



**APPLICATION
BOARD OF ZONING APPEALS**

VARIANCE

Section of zoning ordinance from which request for variance is made:

7-203-Accessory dwellings

PART A

1. Applicant: ☒ Owner ☐ Contract Purchaser ☐ Agent

Name Geoff Jacobi/Andrea De Freitas Kick

Address [REDACTED]

Daytime Phone [REDACTED]

Email Address [REDACTED]

2. Property Location 2500 Dewitt Ave

3. Assessment Map # 034 Block 02 Lot 05 Zone 18

4. Legal Property Owner Name Geoff Jacobi/Andrea Defreitas Kick

Address [REDACTED]

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Geoff Jacobi		50%
2. Andrea DeFreitas Kick		50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2500 Dewitt Ave Alexandria, VA 22301 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Geoff Jacobi		50%
2. Andrea DeFreitas Kick		50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the [Alexandria City Council](#), [Planning Commission](#), [Board of Zoning Appeals](#) or either Boards of Architectural Review ([OHAD](#) and [Parker-Gray](#)). **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity below and "NONE" in the corresponding fields.)**

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Geoff Jacobi	None	None
2. Andrea DeFreitas Kick	None	None
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

5. Describe request briefly:

Requesting to increase the 500 SF ADU 1st floor footprint to 600 SF in order to build an ADA compatible ADU for an aging/invalid parent.

6. If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

- ☐ Yes — Provide proof of current City business license.
- ☐ No — Said agent shall be required to obtain a business prior to filing application.

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

- ☒ I, as the applicant or authorized agent, note that there is a fee associated with the submittal of this application. Planning & Zoning Department staff will be in contact with the applicant regarding payment methods. Please recognize that applications will not be processed until all fees are paid.
- ☒ Yes ☐ No I affirm that I, the applicant or authorized agent, am responsible for the processing of this application and agree to adhere to all the requirements and information herein.

Printed Name: Geoff Jacobi

Date: September 25, 2025

Signature:



Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

PART B

APPLICANT MUST EXPLAIN THE FOLLOWING:

(Please attach additional pages where necessary.)

1. Please answer A or B:

- A. Explain how enforcement of the zoning ordinance would prevent reasonable use of the property.**

- B. Explain how the variance, if granted, would alleviate a hardship, as defined above.**

Increasing the 1st floor footprint from 500 SF to 600 SF would allow the ADU to operate as a comfortable and functional ADA compatible unit. The ADU will be used as the primary residence of the homeowners mother who will be selling her house in North Carolina and moving into this unit. The property at this address is close to 8,500 SF, so there is more than enough room to build the ADU and still have sufficient open space. There is also a beautiful, large cedar tree on the property next to the proposed location of the ADU that we took pains to design around so as not to damage the tree or its root system.

2. Is this unreasonable restriction or hardship unique to the property?

- A. Explain if the restriction or hardship is shared by other properties in the neighborhood.**

The hardship is mainly attributable to the restrictions posed by the 500 SF 1st floor footprint limitation of the ADU which makes it challenging for it to be configured for comfortable and functional ADA use, not by any restrictions imposed by the property.

This lot is a corner lot, which means it's also limited by set-back requirements on two sides, which further restricted ADU placement.

- B. Does this situation or condition of the property (on which this application is based) generally apply to other properties in the same zone?**

Yes, I believe so, if the homeowner of the property wanted to build an ADU under the same conditions that this ADU is being built.

3. Was the unreasonable restriction or hardship caused by the applicant?

A. Did the condition exist when the property was purchased?

The condition is a function of the ADU zoning regulations, not of the property itself. I don't believe the Accessory Dwelling regulations existed when the property was purchased.

B. Did the applicant purchase the property without knowing of this restriction or hardship?

The restriction or hardship was not an issue when the property was purchased.

C. How and when did the condition, which created the unreasonable restriction or hardship, first occur?

The condition arose when the permit for the ADU was submitted. We were informed by Alexandria Zoning office of the condition.

D. Did the applicant create the unreasonable restriction or hardship and, if so, how was it created?

The applicant did not create the unreasonable restriction or hardship.

4. Will the variance, if granted, be harmful to others?

A. Explain if the proposed variance will be detrimental to the adjacent properties or the neighborhood in general.

The variance will not be harmful to adjacent properties or the neighbors. On the contrary, the ADU will be replacing a small, non-functional and frankly, an eyesore of a 1930's era garage. The ADU will be a vast improvement to the property and the neighborhood.

- B. Has the applicant shown the proposed plans to the most affected property owners? Have these property owners written statements of support or opposition of the proposed variance? If so, please attach the statements or submit at the time of the hearing.**

Yes, the applicant has shown the plans and discussed the project with the affected neighbors and is in the process of collecting letters of support which will be attached to the variance package when they are received.

- 5. Is there any other administrative or procedural remedy to relieve the hardship or unreasonable restriction?**

The most prudent administrative remedy to relieve the hardship is the approval of this variance to increase the 1st floor footprint of the ADU on this property to 600 SF.

PART C

- 1. Have alternative plans or solutions been considered so that a variance would not be needed? Please explain each alternative and why it is unsatisfactory.**

We considered possible solutions but none of them were satisfactory. The goal is the creation of a single-level structure that will provide a comfortable and functional ADA compatible living quarter, and no other solution we considered was viable.

2. Please provide any other information you believe demonstrates that the requested variance meets the required standards.

Please refer to the attached schematic detailing the proposed ADU Addition ADA Layout Floor Plan.

*****ATTENTION APPLICANTS*****

At the time of application for a Special Use Permit, Rezoning, Vacation, Encroachment, Variance, Special Exception or Subdivision, you must provide a draft of the description of your request you intend to use in the property owner's notice. You must be thorough in your description. Staff will review the draft wording to confirm its completeness.

The example illustrates a detailed description:

"Variance to construct a two-story addition in the required side yards on _____ Street."

If you fail to submit draft language at the time of the application filing deadline, the application will be determined to be incomplete and may be deferred by staff.



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A**A. Property Information**

A1. Street Address Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. <input type="text"/> Sq. Ft. Existing Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	B2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	B3. <input type="text"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Comments for Existing Gross Floor Area <input type="text"/>
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Garage**	<input type="text"/>	
Garage	<input type="text"/>	Other***	<input type="text"/>	
Other***	<input type="text"/>	Other***	<input type="text"/>	
B1. <u>Total Gross</u> <input type="text"/>		B2. <u>Total Exclusions</u> <input type="text"/>		

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text"/> Sq. Ft. Proposed Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	C2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C3. <input type="text"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Garage**	<input type="text"/>	
Garage	<input type="text"/>	Other***	<input type="text"/>	
Other***	<input type="text"/>	Other***	<input type="text"/>	
C1. <u>Total Gross</u> <input type="text"/>		C2. <u>Total Exclusions</u> <input type="text"/>		

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____

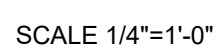
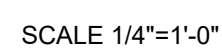
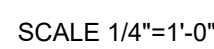
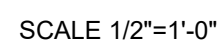
Design Solutions LLC
5700 Robinwood Lane
Falls Church VA 22041
Designer Binh Tran
202.497.4617

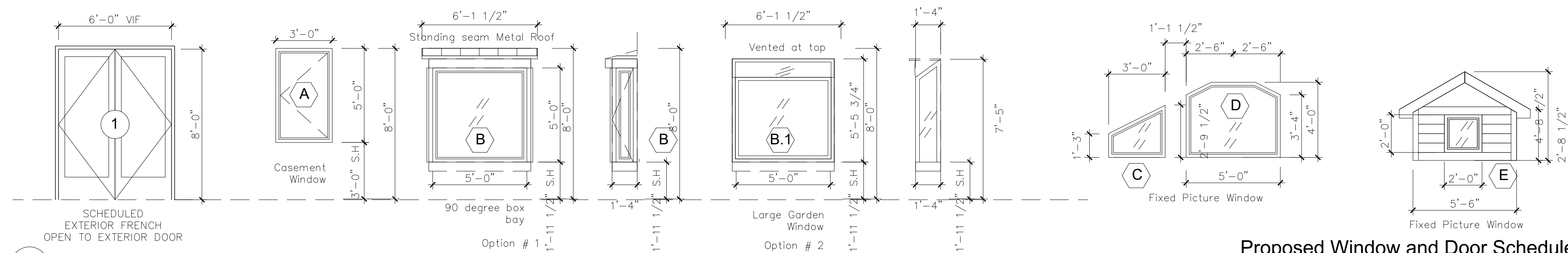
2500 Dewitt Ave
Alexandria VA 22301


QUINTON
WORRELL Digitally signed by
QUINTON WORRELL
Date: 2025.25.09
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Proposed ADU
Foundation, Framing, ADA
Wall Bracing Layout Plans
and Building Section,

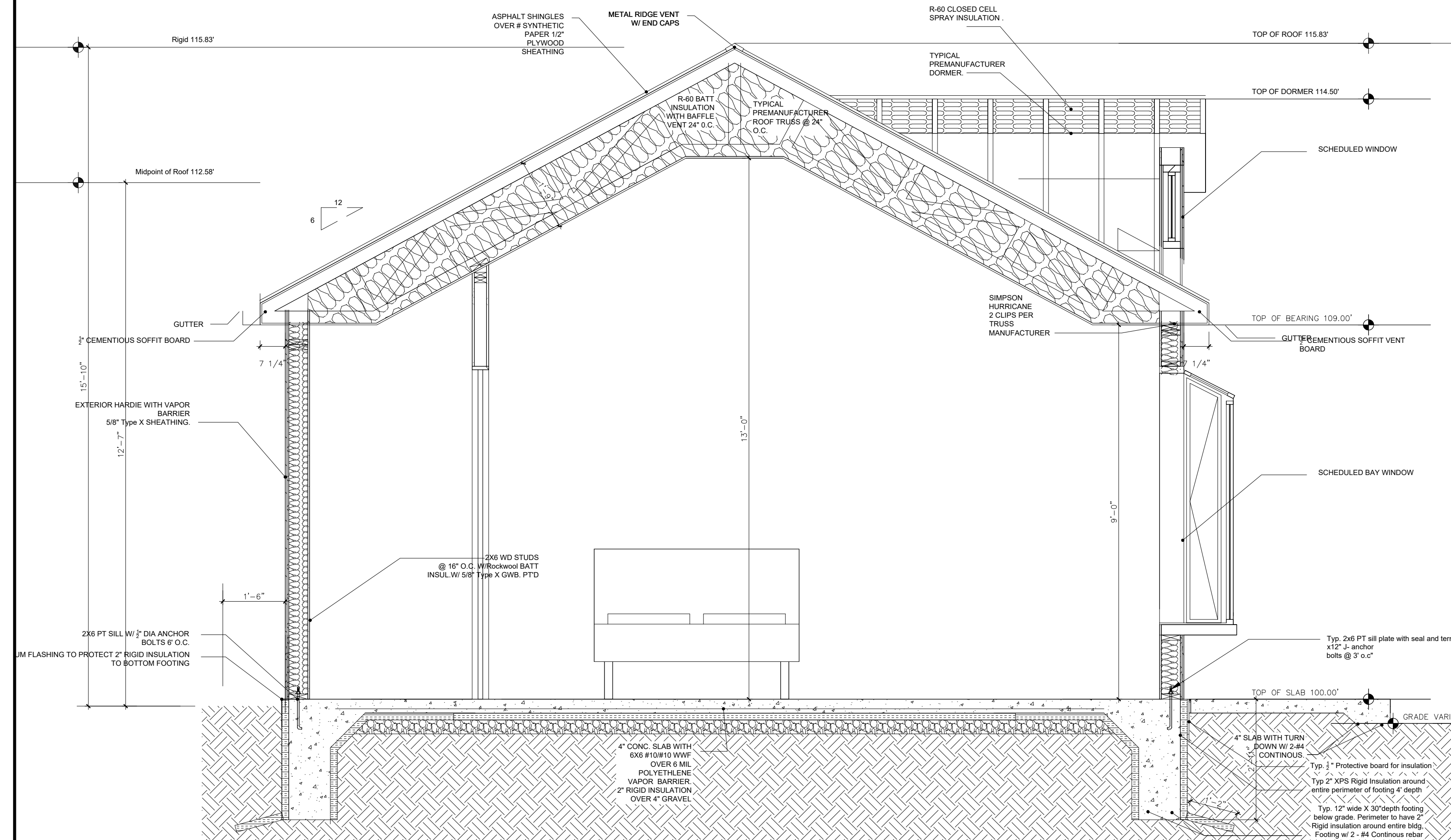
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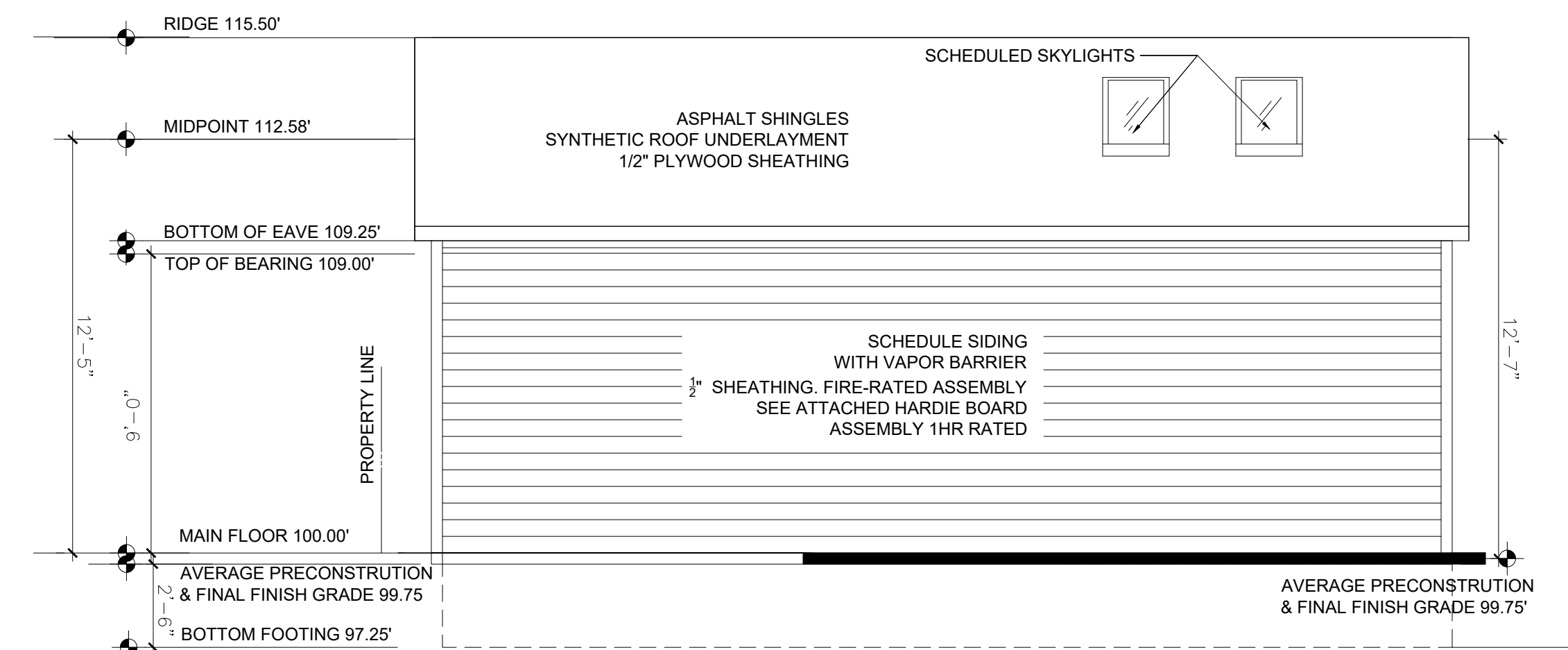


- GENERAL NOTES:**

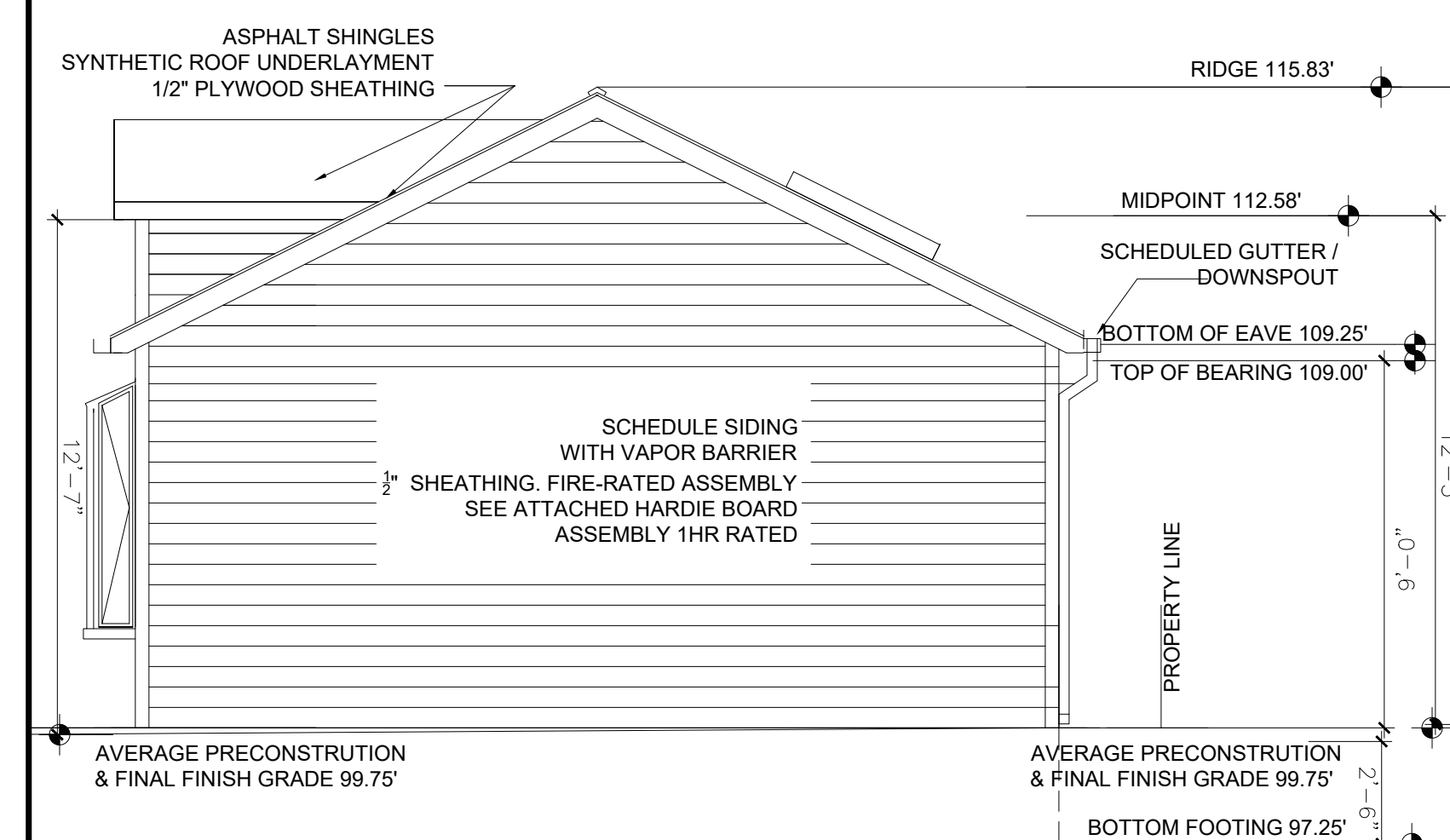
1. DESIGN LIVE LOADS: ROOF – 30 PSF, 2ND FLOOR – 30 PSF, 1ST FLOOR – 40 PSF.
2. ALL CONCRETE SHALL BE MINIMUM 3000 PSI EXCEPT SLABS WHICH SHALL BE 3500 PSI.
3. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL CONDITIONS DEPICTED INCLUDING BUT NOT LIMITED TO DIMENSIONS, ELEVATIONS, FINISHES AND THE WORK OF ALL TRADES.
4. ALL STEEL SHALL BE A36 EXCEPT NEW STEEL PIPE COLUMNS WHICH SHALL BE A500 GRADE B. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS.
5. SHOP DRAWINGS FOR ALL ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
6. ALL LVL'S SHALL HAVE A MINIMUM VALUE OF $E = 1,900,000$ PSI, $F_b = 2500$ PSI, $F_v = 285$ PSI.
7. ALL FRAMING MEMBERS SHALL BE MINIMUM HEM-FIR NO.2 EXCEPT STUDS WHICH SHALL BE MINIMUM S-P-F SURFACE DRY CONSTRUCTION GRADE $F_c = 1350$ PSI, $E = 1,300,000$ PSI, $F_b = 975$ PSI. PRESSURE TREATED LUMBER SHALL BE MINIMUM SOUTHERN YELLOW PINE NO. 1.
8. SOIL BEARING PRESSURE IS ASSUMED TO BE 1500 PSF. THIS VALUE SHALL BE FIELD VERIFIED PRIOR TO POURING FOOTINGS.
9. ALL REINFORCING SHALL BE GRADE 60.
10. DESIGN WIND SPEED – 115 MPH, EXPOSURE B.



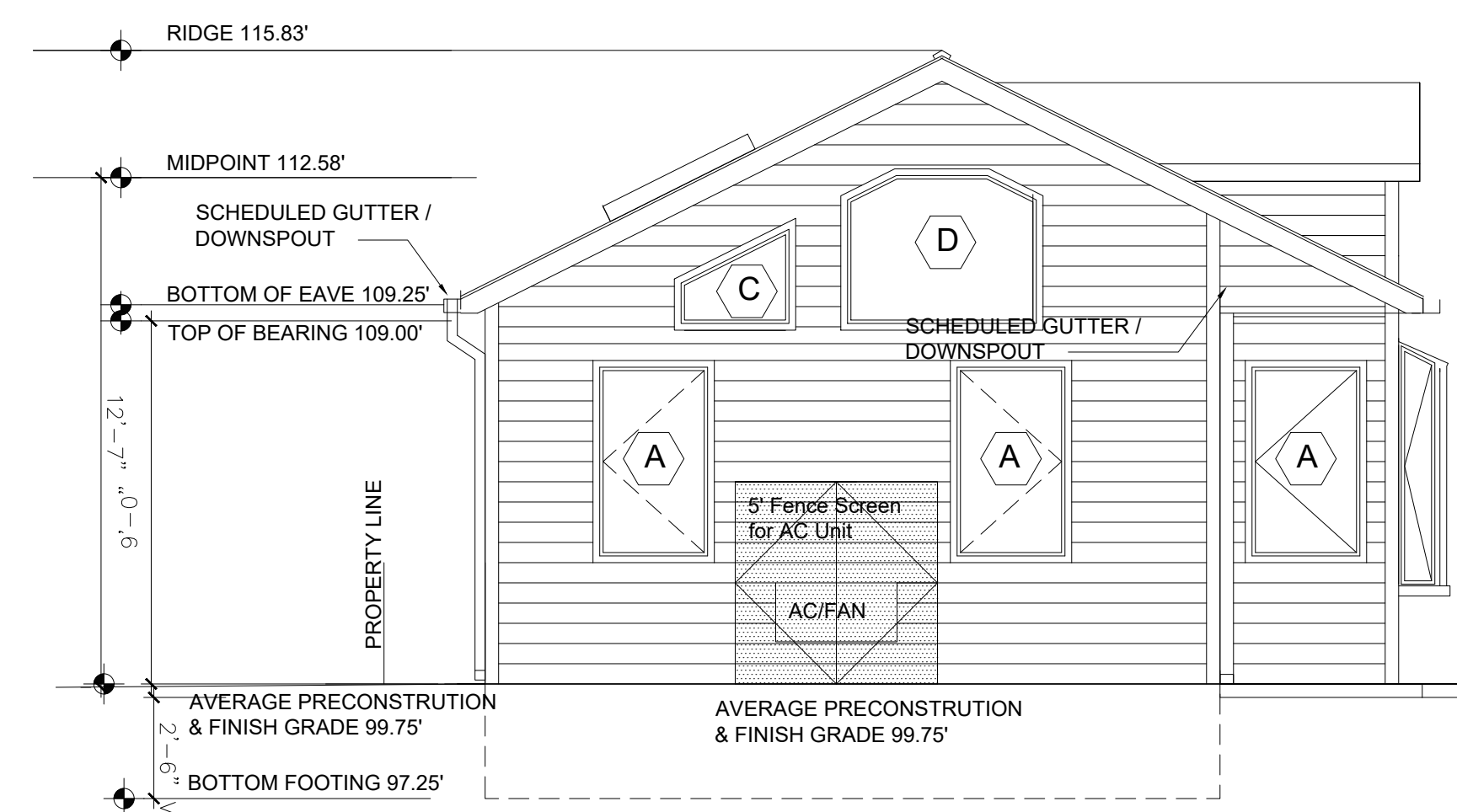
Proposed Building Section



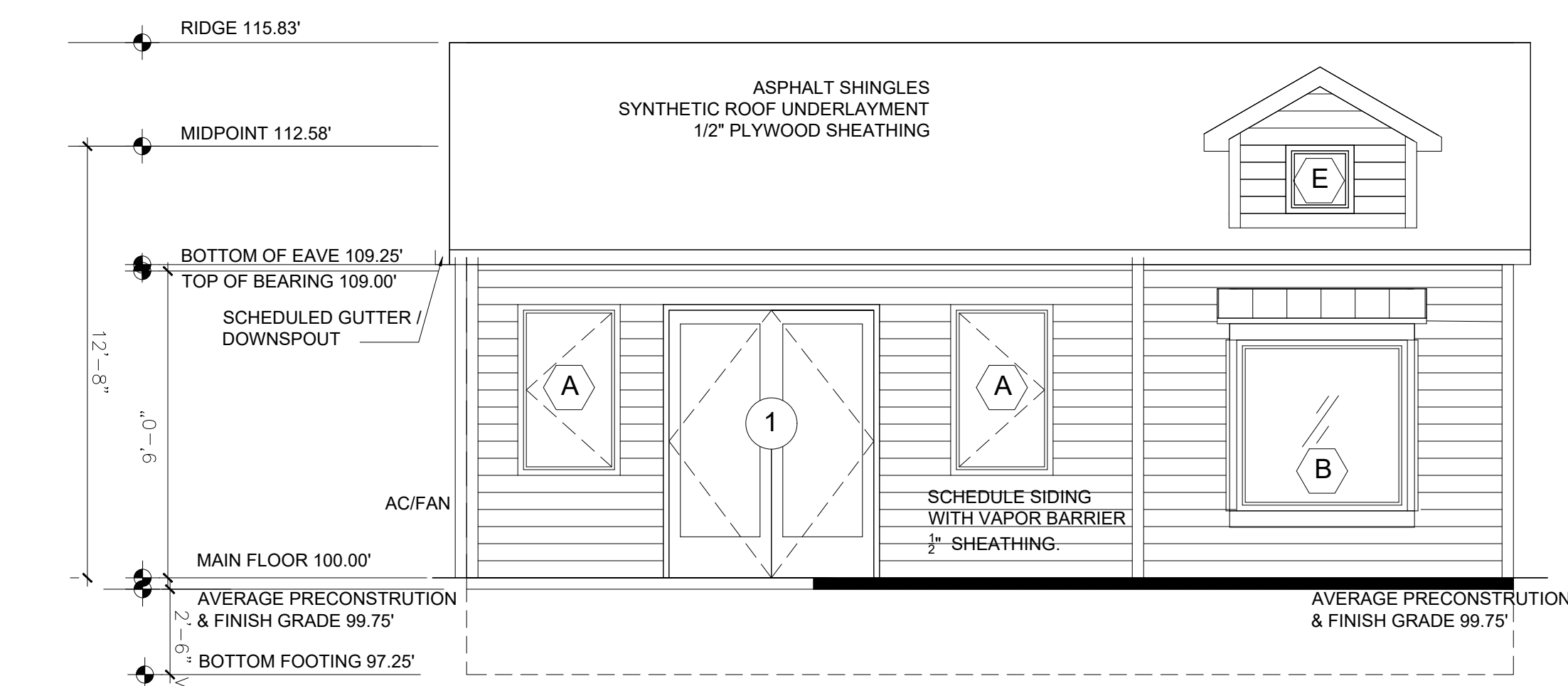
Proposed ADU Addition Back Elevation



Proposed ADU Addition Right Elevation



Proposed ADU Addition Left Elevation



Proposed ADU Addition Front Elevation

NOW

Design Solutions LLC
5700 Robinwood Lane
Falls Church VA 22041
Designer Binh Tran
202.497.4617

PROJECT NAME

ADU Addition TO:

2500 Dewitt Ave
Alexandria VA 22301

DATE	PHASE
9/25/25	PERMIT
DRAWN BY	
	BT



DRAWING TITLE

Proposed ADU Elevations,
Building Section and
Windows / Doors Schedule

SHEET NO.

a2.1

The map shows the 'SITE' at 2500 Dewitt Ave, located between E Randolph Ave and E Oxford Ave, and between Terrett Ave and Leslie Ave. The area is characterized by a grid of streets and several parks and businesses. Key landmarks include Mt Jefferson Park, Founding Farmers Alexandria, and Del Ray Animal Hospital. The map also shows the location of the 'Up Next Baseball' field and the 'Del Ray Café'.

GENERAL NOTES

1. DESIGN LIVE LOADS: ROOF – 30 PSF, 2ND FLOOR – 30 PSF, 1ST FLOOR – 40 PSF.
2. ALL CONCRETE SHALL BE MINIMUM 3000 PSI EXCEPT SLABS WHICH SHALL BE 3500 PSI.
3. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL CONDITIONS DEPICTED INCLUDING BUT NOT LIMITED TO DIMENSIONS, ELEVATIONS, FINISHES AND THE WORK OF ALL TRADES.
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9. ALL REINFORCING SHALL BE GRADE 60.
10. DESIGN WIND SPEED – 115 MPH, EXPOSURE B.



Location Address	Measurements
218 East Mount Ida Avenue	17'-10" Front
2501 Dewitt Avenue	35'-11" Front
220 East Oxford Ave	7'- 4" Rear
222 East Oxford Ave	10'- 4" Rear

	LIST OF DRAWINGS	
	ARCHITECTURAL	
	SITE PLANS, SYMBOLS, GENERAL	c1.0
	NOTES AND CODE ANALYSIS	
	FIRE RATED ASSEMBLY,NOTES	c1.1
	PROPOSED ADU FOUNDATION, FRAMING,	a1.1
	WALL BRACING LAYOUT PLAN & BLDG.SECTION	
	PROPOSED ADU ELEVATION BUILDING	a2.1
	SECTION AND WINDOWS / DOORS SCHEDULE	
	PROPOSED ADU KITCHEN ELEVATION/LAYOUT	a3.1
	CLOSET ELEV./PLAN GLASS PANEL	

The diagram illustrates four types of window schedules used in architectural drawings:

- Elevation:** Shows a window in elevation view. The schedule table includes:

Revision (number)	Window Schedule
6	
- Section:** Shows a window in section view. The schedule table includes:

Letter	Sheet #
- Plan Detail:** Shows a window in plan view. The schedule table includes:

Letter	Sheet #

Legend for Plan Detail:

- EXISTING WALL (indicated by a dashed line)
- CSWP (indicated by a hatched pattern)

PROJECT NAME: Jacob's Residence ADU Addition

PROJECT ADDRESS: 2500 Dewitt Avenue
Alexandria VA 22301

DECRPTION OF WORK AND ZONING DATA

ADU Addition - One Story Wood Framed, Slab on Grade

EXISTING SQ-FT. 1,198 S.F. BLDG. AREA + Open Front Porch 210 S.F.+ Screen Porch 97S.F. - Rear Open Porch 331 S.F.
+ Concrete Driveway 672 S.F + Walk 120 S.F. Proposed ADU Addition = 598 S.F.

TOTAL BUILDING WITH Porch, driveway,walk and ADU Addition = 3,226 S.F.

BUILDING DATA:

BUILDING CODE EDITION: 2021 VRC

ZONING: A RESIDENTIAL SINGLE FAMILY R 2-5 = 2.5 DU/ACRE

2021 VIRGINIA BUILDING CODE USE GROUP: R

CONSTRUCTION TYPE: VB

BUILDING HEIGHT: 2 STORY / Basement

GROSS FLOOR AREA: 1,295 SF Main level 1,094 SF 2nd Level 728 SF Basment

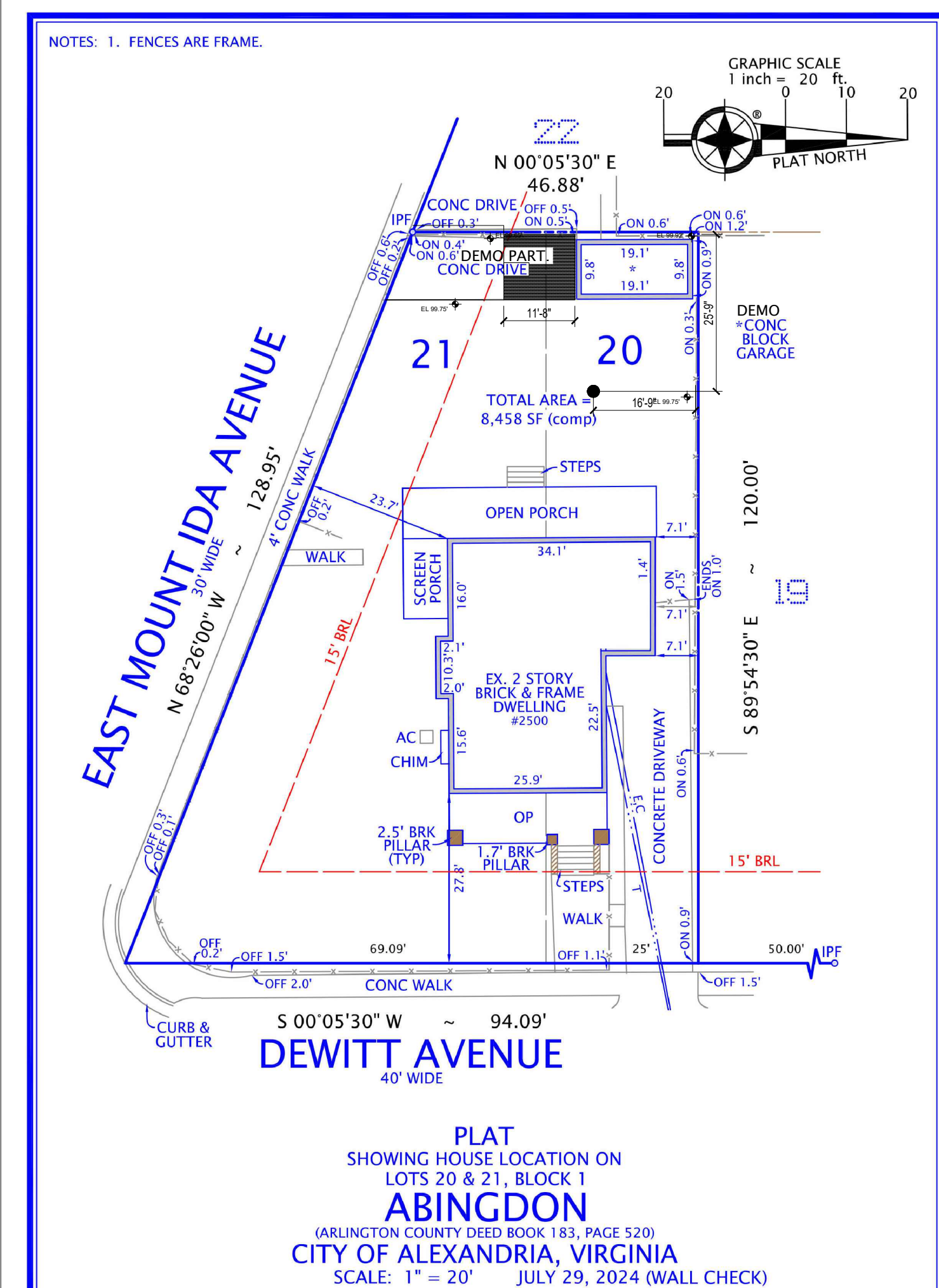
TOTAL GROSS FLOOR AREA: 3,117 SF + 598 SF = 3,715 SF

[illegible]

SCALE 1" = 20'

CATEGORIES	REQUIRED	PROVIDED
RESIDENTIAL ZONE	R 2-5 Residential	R 2-5 Residential
LOT SIZE	Corner 6,500 S.F.	8,458 S.F.
INTERIOR LOT WIDTH	65 FT	48.66 - 94.09 FT
LOT DENSITY	MAX 2.5 D.U./ACRE	2.5 D.U./ACRE
OPEN SPACE	NO REQUIREMENT	PROVIDED LOT AREA OPEN SPACE IS 62% = EX. BLDG. 1,196 S.F. + 638 S.F. Porches = PROPOSED ADU Addition = 598 SF = EX. concrete driveway 672 SF, = EX. concrete walk 120 SF = 3226 SF LOT
FAR	.45	GFA = 3,020 + 598 / 8,458 = .43
FRONT YARD	20 - 25 FT.	23 FT-27.8 FT BRL 15'
SIDE YARD	7 FT.	7.1 FT FT
REAR YARD	25 FT.	25.6 FT.
HEIGHT	30 FT.	25 FT

CATEGORIES	REQUIRED	PROVIDED
FRONT YARD	15 FT.	15'
SIDE YARD	1 FT.	1' 6" FT
REAR YARD	1 FT.	2'-6" FT.
HEIGHT	20 FT.	12'-6.75" FT AVG. MT MIDPOINT HT Rigid 15'10"



SCALE 1" = 20'

Design Solutions LLC
5700 Robinwood Lane
Falls Church VA 22041
Designer Binh Tran
202.497.4617

ADU Addition TO:

2500 Dewitt Ave
Alexandria VA 22301

DATE	PHASE
9/25/25	PERMIT
DRAWN BY	BT

SITE PLANS, SYMBOLS
GENERAL NOTES
& CODE ANALYSIS

c1.0