

DEVELOPMENT PRELIMINARY SITE PLAN

BRADDOCK GATEWAY - PHASE II BUILDING 2

CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL SITE AREA =	3.12	AC	136,124	SF
TOTAL AREA OF TAX PARCEL =	6.70	AC	291,962	SF
TOTAL EXISTING IMPERVIOUS AREA =	3.38	AC	147,303	SF
TOTAL PROPOSED IMPERVIOUS AREA =	2.74	AC	119,316	SF
TOTAL DISTURBED AREA =	3.27	AC	142,582	SF

ZONING TABULATIONS

ADDRESS	MAP NUMBER	LOT SIZE	ZONE	USE
1200 N. FAYETTE ST	044.03-06-03.L1	115,098 S.F.	CDD #15	OFFICE/COMM/WHSE
1070 N. FAYETTE ST	044.03-06-03	33,402 S.F.	CDD #15	VACANT LAND COMMERC.
1100 N. FAYETTE ST	044.03-06-03.L2	100,000 S.F.	CDD #15	OFFICE BUILDINGS
1219 FIRST STREET	054.01-02-04	43,462 S.F.	-	RESIDENTIAL

EXISTING ZONE: CDD #15
 PROPOSED ZONE: CDD #15

EXISTING USE: OFFICE/COMM. WHSE
 EXISTING BUILDING: 18,000 S.F.

PROPOSED USE: RESIDENTIAL/RETAIL (MULTIFAMILY - GROUND FLOOR RETAIL)

MAXIMUM BUILDING HEIGHT: EXISTING: 50'
 BUILDING 2: VARIED W/ MAXIMUM OF 85'

BUILDING TABULATIONS:

Phase	Retail		Residential		Parking (Above Grade Covered)		Total		Open Space
	Gross	Net	Gross	Net	Gross	Net	Gross	Net	
Phase 1 - Building 1 (approved in DSUP 2011-0002)	1,509	1,509	257,454	209,735	258,363	211,244	13,700		
Phase 2 - Building 2 (Proposed)	8,169	8,169	258,758	232,882	16,433	16,433	283,360	257,484	
Phase 3 - Building 3 (Future - estimated)	8,242	8,242	316,894	285,205			325,136	293,447	
Total		17,920		727,822				762,175	

Bldg 2A&2B	Floor Area		Number of Units		Parking Required		Parking Proposed				Underground Garage (gsf)	
	Gross Floor Area (gsf)	Net Floor Area (nsf)	1 BR (Studio, 1BR, 1BR+Den)	2BR	Parking Required (Resid.)***	Parking Required (Retail)	Proposed Standard Parking	Proposed Compact Parking	Proposed Handicapped Parking	Total		
Residential*	275,191	249,315	206	52	224		59	157	9	Lower Level	34,316	
Retail*	8,169	8,169				21	14	6	1	Upper Level	41,939	
Total:	283,360	257,484	Total:	258	Total Required:	245	Total Proposed:	246			Total:	76,255

* (8169 sq Retail, a 144 Seat Restaurant, or Some Combination Thereof)
 ** Residential area includes above-grade parking garage area
 *** Per Multi-Family Parking Standards of Zoning Ordinance
 Square Footage of Park: 28,511 per Retail Parking Braddock Metro Plan
 Roof Top Open Space: 5,170 sq

TOTAL PARKING PROVIDED:
 BUILDING 2 = 246 SPACES

1 LOADING SPACES REQUIRED - 1 LOADING SPACES PROVIDED

OPEN SPACE REQUIRED: 47,643 SF OR 1.09 AC. (35%)
 OPEN SPACE PROVIDED: 55,476 SF OR 1.15 AC. (37%)

AVERAGE FINISH GRADE: BUILDING 2: 45.71

LOT AREA REQUIRED: N/A
 FRONTAGE REQUIRED: N/A
 SETBACKS REQUIRED: N/A

TRIP GENERATION

EXISTING TRIP GENERATION:
 VACANT WAREHOUSE (0)

PROPOSED TRIP GENERATION:
 RETAIL: 42.92 TRIPS/DAY/1,000 SF*
 8,150 SF = 350 TRIPS/DAY*
 MULTI-FAMILY BUILDING: 5.10 TRIPS/UNIT/DAY*
 258 UNITS = 1,316 TRIPS/DAY*
 TOTAL = 1,666 TRIPS/DAY*

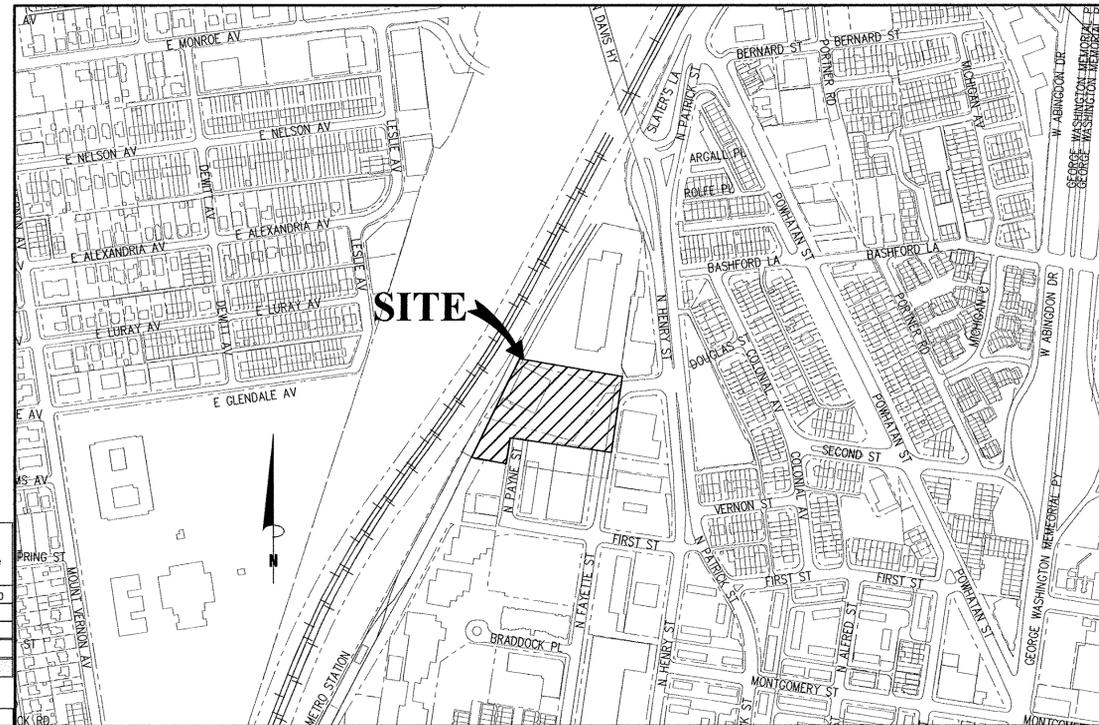
*BASED ON ITE TRIP GENERATION MANUAL

COMPLETE STREET TABULATIONS

	New	Upgraded
Crosswalks (number)		
Standard	3	4
High Visibility	-	-
Curb Ramps	8	-
Sidewalks (LF)	1250	-
Bicycle Parking (number spaces)	92	-
Public/Visitor	6	-
Private/Garage	20	-
Bicycle Paths (LF)	-	-
Pedestrian Signals	1	-

ALEXANDRIA STREET TYPOLOGY

FAYETTE STREET: NEIGHBORHOOD CONNECTOR
 PARK STREET: SHARED STREET



VICINITY MAP

SCALE: 1" = 300'

PROJECT DESCRIPTION NARRATIVE

THIS PROJECT WILL BE A DSUP THAT IS PART OF THE CDD #15 PLAN FOR A RESIDENTIAL AND FIRST FLOOR RETAIL BUILDING WITH PARKING PROVIDED ON TWO LEVELS BELOW GROUND AND ONE LEVEL LIMITED SURFACE PARKING FOR RETAIL USE. IT WILL INCLUDE THE 2/3 ACRE PUBLICLY ACCESSIBLE PARK.

LEED GREEN NOTE

THE BUILDING WILL CONFORM WITH THE CITY'S GREEN BUILDING POLICY.

EXISTING/PROPOSED SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

- CCD #15
- DSUP
- SUP FOR MORE THAN 1 MECHANICAL PENTHOUSE
- MODIFICATION FOR A LOADING SPACE REDUCTION

ATTORNEY

HART, GIBBS, PIERCE, & KARP, P.C.
 700 N. FAIRFAX STREET, SUITE 600
 ALEXANDRIA, VA 22314
 (703) 836-5767
 ATTN: MARY CATHERINE GIBBS

CIVIL ENGINEER

BOWMAN CONSULTING GROUP
 14020 THUNDERBOLT PLACE, SUITE 300
 CHANTILLY, VIRGINIA 20151
 ATTN: STEVEN LIAM, PE
 PHONE: (703) 464-1000

OWNER/APPLICANT

FORCE-ALEXANDRIA, L.L.C. /
 JAGUAR DEVELOPMENT, L.L.C.
 48859 HARRY BYRD HIGHWAY
 SUITE 202
 STERLING, VA 20164
 (703) 926-4615
 ATTN: EDDY CETINA

ARCHITECT

RUST | ORLING ARCHITECTURE
 1215 CAMERON STREET
 ALEXANDRIA, VIRGINIA 22314
 (703) 836-3205
 ATTN: JOHN RUST

ENVIRONMENTAL SITE ASSESSMENT:

THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS. THE FEDEX FACILITY IS LISTED ON THE LUST LIST AND MAY HAVE CONTAMINANTS ON SITE. THE FINAL SITE PLAN SHALL NOT BE RELEASED AND NO CONSTRUCTION ACTIVITY SHALL TAKE PLACE UNTIL THE FOLLOWING HAS BEEN SUBMITTED AND APPROVED BY THE DIRECTOR OF T&ES: A SITE CHARACTERIZATION REPORT/EXTENT OF CONTAMINATION STUDY DETAILING THE LOCATION, APPLICABLE CONTAMINANTS, AND THE ESTIMATED QUANTITY OF ANY CONTAMINATED SOILS AND/OR GROUNDWATER AT OR IN THE IMMEDIATE VICINITY OF THE SITE, A RISK ASSESSMENT INDICATING ANY RISKS ASSOCIATED WITH THE CONTAMINATION, A REMEDIATION PLAN DETAILING HOW ANY CONTAMINATED SOILS AND/OR GROUNDWATER WILL BE DEALT WITH, INCLUDING PLANS TO REMEDIATE UTILITY COORIDORS, AND A HEALTH AND SAFETY PLAN INDICATING MEASURES TO BE TAKEN DURING REMEDIATION AND/OR CONSTRUCTION ACTIVITIES TO MINIMIZE THE POTENTIAL RISKS TO WORKER, THE NEIGHBORHOOD, AND THE ENVIRONMENT.

THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, IT'S CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.

ALL WELLS INCLUDING MONITORING WELLS MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT JOE FLANDER AND COORDINATE WITH ALEXANDRIA HEALTH DEPARTMENT AT 703 838-4400 EXT. 255.

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:

MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM AND SATURDAYS FROM 9 AM TO 6PM. NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS. PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
 MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND SATURDAYS FROM 10 AM TO 4 PM.

THERE ARE NO RESOURCE PROTECTION AREAS ON THIS SITE.

ARCHAEOLOGICAL NOTE:

CONTACT ALEXANDRIA ARCHAEOLOGY (703-838-4399) TWO WEEKS PRIOR TO ANY GROUND DISTURBING ACTIVITY (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUND UTILITIES, PILE DRIVING, LANDSCAPING AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2-151 OF THE ZONING ORDINANCE). CITY ARCHAEOLOGISTS WILL PROVIDE ON-SITE INSPECTIONS TO RECORD SIGNIFICANT FINDS.

THE DEPTHS AND LOCATIONS OF ANY UNDERGROUND ELECTRIC, WATER, TELEPHONE, AND GAS MAIN LINES OR SERVICES CANNOT BE FIELD SURVEYED. "MISS UTILITY" UTILITY SERVICE PROTECTION CENTER MAY BE CONTACTED AT 1-800-552-7001 REGARDING THE LOCATION OF THESE UNDERGROUND UTILITIES.

UTILITY WARNING!!

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SHEET INDEX

- CIVIL ENGINEERING SHEETS
- C1.00 COVER SHEET
 - C2.00 NOTES, ABBREVIATIONS AND LEGEND
 - C3.00 CONTEXTUAL PLAN
 - C4.00 EXISTING CONDITIONS PLAN
 - C4.10 DEMOLITION PLAN
 - C5.00 PRELIMINARY DEVELOPMENT SITE PLAN
 - C6.00 GRADING PLAN
 - C7.00 DIMENSION PLAN
 - C7.10 UTILITY PLAN
 - C7.20 PHASING PLAN
 - C8.00 PRE-DEVELOPMENT DRAINAGE DIVIDES
 - C8.10 POST-DEVELOPMENT DRAINAGE DIVIDES
 - C8.20 OVERALL STORMWATER OUTFALL PLAN
 - C8.30 STORMWATER MANAGEMENT PLAN
 - C8.40 STORMWATER MANAGEMENT DETAILS
 - C9.00 SIGHT DISTANCE PROFILES
 - C10.00 OVERALL OPEN SPACE PLAN
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 - C12.00 FIRETRUCK TURNING MOVEMENTS (1 OF 2)
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 - C12.20 DELIVERY TRUCK TURNING MOVEMENTS
 - C12.30 TURNING MOVEMENTS
 - C12.40 GARAGE TURNING MOVEMENTS
 - C13.00 PRELIMINARY PLAT

ARCHITECTURAL SHEETS

- A1.1 GARAGE FLOOR PLANS AND STATISTICS
- A1.2 GROUND AND SECOND FLOOR PLANS
- A1.3 THIRD AND FOURTH FLOOR PLANS
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- A2.1 BUILDING 2A ELEVATIONS
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- A2.3 BUILDING 2B ELEVATIONS
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LANDSCAPING SHEETS

- L-1.0 ILLUSTRATIVE SITE PLAN
- L-1.1 GENERAL NOTES
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- L-1.4 SOIL VOLUME EXHIBIT
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- L-5.0 LANDSCAPE PLAN
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- L-5.3 TREE PIT PLANTING DETAILS
- L-5.4 PLANTING DETAILS ON STRUCTURE

(53 TOTAL SHEETS)

Bowman
 CONSULTING

Bowman Consulting Group, Ltd.
 14020 Thunderbolt Place
 Suite 300
 Chantilly, Virginia 20151
 Phone: (703) 464-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com
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COVER SHEET
BRADDOCK GATEWAY
 DEVELOPMENT PRELIMINARY SITE PLAN
 CITY OF ALEXANDRIA
 VIRGINIA



PLAN STATUS
 01/30/17 1ST SUBMISSION
 03/09/17 2ND SUBMISSION

DATE	DESCRIPTION
01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

JOB No.	DATE
4101-02-004	MARCH 2017

FILE No.	DATE
4101-D-PR-004	MARCH 2017

APPROVED
 SPECIAL USE PERMIT NO. 2016-0040
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR: _____ DATE: _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR: _____ DATE: _____

CHAIRMAN, PLANNING COMMISSION: _____ DATE: _____

DATE RECORDED: _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

SHEET **C1.00**

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	INDEX CONTOUR	
	INTERMEDIATE CONTOUR	
	EDGE OF PAVEMENT	
	CURB AND GUTTER	
	TRANSITION FROM C&G-2 TO C&G-1	
	PROPOSED HEADER CURB	
	PROPERTY LINE	
	DEPARTING PROPERTY LINE	
	LOT LINE	
	RIGHT-OF-WAY	
	CENTERLINE	
	FLOOD PLAIN	
	LIMITS OF DISTURBANCE	
	TREE LINE	
	FLOW LINE OF SWALE	
	STREAM	
	OVERLAND RELIEF PATHWAY	
	FENCE LINE	
	EASEMENT	
	WATER LINE	
	WATER VALVE	
	WATER REDUCER	
	SANITARY SEWER	
	STORM SEWER	
	CABLE TV	
	ELECTRIC SERVICE	
	TELEPHONE SERVICE	
	GAS LINE	
	OVERHEAD ELECTRIC	
	OVERHEAD TELEPHONE	
	SPOT ELEVATION	
	UTILITY POLE	
	SIGN	
	SANITARY SEWER IDENTIFIER	
	STORM DRAIN IDENTIFIER	
	WATER METER	
	FIRE HYDRANT	
	PARKING INDICATOR	
	STREET LIGHT	
	VEHICLES PER DAY (TRAFFIC COUNT)	
	TEST PIT LOCATION	
	CRITICAL SLOPE	
	DOOR ENTRANCE	
	HANDICAP RAMP (CSRP-1)	
	DENOTES CLEAR SIGHT TRIANGLE	
	TREE	
	BENCHMARK	
	ASPHALT TRAIL	
	CONCRETE SIDEWALK	
	BRICK SIDEWALK	
	END WALLS	
	END SECTIONS	
	STOP SIGN	
	STREET SIGN	
	HANDICAP PARKING SPACE (VAN)	
	RIP RAP	

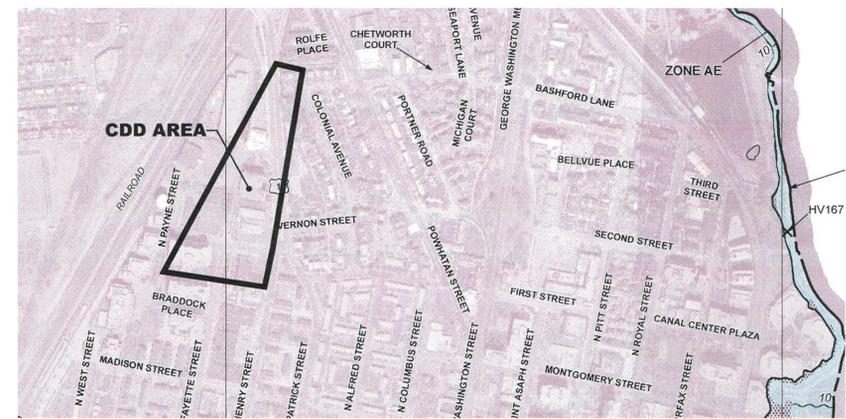
ABBREVIATIONS

A	AREA OF ARC	F	FIRE LINE	PRELIM	PRELIMINARY
AASHTO	AMERICAN ASSOCIATION OF STATE HWY & TRANSP OFFICIALS	FAR	FLOOR AREA RATIO	PROP	PROPOSED
AC	ACRE	FC	FACE OF CURB	PT	POINT OF TANGENCY
ADJ	ADJACENT	FCPA	FAIRFAX COUNTY PARK AUTHORITY	PVC	POINT OF VERTICAL CURVE
ACGR	AGGREGATE	FCWA	FAIRFAX COUNTY WATER AUTHORITY	PVI	POINT OF VERTICAL INTERSECTION
AHD	AHEAD	FD	FLOOR DRAIN	PVMT	PAVEMENT
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	FF	FIRST FLOOR	PVRC	POINT OF VERTICAL REVERSE CURVE
APPROX	APPROXIMATE	FG	FINISH GRADE	PVT	POINT OF VERTICAL TANGENT
ARCH	ARCHITECTURAL	FH	FIRE HYDRANT	Q (cfs)	AMOUNT OF RUNOFF (FLOW RATE)
ASPH	ASPHALT	FL	FLOW LINE	R	RADIUS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	FND	FOUNDATION	RCP	REINFORCED CONCRETE PIPE
AWWA	AMERICAN WATER WORKS ASSOCIATION	FOY	FOYER	RD	ROAD OR ROOF DRAIN
B	BREATH	FPS	FEET PER SECOND	REINF	REINFORCED
BC	BACK OF CURB	FS	FIRE SERVICE OR FACTOR OF SAFETY	REQD	REQUIRED
BLDG	BUILDING	FT	FOOT / FEET	RET	RETAINING
BM	BENCHMARK	G	GAS	REV	REVISION
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)	GAR	GARAGE	RGP	ROUGH GRADING PLAN
BOV	BLOW OFF VALVE	GFA	GROSS FLOOR AREA	RMA	RESOURCE MANAGEMENT AREA
BRG	BEARING	GR	GUARD RAIL OR GRATE INLET	ROM	REMOTE OUTSIDE MONITOR
BRL	BUILDING RESTRICTION LINE	H	HEAD	RPA	RESOURCE PROTECTION AREA
BVCE	BEGINNING VERTICAL CURVE ELEVATION	HC	HANDICAP	RR	RAILROAD
BVCS	BEGINNING VERTICAL CURVE STATION	HB	HORIZONTAL BEND	RT	RIGHT
BW	BOTTOM OF WALL	HGL	HYDRAULIC GRADE LINE	RTE	ROUTE
c.e	CENTER CORRECTION ON VERTICAL CURVE	HORIZ	HORIZONTAL	R/W	RIGHT OF WAY
C	RUNOFF COEFFICIENT	HP	HIGH POINT	S	SPEED OR SLOPE
C&G	CURB AND GUTTER	HR	HAND RAIL	SAN	SANITARY
CATV	CATCH BASIN	HT	HEIGHT	SBL	SOUTH BOUND LANE
CB	CATCH BASIN	HW	HEADWATER	SCH	SCHEDULE
CBR	CALIFORNIA BEARING RATIO	I	INCH	SD	SIGHT DISTANCE
CC	CENTER TO CENTER	ID	INVERT ELEVATION	SEC	SECTION
CF	CUBIC FEET	IE	INVERT ELEVATION	SECT	SECTION
CF	CUBIC FEET PER SECOND	IN	INCH	SEW	SEWER
CG(R)	CURB AND GUTTER (REVERSE SLOPE)	INV	INVERT	SF	SQUARE FEET
CH	CHORD	IP	IRON PIPE	SH	SHOULDER
CHBRG	CHORD BEARING	IPF	IRON PIPE FOUND	SI	SIDEWALK
CIP	CAST IRON PIPE	IPS	IRON PIPE SET	SP	SPACE OR SITE PLAN
CL	CENTERLINE OR CLASS	JB	JUNCTION BOX	SPEC	SPECIFICATIONS
C/L	CENTERLINE	JNT	JOINT	STA	STATION
CLR	CLEAR	K	SIGHT DISTANCE COEFFICIENT	STD	STANDARD
CM	CUBIC METERS	Ke	CULVERT ENTRANCE LOSS COEFFICIENT	STK	STACK
OMP	CORRUGATED METAL PIPE	L	LENGTH	STM	STORM
CMS	CUBIC METERS PER SECOND	LAT	LATERAL	STR	STRUCTURE
CN	RUNOFF CURVE NUMBER	LCG	LIMITS OF CLEARING & GRADING	SVC	SERVICE
CONT	CONTINUOUS	LF	LINEAR FEET	S/W	SIDEWALK
CO	CLEAN OUT	LL	LOWER LEVEL	SWM	STORM WATER MANAGEMENT
CONC	CONCRETE	LOS	LINE OF SIGHT	Sx	CROSS SLOPE
CS	CURB STOP	LP	LOW POINT	SY	SQUARE YARD
CT	COURT	LS	LOADING SPACE	T	TANGENT
CTR	CENTERLINE	LT	LEFT	TB	TOP OF BANK OR TEST BORING
CY	CUBIC YARD	M	MONUMENT FOUND	TC	TOP OF CURB
D	DEPTH	MAX	MAXIMUM	Tc	TIME OF CONCENTRATION
DA	DRAINAGE AREA	MECH	MECHANICAL	TEL	TELEPHONE
DB	DEED BOOK	MH	MANHOLE	TEMP	TEMPORARY
DEQ	VA. DEPARTMENT OF ENVIRONMENTAL QUALITY	MI	MILE	TH	TEST HOLE
DET	DETAIL	MIN	MINIMUM	TP	TEST PIT OR TREE PROTECTION
DIA	DIAMETER	MISC	MISCELLANEOUS	TRANSP	TRANSPORTATION
DIP	DUCTILE IRON PIPE	MPH	MILES PER HOUR	TW	TOP OF WALL OR TAILWATER
DI	DROP INLET	MS	MEDIAN STRIP	TYP	TYPICAL
DIST	DISTANCE	MSL	MEAN SEA LEVEL	UG	UNDERGROUND
DL	DOMESTIC LINE	NA OR N/A	NOT APPLICABLE	UGE	UNDERGROUND ELECTRIC
DM	DROP MANHOLE	NBL	NORTH BOUND LANE	UGT	UNDERGROUND TELEPHONE
DOM	DOMESTIC	N/F	NOW OR FORMERLY	UGC	UNDERGROUND CABLE
DR	DRIVE	NFA	NET FLOOR AREA	UD	UNDERDRAIN
DRN	DRAINAGE AREA	NO. OR #	NUMBER	UL	UPPER LEVEL
DS	DOWN SPOUT	OC	ON CENTER	UP	UTILITY POLE
DU	DWELLING UNITS	OBJ	OBJECT	USGS	US GEOLOGICAL SURVEY
DWG	DRAWING	OD	OUTSIDE DIAMETER	V OR VOL	VOLUME
D/W	DRIVEWAY	OH	OVERHANG	V OR VEL	VELOCITY
Δ	DELTA	O/H	OVERHEAD	VA	VIRGINIA
E	RATE OF SUPER ELEVATION	OHC	OVERHEAD CABLE	VAN	HANDICAPPED VAN PARKING SPACE
EA	EACH	OHE	OVERHEAD ELECTRIC	VB	VERTICAL BEND
EBL	EAST BOUND LANE	OHT	OVERHEAD TELEPHONE	VC	VERTICAL CURVE
EC	EROSION CONTROL	P	PERIMETER	VDOT	VA DEPT OF TRANSPORTATION
EG	EDGE OF GUTTER	P&P	PLAN AND PROFILE	VF	VERTICAL FOOT
EGL	ENERGY GRADIENT LINE	PC	POINT OF CURVATURE	W	WEIGHT OR WIDTH
EL	ELEVATION	PCC	POINT OF COMPOUND CURVE	WBL	WEST BOUND LANE
ELEV	ELEVATION	PCEC	POINT OF CURVATURE TOP OF CURB	WL	WATER LINE
ENGR	ENGINEER	PCEP	POINT OF CURVE EDGE OF PAVEMENT	WM	WATER METER
ENT	ENTRANCE	PFM	PUBLIC FACILITIES MANUAL	W/M OR WM	WATER MAIN
EP	EDGE OF PAVEMENT	PG	PAGE	WQIA	WATER QUALITY IMPACT ASSESMENT
EQUIP	EQUIPMENT	PGI	POINT OF GRADE LINE	WV	WATER VALVE
ES	END SECTION	PI	POINT OF INTERSECTION	XF	TRANSFORMER
ESMT	EASEMENT	PL	PROPERTY LINE	YI	YARD INLET
ETD	EXISTING TO BE DEMOLISHED	R	PROPERTY LINE	YR	YEAR
ETR	EXISTING TO REMAIN	PRC	POINT OF REVERSE CURVE	Z	SIDE SLOPES
ETRL	EXISTING TO BE RELOCATED				
ETRP	EXISTING TO BE REPLACED				
EVCE	ENDING VERTICAL CURVE ELEVATION				
EVCS	ENDING VERTICAL CURVE STATION				
EW	END WALL				
EX	EXISTING				
EQC	ENVIRONMENTAL QUALITY CORRIDOR				

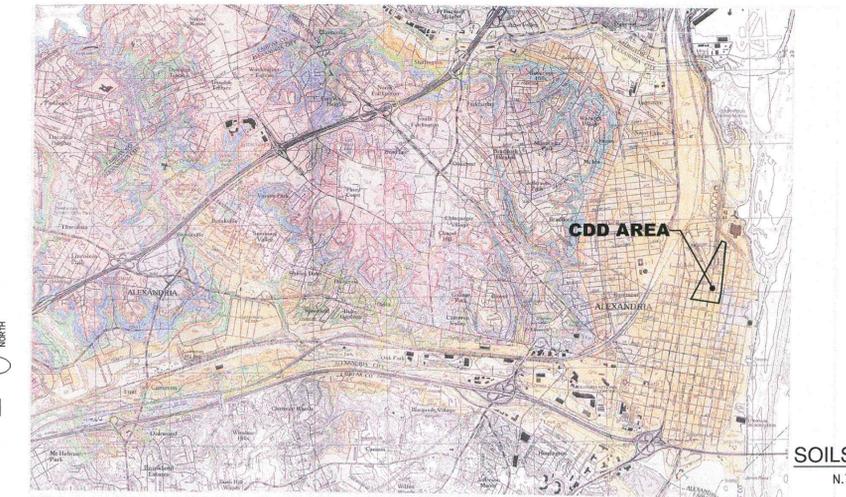
GENERAL NOTES

- EROSION AND SEDIMENT CONTROL WILL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND THE REGULATIONS OF CITY OF ALEXANDRIA.
- A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF, IN ACCORDANCE WITH USBC 119.0.
- NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
- A SOILS REPORT MUST BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.
- PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO CODE ENFORCEMENT THAT WILL OUTLINE THE STEPS THAT SHALL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS.
- ROOF DRAINAGE SYSTEMS MUST BE INSTALLED SO THAT NO IMPACT NOR EROSION/DAMAGE TO ADJACENT PROPERTY OCCURS.
- CONSTRUCTION PERMITS ARE REQUIRED FOR THIS PROJECT. PLANS SHALL ACCOMPANY THE PERMIT APPLICATION THAT FULLY DETAIL THE CONSTRUCTION AS WELL AS LAYOUTS AND SCHEMATICS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
- PERMISSION FROM ADJACENT PROPERTY OWNERS IS REQUIRED IF ACCESS TO THE ADJACENT PROPERTIES IS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. OTHERWISE, A PLAN SHALL BE SUBMITTED TO DEMONSTRATE THE CONSTRUCTION TECHNIQUES UTILIZED TO KEEP CONSTRUCTION STRICTLY ON THE REFERENCED PROPERTY.
- APPLICANT SHALL PREPARE A NOISE STUDY IDENTIFYING THE LEVELS OF NOISE RESIDENTS OF THE PROJECT WILL BE EXPOSED TO AT THE PRESENT TIME, AND 10 YEARS INTO THE FUTURE IN A MANNER CONSISTENT WITH THE NOISE GUIDANCE BOOK USED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT (HUD).
- APPLICANT SHALL SUBMIT A SITE CHARACTERIZATION REPORT/EXTENT OF CONTAMINATION STUDY, RISK ASSESSMENT, REMEDIATION PLAN, AND HEALTH AND SAFETY PLAN BEFORE RELEASE OF THE FINAL SITE PLAN AND CONSTRUCTION ACTIVITIES MAY COMMENCE.

NOTE:
THIS IS A STANDARD SHEET. THEREFORE, SOME ABBREVIATIONS MAY APPEAR ON THIS SHEET AND NOT BE USED ON THE PROJECT.



FEMA MAP
N.T.S.



SOILS MAP
N.T.S.

Artificial fill and disturbed ground—Fill and disturbed ground are widespread in the city and range from small cut-and-fill to old gravel pits and buried canals, to massive embankments for infrastructure. The fill material varies widely, commonly including some combination of sand, gravel, clay, topsoil, and construction debris. Only major and obvious areas of artificial fill (af) and disturbed ground (dg) are shown on the map, chiefly large embankments, old gravel pits (gp), and significant buried ravines. Fill and disturbed ground are ubiquitous on the Old Town terrace and in the Cameron Valley, but are mostly not shown on the map in order to depict the pre-settlement geology.

Old Town terrace (Saagsamma)—Constitutes a broadly fining-up sequence, gravely in its lower half, grading up through sand and muddy sand into mud. Above an elevation of about 30-35 feet, the modern surface of the terrace is composed chiefly of silt and clay; below that, it is mostly muddy sand. It has a well-developed, deep tilted profile. Underlies Old Town and Del Ray, where it approaches 125 feet thick at places. A set of terraces that is clearly graded to the main Old Town terrace was mapped for several miles up Cameron Valley and its tributaries, and in the lowermost reaches of Four Mile Run.

MULTI-FAMILY PARKING RATIO CALCULATOR: MARKET RATE HOUSING

Project Address: 1100 North Fayette St.

Bedroom Count	# Units	# Bedrooms
One-Bedroom Units	207	207
Two-Bedroom Units	51	102
Three-Bedroom Units	0	0
Total	258	309

Studios are counted as 1 bedroom units. Projects are not required to park the 3rd and 4th bedroom, in which case those units would be counted as 2BR units.

PARKING CALCULATOR

	Within 0.5 Mile Metro Walkshed	Outside of 0.5 Mile Metro Walkshed
Base Parking Ratio (space per bedroom)	0.8	1.0
Deductions on the Base Parking Ratio (if Eligible)		
BRT	10%	
4+ Bus Routes	5%	5%
Very High Walkability (90-100)	10%	0%
OR High Walkability (80-90)	5%	5%
20% + studios	5%	
Total Deductions	0.10	0.00
Resulting Percentage	0.90	1.00
Per Bedroom Ratio	0.72	1.00
Total # of Spaces Required	222	309
Per Unit Ratio	0.86	1.20

SUM of all credits

1-C21 or 1-D21

Resulting

Percentage X Base

Parking Ratio

Per Bedroom Ratio

X Total Number of

Bedrooms

Total Number of

Bedroom/Total #

Units

BRT credit is given to projects located within 1/4 mile of an existing BRT stop.

Bus Route credit is given to projects with 4+ bus routes that stop within 1/4 mile of project entrance.

Walkability is currently measured using scores from Walkscore.com. Staff has developed and is in final testing stages of an Alexandria specific Walkability Index.

Projects may not receive both walkability credits

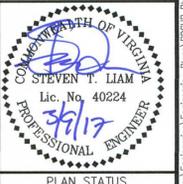
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SPECIAL USE PERMIT NO. 2016-0040
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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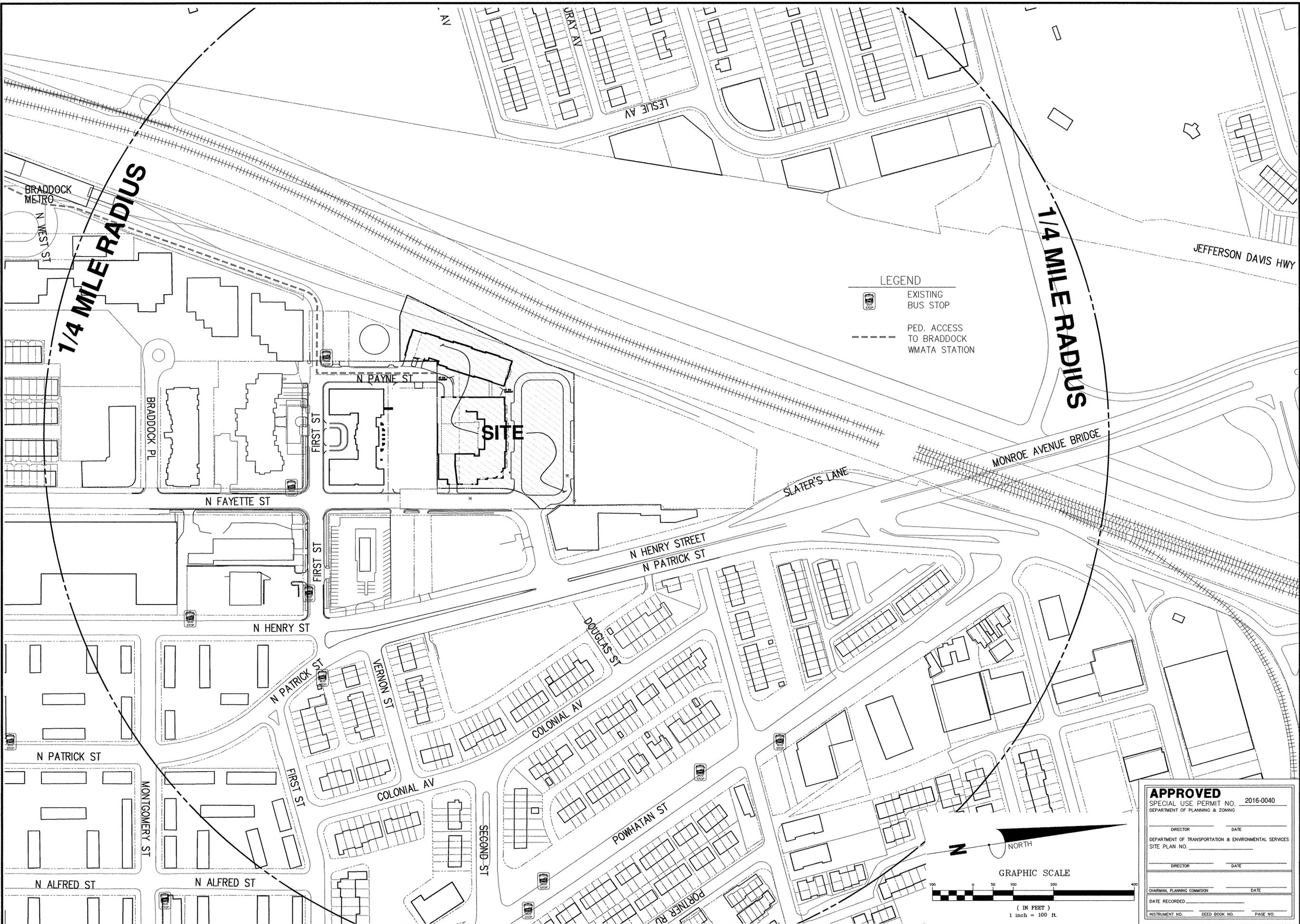
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Charlottesville, Virginia 20151
Phone: (703) 464-1000
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NOTES, ABBREVIATIONS AND LEGEND
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA



PLAN STATUS
01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

DATE	DESCRIPTION
DAP	DAP
DESIGN	DRAWN
SCALE	H: NA V: _____
JOB No.	4101-02-004
DATE :	MARCH 2017
FILE No.	4101-D-PR-004
SHEET	C2.00



PLAN STATUS	
01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

APPROVED
 SPECIAL USE PERMIT NO. 2016-0040
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

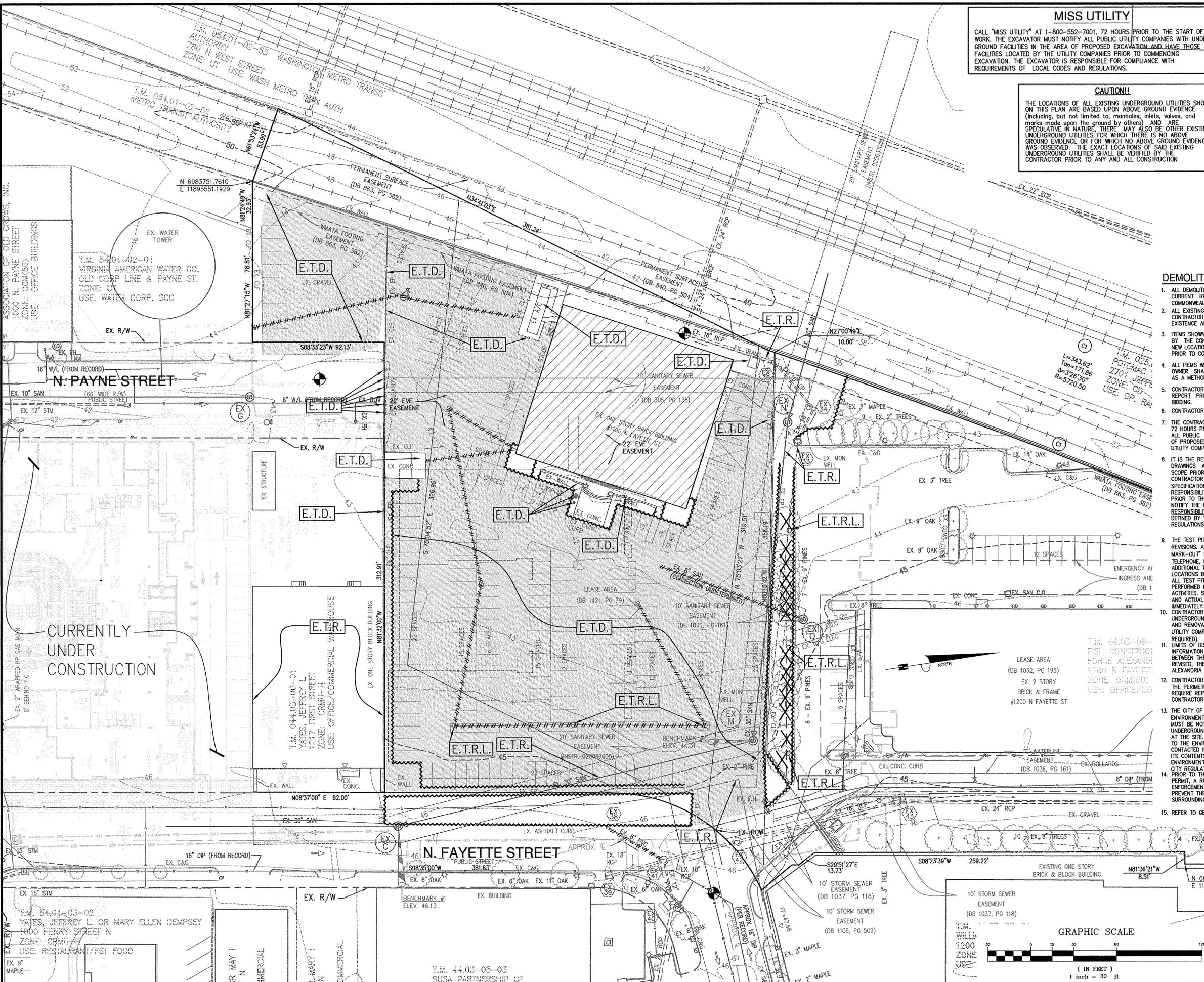
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
STL	CHKD
SCALE: H: 1"=100'	
V: _____	
JOB No.	4101-02-004
DATE :	MARCH 2017
FILE No.	4101-D-PR-004
SHEET	C3.00



MISS UTILITY
 CALL "MISS UTILITY" AT 1-800-552-7001, 72 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF LOCAL CODES AND REGULATIONS.

CAUTION!!
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION

- LEGEND**
- TEST PIT REQUIRED (EXACT LOCATION)
 - : EXISTING TO REMAIN
 - : EXISTING TO BE DEMOLISHED
 - : EXISTING TO BE REPLACED
 - : EXISTING TO BE RELOCATED
 - : ABANDONED IN PLACE
 - : PORTION OF PIPE TO BE REMOVED
 - : LOD - LIMITS OF DISTURBANCE
 - : LIMIT OF EXIST. CURB/APRON REMOVAL
 - X EXISTING TREE TO BE REMOVED
 - EXISTING STRUCTURE TO BE REMOVED
 - EXISTING PAVEMENT TO BE REMOVED

- DEMOLITION NOTES:**
- ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE CURRENT REGULATIONS OF THE CITY OF ALEXANDRIA AND THE COMMONWEALTH OF VIRGINIA.
 - ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN PER EXISTING RECORDS. CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASCERTAIN THE EXISTENCE AND LOCATION OF EXISTING UTILITIES.
 - ITEMS SHOWN TO BE RELOCATED SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR UNTIL SUCH TIME AS THEY CAN BE PLACED IN THEIR NEW LOCATION. CONTRACTOR SHALL VERIFY THESE ITEMS WITH THE OWNER, PRIOR TO CONSTRUCTION.
 - ALL ITEMS WHICH REQUIRE VERIFICATION BETWEEN THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING BY THE CONTRACTOR PRIOR TO BIDDING AS A METHOD OF BID CLARIFICATION.
 - CONTRACTOR TO STUDY GEOTECHNICAL INFORMATION AVAILABLE AND CLEARLY REPORT PROPOSED CONSTRUCTION METHODOLOGIES TO THE OWNER PRIOR TO BIDDING.
 - CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A.
 - THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-552-7001 AT LEAST 72 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 - THE TEST PIT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO REVISIONS. ADDITIONAL TEST PITS MAY BE REQUIRED, FOLLOWING "UTILITY MARK-OUT" PROCEDURES (i.e. TEST PITS FOR GAS, ELECTRIC, CABLE, TELEPHONE, ETC.) AS ORDERED BY THE CONTRACTOR VIA MISS UTILITY. ADDITIONAL TEST PITS MAY ALSO BE REQUIRED SHOULD PROPOSED UTILITY LOCATIONS BE REVISED. PRIOR TO FINAL JURISDICTIONAL APPROVAL ALL TEST PIT LOCATIONS SHOWN THROUGHOUT PLAN SET MUST BE PERFORMED BY CONTRACTOR PRIOR TO EXECUTION OF ANY CONSTRUCTION ACTIVITIES. SHOULD A DISCREPANCY BE DISCOVERED BETWEEN THIS PLAN SET AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY.
 - CONTRACTOR SHALL COORDINATE REMOVAL OR RELOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD ELECTRICAL, TELEPHONE AND CABLE TV LINES AND REMOVAL OF UTILITY POLES, PEDESTALS AND TRANSFORMERS WITH UTILITY COMPANIES AND WITH DEVELOPER PRIOR TO DEMOLITION (AS REQUIRED).
 - LIMITS OF DISTURBANCE SHOWN ARE BASED UPON BEST AVAILABLE INFORMATION AND MAY BE SUBJECT TO CHANGE BASED UPON COORDINATION BETWEEN THE DEVELOPER AND UTILITY COMPANIES. SHOULD THESE LIMITS BE REVISED, THE DEVELOPER SHALL CONTACT THE ENGINEER AND THE CITY OF ALEXANDRIA IMMEDIATELY.
 - CONTRACTOR IS RESPONSIBLE FOR ALL EXISTING CURBS & GUTTER AROUND THE PERIMETER OF THE ENTIRE PROJECT. SHOULD ANY CURBS OR GUTTER REQUIRE REPLACEMENT AS DIRECTED BY THE OWNER, ENGINEER OR CITY, THE CONTRACTOR SHALL REPLACE THEM AS PART OF THE ORIGINAL WORKSCOPE.
 - THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES (TRES), DIVISION OF ENVIRONMENTAL QUALITY (DEQ) MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS AND CONTAINERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT, THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE AND CITY REGULATIONS.
 - PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DEMOLITION PERMIT, A RODENT ASSESSMENT PLAN SHALL BE SUBMITTED TO CODE ENFORCEMENT THAT WILL OUTLINE THE STEPS THAT WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS.
 - REFER TO GENERAL NOTES, SHEET C2.00 FOR ADDITIONAL NOTES.

APPROVED
 SPECIAL USE PERMIT NO. 2016-0040
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
 DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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DEMOLITION PLAN
BRADDOCK GATEWAY
 DEVELOPMENT PRELIMINARY SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

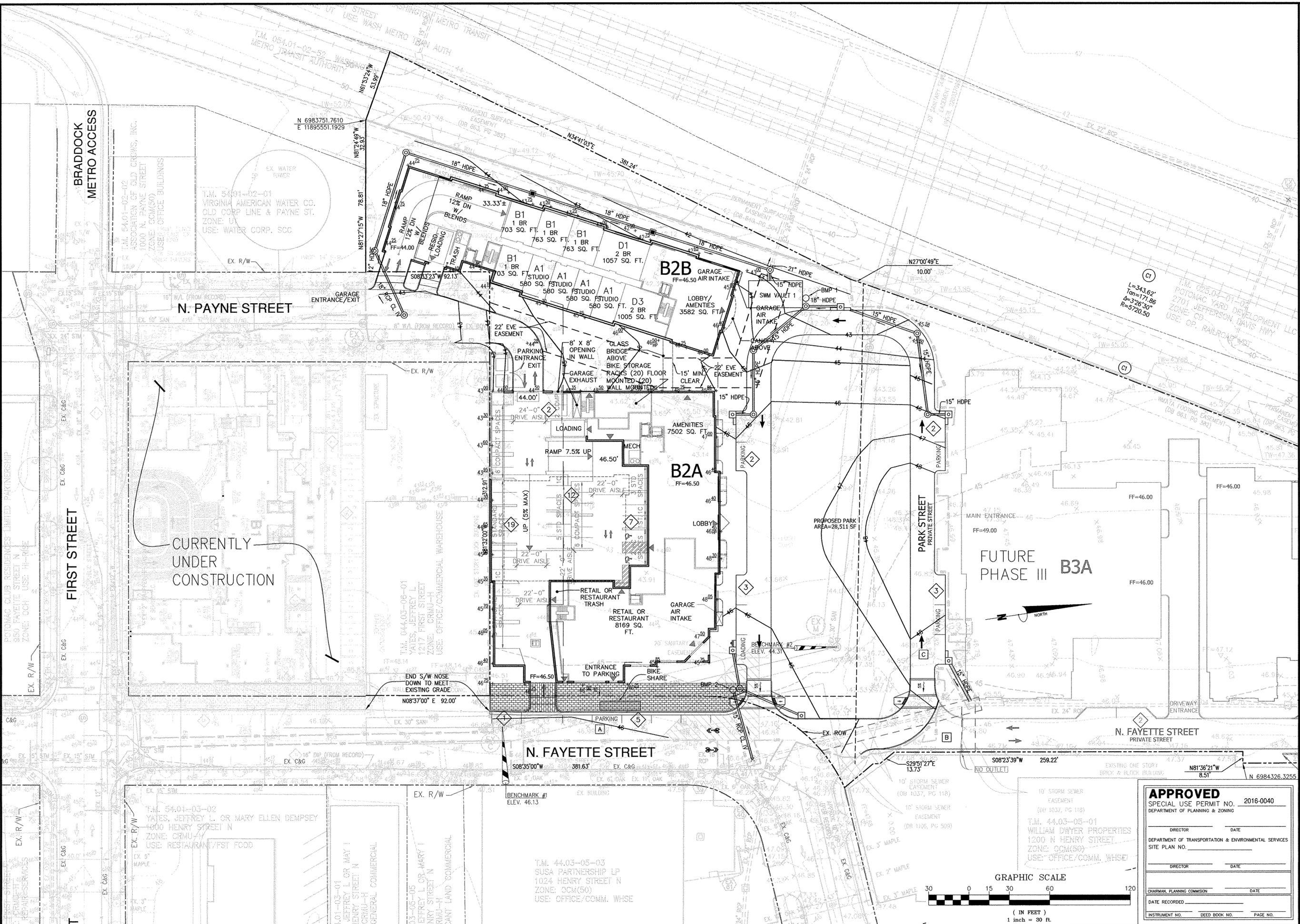
COMMONWEALTH OF VIRGINIA
 STEVEN T. LIAM
 Lic. No. 40224
 PROFESSIONAL ENGINEER

PLAN STATUS
 01/30/17 1ST SUBMISSION
 03/09/17 2ND SUBMISSION

DATE	DESCRIPTION
01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

JOB No. 4101-02-004
 DATE: MARCH 2017
 FILE No. 4101-D-PR-004

SHEET **C4.10**



T.M. 54.01-02-01
 VIRGINIA AMERICAN WATER CO.
 OLD CORP LINE & PAYNE ST.
 ZONE: U1
 USE: WATER CORP. SOC

N. PAYNE STREET

CURRENTLY UNDER CONSTRUCTION

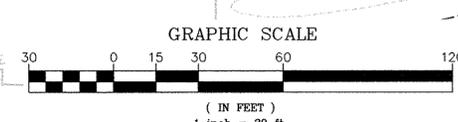
T.M. 04.03-08-01
 YATES, JEFFREY L.
 1217 FIRST STREET
 ZONE: CRMU-H
 USE: OFFICE/COMMERCIAL WAREHOUSE

N. FAYETTE STREET

T.M. 54.01-03-03
 YATES, JEFFREY L. OR MARY ELLEN DEMPSEY
 1000 HENRY STREET N
 ZONE: CRMU-H
 USE: RESTAURANT/FST FOOD

T.M. 44.03-05-03
 SUSA PARTNERSHIP LP
 1024 HENRY STREET N
 ZONE: OCM(SO)
 USE: OFFICE/COMM. WHSE

FUTURE PHASE III B3A



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DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
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CHAIRMAN, PLANNING COMMISSION _____ DATE _____
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 INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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GRADING PLAN

BRADDOCK GATEWAY

DEVELOPMENT PRELIMINARY SITE PLAN

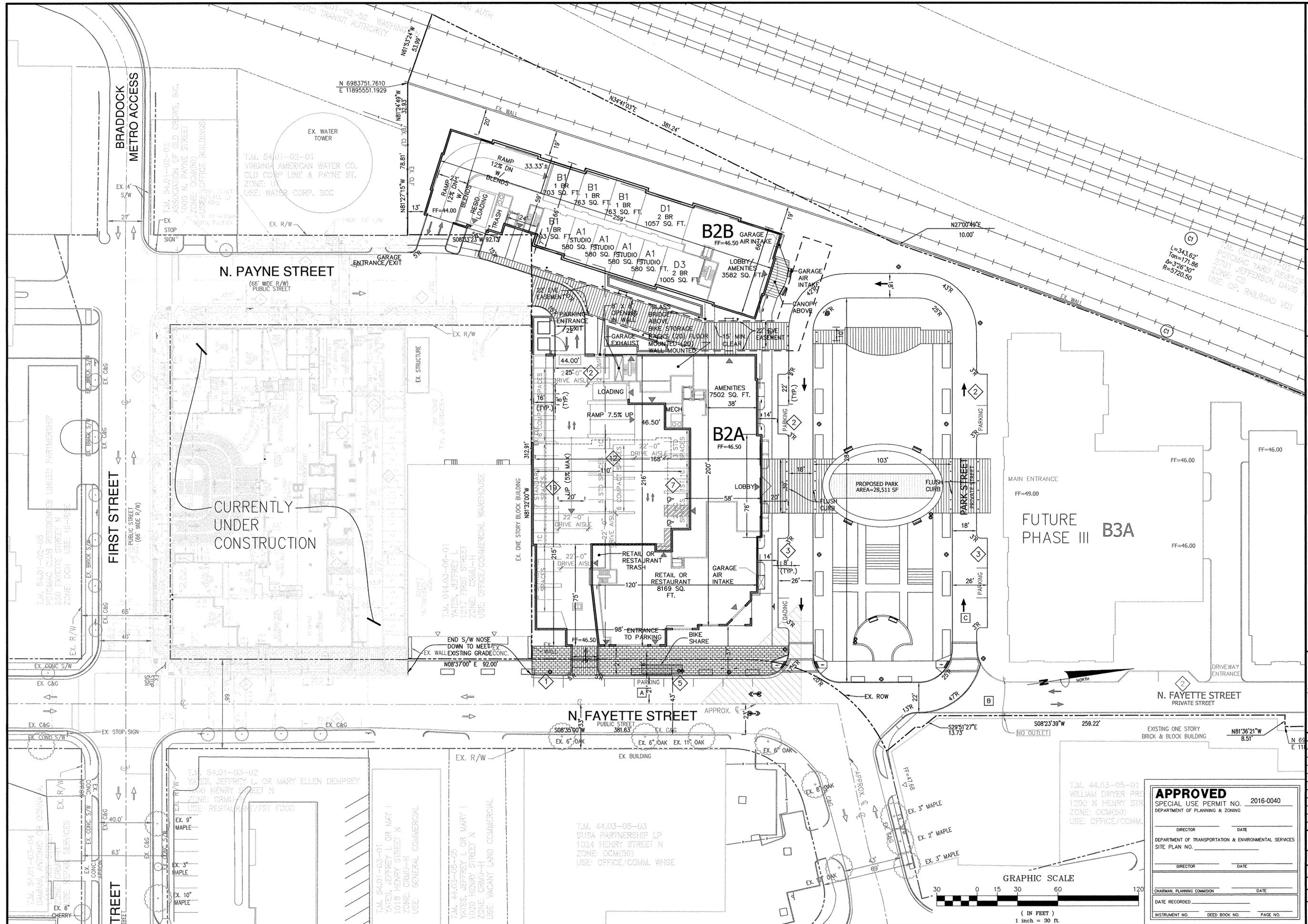
CITY OF ALEXANDRIA VIRGINIA

PLAN STATUS	
01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

DATE	DESCRIPTION
DAP	DAP
DESIGN	DRAWN
SCALE	H: 1" = 30'
V:	V:
JOB No.	4101-02-004
DATE :	MARCH 2017
FILE No.	4101-D-PR-004

SHEET C6.00

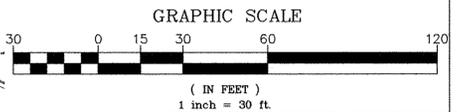
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 SPECIAL USE PERMIT NO. 2016-0040
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____
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DIMENSION PLAN
BRADDOCK GATEWAY
 DEVELOPMENT PRELIMINARY SITE PLAN
 CITY OF ALEXANDRIA
 VIRGINIA

COMMONWEALTH OF VIRGINIA
 STEVEN T. LIAM
 Lic. No. 40224
 3/17
 PROFESSIONAL ENGINEER

PLAN STATUS
 01/30/17 1ST SUBMISSION
 03/09/17 2ND SUBMISSION

DATE DESCRIPTION
 DAP DAP STL
 DESIGN DRAWN CHKD
 SCALE H: 1" = 30'
 V:
 JOB No. 4101-02-004
 DATE: MARCH 2017
 FILE No. 4101-D-PR-004
 SHEET C7.00

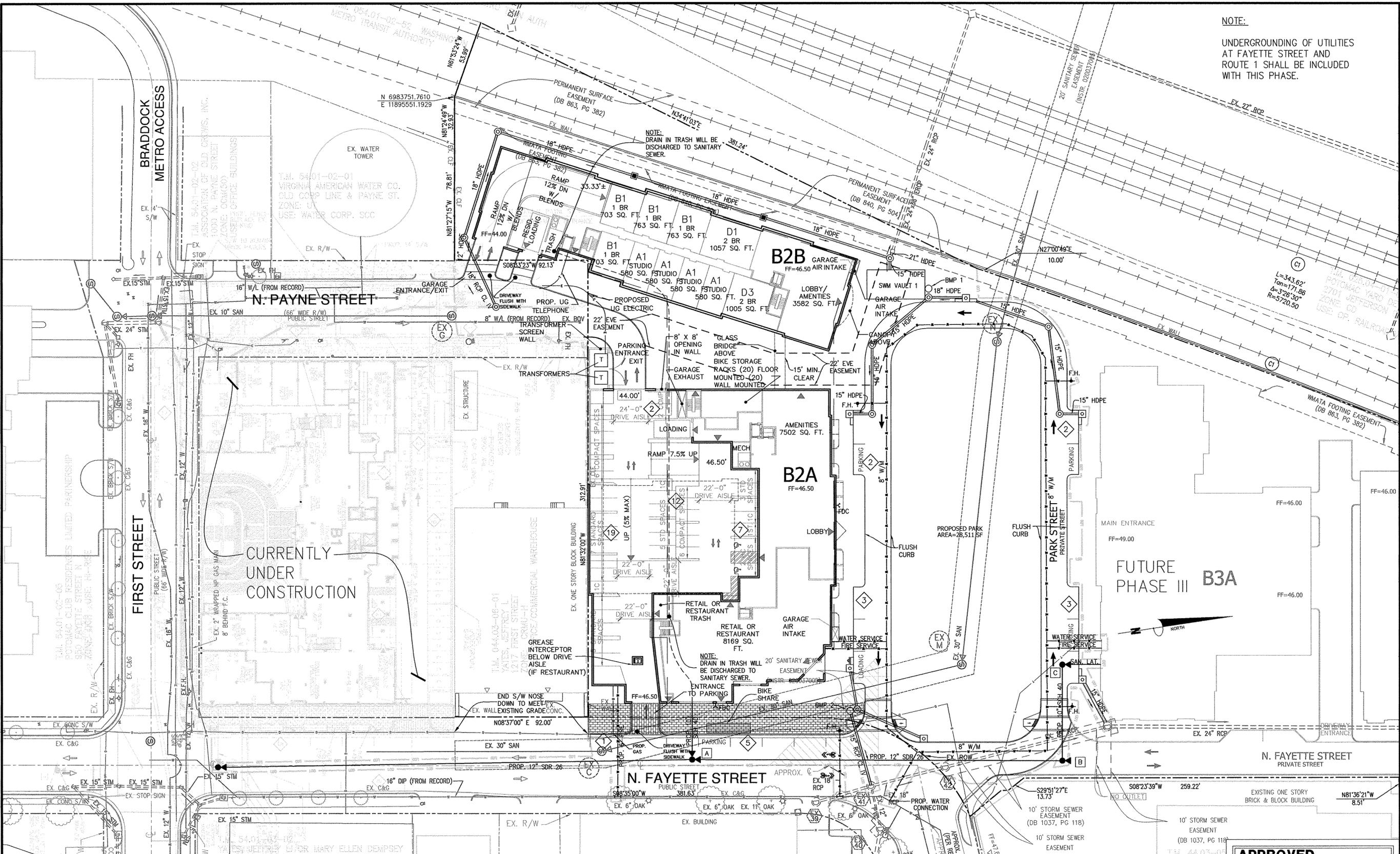
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PLAN STATUS	
01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
STL	CHKD
SCALE: H: 1" = 30'	
JOB No. 4101-02-004	
DATE: MARCH 2017	
FILE No. 4101-D-PR-004	
SHEET C7.10	

NOTE:
UNDERGROUNDING OF UTILITIES AT FAYETTE STREET AND ROUTE 1 SHALL BE INCLUDED WITH THIS PHASE.



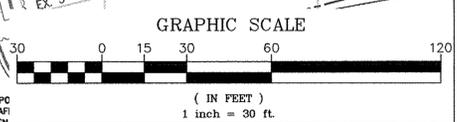
SANITARY SEWER FLOW COMPUTATIONS FOR BRADDOCK GATEWAY

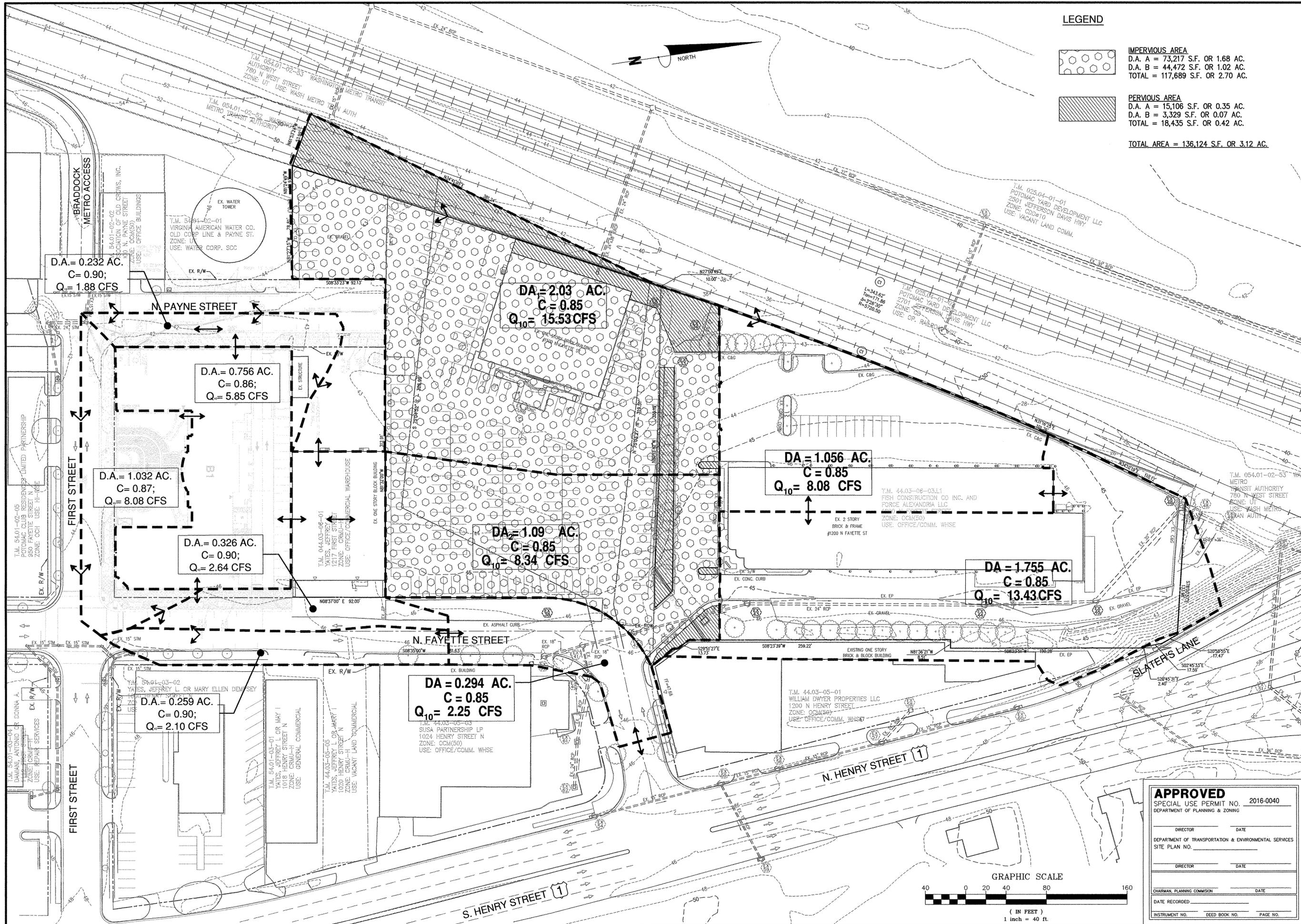
FLOW DETERMINATION										FULL FLOW											
MANHOLE	SQ. FT.	UNITS	AVG. DESIGN RETAIL FLOWS (GPD/1000SF)	AVG. DESIGN RESIDENTIAL FLOWS (GPD/UNIT)	DISCHARGE (GPD)	P.F.F.	PEAK FLOW (GPD)	CUMULATIVE PEAK FLOW (GPD)	PEAK FLOW (cfs)	CUMULATIVE PEAK FLOW (cfs)	ACTUAL VEL. (fps)	LENGTH (ft)	PIPE DIA. (in)	SLOPE	n	CAPACITY (MGD)	CAPACITY (cfs)	VEL. (fps)	ELEVATION OF INVERTS	COMMENTS	
FROM	TO	RETAIL	RETAIL	RETAIL														Upper inv.	Lower inv.		
BLDG C	C	8242	311	200	350	110498.4	4.00	441993.6	0.684	0.684	5.50	26.39	12.00	2.08	0.010	4.33	6.70	8.53	32.18	31.63	
C	B	0	0	200	350	0	4.00	0	0.000	0.684	5.50	65.88	12.00	0.50	0.010	2.12	3.28	4.18	31.38	31.05	
B	A	0	0	200	350	0	4.00	0	0.000	0.000	5.50	255.45	12.00	0.50	0.010	2.12	3.28	4.18	30.80	29.53	
BLDG B	A	8169	258	200	350	91933.8	4.00	367735.2	0.569	0.569	5.50	38.78	12.00	2.08	0.010	4.33	6.70	8.53	30.33	29.53	
A	2	0	0	200	350	0	4.00	0	0.000	0.569	5.50	327.44	12.00	0.50	0.010	2.12	3.28	4.18	29.28	27.64	
BLDG A	2	1500	270	200	350	94800	4.00	379200	0.587	1.156	5.50	42.42	12.00	2.08	0.010	4.33	6.70	8.53	28.52	27.64	
2	1	0	0	200	350	0	4.00	0	0.000	1.156	5.50	110.88	12.00	1.00	0.010	3.00	4.65	5.92	27.39	26.28	
1	EX MH B	0	0	200	350	0	4.00	0	0.000	0.000	5.50	6.00	12.00	2.00	0.010	4.24	6.57	8.36	26.03	25.91	
CDD	2	35000	541	200	350	196350	4.00	785400	1.215	2.371	5.50	100.00	12.00	1.36	0.0100	3.50	5.42	6.90	29.00	27.64	Future Retail/Residential
CARPENTER	1	17135	98	200	350	37727	4.00	150908	0.234	2.605	5.50	100.00	12.00	1.73	0.0100	3.95	6.11	7.78	28.00	26.27	Future Office/Residential

APPROVED
SPECIAL USE PERMIT NO. 2016-0040
DEPARTMENT OF PLANNING & ZONING

DIRECTOR: _____ DATE: _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR: _____ DATE: _____

CHARMAN, PLANNING COMMISSION _____ DATE: _____
DATE RECORDED: _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____





LEGEND

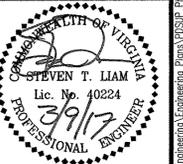
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	PERVIOUS AREA D.A. A = 15,106 S.F. OR 0.35 AC. D.A. B = 3,329 S.F. OR 0.07 AC. TOTAL = 18,435 S.F. OR 0.42 AC.

TOTAL AREA = 136,124 S.F. OR 3.12 AC.

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PRE-DEVELOPMENT DRAINAGE DIVIDES
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA, VIRGINIA

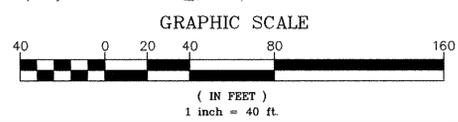


PLAN STATUS	01/30/17 1ST SUBMISSION
	03/09/17 2ND SUBMISSION

APPROVED
SPECIAL USE PERMIT NO. 2016-0040
DEPARTMENT OF PLANNING & ZONING

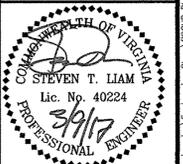
DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____



DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
SCALE	STL CHKD
JOB NO.	DATE
4101-02-004	MARCH 2017
FILE NO.	
4101-D-PR-004	
SHEET	C8.00

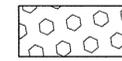
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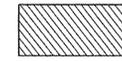
PLAN STATUS	
01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
STL	CHKD
SCALE	H: 1" = 40'
	V:
JOB No.	4101-02-004
DATE :	MARCH 2017
FILE No.	4101-D-PR-004

LEGEND

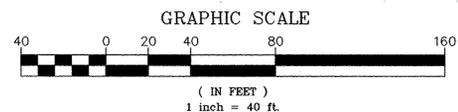
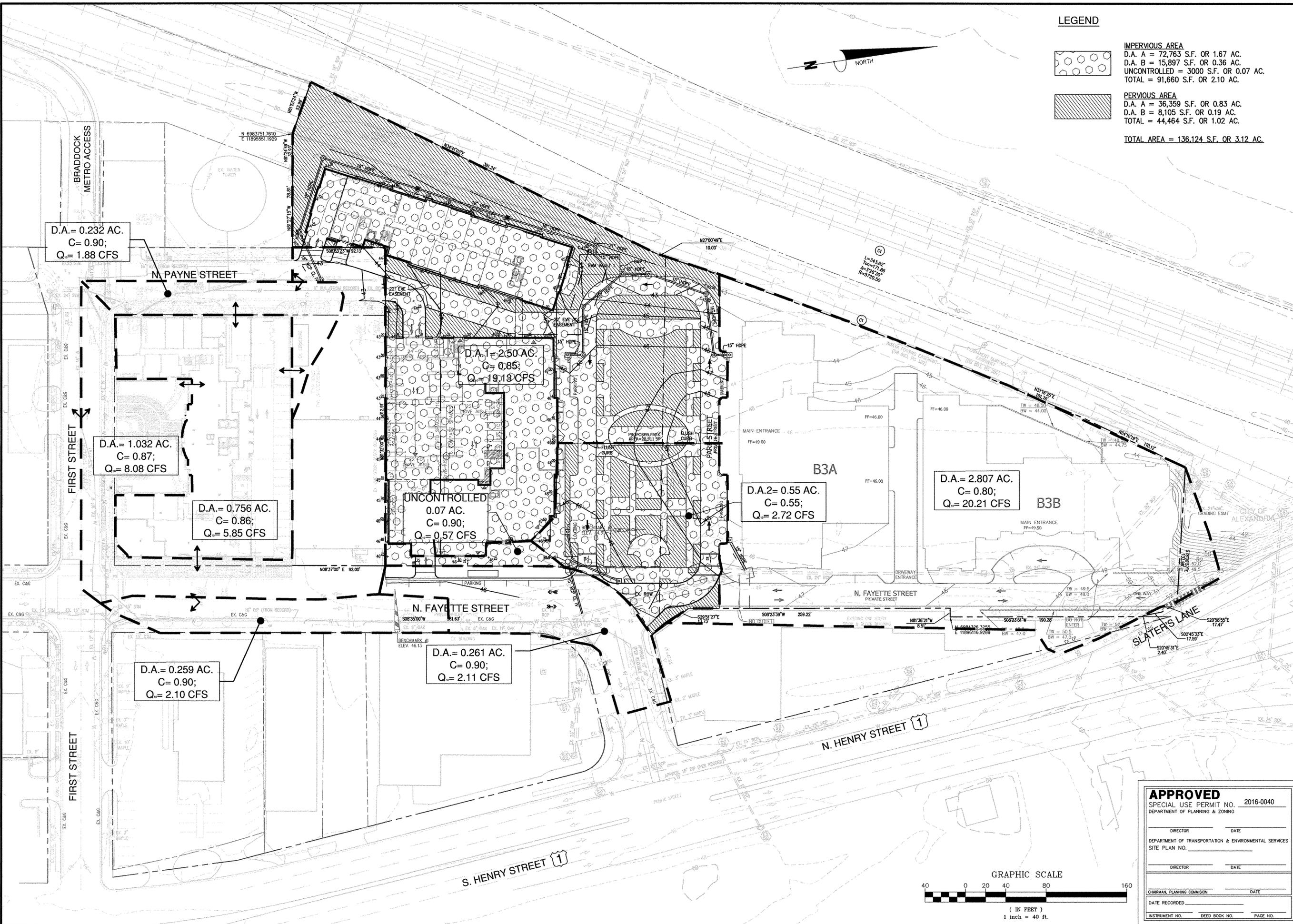
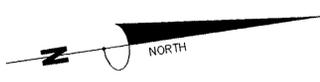


IMPERVIOUS AREA
 D.A. A = 72,763 S.F. OR 1.67 AC.
 D.A. B = 15,897 S.F. OR 0.36 AC.
 UNCONTROLLED = 3000 S.F. OR 0.07 AC.
 TOTAL = 91,660 S.F. OR 2.10 AC.



PERVIOUS AREA
 D.A. A = 36,359 S.F. OR 0.83 AC.
 D.A. B = 8,105 S.F. OR 0.19 AC.
 TOTAL = 44,464 S.F. OR 1.02 AC.

TOTAL AREA = 136,124 S.F. OR 3.12 AC.



APPROVED
 SPECIAL USE PERMIT NO. 2016-0040
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

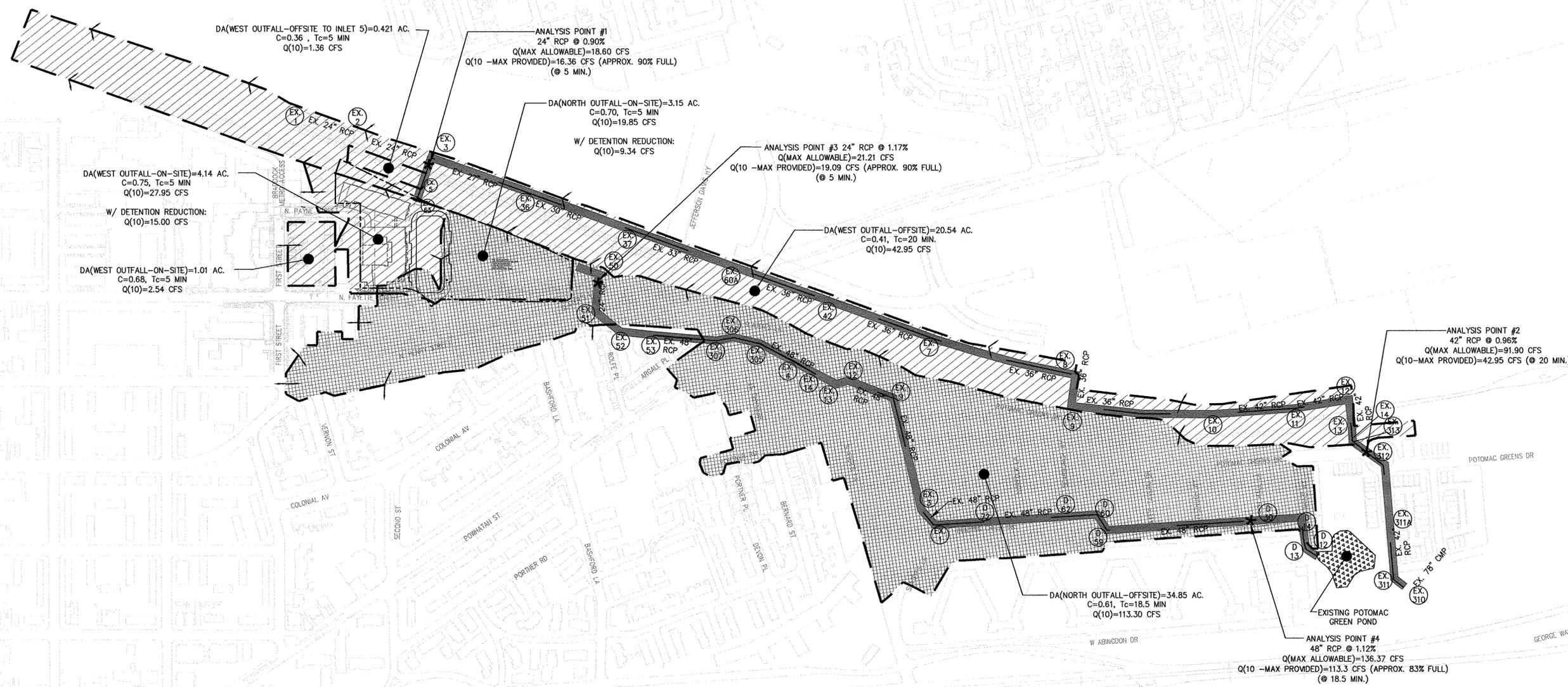
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Conf. file name: P:\4101-D-PR-004 (B3) - Braddock Gateway\Engineering\Plans\PSDP Phase II\4101-D-PR-004-08.10-SUP-SM-POST-PSDP2.dwg

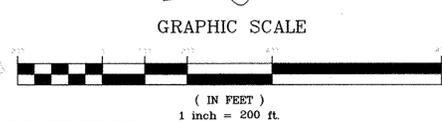
STORM SEWER OUTFALL NARRATIVE

THE BRADDOCK GATEWAY DFF#15 STORMWATER OUTFALL DISCHARGES TO TWO OUTFALL SYSTEMS, A WEST OUTFALL AND A NORTH OUTFALL. THE WEST OUTFALL HAS AN ALLOWABLE CAPACITY OF 18.60 CFS 10-YEAR. THE DESIGN DISCHARGE WILL BE 16.36 CFS, LOCATED AT ANALYSIS POINT #1. THIS WATER THAN RUNS ALONG THE WMATA TRACKS WHERE IT FLOWS THROUGH A DIVERSION PIPE IN POTOMAC GREENS AT ANALYSIS POINT #2. THE DESIGN OF THE OUTFALL WAS SIZED FOR THE 100-YEAR STORM EVENT.

THE NORTHERN OUTFALL HAS AN ALLOWABLE DISCHARGE OF 21.21 CFS, LOCATED AT ANALYSIS POINT #3. THE DESIGN DISCHARGE WILL BE 19.09 CFS. THIS WATER RUNS INTO A 48" STORM PIPE WHERE IT DISCHARGES INTO A BMP WETLAND POND IN POTOMAC GREEN. THE OUTFALL OF THE POND IS CONTROLLED BY A POND RISER AND ADEQUATE OUTFALL PROTECTION HAS BEEN INSTALLED FOR THE 10 AND 100 YEAR STORM EVENT.



- LEGEND
- WESTERN OUTFALL
 - NORTHERN OUTFALL
 - POTOMAC GREEN POND
 - OUTFALL PATH



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CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → 3.12

Maximum reduction required:	20%
The site's net increase in impervious cover (acres) is:	0
Post-Development TP Load Reduction for Site (lb/yr):	0.26

Pre-ReDevelopment Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.42	0.42
Impervious Cover (acres)				2.70	2.70
					3.12

Post-Development Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				1.02	1.02
Impervious Cover (acres)				2.10	2.10
Area Check	OK.	OK.	OK.	OK.	3.12

LAND COVER SUMMARY -- PRE-REDEVELOPMENT		
Land Cover Summary-Pre		
Pre-ReDevelopment	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.42	0.42
Weighted Rv(turf)	0.25	0.25
% Managed Turf	13%	13%
Impervious Cover (acres)	2.70	2.70
Rv(impervious)	0.95	0.95
% Impervious	87%	87%
Total Site Area (acres)	3.12	3.12
Site Rv	0.86	0.86

LAND COVER SUMMARY -- POST DEVELOPMENT		
Land Cover Summary-Post (Final)		
Post-Development	Post-Development	Post-Development
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	1.02	1.02
Weighted Rv (turf)	0.25	0.25
% Managed Turf	33%	33%
ReDev. Impervious Cover (acres)	2.10	2.10
Rv(impervious)	0.95	0.95
% Impervious	67%	67%
Total ReDev. Site Area (acres)	3.12	3.12
ReDev Site Rv	0.72	0.72

Treatment Volume and Nutrient Load		
Pre-ReDevelopment Treatment Volume (acre-ft)	0.2225	0.2225
Pre-ReDevelopment Treatment Volume (cubic feet)	9,692	9,692
Pre-ReDevelopment TP Load (lb/yr)	6.09	6.09
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.95	1.95
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding previous land proposed for new impervious cover)		1.28

Treatment Volume and Nutrient Load		
Final Post-Development Treatment Volume (acre-ft)	0.1875	0.1875
Final Post-Development Treatment Volume (cubic feet)	8,168	8,168
Final Post-Development TP Load (lb/yr)	5.13	5.13
Final Post-Development TP Load per acre (lb/acre/yr)	1.64	1.64
Max. Reduction Required (Below Pre-Development Load)	20%	
TP Load Reduction Required for Redeveloped Area (lb/yr)	0.26	
TP Load Reduction Required for New Impervious Area (lb/yr)	0	

1-year storm	2-year storm	10-year storm
2.70	3.20	5.20

ALEXANDRIA WATER QUALITY VOLUME DEFAULT

WQv = 1815 X IMPERVIOUS AREA (AC.) (0.50 INCH DEPTH)
 REQUIRED WQv = 1815 X 2.10 = 3811.5 CF
 PROPOSED VAULT WITH ADS BAYSEPARATORS = 800 SF X 11' = 8,800 CF
 PROVIDED WQv = 8,800 CF > 3811.5 CF

SWM/BMP NARRATIVE:

IN AN EFFORT TO CONFORM TO ARTICLE XIII OF THE CITY OF ALEXANDRIA ZONING ORDINANCE, THE POST-DEVELOPMENT RUNOFF WILL BE REDUCED FROM THE PRE-DEVELOPMENT RUNOFF THROUGH SEVERAL METHODS. FIRST, THE POST-DEVELOPMENT IMPERVIOUS AREA SHALL BE REDUCED ON-SITE BY APPROXIMATELY 19%. STORMWATER QUANTITY AND QUALITY SHALL BE ACHIEVED VIA UNDERGROUND STORAGE TANK AND HYDRODYNAMIC SEPARATOR DEVICES TO BE DESIGNED DURING FINAL ENGINEERING.

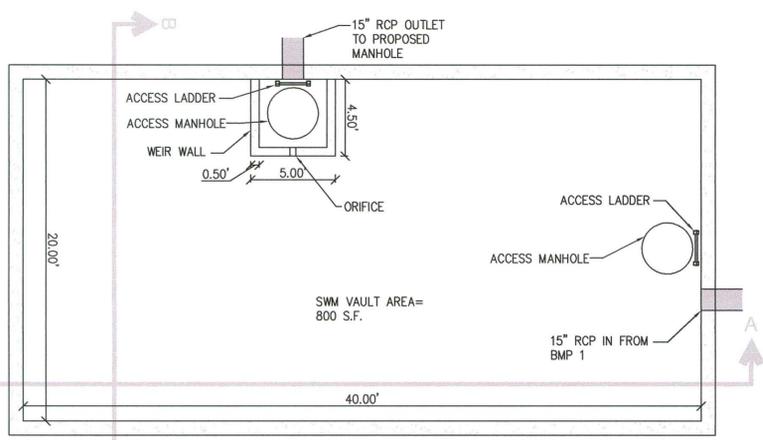
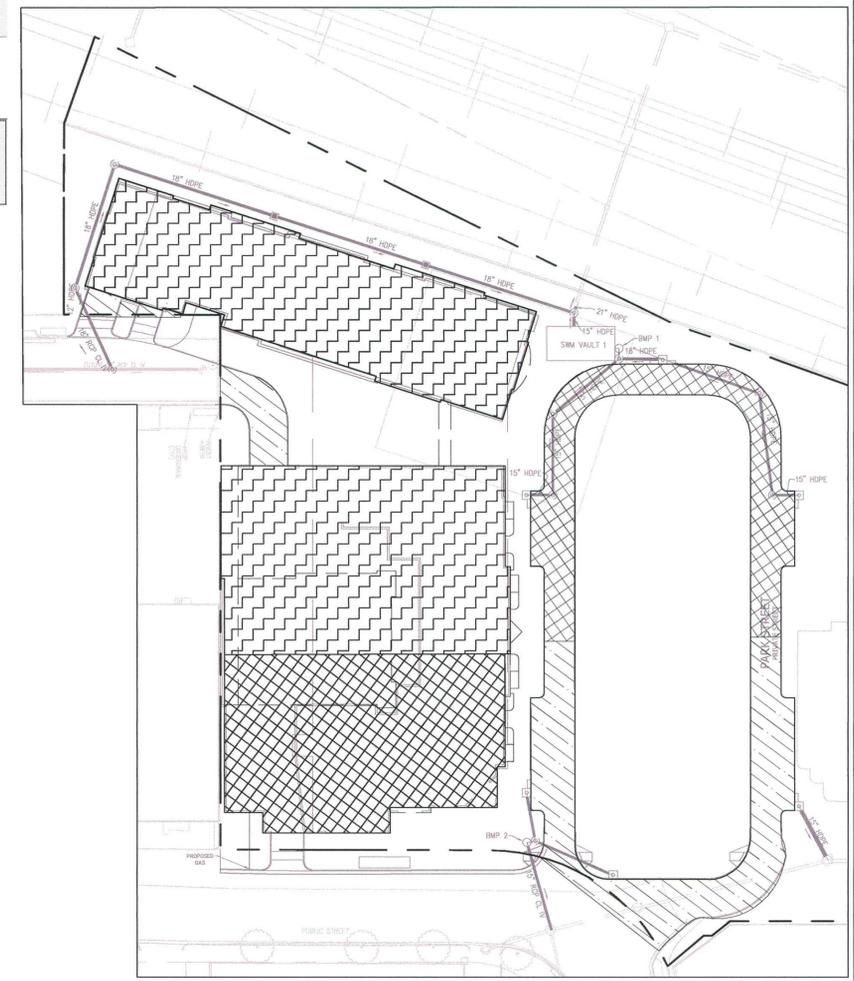
AS SHOWN ON THIS SHEET, STORMWATER QUANTITY CONTROL WILL BE ACHIEVED BY COLLECTING RUNOFF FROM STREETS AND BUILDING ROOFTOPS AND CONVEYING TO A DETENTION VAULT. THIS VAULT SHALL BE LOCATED AT THE WEST END OF THE PARK AND SHALL BE SIZED ACCORDING TO CHANNEL PROTECTION AND FLOOD CONTROL STORAGE VOLUMES PER ENERGY BALANCE. THE VAULT SHALL PROVIDE 8,800 CF OF STORAGE WHICH IS GREATER THAN THE COMBINED STORAGE REQUIREMENT OF 8,529 CF PER ENERGY BALANCE. THEREFORE STORMWATER QUANTITY HAS BEEN MET.

STORMWATER QUALITY SHALL BE ACHIEVED BY TWO (2) MANUFACTURED HYDRODYNAMIC DEVICES SUCH AS AN ADS BAYSEPARATOR OR EQUIVALENT LOCATED AT THE OUTFALL OF EACH DRAINAGE AREA IDENTIFIED AS "BMP 1" AND "BMP 2". PER VIRGINIA RUNOFF REDUCTION METHOD ON THIS SHEET, PHOSPHORUS LOAD REMOVAL HAS BEEN ACHIEVED. CITY OF ALEXANDRIA WATER QUALITY DEFAULT AS WELL AS ENERGY BALANCE SHALL BE ACHIEVED BY DETAINING THE 10-YEAR STORM EVENT WITHIN THE VAULT IN-LINE WITH THE HYDRODYNAMIC DEVICE.

SEE SHEET C8.00 FOR ADEQUATE OUTFALL.

LEGEND

- BUILDING (DETAINED) = 0.81 AC.
- BUILDING (UN-DETAINED) = 0.37 AC.
- VEHICULAR AREA (DETAINED) = 0.18 AC.
- VEHICULAR AREA (UN-DETAINED) = 0.25 AC.



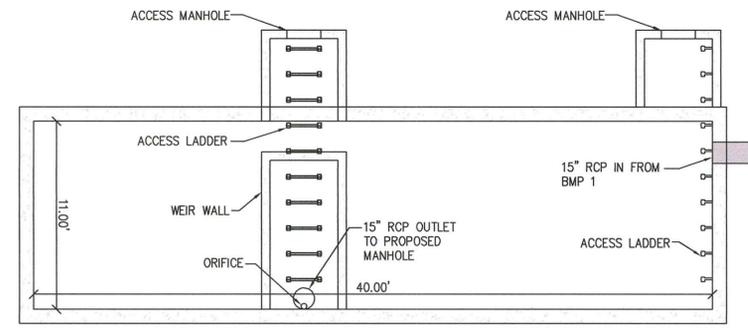
SWM VAULT PLAN VIEW

SCALE: 1"=5'

PROVIDED DETENTION VOLUME COMPUTATION

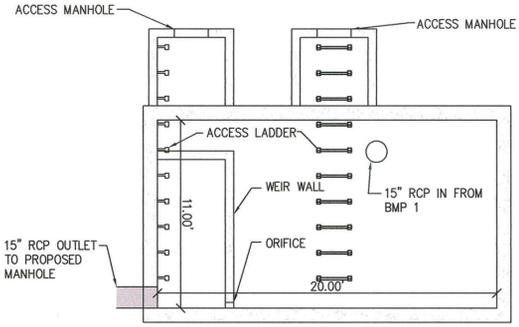
WQv = 8,800 C.F.
 AREA OF SWM VAULT = 800 S.F.
 VOLUME PROVIDED = (AREA OF SWM VAULT) X (DEPTH)
 VOLUME PROVIDED = (800 SF X 11') = 8,800 C.F.

*NOTE: ALL DEPTHS, INVERTS, AND SIZES OF PIPES, WEIRS AND ORIFICES ARE SUBJECT TO CHANGE. FINAL DESIGN SHALL BE PROVIDED DURING FINAL ENGINEERING PHASE.



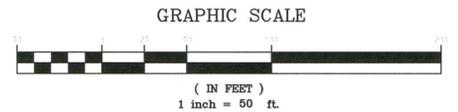
SWM VAULT SECTION A-A

SCALE: 1"=5'



SWM VAULT SECTION B-B

SCALE: 1"=5'



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 DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
 DATE RECORDED _____
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Bowman
 CONSULTING

Bowman Consulting Group, Ltd.
 14220 The Woodloch Place
 Suite 300
 Chantilly, Virginia 20151
 Phone: (703) 464-1000
 Fax: (703) 481-9720
 www.bowmanconsulting.com

STORMWATER MANAGEMENT PLAN
BRADDOCK GATEWAY
 DEVELOPMENT PRELIMINARY SITE PLAN
 CITY OF ALEXANDRIA, VIRGINIA

COMMONWEALTH OF VIRGINIA
 STEVEN T. LIAM
 Lic. No. 40224
 3917
 PROFESSIONAL ENGINEER

PLAN STATUS
 01/30/17 1ST SUBMISSION
 03/09/17 2ND SUBMISSION

DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
STL CHKD	

SCALE: H: 1" = 50'
 V: _____

JOB No. 4101-02-004
 DATE: MARCH 2017
 FILE No. 4101-D-PR-004

SHEET C8.30

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ENERGY BALANCE FOR OUTFALL #1 (D.A. A)

SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre)	1-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.7	2.7	5.2	5.2
CN	95.00	92.00	95.00	92.00
S=1000/CN-10	0.53	0.87	0.53	0.87
0.25	0.11	0.17	0.11	0.17
RV=(P-0.25)/(P-0.25)+S	2.16	2.40	4.62	4.89

QPost Development <= I.F.* (Qpre-development* RVpre-development)/RVDeveloped

CHANNEL PROTECTION		From TR55	FLOOD CONTROL	
Qpre-development	6.41		From TR55	Qpre-development
QPost Development	7.11	From TR55	QPost Development	15.54
RVPost Development (with runoff reduction)	1.88	From RRM	RVPost Development (with runoff reduction)	4.28
Qallowable	5.88		Qallowable	14.18
Qallowable/QPost Development	0.83		Qallowable/QPost Development	0.91
Vs/Vr	0.18	Fig 11.7 of DEQ Manual	Vs/Vr	0.18
Vs	0.34		Vs	0.77
Storage required (cf)	3071		Storage required (cf)	6991

Drainage Area A		A Soils	B Soils	C Soils	D Soils	Total Area (acres):
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	0.00	2.50
	CN	30	55	70	77	Runoff Reduction Volume (ft ³): 0
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.83	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	1.67	
	CN	98	98	98	98	

CN(D.A. A)
92

	1-year storm	2-year storm	10-year storm
RV _{Developed} (watershed-inch) with no Runoff Reduction*	1.88	2.35	4.28
RV _{Developed} (watershed-inch) with Runoff Reduction*	1.88	2.35	4.28
Adjusted CN*	92	92	92

ENERGY BALANCE FOR OUTFALL #2 (D.A. B)

SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre)	1-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.7	2.7	5.2	5.2
CN	97.00	92.00	97.00	92.00
S=1000/CN-10	0.31	0.87	0.31	0.87
0.25	0.06	0.17	0.06	0.17
RV=(P-0.25)/(P-0.25)+S	2.36	2.40	4.85	4.89

QPost Development <= I.F.* (Qpre-development* RVpre-development)/RVDeveloped

CHANNEL PROTECTION		From TR55	FLOOD CONTROL	
Qpre-development	3.63		From TR55	Qpre-development
QPost Development	1.56	From TR55	QPost Development	3.42
RVPost Development (with runoff reduction)	1.88	From RRM	RVPost Development (with runoff reduction)	4.28
Qallowable	3.65		Qallowable	8.13
Qallowable/QPost Development	2.34		Qallowable/QPost Development	2.38
Vs/Vr	0.18	Fig 11.7 of DEQ Manual	Vs/Vr	0.18
Vs	0.34		Vs	0.77
Storage required (cf)	676		Storage required (cf)	1538

Drainage Area B		A Soils	B Soils	C Soils	D Soils	Total Area (acres):
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	0.00	0.55
	CN	30	55	70	77	Runoff Reduction Volume (ft ³): 0
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.19	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	0.36	
	CN	98	98	98	98	

CN(D.A. B)
92

	1-year storm	2-year storm	10-year storm
RV _{Developed} (watershed-inch) with no Runoff Reduction*	1.88	2.35	4.28
RV _{Developed} (watershed-inch) with Runoff Reduction*	1.88	2.35	4.28
Adjusted CN*	92	92	92

Stormwater Best Management Practices (RR = Runoff Reduction)

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
14. Manufactured Treatment Devices (no RR)													
14.a. Manufactured Treatment Device-Hydrodynamic	0	0.83	1.67	0	0	6,512	6,512	20	0.00	4.09	0.82	3.27	
14. Manufactured Treatment Devices (no RR)													
14.a. Manufactured Treatment Device-Hydrodynamic	0	0.19	0.36	0	0	1,414	1,414	20	0.00	0.89	0.18	0.71	

Nitrogen Removal Efficiency (%)	Nitrogen Load from Upstream Practices (lbs)	Untreated Nitrogen Load to Practice (lbs)	Nitrogen Removed By Practice (lbs)	Remaining Nitrogen Load (lbs)
14. Manufactured BMP (no RR)				
0	0.00	29.24	0.00	29.24
14. Manufactured BMP (no RR)				
0	0.00	6.35	0.00	6.35

Site Compliance Summary

Maximum % Reduction Required Below Pre-ReDevelopment Load	20%
---	-----

Total Runoff Volume Reduction (ft ³)	0
Total TP Load Reduction Achieved (lb/yr)	0.99
Total TN Load Reduction Achieved (lb/yr)	0.00
Remaining Post Development TP Load (lb/yr)	4.14
Remaining TP Load Reduction (lb/yr) Required	0.00

**** TARGET TP REDUCTION EXCEEDED BY 0.73 LB/YEAR ****

ADS BAYSEPARATOR™ STORMWATER TREATMENT SYSTEM

Through extensive testing and mathematical modeling, the BaySeparator was developed to deliver predictable, reliable and scalable performance with efficiency, ease of maintenance and cost effectiveness. Using fully customizable systems, BaySeparator removes over 80% of oils, fine suspended solids and floatable debris as soon as runoff enters the system.

The system is comprised of three main components: the BaySeparator Unit, the Primary Manhole and the Storage Manhole. Influent flow containing pollutants enters the system through the Primary Manhole. Coarse sediment settles while the flow passes over a weir into the BaySeparator Unit and is routed to the Storage Manhole. Once in the Storage Manhole, floatable debris, oils and grease float to the surface while fine sediments settle to the bottom. Maintenance is easily accomplished through the system's fully accessible chambers, resulting in more efficiency and lower costs.

FEATURES:

- Easy to specify, install, and maintain.
- Available in multiple sizes and systems for multiple applications
- System can be configured for a right-hand or left-hand layout to fit each site
- Can be placed under load-bearing surfaces or in green spaces
- Assists in compliance with Phase II (122.34(b)(5)) of the Clean Water Act
- Excellent abrasion and corrosion resistance
- Offline storage of collected pollutants prevents re-suspension

BENEFITS:

- Cost effective
- Easy access = easy inspections & maintenance
- Low maintenance costs
- Can be sized for any volume of stormwater
- Removes gross pollutants, oil, grease and suspended solids

ADS Service: ADS representatives are committed to providing you with the answers to all your questions, including specifications, and installation and more.

The Most Advanced Name in Drainage Systems™

ADS BAYSEPARATOR STORMWATER TREATMENT SYSTEM SPECIFICATIONS

MATERIALS AND DESIGN

- Concrete structures shall be designed for H-20 loading traffic and applicable earth loads or as otherwise determined by a Licensed Professional Engineer.
- The materials and structural design of the devices shall be per ASTM C478.
- The separator structure shall be substantially constructed of HDPE or equivalent corrosion-resistant material meeting ASTM F2306.
- Smooth wall pipes within the unit, (i.e. tee pipes, connector pipes and down pipes) shall be constructed of SDR 32.5 HDPE pipe of standard ASTM F412.
- Pipe and fitting material shall be high-density polyethylene meeting ASTM F2306 minimum cell classification 435400C for 24-inch through 60-inch diameters.
- The reducer/adaptor shall be installed with an exterior joining coupler. The joint coupler shall be Mar-Mac® couplers and shall be installed according to the manufacturer's recommendations.
- The connector pipes shall be connected with the down pipes using flexible couplings that have been manufactured to conform to ASTM C425.

PERFORMANCE

- The stormwater treatment unit shall be an online unit capable of conveying 100% of the peak design flow.
- The stormwater treatment unit shall be designed to remove at least 80% of the suspended solids load on an annual aggregate removal basis. Said removal shall be based on full-scale third party testing using F-95 media gradation (manufactured by US Silica®) or equivalent. Said full scale testing shall have included sediment capture based on actual total mass collected by the Stormwater Treatment Unit(s).
- The stormwater treatment unit shall consist of one (1) prefabricated separator structure, one (1) on-line coarse sediment capture structure, and one (1) off-line sediment capture structure. The separator structure shall be substantially constructed of HDPE or equivalent corrosion resistant material. The off-line sediment storage structure must provide for offline sediment storage of sediments and floatables that are isolated from high intensity storms. The said capture structures or manholes shall be of standard concrete construction.
- The Stormwater Treatment Unit(s) head loss at the Peak Design Flow Rate shall not exceed the head loss specified by the Engineer.
- The unit shall be designed to remove sediment particles as well as floating oils and debris.

INSTALLATION

Installation of the Stormwater Treatment Unit(s) shall be performed per manufacturer's installation instructions.

For more information on BayFilter Stormwater Filtration System and other ADS products, please contact our Customer Service Representatives at 1-800-821-6710

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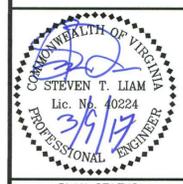
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Advanced Drainage Systems, Inc.
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1-800-821-6710 www.ads-pipe.com

Bowman CONSULTING

Bowman Consulting Group, Ltd.
14020 Thunderbolt Place
Suite 300
Chantilly, Virginia 20151
Phone: (703) 464-1000
Fax: (703) 464-9720
www.bowmanconsulting.com
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STORMWATER MANAGEMENT DETAILS
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA



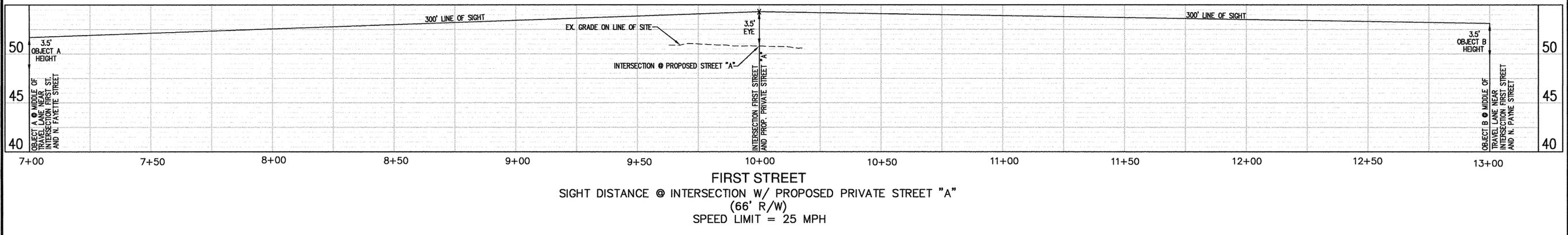
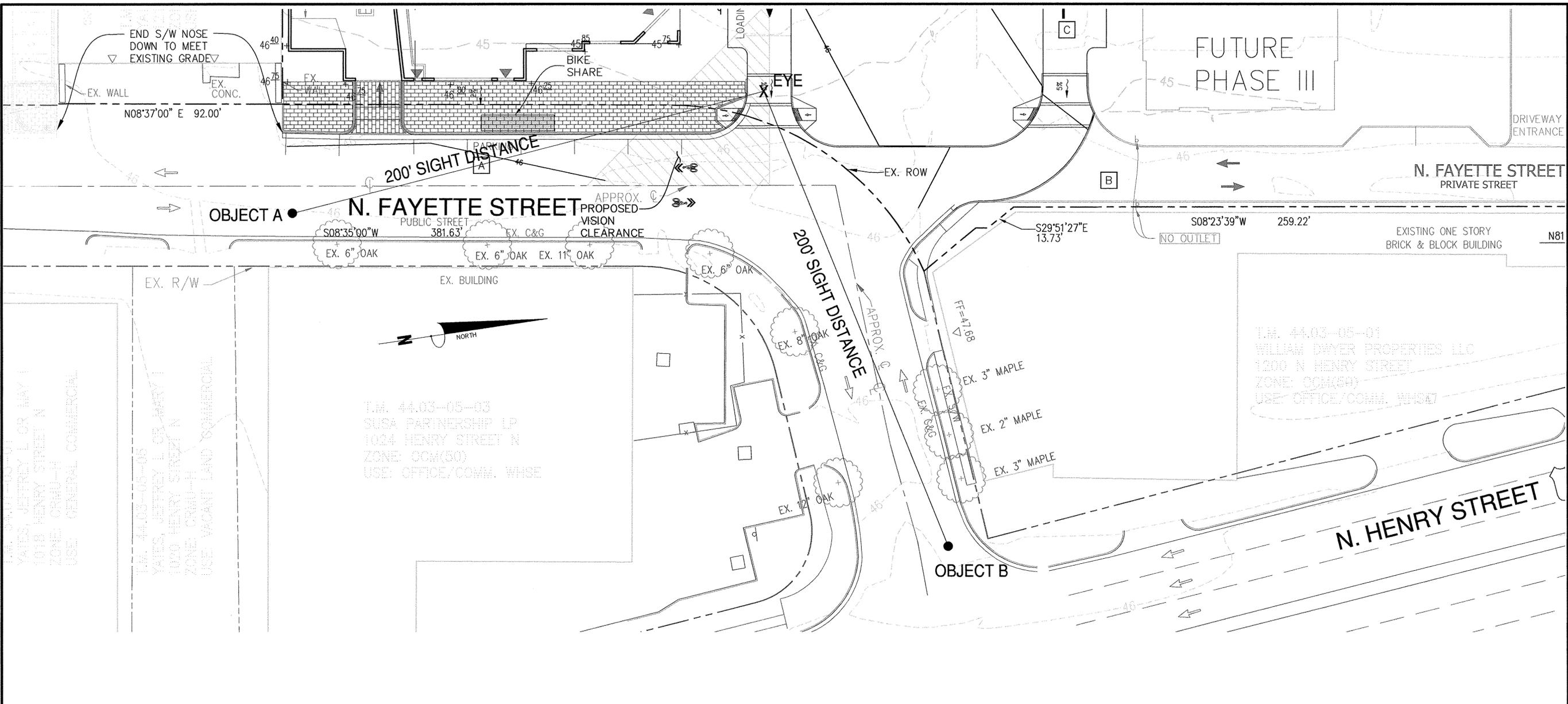
PLAN STATUS	
01/30/17 1ST SUBMISSION	
03/09/17 2ND SUBMISSION	

APPROVED
SPECIAL USE PERMIT NO. 2016-0040
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
STL CHKD	
JOB No. 4101-02-004	DATE : MARCH 2017
FILE No. 4101-D-PR-004	
SHEET	C8.40



APPROVED
SPECIAL USE PERMIT NO. 2016-0040
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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SIGHT DISTANCE PROFILES
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA
VIRGINIA



PLAN STATUS
01/30/17 1ST SUBMISSION
03/09/17 2ND SUBMISSION

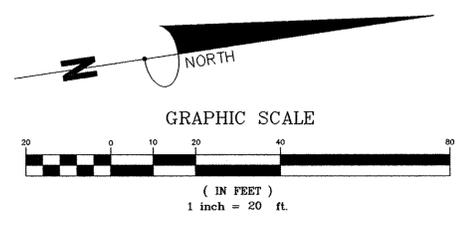
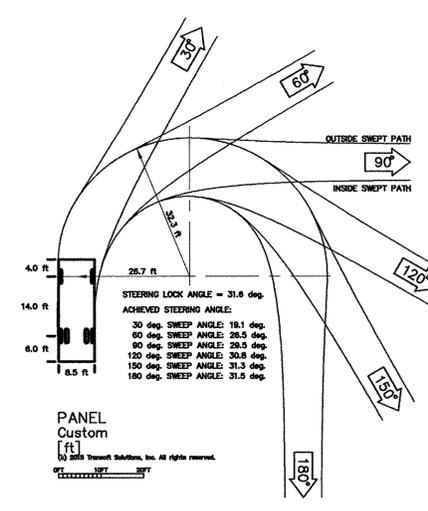
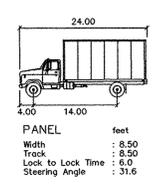
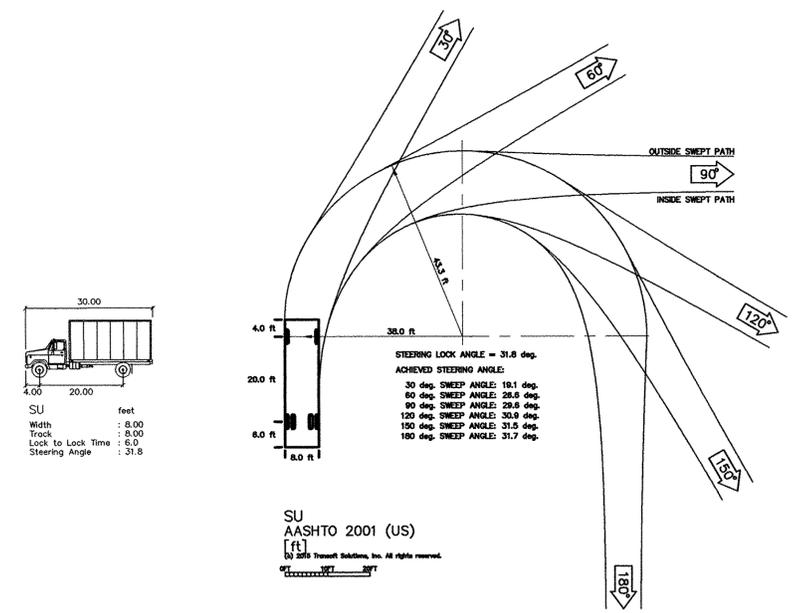
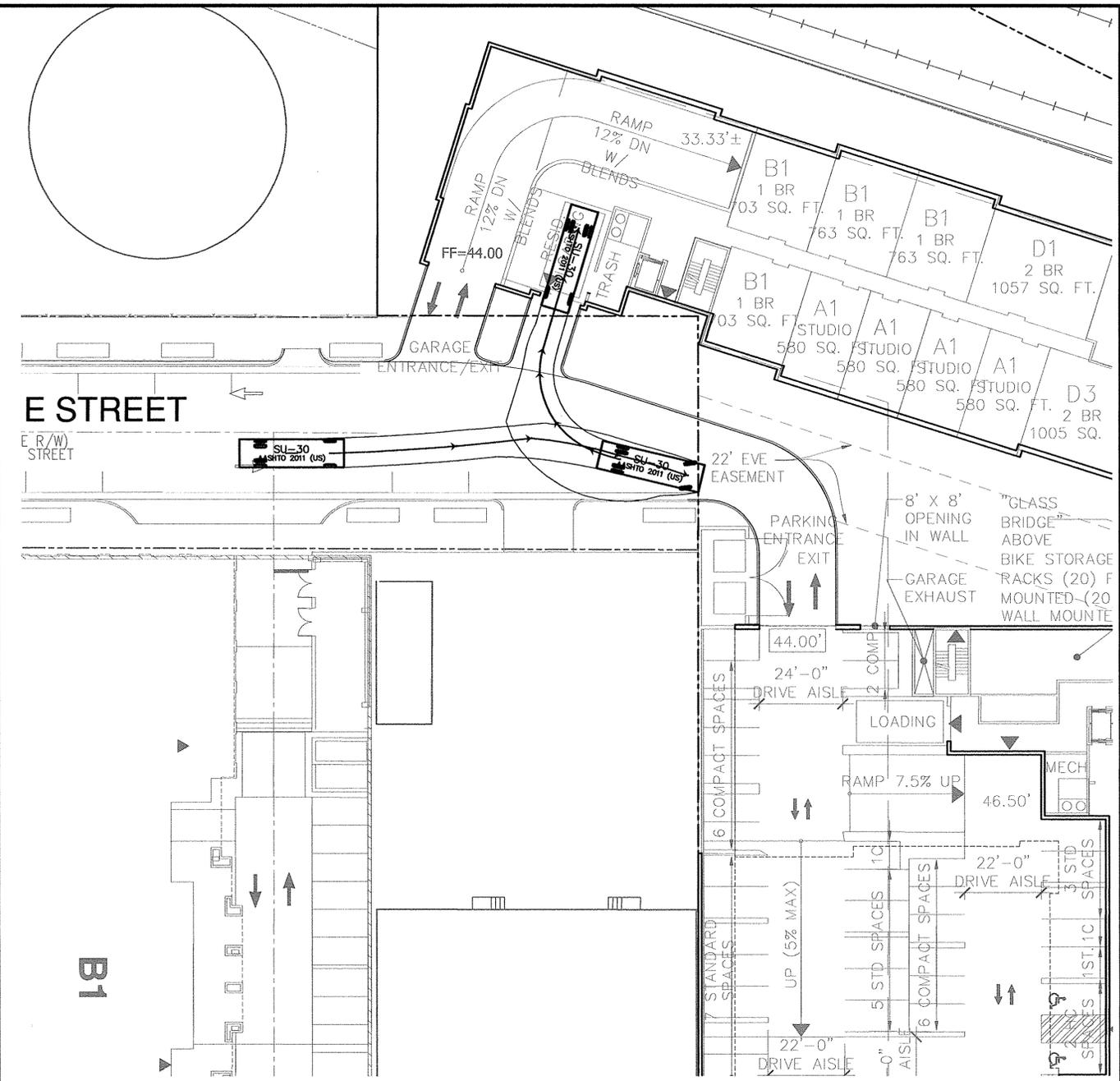
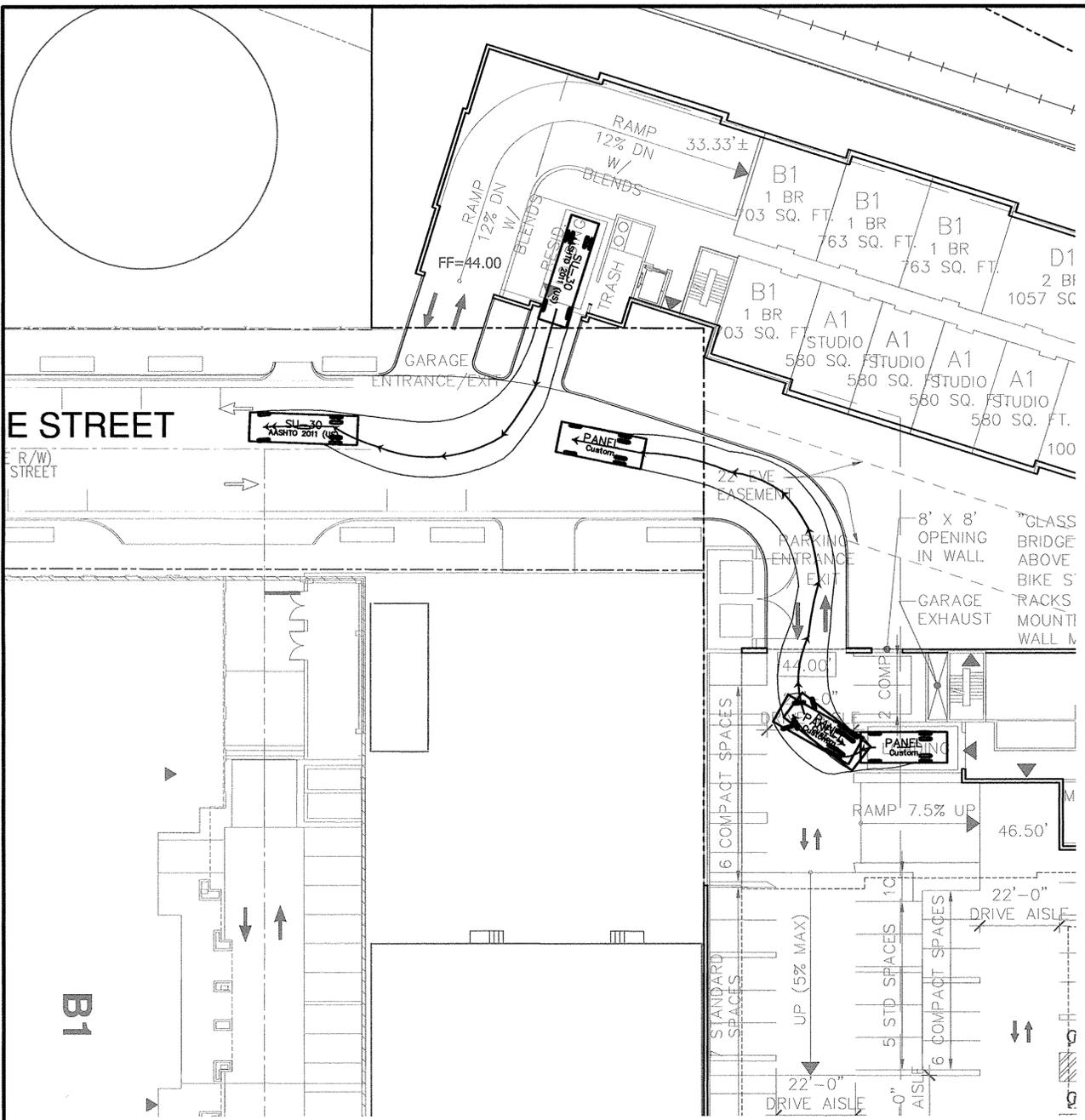
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DAP DESIGN	DAP DRAWN
STL CHKD	CHKD

SCALE: H: 1" = 20'
V: 1" = 5'

JOB No. 4101-02-004
DATE: MARCH 2017
FILE No. 4101-D-PR-004

SHEET C9.00

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 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
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 DIRECTOR _____ DATE _____

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DELIVERY TRUCK TURNING MOVEMENTS
BRADDOCK GATEWAY
 DEVELOPMENT PRELIMINARY SITE PLAN
 VIRGINIA
 CITY OF ALEXANDRIA

PLAN STATUS
 01/30/17 1ST SUBMISSION
 03/09/17 2ND SUBMISSION

PROFESSIONAL ENGINEER
 STEVEN T. LIAM
 Lic. No. 40224
 3/9/17

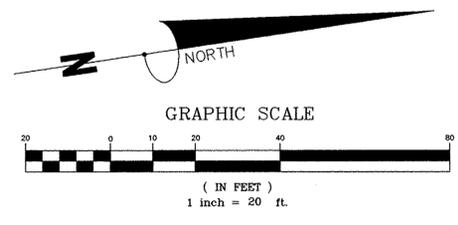
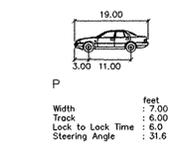
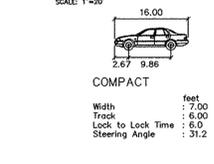
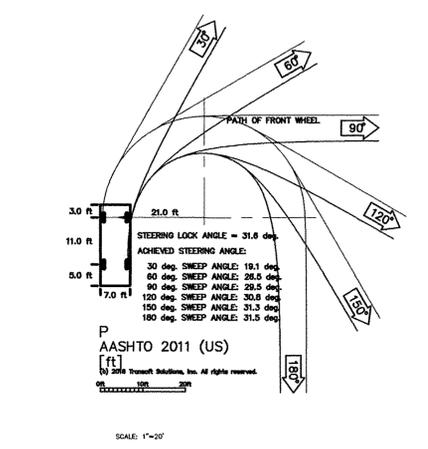
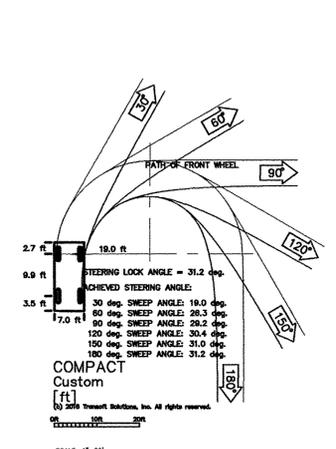
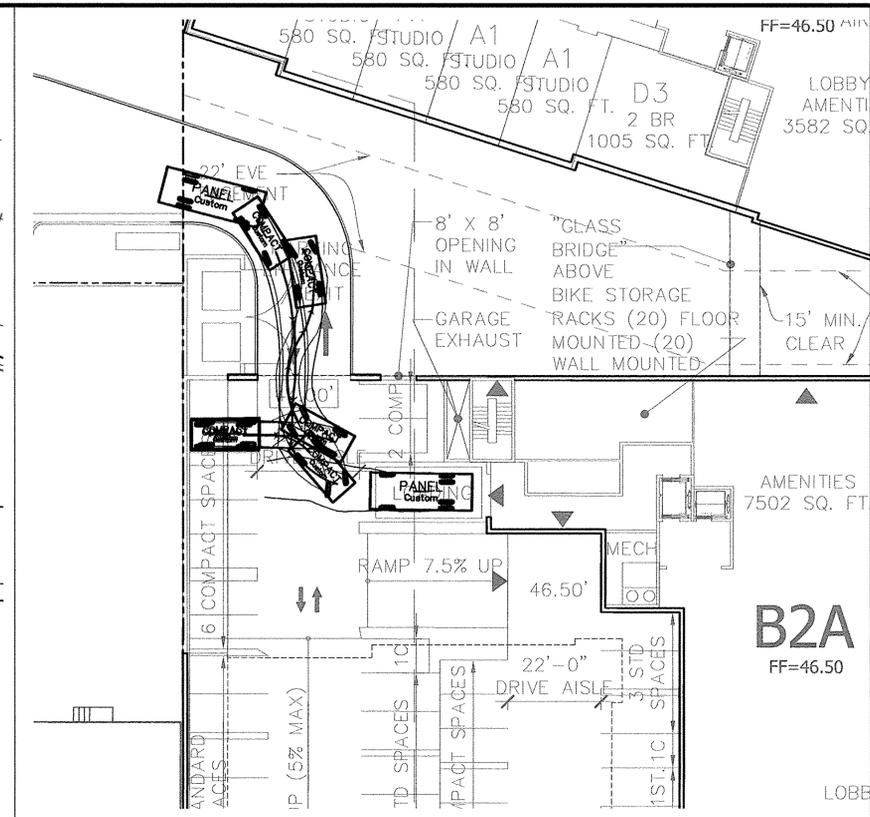
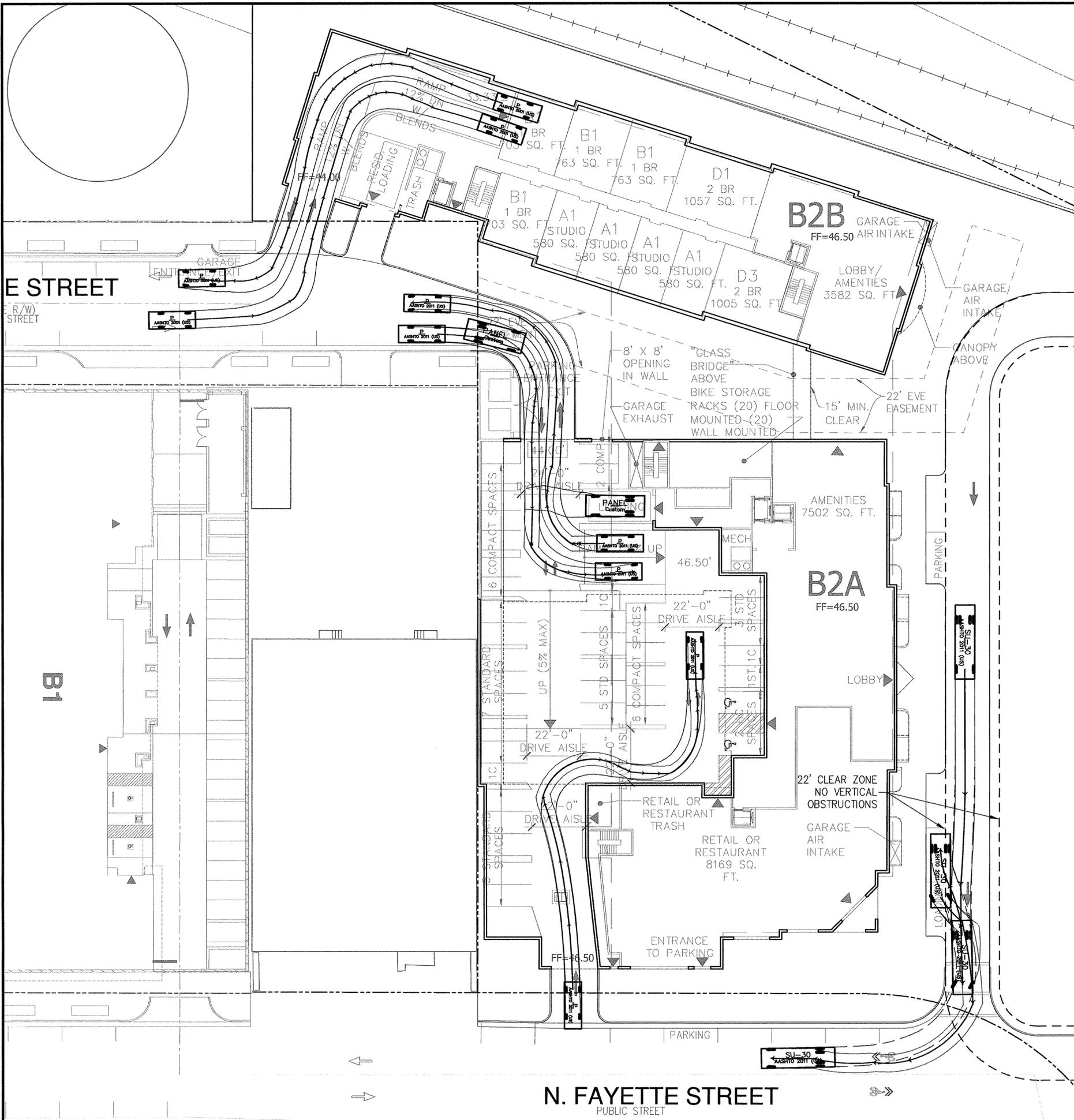
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DAP DESIGN	DAP DRAWN
STL	CHKD

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JOB No. 4101-02-004
 DATE: MARCH 2017
 FILE No. 4101-D-PR-004

SHEET C12.20

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SPECIAL USE PERMIT NO. 2016-0040
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

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DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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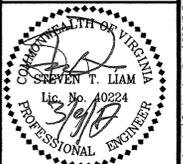
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PASSENGER CAR TURNING MOVEMENTS
BRADDOCK GATEWAY
DEVELOPMENT PRELIMINARY SITE PLAN
CITY OF ALEXANDRIA



PLAN STATUS		
01/30/17	1ST SUBMISSION	
03/09/17	2ND SUBMISSION	
DATE	DESCRIPTION	
DAP DESIGN	DAP DRAWN	STL CHKD
SCALE	H: 1" = 20'	
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DATE :	MARCH 2017	
FILE No.	4101-D-PR-004	
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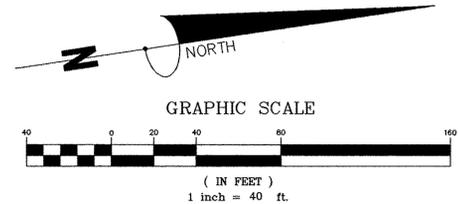
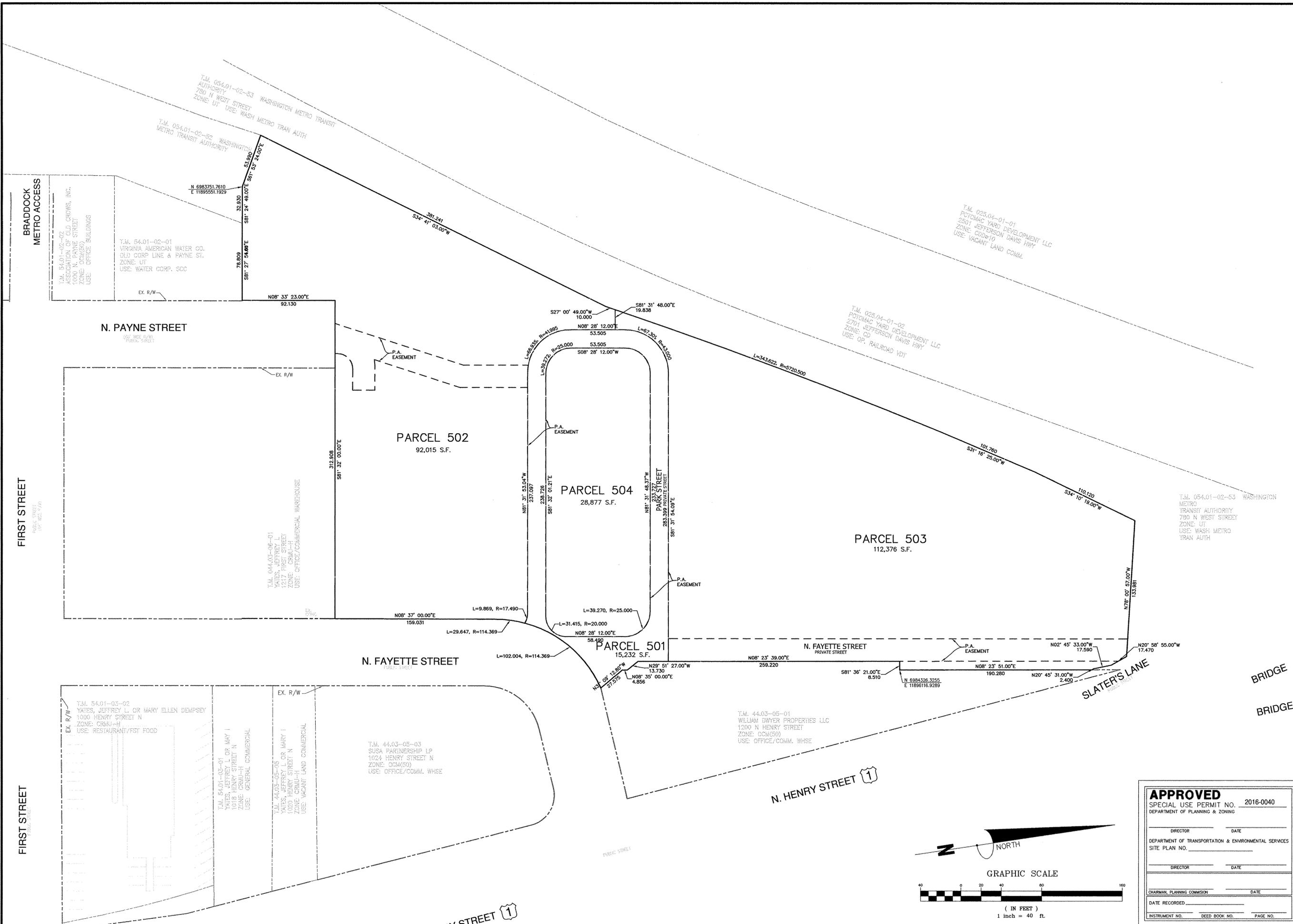
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PLAN STATUS	
01/30/17	1ST SUBMISSION
03/09/17	2ND SUBMISSION

DATE	DESCRIPTION
DAP DESIGN	DAP DRAWN
STL CHKD	
SCALE: H: 1" = 40'	
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JOB No. 4101-02-004	
DATE: MARCH 2017	
FILE No. 4101-D-PR-004	

SHEET C13.00



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 SITE PLAN NO. _____

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DATE RECORDED _____

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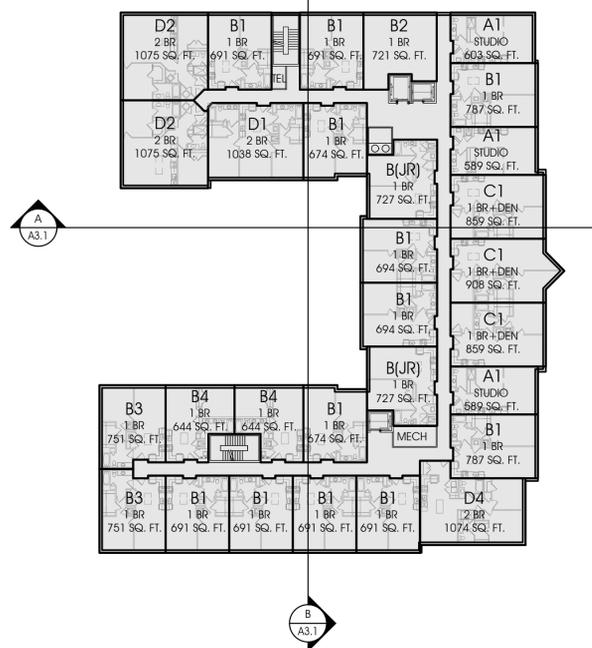
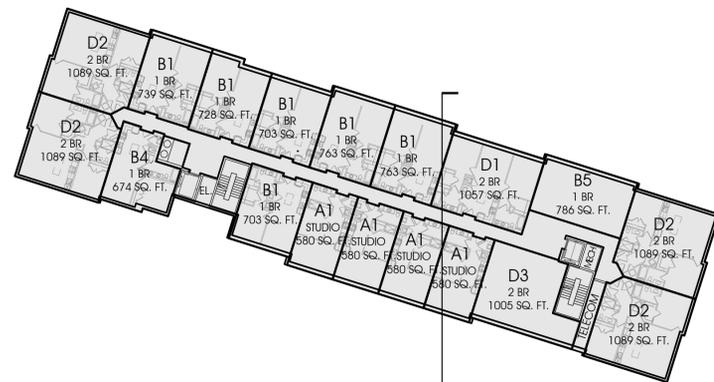
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PRELIMINARY DSUP
03.07.17

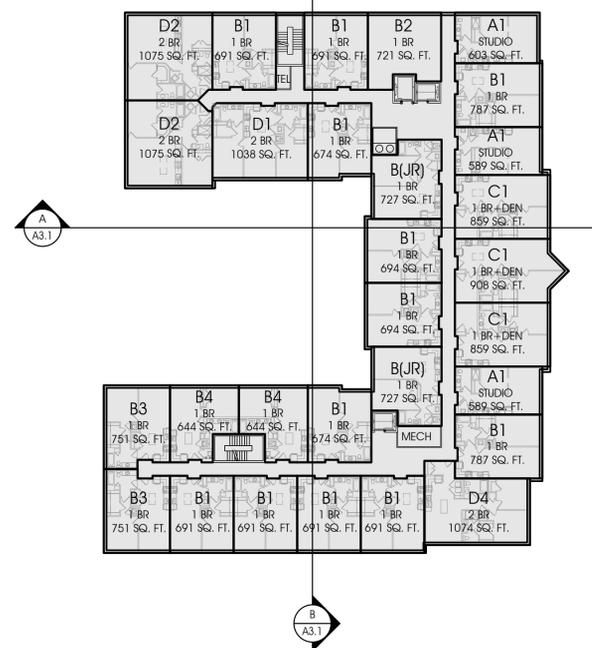
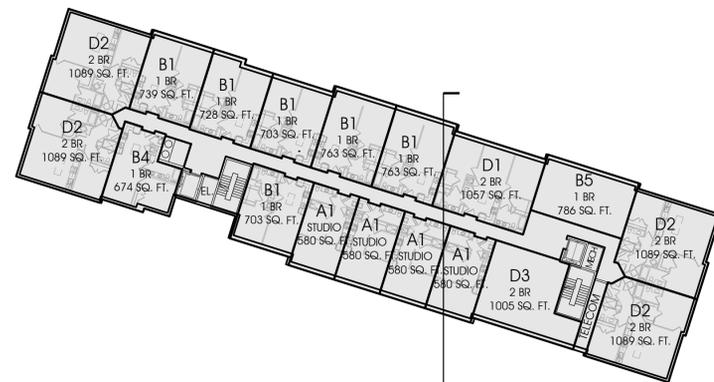
FIFTH AND SIXTH FLOOR PLANS

SHEET NO.

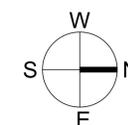
A1.4



SIXTH FLOOR PLAN
1/32" = 1'-0"



FIFTH FLOOR PLAN
1/32" = 1'-0"



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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

B

A

NOTE:

1. HEIGHTS SHOWN ARE APPROXIMATE
2. ROOF TERRACES SHOWN ARE POTENTIAL OPEN SPACE. FINAL EXTENT OF ROOF TERRACES TO BE DETERMINED.



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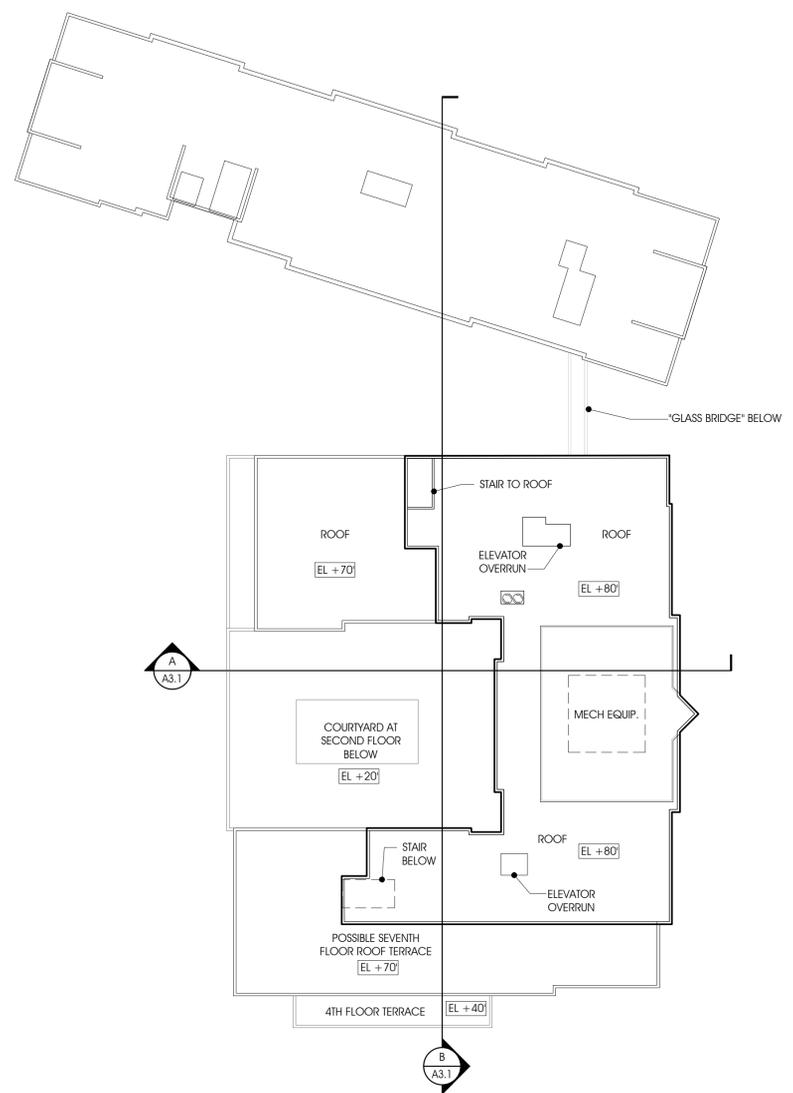
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REVISIONS	
DATE	DESCRIPTION

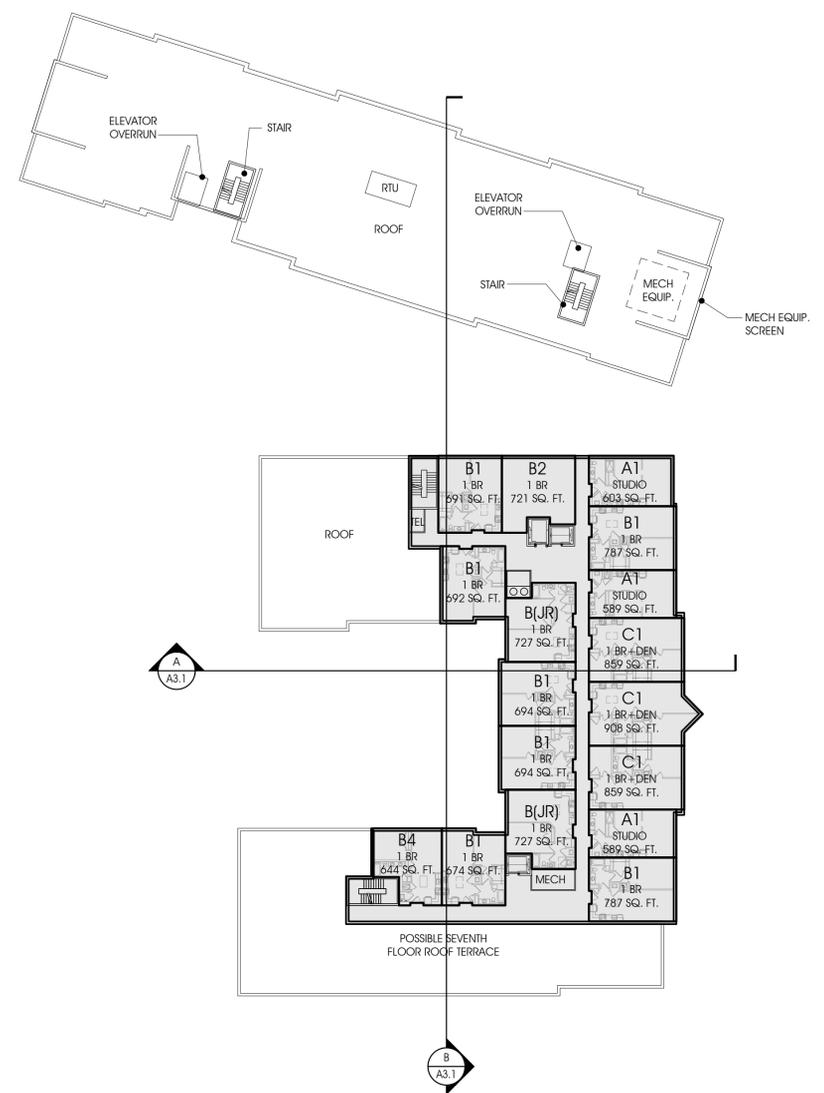
PRELIMINARY DSUP
03.07.17

SEVENTH FLOOR PLAN AND ROOF PLAN

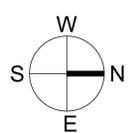
SHEET NO.
A1.5



ROOF PLAN
1/32" = 1'-0"



SEVENTH FLOOR PLAN
1/32" = 1'-0"



APPROVED
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DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

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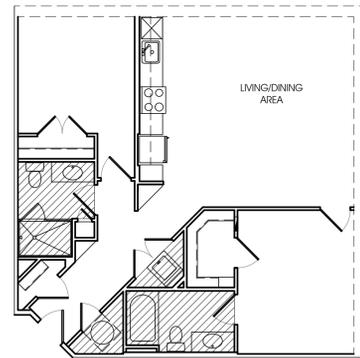
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B

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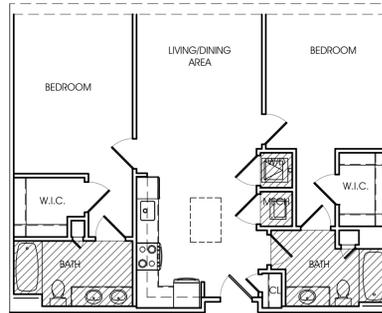
Proposed FAR Deduction Summary (Both Buildings)						
Description	Unit	Unit Quantity			Area Deducted (sf)	Total Deductions (sf)
		Building 2A	Building 2B	Total Building 2A & 2B		
Typical Efficiency Type A Unit		18	24	42	81	3,402
Typical One Bedroom Type B(Jr) Unit		10	0	10	64	640
Typical One Bedroom Type B Unit		84	44	128	83	10,624
Typical One Bedroom + Den Type C Unit		26	0	26	83	2,158
Typical Two Bedroom Type D Unit		10	12	22	149	3,278
Typical Two Bedroom Type D Corner Unit		10	20	30	144	4,320
Total Unit Deductions						24,422
Total Common Space Deductions (Bldg 2A)						710
1st Floor Common Space Deductions (Bldg 2B)						3,515
2nd Floor Common Space Deductions (Bldg 2A) (3rd Floor Similar)						849
3rd Floor Common Space Deductions (Bldg 2B) (3rd Floor Similar)						751
4th Floor Common Space Deductions (Bldg 2A) (5th & 6th Floors Similar)						849
5th Floor Common Space Deductions (Bldg 2B) (5th & 6th Floors Similar)						751
6th Floor Common Space Deductions (Bldg 2A)						849
7th Floor Common Space Deductions (Bldg 2B)						849
Total Common Space Deductions						13,074
Total Potential Deductions (See Note 3)						47,496
Deductions as % of Gross Floor Area (See Note 3)						13.2%
General Notes						
1. Total deductions for residential area will not exceed 15% of gross residential area						
2. Gross floor area is all above grade floor area measured to the outside face of all exterior walls and includes all covered balconies per Alexandria Zoning Ordinance section 2-145-Floor Area.						
3. Potential deductions include stairways, mechanical spaces/elevator shafts/vertical chases, and ceilings under 7'-6" per Alexandria Zoning Ordinance section 2-145-Floor Area						

Proposed FAR Deduction Summary (Both Buildings)						
Description	Unit	Unit Quantity			Area Deducted (sf)	Total Deductions (sf)
		Building 2A	Building 2B	Total Building 2A & 2B		
Typical Efficiency Type A Unit		18	24	42	81	3,402
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Typical One Bedroom Type B Unit		84	44	128	83	10,624
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1st Floor Common Space Deductions (Bldg 2B)						3,515
2nd Floor Common Space Deductions (Bldg 2A) (3rd Floor Similar)						849
2nd Floor Common Space Deductions (Bldg 2B) (3rd Floor Similar)						751
4th Floor Common Space Deductions (Bldg 2A) (5th & 6th Floors Similar)						849
4th Floor Common Space Deductions (Bldg 2B) (5th & 6th Floors Similar)						751
7th Floor Common Space Deductions (Bldg 2A)						849
7th Floor Common Space Deductions (Bldg 2B)						n/a
Total Common Space Deductions						13,074
Total Potential Deductions (See Note 3)						37,496
Deductions as % of Gross Floor area (See Note 1)						13.2%
Proposed Floor Area Deduct.						
Total Floor Gross Area (See Note 2)						283,360
Total Floor Net Area						257,484
Total Deductions Proposed						25,876
Deductions as % of Gross Floor area (See Note 1)						9.1%
General Notes						
1. Total deductions for residential area will not exceed 15% of gross residential area						
2. Gross floor area is all above grade floor area measured to the outside face of all exterior walls and includes all covered balconies per Alexandria Zoning Ordinance section 2-145-Floor Area.						
3. Potential deductions include stairways, mechanical spaces/elevator shafts/vertical chases, and ceilings under 7'-6" per Alexandria Zoning Ordinance section 2-145-Floor Area						



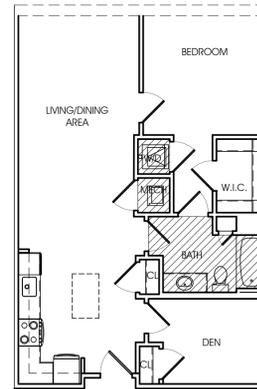
144 SQ. FT. DEDUCTED

F TYPICAL TWO BEDROOM TYPE D (CORNER UNIT)
1/8" = 1'-0"



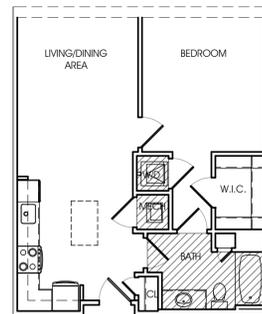
149 SQ. FT. DEDUCTED

E TYPICAL TWO BEDROOM TYPE D UNIT
1/8" = 1'-0"



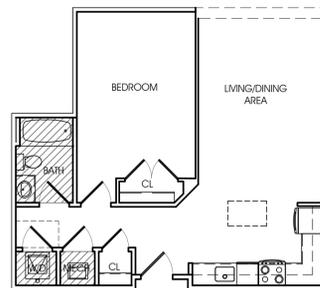
83 SQ. FT. DEDUCTED

D TYPICAL ONE BEDROOM + DEN TYPE C UNIT
1/8" = 1'-0"



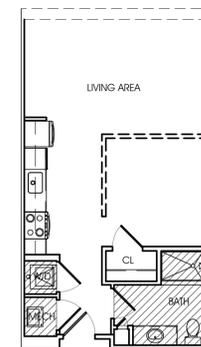
83 SQ. FT. DEDUCTED

C TYPICAL ONE BEDROOM TYPE B UNIT
1/8" = 1'-0"



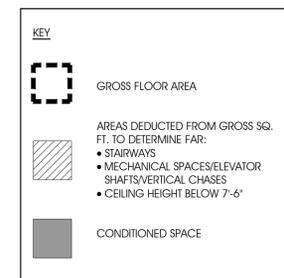
64 SQ. FT. DEDUCTED

B TYPICAL ONE BEDROOM TYPE B (JUNIOR) UNIT
1/8" = 1'-0"



81 SQ. FT. DEDUCTED

A TYPICAL STUDIO TYPE A UNIT
1/8" = 1'-0"



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DEPARTMENT OF PLANNING & ZONING

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REVISIONS	
DATE	DESCRIPTION

PRELIMINARY
DSUP
03.07.17

FAR DIAGRAMS

SHEET NO.
A1.6



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REVISIONS

DATE	DESCRIPTION

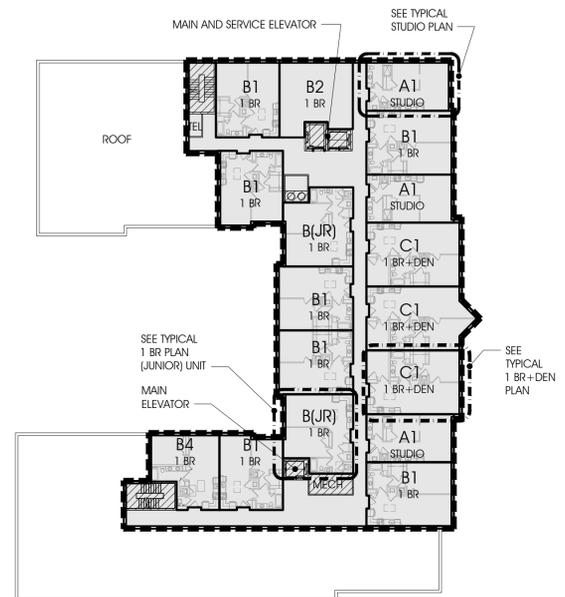
PRELIMINARY
DSUP
03.07.17

FAR DIAGRAMS

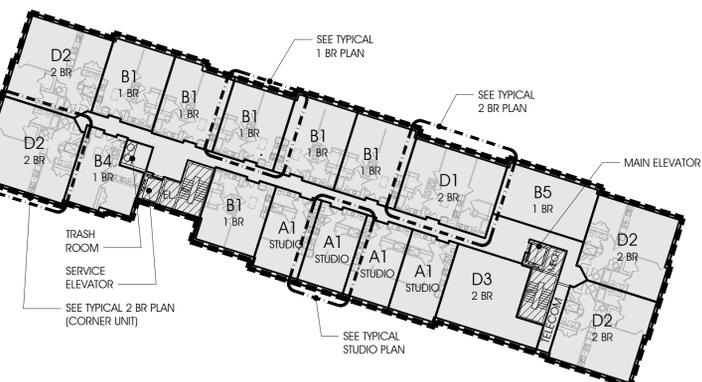
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A1.7

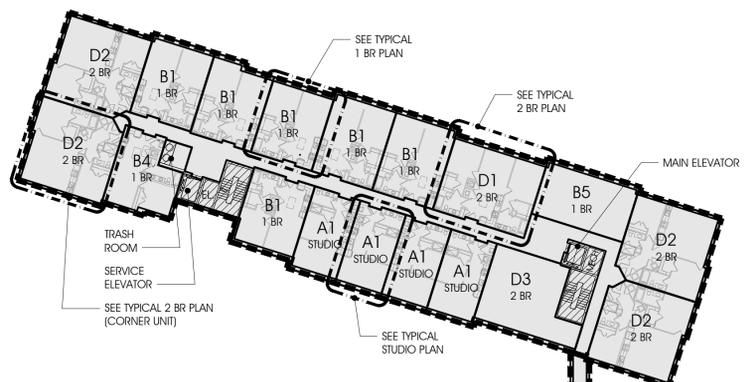
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BLDG 2A: 849 SQ. FT.



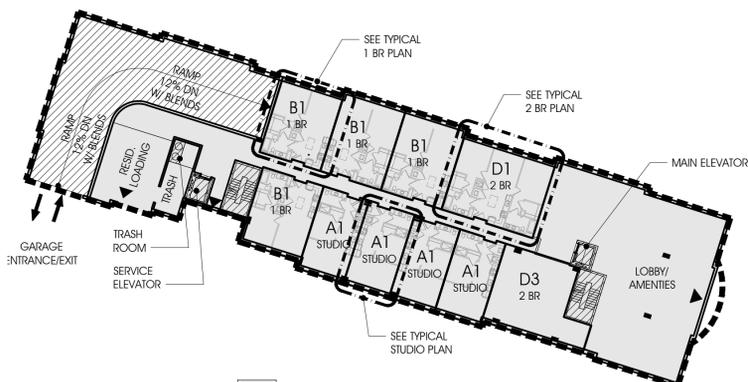
BUILDING 2A 7TH FLOOR PLAN
1/32" = 1'-0"



BUILDING 2A & 2B 4TH FLOOR (5TH & 6TH SIMILAR)
1/32" = 1'-0"

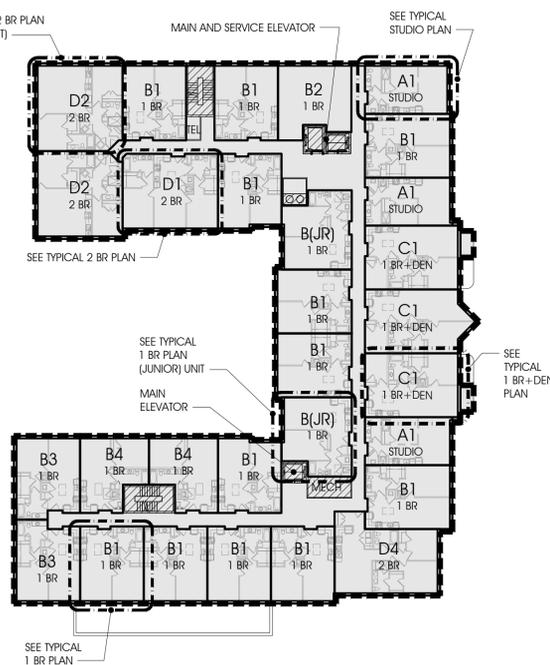


BUILDING 2A & 2B 2ND FLOOR PLAN (3RD SIMILAR)
1/32" = 1'-0"

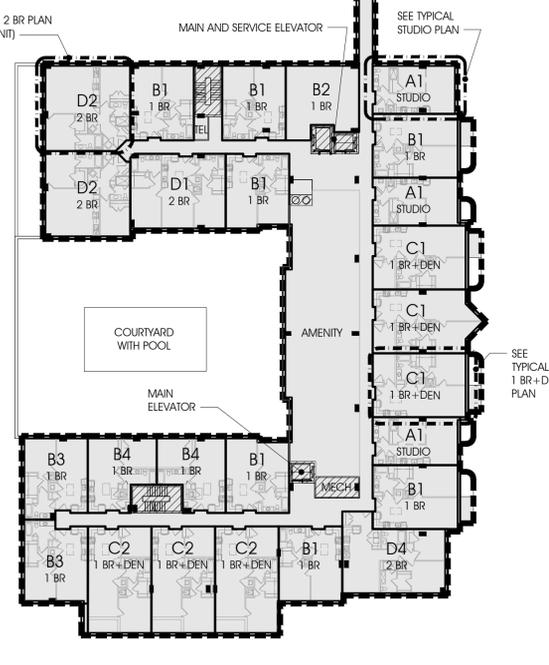


BUILDING 2A & 2B GROUND FLOOR PLAN
1/32" = 1'-0"

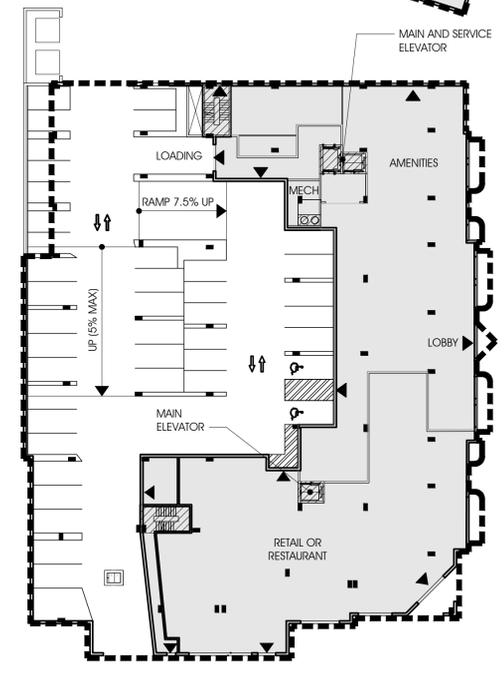
COMMON SPACE DEDUCTIONS:
BLDG 2A: 849 SQ. FT.
BLDG 2B: 751 SQ. FT.



COMMON SPACE DEDUCTIONS:
BLDG 2A: 849 SQ. FT.
BLDG 2B: 751 SQ. FT.



COMMON SPACE DEDUCTIONS:
BLDG 2A: 710 SQ. FT.
BLDG 2B: 3515 SQ. FT.



KEY

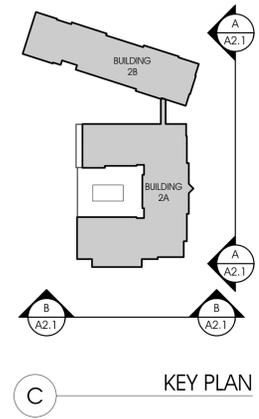
- GROSS FLOOR AREA
- AREAS DEDUCTED FROM GROSS SQ. FT. TO DETERMINE FAR:
 - STAIRWAYS
 - MECHANICAL SPACES/ELEVATOR SHAFTS/VERTICAL CHASES
 - CEILING HEIGHT BELOW 7'-6"
- CONDITIONED SPACE

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DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

GENERAL NOTE:
 MAXIMUM BUILDING HEIGHT TO ROOF LIMITED TO 85' FOR TYPE III CONSTRUCTION. FEATURES ABOVE 85' ARE MECHANICAL SCREENS PER IBC 1509.6



BUILDING 2A EAST ELEVATION (N. FAYETTE ST)
 1/16" = 1'-0"



BUILDING 2A NORTH ELEVATION
 1/16" = 1'-0"



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 ARCHITECTURE
 1215 CAMERON STREET
 ALEXANDRIA, VA 22314
 T - 703.836.3205
 F - 703.548.4779
 admin@rustorling.com
 www.rustorling.com

Braddock Gateway Building 2
 Alexandria, Virginia

14.010

REVISIONS

DATE	DESCRIPTION

PRELIMINARY DSUP
 03.07.17

BUILDING 2A ELEVATIONS

SHEET NO.
A2.1

APPROVED
 SPECIAL USE PERMIT NO. DSUP #2016-0040
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

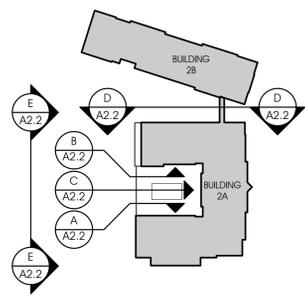
DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

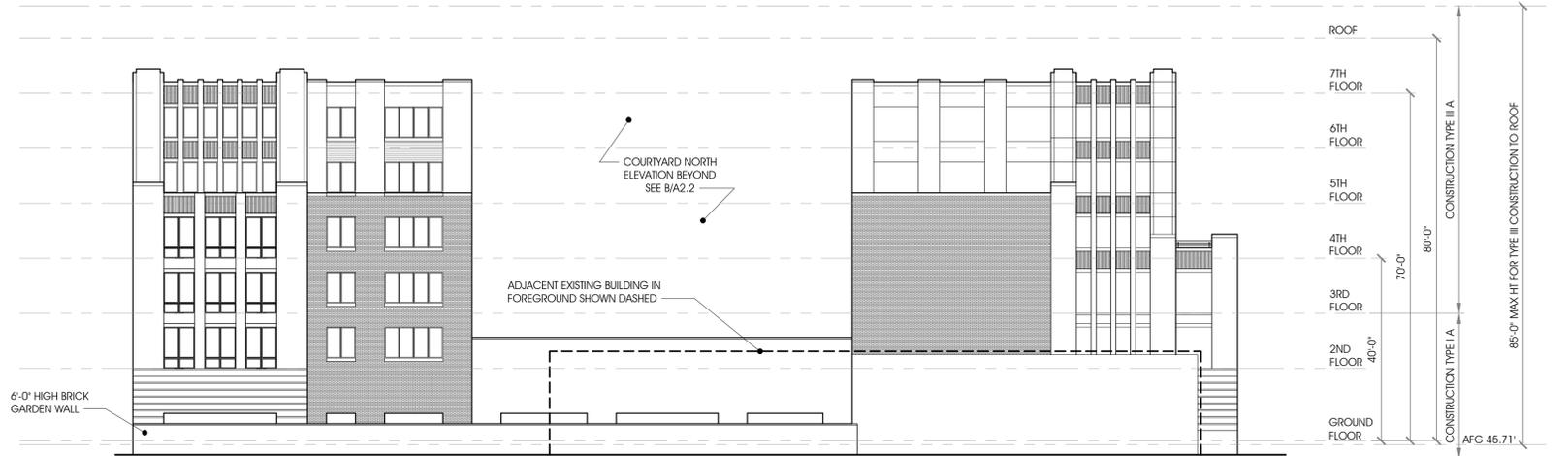
DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

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F KEY PLAN



E BUILDING 2A SOUTH ELEVATION
1/16" = 1'-0"



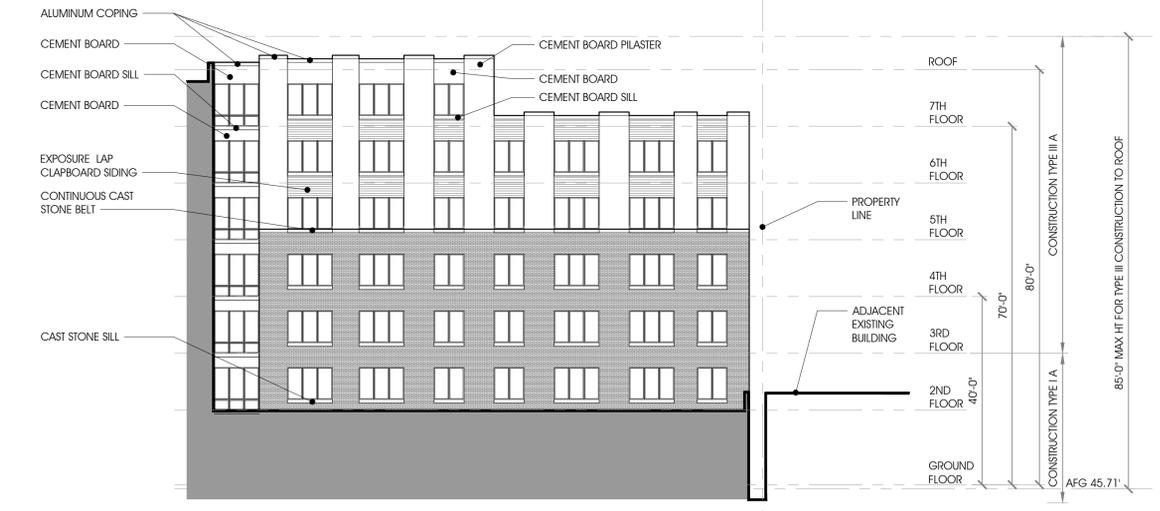
D BUILDING 2A WEST ELEVATION
1/16" = 1'-0"



C BUILDING 2A COURTYARD WEST ELEVATION
1/16" = 1'-0"



B BUILDING 2A COURTYARD NORTH ELEVATION
1/16" = 1'-0"



A BUILDING 2A COURTYARD EAST ELEVATION
1/16" = 1'-0"



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 T - 703.836.3205
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BUILDING 2A ELEVATIONS

SHEET NO.
A2.2

APPROVED
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 DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

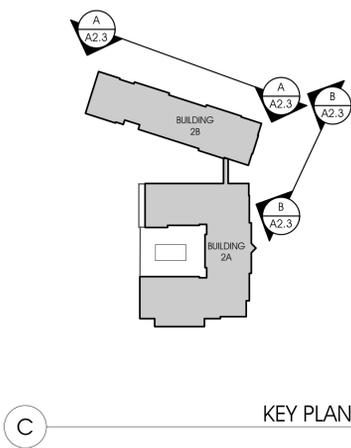
DIRECTOR _____ DATE _____

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DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

GENERAL NOTE:
 MAXIMUM BUILDING HEIGHT TO ROOF LIMITED TO 85' FOR TYPE III CONSTRUCTION. FEATURES ABOVE 85' ARE MECHANICAL SCREENS PER IBC 1509.6



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 ALEXANDRIA, VA
 22314

T - 703.836.3205
 F - 703.548.4779
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**BUILDING 2B
 ELEVATIONS**

SHEET NO.

A2.3

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 SITE PLAN NO. _____

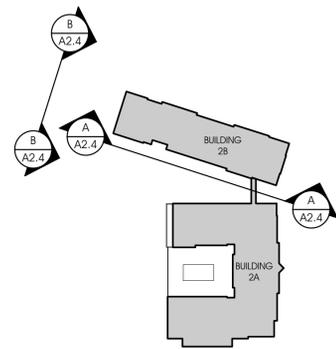
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DATE RECORDED _____

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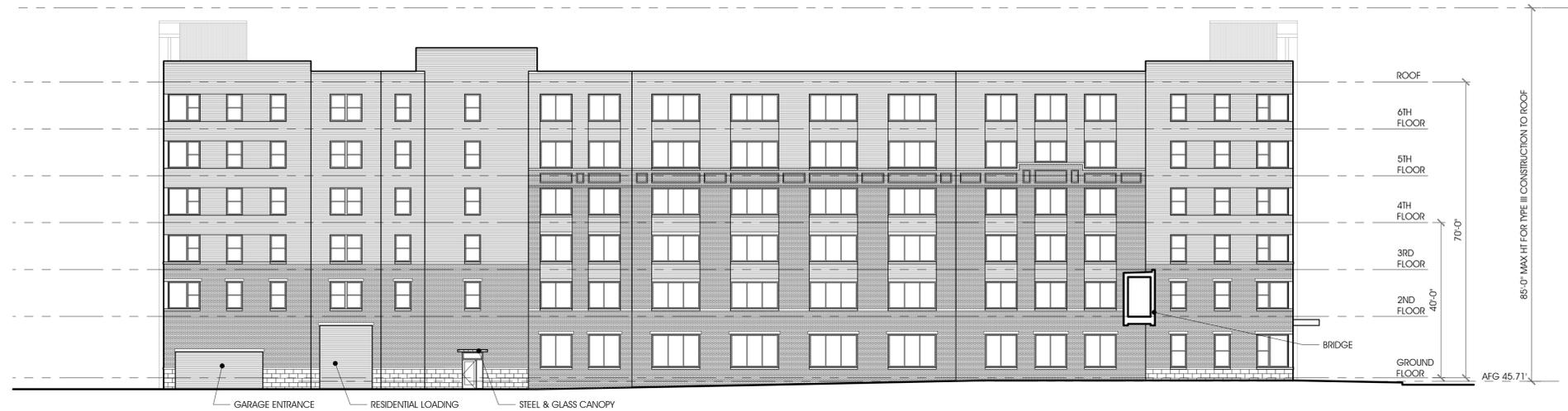
GENERAL NOTE:
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C KEY PLAN



B SEE B/A2.3 FOR TYPICAL NOTES
BUILDING 2B SOUTH ELEVATION
 1/16" = 1'-0"



A SEE A/A2.3 FOR TYPICAL NOTES
BUILDING 2B EAST ELEVATION
 1/16" = 1'-0"



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**BUILDING 2B
 ELEVATIONS**

SHEET NO.

A2.4

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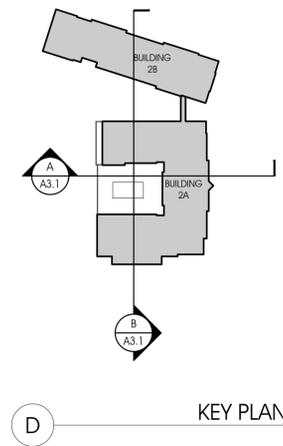
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 SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

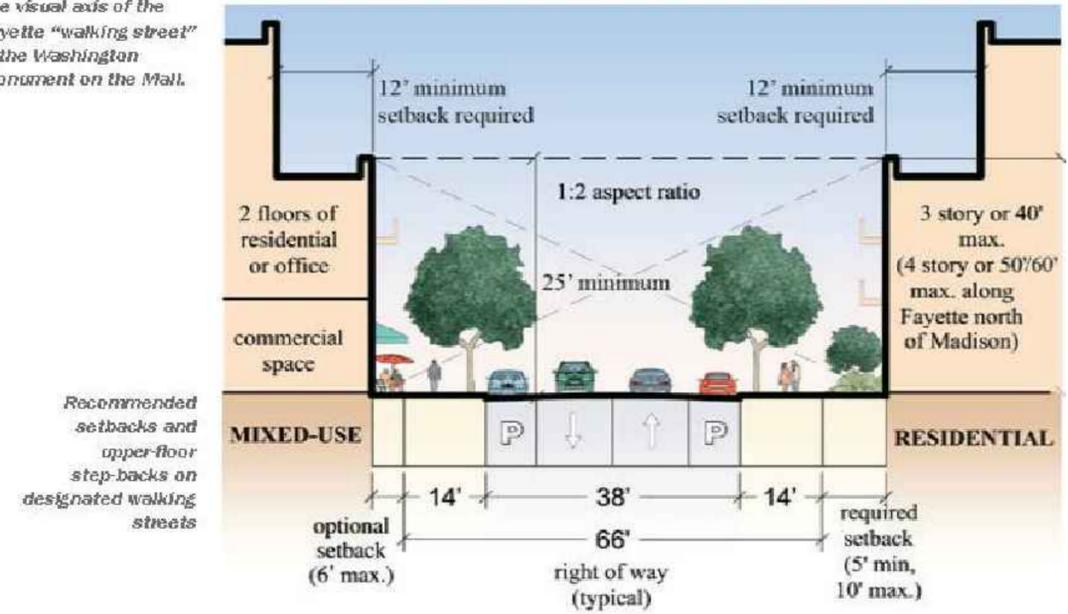
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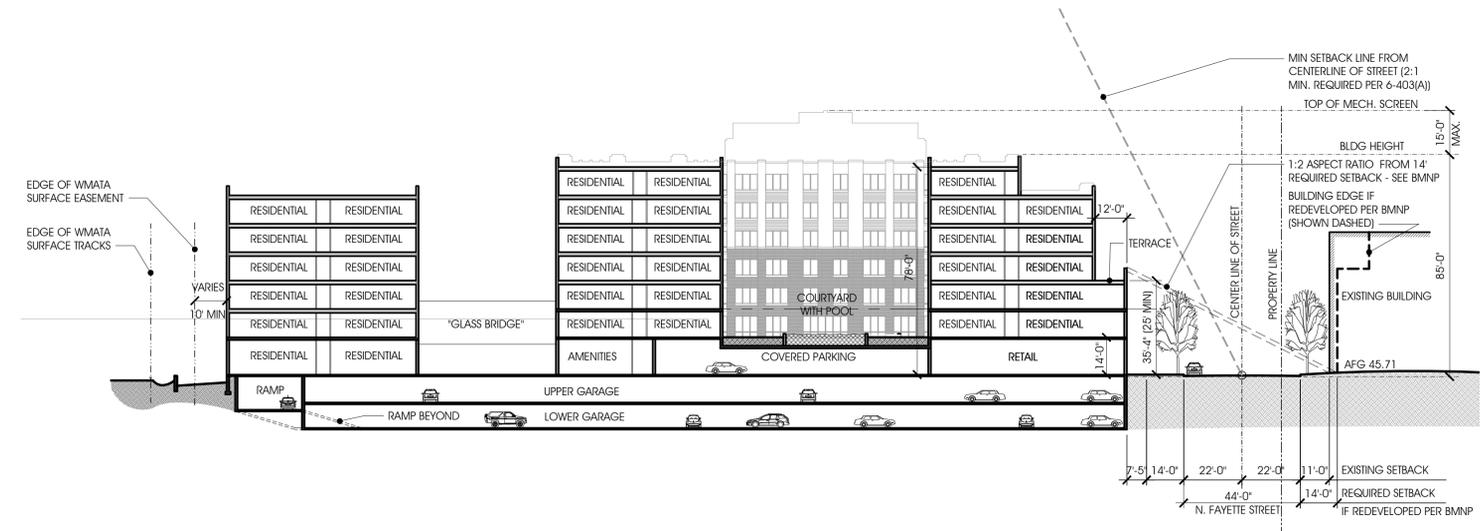
KEY PLAN

The visual axis of the Fayette "walking street" is the Washington Monument on the Mall.

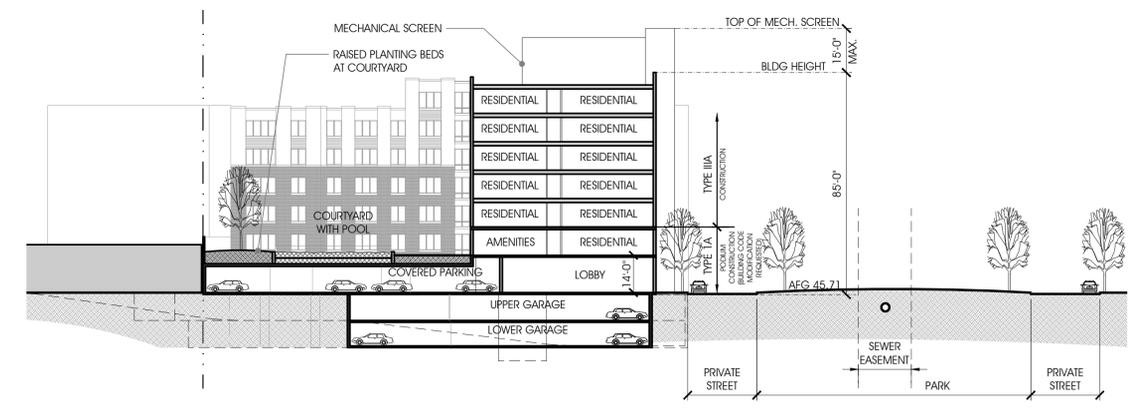


36 ■ Braddock Metro Neighborhood Plan | MARCH 2008

WALKING STREET SECTION (BRADDOCK METRO NEIGHBORHOOD PLAN) NTS



BUILDING 2 WEST-EAST SITE SECTION
1/32" = 1'-0"



BUILDING 2 NORTH-SOUTH SITE SECTION
1/32" = 1'-0"



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T - 703.836.3205
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SITE SECTIONS

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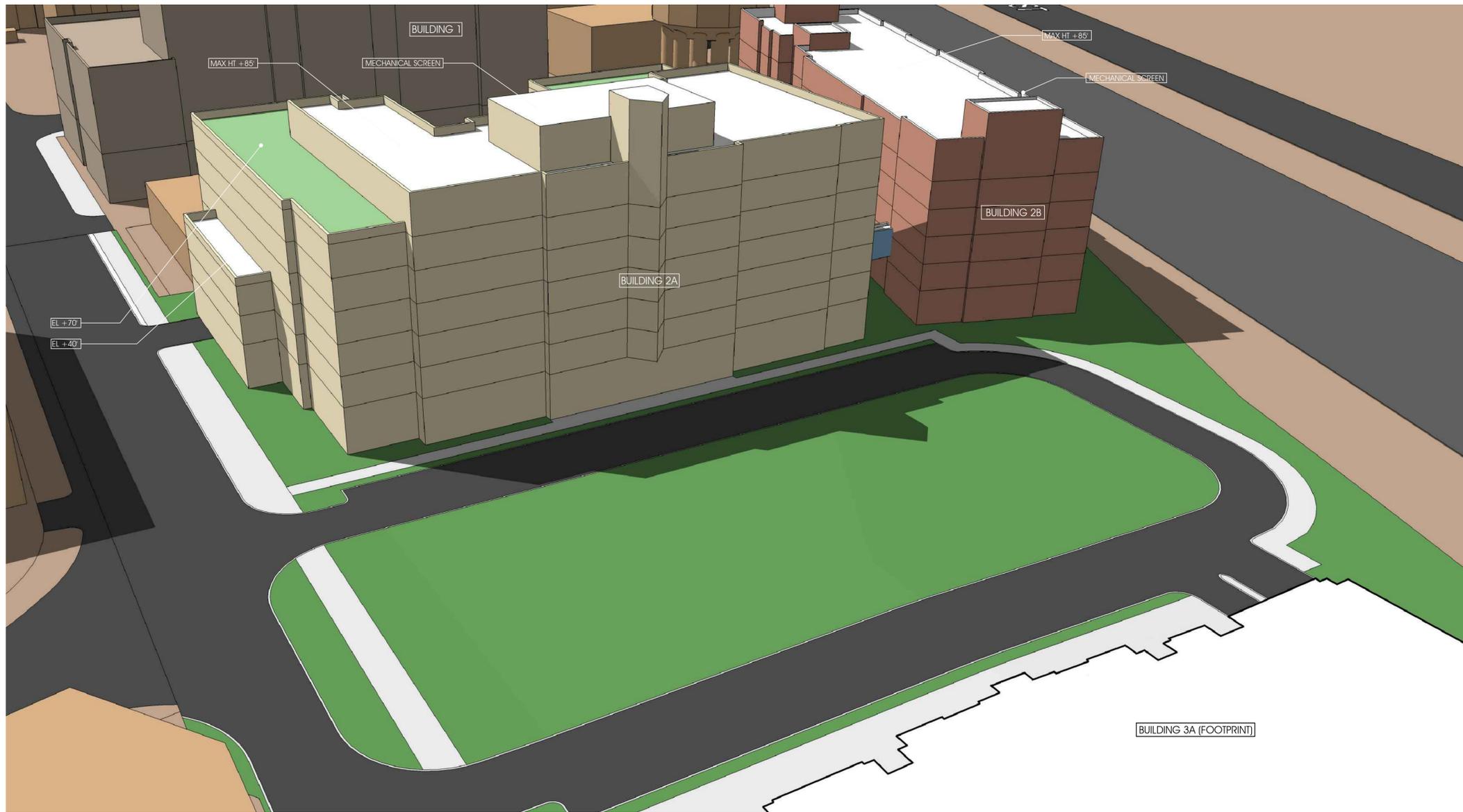
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1215 CAMERON STREET
ALEXANDRIA, VA
22314

T - 703.836.3205
F - 703.548.4779
admin@rustorling.com
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MASSING
MODEL

SHEET NO.

A4.1

MASSING MODEL
N.T.S

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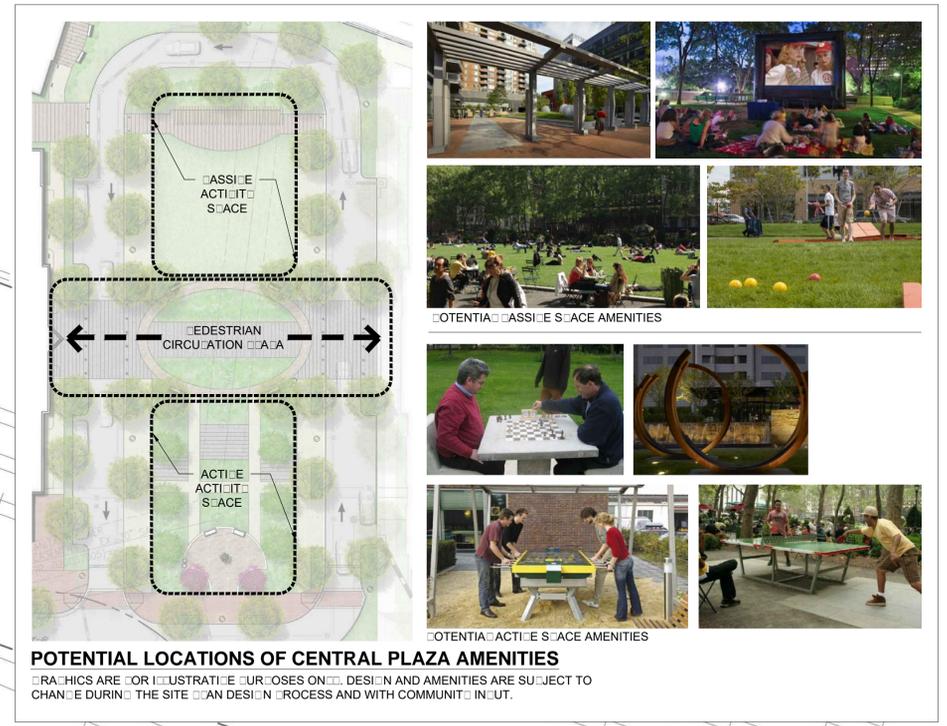
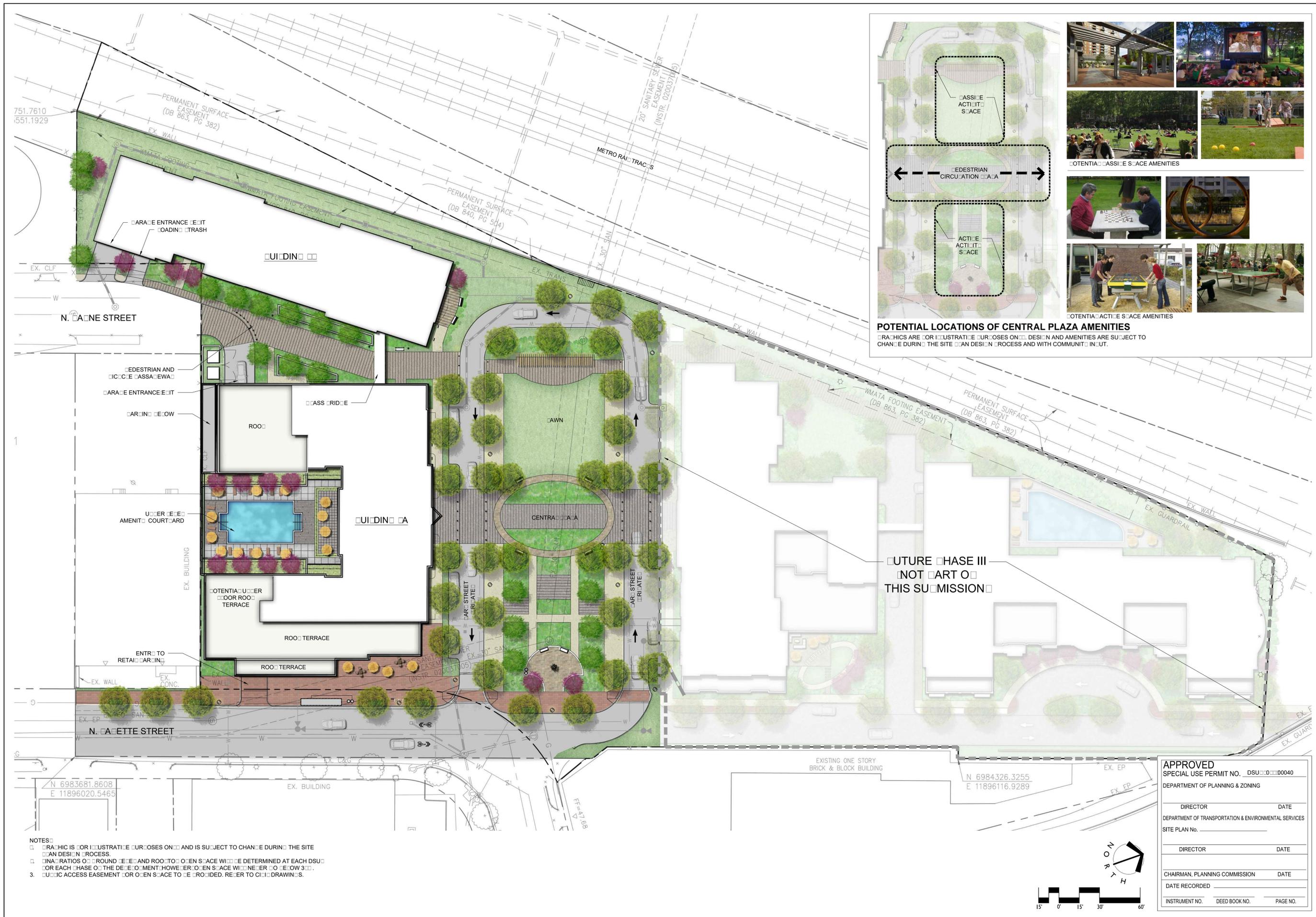
RENDERING

SHEET NO.
A5.1

VIEW FROM INTERSECTION OF NORTH HENRY STREET AND NORTH FAYETTE STREET
N.T.S

A

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SITE PLAN NO. _____	
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CHAIRMAN, PLANNING COMMISSION _____	
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INSTRUMENT NO. _____	DEED BOOK NO. _____
PAGE NO. _____	



NOTES

- 1. DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY AND IS SUBJECT TO CHANGE DURING THE SITE DESIGN PROCESS.
- 2. FINISH RATIOS OF GROUND LEVEL AND ROOF TO OPEN SPACE WILL BE DETERMINED AT EACH DSU FOR EACH PHASE OF THE DEVELOPMENT HOWEVER OPEN SPACE WILL BE 10% OR MORE.
- 3. UTILITY ACCESS EASEMENT FOR OPEN SPACE TO BE PROVIDED. REFER TO OTHER DRAWINGS.

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DEPARTMENT OF PLANNING & ZONING

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INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

0 GENERAL NOTES

THIS PLAN IS FOR LANDSCAPE AND HARDSCAPE ONLY.

UTILITIES: THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY MISS UTILITIES OR UTILITIES BEFORE ANY CONSTRUCTION. IN ADDITION, THE CONTRACTOR IS TO BE NOTIFIED WHICH UTILITIES INCLUDING STORM AND SANITARY SEWERS ARE LOCATED IN THE VICINITY OF THE PROPOSED WORK. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND STAKING THE LOCATION OF ALL EXISTING UTILITIES AND PROTECTING THEM DURING THE WORK AND SHALL BEAR ALL COSTS TO REPAIR UTILITIES DAMAGED AS A CONSEQUENCE OF HIS WORK.

REQUIREMENTS: ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS.

PROTECTION OF EXISTING WORK: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK AND OTHERS SUCH AS CURBS, UTILITIES, STORM DRAINAGE, ELECENCES, DRIVEWAYS, ARCHWAYS, DRIVEWAYS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGE IN AND RESULTING FROM HIS FAILURE TO COMPLY.

APPLICABLE STANDARDS: ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE OWNER SHALL RECEIVE TALS FROM EACH PLANT SPECIES AND A LIST OF PLANT SUPPLIERS. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY OR CULTIVAR UNDER THE AMERICAN STANDARD FOR NURSERY STOCK LATEST EDITION UNLESS OTHERWISE SPECIFIED BY THE AMERICAN ASSOCIATION OF NURSEMEN AND PLANTS SHALL BE ORDERED PRIOR TO DELIVERY ON THE ADDRESS OF THE LANDSCAPE ARCHITECT.

LANDSCAPE AND TREE PLANTING: THIS PLAN SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK AND AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSEMEN, WASHINGTON, DC. ALL LANDSCAPE PLANTS SHALL BE MAINTAINED IN GOOD CONDITION AND REPLACED AS NEEDED.

WORK SHALL BE PERFORMED IN ACCORDANCE WITH LANDSCAPE SPECIFICATIONS UNLESS CURRENT EDITION AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND AND THE DISTRICT OF COLUMBIA AND VIRGINIA OR OTHERS UNLESS OTHERWISE SPECIFIED.

SUBSTITUTIONS: NO SUBSTITUTIONS OF PRODUCTS, PLANTS OR SPECIES SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OWNER. LANDSCAPE ARCHITECT AND THE CITY OF ALEXANDRIA REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING AND SHALL STATE THE REASONS FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE AND THE CHANGES IN COST.

QUANTITIES: QUANTITIES OF PLANTS AS SHOWN ON PLANT SCHEDULES ON THE PLAN SHALL GOVERN OVER THE QUANTITIES SHOWN IN THE PLANT LIST. THE CONTRACTOR IS TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN. THE LANDSCAPE ARCHITECT SHALL BE ALERTED OF ANY DISCREPANCIES PRIOR TO FINAL SUBMITTAL.

PLANTING SEASON: PLANTING SHALL ONLY OCCUR DURING SPECIFIED PLANTING SEASONS. SPRING SEASON SHALL BE FROM MARCH TO JUNE AND FALL PLANTING SEASON SHALL BE FROM SEPTEMBER THROUGH NOVEMBER. NO PLANTING SHALL OCCUR WHEN THE GROUND IS FROZEN.

WARRANTY: THE CONTRACTOR SHALL WARRANT ALL LANDSCAPE IMPLACEMENTS INCLUDING PLANTING AND OTHER WORK TO BEAR THE RISK OF THE SEASON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANT MAINTENANCE DURING THE WARRANTY PERIOD.

DEAD PLANTS: DEAD PLANTS ARE TO BE REMOVED FROM THE SITE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEASON. THE CONTRACTOR SHALL MAINTAIN AN UPDATED COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EACH MONTH DURING THE CONTRACT PERIOD.

PLANT MATERIALS: REMOVAL OF EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. EXCEPT WHERE NOTED ON PLANS, NO ROOTING SHALL OCCUR WITHIN EXISTING TREE AREAS UNLESS SPECIFICALLY NOTED ON PLANS.

0 PLANTS

ALL PLANTS WILL BE NURSERY GROWN. THE SHADE TREE SPECIES, CULTIVAR OR VARIETY. THE SHADE TREE SOUND, HEALTH AND DISEASE AND SHADY TREE DISEASE AND ANY EVIDENCE OF INSECTS. IN PLANTING, THE SHADE TREE DENSELY LOCATED WITHOUT LEADERS SHOULD BE DISCONTINUED. CURB, UTILITY, CHOKOROSIS OR DAMAGE. THE SHADE TREE HEALTH WEEDS OF ROOT SYSTEMS. UNLESS SPECIFIED ON THE PLANT LIST, TREES WITH FROZEN ROOTS OF ROOTED OR MULTIPLE LEADERS WILL NOT BE ACCEPTED. TREES WILL BE REJECTED IF THE HEALTH REASONS: SUN, SCALD, DAMAGE, DISCOLORATION, NOTS OR RUNNIN CUTS MORE THAN 4 INCHES IN DIAMETER WHICH HAVE NOT COMPLETED GROWTH.

PLANTED AND PLANTED MATERIALS: PLANTED AND PLANTED PLANTS SHALL BE DUG WITH FIRM NATURAL OR EARTH. DIAMETER AND DEPTH TO INCLUDE MOST OF THE PROUS ROOTS AND MEET THE MINIMUM AMERICAN ASSOCIATION OF NURSEMEN STANDARDS LATEST EDITION. ROOT CUTS OF PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRIVING WINDS OR FROST.

CONTAINER GROWN MATERIALS: ROOT BALL MASS WHICH IS LOOSE WITHIN CONTAINER OR WHICH IS SMALLER THAN THE CONTAINER WHEN REMOVED SHALL BE REJECTED. PLANT OR PLANTED PLANTS SHALL BE ROOTED THROUGH ALL SIDES AND BOTTOM OF THE POTS.

SHADE TREES: CALIPER SHALL BE MEASURED AT SIX INCHES ABOVE THE ROOT BALL HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUIVALENT AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINCE TRUNK TREES SHALL BE FREE OF CROTCHES THAT COULD BE POINTS OF WEAK STRUCTURE OR DISEASE INFESTATION. WHERE TREES ARE PLANTED IN ROWS, THE SHADE TREE UNIFORM IN SIZE AND SHAPE.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AERIAL HEIGHT OF THE TOP OF THE PLANT. SREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUIVALENT AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.

MINIMUM SIZES: SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED.

MULCH: IS TO BE DOUBLE SHREDDED HARDWOOD CHIPS.

TO SOIL ACCEPTABLE TO SOIL: SHALL BE A FERTILIZER, ORGANIC NATURAL COMPOST, ORGANIC MATTER OVER 1/2 INCH IN DIAMETER. THE SOIL SHALL BE CALIBRE OF SUSTAINED PLANT GROWTH AND HAVE A MINIMUM ORGANIC CONTENT.

ORGANIC AMENDMENTS: ADDITIONAL ORGANIC MATERIALS REQUIRED COMPOST, FERTILIZER, MO-D-E-C-O, OR COMPOST, COMPOSTED SEWAGE SLUDGE PRODUCT OR OTHER APPROVED ORGANIC MATERIALS SHALL BE THOROUGHLY DISCED INTO THE TO SOIL AREA.

3.0 INSTALLATION

VERIFY GRADES PRIOR TO PLANTING: THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS INDICATED ON PLANS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY ADJUSTMENTS TO PLANT PLACEMENT MADE REQUIRED DUE TO FIELD CONDITIONS AND FINISH GRADING.

STAKE PLANT LOCATIONS: PRIOR TO PLANTING, THE CONTRACTOR SHALL LAYOUT THE EXACT LOCATION OF PLANT BEDS AND THE PROPOSED LOCATIONS FOR PLANTS OR REVIEW WITH OWNER AND LANDSCAPE ARCHITECT.

PLANTING FIELD ADJUSTMENTS: THE CONTRACTOR IS TO SELECTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO CLEAR OR DRAINAGE SWALES AND UTILITIES. FINISHED PLANT BEDS SHALL BE GRADED SO AS NOT TO IMPED DRAINAGE AWAY FROM PLANTING.

TO SOIL INSTALLATION: TO SOIL SHALL BE SREAD TO FINISH GRADE OVER THE ENTIRE ROUGH GRADED AREA TO BE LANDSCAPED. TO SOIL SHALL BE SREAD TO A MINIMUM DEPTH OF 2" AND WORKED INTO THE TOP OF SOIL. AFTER TO SOIL IS APPLIED, THE SOIL SHALL BE SCARIFIED AS NEEDED TO PREPARE AND REMAIN IN CONTACT.

PLANTING: PLANTING HOLES WITH PLANTING SPACING SHALL BE REMOVED. STONES, ROOTS AND OTHER DEBRIS GREATER THAN 1/2" IN DIAMETER. FOLLOWING THE APPLICATION OF WATER TO THE POINT OF SOIL SATURATION AND TAMING TO CONTACT THE PLANTING MIXTURE, ADD EXISTING SOIL TO FILL THE FINISHED GRADE IN THE PLANTING HOLE TO THE SURROUNDING SOIL SURFACE. RAISE THE UNUSED EXISTING SOIL OUTSIDE THE PLANTING HOLES TO MAINTAIN CARE NOT TO MOUND THE SOIL OR TO SIGNIFICANTLY ALTER THE EXISTING GRADES AND THEN PLACE MULCH TO ENTIRE PLANTING HOLE. SEE APPLICABLE PLANTING DETAILS FOR THICKNESS.

WATERING: ALL PLANTS SHALL BE WATERED IMMEDIATELY AFTER PLANTING UNTIL THE SOIL IS SATURATED. PLANTS SHALL BE WATERED A MINIMUM OF TWICE. TWO WEEKS SHOULD THE SOILS DRUMINT ACCEPTANCE BY THE OWNER. DURING DRY CONDITIONS WATER AS REQUIRED TO MAINTAIN PLANTS IN A WET-FREE CONDITION.

EROSION CONTROL: ALL DISTURBED NON-VEGETATED SOILS SHALL BE PLANTED WITH AN ANNUAL REE SOD BEFORE INSTALLATION AT THE RECOMMENDED RATE TO STABILIZE AREA OR OTHER EQUIVALENT EROSION CONTROL PRACTICE.

FIELD ADJUSTMENTS: PLANTING ROWS OR PLANTS ARE NOT TO BE PLANTED IN DRAINAGE SWALES.

TREE STAKING AND PLANTING: SHALL BE DONE PER DETAILS IN THIS SET OF LANDSCAPE PLANS. THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN UPRIGHT AND UNHURT FOR THE DURATION OF THE WARRANTY PERIOD.

CURB, TALLS AND TWINE: ARE TO BE REMOVED AND CURB IS TO BE REMOVED. ALL ONE THIRD ON ALL PLANT MATERIALS AND SYNTHETIC CURB SHALL BE COMPLETED BEFORE PLANTING.

PLANT SCHEDULING: SHRUBS AND ROUND CORNERS SHALL BE TRIANGULAR SPACED AT SPACING SHOWN ON PLANTING PLANS AND IN APPLICABLE PLANTING DETAILS.

SOIL CALCULATION: TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETED LOCATED IN ACCORDANCE WITH THE PLANTING DETAILS IN THIS SET OF LANDSCAPE PLANS.

INSPECTIONS: THE CONTRACTOR MUST CONTACT THE OWNER AT LEAST 10 WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION. THE CONTRACTOR MUST REFACE ALL DEAD OR UNACCEPTABLE PLANTS AND PLANT MISSING PLANTS.

TREE SPACING: MINIMUM TREES SHALL BE LOCATED A MINIMUM OF FEET FROM WALLS AND WALLS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SITE AREA AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS IN NOW TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.

MAINTENANCE: MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

4.0 CITY OF ALEXANDRIA REQUIRED NOTES ON DRAWING SUBMISSIONS

APPROTECTION AND RESERVATION MEASURES FOR EXISTING VEGETATION INCLUDING MAINTENANCE SHALL BE APPROVED BY THE CITY ARBORIST IN WRITING PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITIES.

SPECIFICATION FOR PLANTING: SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST UP TO DATE EDITION OF ANSII AND THE AMERICAN STANDARD FOR NURSERY STOCK AS PRODUCED BY THE AMERICAN ASSOCIATION OF NURSEMEN, WASHINGTON, DC.

THE APPLICANT HAS MADE SUITABLE ARRANGEMENTS FOR RESECTION TAKING CONTRACT GROWING OR IS UNDERTAKING SPECIFIED PLANTING STOCK DELIVERY TO A NURSERY OR GROWER THAT IS CONVENIENT TO THE PROJECT SITE. OTHER PROCEDURES THAT WILL ENSURE ADEQUATELY SPECIFIED MATERIALS IN THE EVENT THAT SHORTAGES AND/OR INADEQUATE TO OBTAIN SPECIFIED PLANTING OCCURS: REMEDIAL EFFORTS INCLUDING SPECIES CHANGES, ADDITIONAL PLANTING AND MODIFICATION TO THE LANDSCAPE PLAN SHALL BE UNDERTAKEN BY THE APPLICANT. REMEDIAL EFFORTS SHALL BE WITH PRIOR APPROVAL OF THE CITY. PERFORMED TO THE SATISFACTION OF THE DIRECTORS OF PLANNING AND CONSTRUCTION OF RECREATION AND CULTURAL ACTIVITIES AND TRANSPORTATION ENVIRONMENTAL SERVICES.

IN VIEW OF MORE STRENUOUS SPECIFICATIONS AND LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP TO DATE EDITION AT TIME OF CONSTRUCTION OF LANDSCAPE SPECIFICATION UNLESS AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND AND DISTRICT OF COLUMBIA AND VIRGINIA OR OTHERS UNLESS OTHERWISE SPECIFIED.

PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION, PLANTING OPERATIONS ARE REINSTALLATION CONSTRUCTION MEETING WITH THE SCHEDULED WITH THE CITY ARBORIST AND LANDSCAPE ARCHITECTS TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.

MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED IN PERMITTING COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND OR AS CONDITIONED BY PROJECT AGREEMENT.

A CERTIFICATION LETTER FOR TREE WEEDS, TREE TRENCHES AND PLANTING SCHEDULE STRUCTURE SHALL BE PROVIDED BY THE PROJECT'S LANDSCAPE ARCHITECT. THE LETTER SHALL CERTIFY THAT ALL BELOW GRADE CONSTRUCTION IS IN COMPLIANCE WITH APPROVED DRAWINGS AND SPECIFICATIONS. THE LETTER SHALL BE SUBMITTED TO THE CITY ARBORIST AND APPROVED PRIOR TO APPROVAL OF THE PLANTING CERTIFICATE OF OCCUPANCY FOR THE PROJECT. THE LETTER SHALL BE SUBMITTED BY THE OWNER, APPLICANT SUCCESSOR AND SEALED AND DATED AS APPROVED BY THE PROJECT'S LANDSCAPE ARCHITECT.

AS BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES. AS BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF VARIATIONS AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

0 ARCHAEOLOGY

THE FINAL SITE PROTECTIVE PLAN, RADON, OR AN OTHER PERMITS INCLUDING GROUND DISTURBING ACTIVITIES SUCH AS CORNING, RADON, OR AN OTHER PERMITS INCLUDING GROUND DISTURBING ACTIVITIES INCLUDING DRILLING, LANDSCAPING AND OTHER RELOCATIONS AS DEFINED IN SECTION 1000 OF THE CONING ORDINANCE SHALL NOT BE RELEASED UNTIL THE CITY ARCHAEOLOGIST CONFIRMS THAT ALL ARCHAEOLOGICAL WORK HAS BEEN COMPLETED OR THAT AN APPROVED RESOURCE MANAGEMENT PLAN IS IN PLACE TO RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT 703-540-4399.

THE APPLICANT DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY 703-540-4399 AND CURIED STRUCTURE REMAINS, WALL FOUNDATIONS, WELLS, RIGS, CISTERNS, ETC. OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT DEVELOPER SHALL NOT ALLOW ANY META DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DEBAR.

0 STREET TREES

THE SIZE OF THE STREET TREES SHALL BE 3-3 1/2 INCH CALIPER AT THE TIME OF PLANTING. TREES SHALL BE PLANTED TO BE AT THE MATURE TO ALLOW NATURAL SURVEILLANCE. PROPOSED SHRUBS SHALL BE A MAXIMUM HEIGHT OF 3 FT TO ALLOW NATURAL SURVEILLANCE. ADJACENT LOT GRASS AREAS TO BE SOD. OPEN SPACE GRASS AREAS TO BE GRASS. READERLESS QUANTITIES INDICATED ON DRAWING SHALL BE DESIGNATED AREAS SHALL BE FILLED WITH PLANTS AT THE APPROVED SPACING.

0 PROTECTION AND RESERVATION OF EXISTING VEGETATION

PROTECTION AND RESERVATION METHODS: VEGETATION DESIGNATED FOR PROTECTION AND/OR RESERVATION SHALL BE ENCLOSED IN A PROTECTION ZONE WHICH ESTABLISHES LIMITS OF CONSTRUCTION DISTURBANCE TO THE ROOT AREA OF DESIGNATED PLANT MATERIALS. ALL PROTECTION ZONES AND MEASURES SHALL BE ESTABLISHED TO THE SATISFACTION OF THE DIRECTOR OF RECREATION AND CULTURAL AFFAIRS. FENCING SHALL BE INSTALLED AT THE PERIMETER OF ALL PROTECTION ZONES. FENCING SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT SPECIFICATION OF THE CITY OF ALEXANDRIA VEGETATION PROTECTION RESERVATION DETAIL APPROVED MATERIALS OR FENCING SHALL BE IN ACCORDANCE WITH THE FOLLOWING MINIMUM REQUIREMENTS: WITHIN THE PROTECTION TO BE PROTECTED RESERVED ROYALTY CHAIN LINK OR WOOD FENCE. FENCING: THE PROTECTION TO BE PROTECTED RESERVED ROYALTY CHAIN LINK OR WOOD SNOW FENCE. VEGETATION SPECIES: QUANTITATIVE HISTORIC DESIGNATION OR CULTURAL VALUE. ROYALTY EXTRAORDINARY MEASURES TO ENSURE COMPLETE PROTECTION RESERVATION. PLANT MATERIALS: SPECIFIED MAXIMUM DUE TO SITE DISTURBANCE LIMITS AND PROHIBIT TO DESIGNATED VEGETATION SPECIES OR PLANTED AREAS. SITE EROSION CONTROL: GEOTECHNICAL CARIC MATERIALS ARE NOT ACCEPTABLE FOR USE AS VEGETATION PROTECTION FENCE MATERIALS. AREAS WHICH ENCOMPASS ROOTING OR INDIVIDUAL SPECIES VEGETATION DESIGNATED FOR PROTECTION AND/OR RESERVATION SHALL NOT BE DISTURBED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ACTIONS INCLUDING BUT NOT LIMITED TO: PLANTING, STORING OR STOCKING PLANTS OR CONSTRUCTION RELATED SUPPLIES. PLANTING TREES INTO THE DESIGNATED AREA. PLANTING WITHIN OR IN CLOSE PROXIMITY. MODIFYING SITE TO OBTAIN IN A MANNER WHICH CAUSES DAMAGE TO COEXISTING PLANT OR GROW CHARACTERISTICS OR SITE DRAINAGE. TRENCHING OR GRADING OPERATIONS. OPERATING EQUIPMENT OR MACHINERY. CARPING OR CONSTRUCTION VEHICLES. TEMPORARY OR PERMANENT FENCING OR IMMERIOUS SURFACE INSTALLATION. TEMPORARY OR PERMANENT UTILITY CONSTRUCTION INSTALLATION. DISPOSAL OF CONSTRUCTION DEBRIS OR CHEMICAL CONTAMINANTS. WORK OR CONSTRUCTION RELATED ACTIVITIES WITHIN AREAS DESIGNATED FOR PROTECTION AND/OR RESERVATION OF EXISTING VEGETATION SHALL BE ACCOMPLISHED ONLY WITH PRIOR APPROVAL OF THE DIRECTOR OF RECREATION AND CULTURAL ACTIVITIES.

0 MAINTENANCE

VEGETATION DESIGNATED FOR PROTECTION AND/OR RESERVATION SHALL RECEIVE AN ENHANCED LEVEL OF MAINTENANCE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO ITEMS SUCH AS: MONITORING HEALTH, GROWTH AND FLOW OF VEGETATION; SELECTIVE PRUNING; WATERING; ERTIFICATION; INSTALLATION; MULCH AND IN-LINE REPLACEMENT OF SEEDS OR TERMINAL DAMAGE; VEGETATION. MAINTENANCE SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF RECREATION AND CULTURAL ACTIVITIES. MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

3 REPLACEMENT OF DAMAGED VEGETATION

IN-LINE REPLACEMENT OF DAMAGED EXISTING VEGETATION SHALL BE LOCATED ON PARALLEL TO THE SATISFACTION OF THE DIRECTOR OF RECREATION AND CULTURAL ACTIVITIES. IN-LINE REPLACEMENT OF DAMAGED VEGETATION SHALL BE AT A MINIMUM BE PERFORMED AT A RATIO OF ONE TREE IN ACCORDANCE WITH SECTION 1000 SPECIFICATION OF PLANT MATERIALS. BELOW THE SUM TOTAL CALIPER INCH MEASUREMENT OF TREES OR ROOTING OF VEGETATION WHICH ARE DEEMED SEVERELY OR TERMINALLY DAMAGED. APPLICANT OWNER OR SUCCESSOR SHALL BE RESPONSIBLE FOR IN-LINE REPLACEMENT OF DAMAGED VEGETATION SHALL BE DURING A PERIOD OF TWO CALENDAR YEARS FROM DATE OF CERTIFICATE OF OCCUPANCY. FOR THE PURPOSES OF THIS INFORMATION, IN-LINE REFERENCES THE SPECIES CHARACTER AND PROTECTED MATURE SIZE OF SUBJECT VEGETATION. REMEDIAL REQUIREMENTS SHALL BE DETERMINED BY THE DIRECTOR OF RECREATION AND CULTURAL AFFAIRS AND BASED UPON SEVERITY OF DAMAGE.

4 TREE PROTECTION NOTE

THE CONTRACTOR AND/OR THE APPLICANT SHALL FOLLOW RECOMMENDED HORTICULTURAL PRACTICES TO INSURE THE HEALTH AND VITALITY OF THE TREES DESIGNATED FOR PROTECTION PRIOR TO DURING AND AFTER CONSTRUCTION OF THE PROPOSED HOUSES. IN THE EVENT TREES WHICH ARE PROTECTED ARE DAMAGED OR DIE OTHER THAN AS THE RESULT OF DISEASE OR ACTS OF GOD, REPLACEMENT TREES MEASURING 1/2" IN CALIPER SHALL BE PLANTED FOR EACH INCH OF CALIPER THAT IS LOST. NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE STORED OR STAGED WITHIN THE DRIP LINES OF TREES DESIGNATED FOR PROTECTION AND REQUIRED CONSTRUCTION OCCURRING WITHIN THE DRIP LINE OF TREES DESIGNATED FOR SPACING SHALL FOLLOW THE CITY LANDSCAPE GUIDELINES AS ESTABLISHED BY THE CITY ARBORIST. A COPY OF THE CITY ARBORIST REPORT SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO COMMENCING AND DISTURBING ACTIVITIES.

0 EXISTING STREET NOTE

EXTRA CARE MUST BE TAKEN WHILE OPERATING CONSTRUCTION EQUIPMENT IN CLOSE PROXIMITY TO THE EXISTING STREET TREES TO BE SAVED.

0 SITE SPECIFIC NOTES

ALL SIDEWALKS ARE CONCRETE UNLESS OTHERWISE NOTED.

REFER TO PLANS FOR COWMAN CONSULTING, PROPOSED AND/OR RUST OR IN COR AN ADDITIONAL INFORMATION.

WHERE STREET TREES CONFLICT WITH UTILITIES, UTILITIES LINES WILL BE A MINIMUM OF 4 FEET.

STREET LIGHT LOCATIONS AND SPECIFICATIONS TO BE FINISHED BASED ON A PHOTOMETRIC ANALYSIS PERFORMED BY OTHERS FOR FINAL SITE PLAN SUBMISSION.

TREES AND OTHER CONSTRUCTIONS TO BE CLEAR OF THE WIDE EMERGENCY EGRESS EASEMENT BEING AS SHOWN ON CITY DRAWINGS.

APPROVED SPECIAL USE PERMIT NO. DSU 0000040 DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR DATE CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED INSTRUMENT NO. DEED BOOK NO. PAGE NO.



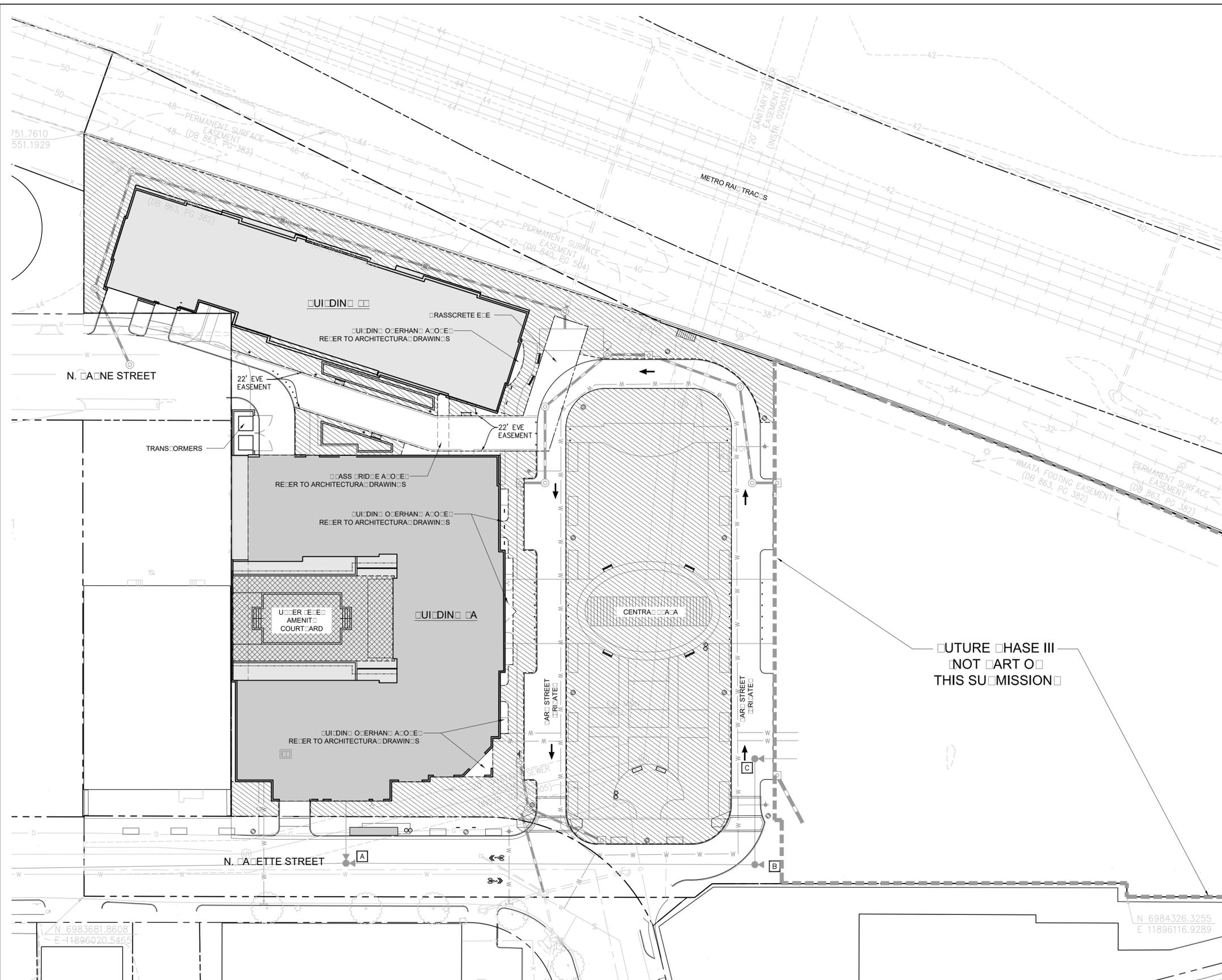
900 S. Parkton St., Alexandria, VA, 22314, VA 703.540.7784, F. 703.540.4984, www.LandDesign.com



BRADDOCK GATEWAY - PHASE II DEVELOPMENT PRELIMINARY SITE PLAN Braddock Gateway, LLC | City of Alexandria, Virginia ENERGA NOTES

REVISIONS: MAR. 3, 2017 - RESPOND TO STAFF COMMENTS

DATE: MARCH 3, 2017 DESIGNED BY: MB DRAWN BY: SH CHECKED BY: MB SCALE: 1"=50' PROJECT #: 2015030 SHEET NUMBER: L-1.1



PHASE II OPEN SPACE CALCULATIONS

PHASE II SITE OPEN SPACE CALCULATION

TOTAL SITE AREA (EACH ROW)	3,434 S.F. (0.09 AC)
TOTAL REQUIRED OPEN SPACE	4,434 S.F. (0.10 AC)
TOTAL PROVIDED OPEN SPACE	4,434 S.F. (0.10 AC)

NOTES:

- FINAL RATIOS OF GROUND LEVEL AND ROOFTOP OPEN SPACE WILL BE DETERMINED AT EACH DSUP FOR EACH PHASE OF THE DEVELOPMENT.
- TOTAL OPEN SPACE OF ALL PHASES WILL NOT GO BELOW 35%.
- LOCAL ACCESS EASEMENT FOR OPEN SPACE TO BE PROVIDED. REFER TO CIVIL DRAWINGS.

PHASE II OPEN SPACE LEGEND

SYMBOL	DESCRIPTION	PERCENTAGE
[Diagonal Hatching]	OPEN SPACE AT GRADE	0.30%
[Cross-hatching]	OPEN SPACE ABOVE GRADE	0.00%
[Stippled]		4.00%

OTHER OPEN SPACE CALCULATIONS

PER CIVIL ENGINEERING DRAWINGS, SHEET C10.00

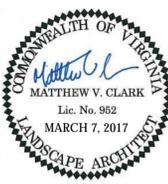
OPEN SPACE CALCULATIONS

COMBINED SITE AREA	291,962 S.F. or 6.70 AC.
REQUIRED OPEN SPACE	102,187 S.F. or 2.35 AC. (35%)
PROP. BUILDING FOOTPRINT	124,310 S.F. or 2.85 AC. (43%)
PROVIDED OPEN SPACE	95,717 S.F. or 2.20 AC. (33%) NOT INCLUDING EVE EASEMENT
PROVIDED ABOVE GROUND OPEN SPACE	5,170 S.F. or 0.12 AC. (2%)
TOTAL PROVIDED OPEN SPACE	100,887 S.F. or 2.32 AC. (35%)

*NOTE: FINAL RATIOS OF GROUND LEVEL AND ROOFTOP OPEN SPACE WILL BE DETERMINED AT EACH DSUP FOR EACH PHASE OF THE DEVELOPMENT, HOWEVER, OPEN SPACE WILL NEVER GO BELOW 35%.

NOTES:

- REFER TO CIVIL DRAWINGS SHEET C10.00 FOR DETAILS OF OTHER OPEN SPACE.



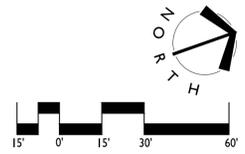
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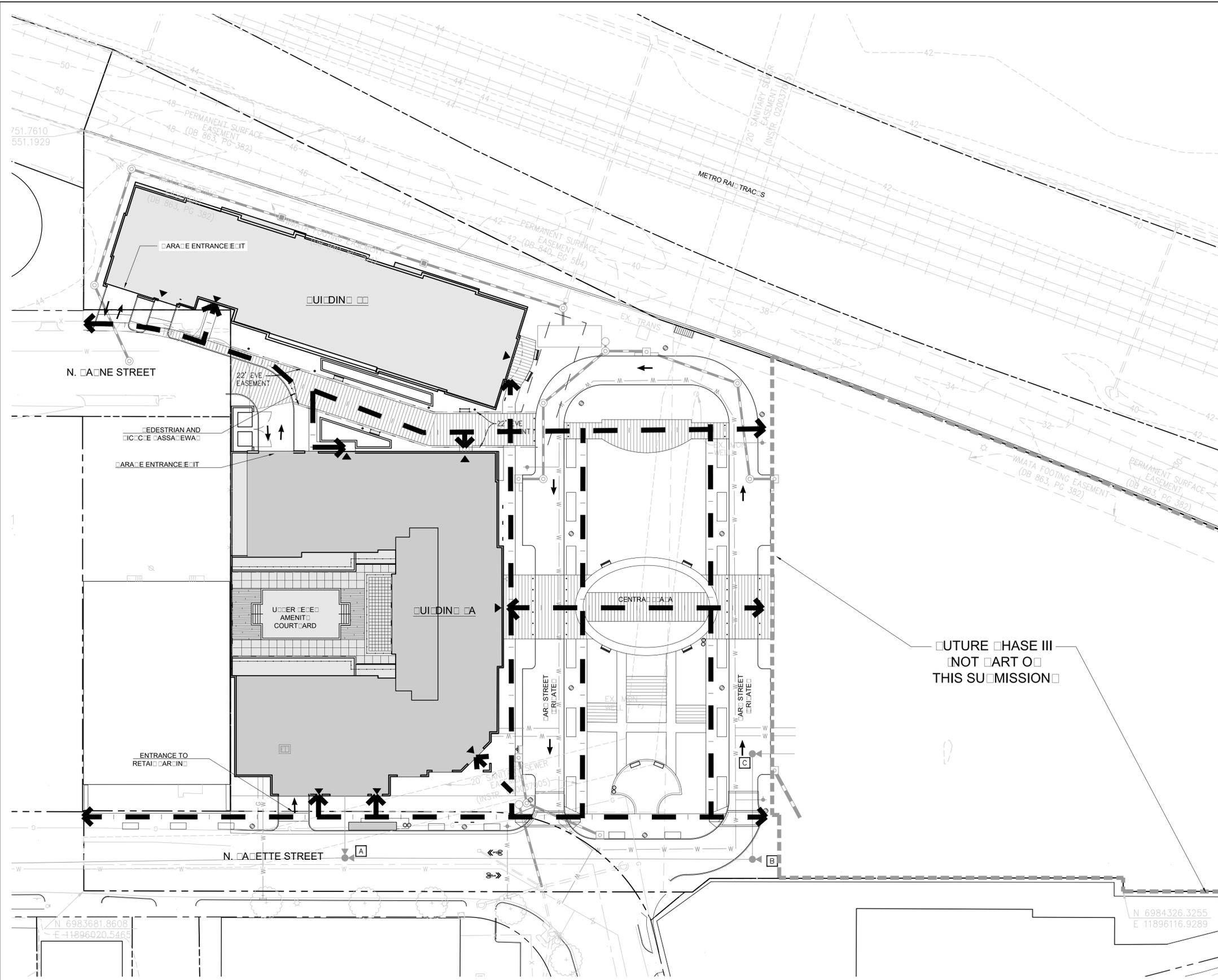
DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____
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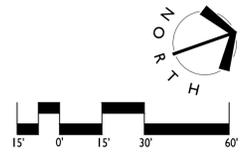
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- PHASE II CIRCULATION**
- EDESTRIAN CIRCULATION
 - VEHICULAR CIRCULATION
 - ▼ BUILDING ENTRANCE

FUTURE PHASE III
NOT PART OF
THIS SUBMISSION



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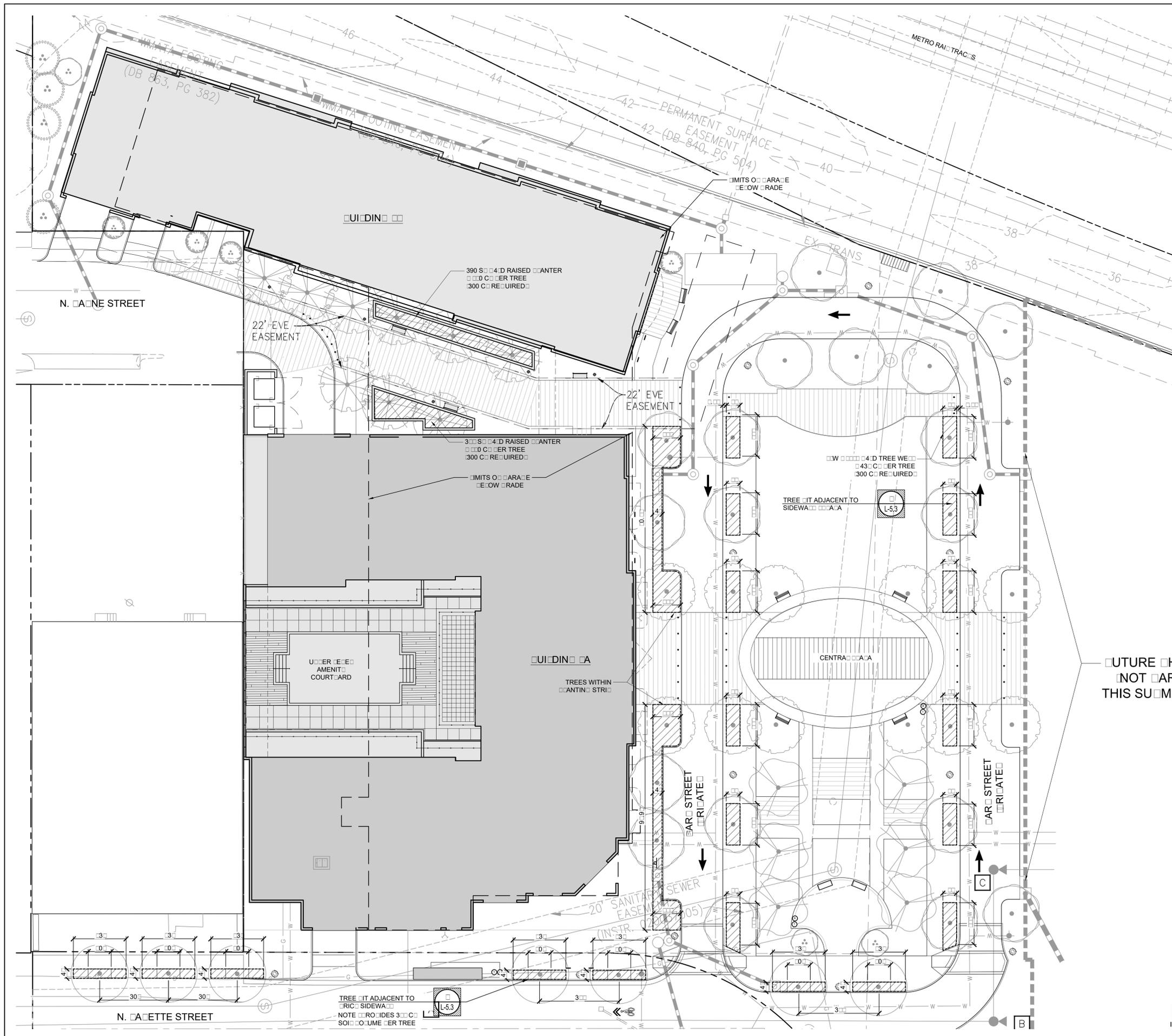
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REVISIONS:
DATE: MARCH 3, 2017
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CHECKED BY: MB
SCALE: 1"=50'
PROJECT #: 2015030
SHEET NUMBER: L-1.3

BRADDOCK GATEWAY - PHASE II
DEVELOPMENT PRELIMINARY SITE PLAN
Braddock Gateway, LLC | City of Alexandria, Virginia
CIRCULATION PLAN

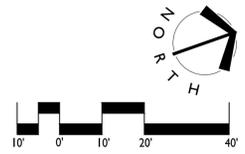




END

SYMBOL	DESCRIPTION
[Hatched Box]	LIMITS OF UNCOMPLETED SOIL VOLUME IN TREE WEIGHS

NOTES:
 1. THIS SHEET IS FOR SOIL VOLUME REFERENCE ONLY.
 2. SEE SHEETS 1-3 FOR ADDITIONAL TREE DETAILS.



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 SITE PLAN NO. _____

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CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED _____

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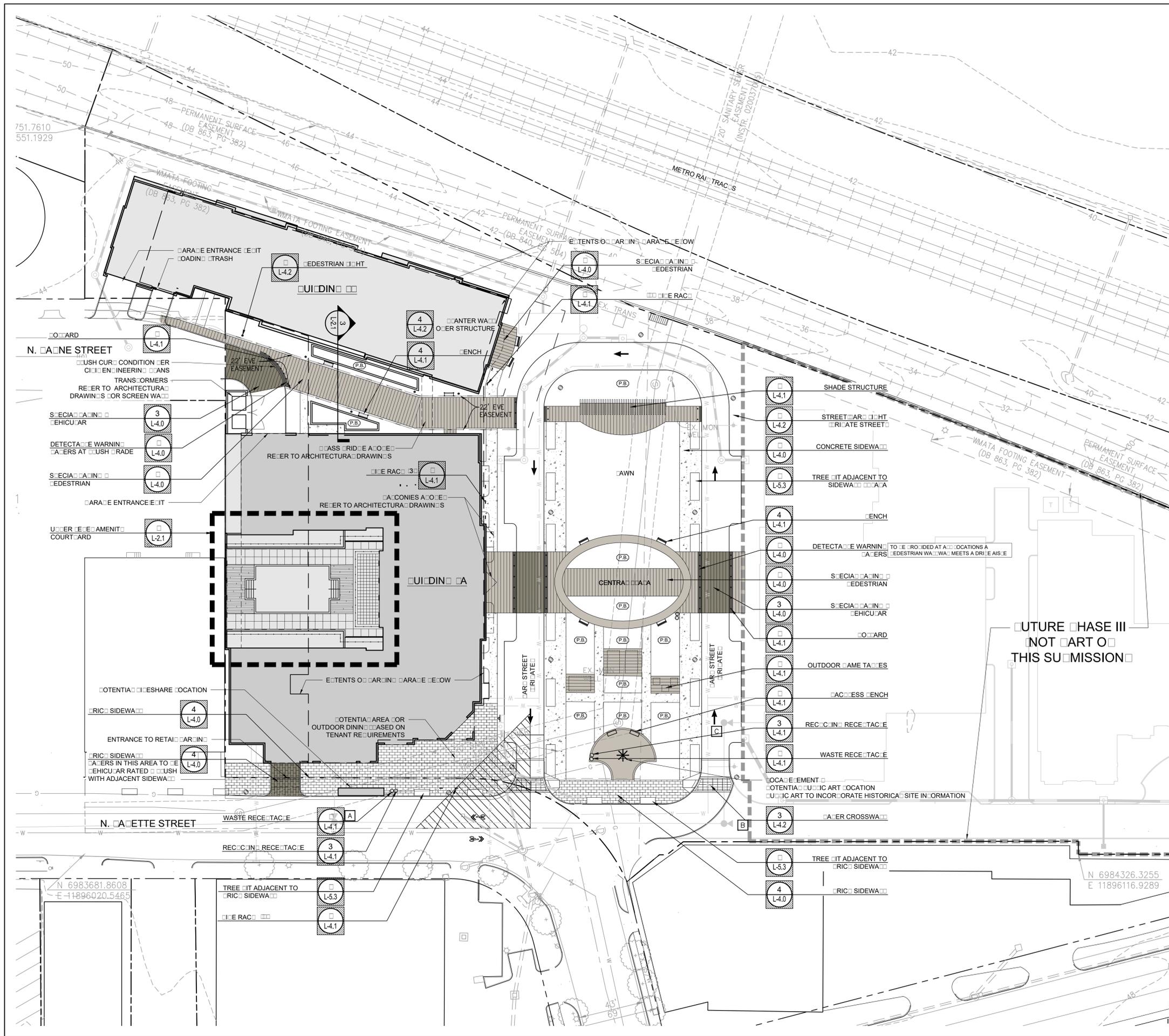
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 PROJECT #: 2015030
 SHEET NUMBER: L-1.4

REVISIONS:
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BRADDOCK GATEWAY - PHASE II
DEVELOPMENT PRELIMINARY SITE PLAN
 Braddock Gateway, LLC | City of Alexandria, Virginia
 SOIL VOLUME EJECT



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 900 S. Patton St., Alexandria, VA, 22314
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 www.LandDesign.com



MATERIALS & FINISHES

S.M.O.	DESCRIPTION	DETAIL
[Symbol]	TRICKLE PAVEMENT	4-4.0
[Symbol]	CONCRETE SIDEWALK	4-4.0
[Symbol]	SECIACIA IN PAVED EDESTRIAN	4-4.0
[Symbol]	SECIACIA IN PAVED VEHICULAR	3-4.0
[Symbol]	DETECTABLE WARNING PATTERS	4-4.0
[Symbol]	PAVEMENT CROSSWALK	3-4.0

S.M.O.	DESCRIPTION	DETAIL
[Symbol]	PAVED BENCH	4-4.0
[Symbol]	ACCESS BENCH	4-4.0
[Symbol]	BOARD	4-4.0
[Symbol]	VEHICULAR	4-4.0
[Symbol]	WASTE RECEPTACLE	4-4.0
[Symbol]	RECYCLING RECEPTACLE	3-4.0
[Symbol]	STREET LIGHT	4-4.0
[Symbol]	EDESTRIAN LIGHT	4-4.0
[Symbol]	PLANTING BED	

NOTES:

1. PLAN AS SHOWN IS REMAINING AND IS INTENDED TO CONFORM TO DESIGN INTENT. DESIGN MAY BE MODIFIED BASED ON FIELD CONDITIONS, STAFF COMMENTS, AND PUBLIC INPUT FROM COMMUNITY STAKEHOLDERS.
2. FINAL DESIGN FOR RESIDENTIAL COURTYARDS IS SUBJECT TO CHANGE BASED ON FINAL ARCHITECTURE, ENGINEERING, AND TENANT REQUIREMENTS.
3. PUBLIC ACCESS EASEMENT FOR OPEN SPACE TO BE PROVIDED. REFER TO CADD DRAWINGS.
4. PLACEMENT HATCHES ARE SHOWN TO CONFORM TO ELEMENT HATCHES BUT MAY NOT BE INDICATIVE OF FINAL SCALE.

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 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

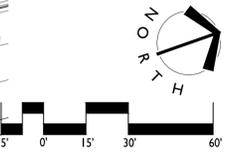
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 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

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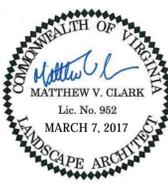


BRADDOCK GATEWAY - PHASE II
 DEVELOPMENT PRELIMINARY SITE PLAN

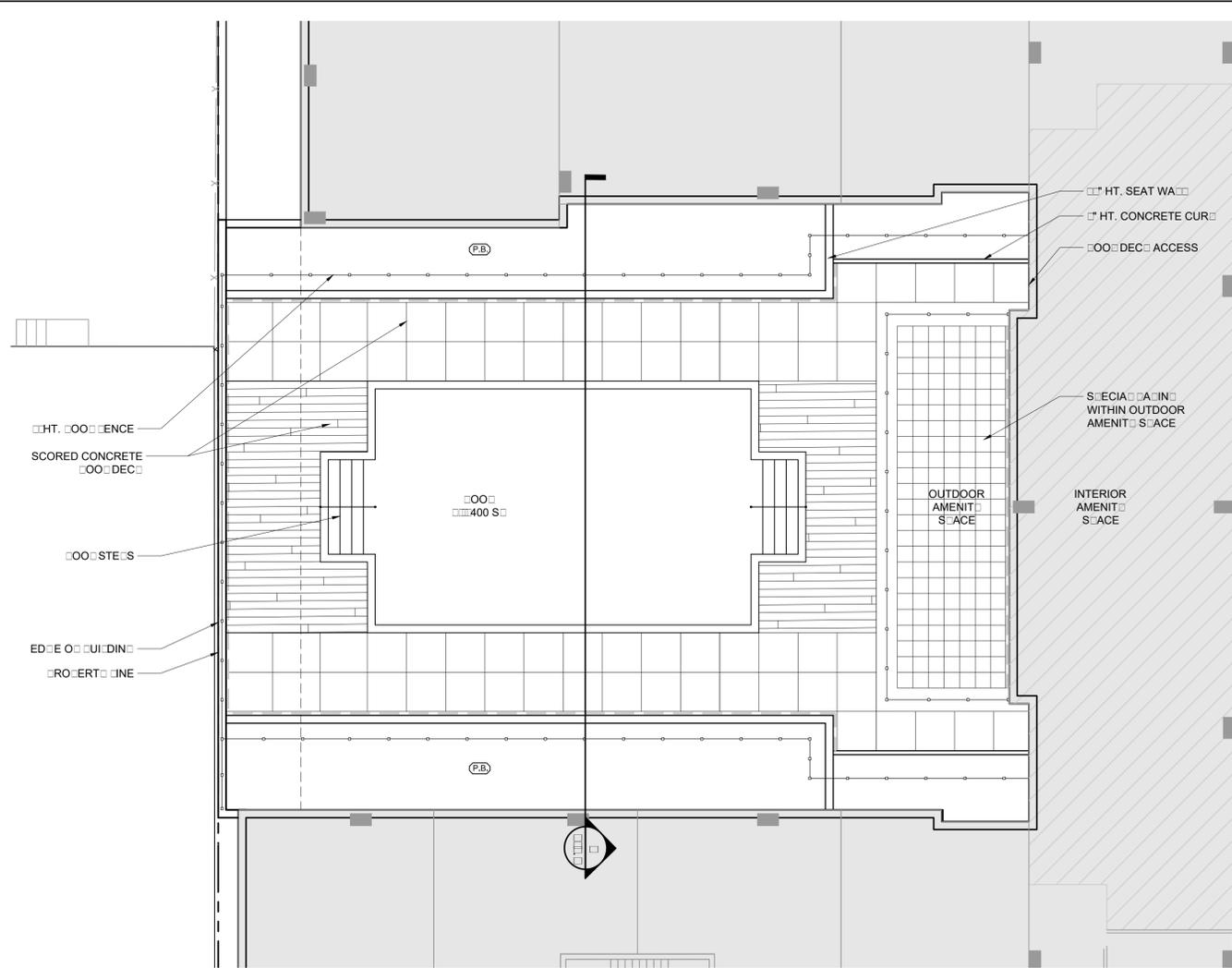
Braddock Gateway, LLC | City of Alexandria, Virginia
 MATERIALS PLAN

REVISIONS:
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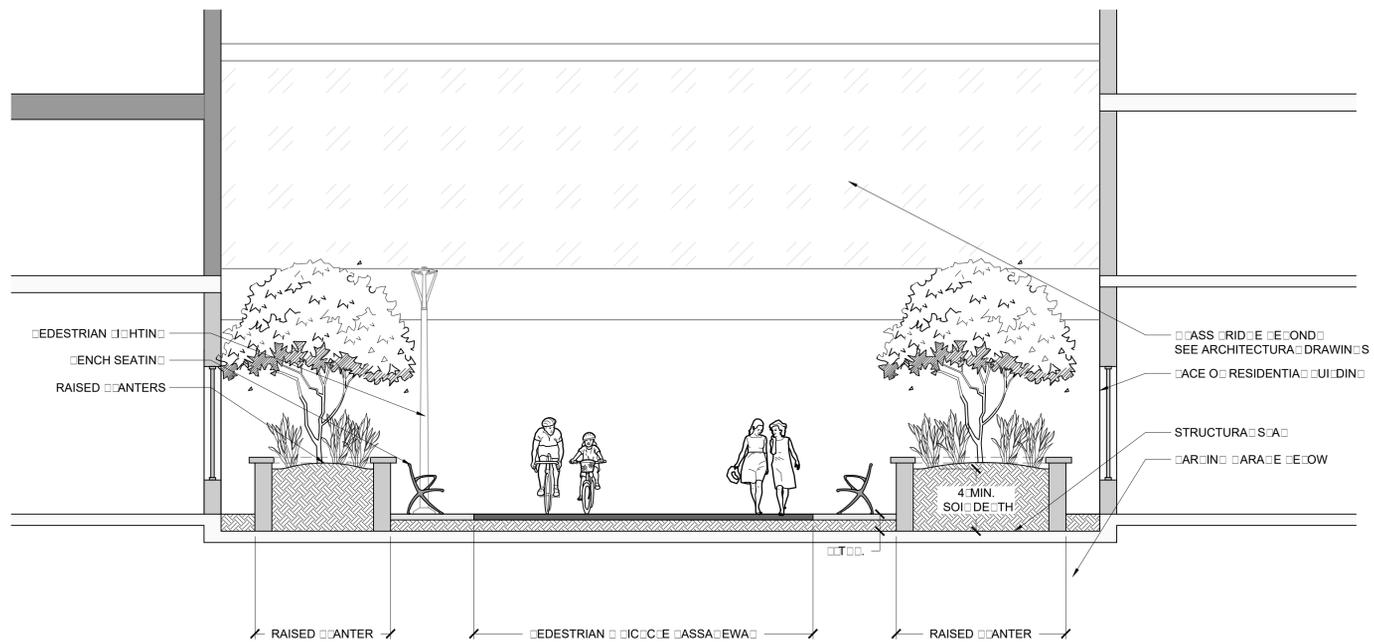
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 PROJECT #: 2015030
 SHEET NUMBER:
L-2.0



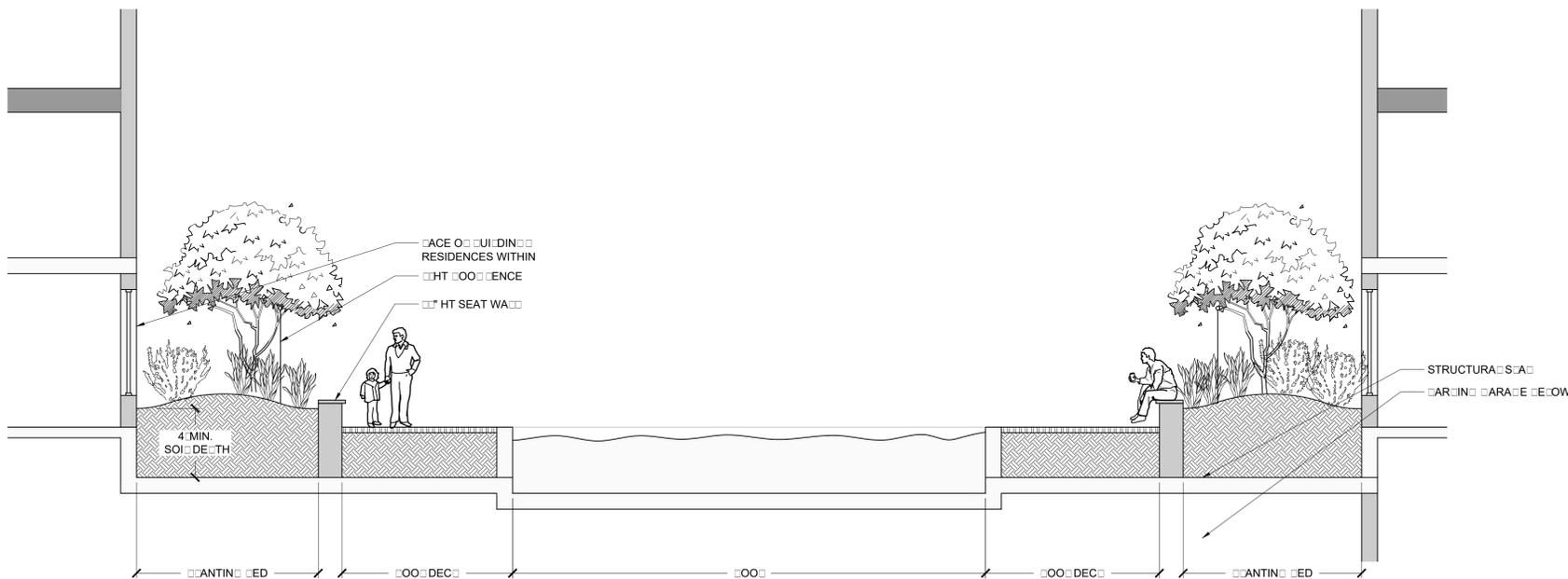
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1 UPPER AMENITIES COURT
L-2.1 PLAN 1/8" = 1'-0"



3 PEDESTRIAN / BICYCLE / CASSALEWA
L-2.1 SECTION 1/8" = 1'-0"



2 UPPER AMENITIES COURT
L-2.1 SECTION 1/8" = 1'-0"

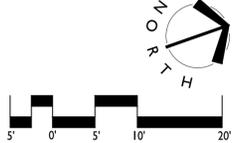
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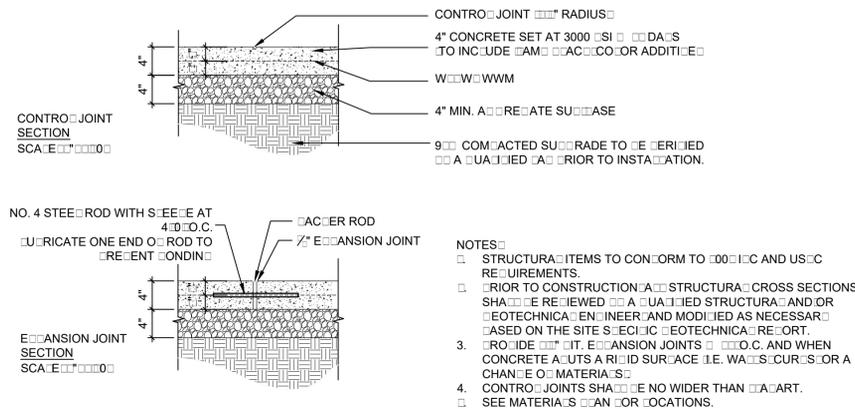
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DIRECTOR _____ DATE _____
 DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

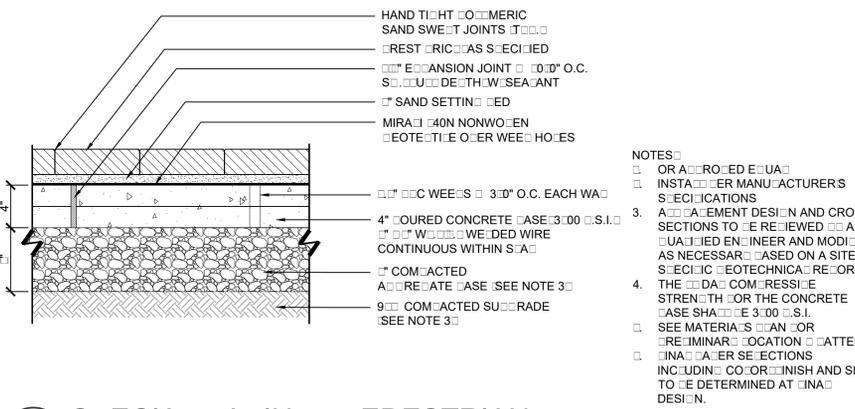
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CHAIRMAN, PLANNING COMMISSION _____ DATE _____
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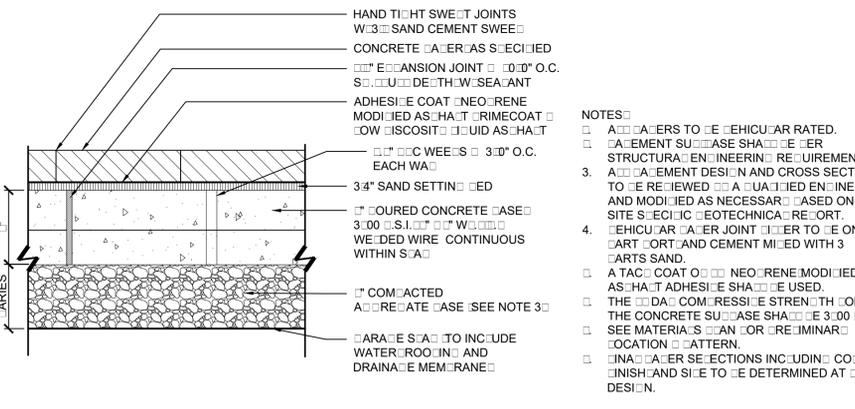




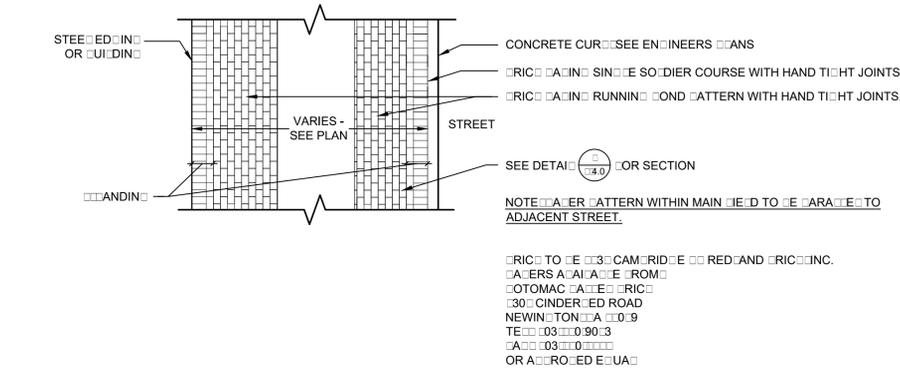
1 CONCRETE SIDEWALK
 L-4.0 SCHEMATIC PLAN SECTION NTS



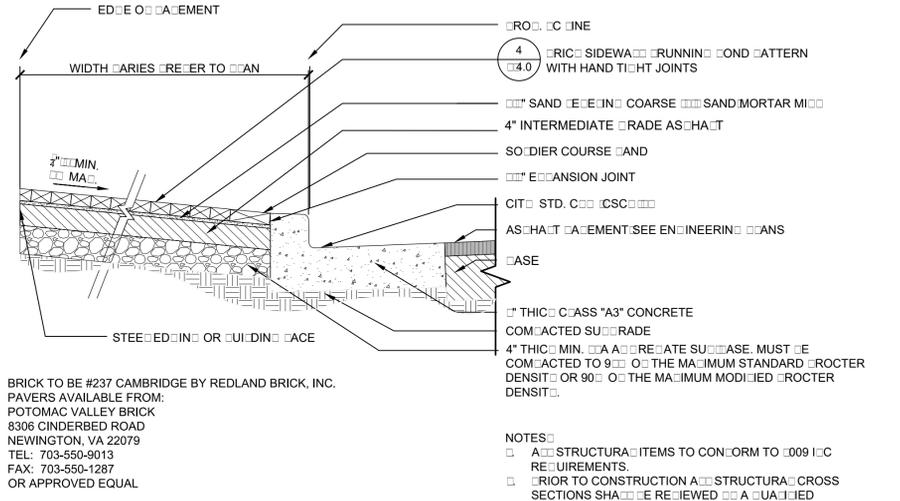
2 SPECIA FINISH PEDESTRIAN
 L-4.0 SECTION VERTICAL 3/4\"/>



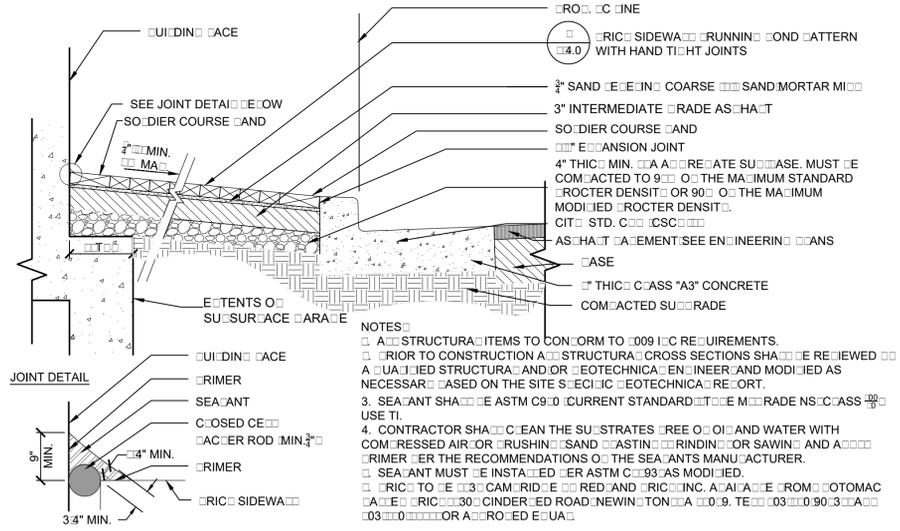
3 SPECIA FINISH VEHICULAR
 L-4.0 SECTION 3/4\"/>



4 BRICK SIDEWALK
 L-4.0 PLAN NTS



5 BRICK SIDEWALK
 L-4.0 SECTION 3/4\"/>



6 BRICK SIDEWALK SURFACE PARALLEL
 L-4.0 PLAN NTS



ADA COMPLIANT DETECTABLE WARNING CURBS
 COLOR CODE
 MANUFACTURER
 CASTONE
 3 HOEWE ROAD
 HARTSTOWN, MARYLAND 21040
 TEL: 410.410.3110
 FAX: 410.410.3114

NOTES
 1. FOR OWNER APPROVED EQUAL
 2. CURBS TO BE USED AT ALL DASH CURBS REFER TO MATERIALS PLAN FOR LOCATIONS.
 3. CURB COLOR TO BE SUIA CONTRASTING WITH SURROUNDING PAVEMENT MATERIALS.
 4. FINISH SELECTIONS INCLUDING COLOR FINISH AND SITE TO BE DETERMINED AT FINISH DESIGN.

7 DETECTABLE WARNING CURBS
 L-4.0 VERTICAL NTS

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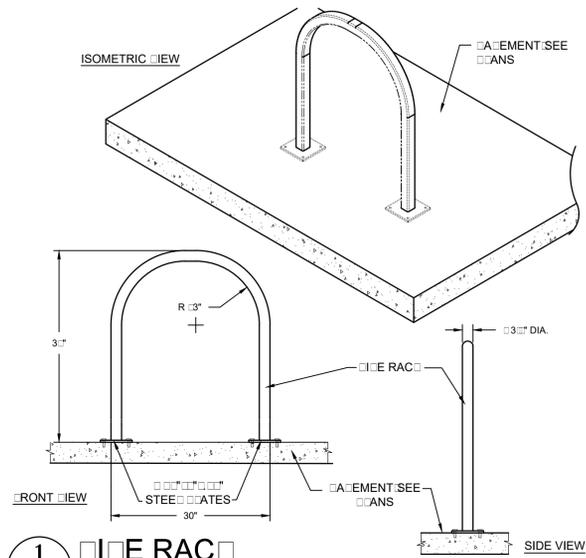
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

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CYCLE SENTRY™ SERIES BIKE RACK
 MODELS: 3000
 COLOUR: POWDER COATED OR MATTE
 CAPACITY: 2 BIKES
 MOUNTING: SURFACE MOUNT

SUPPLIER:
 SECURE SITE DESIGN LLC
 FACTORY STATION: ALABAMA
 DUNIR: 3000
 TO ORDER: 800.521.2546
 TEL: 800.521.2546
 FAX: 269.381.3455

NOTES:
 1. MOUNT TO SIDEWALK PER MANUFACTURER'S INSTRUCTIONS.
 2. SEE PLANS FOR LOCATIONS AND QUANTITIES.
 3. USE TAMER RESISTANT HARDWARE.
 4. COLOUR TO BE MATTE OR OWNER APPROVED EQUAL TO THE SATISFACTION OF THE DEPARTMENT OF PLANNING AND ZONING.

1 BIKE RACK
 L-4.1 PICTORIAL ISOMETRIC NTS



PARK VUE BACKED BENCH
 72" LENGTH
 TITANIUM POWDER COAT FINISH

MANUFACTURER:
 LANDSCAPEFORMS
 431 LAWDALE AVENUE
 KALAMAZOO, MI 49048
 TEL: 800.521.2546
 FAX: 269.381.3455

NOTES:
 1. OR OWNER APPROVED EQUAL.
 2. SEE PLAN FOR LOCATIONS AND QUANTITY.
 3. SURFACE MOUNT WITH ANCHOR TAPS PER MANUFACTURER'S SPECIFICATIONS.

4 BENCH
 L-4.1 PICTORIAL NTS



7 SHADE STRUCTURE
 L-4.1 PICTORIAL NTS

NOTES:
 1. INSTALLED TREES WILL BE SIMILAR TO THE PHOTO EXAMPLE IN TERMS OF SPECIES AND MATERIALS. DESIGN SUBJECT TO CHANGE.
 2. MATERIALS TO BE WOOD AND METAL.
 3. CONTRACTOR TO PROVIDE SHADING DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 4. OR OWNER APPROVED EQUAL.



SUPPLIER:
 VICTOR STANLEY INC.
 DUNIR: 3300
 H: 3000
 H: 3000

MODELS:
 IRONSITES MODEL NUMBER SD4300A
 ID: STANDARD TAPERED FORMED FRAME COLOUR: AC

NOTES:
 1. OR OWNER APPROVED EQUAL TO THE SATISFACTION OF THE DEPARTMENT OF PLANNING AND ZONING.
 2. RECEPTACLE TO BE MOUNTED IN ROUND PER MANUFACTURER'S INSTRUCTIONS.
 3. SEE PLAN FOR QUANTITY AND LOCATIONS.
 4. CUT SQUARES TO FIT AROUND MOUNTING WHEN APPLICABLE.
 5. USE TAMER RESISTANT HARDWARE.
 6. RECEPTACLE SHALL INCLUDE DOMED LID.
 7. STREET FURNITURE SELECTION PER THE BRADDOCK METRO NEIGHBORHOOD PLAN DESIGN GUIDELINES MARCH 2016 PAGE 333.

2 WASTE RECEPTACLE
 L-4.1 PICTORIAL NTS



PARK VUE BACKLESS BENCH
 72" LENGTH
 TITANIUM POWDER COAT FINISH

MANUFACTURER:
 LANDSCAPEFORMS
 431 LAWDALE AVENUE
 KALAMAZOO, MI 49048
 TEL: 800.521.2546
 FAX: 269.381.3455

NOTES:
 1. OR OWNER APPROVED EQUAL.
 2. SEE PLAN FOR LOCATIONS AND QUANTITY.
 3. SURFACE MOUNT WITH ANCHOR TAPS PER MANUFACTURER'S SPECIFICATIONS.

5 BACKLESS BENCH
 L-4.1 PICTORIAL NTS



8 OUTDOOR GAME TABLES
 L-4.1 PICTORIAL NTS

NOTES:
 1. GAME TABLES SHOWN ARE REPRESENTATIVE POTENTIAL TABLES TO BE PROVIDED ON SITE.
 2. PROGRAMMING TO BE DETERMINED WITH COMMUNITY STAKEHOLDER INPUT AND IS SUBJECT TO CHANGE.
 3. OR OWNER APPROVED EQUAL.



REQUIRED RECEPTACLE MODELS:
 IRONSITES MODEL NUMBER SD4300A
 ID: DOME
 FRAME COLOUR: AC
 FRAME COLOUR: UE
 CITY OF ALEXANDRIA STANDARD DECA: S
 • DOME ID: SEE VICTOR STANLEY CATALOG ID 4000A
 • STAND: SEE VICTOR STANLEY CATALOG ID 4000E

SUPPLIER:
 VICTOR STANLEY INC.
 DUNIR: 3300
 H: 3000
 H: 3000

NOTES:
 1. RECEPTACLE TO BE MOUNTED IN ROUND PER MANUFACTURER'S INSTRUCTIONS.
 2. SEE PLAN FOR QUANTITY AND LOCATIONS.
 3. USE TAMER RESISTANT HARDWARE.
 4. RECEPTACLE TO INCLUDE CITY OF ALEXANDRIA STANDARD DECA: S AS NOTED.

REQUIRED DOME LID DECAL FOR RECYCLING RECEPTACLE
 VICTOR STANLEY
 431 LAWDALE AVENUE
 KALAMAZOO, MI 49048
 TEL: 800.521.2546
 FAX: 269.381.3455

REQUIRED STAND DECAL FOR RECYCLING RECEPTACLE
 Eco-City ALEXIA

3 RECYCLING RECEPTACLE
 L-4.1 PICTORIAL NTS



SENTINEL BOLLARD
 SIZE: 11"X37"
 TITANIUM POWDER COAT FINISH

MANUFACTURER:
 LANDSCAPEFORMS
 431 LAWDALE AVENUE
 KALAMAZOO, MI 49048
 TEL: 800.521.2546
 FAX: 269.381.3455

NOTES:
 1. OR OWNER APPROVED EQUAL.
 2. SEE PLAN FOR LOCATIONS AND QUANTITY.
 3. CAST ALUMINUM SLEEVE MOUNTS OVER SUPPLIED 6" STRUCTURAL STEEL PIPE AND SECURES WITH CONCEALED HARDWARE.

6 BOLLARD
 L-4.1 PICTORIAL NTS

APPROVED
 SPECIAL USE PERMIT NO. DSU0000040
 DEPARTMENT OF PLANNING & ZONING

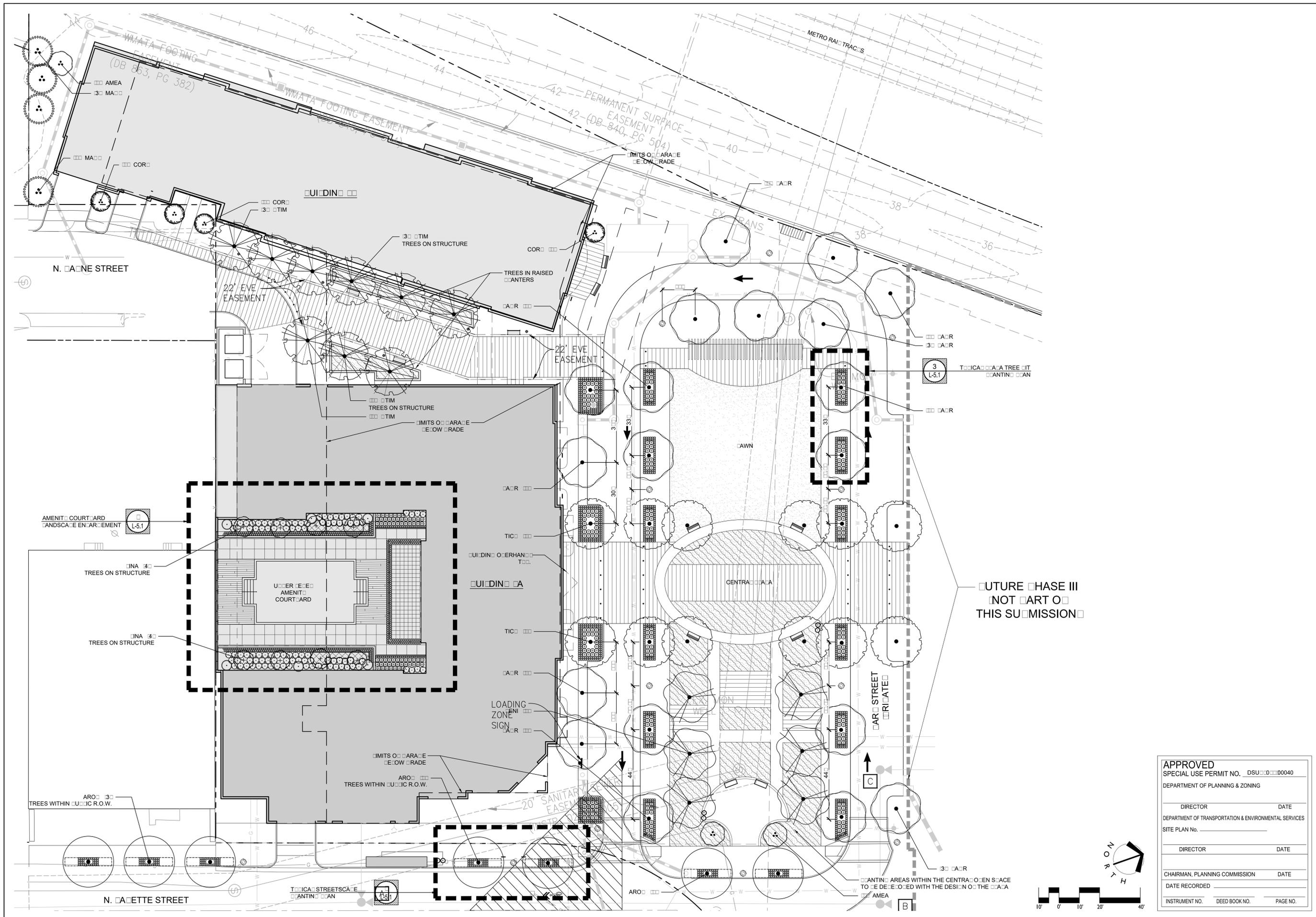
 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN NO. _____

 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
 DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.



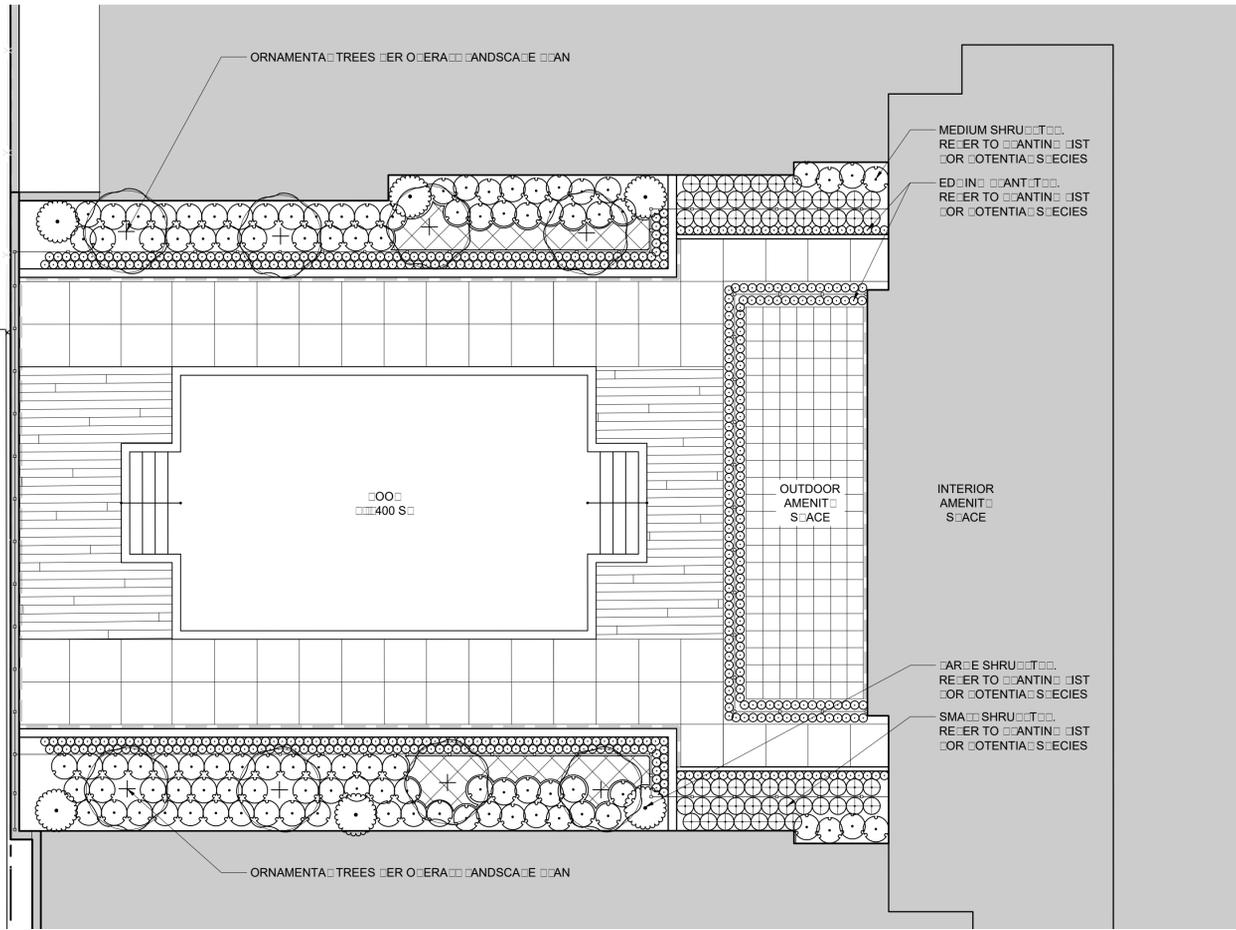
BRADDOCK GATEWAY - PHASE II
DEVELOPMENT PRELIMINARY SITE PLAN
 Braddock Gateway, LLC | City of Alexandria, Virginia
 LANDSCAPE PLAN

DATE: MARCH 3, 2017
 DESIGNED BY: MB
 DRAWN BY: SH
 CHECKED BY: MB
 SCALE: 1"=50'
 PROJECT #: 2015030
 SHEET NUMBER: **L-5.0**

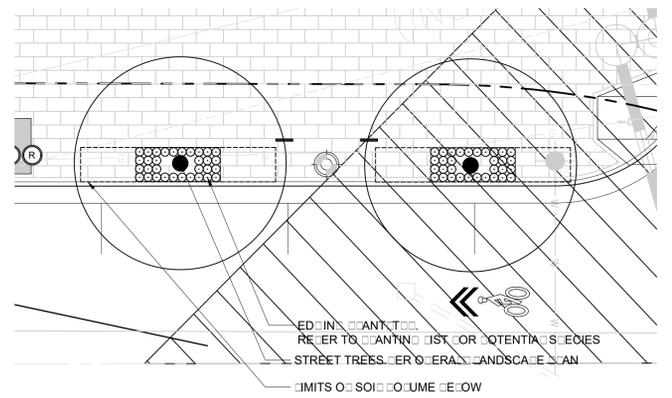
APPROVED
 SPECIAL USE PERMIT NO. DSU0000040
 DEPARTMENT OF PLANNING & ZONING

DIRECTOR	DATE	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN No. _____		
DIRECTOR	DATE	
CHAIRMAN, PLANNING COMMISSION		
DATE RECORDED	DATE	
INSTRUMENT NO.	DEED BOOK NO.	PAGE NO.

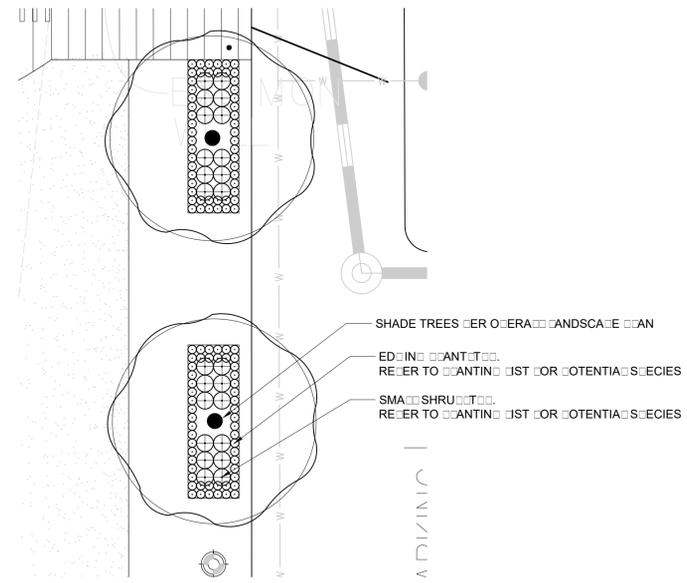
REVISIONS:
 MAR. 3, 2017 - RESPOND TO STAFF COMMENTS



1 AMENITY COURT AND LANDSCAPE ENHANCEMENT
L-5.1 PLAN



2 TRUCK STREETScape PLANTING PLAN
L-5.1 PLAN



3 TRUCK AREA TREE PLANTING PLAN
L-5.1 PLAN

PLANT SCHEDULE

EVERGREEN TREES	CODE	HT	BOTANICAL NAME	COMMON NAME	CONT	CA	HT	REMARKS
	MA04	4'	MAUNDAIA RANDOLPHIA	SOUTHERN MAUNDAIA	000	0	0000	MEDIUM EVERGREEN TREE 00 SCA
ORNAMENTAL TREES	CODE	HT	BOTANICAL NAME	COMMON NAME	CONT	CA	HT	REMARKS
	AMEA3	3'	AMEANCHIER	AUTUMN RIBANSANCE	000	MULTI	0000	MEDIUM ORNAMENTAL TREE 00 SCA
	COR04	4'	CORNUS DOUSA	DOUSA DOWOOD	000	07	0000	SMALL ORNAMENTAL TREE 00 SCA
	INA0	0'	ACERSTROEMIA INDICA	NATCHE	000	MULTI	0000	SMALL ORNAMENTAL TREE 00 SCA
SHADE TREES	CODE	HT	BOTANICAL NAME	COMMON NAME	CONT	CA	HT	REMARKS
	ARO0	0'	ACER RUFUM	OCTOBER	000	3	0000	LARGE SHADE TREE 00 SCA
	ENI0	0'	QUERCUS DURANEA	DURANEA RIVER	000	MULTI	0000	MEDIUM SHADE TREE 00 SCA
	ACR09	9'	QUERCUS RANDOLPHIA	AMERICAN BEECH	000	07	0000	LARGE SHADE TREE 00 SCA
	OTIM9	9'	EDITSIA TRIACANTHOS	JIMERIA	000	07	0000	MEDIUM SHADE TREE 00 SCA
	TIC00	00'	TIJA CORDATA	REENS	000	07	0000	MEDIUM SHADE TREE 00 SCA
SHRUBS ORNAMENTAL	RASSES	HT	POTENTIAL SPECIES					
	AR00	0'	URNUM OULUS	EASTERN SNOW				
	OR00	0'	THIA INTERMEDIA	ORS				
	ORUN00	0'	CAUCERASUS	EN				
	ME00	0'	ETHRA ANOIA	SUMMERSWEET				
	HE00	0'	DRANEA QUERCUS	DA				
	NA00	0'	DINA DOMESTICA	HEA				
	SM00	0'	ENNISSETUM	ECUROIDES				
	SC00	0'	IRAEA	UMA				
	EU00	0'	COTHOE	ONTANESIANA				
	ED00	0'	HOSTA	S				
	TR00	0'	IO	MUSCARI				
	OL00	0'	HIO	ON				
	HE00	0'	HEUCHERA	S				
	HE00	0'	HEUCHERA	S				

CROWN COVERAGE AREA
SITE PROJECT AREA: 100000 SQ FT ROW: 33400 SQ FT

REQUIRED TREE COVERAGE: 33300 SQ FT

PROVIDED TREE COVERAGE: 33300 SQ FT

TREE TYPE	QUANTITY	CROWN COVERAGE AREA	TOTAL SQUARE FOOTAGE	PERCENTAGE OF TREES
STREET TREES WITHIN CURB R.O.W.	0	0 SF	0 SF	0%
LARGE SHADE TREES	0	0 SF	0 SF	0%
MEDIUM SHADE TREES	0	0 SF	0 SF	0%
MEDIUM SHADE TREES ON STRUCTURE	3	300 SF	300 SF	3%
MEDIUM ORNAMENTAL TREES	0	0 SF	300 SF	0%
SMALL ORNAMENTAL EVERGREEN TREES	0	0 SF	0 SF	0%
SMALL ORNAMENTAL EVERGREEN TREES ON STRUCTURE	0	0 SF	0 SF	0%
TOTAL CROWN COVERAGE AREA			49,375 SF	100%

NOTES:
 1. TREE CROWN COVERAGE COMPUTATIONS PER LANDSCAPE GUIDELINES: CITY OF ALEXANDRIA VIRGINIA: 0000
 2. PLANT SELECTIONS FOR SHRUBS ROUND COVERS: PERENNIALS AND SEASONAL COLOR TO BE DETERMINED.

APPROVED
SPECIAL USE PERMIT NO. DSU0000040

DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

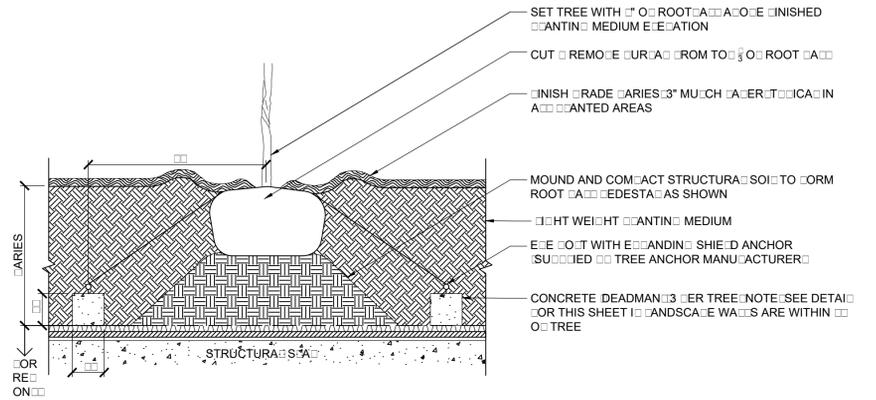
SITE PLAN NO. _____

DIRECTOR _____ DATE _____

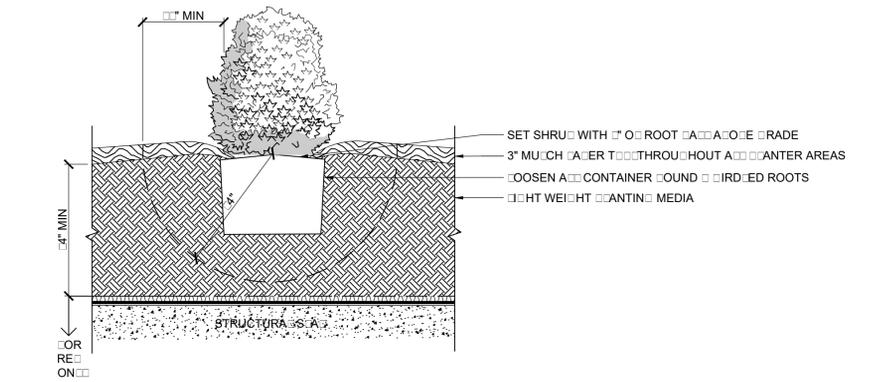
CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

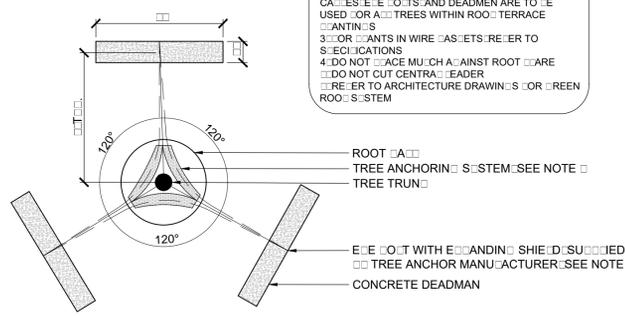


1 TREE ANCHOR ON STRUCTURE
 L-5.4 SECTION 3" x 10"



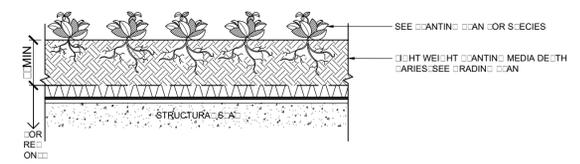
3 SHRUB ANCHOR ON STRUCTURE
 L-5.4 SECTION 3" x 10"

NOTES:
 1. TREE ANCHORING SYSTEM SHALL BE OF THE FOLLOWING TYPE OR APPROVED EQUIVALENT MODELS.
 2. MANUFACTURER'S RATINGS LIMITED TO 100 LBS. PER ANCHOR STATION.
 3. HONE TO 1/4".
 4. WWW.ATLANTUSANCHORS.COM
 5. TREE ANCHORING SYSTEM AND ASSOCIATED COMPONENTS AND DEADMANS ARE TO BE USED FOR TREES WITHIN ROOT TERRACE.
 6. ANCHORS SHALL BE INSTALLED IN WIRE MESHES. REFER TO SPECIFICATIONS.
 7. DO NOT PLACE MULCH AGAINST ROOT AREAS.
 8. DO NOT CUT CENTRAL LEADER.
 9. REFER TO ARCHITECTURE DRAWINGS FOR GREEN ROOT SYSTEM.

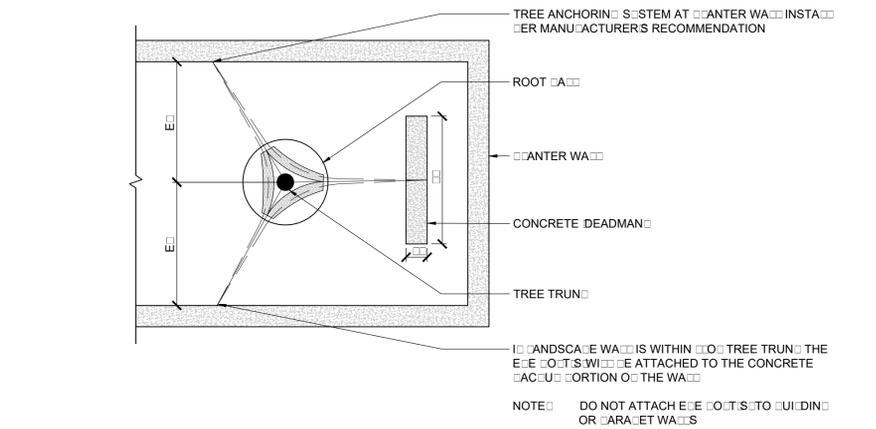


ANCHOR SPACING CHART

ROWS	SPACING	ROW "A"	ANCHORS
1	0' O.C.	0' O.C.	4
2	0' O.C.	0' O.C.	10
3	0' O.C.	0' O.C.	16
4	0' O.C.	0' O.C.	22
5	0' O.C.	0' O.C.	28
6	0' O.C.	0' O.C.	34
7	0' O.C.	0' O.C.	40
8	0' O.C.	0' O.C.	46
9	0' O.C.	0' O.C.	52
10	0' O.C.	0' O.C.	58



4 ROUND CORNER ANCHOR ON STRUCTURE
 L-5.4 SECTION 3/4" x 10"



2 TREE STAKE ON STRUCTURE
 L-5.4 PLAN 4" x 10"

NOTE: DO NOT ATTACH EDGE JOINTS TO GUARDING OR PARAPET WALES

APPROVED
 SPECIAL USE PERMIT NO. DSU-000040
 DEPARTMENT OF PLANNING & ZONING

 DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
 SITE PLAN No. _____

 DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

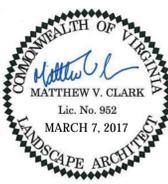
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BRADDOCK GATEWAY - PHASE II
DEVELOPMENT PRELIMINARY SITE PLAN
 Braddock Gateway, LLC | City of Alexandria, Virginia
 ANCHOR DETAILS ON STRUCTURE

REVISIONS:
 MAR. 3, 2017 - RESPOND TO STAFF COMMENTS

DATE: MARCH 3, 2017
 DESIGNED BY: MB
 DRAWN BY: SH
 CHECKED BY: MB
 SCALE: 1/8" = 1'-0"
 PROJECT #: 2015030
 SHEET NUMBER:
L-5.4



LandDesign
 900 S. Parkton St., Alexandria, VA 22314
 V: 703.549.7784 F: 703.549.4984
 www.LandDesign.com