



***Docket Item# 3  
Special Use Permit # 2023-00107  
1508 Mount Vernon Avenue -  
Junction Bakery & Bistro –  
Increase in Permitted Floor Area Ratio***

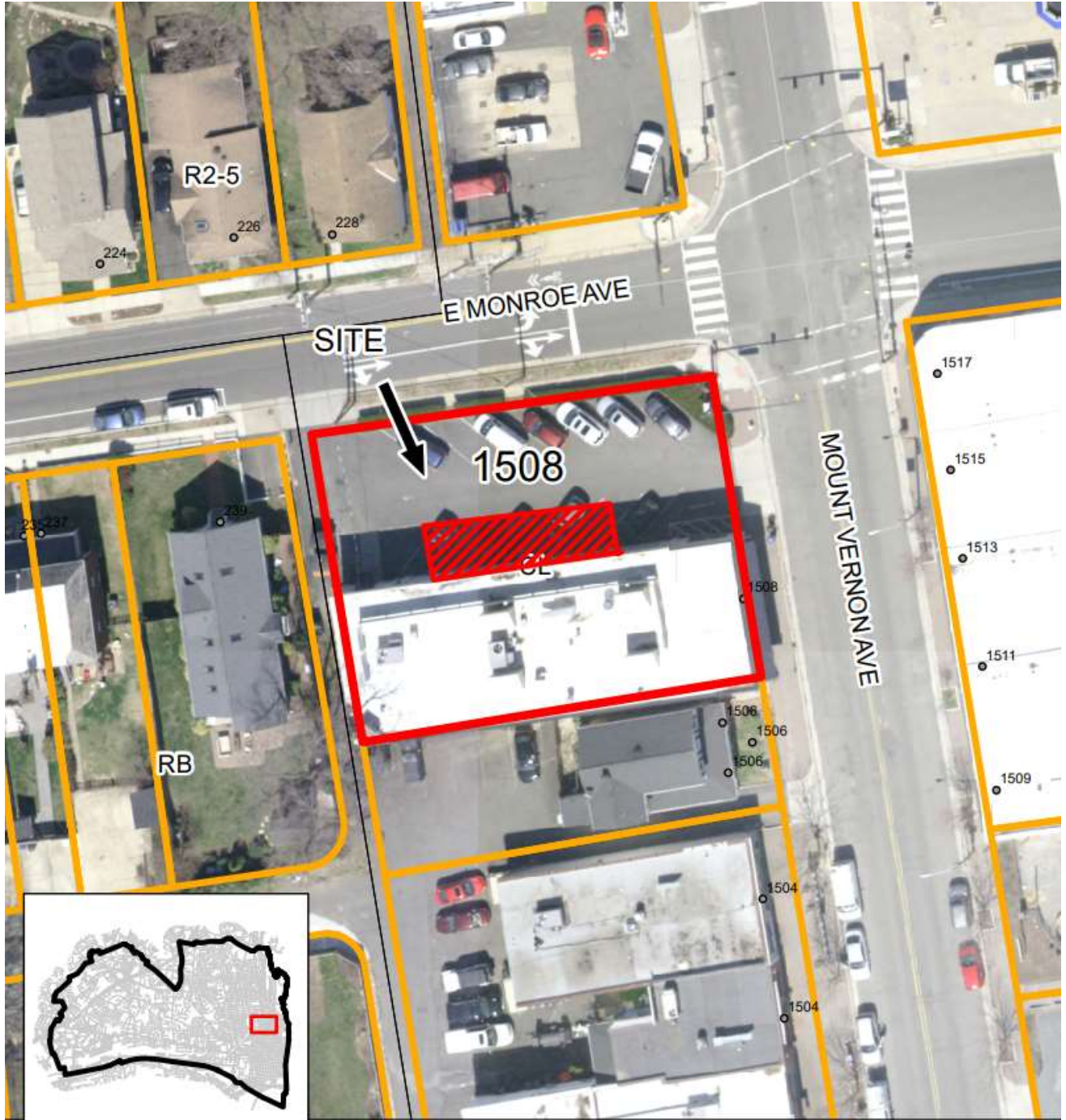
---

<b>Application</b>	<b>General Data</b>	
<b>Request:</b> Public hearing and consideration of a Special Use Permit to increase FAR up to .75	<b>Planning Commission Hearing:</b>	March 5, 2024
	<b>City Council Hearing:</b>	March 16, 2024
<b>Address:</b> 1508 Mount Vernon Avenue	<b>Zone:</b>	CL/Commercial Low
<b>Applicant:</b> Noe Landini	<b>Small Area Plan:</b>	Potomac West

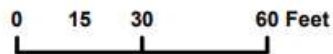
**Staff Recommendation:** APPROVAL subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.

**Staff Reviewers:**

Patrick Silva, Urban Planner, [patrick.silva@alexandriava.gov](mailto:patrick.silva@alexandriava.gov)  
Ann Horowitz, Principal Planner, [ann.horowitz@alexandriava.gov](mailto:ann.horowitz@alexandriava.gov)



**Special Use Permit #2023-00107  
1508 Mount Vernon Avenue**



PROJECT LOCATION MAP

## I. DISCUSSION

The applicant, Noe Landini, requests Special Use Permit approval for an increase in the permitted floor area ratio, pursuant to Section 4-106(B)(1) of the Zoning Ordinance, to accommodate the construction of a new 720 square foot covered outdoor dining patio at Junction Bakery & Bistro located at 1508 Mount Vernon Avenue.

### SITE DESCRIPTION

The subject site is located on one corner parcel of record. The parcel has 90 feet of frontage on Mount Vernon Avenue, 120 feet of frontage on East Monroe Avenue, and a lot area of 11,244 square feet. It is developed with a one-story 5,348 square foot commercial building with an eight-space surface parking lot, including one loading space located on-site (Figure 1).

A mix of commercial uses — personal service, restaurant, retail, and automobile service stations — surround the restaurant to the east, north, and south while single family dwellings and townhouses are located to the west.



*Figure 1: Site Context*

### BACKGROUND

In February 1996, City Council first approved Special Use Permit #1995-00205 for a restaurant use, known as Mancini's Restaurant, at the subject site. In November 1996, City Council approved both Special Use Permit #1996-00156 for additional seating, outdoor dining, and an increase in the hours of operation for the business as well as Encroachment #1996-00005 to permit eight seats of outdoor dining in the public right of way along Mount Vernon Avenue located in front of the

business and for an awning. In November 1998, City Council approved Special Use Permit #1998-00119 which authorized live entertainment and on-premises alcohol sales. In March 1999, City Council approved Encroachment #1999-00001 to permit the use of the public alleyway at the rear of the restaurant for customer and employee parking. In May 2001, City Council approved Special Use Permit #2001-00020 to allow extended hours of operation. In June 2002, City Council approved Special Use Permit #2002-00024, a one-year review of the previous approval, which also addressed resident concerns related to noise from supply deliveries and employees parking on nearby streets. In November 2015, staff administratively approved Special Use Permit #2015-00102 for a change of ownership for the existing restaurant, which included a retail bakery and accessory catering, from Barbara Mancini to Noe Landini who began operating the business as Junction Bakery & Bistro. In January 2016, City Council approved Special Use Permit #2016-00077 which allowed the business to begin selling off-premises beer and wine. Most recently, in April 2023, staff administratively approved Special Use Permit #2023-00012 for a minor amendment to Special Use Permit #2016-00077 to allow the applicant to add 32 additional seats of outdoor dining in the on-site surface parking lot reducing the total amount of available off-street spaces from twelve to nine.



*Figure 2: Junction Bakery from Mt. Vernon Ave.*

### PROPOSAL

The applicant requests Special Use Permit approval to increase FAR up to .75 at the subject site. The applicant's proposal would add a new 720 square foot covered outdoor dining patio, as an addition to the north side of the building and in the on-site surface parking lot, where the 32 outdoor dining seats now exist. A Special Use Permit is required to approve the proposed covered patio as the 720 square feet of floor area would result in a floor area ratio of .53, whereas Section 4-106(B)(1) of the Zoning Ordinance states that the maximum floor area ratio permitted for a nonresidential property by right is 0.5. Pursuant to Section 4-106(B)(1) of the Zoning Ordinance,

the floor area ratio for a nonresidential property in the CL/Commercial Low zone may be increased to an amount not to exceed .75 with approval of a Special Use Permit.

The proposed covered patio would occupy one parking space in the on-site lot, bringing the available off-street parking total to seven spaces.

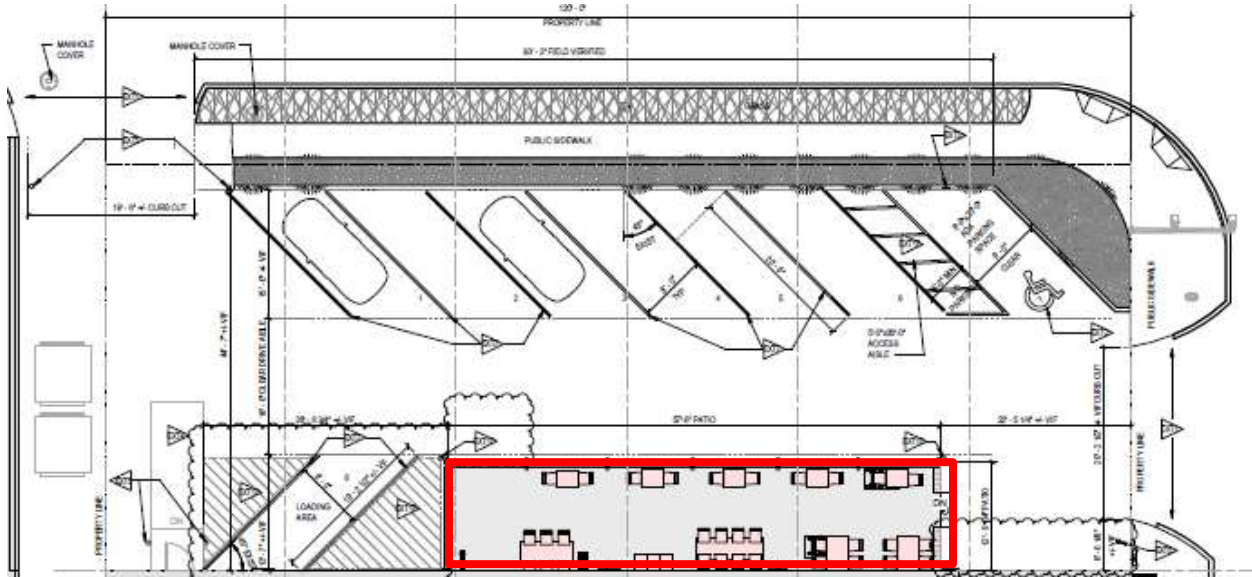


Figure 3: Proposed area to be covered and a patio constructed

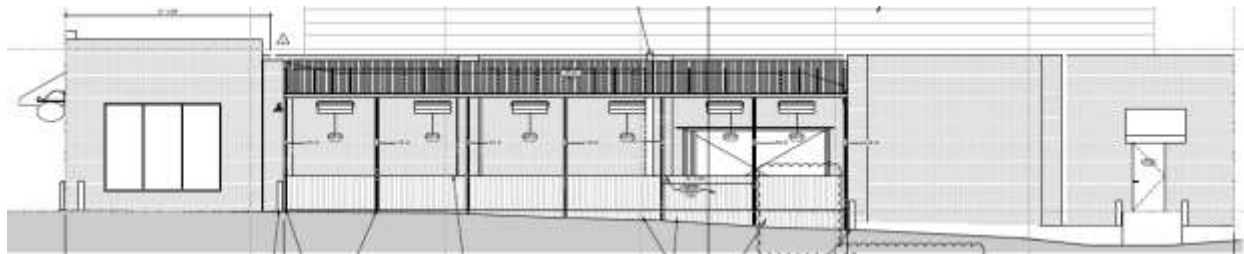


Figure 4: South facing patio elevation



Figure 5: West facing patio elevation

PARKING

The business currently occupies 5,348 square feet of floor area for a restaurant and is approved to operate up to 40 seats of outdoor dining. Pursuant to Section 8-200(A)(17)(a) of the Zoning Ordinance, a restaurant located within the City's Enhanced Transit Area is required to provide a minimum of one off-street parking space for every 1,000 square feet of floor area. Pursuant to Section 8-200(A)(17)(c) of the Zoning Ordinance, the first 20 outdoor seats are exempt from being factored into parking requirements, and the area occupied by each seat over 20 seats is calculated as 15 square feet per seat. With a maximum of 40 outdoor seats approved, this would constitute an additional 300 square feet for purposes of off-street parking requirement calculations. The existing 5,348 square foot indoor restaurant and the 300 square feet for outdoor dining, totaling 5,648 square feet, results in a parking requirement of six off-street spaces. The applicant meets this requirement via the seven off-street parking spaces which will be provided in their on-site surface parking lot.



*Figure 6: Future patio designated with barriers (left) and existing parking area (right)*

#### ZONING/MASTER PLAN DESIGNATION

The subject property is located within the CL/Commercial Low zone and the Mount Vernon Urban Overlay zone. Section 4-102.1 (B) of the Zoning Ordinance allows for a restaurant with outdoor dining up to 40 seats with approval of an Administrative Special Use Permit. Section 4-106(B)(1) states that the floor area ratio of a nonresidential property located within the CL/Commercial Low zone may be increased to an amount not to exceed .75 with Special Use Permit approval.

The proposed use is consistent with the Potomac West chapter of the Master Plan which designates the property for commercial use. It also complies with the Mount Vernon Avenue Business Area

Plan, which establishes a mix of residential, retail, and commercial uses in the Monroe Avenue Gateway area, promoting neighborhood-oriented restaurants.

## II. STAFF ANALYSIS

Staff supports the applicant's request for an increase in the permitted floor area ratio to .53 to accommodate the construction of a new covered outdoor dining patio addition at 1508 Mount Vernon Avenue. Staff finds that Special Use Permit criteria, as outlined in Section 11-504(A) of the Zoning Ordinance, are satisfied to allow the minor increase in FAR. The Special Use Permit request:

1. *Will not adversely affect the health or safety of persons residing or working in the neighborhood of the proposed use;*

The increased floor area and construction of a covered patio would have no adverse effects on the health and safety of adjacent residents and employees as the proposed use would not adversely affect the safety of the motoring public and of pedestrians using the facility and the area immediately surrounding the site. The new construction of a covered patio would be contained well within the property line and would be located away from adjacent residential uses. In addition, no aspect of the patio's construction would result in inadequate pedestrian and/or vehicular access. All required entrance and exit drives would be provided and designed so as to prevent traffic hazards. Furthermore, all aspects of the covered patio construction would need to comply with applicable building and fire codes, ensuring the safety of patrons, employees, and neighboring properties.

2. *Will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood; and*

Increasing the allowable floor area ratio to allow for the construction of the proposed covered patio would not adversely impact neighboring properties, and in fact, benefit the neighborhood by maintaining street vitality and providing outdoor dining along the Mount Vernon Avenue corridor year-round. Staff finds that the proposed increase in floor area ratio of 0.03 is quite modest and would not contribute to an overall appearance of excessive density at the site or otherwise adversely impact light conditions and air quality for neighboring properties. Furthermore, the proposed use will be constructed, arranged, and operated in such a way so as not to dominate the immediate vicinity or interfere with the development and use of neighboring properties as the covered patio's highest point would be below that of the roofline of the existing building and would be screened from nearby residential properties by both fencing and landscape elements.

3. *Will substantially conform to the master plan of the city.*

The Special Use Permit request is consistent with the recommended use of the site as a commercial property as envisioned in the Potomac West Small Area Plan and the

Mount Vernon Avenue Business Area Plan. The configuration of the proposed covered patio is in keeping with the building form and design approach recommendations for new construction as recommended in Section 6.2 of the Mount Vernon Business Area Plan, including the focus on new construction which reflects the scale of existing buildings, appropriate building setbacks to minimize impacts on adjacent residential properties, and ground level commercial storefronts which contribute to the vitality of the streetscape and the pedestrian experience.

Subject to the conditions stated in Section III of this report, staff recommends approval of the Special Use Permit request.



### III. RECOMMENDED CONDITIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The Special Use Permit shall be granted to the applicant only or to any business or entity in which the applicant has a controlling interest. (P&Z)
2. The roof and patio construction shall be consistent with the application materials submitted on January 25, 2024.
3. The Director of Planning and Zoning shall review the Special Use Permit one year after approval and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse zoning impact on the surrounding community; (b) the Director has received a request from any person to docket the permit for review as a result of a complaint that rises to the level of a violation; or (c) the Director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)

---

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a Special Use Permit by City Council or the special use permit shall become void.

#### IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

##### Transportation & Environmental Services:

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). In order to comply with this code requirement, the applicant shall provide a completed Recycling Implementation Plan (RIP) Form within 60 days of SUP approval. Contact the City's Recycling Program Coordinator at (703) 746-4410, or via e-mail at [commercialrecycling@alexandriava.gov](mailto:commercialrecycling@alexandriava.gov), for information about completing this form. (T&ES-DROW)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES-DROW)
- C-3 Section 5-1-42- Collection by Private collectors. (c) Time of collection. Solid waste shall be collected from all premises not serviced by the city at least once each week. No collections may be made between the hours of 11:00 p.m. and 7:00 a.m. (6:00 a.m. from May 1, through September 30) if the collection area is less than 500 feet from a residential area. (T&ES-DROW)

##### Code Enforcement:

- F-1 Building permit is required.

##### Fire:

No comments or concerns.

##### Parks and Recreation:

No comments or concerns.

##### Police Department:

No comments or concerns.

##### Health Department:

No comments or concerns.

STAFF: Tony LaColla, Division Chief, Land Use Services  
Ann Horowitz, Principal Planner  
Patrick Silva, Urban Planner



# APPLICATION

# SPECIAL USE PERMIT

**SPECIAL USE PERMIT #** \_\_\_\_\_

**PROPERTY LOCATION:** \_\_\_\_\_

**TAX MAP REFERENCE:** \_\_\_\_\_ **ZONE:** \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

**PROPOSED USE:** \_\_\_\_\_

THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

\_\_\_\_\_  
Print Name of Applicant or Agent

*Noe Landini*

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mailing/Street Address

\_\_\_\_\_  
Telephone #

\_\_\_\_\_  
Fax #

\_\_\_\_\_  
City and State

\_\_\_\_\_  
Zip Code

\_\_\_\_\_  
Email address

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner of \_\_\_\_\_, I hereby  
(Property Address)  
grant the applicant authorization to apply for the \_\_\_\_\_ use as  
(use)  
described in this application.

Name: \_\_\_\_\_ Phone \_\_\_\_\_

Please Print

Address: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: Noe Landini Date: \_\_\_\_\_

**1.** Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

**Required floor plan and plot/site plan attached.**

**Requesting a waiver. See attached written request.**

**2.** The applicant is the (check one):

Owner

Contract Purchaser

Lessee or

Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

---

---

---

---

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here.](#)

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

*Noe Landini*

Date
Printed Name
Signature

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

**Yes.** Provide proof of current City business license

**No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

## **NARRATIVE DESCRIPTION**

**3.** The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

## USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):
- a new use requiring a special use permit,
  - an expansion or change to an existing use without a special use permit,
  - an expansion or change to an existing use with a special use permit,
  - other. Please describe: \_\_\_\_\_

5. Please describe the capacity of the proposed use:

- A. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).

---

---

- B. How many employees, staff and other personnel do you expect?  
Specify time period (i.e., day, hour, or shift).

---

---

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

Hours:

---

---

---

---

---

---

---

---

7. Please describe any potential noise emanating from the proposed use.

- A. Describe the noise levels anticipated from all mechanical equipment and patrons.

---

---

- B. How will the noise be controlled?

---

---

**8.** Describe any potential odors emanating from the proposed use and plans to control them:

---

---

---

**9.** Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

---

---

B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

---

---

C. How often will trash be collected?

---

---

D. How will you prevent littering on the property, streets and nearby properties?

---

---

**10.** Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes.                       No.

If yes, provide the name, monthly quantity, and specific disposal method below:

---

---



**11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes.       No.

If yes, provide the name, monthly quantity, and specific disposal method below:

---

---

---

**12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?

---

---

---

**ALCOHOL SALES**

**13.** A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes       No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

---

---

---

---

**PARKING AND ACCESS REQUIREMENTS**

14. A. How many parking spaces of each type are provided for the proposed use:

- \_\_\_\_\_ Standard spaces
- \_\_\_\_\_ Compact spaces
- \_\_\_\_\_ Handicapped accessible spaces.
- \_\_\_\_\_ Other.

Planning and Zoning Staff Only  Required number of spaces for use per Zoning Ordinance Section 8-200A _____  Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No
---

B. Where is required parking located? (check one)

- on-site
- off-site

If the required parking will be located off-site, where will it be located?

\_\_\_\_\_

**PLEASE NOTE:** Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

**Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are available for the use? \_\_\_\_\_

Planning and Zoning Staff Only  Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____  Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No
--

B. Where are off-street loading facilities located? \_\_\_\_\_

\_\_\_\_\_

C. During what hours of the day do you expect loading/unloading operations to occur?

\_\_\_\_\_

\_\_\_\_\_

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

\_\_\_\_\_

\_\_\_\_\_

**16.** Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

\_\_\_\_\_

\_\_\_\_\_

## **SITE CHARACTERISTICS**

**17.** Will the proposed uses be located in an existing building?  Yes  No

Do you propose to construct an addition to the building?  Yes  No

How large will the addition be? \_\_\_\_\_ square feet.

**18.** What will the total area occupied by the proposed use be?

\_\_\_\_\_ sq. ft. (existing) + \_\_\_\_\_ sq. ft. (addition if any) = \_\_\_\_\_ sq. ft. (total)

**19.** The proposed use is located in: (*check one*)

a stand alone building

a house located in a residential zone

a warehouse

a shopping center. Please provide name of the center: \_\_\_\_\_

an office building. Please provide name of the building: \_\_\_\_\_

other. Please describe: \_\_\_\_\_

**End of Application**



## **Department of Planning & Zoning**

### **Special Use Permit Application Checklist**

#### **Supplemental application for the following uses:**

Automobile Oriented

Parking Reduction

Signs

Substandard Lot

Lot modifications requested with SUP use

#### **Interior Floor Plan**

Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

#### **If Applicable**

Plan for outdoor uses

#### **Contextual site image**

Show subject site, on-site parking area, surrounding buildings, cross streets



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

B

### A. Property Information

A1.  CL   
 Street Address Zone

A2.  x  =   
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	<input type="text" value="0.00"/>	Basement**	<input type="text" value="0.00"/>	B1. <input type="text" value="5,348.00"/> Sq. Ft. Existing Gross Floor Area*
First Floor	<input type="text" value="5,155.00"/>	Stairways**	<input type="text" value="0.00"/>	B2. <input type="text" value="207.00"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text" value="0.00"/>	Mechanical**	<input type="text" value="57.00"/>	B3. <input type="text" value="5,141.00"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	<input type="text" value="0.00"/>	Attic less than 7'***	<input type="text" value="0.00"/>	Comments for Existing Gross Floor Area <div style="border: 1px solid gray; height: 60px; width: 100%;"></div>
Attic	<input type="text" value="0.00"/>	Porches**	<input type="text" value="0.00"/>	
Porches	<input type="text" value="0.00"/>	Balcony/Deck**	<input type="text" value="0.00"/>	
Balcony/Deck	<input type="text" value="0.00"/>	Lavatory***	<input type="text" value="150.00"/>	
Lavatory***	<input type="text" value="193.00"/>	Other**	<input type="text" value="0.00"/>	
Other**	<input type="text" value="0.00"/>	Other**	<input type="text" value="0.00"/>	
<b>B1. Total Gross</b>	<input type="text" value="5,348.00"/>	<b>B2. Total Exclusions</b>	<input type="text" value="207.00"/>	

### C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	<input type="text" value="0.00"/>	Basement**	<input type="text" value="0.00"/>	C1. <input type="text" value="720.00"/> Sq. Ft. Proposed Gross Floor Area*
First Floor	<input type="text" value="720.00"/>	Stairways**	<input type="text" value="0.00"/>	C2. <input type="text" value="0.00"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text" value="0.00"/>	Mechanical**	<input type="text" value="0.00"/>	C3. <input type="text" value="720.00"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	<input type="text" value="0.00"/>	Attic less than 7'***	<input type="text" value="0.00"/>	
Attic	<input type="text" value="0.00"/>	Porches**	<input type="text" value="0.00"/>	
Porches	<input type="text" value="0.00"/>	Balcony/Deck**	<input type="text" value="0.00"/>	
Balcony/Deck	<input type="text" value=""/>	Lavatory***	<input type="text" value="0.00"/>	
Lavatory***	<input type="text" value="0.00"/>	Other**	<input type="text" value=""/>	
Other	<input type="text" value="0.00"/>	Other**	<input type="text" value="0.00"/>	
<b>C1. Total Gross</b>	<input type="text" value="720.00"/>	<b>C2. Total Exclusions</b>	<input type="text" value="0.00"/>	

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

### D. Total Floor Area

D1.  Sq. Ft.  
Total Floor Area (add B3 and C3)

D2.  Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

### E. Open Space (RA & RB Zones)

E1.  Sq. Ft.  
Existing Open Space

E2.  Sq. Ft.  
Required Open Space

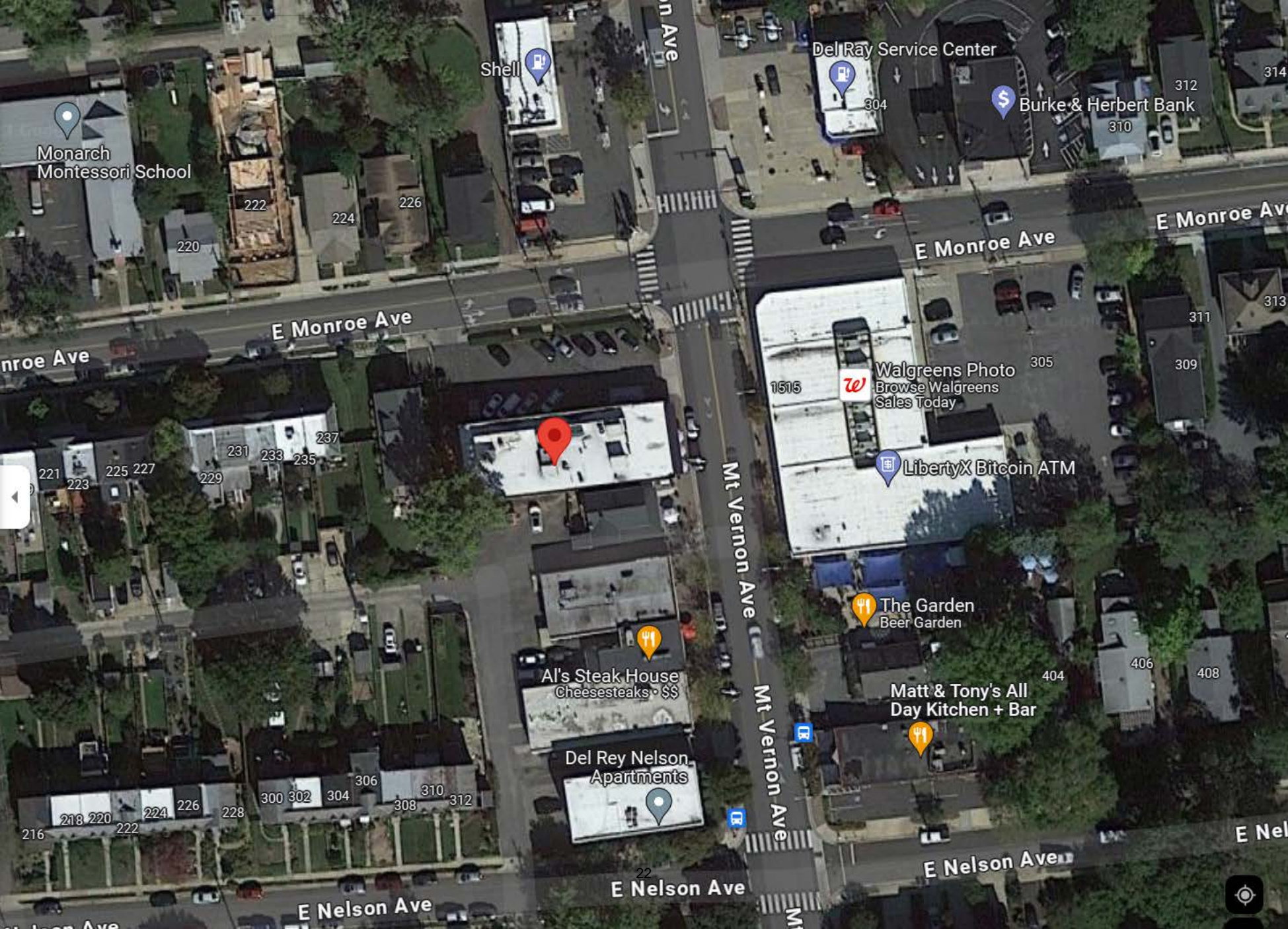
E3.  Sq. Ft.  
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

Revised

Date: 01/25/2024



Monarch Montessori School

Shell

Del Ray Service Center

Burke & Herbert Bank

E Monroe Ave

E Monroe Ave

E Monroe Ave

rore Ave

Walgreens Photo  
Browse Walgreens  
Sales Today

LibertyX Bitcoin ATM

Mt Vernon Ave

Mt Vernon Ave

The Garden  
Beer Garden

Al's Steak House  
Cheesesteaks • \$\$

Matt & Tony's All  
Day Kitchen + Bar

Del Rey Nelson  
Apartments

E Nelson Ave

E Nelson Ave

E Nelson Ave

E Nelson Ave

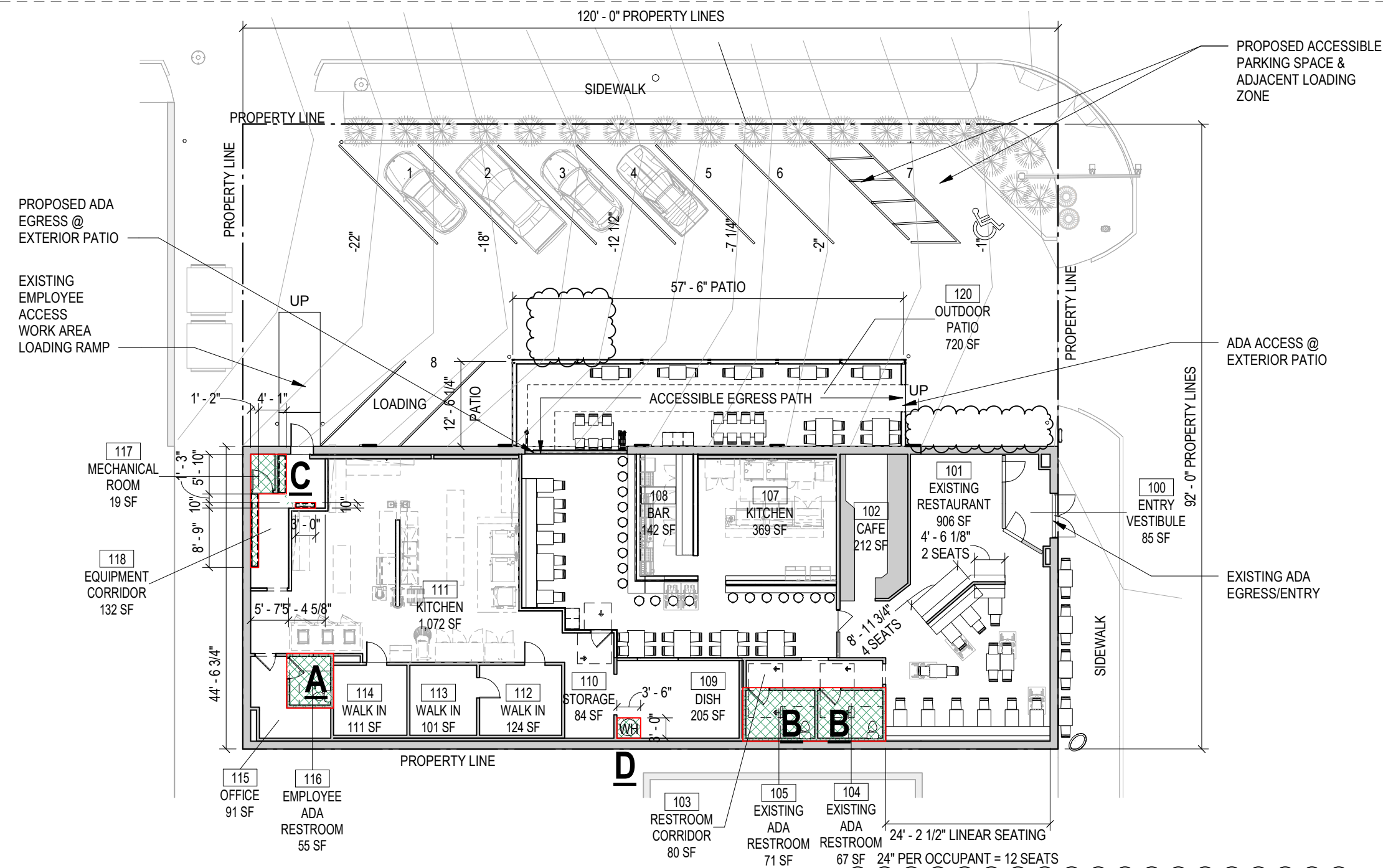


3299 K Street NW, Suite 300  
 WASHINGTON DC 20007  
 [T] 202.350.4244  
 [F] 202.350.4245  
 [W] 3877.design

**Revised**

01/25/2024 3:34:59 PM

**NOT FOR CONSTRUCTION**



**PARKING COUNTS PER ALEXANDRIA ZONING ARTICLE VIII SECTION 8-100-17**

WITHIN THE ENHANCED TRANSIT AREA:  
 (a) i. 1.0 SPACE PER 1,000 SF OF [INTERIOR] FLOOR AREA [4,777 SF: BUILDING FAR INCLUDING EXCEPTIONS]  
 (c) FOR OUTDOOR DINING AREAS, THE FIRST 20 OUTDOOR SEATS SHALL BE EXEMPT FROM THE PARKING REQUIREMENT. THE AREA OCCUPIED BY EACH SEAT OVER 20 SHALL BE CALCULATED AS 15 SF/SEAT. [40 TOTAL OUTDOOR SEATS]

(a) 4,777 SF / 1,000 = 4.8      5 PARKING SPACES  
 (c) 20 PEOPLE x 15 SF/SEAT = 300 SF      1 PARKING SPACE

**TOTAL**

**6 TOTAL SPACES REQUIRED,  
 8 PROVIDED INCLUDING ADA + LOADING**

**SEAT COUNTS**

INTERIOR:	33 EXISTING CAFE 20 BAR SEATS 28 DINING SEATS
EXTERIOR:	8 EXISTING AT FRONT 32 ENCLOSED PATIO
<b>TOTAL</b>	<b>121 (TOTAL INTERIOR: 81, TOTAL EXTERIOR 40)</b>

**ALEXANDRIA ZONING FLOOR AREA CALCULATIONS ARTICLE II SECTION 2-145-B - ZONE CL**

EXISTING BUILDING SF INCLUDING EXTERIOR WALLS:	5,348 SF
EXTERIOR PATIO ADDITION SF (INCLUDING STAIR)	+720 SF
<b>A</b> EMPLOYEE RESTROOM (EXCEPTION 3)	-50 SF
<b>B</b> FOH GUEST BATHROOM (EXCEPTION 3)	-100 SF
<b>C</b> UTILITY CLOSET AND BOH UTILITY CORRIDOR (EXCEPTION 2)	-46 SF
<b>D</b> WATER HEATER & SERVICE AREA (EXCEPTION 2)	-11 SF
<b>BUILDING SF INCLUDING EXCEPTIONS (0.53 FAR)</b>	<b>5,861 SF</b>
<b>MAX SF TO MEET 0.50 FAR (PROPERTY AREA: 11,040 SF)</b>	<b>5,520 SF</b>

SHEET TITLE: FLOOR PLAN - ZONING

PROJECT NO: 2020.72  
 ISSUE: SUP REVISION 25 JAN 2024

SCALE: 1/16" = 1'-0"  
 PROJECT: JUNCTION BAKERY - ALEXANDRIA  
 ADDRESS: 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

**SUP-1**

**VOID**

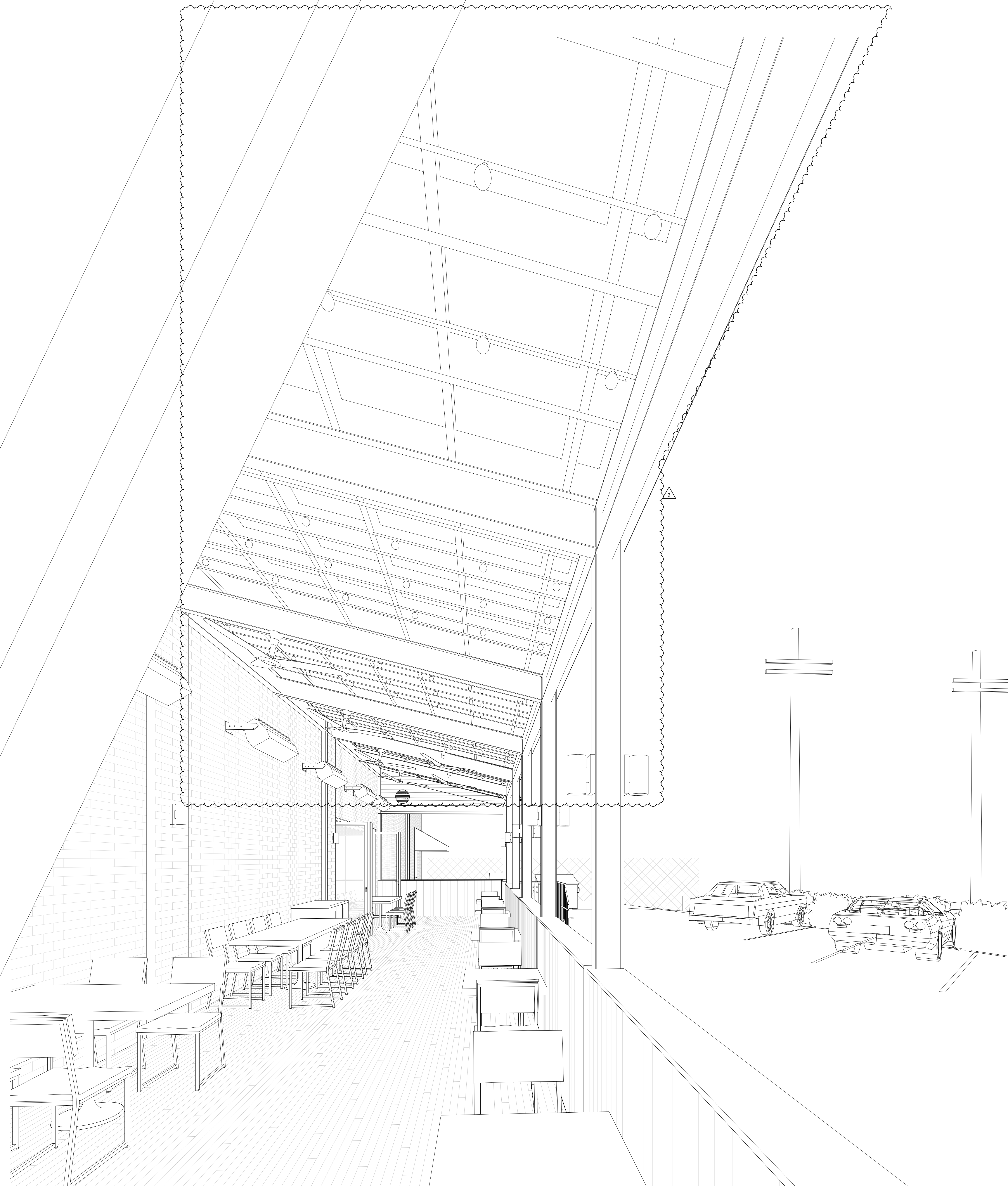
02/16/2024

**1508 MT VERNON AVENUE  
ALEXANDRIA, VA 22301**

**ISSUED FOR PERMIT**

**6/19/2023**

**//3877**



**//3877**  
www.3877.design

COPYRIGHT NOTICE:  
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

**OWNER:**  
BAKER'S BREAD LLC  
115 KING STREET  
ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
TECH 24  
5258 EISENHOWER AVE  
ALEXANDRIA, VA 22304  
TEL 571.233.8585  
WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
//3877  
3333 K STREET NW, SUITE 60  
WASHINGTON DC 20007  
TEL 202.350.4244  
WWW.3877.DESIGN

**MEP ENGINEER:**  
BUILT ENVIRONMENT ENGINEERS  
681 ELM STREET  
SUITE 20  
MCLEAN, VA 22101  
TEL 703.888.0648  
WWW.BEENGRS.COM

**STRUCTURAL ENGINEER:**  
EHLERT BRYAN  
8028 WESTWOOD CENTER DRIVE  
SUITE 600  
TYSONS, VA 22182  
TEL 703.884.1028  
WWW.EHLERT-BRYAN.COM



**ISSUED FOR PERMIT**

DRAWING DATA

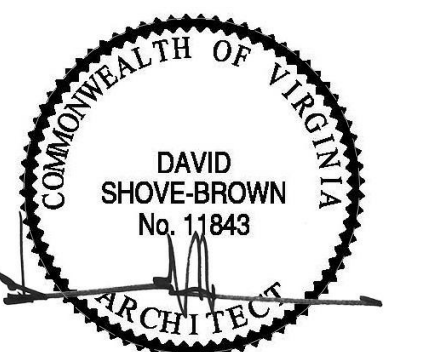
PROJECT: **JUNCTION BAKERY -  
ALEXANDRIA**

ADDRESS: **1508 MT VERNON AVENUE  
ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX  
• INTERIOR PERMIT - 3.31.2023  
• EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023

SEAL & SIGNATURE:



SHEET TITLE: COVER SHEET

PROJECT NO: 2020.72

DATE ISSUED: 02/08/23

SCALE:

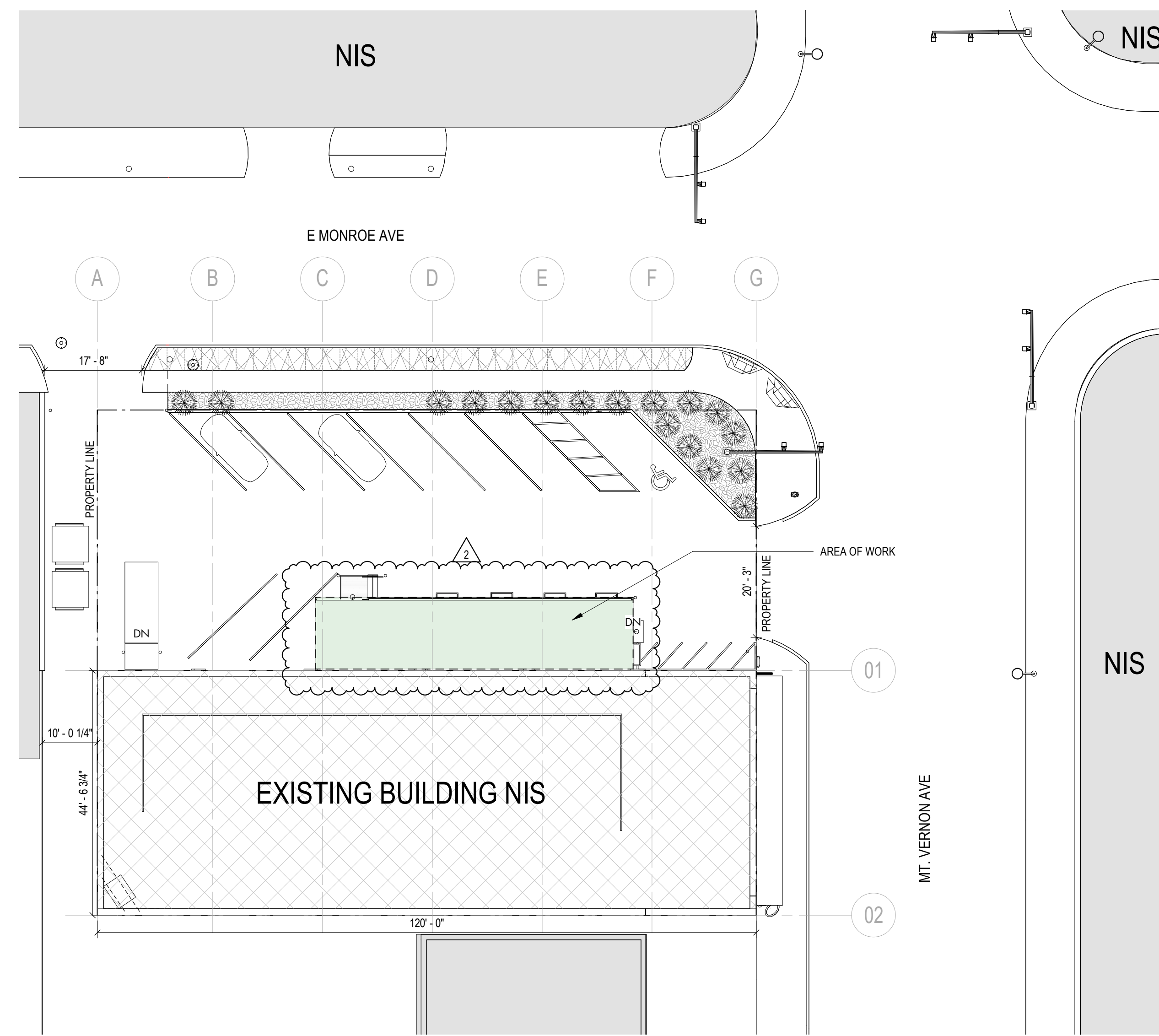
**000EXT**



KEY PLAN

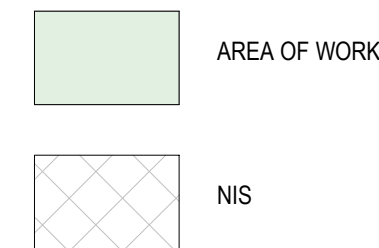
**VOID**

02/16/2024

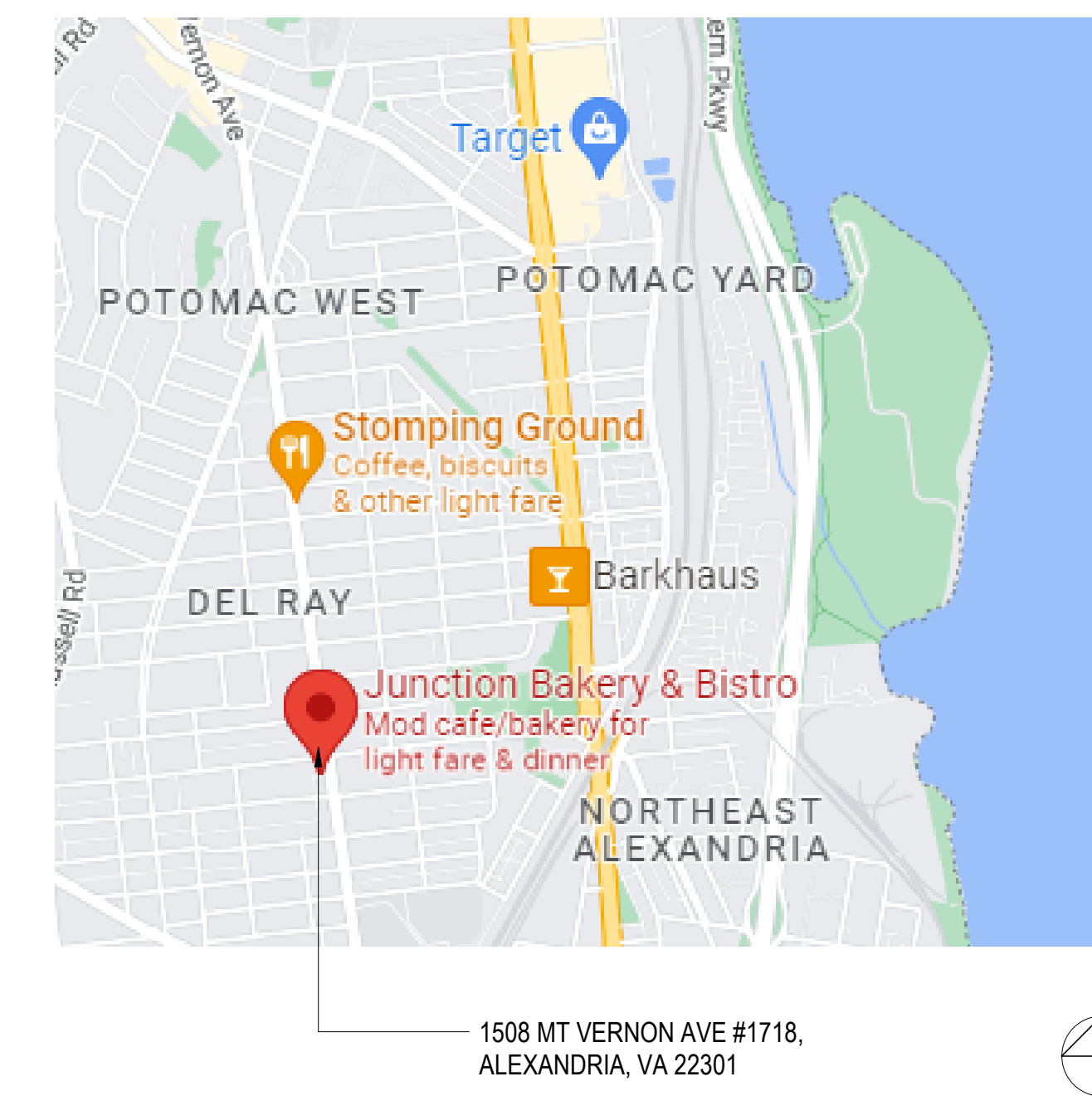


1 KEY PLAN  
1/16" = 1'-0"

LEGEND



BUILDING LOCATION



SCOPE OF WORK

THIS WORK CONSISTS OF A REVISION TO AN EXISTING BAKERY/RESTAURANT AND CONTAINS EXTERIOR WORK ONLY.  
**JUNCTION BAKERY IS TO BE LOCATED AT 1508 MT VERNON AVE, ALEXANDRIA, VA 22301**  
 THE AREA OF WORK IS 759 SF EXTERIOR  
 NOTE PREVIOUSLY APPROVED SUP. #2023-00012  
 NOTE PREVIOUSLY APPROVED EXTERIOR PERMIT: #BLDC2023-00284  
 THIS WORK INCLUDES BUT IS NOT LIMITED TO:  
 • EXTERIOR CANOPY COVERING FOR PATIO WITH CORRESPONDING OVERHEAD FANS AND LIGHTING  
 • REVISED EXTERIOR HEATER SPEC TO BE GAS POWERED  
 NOT INCLUDED IN THIS PERMIT SUBMISSION:  
 ALL INTERIOR WORK INCLUDED IN SEPARATE INTERIOR PERMIT SUBMISSION

PROJECT DIRECTORY

**CLIENT:**  
 JUNCTION BAKERY  
 NOE LANDINI  
 1508 MT VERNON AVE  
 ALEXANDRIA, VA 22301

**BUILDING OWNER:**  
 JUNCTION BAKERY  
 NOE LANDINI  
 115 KING STREET  
 ALEXANDRIA, VA 22314

**ARCHITECT:**  
 /3877  
 DAVID SHOVE-BROWN, AIA  
 3333 K STREET NW  
 SUITE 60  
 WASHINGTON, DC 20007  
 (T) 202.350.4244  
 (W) 3877.DESIGN

**MEP ENGINEER:**  
 BUILT ENVIRONMENT ENGINEERS  
 MILTON HARRIS  
 6861 ELM STREET, SUITE 2D  
 MCLEAN, VA 22131  
 (T) 703.888.0649

**GENERAL CONTRACTOR:**  
 TECH 24  
 VIC BONOMI  
 5256 EISENHOWER AVE  
 ALEXANDRIA, VA 22304  
 (T) 571.233.8585  
 (W) WWW.TECH24CONSTRUCTION.COM

**STRUCTURAL ENGINEER:**  
 EHLERT BRYAN  
 BENJAMIN GUNDEL, PE, SE  
 8609 WESTWOOD CENTER DRIVE  
 SUITE 800  
 TYSONS, VA 22182  
 (T) 703.749.7941  
 (W) WWW.EHLERT-BRYAN.COM

SHEET INDEX

Sheet Number	Sheet Name	PERMIT 3.31.2023	PERMIT 6.19.2023
000EXT	COVER SHEET	•	•
A002EXT	PROJECT INFORMATION	•	•
A030EXT	SCHEDULES	•	•
A100EXT	SITE PLAN	•	•
A101EXT	LEVEL 1 - PLANS	•	•
A200EXT	EXTERIOR ELEVATIONS	•	•
A201EXT	PATIO ELEVATIONS	•	•
A501EXT	CONSTRUCTION DETAILS	•	•
S101EXT	STRUCTURAL NOTES, PARTIAL FOUNDATION AND FRAMING PLANS	•	•
S201EXT	FRAMING SECTIONS	•	•
EXTE-101	LIGHTING PLAN	•	•
EXTE-201	POWER PLAN	•	•
EXTE-601	PANEL SCHEDULES AND POWER RISER	•	•
EXTP-001	GENERAL NOTES SYMBOLS ABBREVIATIONS	•	•
EXTP-101	LEVEL 1 - NEW WORK PLAN	•	•

TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS

CONSTRUCTION TYPE IIIB

BUILDING ELEMENT	REQUIRED	PROVIDED
PRIMARY STRUCTURAL FRAME (*g)	0	0 ETR
EXTERIOR BEARING WALLS (*f, *g)	2	2 ETR
INTERIOR BEARING WALLS	0	0 ETR
EXTERIOR NONBEARING WALLS/PARTITIONS	Per Table 602	0 ETR
INTERIOR NONBEARING WALLS/PARTITIONS (*e)	0	0 ETR
FLOOR CONSTRUCTION AND ASSOC. SECONDARY MEMBERS (See Section 202)	0	0 ETR
ROOF CONSTRUCTION AND ASSOC. SECONDARY MEMBERS (See Section 202)	0	0 ETR

a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.  
 b. Except in Group F-1, H, M and S-1 occupancies, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.  
 c. In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required.  
 d. Not less than the fire-resistance rating required by other sections of this code.  
 e. Not less than the fire-resistance rating based on fire separation distance (see Table 602).  
 f. Not less than the fire-resistance rating as referenced in Section 704.10

CODE INFORMATION

ADDRESS: 1508 MOUNT VERNON AVE, ALEXANDRIA, VA 22301  
 ZONE DISTRICT: CL  
 MAP: 043.02  
 BLOCK: 09  
 LOT: 13  
 USE GROUP: ASSEMBLY A-2  
 CONSTRUCTION TYPE: IIIB  
 ALTERATION LEVEL: LEVEL 2  
 EXISTING NUMBER OF STORIES: 1 ABOVE GRADE  
 PROJECT STORIES: 1 ABOVE GRADE  
 GROSS SF: 5368 SF  
 USE: BUSINESS (ASSEMBLY WITH OCCUPANCY LESS THAN 50 PEOPLE)  
 F-1 BAKERY  
 NOTE: PER §508.3, THE BUILDING IS DEFINED AS A NON SEPARATED OCCUPANCY. PER TABLE 508.4 NO SEPARATION IS REQUIRED BETWEEN USE GROUPS B (BUSINESS) AND F-1 (FACTORY)  
 0 HOURS  
 FIRE SEPARATION REQUIREMENT  
 PROPOSED NUMBER OF STORIES: 1 ABOVE GRADE (NO CHANGE)  
 PROJECT STORIES: 1 ABOVE GRADE (NO CHANGE)  
 GROSS SF: 5368 SF (INTERIOR) (NO CHANGE)  
 USE: A-2 RESTAURANT  
 OCCUPANCY SEPARATION: NONE NEEDED, ALL A-2 USE  
 FIRE SEPARATION REQUIREMENT: 0 HOURS  
 AREA OF WORK: 1280 SF EXTERIOR  
 AUTOMATIC SPRINKLER: NO (NO CHANGE)  
**APPLICABLE CODES:**  
 2018 VIRGINIA BUILDING AND FIRE CODE RELATED REGULATIONS  
 2018 VIRGINIA CONSTRUCTION CODE  
 2018 VIRGINIA STATEWIDE FIRE PREVENTION CODE  
 2018 VIRGINIA ENERGY CONSERVATION CODE  
 2018 VIRGINIA EXISTING BUILDING CODE  
 2018 VIRGINIA FUEL GAS CODE  
 2018 VIRGINIA MECHANICAL CODE  
 2018 VIRGINIA PLUMBING CODE  
 2018 INTERNATIONAL FIRE CODE  
 NATIONAL ELECTRICAL CODE 2017 OF VIRGINIA, NFPA 70, 2017 WITH AMENDMENTS



COPYRIGHT NOTICE:  
 STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

**OWNER:**  
 BAKER'S BREAD LLC  
 115 KING STREET  
 ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
 TECH 24  
 5256 EISENHOWER AVE  
 ALEXANDRIA, VA 22304  
 (T) 571.233.8585  
 (W) WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
 /3877  
 3333 K STREET NW, SUITE 60  
 WASHINGTON DC 20007  
 (T) 202.350.4244  
 (W) WWW.3877.DESIGN

**MEP ENGINEER:**  
 BUILT ENVIRONMENT ENGINEERS  
 6861 ELM STREET  
 SUITE 2D  
 MCLEAN, VA 22101  
 (T) 703.888.0649  
 (W) WWW.BEENGRS.COM

**STRUCTURAL ENGINEER:**  
 EHLERT BRYAN  
 8609 WESTWOOD CENTER DRIVE  
 SUITE 800  
 TYSONS, VA 22182  
 (T) 703.884.1028  
 (W) WWW.EHLERT-BRYAN.COM

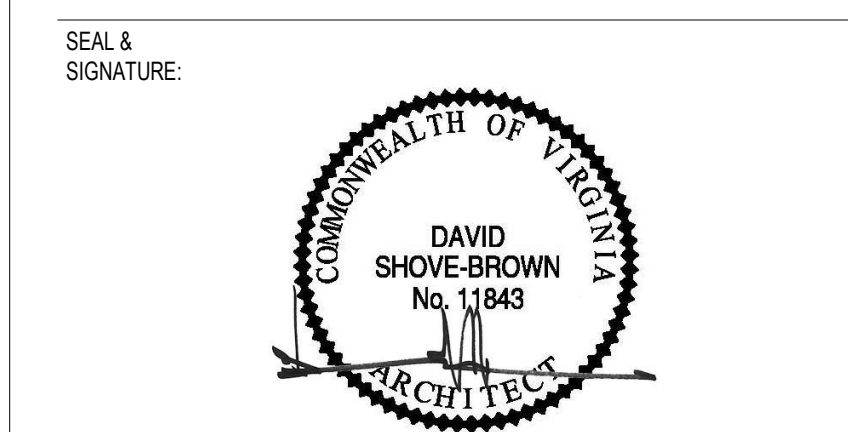


ISSUED FOR PERMIT

DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**  
 ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**  
 SHEET SUBMISSION INDEX  
 • EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023

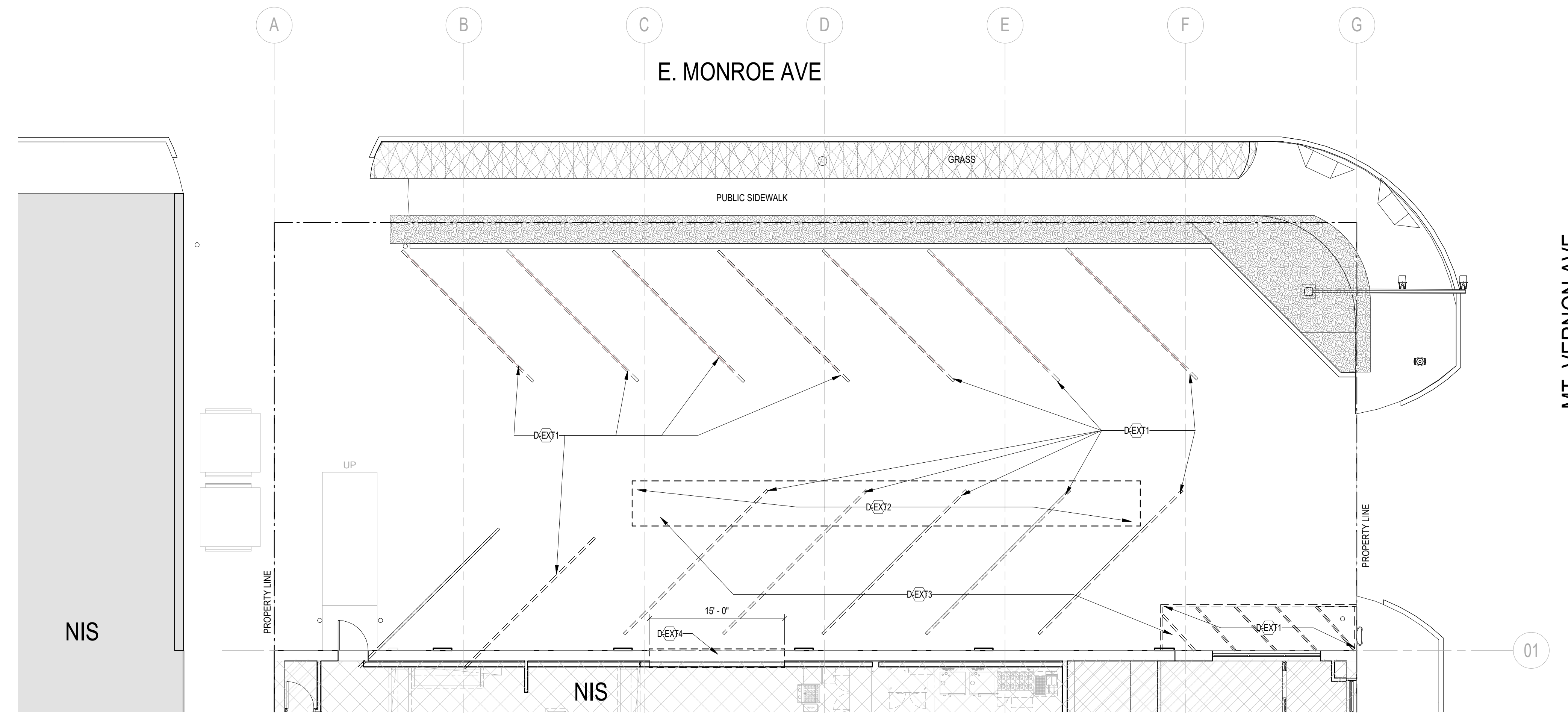


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE No: 11843

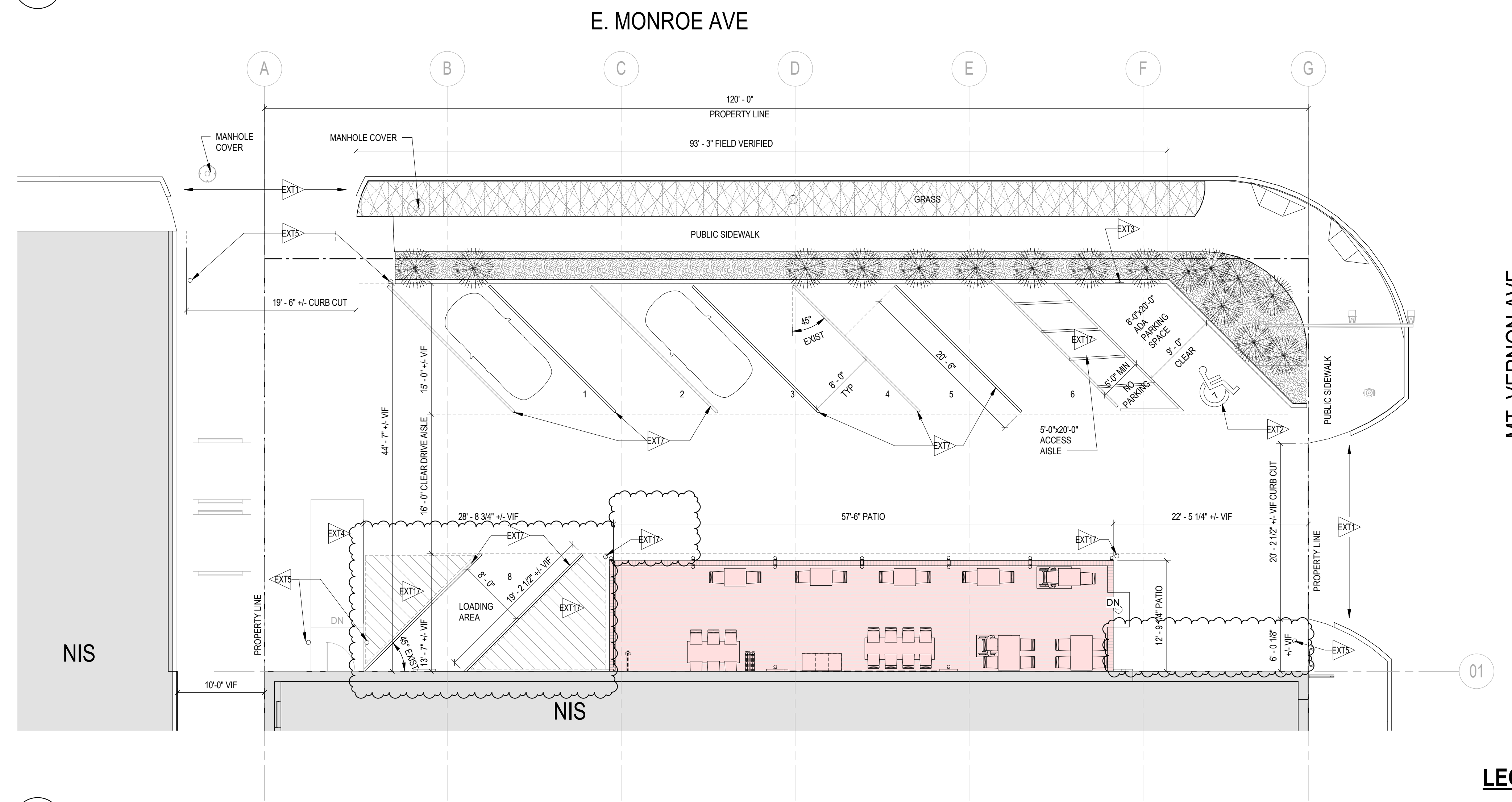
SHEET TITLE: PROJECT INFORMATION  
 PROJECT NO: 2020.72  
 DATE ISSUED: 02/08/23  
 SCALE: As indicated

**A002EXT**





2 EXTERIOR DEMO LEVEL 01 - FLOOR PLAN  
1/8" = 1'-0"



1 EXTERIOR SITE PLAN  
1/8" = 1'-0"

D-EXT#	KEY NOTES (DEMOLITION) - EXTERIOR DEMO PLAN
D-EXT1	REMOVE EXISTING PARKING LINES IN THIS AREA.
D-EXT2	COORDINATE SITE DEMO WITH STRUCTURAL.
D-EXT3	GC TO REMOVE AND SALVAGE EXISTING SITE FURNISHINGS. COORDINATE STORAGE WITH OWNER. PRESERVE AND PROTECT EXISTING PLANTERS FOR REINSTALLATION.
D-EXT4	REMOVE PORTION OF EXTERIOR MASONRY WALL. COORDINATE EXTENTS WITH NEW WORK. PROVIDE SHORING PER STRUCTURAL. SEE STRUCTURAL FOR MORE INFO.

EXT#	KEY NOTES - ARCHITECTURAL - EXTERIOR
EXT1	EXISTING CURB CUT TO REMAIN.
EXT2	GC TO INSTALL PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY.
EXT3	GC TO INSTALL INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SIGN ON POST. CENTER ON PARKING SPACE.
EXT4	EXISTING EMPLOYEE LOADING RAMP. EMPLOYEE WORK AREA NOT IN SCOPE.
EXT5	EXISTING BOLLARD TO REMAIN.
EXT6	PROVIDE PAINTED NO PARKING AREA WITH ANGLED STRIPES. COORDINATE STRIPING WITH COUNTY REQUIREMENTS.
EXT7	REMOVE PARKING LINES IN LOCATIONS SHOWN.
EXT8	NOT USED.
EXT9	REINSTALL EXISTING OWNER PLANTER.
EXT10	VFY ELECTRICAL HEATER CLEARANCES W/ MFR PRIOR TO ROUGH IN AND PLACEMENT.
EXT11	POS LOCATION - COORDINATE POWER + DATA REQTS W/ OWNER VENDOR.
EXT12	ALIGN PATIO EXTENTS TO EDGES OF EXIST. EXTERIOR COLUMNS.
EXT13	GC TO COORDINATE CONTINUING GUTTER PATHWAY THROUGH PAVEMENT SYSTEM.
EXT14	GC TO INSTALL SCHWANK CONTROL AT BACK BAR. ADJACENT TO LIGHTING CONTROL.
EXT15	WOOD CANOPY STRUCTURE PER STRUCTURAL AND PER DETAILS.
EXT16	DIRECTIONALITY OF CORRUGATED ROOF ABOVE. SEE DETAILS.
EXT17	GC TP PROVIDE ADD-ALT PRICING FOR CONCRETE BOLLARD IN THIS LOCATION.

GENERAL NOTES - EXTERIOR

- A. AREAS SHOWN AS GRAY/NC ARE OUTSIDE SCOPE OF WORK.
- B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
- C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
- D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
- E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
- F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
- H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
- I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
- J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
- K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FILED BEFORE STARTING WORK.

LEGEND

- NOT INCLUDED IN THIS PERMIT SUBMISSION



COPYRIGHT NOTICE:  
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

**OWNER:**  
BAKER'S BREAD LLC  
115 KING STREET  
ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
TECH 24  
5258 EISENHOWER AVE  
ALEXANDRIA, VA 22304  
(71) 571.233.8585  
(W) WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
/3877  
3333 K STREET NW, SUITE 60  
WASHINGTON DC 20007  
(71) 202.350.4244  
(W) WWW.3877.DESIGN

**MEP ENGINEER:**  
BUILT ENVIRONMENT ENGINEERS  
681 ELM STREET  
SUITE 20  
MCLEAN, VA 22101  
(71) 703.888.0549  
(W) WWW.BEENGERS.COM

**STRUCTURAL ENGINEER:**  
EHLERT BRYAN  
808 WESTWOOD CENTER DRIVE  
SUITE 600  
TYSONS, VA 22182  
(71) 703.884.1028  
(W) WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**

ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX  
○ EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUPEXTERIOR PERMIT REVISION	25 JAN 2024

REVISED 1/25/2024

SEAL & SIGNATURE:



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE NO: 11843

SHEET TITLE: SITE PLAN

PROJECT NO: 2020.72

DATE ISSUED: 02/08/23

SCALE: As indicated

A100EXT

**COPYRIGHT NOTICE:**  
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

**OWNER:**  
BAKER'S BREAD LLC  
115 KING STREET  
ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
TECH 24  
5256 EISENHOWER AVE  
ALEXANDRIA, VA 22304  
(71) 571.233.8585  
(W) WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
/3877  
3333 K STREET NW, SUITE 60  
WASHINGTON, DC 20007  
(71) 202.350.4244  
(W) WWW.3877.DESIGN

**MEP ENGINEER:**  
BUILT ENVIRONMENT ENGINEERS  
6861 ELM STREET  
SUITE 20  
MCLEAN, VA 22101  
(71) 703.888.0548  
(W) WWW.BEENGERS.COM

**STRUCTURAL ENGINEER:**  
EHLERT BRYAN  
8008 WESTWOOD CENTER DRIVE  
SUITE 600  
TYSONS, VA 22182  
(71) 703.884.1028  
(W) WWW.EHLERT-BRYAN.COM



**ISSUED FOR PERMIT**

**DRAWING DATA**

**PROJECT:** JUNCTION BAKERY - ALEXANDRIA  
**ADDRESS:** 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

**SHEET SUBMISSION INDEX**  
○ EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUPEXTERIOR PERMIT REVISION	25 JAN 2024

**REVISED 1/25/2024**

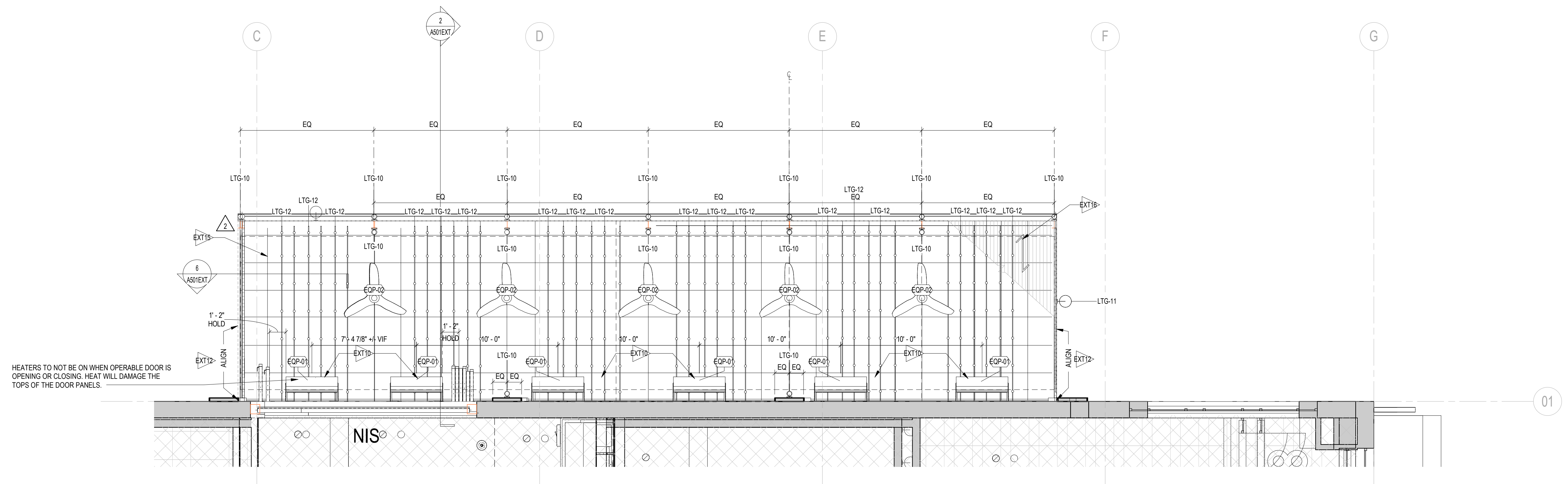
**SEAL & SIGNATURE:**



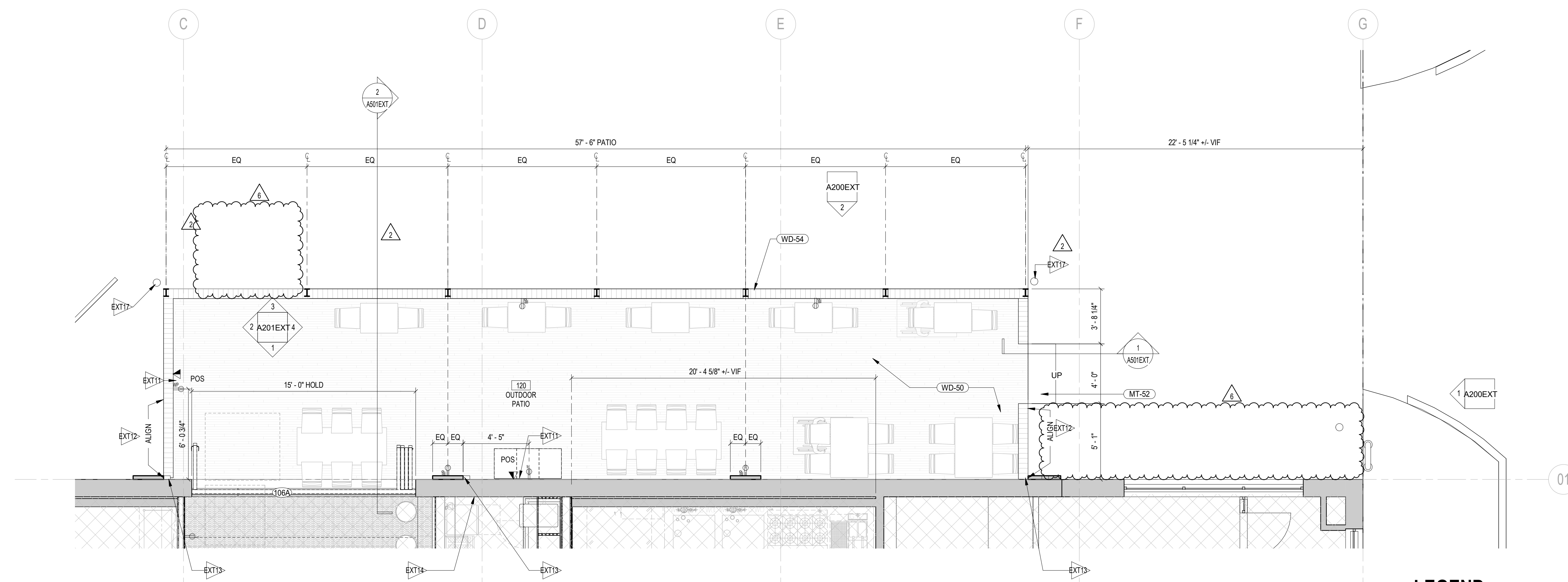
**PROFESSIONAL CERTIFICATION:** I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE NO. 11843

**SHEET TITLE:** LEVEL 1 - PLANS  
**PROJECT NO:** 2020.72  
**DATE ISSUED:** 02/08/23  
**SCALE:** As indicated

**A101EXT**




**2 EXTERIOR LEVEL 01 - RCP**  
1/4" = 1'-0"



**1 EXTERIOR LEVEL 01 - FLOOR PLAN**  
1/4" = 1'-0"

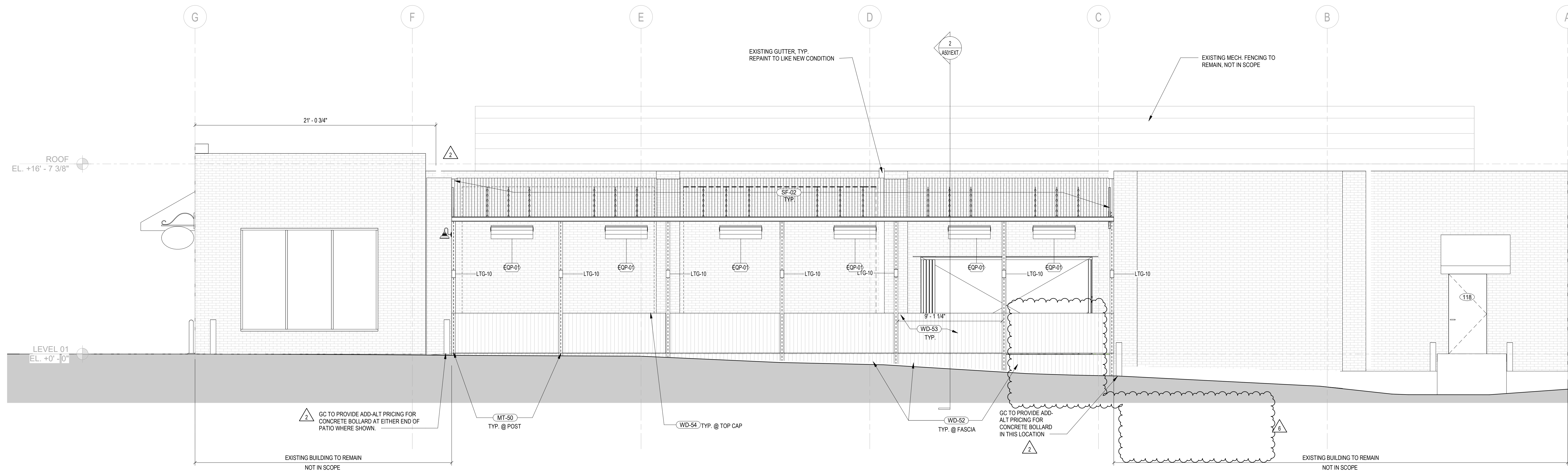
**LEGEND**

 NOT INCLUDED IN THIS PERMIT SUBMISSION

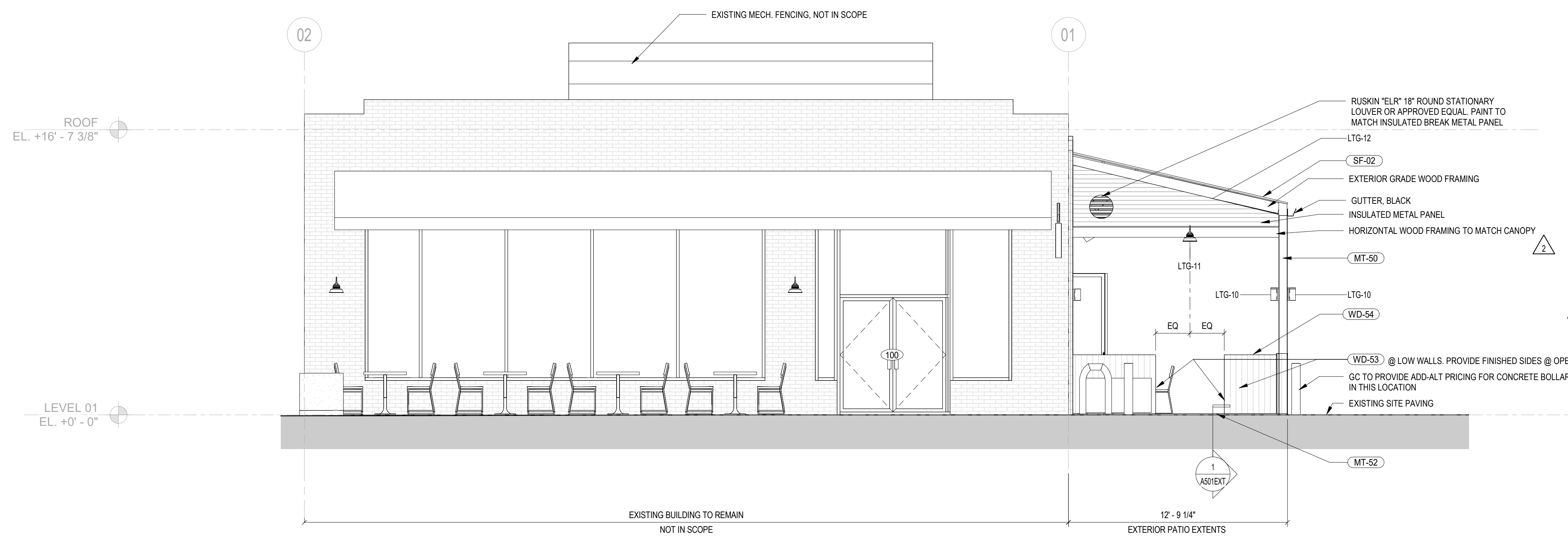
EXT#	KEY NOTES - ARCHITECTURAL - EXTERIOR
EXT1	EXISTING CURB CUT TO REMAIN
EXT2	GC TO INSTALL PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY
EXT3	GC TO INSTALL INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SIGN ON POST, CENTER ON PARKING SPACE
EXT4	EXISTING EMPLOYEE LOADING RAMP. EMPLOYEE WORK AREA NOT IN SCOPE.
EXT5	EXISTING BOLLARD TO REMAIN
EXT6	PROVIDE PAINTED NO PARKING AREA WITH ANGLED STRIPES, COORDINATE STRIPING WITH COUNTY REQUIREMENTS
EXT7	REMOVE PARKING LINES IN LOCATIONS SHOWN
EXT8	NOT USED
EXT9	REINSTALL EXISTING OWNER PLANTER
EXT10	VFY ELECTRICAL HEATER CLEARANCES W/ MFR PRIOR TO ROUGH IN AND PLACEMENT
EXT11	POS LOCATION - COORDINATE POWER + DATA REQTS W/ OWNER VENDOR
EXT12	ALIGN PATIO EXTENTS TO EDGES OF EXIST. EXTERIOR COLLENS
EXT13	GC TO COORDINATE CONTINUING GUTTER PATHWAY THROUGH PAVEMENT SYSTEM
EXT14	GC TO INSTALL SCHWANK CONTROL AT BACK BAR, ADJACENT TO LIGHTING CONTROL
EXT15	WOOD CANOPY STRUCTURE PER STRUCTURAL AND PER DETAILS
EXT16	DIRECTIONALITY OF CORRUGATED ROOF ABOVE, SEE DETAILS
EXT17	GC TP PROVIDE ADD-ALT PRICING FOR CONCRETE BOLLARD IN THIS LOCATION

**GENERAL NOTES - EXTERIOR**

- A. AREAS SHOWN AS GRAY/INK ARE OUTSIDE SCOPE OF WORK.
- B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
- C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
- D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
- E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
- F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
- H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
- I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
- J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
- K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FILED BEFORE STARTING WORK.



**2** EXTERIOR ELEVATION - SIDE ELEVATION  
1/4" = 1'-0"



**1** EXTERIOR ELEVATION - FRONT  
1/4" = 1'-0"

GENERAL NOTES - EXTERIOR

- A. AREAS SHOWN AS GRAY/NIC ARE OUTSIDE SCOPE OF WORK.
- B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
- C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
- D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
- E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
- F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
- H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
- I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
- J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
- K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FIELD BEFORE STARTING WORK.



COPYRIGHT NOTICE:  
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

OWNER:  
BAKER'S BREAD LLC  
115 KING STREET  
ALEXANDRIA, VA 22314

GENERAL CONTRACTOR:  
TECH 24  
5256 EISENHOWER AVE  
ALEXANDRIA, VA 22304  
(71) 571.233.8585  
(W) WWW.TECH24CONSTRUCTION.COM

ARCHITECT:  
/3877

3333 K STREET NW, SUITE 60  
WASHINGTON DC 20007  
(71) 202.350.4244  
(W) WWW.3877DESIGN.COM

MEP ENGINEER:  
BUILT ENVIRONMENT ENGINEERS  
6861 ELM STREET  
SUITE 20  
MCLEAN, VA 22101  
(71) 703.888.0546  
(W) WWW.BEENGERS.COM

STRUCTURAL ENGINEER:  
EHLERT BRYAN  
8008 WESTWOOD CENTER DRIVE  
SUITE 800  
TYSONS, VA 22182  
(71) 703.884.1028  
(W) WWW.EHLERT-BRYAN.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**

ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX  
○ EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUPEXTERIOR PERMIT REVISION	25 JAN 2024

REVISED 1/25/2024

SEAL & SIGNATURE:



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE No: 11843

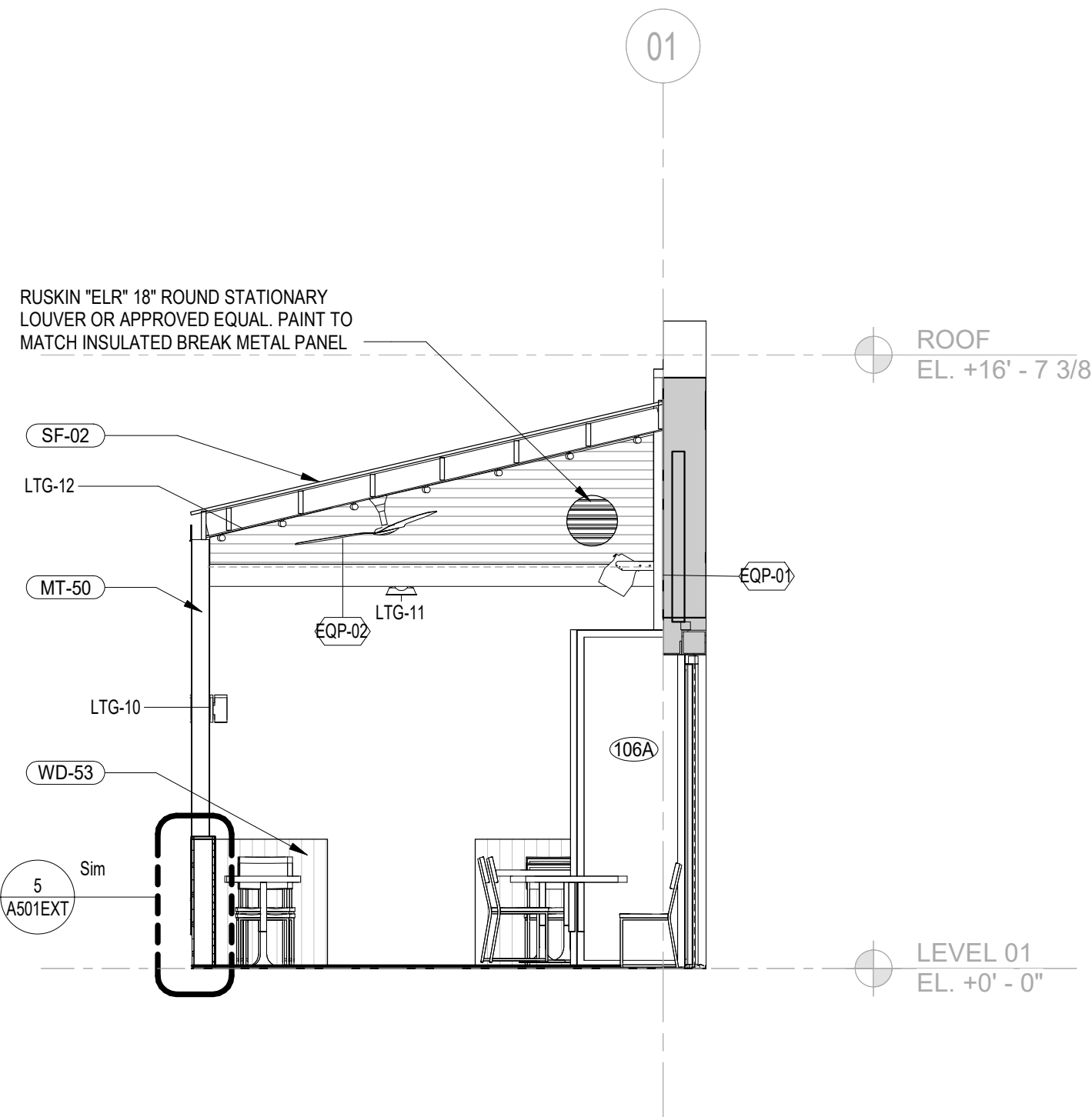
SHEET TITLE: EXTERIOR ELEVATIONS

PROJECT NO: 2020.72

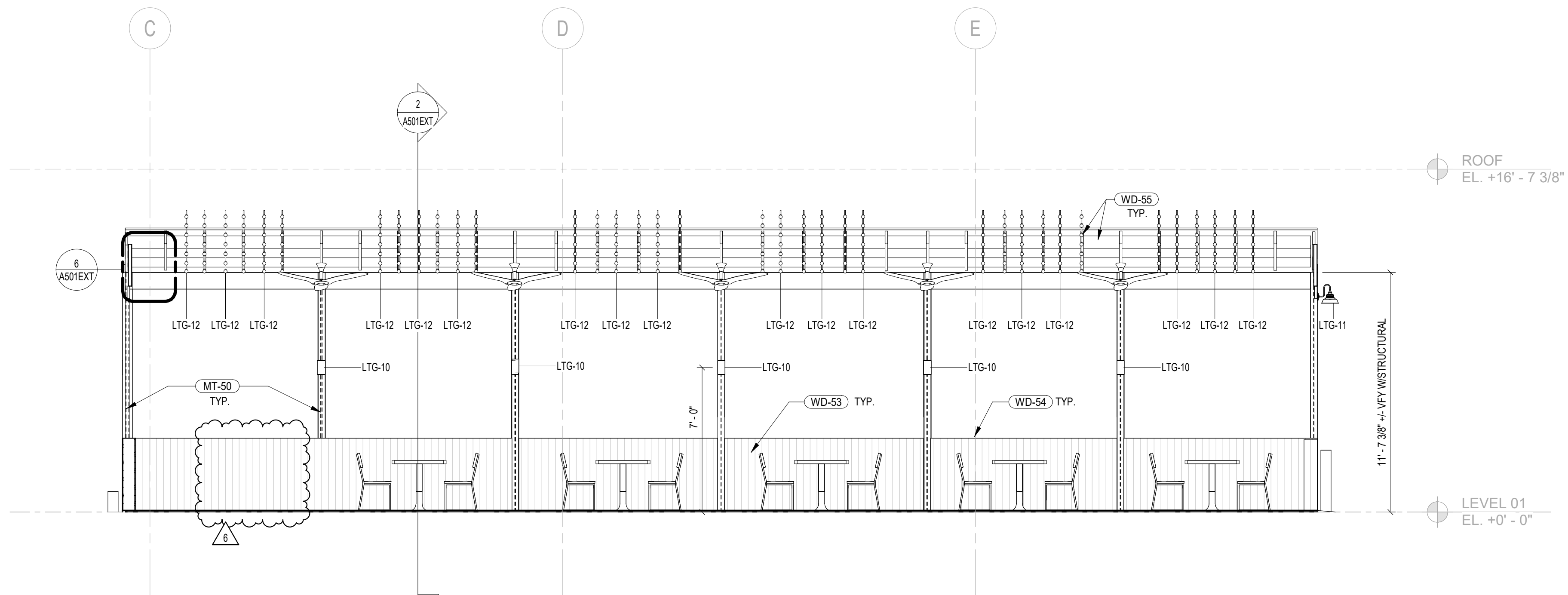
DATE ISSUED: 02/08/23

SCALE: As indicated

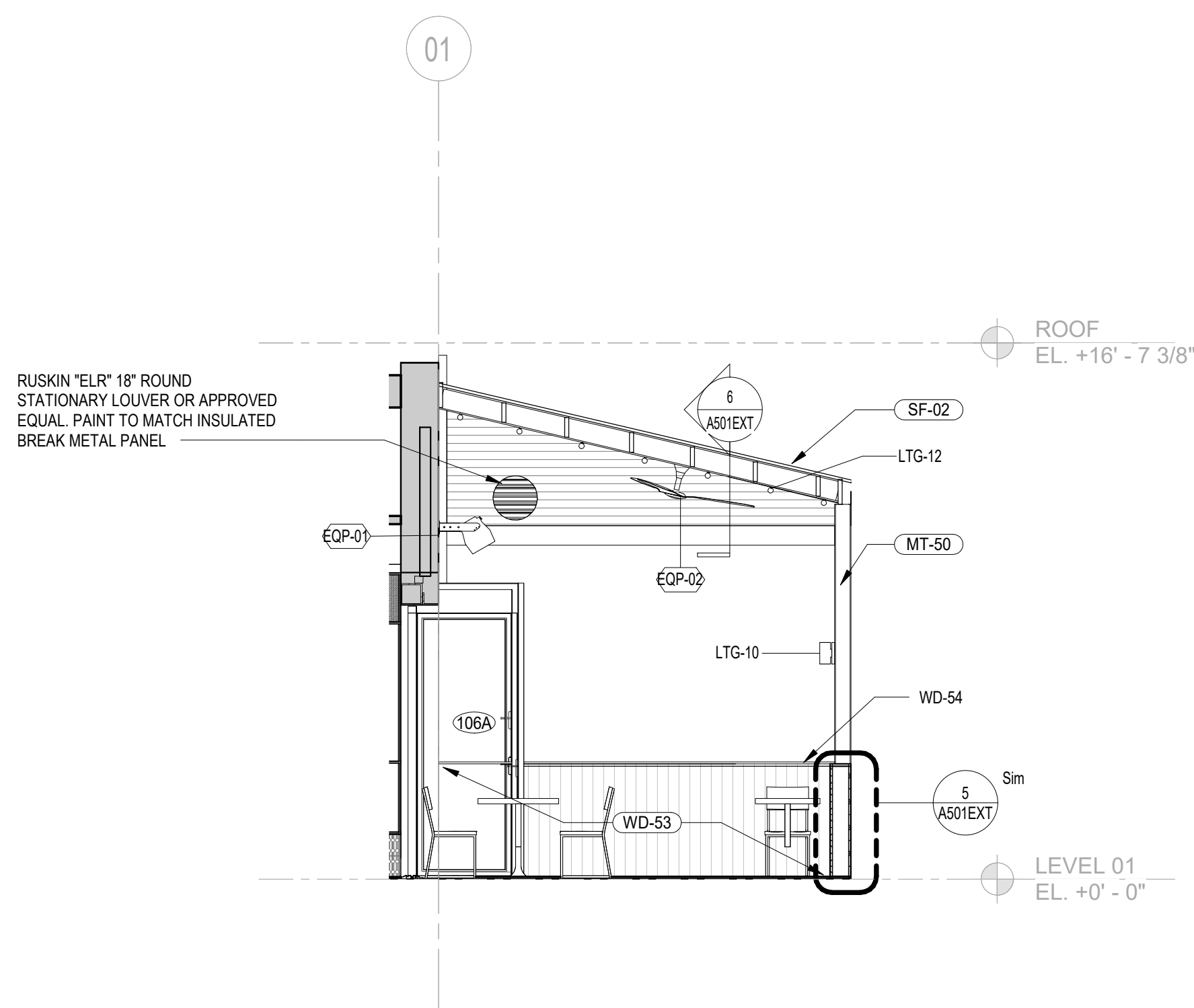
**A200EXT**



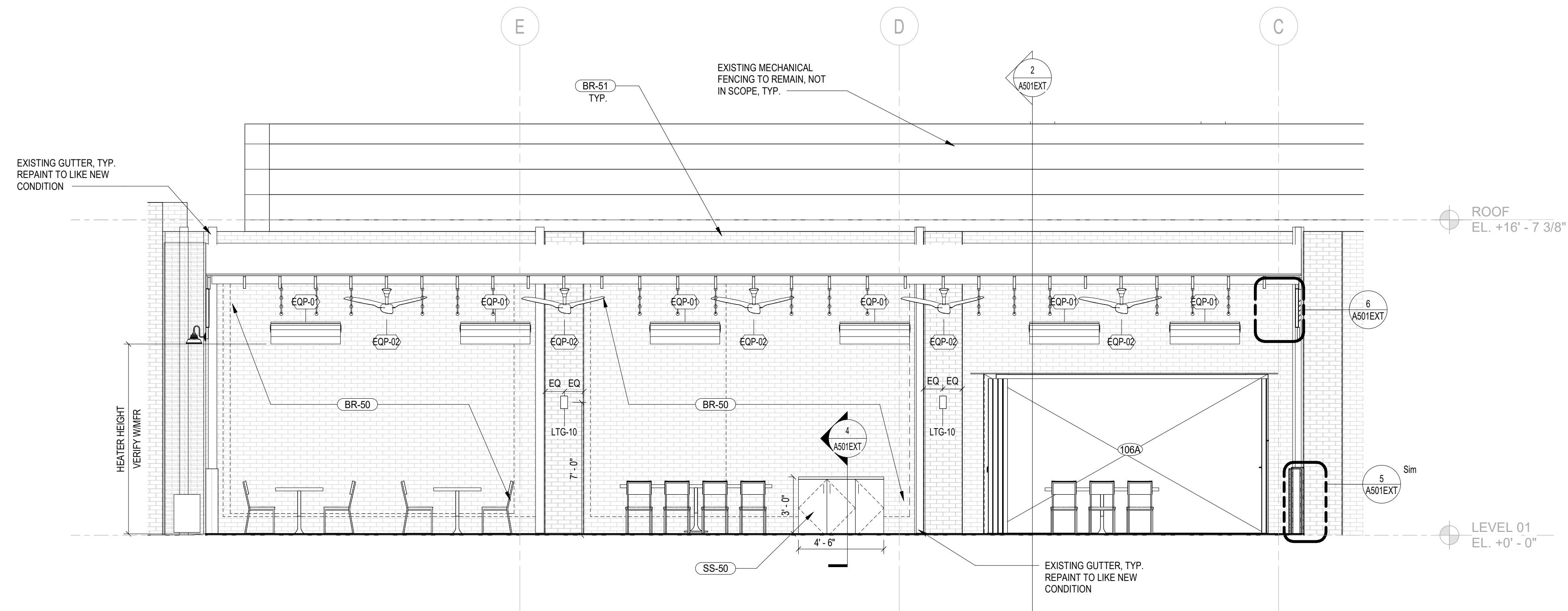
**4** INTERIOR PATIO ELEVATION 4  
1/4" = 1'-0"



**3** INTERIOR PATIO ELEVATION 3  
1/4" = 1'-0"



**2** INTERIOR PATIO ELEVATION 2  
1/4" = 1'-0"



**1** INTERIOR PATIO ELEVATION 1  
1/4" = 1'-0"

**GENERAL NOTES - EXTERIOR**

- A. AREAS SHOWN AS GRAY/NC ARE OUTSIDE SCOPE OF WORK.
- B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
- C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
- D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
- E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
- F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
- H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
- I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
- J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
- K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FIELD BEFORE STARTING WORK.



**COPYRIGHT NOTICE:**  
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

**OWNER:**  
BAKER'S BREAD LLC  
115 KING STREET  
ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
TECH 24  
5258 EISENHOWER AVE  
ALEXANDRIA, VA 22304  
(71) 571.233.8585  
(W) WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
/3877  
3333 K STREET NW, SUITE 60  
WASHINGTON DC 20007  
(71) 202.350.4244  
(W) WWW.3877.DESIGN

**MEP ENGINEER:**  
BUILT ENVIRONMENT ENGINEERS  
881 ELM STREET  
SUITE 2D  
MCLEAN, VA 22101  
(71) 703.888.0449  
(W) WWW.BEENGERS.COM

**STRUCTURAL ENGINEER:**  
EHLERT BRYAN  
8008 WESTWOOD CENTER DRIVE  
SUITE 800  
TYSONS, VA 22182  
(71) 703.884.1028  
(W) WWW.EHLERT-BRYAN.COM



**ISSUED FOR PERMIT**

**DRAWING DATA**

**PROJECT:** JUNCTION BAKERY - ALEXANDRIA  
**ADDRESS:** 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

SHEET SUBMISSION IDENTIFICATION  
○ EXTERIOR PERMIT - 3.31.2023

REV. NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUPEXTERIOR PERMIT REVISION	25 JAN 2024

**REVISED 1/25/2024**

SEAL & SIGNATURE:



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE No: 11843

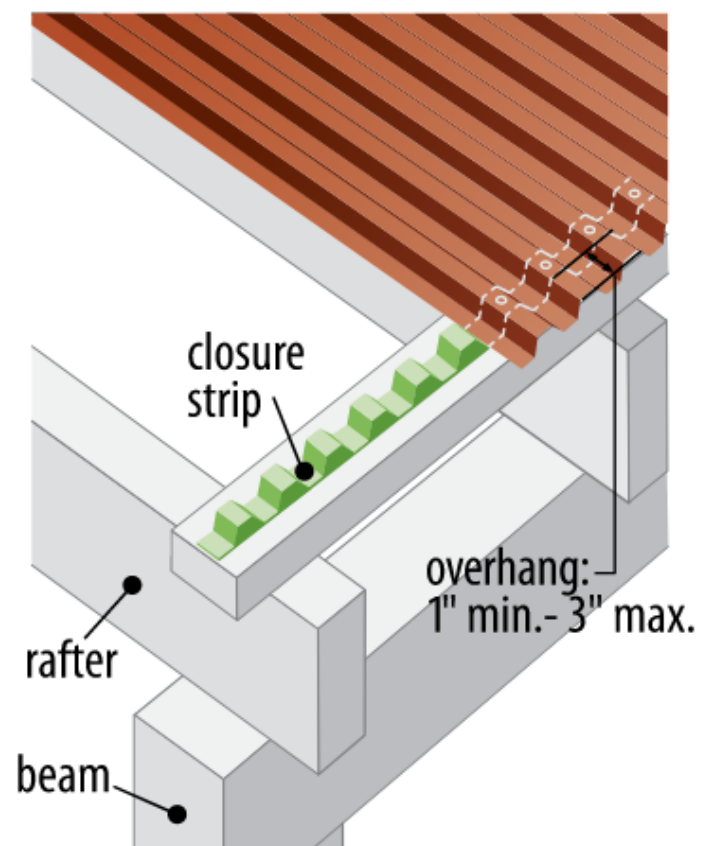
SHEET TITLE: PATIO ELEVATIONS

PROJECT NO: 2020.72

DATE ISSUED: 02/08/23

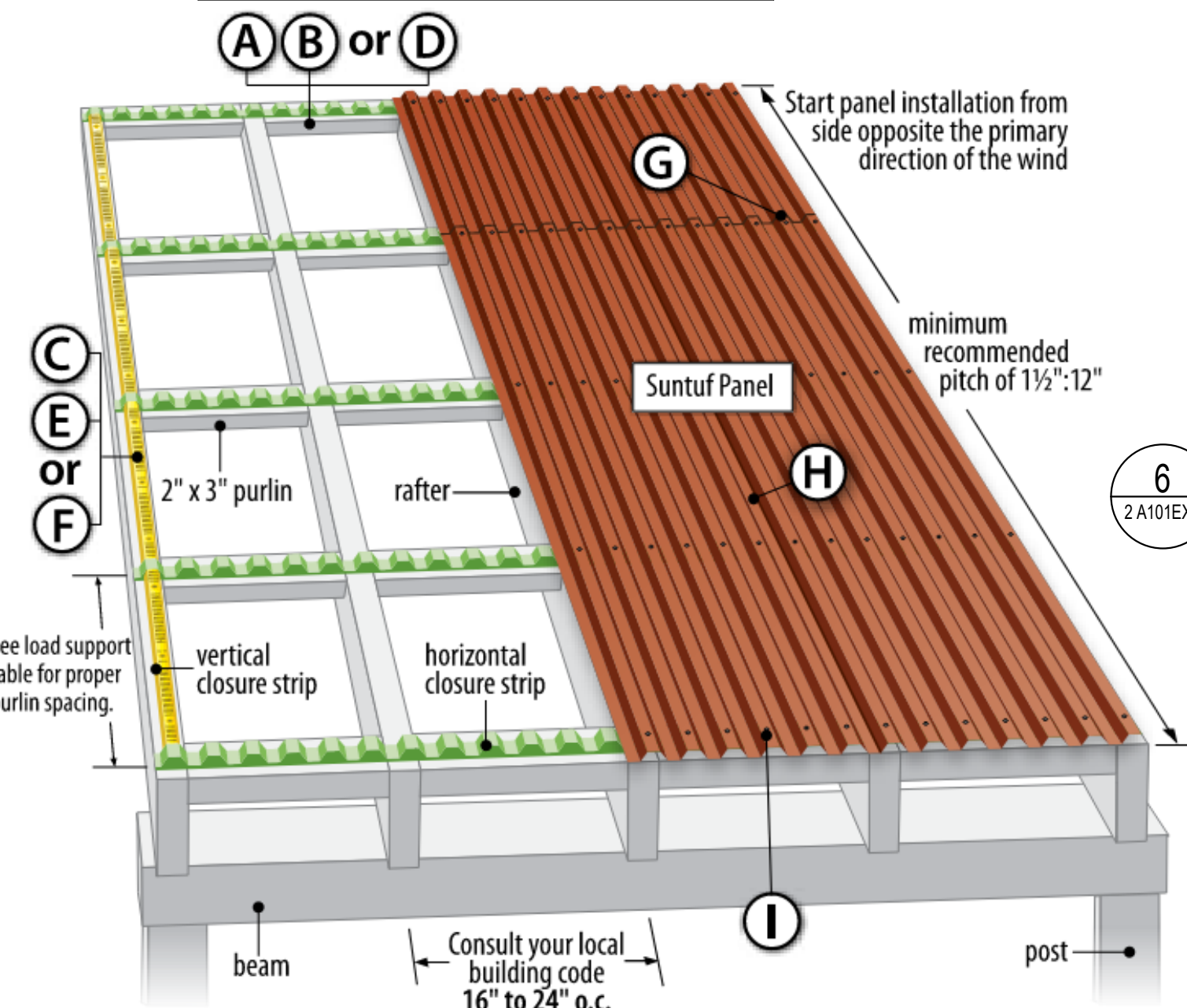
SCALE: As indicated

**A201EXT**

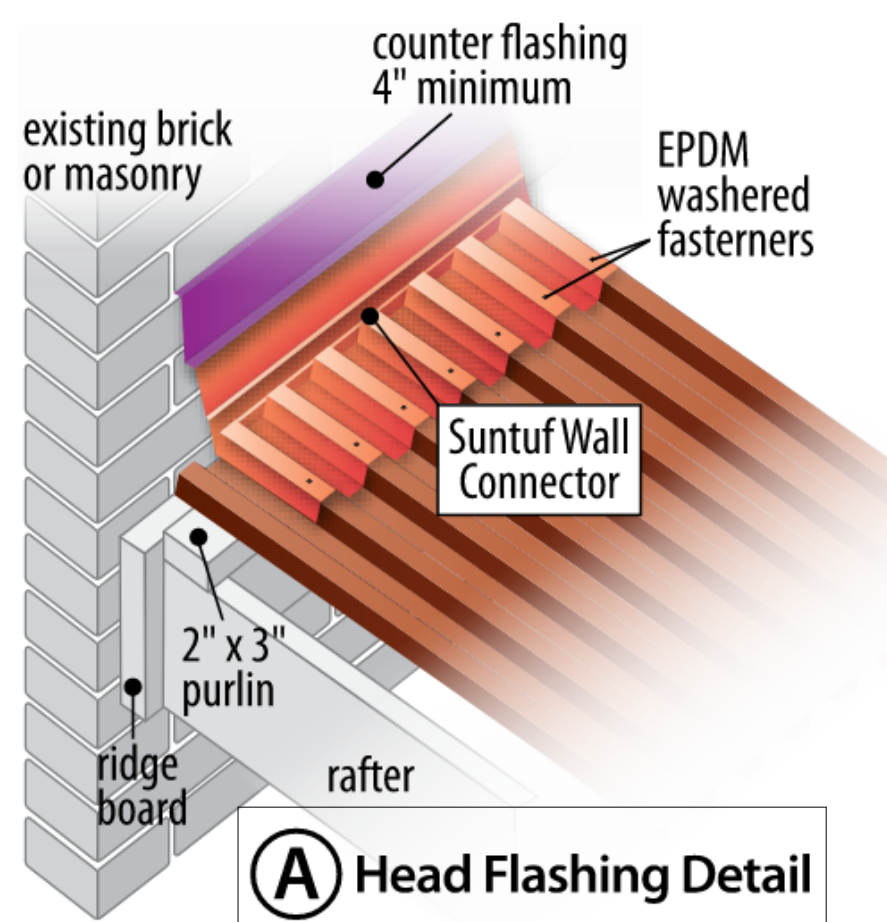


**1 Bottom Closure Detail**

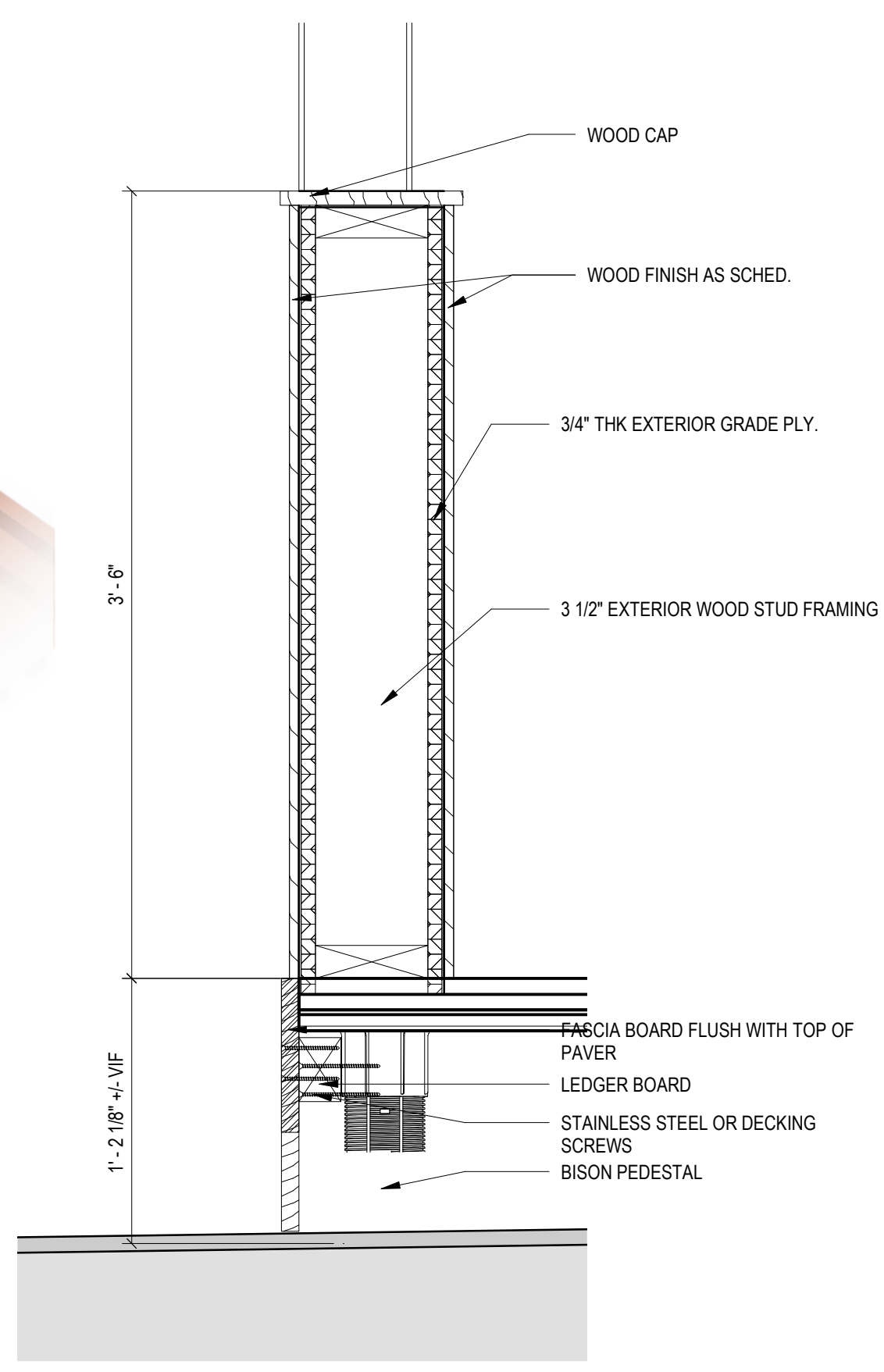
**Integrated Purlin Configuration**



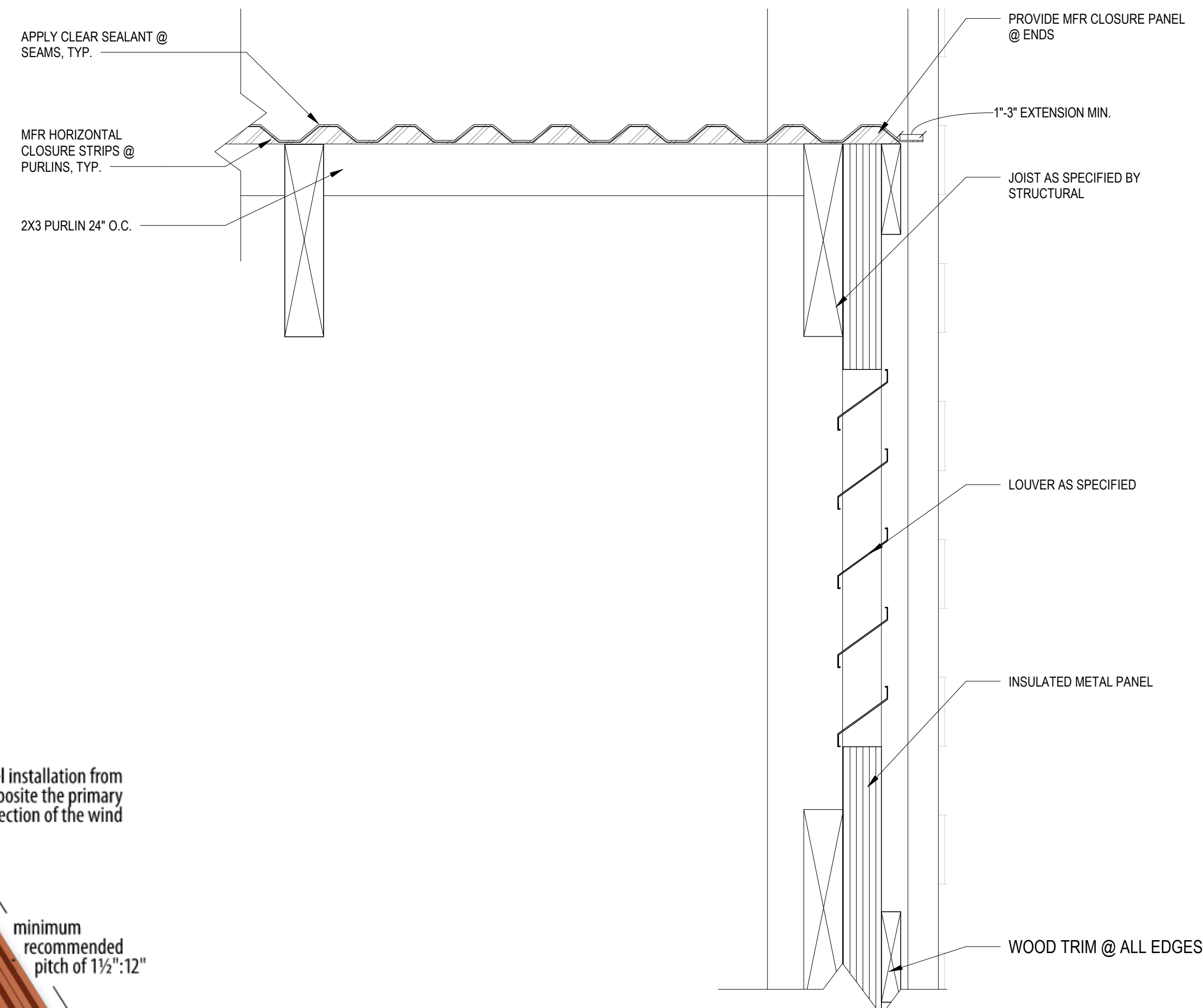
**6 SECTION - EXTERIOR SUNTUF PANELS**  
1/4" = 1'-0"



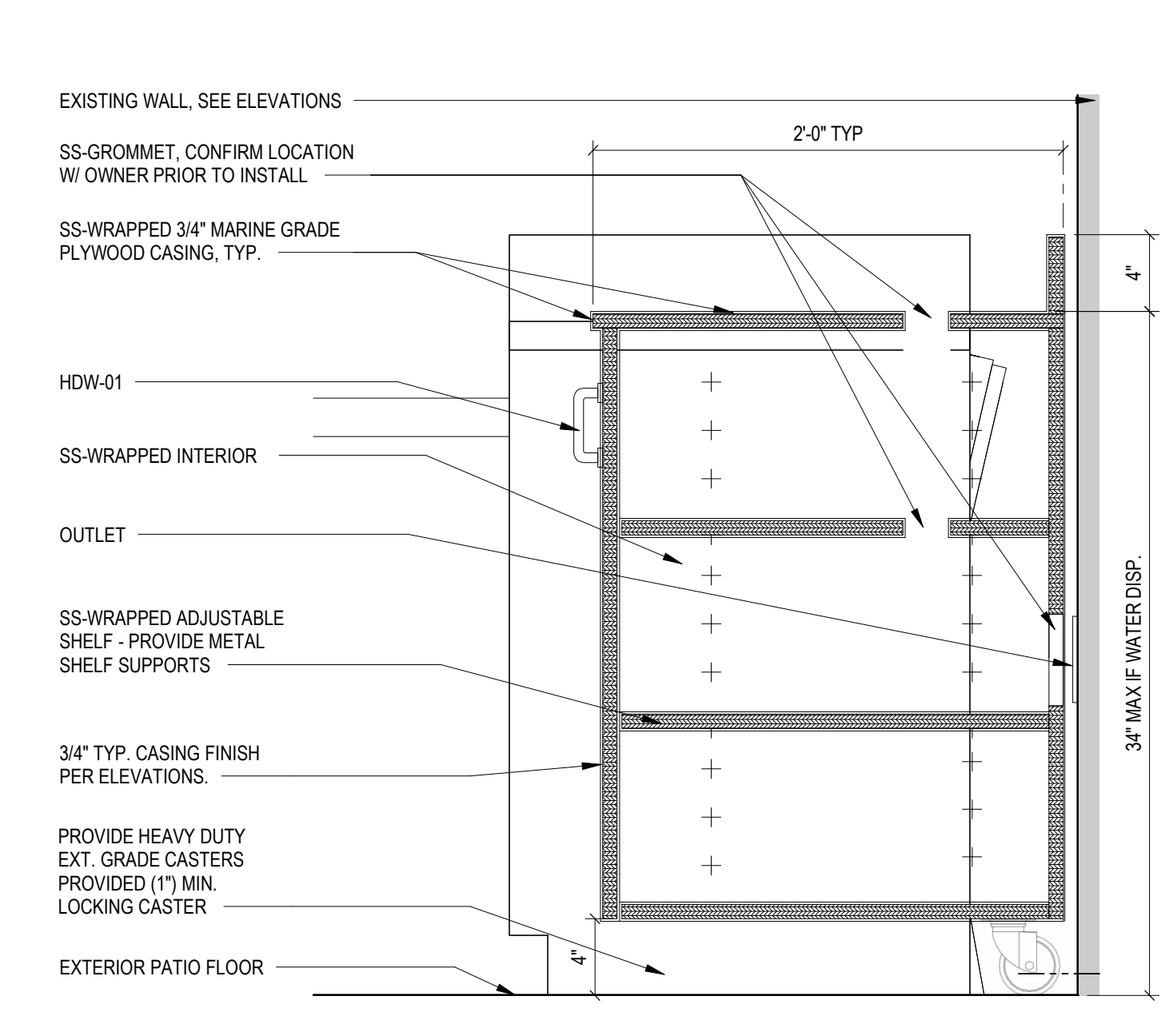
**A Head Flashing Detail**



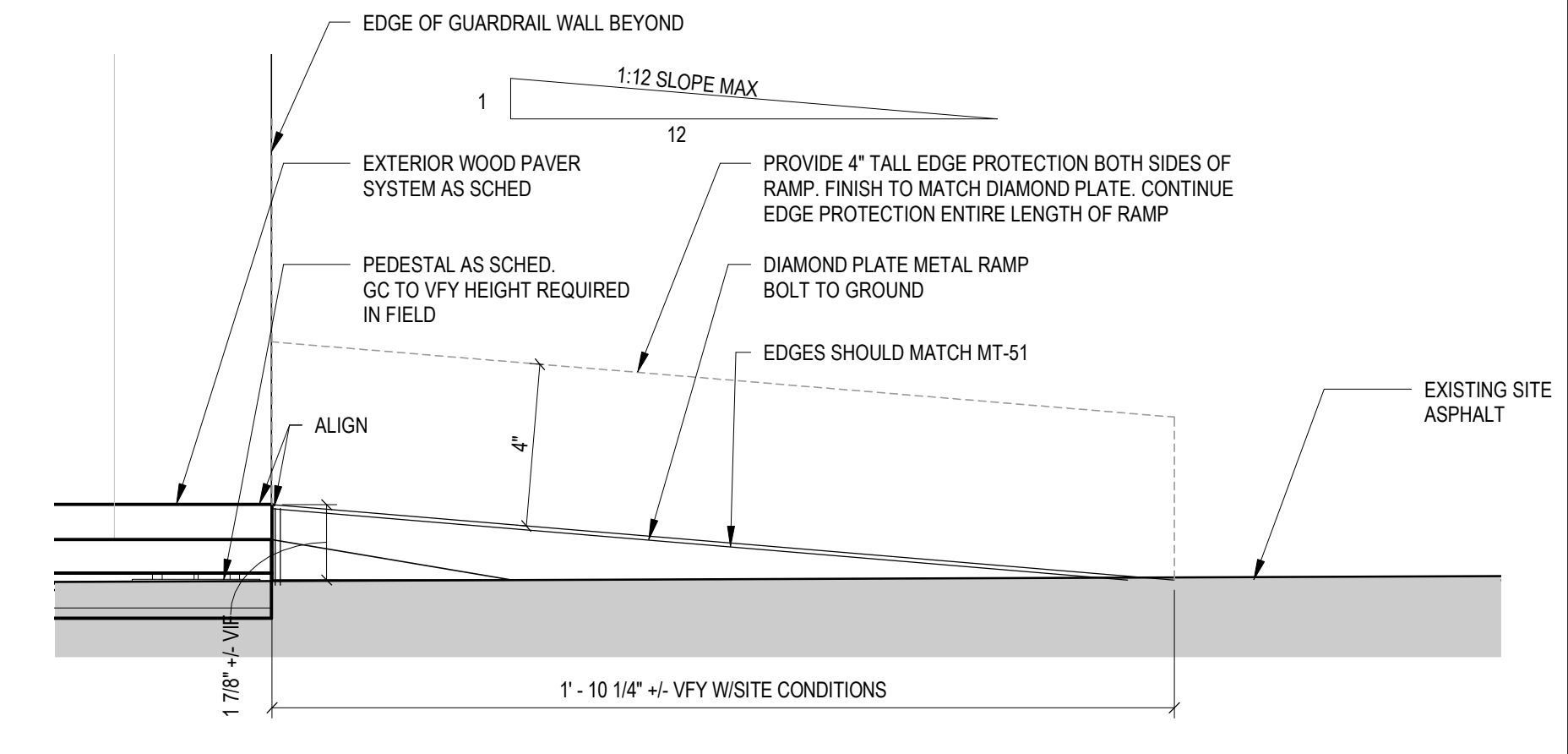
**5 SECTION EXTERIOR GAURD RAIL**  
1/4" = 1'-0"



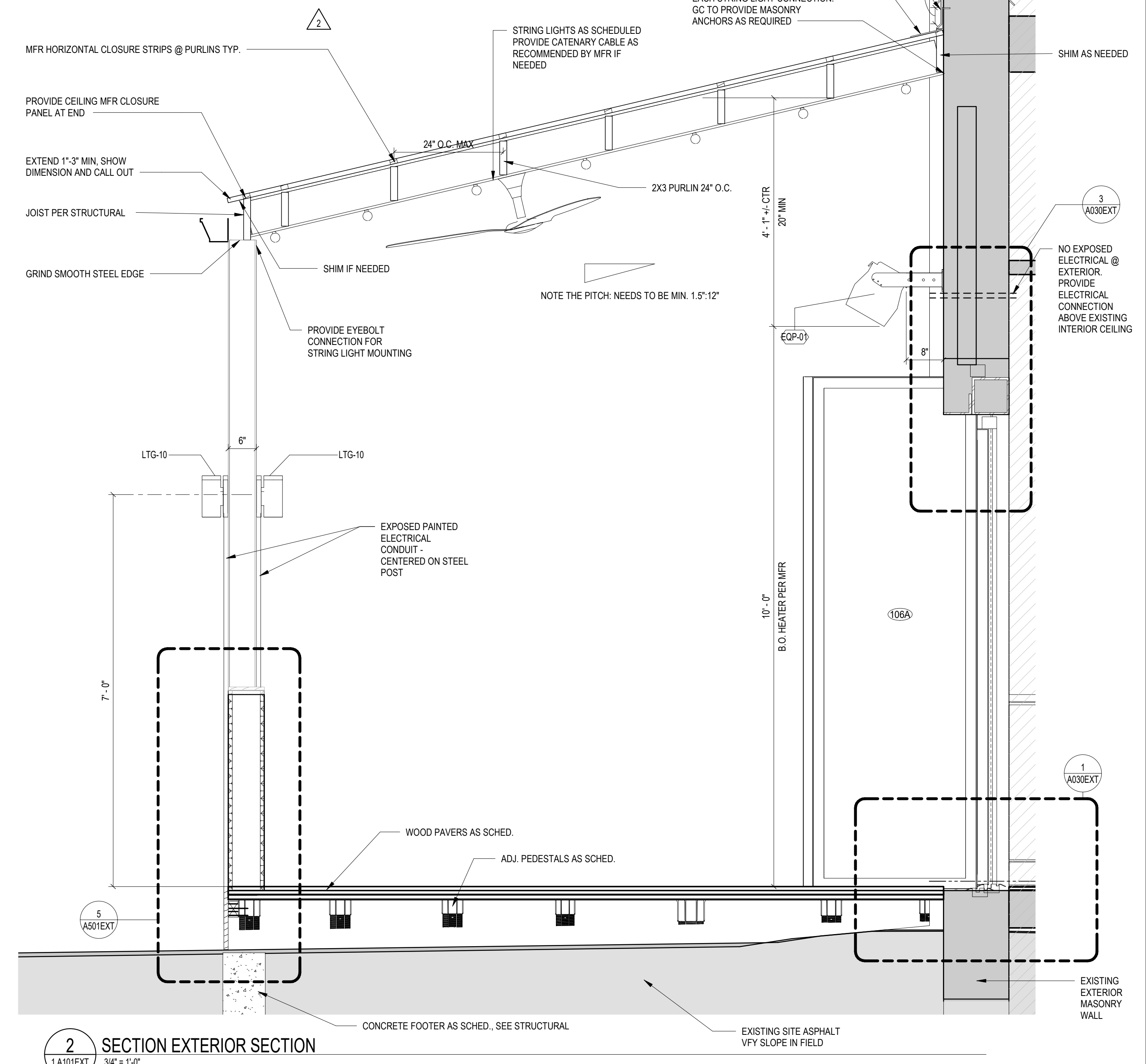
2



**4 SECTION - EXTERIOR SERVICE STATION**  
1/4" = 1'-0"



**1 SECTION EXTERIOR RAMP SECTION**  
1/4" = 1'-0"



**2 SECTION EXTERIOR SECTION**  
1/4" = 1'-0"

- GENERAL NOTES - EXTERIOR**
- A. AREAS SHOWN AS GRAY/NC ARE OUTSIDE SCOPE OF WORK.
  - B. ALL DIMS SHOWN ARE FROM FACE OF FINISH.
  - C. ARCHITECTURAL ELEMENTS SHOWN IN GRAY ARE EXISTING TO REMAIN.
  - D. ALL ELEMENTS NOTED AS EXISTING TO REMAIN SHALL BE PRESERVED AND PROTECTED BY THE GC BEFORE BEGINNING DEMOLITION.
  - E. GC TO COORDINATE GUTTER EXTENSIONS BELOW PROPOSED PATIO WORK TO MAINTAIN ADEQUATE ROOF AND SIDE DRAINAGE.
  - F. REFER TO FINISH SCHEDULE FOR MATERIAL SPECIFICATIONS. INSTALL PER MANUFACTURER RECOMMENDATIONS.
  - G. REFER TO ELEVATIONS FOR ADDITIONAL WALL FINISHES AS TAGGED & SCHEDULED.
  - H. SURFACES TO BE PAINTED MUST BE CLEAN, DRY, AND FREE OF DIRT, DUST, GREASE, OIL, SOAP, WAX, SCALING PAINT, WATER SOLUBLE MATERIALS, AND MILDEW. REMOVE ANY PEELING OR SCALING PAINT AND SAND THESE AREAS TO FEATHER EDGES SMOOTH WITH ADJACENT SURFACES. GLOSSY AREAS SHOULD BE DULLED. DRYWALL SURFACES MUST BE FREE OF SANDING DUST.
  - I. FINISH WALLS AS SPECIFIED IN PLAN AND ELEVATION.
  - J. FURNISH AND INSTALL MILLWORK AS DETAILED. REFER TO MILLWORK DETAILS FOR MORE INFO.
  - K. GC TO EVALUATE EXISTING SITE CONDITIONS PRIOR TO STARTING WORK. EXTERIOR SITE SLOPING SHOWN FOR REFERENCE ONLY. ALL SLOPPED AND HEIGHTS TO BE VERIFIED IN THE FILED BEFORE STARTING WORK.



**COPYRIGHT NOTICE:**  
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

**OWNER:**  
BAKER'S BREAD LLC  
115 KING STREET  
ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
TECH 24  
5256 EISENHOWER AVE  
ALEXANDRIA, VA 22304  
(703) 233-8885  
(W) WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
3877  
3333 K STREET NW, SUITE 60  
WASHINGTON, DC 20007  
(703) 250-4244  
(W) WWW.3877.DESIGN

**MEP ENGINEER:**  
BUILT ENVIRONMENT ENGINEERS  
881 ELM STREET  
SUITE 2D  
MCLEAN, VA 22101  
(703) 898-0549  
(W) WWW.BEENGRS.COM

**STRUCTURAL ENGINEER:**  
EHLERT BRYAN  
808 WESTWOOD CENTER DRIVE  
SUITE 800  
TYSONS, VA 22182  
(703) 884-1028  
(W) WWW.EHLERT-BRYAN.COM



**ISSUED FOR PERMIT**

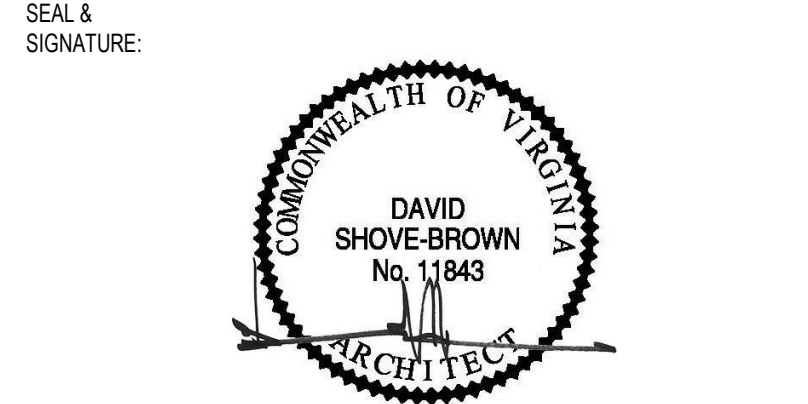
**DRAWING DATA**

**PROJECT:** JUNCTION BAKERY - ALEXANDRIA  
**ADDRESS:** 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

**SHEET SUBMISSION INDEX**  
EXTERIOR PERMIT - 3.31.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISION	19 JUNE 2023
6	SUPEXTERIOR PERMIT REVISION	25 JAN 2024

**REVISED 1/25/2024**



**PROFESSIONAL CERTIFICATION:** I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA, LICENSE No: 11843

**SHEET TITLE:** CONSTRUCTION DETAILS  
**PROJECT NO:** 2020.72  
**DATE ISSUED:** 02/08/23  
**SCALE:** As indicated

**A501EXT**

STRUCTURAL NOTES

- 1. GENERAL
A. THE MODIFICATIONS TO THE BUILDING ARE DESIGNED UNDER THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE AND ASCE 7-16.
B. THE FOLLOWING LOADS WERE USED IN THE DESIGN:
BUILDING RISK CATEGORY II
ROOF LIVE LOAD MINIMUM UNIFORM ROOF LIVE LOAD 30 PSF / 300 PT LOAD
ROOF SNOW LOAD GROUND SNOW LOAD (Pg) 25 PSF
FLAT-ROOF SNOW LOAD (Pf) 21 PSF
SNOW EXPOSURE FACTOR (Ce) 1.0
SNOW LOAD IMPORTANCE FACTOR (Is) 1.0
THERMAL FACTOR (Ct) 1.2
ROOF RAIN LOAD (R), PER ASCE 7 SECTION 8.3 <30 PSF
WIND LOAD WIND SPEED (3-SECOND GUST) Vult 115 MPH
Vasd (0.77^VULT) 90 MPH
WIND EXPOSURE B

- C. SEE ARCHITECTURAL DRAWINGS FOR ANGLES, CLIPS, PLATES, ETC., AND OTHER MISCELLANEOUS ITEMS. VERIFY AND COORDINATE ALL FRAMES, OPENINGS, ETC. WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS.
D. SUBMIT SHOP DRAWINGS FOR THE FOLLOWING ITEMS. SUBMITTALS INCLUDE BUT MAY NOT BE LIMITED TO:
-CONCRETE MIX DESIGN
-REINFORCING STEEL
-STRUCTURAL STEEL
-POLYCARBONATE ROOF SHEATHING
DO NOT USE CONTRACT DRAWINGS AS A BASE FOR SHOPS. REVIEW IS LIMITED TO DESIGN CONFORMANCE. CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS.

- 2. EARTHWORK
A. FOUNDATIONS ARE DESIGNED TO BEAR ON ENGINEERED FILL OR NATURAL SOIL WITH A CAPACITY OF 1,500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD BY THE BUILDING INSPECTOR OR A QUALIFIED TESTING AGENCY.
B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2 FOOT 6 INCH BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
C. COMPACTED BACKFILL BELOW BUILDING SLABS AND FOOTINGS: ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. PROOFROLL, SUBGRADE REMOVING AND REPLACING SOFT OR COMPRESSIVE MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 6 INCHES AND COMPACTED TO MIN. 95 PERCENT OF THE DRY MAXIMUM DENSITY AS DETERMINED BY ASTM D698.

- 3. DEMOLITION
A. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
B. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.

- 4. CONCRETE
A. CONCRETE CONSTRUCTION SHALL BE PER THE APPLICABLE BUILDING CODE, ACI 318 AND ACI 301, LATEST EDITIONS.
B. CONCRETE SHALL ATTAIN THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS PER ASTM A39.
C. VERIFY CONCRETE STRENGTHS WITH A MINIMUM OF ONE SET OF NINE 4x8-INCH COMPRESSION CYLINDERS, (3 @ 7 DAYS, 3 @ 28, 3 SPARE).
D. EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED TO PROVIDE AN AIR CONTENT OF 6+/- 1.5 PERCENT BY VOLUME.
E. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING, UNO, AS FOLLOWS.
CONCRETE CAST AGAINST EARTH 3 INCHES
F. NON-SHRINK GROUT FOR COLUMNS BASE PLATES SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH: Fc = 5,000 PSI.
G. REINFORCING STEEL SHALL CONFORM TO A615-GR60; MESH SHALL CONFORM TO ASTM A185 WITH MINIMUM LAPS OF 8 INCHES. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. FURNISH SUPPORT BARS AND ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS.

- 5. STEEL
A. STEEL CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE AND SHALL CONFORM TO AISC 360. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
STEEL PLATES AND ANGLES A572 GRADE 50
STRUCTURAL RECTANGULAR (HSS) A500 - GR C
ANCHOR RODS (4" DIAM. OR LESS) F1554 - 36 KSI
HIGH-STRENGTH BOLTS A325
B. WELDING OF STRUCTURAL STEEL SHALL BE WITH E70XX ELECTRODES.

- 6. WOOD FRAMING
A. FRAMING LUMBER FOR STUDS, HEADERS AND JOISTS SHALL BE HEM FIR (#2), SPRUCE-PINE-FIR (SPF) #1/#2, OR BETTER, WITH A MAXIMUM MOISTURE CONTENT OF 19-PERCENT, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 MEMBERS):
BENDING STRESS "Fb" = 850 PSI FOR SINGLE MEMBER USE
HORIZONTAL SHEAR "Fv" = 135 PSI
COMPRESSION PERPENDICULAR TO GRAIN "Fc" = 465 PSI
COMPRESSION PARALLEL TO GRAIN "Fc11" = 1150 PSI
MODULUS OF ELASTICITY "E" = 1,300,000 PSI
NOTES: SPF (SOUTH) IS NOT ACCEPTABLE.
B. ALL EXPOSED EXTERIOR FRAMING AND FRAMING IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED (PT). FRAMING SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUAT (ACQ) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). PT LUMBER SHALL NOT BE INCISED.
C. TREATED LUMBER (PT) SHALL BE SOUTHERN PINE (SP) #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 MEMBERS):
BENDING STRESS "Fb" = 750 PSI SINGLE MEMBER USE
HORIZONTAL SHEAR "Fv" = 175 PSI
COMPRESSION PERPENDICULAR TO GRAIN "Fc" = 565 PSI
COMPRESSION PARALLEL TO GRAIN "Fc11" = 1,250 PSI
MODULUS OF ELASTICITY "E" = 1,400,000 PSI

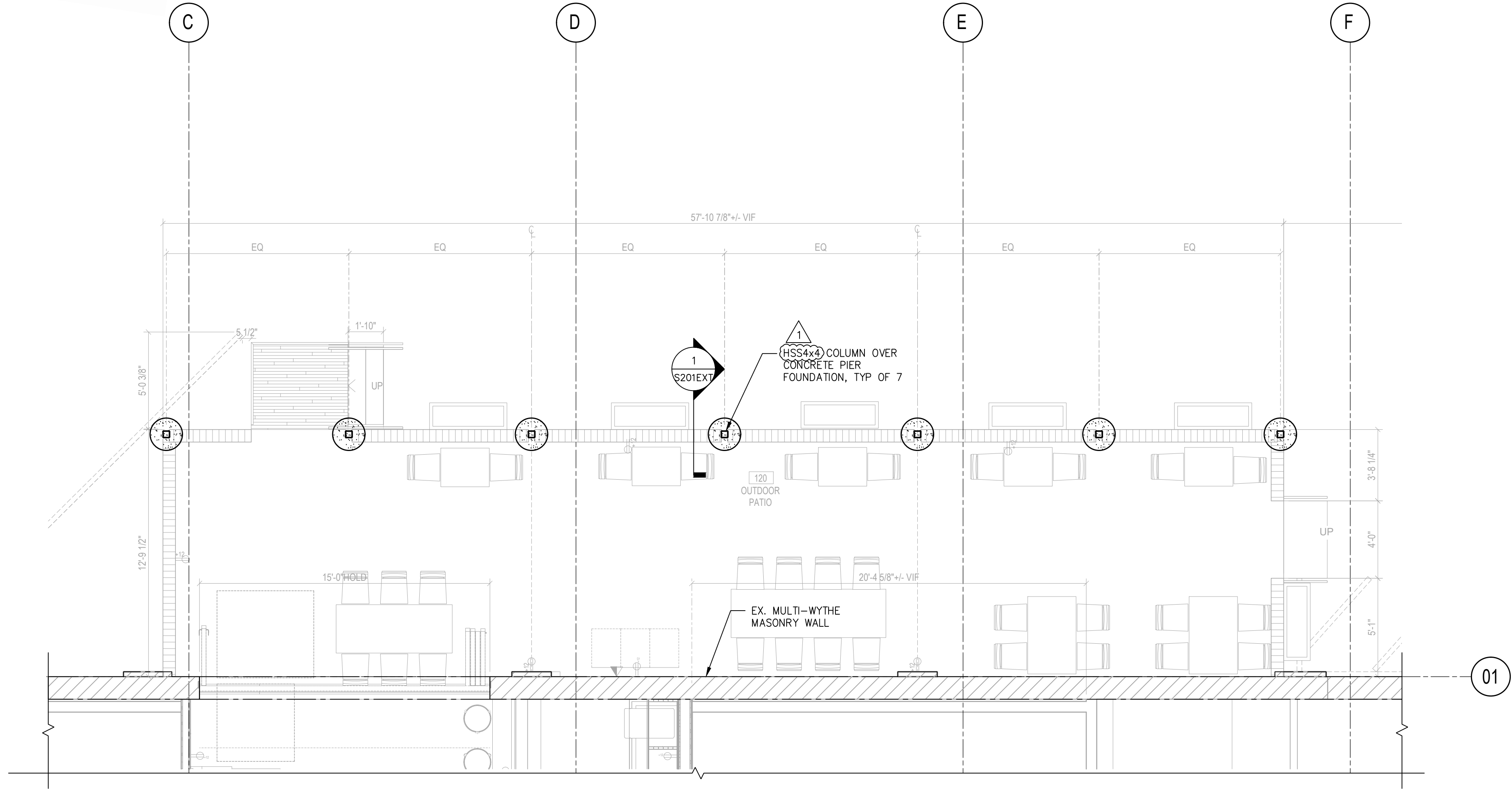
- D. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS, AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATIONS, TO ACHIEVE AT LEAST THE MINIMUM MANUFACTURER LISTED CAPACITIES, UNO ON THE DRAWINGS. FASTENERS AND CONNECTORS UTILIZED WITH TREATED LUMBER (PT) SHALL MEET G185 HOT-DIPPED GALVANIZING. FASTENERS AND CONNECTORS UTILIZED WITH FIRE-RETARDANT TREATED LUMBER (FRT) SHALL MEET G90 HOT-DIPPED GALVANIZING.
E. ANCHOR BOLTS CONNECTING PRESSURE-TREATED WOOD PLATES TO FOUNDATIONS, MASONRY WALLS, OR CONCRETE SLABS SHALL BE HOT-DIPPED GALVANIZED.
F. ALL BOLTED CONNECTIONS, INCLUDING SILL ANCHOR BOLTS, THRU BOLTS AND LAGS SHALL HAVE A STANDARD CUT METAL WASHER BETWEEN THE WOOD MEMBER AND NUT, UNLESS A LARGER PLATE WASHER OR OTHER IS NOTED ON THE DRAWINGS.

- G. NAILS FOR FRAMING AND SHEATHING CONNECTIONS SPECIFIED IN THE DRAWINGS AND ASSOCIATED NOTES SHALL CONFORM TO ASTM F1667 AND SHALL MEET THE FOLLOWING MINIMUM SIZE REQUIREMENTS:
TYPE DIAMETER x LENGTH
8d 0.131" x 2-1/2"
10d 0.148" x 3"
12d 0.148" x 3-1/4"
16d 0.162" x 3-1/2"
20d 0.192" x 4"
SHANK DIAMETER MINIMUM STRENGTH
0.099" TO 0.142" 100 KSI
0.143" TO 0.177" 90 KSI
0.178" TO 0.254" 80 KSI

- NOTE: NAILS USED IN STANDARD CONNECTIONS SHALL BE SIZED PER THE REQUIREMENTS OF THE BUILDING CODE.
H. ROOF MEMBERS SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL ANCHOR. ANCHORS SHALL BE 18 GAGE MINIMUM AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING, UNLESS SHOWN OTHERWISE ON DRAWINGS.
I. DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS.
A. GENERAL
INSTALL ANCHORS IN STRICT CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS AND PROCEDURES. ALL POST-INSTALLED ANCHORS IN CONCRETE SHALL HAVE ICC APPROVAL FOR USE IN CRACKED CONCRETE.
SUBSTITUTION REQUESTS FOR ALTERNATE PRODUCTS MUST BE SUBMITTED FOR APPROVAL PRIOR TO USE. CONTRACTOR SHALL PROVIDE LOAD CAPACITIES DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT.
PROVIDE STAINLESS STEEL FASTENERS FOR EXTERIOR USE OR WHEN PERMANENTLY EXPOSED TO WEATHER. PROVIDE GALVANIZED CARBON STEEL ANCHORS AT OTHER LOCATIONS, UNLESS OTHERWISE NOTED.
B. PRODUCTS
ANCHORS IN CONCRETE:
-EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT T2Z.
-UNDERCUT ANCHORS SHALL BE HILTI HDLP.
-SCREW ANCHORS SHALL BE HILTI KWIK HUS EZ.
-ADHESIVE ANCHORS SHALL BE HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HIT-Z ROD OR WITH HILTI HOLLOW DRILL BIT SYSTEM WITH HAS-E THREADED ROD.
ANCHORS IN MASONRY:
-EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT T2Z. GROUT MASONRY CELLS SOLID WITH 2000 PSI GROUT AT ANCHOR LOCATIONS.
-SCREW ANCHORS SHALL BE HILTI KWIK HUS EZ. GROUT MASONRY CELLS SOLID WITH 2000 PSI GROUT AT ANCHOR LOCATIONS.
-ADHESIVE ANCHORS IN SOLID MASONRY SHALL BE HILTI HIT-HY 270 ADHESIVE ANCHORING SYSTEM. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR HILTI HAS-H INTERNALLY THREADED INSERT.
-ADHESIVE ANCHORS IN HOLLOW OR MULTI-WYTHE MASONRY SHALL BE HILTI HIT-HY 270 ADHESIVE ANCHORING SYSTEM. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR HILTI HIT-C INTERNALLY THREADED INSERT. THE APPROPRIATE SIZE SCREEN TUBE SHALL BE USED PER THE ADHESIVE MANUFACTURER'S RECOMMENDATION.
SUBSTITUTIONS FOR THE SPECIFIED ANCHORS SHALL BE SUBMITTED AS REQUESTED ABOVE. FOR ADHESIVE ANCHORS, PROPOSED SUBSTITUTE PRODUCTS SHALL INCLUDE THE FOLLOWING BASIS OF DESIGN PARAMETERS:
ANCHORS IN CONCRETE:
-CRACKED CONCRETE
-ADHESIVE ANCHORS IN CONCRETE:
-CRACKED CONCRETE
-WATER SATURATED CONCRETE
-BASE MATERIAL TEMPERATURE OF 50-100 DEGREES FAHRENHEIT (AT INSTALLATION).
-BASE MATERIAL IN-SERVICE TEMPERATURE OF 110 DEGREES FAHRENHEIT (LONG TERM), 130 DEGREES FAHRENHEIT (SHORT TERM)
ADHESIVE ANCHORS IN MASONRY:
-BASE MATERIAL TEMPERATURE OF 50-100 DEGREES FAHRENHEIT (AT INSTALLATION).
-BASE MATERIAL IN-SERVICE TEMPERATURE OF 110 DEGREES FAHRENHEIT (LONG TERM), 130 DEGREES FAHRENHEIT (SHORT TERM)
C. INSTALLATION
ALL INSTALLATION PROCEDURES SHALL BE PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE AND/OR PROVIDE FOR THIRD PARTY INSPECTION AS REQUIRED BY BUILDING CODE OR LOCAL JURISDICTION.
ANCHOR CAPACITY IS DEPENDENT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHOR TO EDGE OF CONCRETE OR MASONRY. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE DISTANCE INDICATED ON THE DRAWINGS. IF NOT SHOWN, COMPLY WITH MINIMUM SPACING AND EDGE DISTANCE FOR FULL ANCHOR CAPACITY, AS SPECIFIED BY MANUFACTURER.
EXISTING REINFORCING BARS IN THE CONCRETE OR MASONRY STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. DO NOT CUT OR DAMAGE REINFORCING BARS UNLESS SPECIFICALLY PERMITTED IN THE DRAWINGS.
PRIOR TO DRILLING, THE CONTRACTOR SHALL LOCATE REINFORCING BAR POSITIONS IN THE IMMEDIATE VICINITY OF PROPOSED POST-INSTALLED ANCHORS USING GPR, X-RAY, OR OTHER NON-DESTRUCTIVE MEANS.
WHEN CONFLICTS BETWEEN PROPOSED ANCHORS AND EXISTING REINFORCING BARS EXIST, SUBMIT RESULTS OF BAR LOCATIONS TO ARCHITECT/ENGINEER FOR REVIEW AND FURTHER DIRECTION.
WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION.

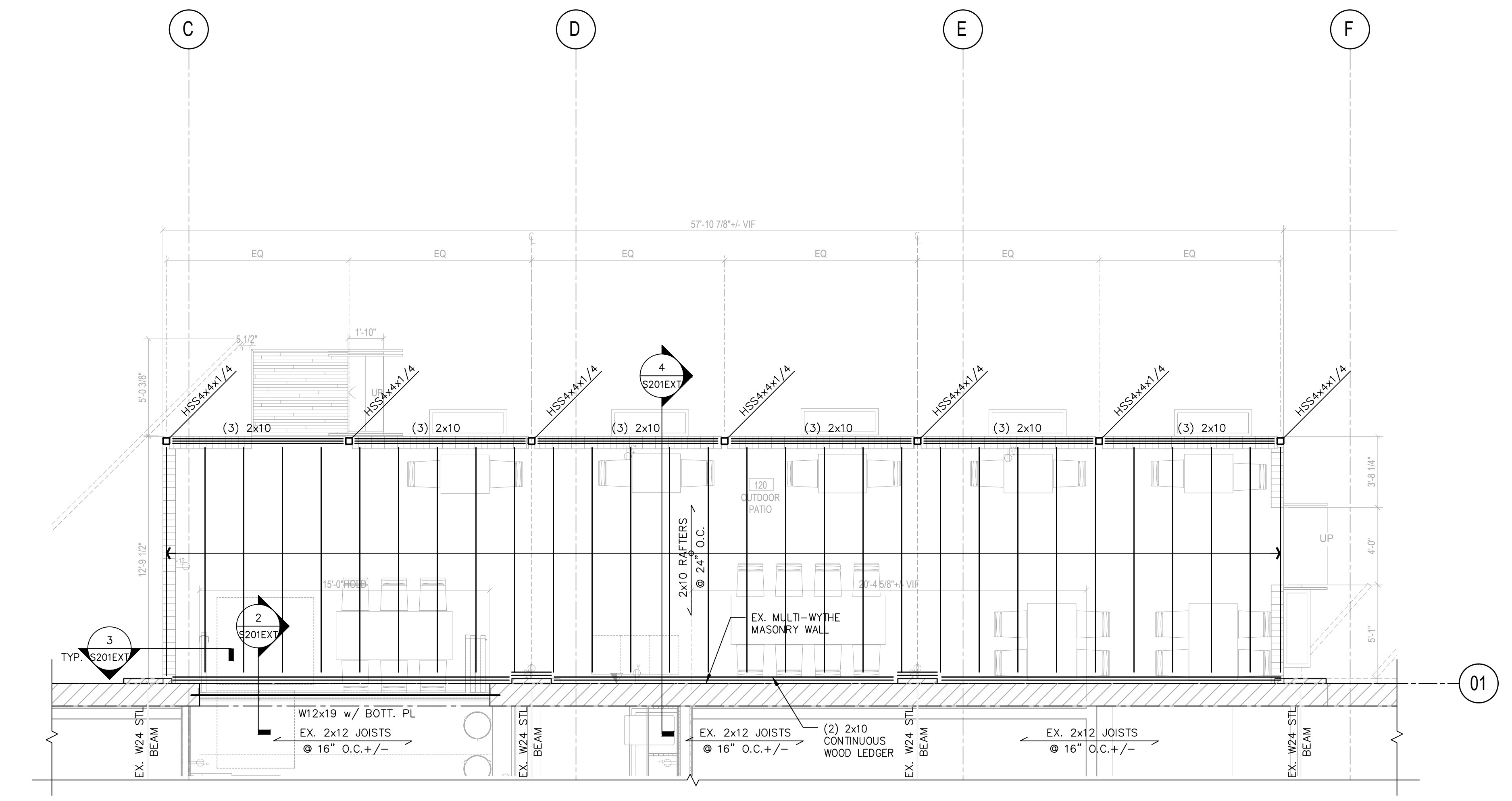
VOID

02/16/2024



PARTIAL FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



PARTIAL FRAMING PLAN

SCALE: 1/4" = 1'-0"

SEE ARCH FOR STEEL COATING REQUIREMENTS FOR DURABILITY.



COPYRIGHT NOTICE:
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

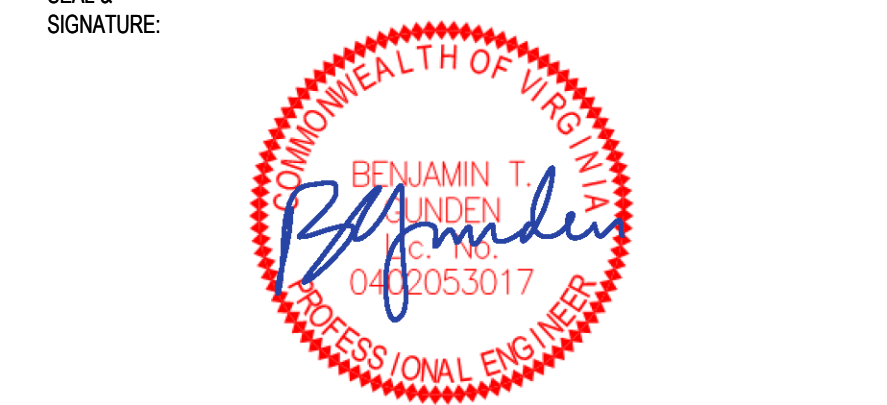
OWNER: BAKER'S BREAD LLC
GENERAL CONTRACTOR: TECH 24
ARCHITECT: 3877
MEP ENGINEER: BUILT ENVIRONMENT ENGINEERS
FOOD SERVICE: SINGER EQUIPMENT COMPANY



ISSUED FOR PERMIT

DRAWING DATA
PROJECT: JUNCTION BAKERY - ALEXANDRIA
ADDRESS: 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301
SHEET SUBMISSION INDEX

Table with columns: REV. NO., REVISION, DATE. Row 1: 1, EXTERIOR STRUCTURAL REVISION, 06/19/2023



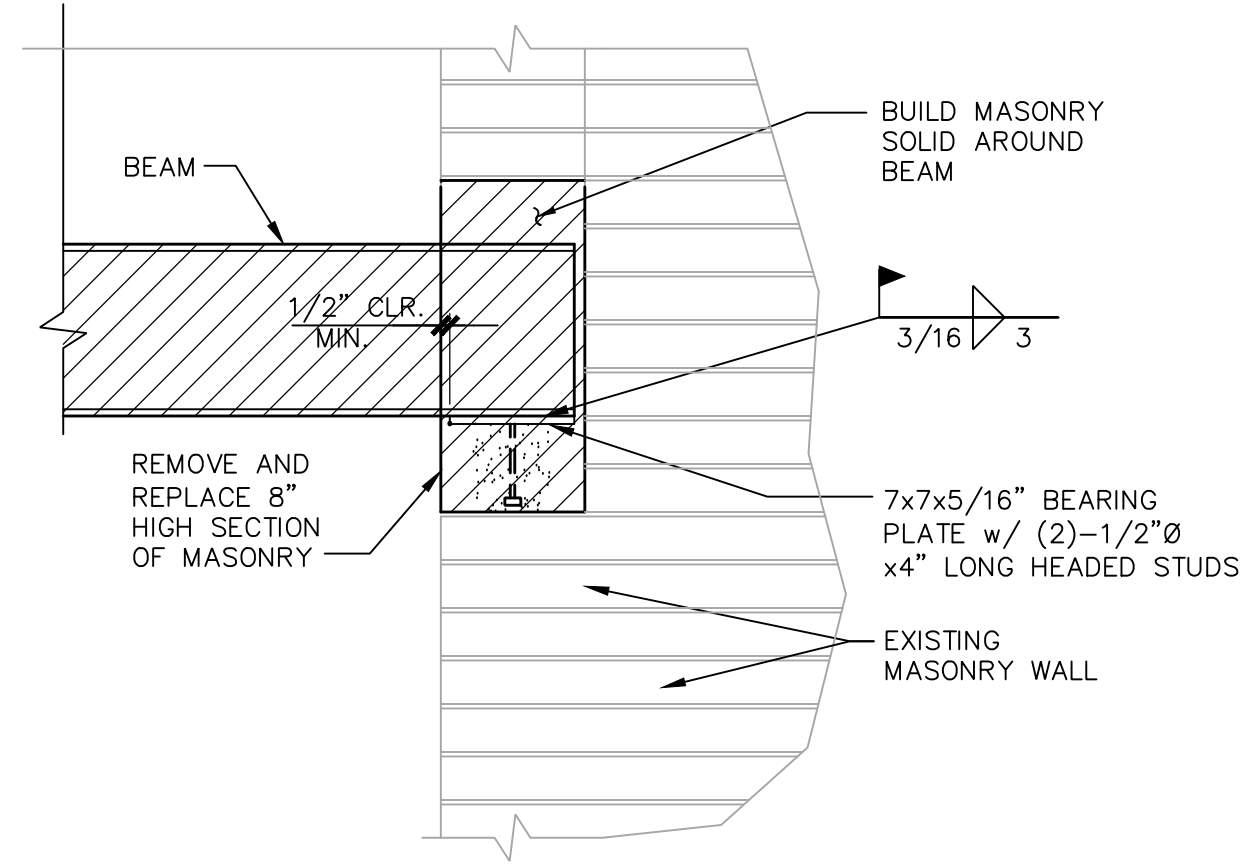
ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: STRUCTURAL NOTES, PARTIAL FOUNDATION AND FRAMING PLANS
PROJECT NO: 2020.72
DATE ISSUED: 06/19/23
SCALE: As indicated

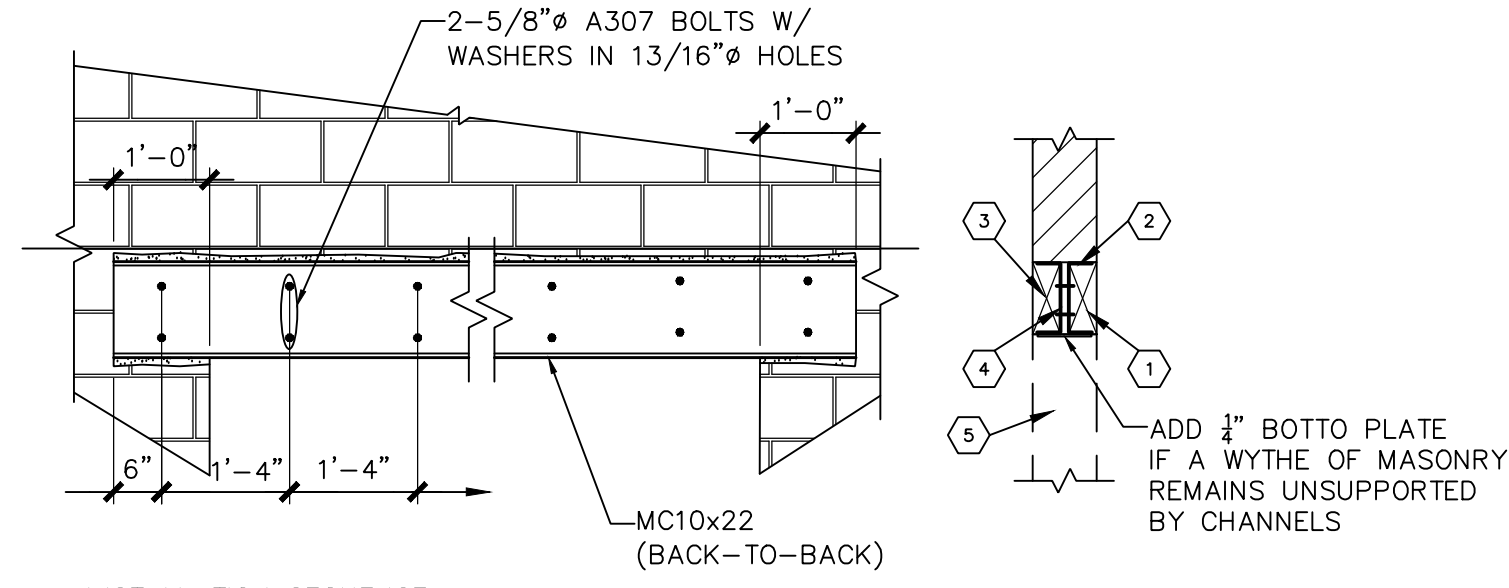
S101EXT

EHLERT BRYAN Consulting structural engineers
8609 Westwood Center
Tysons, VA 22182
(703) 827-9552
Fax (703) 356-2031
www.ehlert-bryan.com





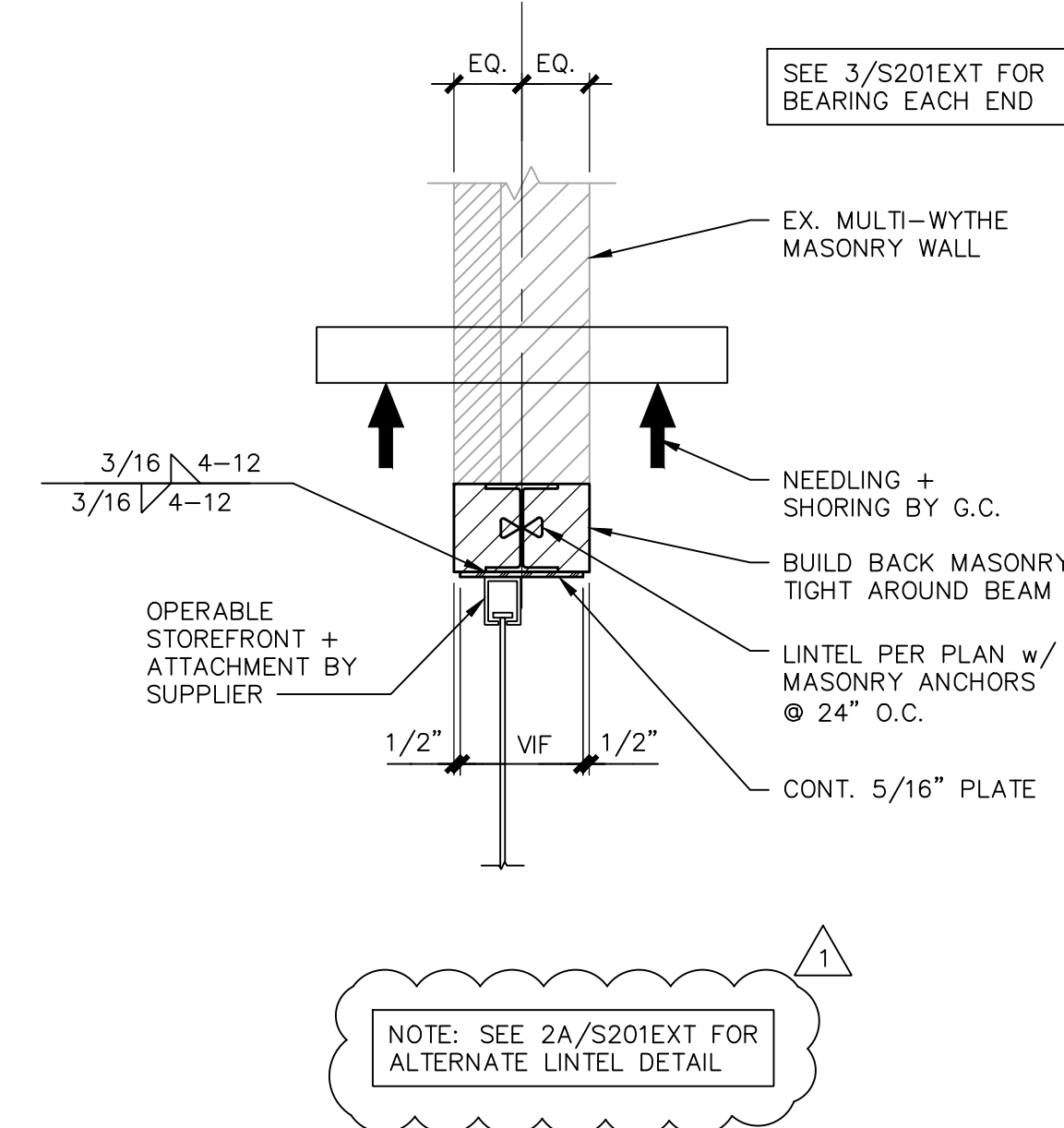
SECTION 3  
SCALE: 3/4" = 1'-0"  
S201EXT



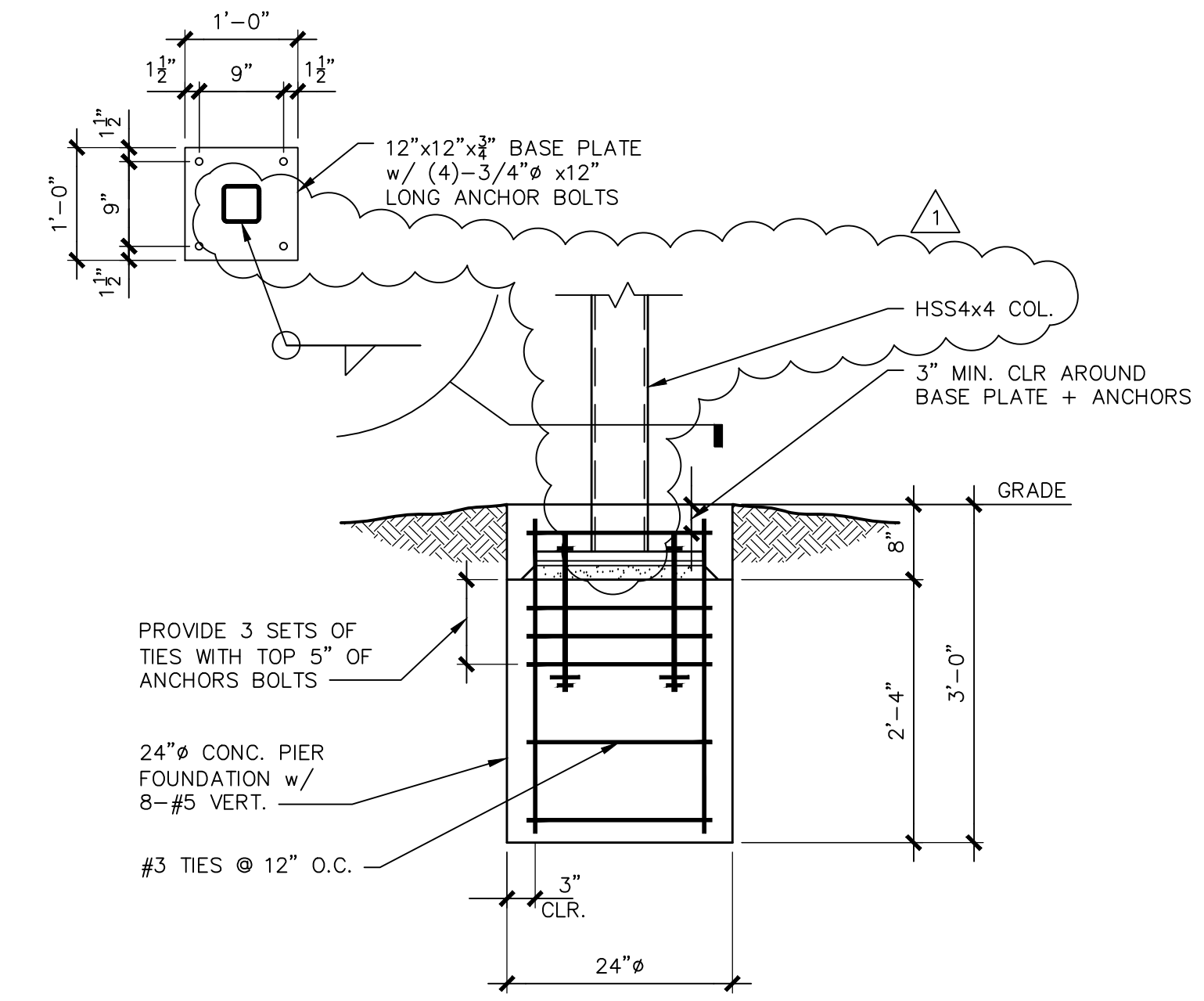
- INSTALLATION SEQUENCE
- 1 REMOVE 4" WYTHE OF MASONRY FOR FULL LENGTH OF OPENING + SUPPORT LENGTH.
  - 2 INSTALL STEEL CHANNEL AND MORTAR TIGHT TO BRICK ABOVE AND BELOW BEARING AT END. CURE 2 DAYS.
  - 3 REMOVE REMAINING 4" WYTHE AND INSTALL SECOND CHANNEL ALIGNING HOLES WITH FIRST CHANNEL.
  - 4 BOLT TO FIRST CHANNEL & MORTAR INTO PLACE.
  - 5 SAWCUT & REMOVE REMAINDER OF WALL. REPOINT BRICK @ EDGE.

ALTERNATE LINTEL INSTALLATION IN EXISTING WALL

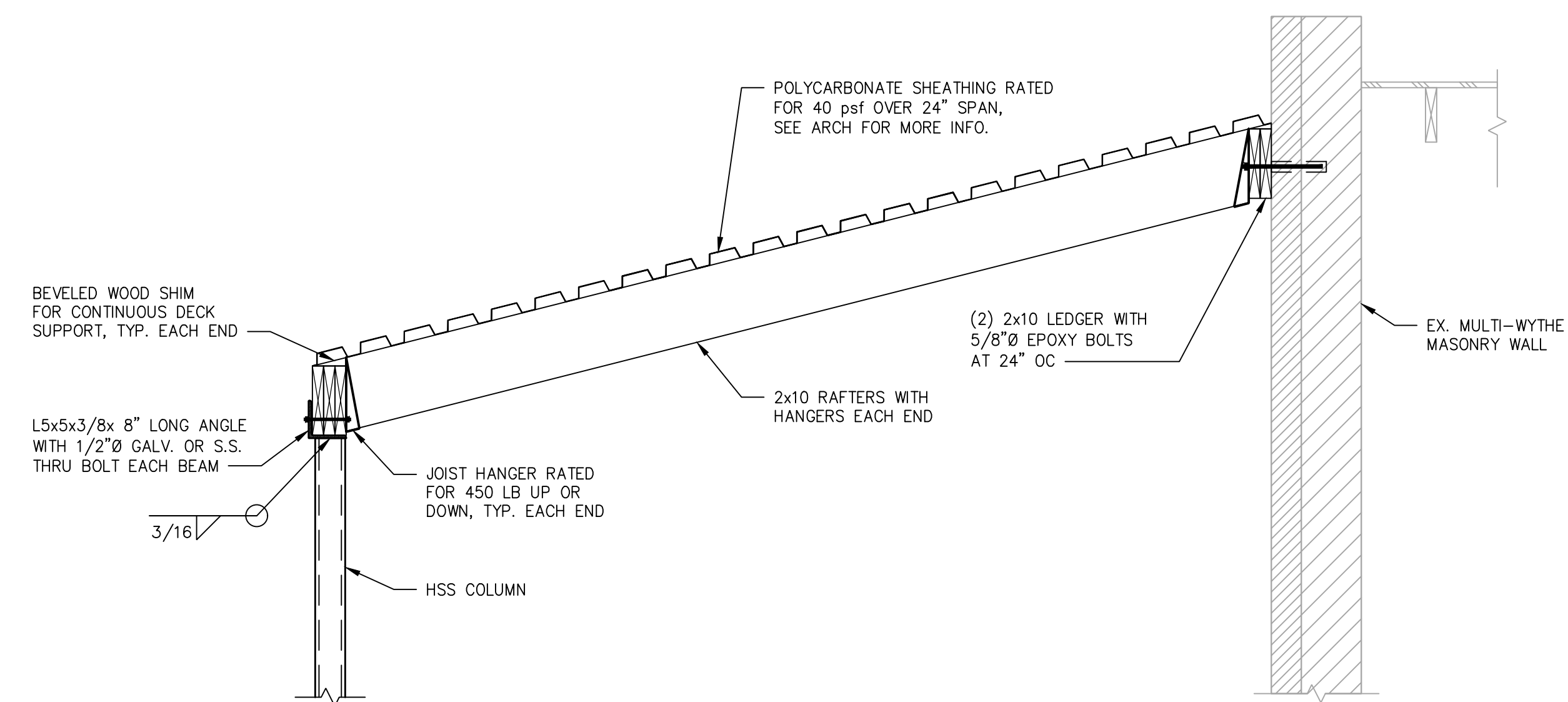
SECTION 2A  
SCALE: 3/4" = 1'-0"  
S201EXT



SECTION 2  
SCALE: 3/4" = 1'-0"  
S201EXT



SECTION 1  
SCALE: 3/4" = 1'-0"  
S201EXT



SECTION 4  
SCALE: 3/4" = 1'-0"  
S201EXT

**//3877**  
www.3877.design

COPYRIGHT NOTICE:  
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

**OWNER:**  
BAKER'S BREAD LLC  
NOEL LANDINI  
115 KING STREET  
ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
TECH 24  
VIC BONOMI  
5256 EISENHOWER AVE  
ALEXANDRIA, VA 22304  
[T] 571.233.8565  
[W] WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
3877  
3333 K STREET NW, SUITE 60  
WASHINGTON DC 20007  
[T] 202.393.4244  
[W] WWW.3877.DESIGN

**MEP ENGINEER:**  
BUILT ENVIRONMENT ENGINEERS  
6891 ELM STREET  
SUITE 20  
MCLEAN, VA 22101  
[T] 703.888.8649  
[W] WWW.BEENGRS.COM

**FOOD SERVICE:**  
SINGER EQUIPMENT COMPANY  
JAMES FEUSTEL  
180 HELLER PLACE  
BELLMAWR, NJ 08031  
[T] 646-702-9922  
[W] WWW.SINGEREQUIPMENT.COM



ISSUED FOR PERMIT

DRAWING DATA

PROJECT: **JUNCTION BAKERY - ALEXANDRIA**

ADDRESS: **1508 MT VERNON AVENUE ALEXANDRIA, VA 22301**

SHEET SUBMISSION INDEX

REV. NO.	REVISION	DATE
1	EXTERIOR STRUCTURAL REVISION	06/19/2023

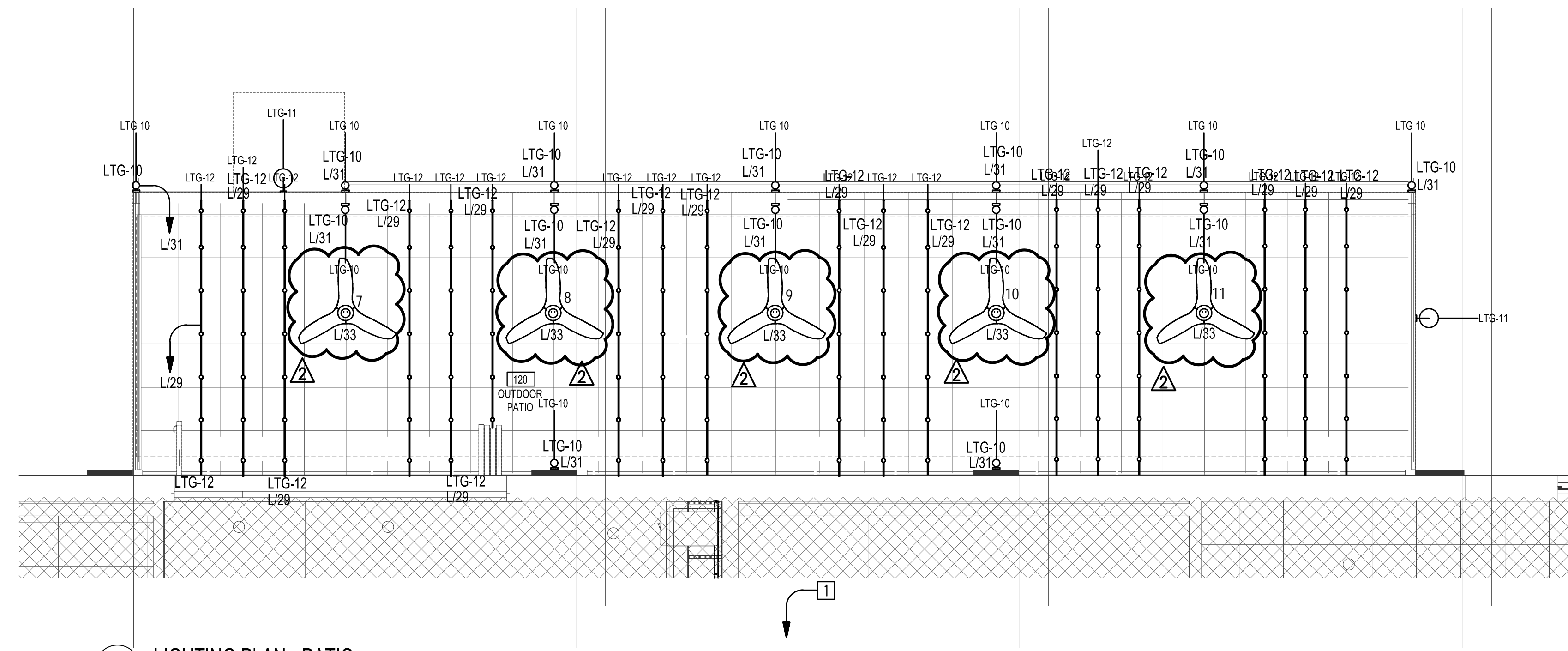
SEAL & SIGNATURE:

ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: FRAMING SECTIONS  
PROJECT NO: 2020.72  
DATE ISSUED: 06/19/23  
SCALE: As indicated

**S201EXT**

**EHLERT BRYAN**  
Structural, Mechanical, Electrical Engineers  
8609 Westwood Center Drive, Suite 800  
Tysons, VA 22182  
(703) 827-9552  
Fax (703) 356-2031  
www.ehlerbryan.com  
EBM227017



1 LIGHTING PLAN - PATIO  
1/4" = 1'-0"

**GENERAL NOTES:**

- A. REFER TO ARCHITECTURAL PLANS, DETAILS, AND ELEVATIONS FOR LOCATIONS, MOUNTING HEIGHTS, AND FINISHES FOR ALL LIGHTING FIXTURES.
- B. PROVIDE CONDUIT, WIRE, SWITCHES, RELAYS, POWER PACKS, ETC. FOR A COMPLETE LIGHTING INSTALLATION AS DEFINED ON PLANS.
- C. FIELD COORDINATE EXACT ROUTING OF ALL NEW FEEDERS AND BRANCH CIRCUITS.
- D. LIGHTING CONTROL DEVICE MANUFACTURER TO VERIFY ALL INFORMATION INDICATED ON THIS PLAN, AND MODIFY DEVICE TYPE AND LAYOUT AS NEEDED FOR A COMPLETE FUNCTIONAL LIGHTING CONTROL SYSTEM.
- E. ALL LUMINARIES FINISHES TO BE CONFIRMED BY ARCHITECT.
- F. ALL LUMINARIES TO BE UL LISTED FOR THE INTENDED USES.
- G. ALL EXIT SIGNS ARE EQUIPPED WITH 2 HR BATTERY PACK. CONNECT TO NEAREST LIGHTING CIRCUIT AHEAD OF SWITCHED LEG.
- H. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY ASTRONOMICAL TIMELOCK AND PHOTOCELL.
- K. ALL EXTERIOR LIGHT FIXTURES TIME CLOCK SHOULD BE PROGRAMMED TO SHUT OFF FROM 12 MIDNIGHT OR WITHIN ONE (1) HOUR OF THE END OF BUSINESS OPERATIONS, WHICHEVER IS LATER, UNTIL 6 A.M. OR BUSINESS OPENING, WHICHEVER IS EARLIER.

**KEYED NOTES:**

- 1. CONTROL SWITCHES FOR THE FANS ARE PLACED IN THE INTERIOR BY THE BAR. COORDINATE CONTROL SWITCH LOCATIONS WITH THE ARCHITECT.

**LIGHTING FIXTURE SCHEDULE - EXTERIOR**

TYPE	DESCRIPTION	MANUFACTURER	MODEL	FINISH	LAMPING	COMMENTS
LTG-10	EXTERIOR CYLINDER SCENCE	REJUVENATION OR APPROVED ALTERNATE	THORBURN NARROW WALL SCENCE #A7004, WET RATED	DARK ALUMINUM	5W LED	FIXTURE TO BE DIMMABLE AND HARDWIRED. PROVIDE ALL PARTS AND ACCESSORIES FOR COMPLETE INSTALLATION.
LTG-11	EXTERIOR CAGE LIGHT SCENCE	SCHOOLHOUSE LIGHTING OR APPROVED ALTERNATE	FACTORY 4 OUTDOOR SCENCE, WET RATED. PROVIDE CAGE	BLACK BK	MAX WATTAGE 100W, LED LAMP TBD	FIXTURE TO BE DIMMABLE AND HARDWIRED. PROVIDE ALL PARTS AND ACCESSORIES FOR COMPLETE INSTALLATION.
LTG-12	STRIKE LIGHTS	WILSON JENSEN OR APPROVED ALTERNATE	CL-32 SERIES, NON-SUSPENDED L-20 STRIKE LIGHTS w/ G.C. SOCKETS, WET RATED. FIXTURE IS CUTTABLE IN FIELD.	BLACK	7W LED PER SOCKET	FIXTURE TO BE DIMMABLE AND HARDWIRED. PROVIDE ALL PARTS AND ACCESSORIES FOR COMPLETE INSTALLATION. GC TO VERIFY LENGTHS IN FIELD PRIOR TO ORDERING FIXTURE.

**COMcheck Software Version 4.1.5.5**  
**Exterior Lighting Compliance Certificate**

**Project Information**

Energy Code: 2018 IECC  
Project Title: JUNCTION BAKERY  
Project Type: Addition  
Exterior Lighting Zone: 2 (Neighborhood business district (L2Z))

Construction Site: 1508 MT VERNON AVENUE, ALEXANDRIA, VA 22301  
Owner/Agent: [Blank]  
Designer/Contractor: [Blank]

Area/Surface Category	Quantity	Allowed Watts / Unit	Tradeable Wattage	Allowed Watts (B X C)
Drivng area	0.00	Yes	600	0
		Total Tradeable Watts (B) =	600	
		Total Allowed Watts =	600	
		Total Allowed Supplemental Watts (D) =	400	

(A) Wattage reductions are only allowed between tradeable areas/surfaces.  
(B) A supplemental allowance equal to 400 watts may be applied toward compliance of both non-tradeable and tradeable areas/surfaces.

Fixture ID / Description / Lamp / Wattage Per Lamp / Ballast	Lamps / Fixture	# of Fixtures	Watt. (C X D)
Drivng area (SEE 50): Tradeable Wattage			
LED 1, LTG-10, Other	1	14	70
LED 2, LTG-12, Other	1	128	896
		Total Tradeable Proposed Watts =	966

**Exterior Lighting PASSES**

**Exterior Lighting Compliance Statement**  
Compliance Statement: The proposed exterior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version 4.1.5.5, and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name: \_\_\_\_\_ Title: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Project Title: JUNCTION BAKERY  
Data Filename: P:\2022\Projects\2022-046 Junction Bakery Bar Addition\0 Permit Forms\ComCheck\Bakery Patl Page 1 of 5  
Lighting Compliance.docx Report date: 04/01/23

**COPYRIGHT NOTICE:**  
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

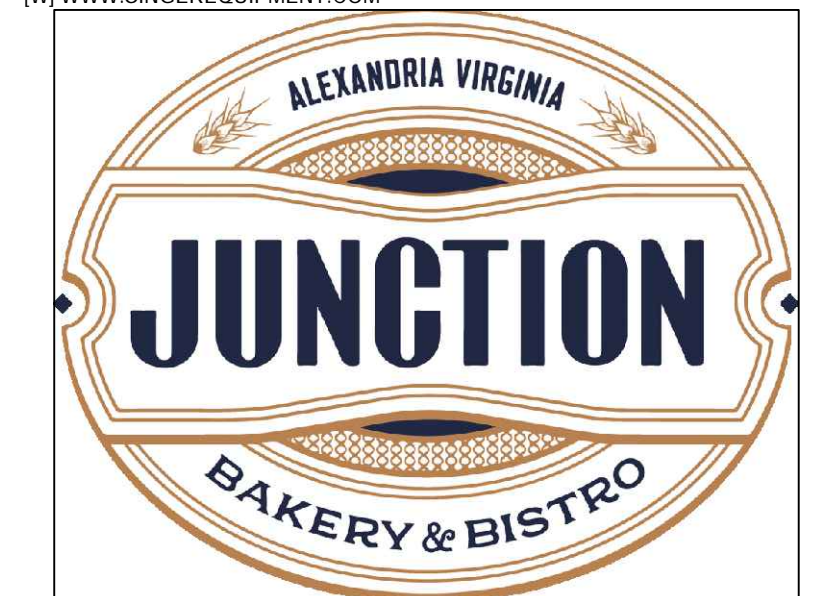
**OWNER:**  
BAKERS BREAD LLC  
NOE LINDHJ  
115 KING STREET  
ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
TECH 24  
5256 EISENHOWER AVE  
ALEXANDRIA, VA 22304  
(703) 571-2333/8585  
(W) WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
3877  
3333 K STREET NW, SUITE 60  
WASHINGTON DC 20007  
(703) 202-350-4244  
(W) WWW.3877DESIGN.COM

**MEP ENGINEER:**  
BUILT ENVIRONMENT ENGINEERS  
6861 ELM STREET  
SUITE 200  
MCLEAN, VA 22101  
(703) 888-0649  
(W) WWW.BEENGRS.COM

**FOOD SERVICE:**  
SINGER EQUIPMENT COMPANY  
JAMES FEUSTEL  
180 HELLER PLACE  
BELLMAWR, NJ 08031  
(703) 646-702-9922  
(W) WWW.SINGEREQUIPMENT.COM



ISSUED FOR PERMIT

**DRAWING DATA**

PROJECT: JUNCTION BAKERY - ALEXANDRIA  
ADDRESS: 1508 MT VERNON AVENUE, ALEXANDRIA, VA 22301

- SHEET SUBMISSION INDEX
- INTERIOR PERMIT - 3.31.2023
  - EXTERIOR PERMIT - 3.31.2023

REV. NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISIONS	31 JULY 2023

SEAL & SIGNATURE:



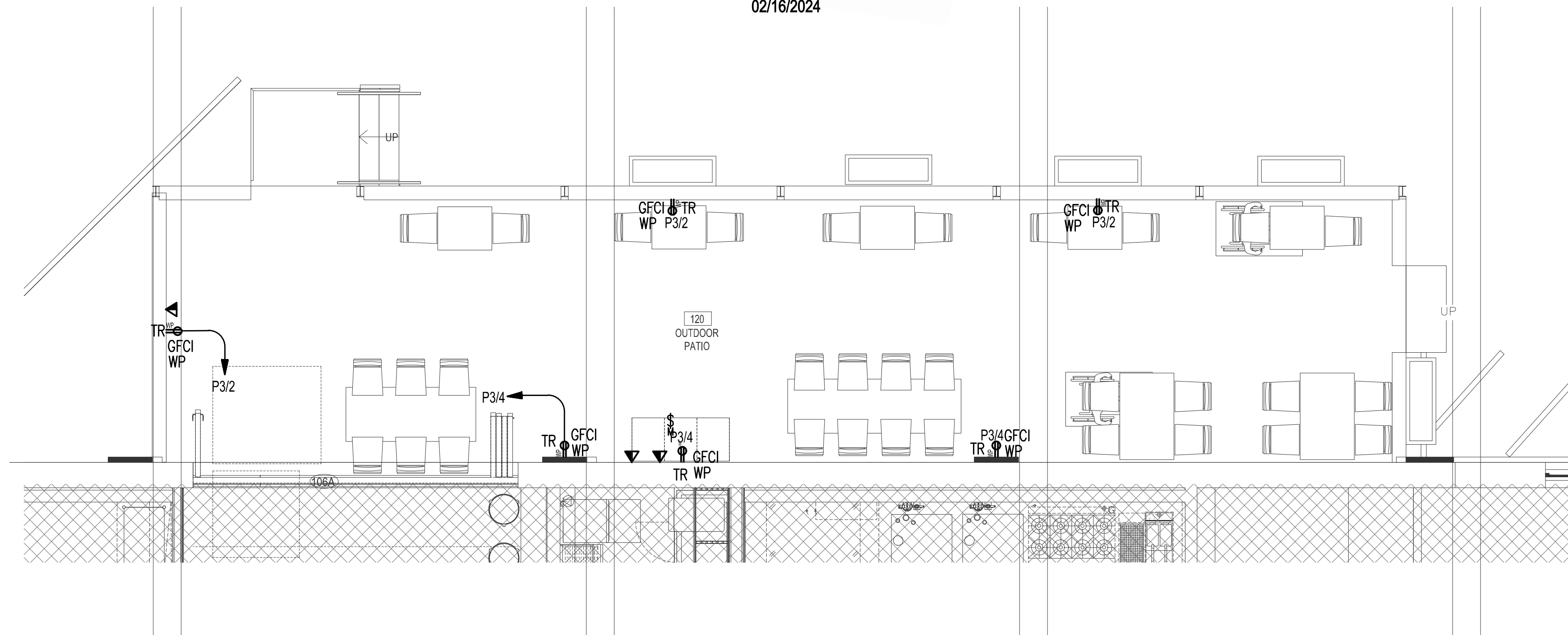
ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: LIGHTING PLAN  
PROJECT NO: 2022-46  
DATE ISSUED: 03/31/23  
SCALE: As indicated

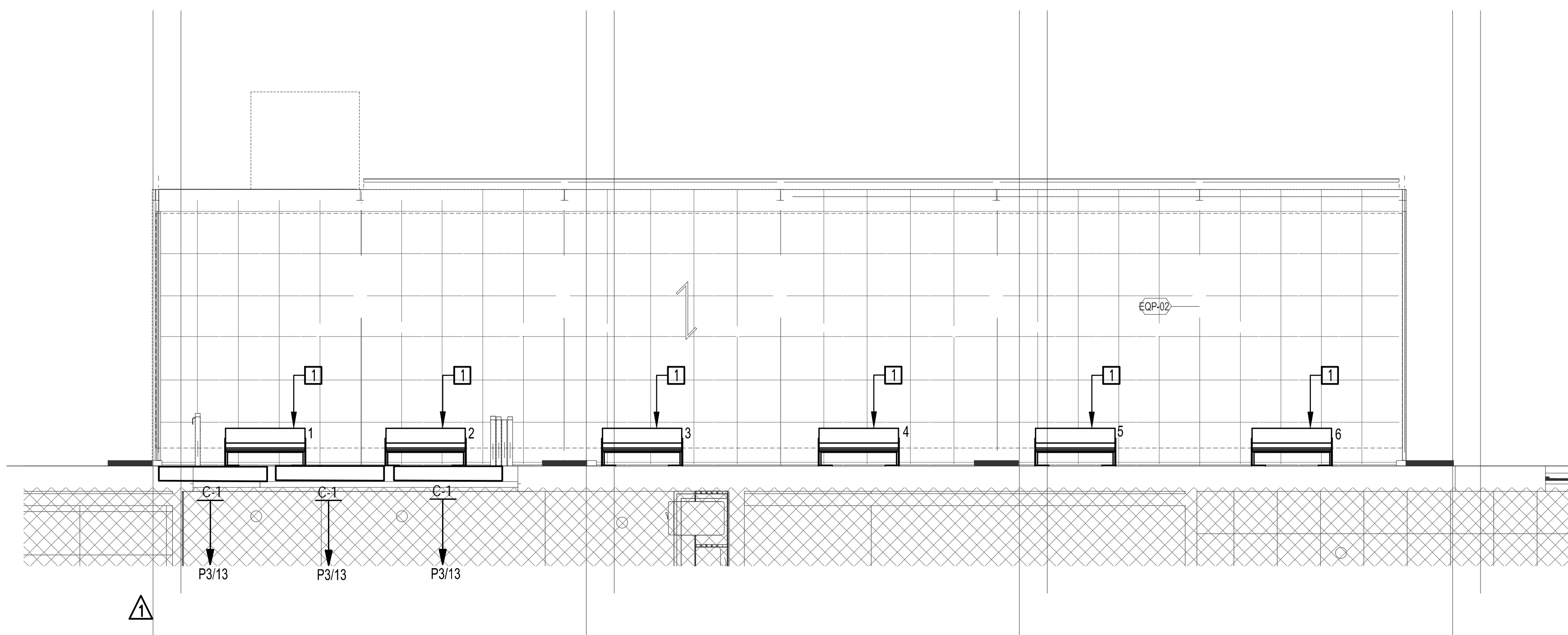
# EXTE-101

**VOID**

02/16/2024



1 POWER PLAN  
1/4" = 1'-0"



2 EQUIPMENT POWER PLAN  
1/4" = 1'-0"

**GENERAL NOTES:**

- A. REFER TO ARCHITECTURAL AND KITCHEN PLANS, DETAILS, AND ELEVATIONS FOR LOCATIONS, MOUNTING HEIGHTS, AND FINISHES FOR ALL ELECTRICAL DEVICES.
- B. PROVIDE CONDUIT, WIRE, OVERCURRENT PROTECTION, ETC. FOR COMPLETE ELECTRICAL DEVICE INSTALLATION AS DEFINED ON PLANS.
- C. FIELD COORDINATE EXACT ROUTING OF ALL NEW FEEDERS AND BRANCH CIRCUITS.

**KEYED NOTES:**

- 1. CONTROL SWITCHES FOR THE HEATERS ARE PLACED IN THE INTERIOR BY THE BAR. COORDINATE CONTROL SWITCH LOCATIONS WITH THE ARCHITECT.

**EQUIPMENT SCHEDULE - EXTERIOR**

Type Mark	Description	Manufacturer	Model	Finish	Comments
EOP-01	OUTDOOR WALL HEATERS	SCHWANK	2152-N	BLACK	GC TO PROVIDE: (6) TWO STAGE HEATERS, 30 DEGREE MOUNTING BRACKET; (2) JM-0203-TS 3-GANG SCHWANK 2-STAGE SWITCHES, (ADJACENT TO LIGHTING CONTROLS); (1) MULTI MOUNT 150VA TRANSFORMER FOR ALL 6 HEATERS - MOUNTED WITHIN THE SPACE IN A CONCEALED, DRY AND VENTILATED LOCATION. CONTACT ERIC KAHN FOR PURCHASE: 415-884-2880 ERIC@ALPESCO-HEATING.COM
EOP-02	Haiku 60In Dia	Big Ass Fans	60" inch MK-HK-4-05-2506-A258-F258		OMIT LIGHTS, COORDINATE DOWNROD ATTACHMENT WITH SLOPED CEILING. COORDINATE CONTROL SPEC WITH OWNER AND INCLUDE IN PURCHASE. PROVIDE ALL PARTS AND PIECES REQUIRED FOR FULL AND COMPLETE INSTALLATION. PROVIDE STABILIZER KIT.

**AIR CURTAIN SCHEDULE**

Type Mark	CFM	HP	MCA	Dimensions (H x L x W)	MOP	Weight (LBS)	Basis of Design (BERNER)
C-1	1680	1/5	1.7	7.5' x 61" x 13.6"	15	57	ALC08-1060A

1. ELECTRICAL BASED IN 208V/1PH/60HZ

**//3877**  
www.3877.design

**COPYRIGHT NOTICE:**  
STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

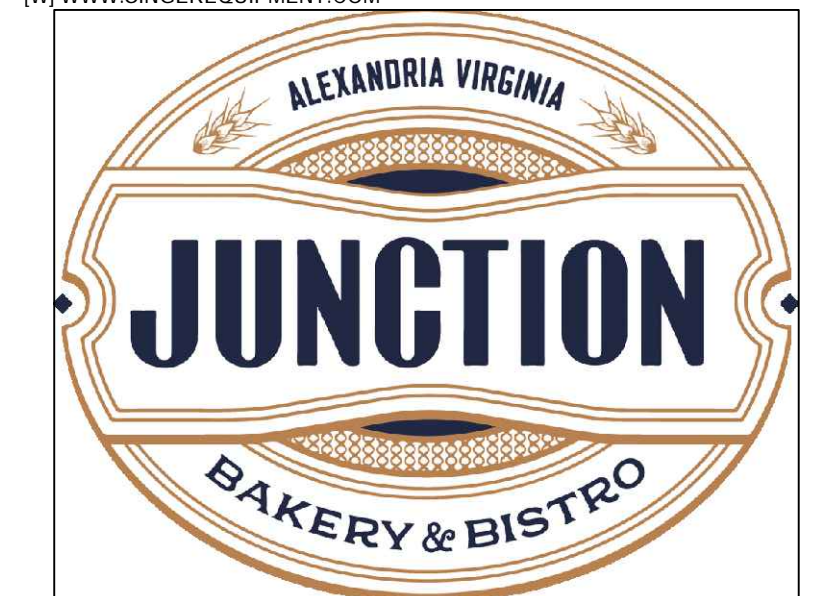
**OWNER:**  
BAKER'S BREAD LLC  
NOE LANDINI  
115 KING STREET  
ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
TECH 24  
5256 EISENHOWER AVE  
ALEXANDRIA, VA 22304  
(703) 233-8685  
(W) WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
//3877  
3333 K STREET NW, SUITE 60  
WASHINGTON DC 20007  
(T) 202.350.4244  
(W) WWW.3877.DESIGN

**MEP ENGINEER:**  
BUILT ENVIRONMENT ENGINEERS  
6861 ELM STREET  
SUITE 200  
MCLEAN, VA 22101  
(T) 703.888.0649  
(W) WWW.BEEENGRS.COM

**FOOD SERVICE:**  
SINGIER EQUIPMENT COMPANY  
JAMES FEUSTEL  
180 HELLER PLACE  
BELLMAWR, NJ 08031  
(T) 646-702-9922  
(W) WWW.SINGIEREQUIPMENT.COM



ISSUED FOR PERMIT

**DRAWING DATA**

**PROJECT:** JUNCTION BAKERY - ALEXANDRIA  
**ADDRESS:** 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

- SHEET SUBMISSION INDEX**
- INTERIOR PERMIT - 3.31.2023
  - EXTERIOR PERMIT - 3.31.2023
  - PERMIT RESPONSE - 6.07.2023

REV NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISIONS	31 JULY 2023

SEAL & SIGNATURE:



ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: POWER PLAN  
PROJECT NO: 2022-46  
DATE ISSUED: 03/31/23  
SCALE: As indicated

**EXTE-201**



**GENERAL NOTES**

- SCOPE:** FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SERVICES AND SKILLED SUPERVISION NECESSARY TO PROVIDE, INSTALL, TEST AND ADJUST HVAC AND PLUMBING SYSTEMS COMPLETE, OPERATIONAL, AND READY FOR USE, AS INDICATED IN THESE DRAWINGS AND SPECIFICATIONS.
- PERMITS, LICENSES & FEES:** PAY ALL REQUIRED FEES AND OBTAIN ALL NECESSARY PERMITS AND LICENSES FOR LEGAL REMOVAL AND INSTALLATION OF THE WORK.
- APPLICABLE CODES AND STANDARDS:** ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS AND ANY REGULATIONS EFFECTIVE IN THE PROJECT JURISDICTION. ALL CODE CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR RESOLUTION. APPLICABLE CODES AND STANDARDS ON THIS PROJECT INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
  - VIRGINIA BUILDING CODE, 2018
  - VIRGINIA MECHANICAL CODE, 2018
  - VIRGINIA FUEL GAS CODE 2018
  - VIRGINIA ENERGY CONSERVATION CODE 2018
  - NFPA 70, NATIONAL ELECTRICAL CODE 2017
  - NFPA 72, NATIONAL FIRE ALARM CODE
  - 2010 ADA STANDARD
- DRAWING ACCURACY:** DRAWINGS ARE DIAGRAMMATIC AND NOT INTENDED TO BE SCALED. WHEN INDICATED, ALL WORK SHALL BE PHYSICALLY LOCATED IN ACCORDANCE WITH ANNOTATED DIMENSIONS ON ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS.
- SITE VISIT:** THE CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS, EQUIPMENT, DUCTWORK, PIPING, WIRING, CONSTRUCTION, FINISHES, AND STRUCTURE PRIOR TO START OF WORK. WHEN ANY DISCREPANCY OR CONFLICT IS DETECTED AT THE PROJECT SITE, THE OWNER SHALL BE NOTIFIED IMMEDIATELY PRIOR TO COMMENCING WORK.
- COORDINATION:** CONTRACTOR SHALL COORDINATE AND SEQUENCE THE WORK OF ALL DIVISIONS AND TRADES PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK AND RACEWAYS. COORDINATE THE LOCATION OF ALL NEW EQUIPMENT, DUCTWORK, AND DEVICES WITH NEW STRUCTURE AND EQUIPMENT BEFORE FABRICATION. MAKE NECESSARY ACCOMMODATIONS TO MEET THE INTENT OF THE DRAWINGS AND ENSURE A COORDINATED INSTALLATION.
- SUBMITTALS AND SUBSTITUTIONS:** CONTRACTOR SHALL PROVIDE PRODUCT INFORMATION, SHOP DRAWINGS, DOCUMENTS AND WARRANTIES FOR MATERIALS AND SERVICES TO THE OWNER FOR APPROVAL. NO SUBSTITUTION WILL BE ALLOWED WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE IN WRITING. SUBSTITUTE MATERIAL SHALL BE COMPATIBLE WITH OTHER COMPONENTS OF THE SYSTEM.
- INSTALLATION OF NEW WORK:** INSTALLATION OF EQUIPMENT, DUCTWORK, PIPING, FIXTURES, ETC. SHALL BE DONE IN NEAT AND WORKMANLIKE MANNER, AND SHALL CONFORM TO THE LATEST TRADE PRACTICES. REFER TO ARCHITECTURAL DRAWINGS TO VERIFY EXACT LOCATION OF EQUIPMENT, FIXTURES, ETC. COORDINATE DUCTWORK AND PIPING WITH THE WORK OF OTHER TRADES PRIOR TO FABRICATION. MAKE NECESSARY ACCOMMODATIONS TO MEET THE INTENT OF THE DRAWINGS AND ENSURE A COORDINATED INSTALLATION.
- DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE INTENT OF THE CONTRACT. DESIGN DRAWINGS ARE NOT TO BE CONSIDERED AS SUBSTITUTION TO SHOP DRAWINGS. DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS CONDITIONS ALLOW TO COMPLETE THE INTENT OF THE CONTRACT. THE RIGHT IS RESERVED BY THE ENGINEER TO MAKE MINOR CHANGES IN LOCATIONS AND ARRANGEMENTS WHEN REQUIRED BY JOB DEVELOPMENT WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.
- MOUNTING HEIGHTS:** COORDINATE MOUNTING HEIGHTS OF DEVICES ON FINISHED WALLS TO PROVIDE A NEAT AND SYMMETRICAL APPEARANCE. SEE ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS FOR HEIGHTS AND LOCATIONS OF EQUIPMENT. DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO CENTERLINE OF EQUIPMENT.
- WARNING SIGNS:** PROVIDE SIGNS, BARRICADES, GUARDS, AND PROTECTION FOR SAFETY DURING CONSTRUCTION. WORK AREA SHALL BE KEPT CLEAN, CLEAR OF OBSTRUCTIONS, WELL ILLUMINATED, AND UNDER ORGANIZED MATERIAL STORAGE.
- FIRE STOPPING:** REFER TO ARCHITECTURAL PLANS FOR DETAILS AND REQUIREMENTS FOR CONDUIT AND PIPING PENETRATIONS THROUGH WALLS, FLOORS AND CEILINGS.
- REPAIR:** ALL WORK SHALL BE DONE IN SUCH A MANNER TO MINIMIZE DAMAGE TO ADJACENT EQUIPMENT, PIPING, DUCTWORK, WIRING, FIXTURES, CONSTRUCTION, FINISHES AND STRUCTURE. ANY DAMAGE RESULTING FROM WORK UNDER THIS PROJECT SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CLEANING & MATERIAL DISPOSITION:** CLEAR ALL DEBRIS FROM THE AREA OF WORK AND LEAVE SITE IN CLEAN CONDITION. CLEAN ALL EQUIPMENT ENCLOSURES, INSIDE AND OUTSIDE. ALL DEMOLISHED EQUIPMENT AND DEBRIS NOT TO BE REUSED OR SALVAGED SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- HAZARDOUS MATERIALS:** IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED IN AREAS EXPECTED TO CONTAIN ACMs, PCBs, OR LEAD, THE CONTRACTOR SHALL CEASE DEMOLITION ACTIVITIES AND NOTIFY THE OWNER.
- PROVIDE DIELECTRIC PIPING UNIONS BETWEEN DISSIMILAR METALS.
- PIPING SHALL NOT COME INTO DIRECT CONTACT WITH CONCRETE OR STRUCTURE IN ANY LOCATION.
- VALVES AND PIPING ACCESSORIES SHALL BE IN LINE SIZE. PROVIDE SUPPLY STOP VALVES AT ALL NON-FLUSH VALVE TYPE FIXTURES.
- PROVIDE CODE COMPLIANT (ASSE) BACKFLOW PREVENTER WITH SHUT OFF VALVES, UNION, AND ESCUTCHEON AT EACH EQUIPMENT CONNECTION THAT REQUIRES A POTABLE WATER CONNECTION.
- CONTRACTOR IS PROHIBITED FROM USING LEAD-BASED SOLDER.
- ALL PIPING PENETRATING CEILINGS AND WALLS SHALL BE INSTALLED WITH ESCUTCHEONS AT PENETRATION. PIPING PENETRATING EXTERIOR WALLS, ROOFS AND FLOOR AND CEILING SHALL BE FLASHED IN APPROVED MANNER AND SHALL BE SEALED WATERTIGHT TO MAINTAIN INTEGRITY OF SEPARATION. PIPING PENETRATING FIRE RATED PARTITIONS SHALL BE INSTALLED WITH FIRE RATED SEALS AS REQUIRED BY ARCHITECT AND AUTHORITY HAVING JURISDICTION.
- PROVIDE ACCESS TO SYSTEM COMPONENTS THAT ARE CONCEALED AND REQUIRE PERIODIC SERVICE.
- PLUMBING EQUIPMENT, PIPING, INSULATION, ETC., INSTALLED IN HVAC PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR SMOKE DEVELOPMENT AND COMBUSTIBILITY.

**GENERAL NOTES**

- PROVIDE SHUTOFF VALVES ON BRANCH PIPING AND SUPPLIES TO INDIVIDUAL FIXTURES AND EQUIPMENT. PROVIDE VALVES ON ALL WATER, ETC, MAIN BRANCHES IN CORRIDORS AND WHERE INDICATED ON DRAWINGS. VALVES SHALL BE INSTALLED WITH STEM UP. VALVES INSTALLED SHALL BE PERMANENTLY ACCESSIBLE FOR VALVES 3" DIAMETER AND SMALLER AND SHALL BE CHAIN OPERATED FOR VALVES LARGER THAN 3" DIAMETER.
- VERIFY EXACT SIZES, LOCATIONS, INVERTS AND ELEVATIONS PRIOR TO RUNNING ANY PIPING. REFER TO ARCHITECTURAL & CIVIL DRAWINGS FOR EXACT LOCATIONS OF FIXTURES AND EQUIPMENT.
- SLOPE HORIZONTAL WASTE PIPING AS FOLLOWS: 2-1/2" DIAMETER AND SMALLER AT 2%, 3" DIAMETER AND LARGER AT 1% IN DIRECTION OF FLOW.
- GUARANTEE: ALL PLUMBING WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE FINAL INSTALLATION BY THE OWNER'S REPRESENTATIVE.
- ALL ABANDONED PLUMBING PIPING SHALL BE REMOVED (BOTH FROM ABOVE CEILINGS AND BELOW SLAB).

**PIPE LINE TYPES**

	SANITARY PIPE ABOVE FLOOR
	SANITARY PIPE BELOW FLOOR
	VENT
	COLD WATER
	HOT WATER
	HOT WATER RETURN
	EXISTING SANITARY PIPE ABOVE FLOOR
	EXISTING PIPE BELOW FLOOR
	EXISTING VENT
	EXISTING COLD WATER
	EXISTING HOT WATER
	EXISTING HOT WATER RETURN
	STORM
	FIRE PROTECTION
	SPRINKLER PIPE
	GAS PIPE
	EXISTING GAS PIPE

**SYMBOLS**

	P TRAP
	PIPE BREAK (SINGLE LINE)
	PIPE FITTING DOWN OR DROP
	PIPE FITTING TEE DOWN
	PIPE FITTING UP
	SHUT OFF VALVE
	CHECK VALVE -- BACKFLOW PREVENTER
	CLEANOUT
	CAP OR END OF PIPE
	OS&Y
	POINT OF RECONNECTION
	EXTENT OF DEMOLITION
	REGULATOR
	METER

**DRAWING LIST**

- EXTP-001 GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS  
 EXTP-101 LEVEL 1 - NEW WORK PLAN

**ABBREVIATIONS**

ABV	ABOVE
ASME	AMERICAN SOC. OF MECHANICAL ENGINEERS
ASTM	AMERICAN SOC. FOR TESTING & MATERIAL
BEL	BELOW
BLDG	BUILDING
CO	CLEANOUT
CW	COLD WATER
DF	DRINKING FOUNTAIN
DN	DOWN
DW	DISHWASHER
DWG	DRAWING
ED	EMERGENCY FLOOR DRAIN
ET	EXPANSION TANK
(E)	EXISTING
EX	EXISTING
ETR	EXISTING TO REMAIN
EWH	ELECTRIC WATER HEATER
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
GWH	GAS WATER HEATER
HW	HOT WATER
HWR	HOT WATER RETURN
LAV	LAVATORY
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PSK	PANTRY SINK
REF	REFRIGERATOR
SD	SHOWER DRAIN
SH	SHOWER
TV	TEMPERING VALVE
UR	URINAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WC	WATER CLOSET



**COPYRIGHT NOTICE:**  
 STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

**OWNER:**  
 BAKERS BREAD LLC  
 NOE LINDHIE  
 115 KING STREET  
 ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
 TECH 24  
 5256 EISENHOWER AVE  
 ALEXANDRIA, VA 22304  
 (T) 571.233.8595  
 (W) WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
 /3877  
 3333 K STREET NW, SUITE 60  
 WASHINGTON DC 20007  
 (T) 202.350.4244  
 (W) WWW.3877DESIGN.COM

**MEP ENGINEER:**  
 BUILT ENVIRONMENT ENGINEERS  
 6861 ELM STREET  
 SUITE 20  
 MCLEAN, VA 22101  
 (T) 703.888.0649  
 (W) WWW.BEENGRS.COM

**FOOD SERVICE:**  
 SINGER EQUIPMENT COMPANY  
 JAMES FEUSTEL  
 180 HELLER PLACE  
 BELLMOR, NJ 08031  
 (T) 646-702-9922  
 (W) WWW.SINGEREQUIPMENT.COM



**ISSUED FOR PERMIT**

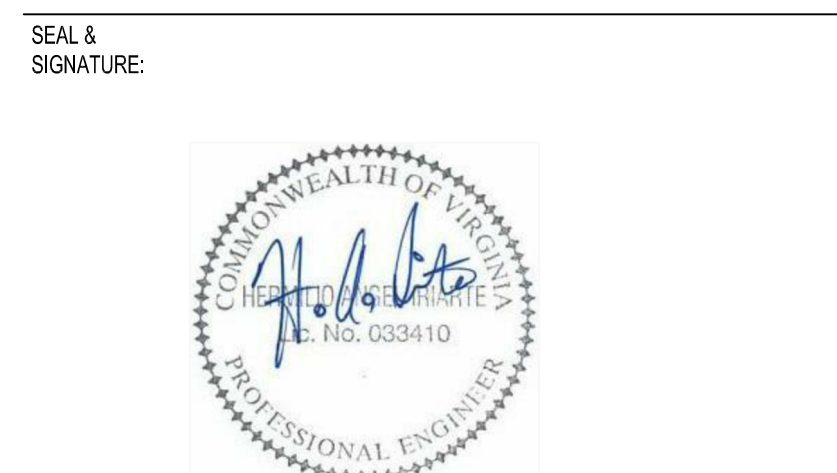
**DRAWING DATA**

**PROJECT:** JUNCTION BAKERY - ALEXANDRIA  
**ADDRESS:** 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

**SHEET SUBMISSION INDEX**

- INTERIOR PERMIT - 3.31.2023
- EXTERIOR PERMIT - 3.31.2023
- PERMIT RESPONSE - 6.07.2023

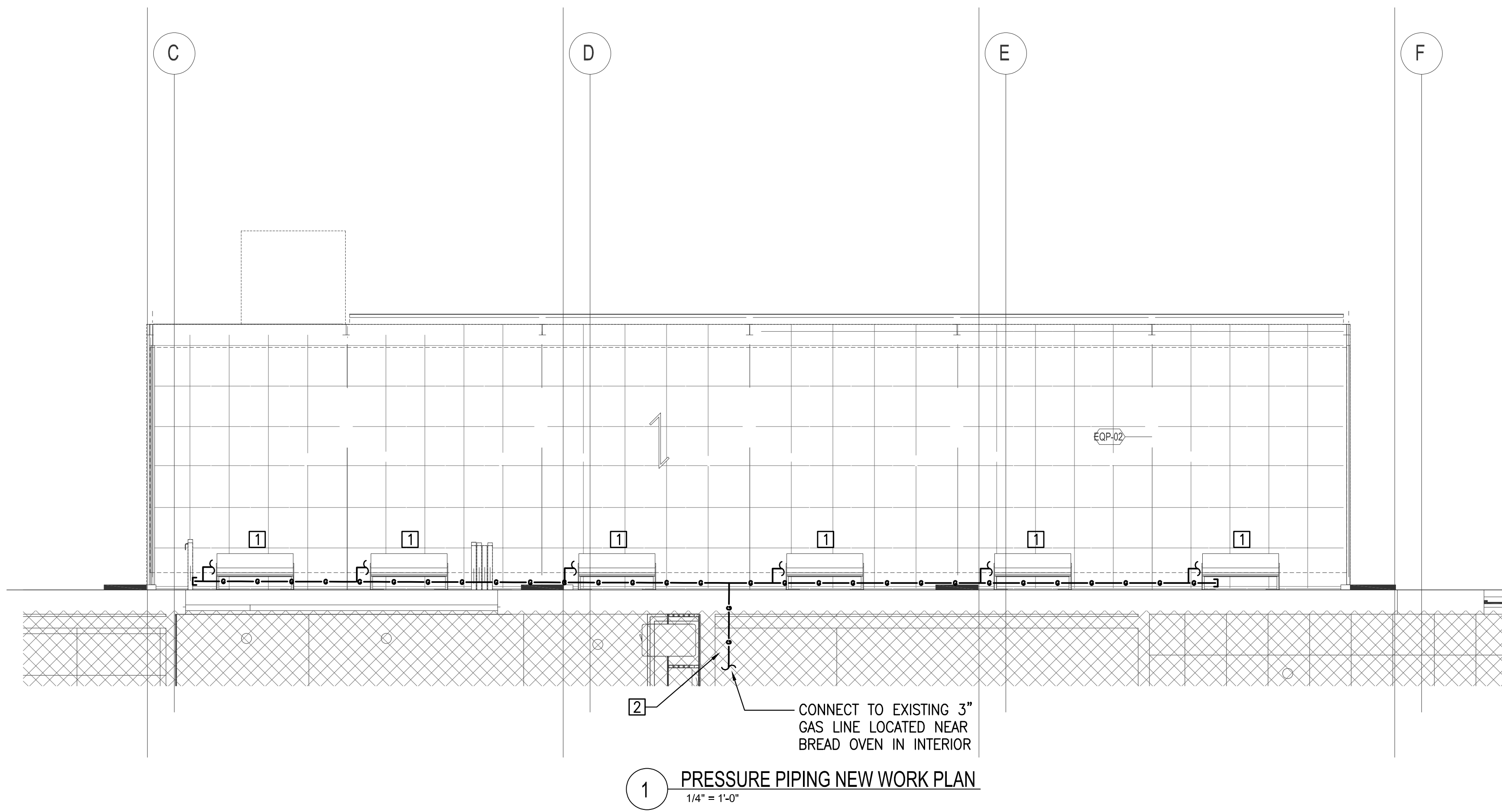
REV. NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISIONS	31 JULY 2023



ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: GENERAL NOTES, SYMBOLS, & ABBREVIATIONS  
 PROJECT NO: 2022-46  
 DATE ISSUED: 03/31/23  
 SCALE: As indicated

**EXTP-001**

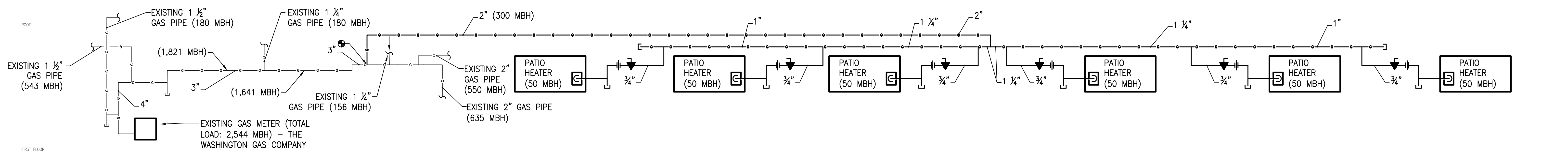


**GENERAL NOTES:**

- A. SEE DRAWING P001 FOR GENERAL NOTES, SYMBOLS, & ABBREVIATIONS.
- B. FIELD VERIFY ADDITIONAL PIPING NOT SHOWN ON PLAN. VARIATIONS MAY BE ENCOUNTERED DURING DEMOLITION/CONSTRUCTION.
- C. CONTRACTOR IS TO REPAIR WALLS, SLAB, & CEILING AREAS AFFECTED BY PLUMBING WORK.

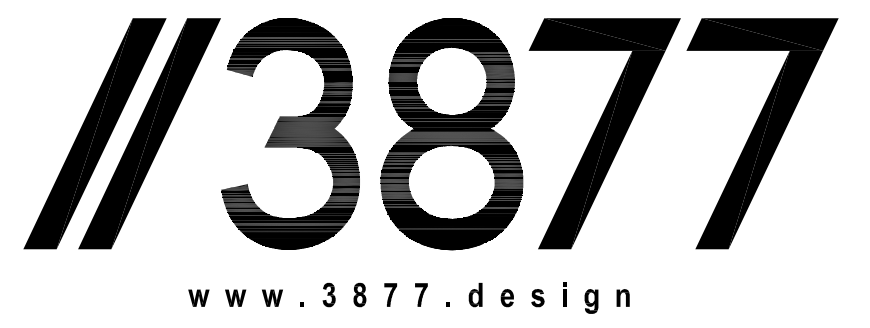
**KEYED NOTES:** [7]

- 1. PATIO HEATER (50 MBH) REFER TO ARCHITECTURAL DWGS FOR DETAILS.
- 2. PIPING TO BE ABOVE FINISHED CEILING INSIDE BLDG.



**GAS RISER NOTES:**

- 1. PLUMBING GAS WORK BEGINS AFTER POINT OF CONNECTION ON SHOWN RISER DIAGRAM AFTER GAS METER AND REGULATOR. WASHINGTON GAS TO PROVIDE GAS METER AND REGULATOR (OUTDOORS).
- 2. BASIS OF DESIGN IS SCHEDULE 40 BLACK STEEL.
- 3. BASIS OF DESIGN IS LONGEST LENGTH METHOD FROM 2018 IFGC.
- 3.1. DESIGN BASIS = 2015 IFGC, TABLE 402.4(1)
  - INLET PRESSURE = LESS THAN 2.0 PSI
  - PRESSURE DROP = 0.3 IN WC
  - SPECIFIC GRAVITY = 0.60
  - GAS PIPE MEASURED LENGTH = 125 FT
- 4. SHUTOFF VALVES SHALL BE ACCESSIBLE.
- 5. PROVIDE SHUTOFF VALVES FOR ALL APPLIANCES AND EQUIPMENT AS REQUIRED.
- 6. PROVIDE DIRT LEGS AS REQUIRED.
- 7. REFER TO FLOOR PLANS FOR ADDITIONAL PIPING AND OFFSETS NOT SHOWN.
- 8. PROVIDE EXPANSION/DEFLECTION FITTINGS AS REQUIRED FOR ALL PIPING THAT PASSES ACROSS BLDG WALLS (OR JOINTS) AS WELL AS ROOFS (WHERE HORIZONTAL OFFSETS ARE NOT PROVIDED).
- 9. PROVIDE KICK PLATES AS REQUIRED FOR GAS PIPING IN WALLS AS PER IFGC 404.7.



**COPYRIGHT NOTICE:**  
 STUDIO3877 EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS TO THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF STUDIO3877.

**OWNER:**  
 BAKER'S BREAD LLC  
 NOE LANDING  
 115 KING STREET  
 ALEXANDRIA, VA 22314

**GENERAL CONTRACTOR:**  
 TECH 24  
 5256 EISENHOWER AVE  
 ALEXANDRIA, VA 22304  
 [T] 571.233.8585  
 [W] WWW.TECH24CONSTRUCTION.COM

**ARCHITECT:**  
 /3877  
 3333 K STREET NW, SUITE 60  
 WASHINGTON DC 20007  
 [T] 202.350.4244  
 [W] WWW.3877.DESIGN

**MEP ENGINEER:**  
 BUILT ENVIRONMENT ENGINEERS  
 6861 ELM STREET  
 SUITE 20  
 MCLEAN, VA 22101  
 [T] 703.888.0649  
 [W] WWW.BEENGRS.COM

**FOOD SERVICE:**  
 SINGER EQUIPMENT COMPANY  
 JAMES FEUSTEL  
 180 HELLER PLACE  
 BELLMOR, NJ 08631  
 [T] 646-702-9922  
 [W] WWW.SINGEREQUIPMENT.COM



**ISSUED FOR PERMIT**

**DRAWING DATA**

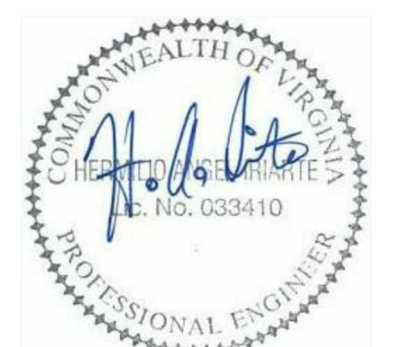
**PROJECT:** JUNCTION BAKERY - ALEXANDRIA  
**ADDRESS:** 1508 MT VERNON AVENUE ALEXANDRIA, VA 22301

- SHEET SUBMISSION INDEX**
- INTERIOR PERMIT - 3.31.2023
  - ISSUED FOR CONSTRUCTION INTERIOR - 08.11.2023

REV. NO.	REVISION	DATE
2	EXTERIOR PERMIT REVISIONS	31 JULY 2023
3	EXTERIOR PERMIT REVISIONS	7 SEPT 2023

**REVISED 1/25/2024**

SEAL & SIGNATURE:



ENTER PROFESSIONAL CERTIFICATION TEXT HERE THAT IS REQUIRED FOR THE JURISDICTION WHERE DRAWINGS WILL BE SUBMITTED.

SHEET TITLE: LEVEL 1 - NEW WORK PLAN  
 PROJECT NO: 2022-46  
 DATE ISSUED: 03/31/23  
 SCALE: As indicated

**EXTP-101**