit	Total Sq Ft	Area (Sq Ft)
1000	19	13	16	16	64	64	64,155 SF	64	64,155 SF	64,155 SF	64	64,155 SF	64,155 SF

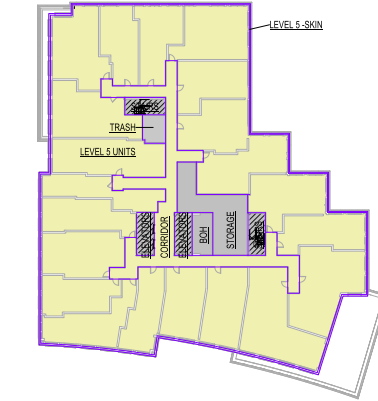


4 LEVEL 4 AREA PLAN
A1-00 SCALE: 1" = 30'-0"

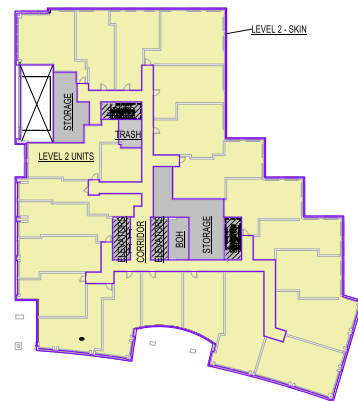
3 LEVEL 3 AREA PLAN
A1-00 SCALE: 1" = 30'-0"



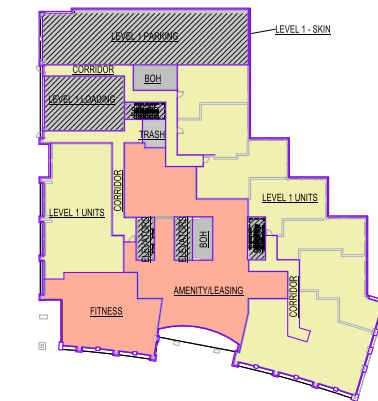
6 LEVEL 6 AREA PLAN
A1-00 SCALE: 1" = 30'-0"



5 LEVEL 5 AREA PLAN
A1-00 SCALE: 1" = 30'-0"



2 LEVEL 2 AREA PLAN
A1-00 SCALE: 1" = 30'-0"



1 LEVEL 1 AREA PLAN
A1-00 SCALE: 1" = 30'-0"

SCOPE DOCUMENTS
The Contract Documents issued for (Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction) are intended to be at that level of development and as such, may be neither complete nor coordinated. The (Construction Manager, Contractor, Design/Builder) is responsible for complete and coordinated pricing (and execution) of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of designated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The (Construction Manager, Contractor, Design/Builder) shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES		
No.	Drawing Issue Description	Date
CONCEPT II		03/07/2025
DRB		03/21/2025
DRB II		04/26/2025
DSP		05/30/2025
DSP/DSP		07/25/2025
REVISED COMPLETENESS 2		08/26/2025

AREA PLAN USE KEY	
Public / Amenity	
Boh / Service	
Resi Units	
Excluded Areas	

2051 Jamieson - 4 Story Addition

2051 Jamieson Ave, Alexandria, VA

JAMES CAMPBELL COMPANIES/REDFOX

SCHEDULE - GFA/UNIT COUNT MATRIX

STEVE SMITH, AIA	20240137
Principal in Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Project Architect	
Author	
Self-Noticed	

A1-00

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20240137 PROJECT NAME: 2051 Jamieson - 4 Story Addition
Drawing Title: 2051 Jamieson - 4 Story Addition
Drawing Date: 07/25/2025
Drawing Author: Steve Smith
Drawing Date: 07/25/2025
Drawing Date: 07/25/2025

02024 COOPER CARRY

SCOPE DOCUMENTS

The Contract Documents issued for (Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction) are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing (and execution) of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of designed designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

No.	Drawing Issue Description	Date
CONCEPT II		03/07/2025
SRB		03/27/2025
SRB II		04/25/2025
DSUP		05/30/2025
DSUP/UP COMPLETENESS		07/25/2025
REVISED COMPLETENESS 2		08/28/2025



3 FLOOR PLAN - LEVEL 2
A1-01 SCALE: 1" = 20'-0"



2 FLOOR PLAN - LEVEL 1 - OPT B - RETAIL
A1-01 SCALE: 1" = 20'-0"

OPT B - CONCPET PLAN

EXISTING RETAIL TO REMAIN: 4,284 SF
RELOCATED FITNESS: 2,485 SF
UNIT TOTAL: 181 UNITS (OPT A - 187)
PROPOSED TOTAL NGFA: 189,422



1 FLOOR PLAN - LEVEL 1
A1-01 SCALE: 1" = 20'-0"

2051 Jamieson - 4 Story Addition

2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

FLOOR PLANS

STEVE SMITH, AIA	20240137
Principal in Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Project Architect	
Author	
Self-Inspected	

A1-01

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20240137 PROJECT NAME: 2051 Jamieson - 4 Story Addition
PROJECT LOCATION: 2051 Jamieson Ave, Alexandria, VA 22304
AUTOCAD FILE: 20240137_2051_Jamieson-Ave-20240137-v23_2051_Jamieson-4 Story_CENTRAL.rvt
8/28/2025 9:25:28 AM



COOPER CARRY
THE CENTER FOR CONNECTIVE ARCHITECTURE

02024 COOPER CARRY

SCOPE DOCUMENTS

The Contract Documents issued for (Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction) are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work not delineated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

No.	Drawing Issue Description	Date
CONCEPT II		03/07/2025
SDR		03/21/2025
SDR II		04/25/2025
DSUP		05/30/2025
DSUP/UP COMPLETENESS		07/25/2025
REVISED COMPLETENESS 2		08/28/2025

2051 Jamieson - 4 Story Addition

2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

FLOOR PLANS

STEVE SMITH, AIA	20240137
Principal in Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Project Architect	
Author	
Self-Reviewed	

A1-02

NOT ISSUED FOR CONSTRUCTION



4 FLOOR PLAN - LEVEL 6
A1-02 SCALE: 1" = 20'-0"



3 FLOOR PLAN - LEVEL 5
A1-02 SCALE: 1" = 20'-0"



2 FLOOR PLAN - LEVEL 4
A1-02 SCALE: 1" = 20'-0"



1 FLOOR PLAN - LEVEL 3
A1-02 SCALE: 1" = 20'-0"

SCOPE DOCUMENTS

The Contract Documents Issued for (Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction) are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager; Contractor; Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs; systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager; Contractor; Design/Builder] shall inform the Owner of any omissions, errors, or omissions discovered, omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES		
No.	Drawing Issue Description	Date
	CONCEPT II	03/07/2025
	DRB	03/21/2025
	DRB II	04/25/2025
	OSUP	05/30/2025
	OSUP/UP COMPLETENESS	07/25/2025
	REVISED COMPLETENESS 2	08/28/2025

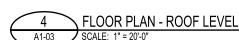
2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

FLOOR PLANS

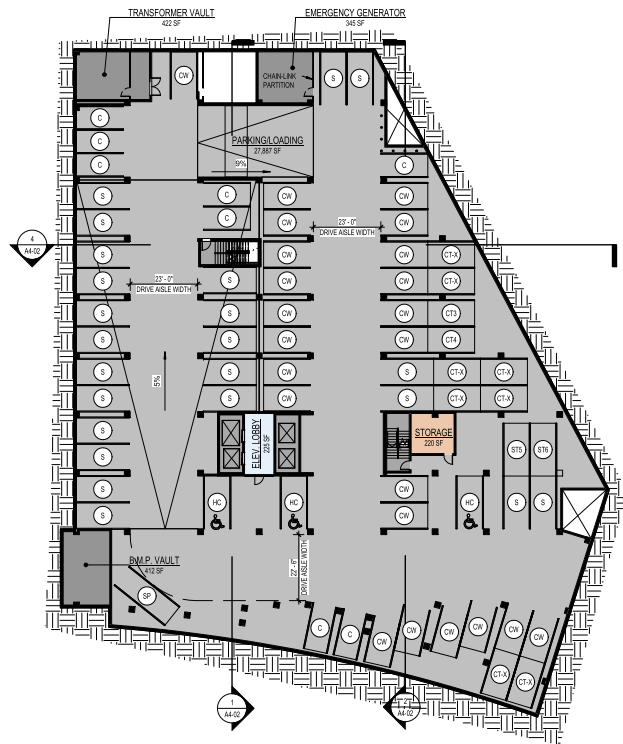
STEVE SMITH, AIA	20240137
Principal-in-Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Project Architect	
Author	
Staff Architect	

A1-03

NOT ISSUED FOR CONSTRUCTION

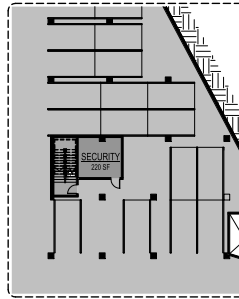


PROJECT NUMBER: 20240107 PROJECT NAME: 2051 Jamieson - 4 Story Addition
Drawing Title: 2051 Jamieson - 4 Story Addition
Drawing Date: 07/25/2025
Drawing Time: 9:25:38 AM

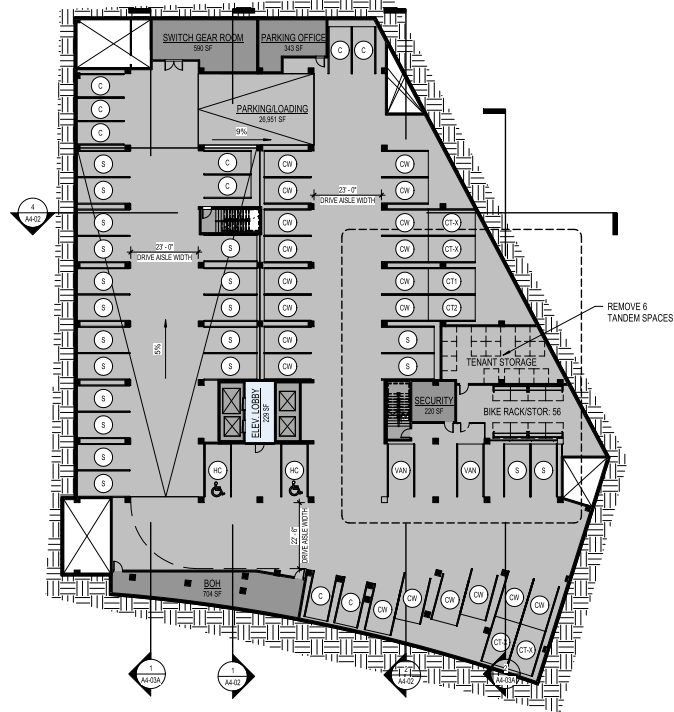


2 FLOOR PLAN - LEVEL B2
A1-04 SCALE: 1" = 20'-0"

AREA SCHEDULE - BASEMENTS		
NAME	OCCUPANT	AREA
LEVEL B2		
B.M.P. VAULT		412 SF
ELEV. LOBBY		354 SF
ELEVATORS		354 SF
EMERGENCY GENERATOR		345 SF
PARKING/LOADING		27,887 SF
STAIR		327 SF
STORAGE		220 SF
TRANSFORMER VAULT		422 SF
Grand total		30,222 SF



EXISTING CONDITIONS



1 FLOOR PLAN - LEVEL B1
A1-04 SCALE: 1" = 20'-0"

AREA SCHEDULE - BASEMENTS		
NAME	OCCUPANT	AREA
LEVEL B1		
BGM		704 SF
ELEV. LOBBY		354 SF
ELEVATORS		354 SF
PARKING OFFICE		343 SF
PARKING/LOADING		26,951 SF
SECURITY		200 SF
STAIR		327 SF
SWITCH GEAR ROOM		380 SF
Grand total		29,749 SF

PARKING SCHEDULE		
TYPE	DESCRIPTION	COUNT
LEVEL B1		
C	COMPACT	9
CT	COMPACT WIDE TANDEM	9
CW	COMPACT WIDE	20
HC	ACCESSIBLE	2
S	STANDARD	21
VAN	VAN	2
LEVEL B2		
C	COMPACT	11
CT	COMPACT WIDE TANDEM	10
CW	COMPACT WIDE	23
HC	ACCESSIBLE	3
S	STANDARD	23
SP	STANDARD PARALLEL	1
ST	STANDARD TANDEM	2
LEVEL B3		
C	COMPACT	7
CT	COMPACT WIDE TANDEM	10
CW	COMPACT WIDE	22
S	STANDARD	28
SP	STANDARD PARALLEL	1
ST	STANDARD TANDEM	3
LEVEL B4		
C	COMPACT	2
CT	COMPACT WIDE TANDEM	8
CW	COMPACT WIDE	28
S	STANDARD	11
SP	STANDARD PARALLEL	1
ST	STANDARD TANDEM	2
Grand total		258



0205A COOPER CARRY

SCOPE DOCUMENTS

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ISSUANCES		
No.	Drawing Issue Description	Date
CONCEPT II		03/07/2025
SRB		03/17/2025
SRB II		04/25/2025
CSUP		05/30/2025
CSUP/SP COMPLETENESS		07/25/2025
REVISED COMPLETENESS 2		08/29/2025

2051 Jamieson - 4 Story Addition

2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

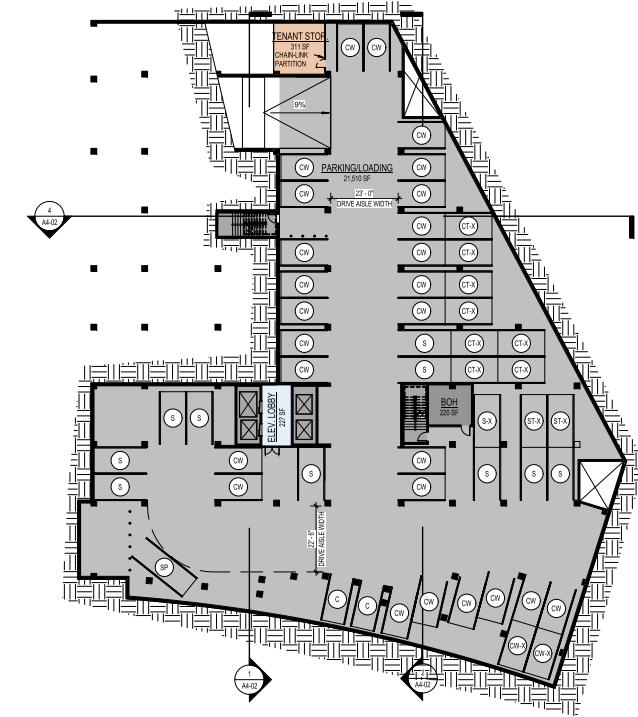
FLOOR PLANS

STEVE SMITH, AIA	20240107
Principal in Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Author	
Self	

A1-04

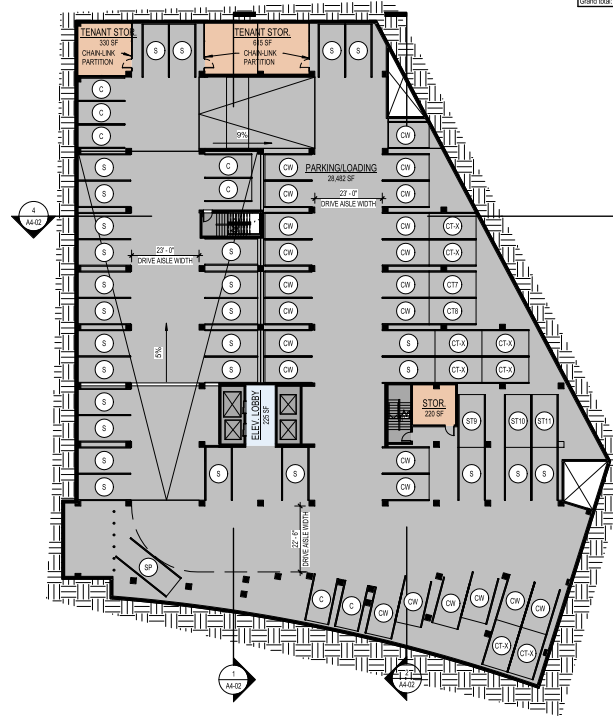
NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20240137 PROJECT NAME: 2051 Jamieson - 4 Story Addition
4. AutoLink Docx/20240137 2051 Jamieson Ave/20240137-v23_2051 Jamieson-4 Story_CENTRAL.rvt
9/28/2025 9:25:39 AM



2 FLOOR PLAN - LEVEL B4
A1-05 SCALE: 1" = 20'-0"

AREA SCHEDULE - BASEMENTS		
NAME	OCCUPANT	AREA
LEVEL B4		
BOH		220 SF
ELEV. LOBBY		227 SF
ELEVATORS		140 SF
PARKING/LOADING		21,570 SF
STAIR		330 SF
TENANT STOR.		111 SF
		22,965 SF



1 FLOOR PLAN - LEVEL B3
A1-05 SCALE: 1" = 20'-0"

AREA SCHEDULE - BASEMENTS		
NAME	OCCUPANT	AREA
LEVEL B3		
ELEV. LOBBY		226 SF
ELEVATORS		354 SF
PARKING/LOADING		25,482 SF
STAIR		357 SF
STOR.		220 SF
TENANT STOR.		145 SF
		30,583 SF

PARKING SCHEDULE		
TYPE	DESCRIPTION	COUNT
LEVEL B1		
C	COMPACT	9
CT	COMPACT WIDE TANDEM	9
CW	COMPACT WIDE	20
HC	ACCESSIBLE	2
S	STANDARD	21
VAN	VAN	2
LEVEL B2		
C	COMPACT	11
CT	COMPACT WIDE TANDEM	10
CW	COMPACT WIDE	23
HC	ACCESSIBLE	3
S	STANDARD	23
SP	STANDARD PARALLEL	1
ST	STANDARD TANDEM	2
LEVEL B3		
C	COMPACT	7
CT	COMPACT WIDE TANDEM	10
CW	COMPACT WIDE	22
S	STANDARD	28
SP	STANDARD PARALLEL	1
ST	STANDARD TANDEM	3
LEVEL B4		
C	COMPACT	2
CT	COMPACT WIDE TANDEM	8
CW	COMPACT WIDE	28
S	STANDARD	11
SP	STANDARD PARALLEL	1
ST	STANDARD TANDEM	2
Grand Total: 258		



02054 COOPER CARRY

SCOPE DOCUMENTS

The Contract Documents issued for (Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction) are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of designed designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES		
No.	Drawing Issue Description	Date
CONCEPT II		03/07/2025
SRB		03/27/2025
SRB II		04/25/2025
DSUP		05/30/2025
DSUP/UP COMPLETENESS		07/25/2025
REVISED COMPLETENESS 2		08/28/2025

2051 Jamieson - 4 Story Addition

2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

FLOOR PLANS

STEVE SMITH, AIA	20240137
Principal in Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Project Architect	
Author	
Self-Inspected	

A1-05

NOT ISSUED FOR CONSTRUCTION



COOPER CARRY
THE CENTER FOR CONNECTIVE ARCHITECTURE

02024 COOPER CARRY

SCOPE DOCUMENTS

The Contract Documents issued for (Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction) are intended to be at that level of development and as such, may be neither complete nor coordinated. The (Construction Manager, Contractor, Design/Builder) is responsible for complete and coordinated pricing (and execution) of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of designed designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The (Construction Manager, Contractor, Design/Builder) shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

No.	Drawing Issue Description	Date
CONCEPT II		03/07/2025
SRB		03/21/2025
SRB II		04/25/2025
DSUP		05/09/2025
DSUP/UP COMPLETENESS		07/25/2025
REVISED COMPLETENESS 2		08/28/2025

2051 Jamieson - 4 Story Addition

2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

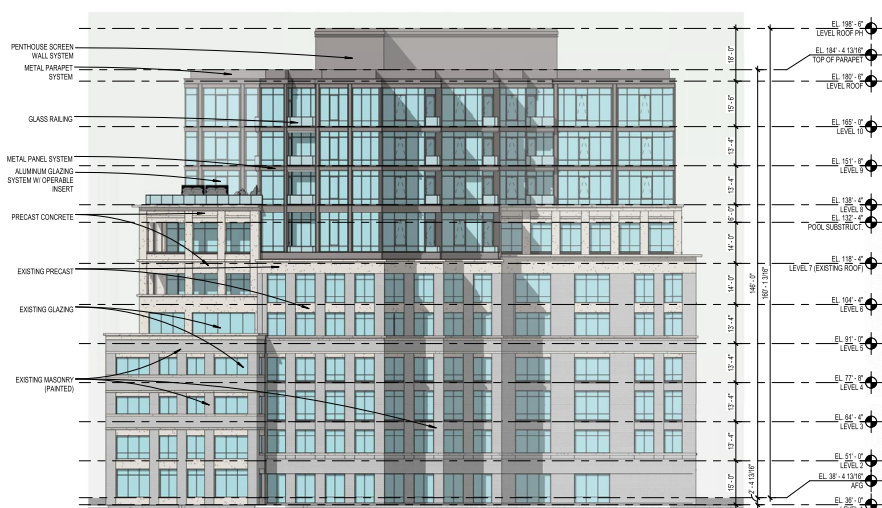
BUILDING ELEVATIONS

STEVE SMITH, AIA
Principal in Charge
BRANDON LENK, AIA
Project Manager
Checker
Project Architect
Author
Self-Noted

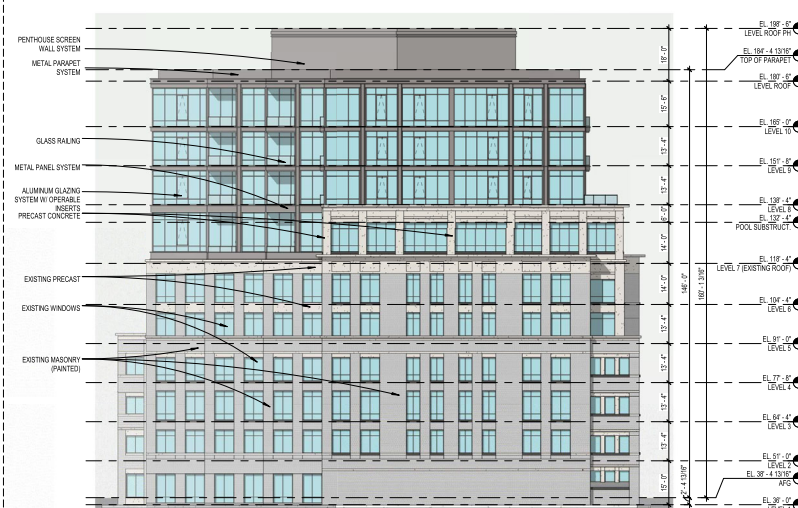
20240137
Project No.
07/25/2025
Date

A4-01

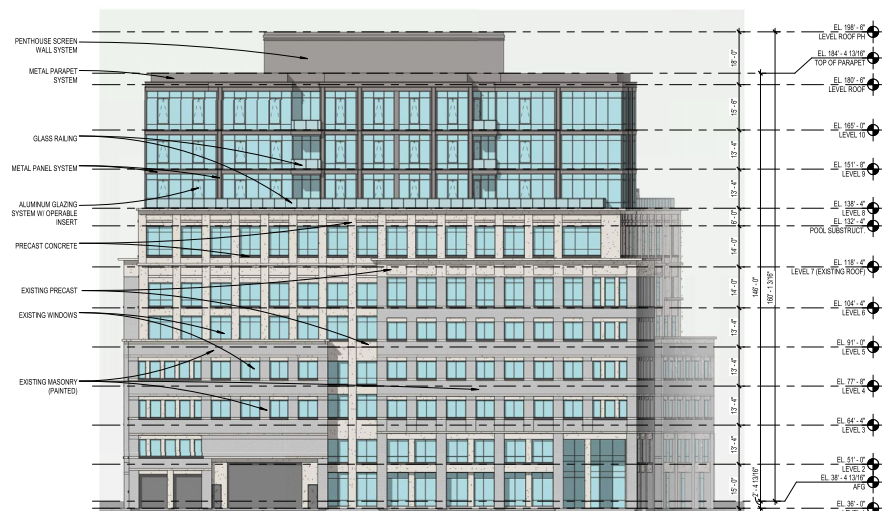
NOT ISSUED FOR CONSTRUCTION



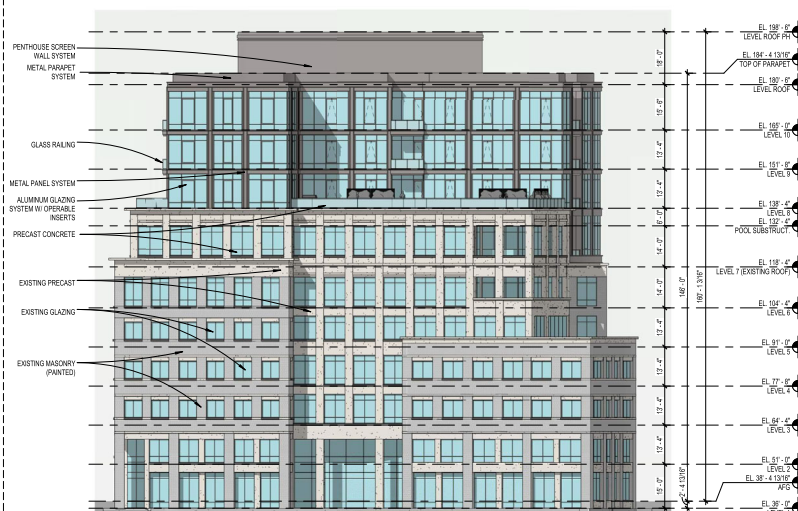
4 ELEVATION - EAST
A4-01 SCALE: 1" = 20'-0"



3 ELEVATION - NORTH
A4-01 SCALE: 1" = 20'-0"

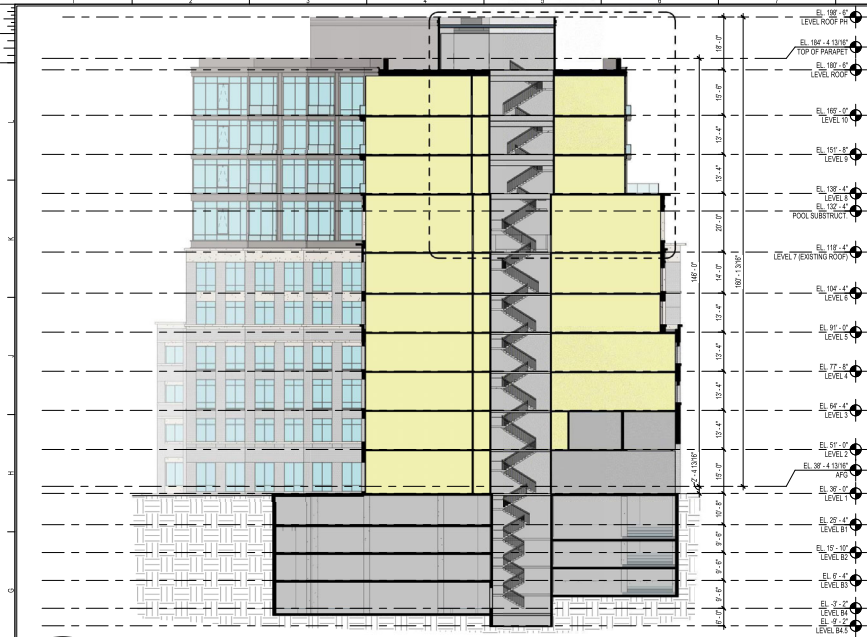


2 ELEVATION - WEST
A4-01 SCALE: 1" = 20'-0"

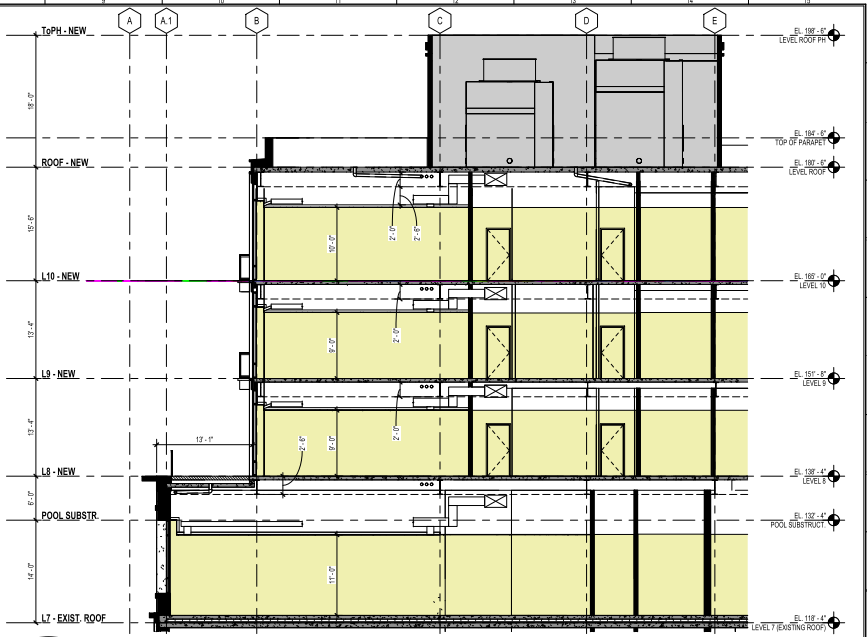


1 ELEVATION - SOUTH
A4-01 SCALE: 1" = 20'-0"

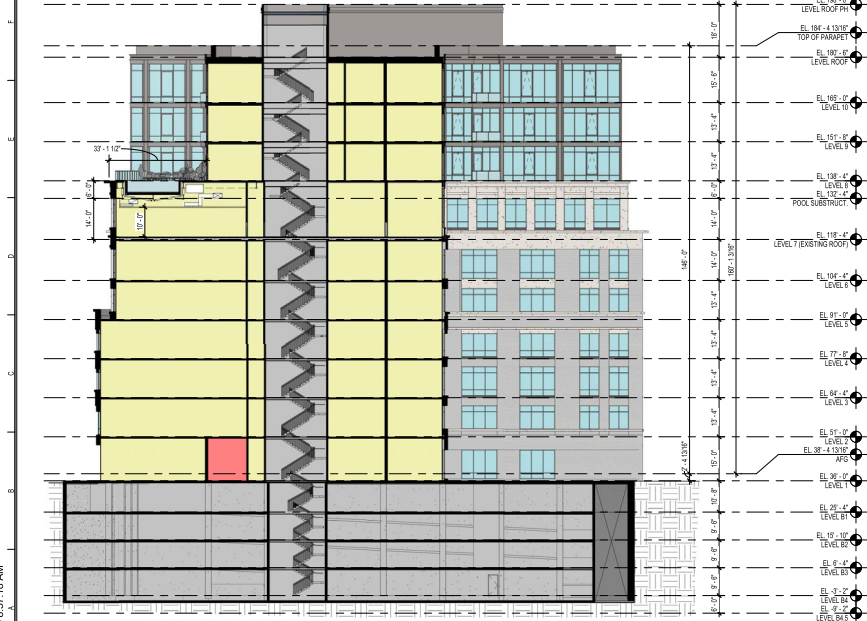
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DRAWING TITLE: BUILDING SECTIONS
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9/28/2025 9:57:18 AM



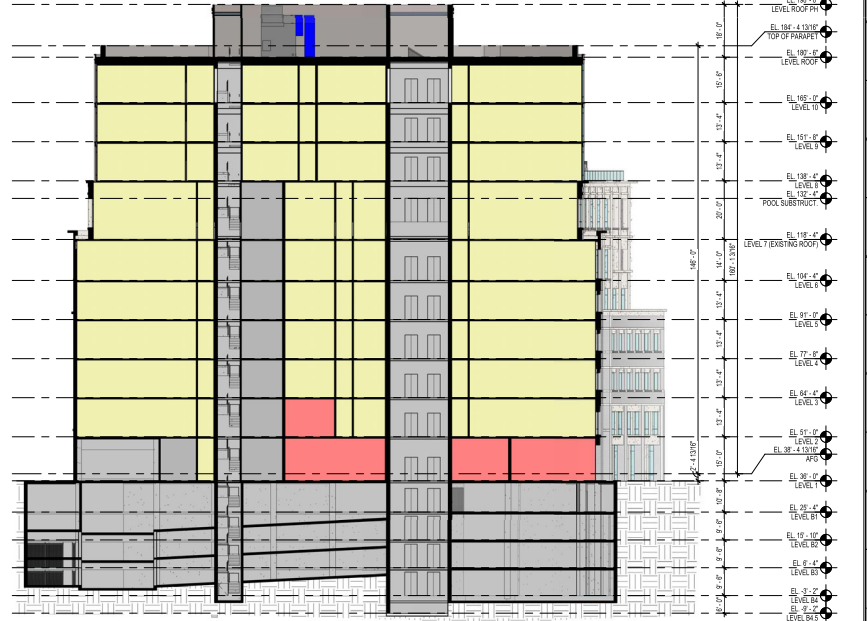
4 BUILDING SECTION E/W FACING SOUTH
SCALE: 1" = 20'-0"



3 BLDG SECT E/W - ADDITION ENLARGEMENT
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION N/S FACING WEST
SCALE: 1" = 20'-0"



1 BUILDING SECTION E/W FACING EAST
SCALE: 1" = 20'-0"

02024 COOPER CARRY

SCOPE DOCUMENTS

The Contract Documents issued for (Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other) are intended to be used for the design and construction of the Project. The Contract Documents shall include all items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of designed designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The Construction Manager, Contractor, Design/Builder shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

No.	Drawing Issue Description	Date
CONCEPT II		03/07/2025
SDS		03/21/2025
SDS II		04/25/2025
SDS III		05/09/2025
SDS/SP COMPLETENESS		07/25/2025

AREA PLAN USE KEY

Public / Amenity
BOH / Service
RESI UNITS
EXCLUDED AREAS

2051 Jamieson - 4 Story Addition

2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

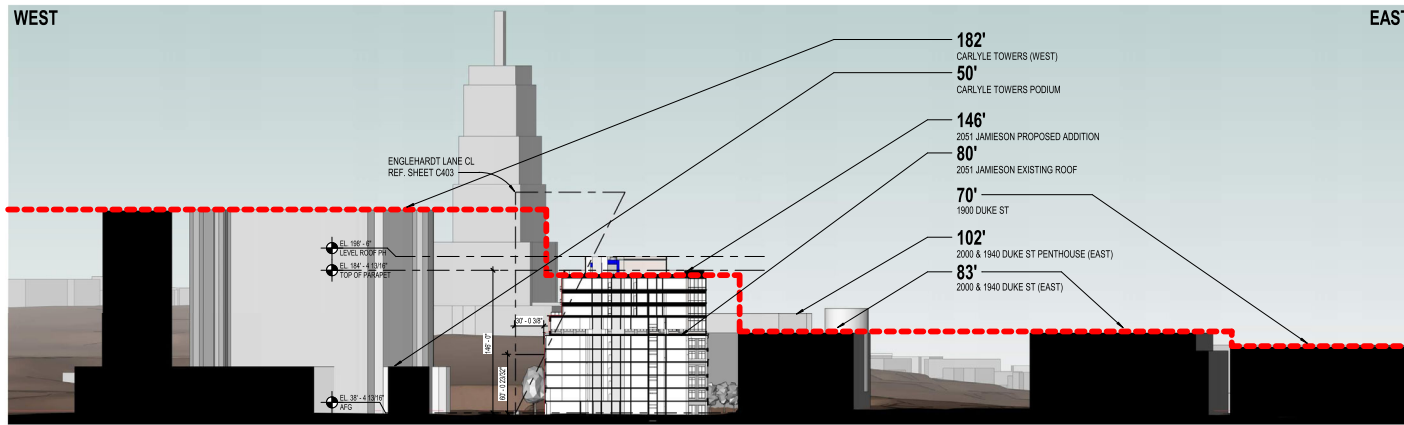
BUILDING SECTIONS

STEVE SMITH, AIA	20240137
Principal in Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Author	
Drawn	

A4-02

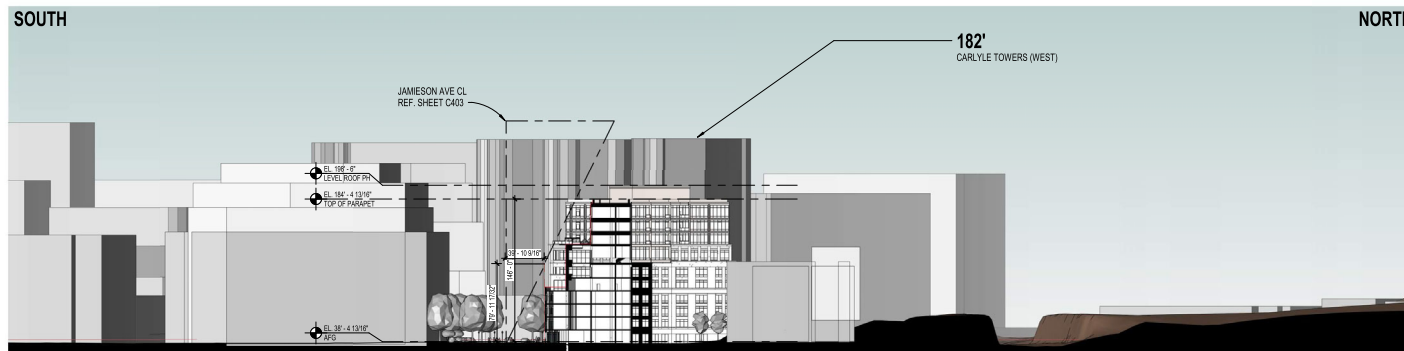
NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20240137 PROJECT NAME: 2051 Jamieson - 4 Story Addition
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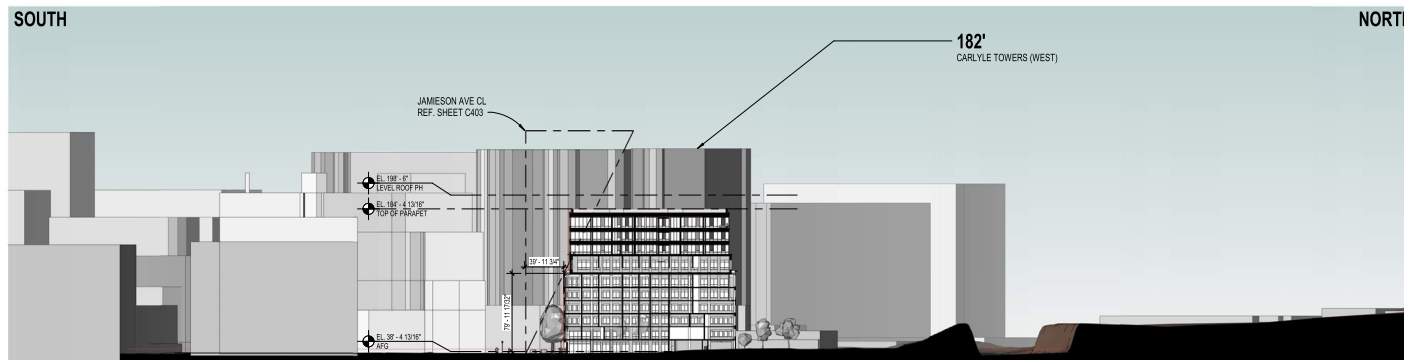


3 SITE SECTION E/W FACING NORTH
AA-03A SCALE: 1" = 80'-0"

*BUILDING HEIGHTS MEASURED RELATIVE TO AVERAGE FINISH GRADE ADJACENT TO BUILDING AS REPORTED IN ALEXANDRIA GIS DATA.



2 SITE SECTION N/S FACING WEST 2
AA-03A SCALE: 1" = 80'-0"



1 SITE SECTION N/S FACING WEST 1
AA-03A SCALE: 1" = 80'-0"

02024 COOPER CARRY
SCOPE DOCUMENTS
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ISSUANCES		
No.	Drawing Issue Description	Date
CONCEPT II		03/07/2025
DSB		03/21/2025
DSB II		04/25/2025
DSUP		05/30/2025
DSUP/UP COMPLETENESS		07/25/2025
REVISED COMPLETENESS 2		08/28/2025

2051 Jamieson - 4 Story Addition

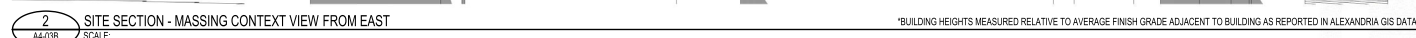
2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

SITE SECTIONS

STEVE SMITH, AIA	20240137
Project in Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Project Architect	
Author	
Self-Reviewed	

A4-03A

NOT ISSUED FOR CONSTRUCTION



The Contract Documents Issued for (Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Sequence up to Issued for Construction) are intended to be at the level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for [complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of designated designs; systems, assemblies, components and materials, the [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES		
No.	Drawing Issue Description	Date
	DSR/SUP COMPLETENESS	07/25/2025
	REVISED COMPLETENESS 2	08/28/2025

2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

CONTEXT PERSPECTIVES

STEVE SMITH, AIA	20240137
Principal-in-Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Project Architect	
Author	
Graphic Artist	

A4-03B

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20240103 PROJECT NAME: 2051 Jamieson - 4 Story Addition
PROJECT LOCATION: 2051 Jamieson Ave, Alexandria, VA 22304
ARCHITECT: JAMES CAMPBELL COMPANIES/REDFOX
DATE: 07/25/2025 9:57:40 AM



4 BUILDING PERSPECTIVE - NE CORNER (VIEW 15 20250725)
A4-10 SCALE: 1/2" = 1'-0"



3 BUILDING PERSPECTIVE - SE CORNER (VIEW 12 20250725)
A4-10 SCALE: 1/2" = 1'-0"



2 BUILDING PERSPECTIVE - NW CORNER (VIEW 14 20250725)
A4-10 SCALE: 1/2" = 1'-0"



1 BUILDING PERSPECTIVE - SW CORNER (VIEW 10 20250725)
A4-10 SCALE: 1/2" = 1'-0"

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SCOPE DOCUMENTS

The Contract Documents issued for (Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction) are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES

No.	Drawing Issue Description	Date
CONCEPT II		03/07/2025
SRB		03/21/2025
SRB II		04/25/2025
DSUP		05/30/2025
DSUP/UP COMPLETENESS		07/25/2025
REVISED COMPLETENESS 2		08/29/2025

2051 Jamieson - 4 Story Addition

2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

BUILDING PERSPECTIVES

STEVE SMITH, AIA
Principal in Charge
BRANDON LENK, AIA
Project Manager
Checker
Project Architect
Author
Self-Reviewed

20240103
Project No.
07/25/2025
Date

A4-10

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20240137 PROJECT NAME: 2051 Jamieson - 4 Story Addition
DESIGNER: JAMIESON CAMPBELL COMPANIES/REDFOX
AUTOCAD FILE: 20240137_2051_Jamieson-A4-20240137.dwg
9/28/2025 9:57:42 AM



3 BUILDING PERSPECTIVE - SE CORNER (VIEW 13 20250725) CONTEXT
A4-11 SCALE: 12" = 1'-0"



2 BUILDING PERSPECTIVE - SW CORNER (VIEW 10 20250725) CONTEXT
A4-11 SCALE: 12" = 1'-0"



1 JAMIESON STREET CONTEXT ELEVATION - (VIEW 12 20250725)
A4-11 SCALE: 12" = 1'-0"

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SCOPE DOCUMENTS

The Contract Documents issued for [Conceptual Design, Schematic Design, Design Development, Partial Construction Documents or Other Issuance up to Issued for Construction] are intended to be at that level of development and as such, may be neither complete nor coordinated. The [Construction Manager, Contractor, Design/Builder] is responsible for complete and coordinated pricing [and execution] of the Work, and shall include items necessary for the proper execution and completion of the Work, as shown, specified, reasonably inferred or required for a complete Project. For Work of delegated designs, systems, assemblies, components and materials shall comply with national, state and local code requirements. The [Construction Manager, Contractor, Design/Builder] shall inform the Owner and Architect, in timely fashion, of any discovered omissions, inconsistencies or errors in the Contract Documents.

ISSUANCES		
No.	Drawing Issue Description	Date
1	DS/SD/PP COMPLETENESS	07/25/2025
2	REVISED COMPLETENESS 2	08/28/2025

2051 Jamieson - 4 Story Addition

2051 Jamieson Ave, Alexandria, VA
JAMES CAMPBELL COMPANIES/REDFOX

**BUILDING PERSPECTIVES -
CONTEXT RENDERS**

STEVE SMITH, AIA	20240137
Principal in Charge	Project No.
BRANDON LENK, AIA	07/25/2025
Project Manager	Date
Checker	
Project Architect	
Author	
Self-Noted	

A4-11

NOT ISSUED FOR CONSTRUCTION



**NOT FOR
CONSTRUCTION**

JAMIESON
AVENUE


2051 JAMIESON AVENUE
ALEXANDRIA, VA

ANALOG SIGNAL PROCESSOR 2025078

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
01	POSUP SUBMISSION	05-30-2025
02	POSUP SUBMISSION	07-25-2025
03	POSUP SUBMISSION	08-28-2025

DESIGNED BY: MC
DRAWN BY: WT
CHECKED BY: MC

ERT: N/A
ORZ: 1"=30'

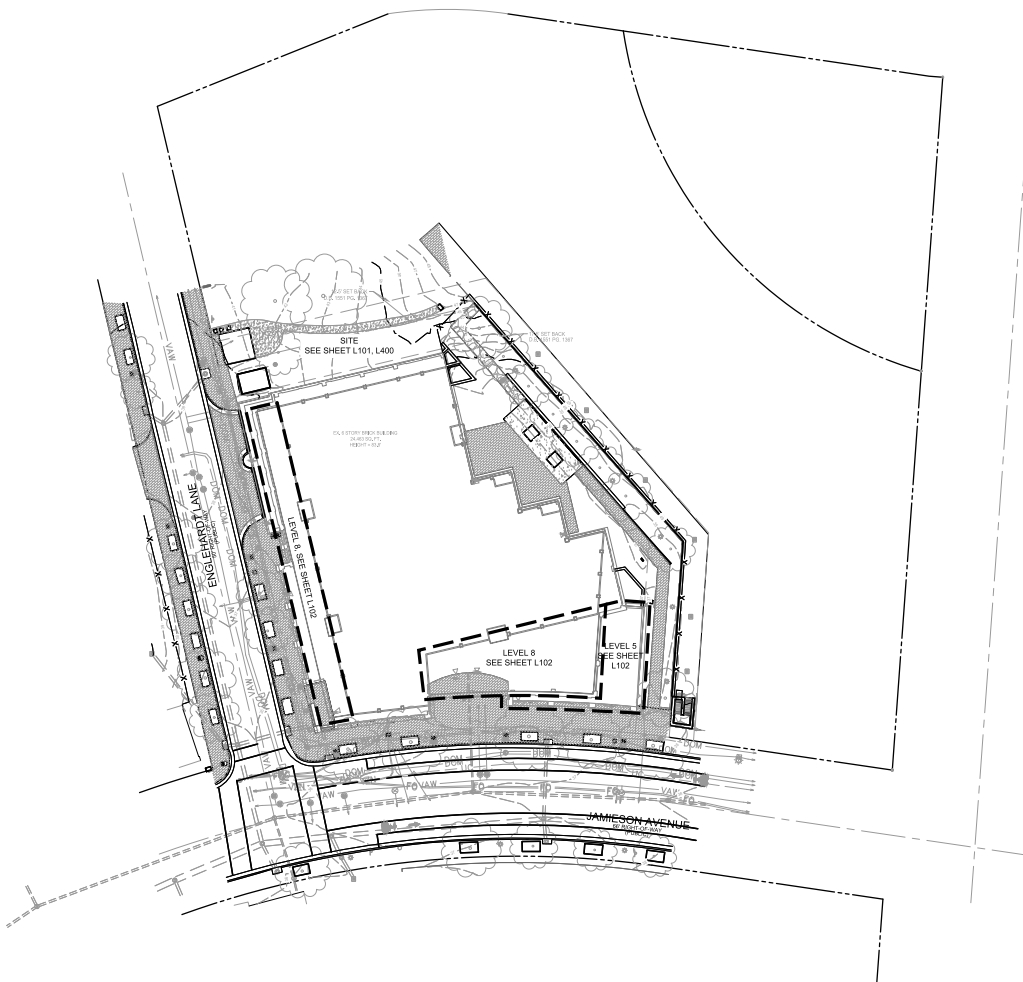


PARENT TITLE

REFERENCE PLAN

SHEET NUMBER

L001



<h1 style="margin: 0;">APPROVED</h1>		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION _____ DATE _____		
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

REVISED

SCALE



NOT FOR CONSTRUCTION

JAMIESON AVENUE

2051 JAMIESON AVENUE
ALEXANDRIA, VA

DATE: 2025078

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
01	PGS/UP SUBMISSION	09-30-2025
02	PGS/UP SUBMISSION	07-25-2025
03	PGS/UP SUBMISSION	08-28-2025

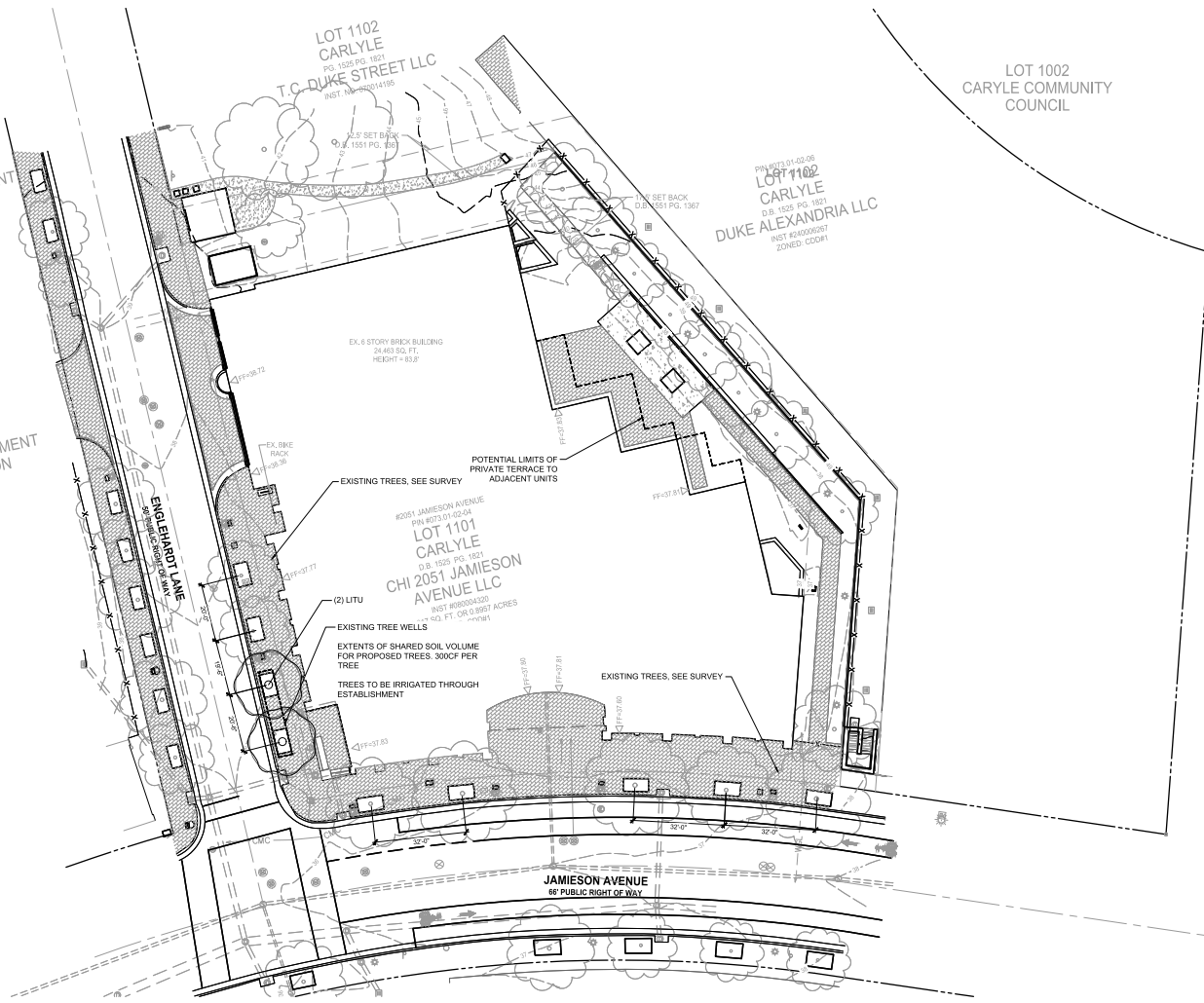
DESIGNED BY: MC
DRAWN BY: WT
CHECKED BY: MC

VERT: N/A
HORIZ: 1"=20'
0 10 20 40'

SHEET TITLE
MATERIALS PLAN-SITE

SHEET NUMBER

L101



- NOTES:**
- EXISTING PLANT SPECIES SHOWN IN R.O.W. TO REMAIN. MAY VARY WITH FINAL SITE PLAN APPROVALS, AND UTILITY COORDINATION AT FSP.
 - TREE SPECIES ON SITE TO REMAIN. SEE L400 FOR SPECIES AND CANOPY AND SIZE INFORMATION FOR ON SITE TREES.
 - EXISTING TREE SURVEY OF ON SITE TREES SHOWN IN C.C.A.CHART. TREES LOCATED WITHIN PUBLIC RIGHT-OF-WAY DO NOT COUNT TOWARD CROWN COVERAGE ALLOWANCE (C.C.A.) REQUIREMENTS.
 - SEE CIVIL SHEETS FOR TRACKING OF CONDITIONS WITHIN THE PUBLIC RIGHT-OF-WAY AND ELEMENTS TO REMAIN.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CAL	HT.	REMARKS
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DECIDUOUS TREES

	LITU	2	LIRIODENDRON TULIPIFERA / TULIP POPLAR	B & B	2"-3"	12' - 14'	FULL SUN; CCA: 1250 SF; EASTERN U.S. LOCAL, REGIONAL NATIVE; ROUNDED, PYRAMIDAL CROWN; SINGLE LEADER
--	------	---	--	-------	-------	-----------	--

BY: MC

DATE



**NOT FOR
CONSTRUCTION**

**JAMIESON
AVENUE**

2051 JAMIESON AVENUE
ALEXANDRIA, VA

DESIGNED BY: MC
2025078

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
01	PG&LP SUBMISSION	09-30-2025
02	PG&LP SUBMISSION	07-25-2025
03	PG&LP SUBMISSION	08-28-2025

DESIGNED BY: MC
DRAWN BY: WT
CHECKED BY: MC

SCALE
VERT: N/A
HORIZ: 1"=20'
0 10 20 40'

SHEET TITLE
**MATERIALS PLAN-LEVEL 5 &
LEVEL 8**

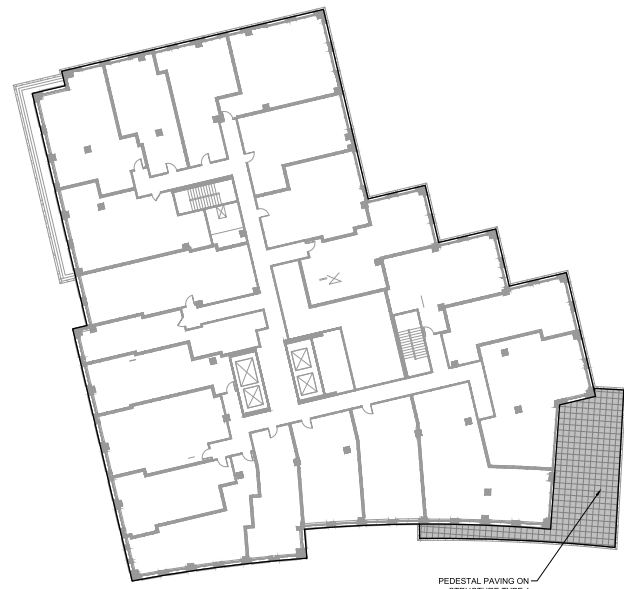
SHEET NUMBER

L102



1
L102 LEVEL 8 - MATERIALS PLAN
PLAN

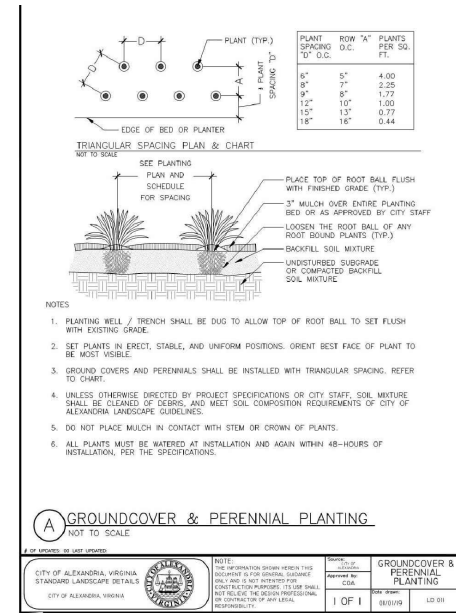
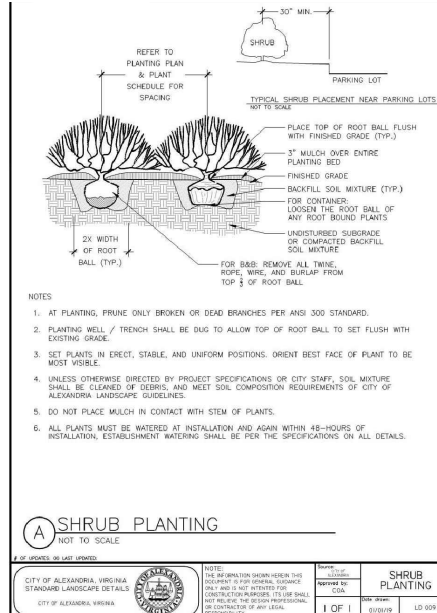
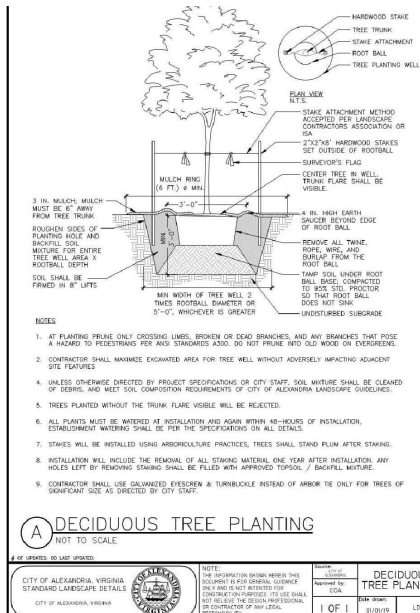
1" = 20'



2
L102 LEVEL 5 - MATERIALS PLAN
PLAN

1" = 20'

APPROVED			
SPECIAL USE PERMIT NO. _____			
DEPARTMENT OF PLANNING & ZONING			
DIRECTOR _____	DATE _____		
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES			
SITE PLAN NO. _____			
DIRECTOR _____	DATE _____		
COMMUNITY PLANNING COMMISSION _____			
DATE RECORDED _____			
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____	



1
L701 SECTION

NTS

**NOT FOR
CONSTRUCTION**

JAMIESON
AVENUE

2051 JAMIESON AVENUE
ALEXANDRIA, VA

UNION SQUARE PHOTOS
2025078

[illegible]

DESIGNED BY: MC
DRAWN BY: WT
CHECKED BY: MC

VERT: N/A
MOB: NTR



(NOT TO SCALE)

DETAILS - PLANTING

4801T MUMPHREY

L701

L701

[illegible]

ORIGINAL SHEET SIZE: 36" X 36"