

ISSUE: Permit to Demolish/Capsulate (partial)

APPLICANT: Cathleen Curtin Architects, LLC

LOCATION: Old and Historic Alexandria District
217 North Columbus Street

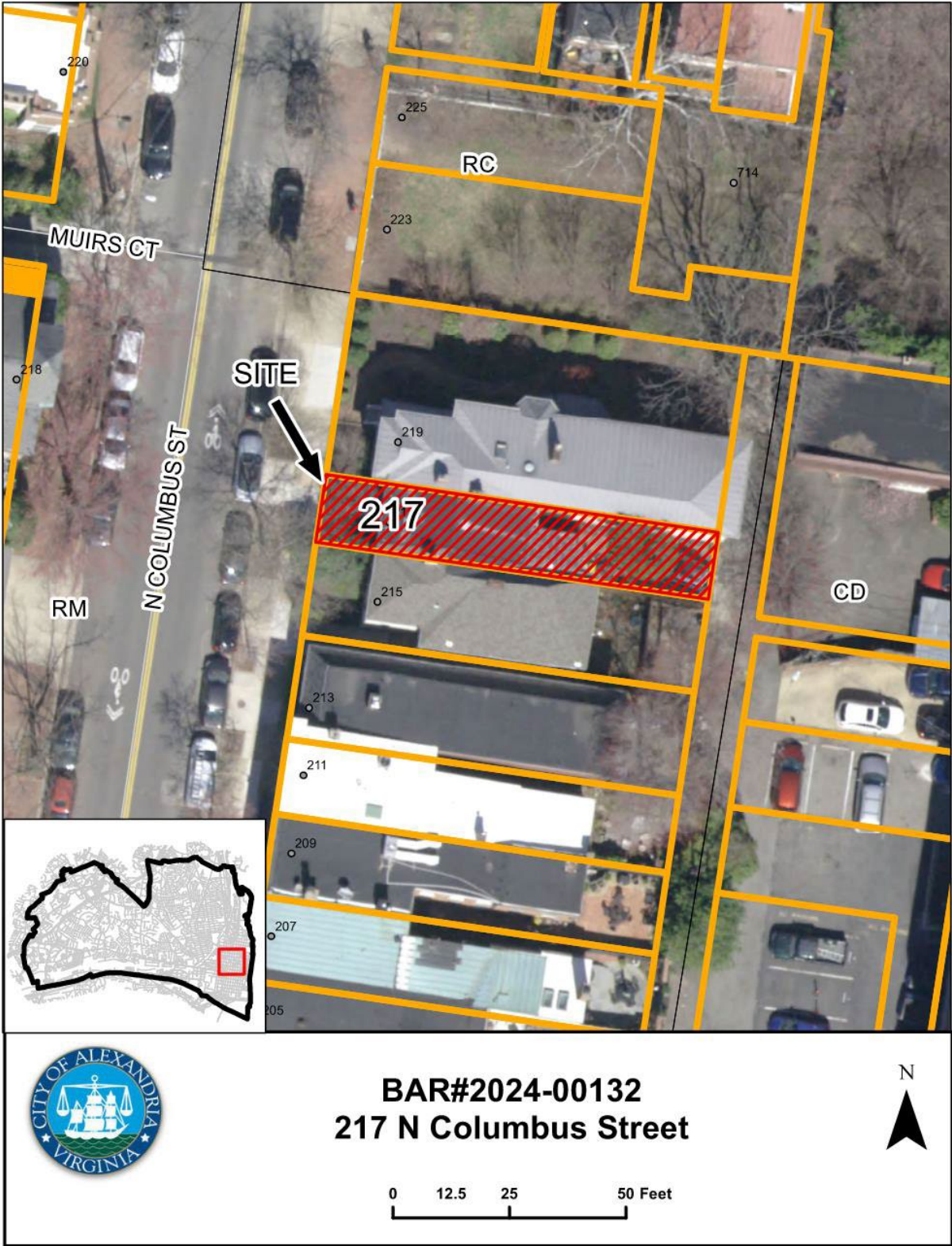
ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. APPLICANT’S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) to remove portions of the rear wall, at 217 N Columbus Street. The wall area consists of wood siding and approximately 251.88 ft² of it will be demolished/encapsulated for the construction of a non-visible addition. Staff notes that the addition does not require Board approval.

Site context

The alley to the east, behind the subject property, is private.

II. HISTORY

The two-story, two-bay frame townhouse at **217 North Columbus Street** was originally constructed in 1886 in Queen Anne style. It is the center unit of three attached townhouses which were built by T.H. Crilly and designed by Glenn Brown, according to a notice in the Alexandria Gazette (April 14, 1886). The BAR approved the remodel of 217 North Columbus Street on September 20, 1972, and the alterations essentially removed all the original character-defining Queen Anne details.

Previous BAR Approvals

- BAR2017-00412 – Administrative approval for in-kind door replacement (12/6/17).
- BAR2017-00393 – Administrative approval for tuck-pointing (10/16/17).
- BAR2013-00123 – The Board approved a permit to demolish the existing garage (5/15/13).
- BAR2010-00035 – The Board approved a certificate of appropriateness for alterations (4/7/10).
- BAR2010-00015 – The Board approved a permit to demolish (3/17/10).

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No

(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relates only to the portions of the wall area proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
 Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed 2 story rear addition will comply with zoning.

C-2 Under Zoning for Housing regulations, no side yard is required for lots under 25’ in width.

Code Administration

A building permit is required.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No comments received.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR2024-00132: 217 North Columbus Street

BAR CASE# _____
(OFFICE USE ONLY)

ADDRESS OF PROJECT: 217 N COLUMBUS ST

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 064.04-07-16 ZONING: R5

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: CATHLEEN CURTIN ARCHITECTS LLC

Address: 501 PRINCESS ST

City: ALEXANDRIA State: VA Zip: 22314

Phone: 7039309322 E-mail: CATHLEEN@CATHLEENCURTINARCHITECTS.COM

Authorized Agent (if applicable): Attorney Architect _____

Name: CATHLEEN CURTIN Phone: 7039309322

E-mail: CATHLEEN@CATHLEENCURTINARCHITECTS.COM

Legal Property Owner:

Name: ANDREW H. MACDONALD

Address: 217 N COLUMBUS ST

City: ALEXANDRIA State: VA Zip: 22314

Phone: 6035129379 E-mail: AHMACDONALD@MAC.COM

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

OWNER PROPOSES A FIRT FLOOR EXPANION/ADDITION TO THE REAR OF TEH HOUSE.

 THE EXISTING EXPOSED EAST FACE OF THE ORIGINAL BUILDING WILL BE

 ENCAPSULATED BY THE PROPSOED REAR FRIST FLOOR ADDITION.

 NEW DUTCH LAP SIDING, TRIM, WINDOW STYLE, DOOR STYLE AND METAL ROOF TO MAMTCH EXISTING

SUBMITTAL REQUIREMENTS:

Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
 - Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
 - Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
 - Description of the reason for demolition/encapsulation.
 - Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: *Cathleen Curtin*

Printed Name: CATHLEEN CURTIN

Date: 03.29.24

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ANDREW H.MACDONALI	217 N COLUMBUS ST	100
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____(address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. NA		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. NA		
2. NA		
3. NA		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

03.29.24

Date

Printed Name

Cathleen Curtin

Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. Street Address RM Zone

A2. Total Lot Area x Floor Area Ratio Allowed by Zone = Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. <input type="text" value="1,037.00"/> Sq. Ft.
First Floor	<input type="text" value="497.00"/>	Stairways**	<input type="text" value="96.00"/>	Existing Gross Floor Area*
Second Floor	<input type="text" value="497.00"/>	Mechanical**	<input type="text"/>	B2. <input type="text" value="139.00"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text" value="43.00"/>	B3. <input type="text" value="898.00"/> Sq. Ft.
Porches	<input type="text" value="43.00"/>	Balcony/Deck**	<input type="text"/>	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	Comments for Existing Gross Floor Area
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. Total Gross	<input type="text" value="1,037.00"/>	B2. Total Exclusions	<input type="text" value="139.00"/>	

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text" value="120.00"/> Sq. Ft.
First Floor	<input type="text" value="120.00"/>	Stairways**	<input type="text"/>	Proposed Gross Floor Area*
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C2. <input type="text" value="0.00"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	C3. <input type="text" value="120.00"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. Total Gross	<input type="text" value="120.00"/>	C2. Total Exclusions	<input type="text" value="0.00"/>	

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

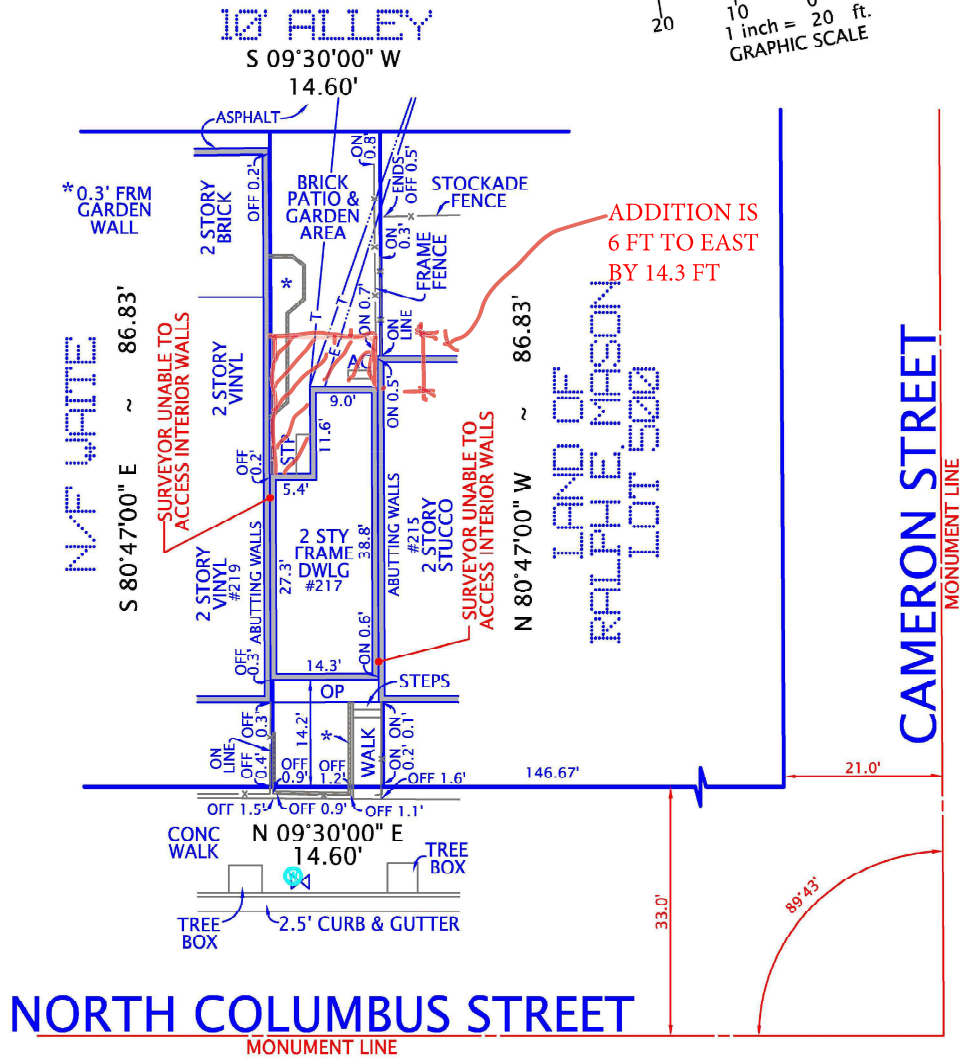
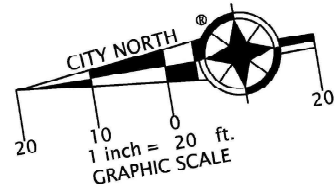
***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Cathleen Curtin

Date: 03.29.24

NOTES: 1. FENCES ARE WROUGHT IRON UNLESS OTHERWISE NOTED.



PLAT
 SHOWING HOUSE LOCATION ON
 THE PROPERTY LOCATED AT
#217 NORTH COLUMBUS STREET

(DINSTRUMENT NO: 0160000164)
 CITY OF ALEXANDRIA, VIRGINIA
 SCALE: 1" = 20' FEBRUARY 23, 2024

COPYRIGHT BY DOMINION SURVEYORS, INC. THE INFORMATION CONTAINED ON THIS DOCUMENT MAY NOT BE COPIED, REPRODUCED OR ALTERED IN ANY FORM WITHOUT PERMISSION FROM THE COPYRIGHT OWNER.

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
 A TITLE REPORT WAS NOT FURNISHED.
 NO CORNER MARKERS SET.

Ordered by:
 Cathleen Curtin
 Architects
 501 Princess Str.
 Alexandria, VA 22314
 Ph: 703-930-9322
 Fax: 703-836-8288



217 NORTH COLUMBUS STREET ALEXANDRIA, VIRGINIA 22314 ADDITION + RENOVATION

LOT 217 N COLUMBUS STREET
MAP# 064.04-07-16
PROPERTY OWNER
ANDREW H. MACDONALD TRUST

BUILDING CODE DESIGN INFORMATION

- ZONE RM
- CONSTRUCTION TYPE- VB/BCOA 5A
- IEBC2018
- NEC 2011
- 2018 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC)
- VIRGINIA RESIDENTIAL CODE/VRC 2018
- ICC INTERNATIONAL RESIDENTIAL CODE 2018
- ICC INTERNATIONAL EXISTING BUILDING CODE 2018
- NFPA NATIONAL ELECTRICAL CODE 2014
- ASCE 7, MINIMUM DESIGN LOADS FOR BUILDINGS + OTHER STRUCTURES
- ACI 530/ ASCE 6/ TMS/ 602 BUILDING CODE RQMTS FOR MASONRY CONSTRUCTION
- LVL STRUCTURAL DESIGN PROPERTIES

- SCOPE OF WORK :** USE GROUP - RM, TOWNHOUSE PLANS SUPPORT:
1. FIRST FLOOR REAR ADDITION OF EXPANDED KITCHEN AND MODIFIED BATHROOM.
 2. NEW STRUCTURAL SUPPORT AND FRAMING WORK
 3. NEW MECHANICAL/ELECTRICAL/HVAC FOR NEW + EXISTING FIRST + SECOND FLR ZONE

TOTAL BUILDING AREA	
AREA CALCULATIONS	
TOTAL LOT AREA	1267.0 SF
EXISTING HOUSE AREA	1037.0 SF, 81.8% OF LOT
TOTAL EXISTING BLDG AREA	
NEW ADDITION	149.0 SF
TOTAL NEW ADDITION	149.0 SF, 11.76% OF LOT
NEW TOTAL BLDG AREA	1047.0 SF, 82.6% OF LOT
NEW LIVABLE AREA	
ABOVE GRADE 2 STORY LIVING AREA	1047.0 SF
NEW ADDITION AREA	149.0 SF
TOTAL NEW LIVABLE AREA	1047.0 SF
BUILDING HEIGHT ALLOWED:	35.0 FT
BUILDING HEIGHT ACTUAL:	30.0 FT
FRONT YARD SETBACK ALLOWED	0.0 FT
FRONT YARD SETBACK ACTUAL	0.0 FT
SIDE YARD SETBACK ALLOWED	0.0 FT
SIDE YARD SETBACK ACTUAL	16.0 FT
REARYARD SETBACK ALLOWED	16.0 FT
REARYARD SETBACK ACTUAL	21.6 FT

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO SURVEY AND VERIFY EXISTING GRADES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. DO NOT SCALE DRAWINGS. FIGURE DIMENSIONS SHALL GOVERN.
- DIMENSIONS ARE SHOWN TO FACE OF DRYWALL UNLESS OTHERWISE NOTED.
- COMPLY WITH ALL PRODUCT MANUFACTURER INSTRUCTIONS AND REQUIREMENTS CONCERNING STORAGE, HANDLING, PROTECTION, INSTALLATION, ADJUSTMENT, WARRANTY, ETC.
- SLOPE MEMBRANE ROOF MIN 1/4" PER FOOT
- COMPLY WITH ALL REQUIREMENTS OF ROOFING MANUFACTURER'S INSTALLATION INSTRUCTIONS.

ENERGY COMPLIANCE

MINIMUM INSULATION VALUES

WINDOWS/DOORS U-0.327 SHGC 0.24
ROOF/CEILING R 49
WALLS (WOOD FRAMED) R 15
ROOF/CEILING INSULATION IS CLOSED CELL SPRAY FOAM, IMPERMEABLE, TIGHT TO THE UNDER SIDE OF THE ROOF SHEATHING.
ALL LAMPS IN NEW LIGHT FIXTURES TO BE HIGH EFFICIENCY LED.

AIR BARRIER AND INSULATION INSTALLATION

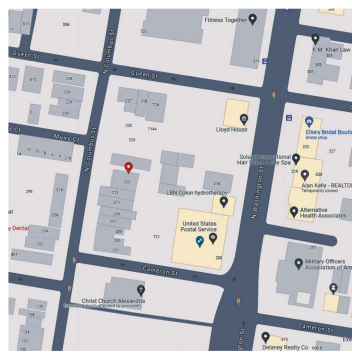
1. AIR BARRIER AND THERMAL BARRIER - A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
2. CEILING/ATTIC - THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.
3. WALLS - CAVITIES WITHIN CORNERS AND HEADERS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A MINIMUM THERMAL RESISTANCE OF R-3 PER INCH. THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.
4. WINDOWS, SKYLIGHTS AND DOORS - THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.
5. RIM JOISTS - RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR BARRIER.
6. FLOORS (INCLUDING ABOVE-GARAGE AND CANTILEVERED FLOORS) - INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.

ABBREVIATION KEY

AB - AS BUILT	CRS - COURSE	GYP - GYPSUM	PNL - PANEL
ABV - ABOVE	CSMT - CASEMENT	H - HIGH	PL - PROPERTY LINE
AC - ABOVE COUNTER	CT - COUNTERTOP	HH - HANDHELD	PTD - PAINTED
AD - AREA DRAIN	CTR - CENTER	HB - HOSE BIB	REC'D - RECESSED
ADJ - ADJUSTABLE	D - DEEP	HDWR - HARDWARE	REF - REFRIGERATOR
AFF - ABOVE FINISHED FLOOR	DBL - DOUBLE	HPIC - HEAT PUMP/ CONDENSER	RENO - RENOVATED
AFG - ABOVE FINISHED GRADE	DEMO - DEMOLISHED	HWH - HOT WATER HEATER	RFI - RIGID FOAM INSULATION
AH - AIR HANDLER	DIAM - DIAMETER	INT - INTERIOR	R+S - ROD + SHELF
AL - ALUMINUM	DR - DOOR	INSLD - INSULATED	S - SHELVES
AW - AREA WAY	DW - DISHWASHER	KIT - KITCHEN	SDL - SIMULATED DIVIDED LIGHT
BA - BEFORE	DWR - DRAWER	L - LONG	SIM - SIMILAR
BAB - BOARD-BATTEN	DWH - HOT WATER ON DEMAND	LAV - LAVATORY	SK - SCHEMATIC
BC - BELOW COUNTER	EA - EACH	LBW - LOAD BEARING WALL	TEMP - TEMPERED
BD - BOARD	ELEV - ELEVATION	LVL - LAMINATED VENEER LUMBER	SQ - SQUARE
BDRM - BEDROOM	ENCL - ENCLOSURE	MC - MEDICINE CABINET	STL - STEEL
BE - BASEMENT EGRESS	EQ - EQUAL	MLDG - MOLDING	SST - STAINLESS STEEL
BR - BRUSHED	EPB - ELECTRIC PANEL BOX	MT - MARBLE THRESHOLD	T - TREAD
BS - BACK SPLASH	EXT - EXTERIOR	T+G - TONGUE +GROOVE	TTL - TOTAL
BEV CTR - BEVERAGE CENTER	EXSTG - EXISTING	MTL - MATERIAL	TBD - TO BE DECIDED
CAB - CABINET	EXP - EXPOSED	MW - MICROWAVE	TEMP - TEMPERED
CATV - CABLE TV	FDN - FOUNDATION	NOM - NOMINAL	TYP - TYPICAL
CH - CHROME	FIN - FINISHED	N - NEW	UCL - UNDER CABINET LIGHTS
CL - CLOSET	FOB - FACE OF BLDG	NA - NOT APPLICABLE	UPR - UPPER
CLG - CEILING	FTG - FOOTING	NTS - NOT TO SCALE	W - WIDE
CMU - CONCRETE MASONRY UNIT	FLR - FLOOR	OPNG - OPENING	W - WITH
CO - CASED OPENING	GC - GENERAL CONTRACTOR	OPP - OPPOSITE	WC - WATER CLOSET
CONC - CONCRETE	GD - GARBAGE DISPOSAL	P - PANTRY/POWDER	WD - WOOD
COND - CONDENSER	GL - GLASS		

DRAWING LIST

- GENERAL
CS COVER SHEET
- SPECIFICATIONS
SP 1 SPECIFICATIONS 1
SP 2 SPECIFICATIONS 2
SP 3 SPECIFICATIONS 3
- SITE
SITE 1 EXSTG SITE PLAN
SITE 2 PROPOSED SITE PLAN
SITE 3 EXTERIOR PHOTOS OF EXISTING HOUSE
- DEMOLITION
AD 101 DEMO FOUNDATION + 1ST FLOOR PLAN
AD 102 DEMO 2ND FLR + ROOF PLAN
AD 103 DEMO EAST, WEST + SOUTH ELEVATIONS
AD 104 DEMO AT BUILDING SECTION
- ARCHITECTURAL
A 101 NEW FOUNDATION + 1ST FLOOR PLAN
A 102 NEW 2ND + ROOF FLOOR PLAN
A 103 NEW KITCHEN REFLECTED CEILING PLAN
A 201 NEW EAST ELEVATION
A 202 NEW BUILDING SECTIONS
A 203 WALL SECTIONS
A 301 NEW FOUNDATION + KITCHEN PLAN
A 302 RENOVATED BATHROOM PLAN W/ INTERIOR ELE
A 303 NEW KITCHEN INTERIOR ELEVATIONS
A 401 DOOR, WINDOW + ROOM FINISH SCHEDULE
- STRUCTURE
S 100 STRUCTURAL PLANS
- MECHANICAL
M 100 MECHANICAL PLANS
- ELECTRICAL
E 100 ELECTRICAL SPECS, NOTES + SCHEDULES
E 101 ELECTRICAL LIGHTING + POWER PLANS
- PLUMBING
P 100 PLUMBING FLOOR PLANS



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No.	Description	Date
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	BAR SUBMISSION	05.02.24
	PERMIT APPROVAL SUBMISSION	

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ADDITION + RENOVATION

COVER SHEET

NOTE: ORIGINAL SET IS ON 24" X 36".
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Project number	AR.M.12.23
Date	04.12.24
Drawn by	CI
Checked by	CC

CS

Scale

7.0 THERMAL AND MOISTURE PROTECTION

7.01 SILL SEAL - 1/2" X 3 1/2" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR SILL PLATES.

A. WALLS - R-15 MINIMUM 3 5/8" BATT INSULATION WITH KRAFT PAPER FACE VAPOR BARRIER, UNLESS OTHERWISE NOTED. PROVIDE 3/4" R-13 BLANKET INSULATION IN ALL EXTERIOR FRAME WALLS THAT ARE 4" THICK. PROVIDE 8" R-19 BLANKET INSULATION IN ALL 8" EXTERIOR FRAME WALLS, AND ANY FLOOR AREA EXPOSED TO THE ELEMENTS OR BELOW STORAGE ROOM. PROVIDE R-13 BATT INSULATION IN ALL FURRED OUT BASEMENT WALLS.

B. CEILING AT ROOF - R-49 FIBERGLASS BATT WITH KRAFT PAPER FACE VAPOR BARRIER, OR BELOW INSUL. WITH R-49 MIN.

C. CRAWL SPACES - AND OTHER FLOORS EXPOSED TO UNHEATED SPACES BELOW, R-19 FIBERGLASS BATT WITH KRAFT PAPER FACE VAPOR BARRIER.

D. PERIMETER SLAB - INSULATION TO BE RIGID EXTERIOR GRADE, MINIMUM R-7 EXTENDING 2'-0" VERTICALLY AND 2'-0" HORIZONTALLY. MINIMUM PERIMETER INSULATION TO BE EXTRUDED POLYSTYRENE CLOSED CELL.

E. VAPOR BARRIERS - TO FACE WARM SIDE OF SPACE (INTERIOR) UNLESS NOTED OTHERWISE ON DRAWINGS.

7.03 ROOFING

A. SHINGLES - 23# ASPHALT OR 21# FIBERGLASS SHINGLES CLASS 'C' OR BETTER ON 1# ROOFING FELT ON SLOPES OF 4' TO 12' OR GREATER, ON SLOPES LESS THAN 4' TO 12' BUT GREATER THAN 2' TO 12' PROVIDE DOUBLE COVERAGE ASPHALT/FIBERGLASS SHINGLES ON TWO LAYERS 1# ROOFING FELT. SHINGLES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND APPLICABLE BUILDING CODES.

B. VALLEY FLASHING - OPEN VALLEYS SHALL BE FLASHED WITH MIN. NO. 28 GAUGE GALVANIZED CORROSIONRESISTANT SHEET METAL AND SHALL EXTEND MINIMUM 8" FROM CENTER LINE EACH WAY. CLOSED VALLEY FLASHING SHALL BE TWO LAYERS 90# MINERAL SURFACED CAP SHEET WITH BOTTOM CEMENTED TOGETHER. CLOSED VALLEYS MAY ALSO BE OF 36" WIDE FOIL ROOFING MATERIAL NOT LESS THAN NO. 50 IN THE VALLEY OVER THE UNDERLAYMENT.

C. RIDGE FLASHING - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.

D. ROOF EDGE - PROVIDE NON-CORROSIVE ALUMINUM DRIP EDGE FLASHING AT ROOF EDGE.

E. BUILT UP ROOFING - TO BE DETAILED ON DRAWINGS AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

F. ROOFING AND SHEET METAL - INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARDS AND DETAILS ESTABLISHED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. "SMACNA" - REFER TO CURRENT EDITION APPROVED BY ARLINGTON CO,VA FOR SPECIFIC DETAIL INFORMATION.

7.04 EXTERIOR WALLS

A. FLASHING - TO BE NON-CORROSIVE ALUMINUM OR COPPER PROVIDED AT TOPS AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER TO BE LEAKPROOF. REFER TO STANDARDS AND DETAILS ESTABLISHED BY THE SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. "SMACNA", CURRENT EDITION APPROVED BY ARLINGTON CO,VA.

B. FLASH AND COUNTER FLASH - ALL ROOF TO WALL CONDITIONS. MINIMUM NO. 26 GAUGE CORROSION RESISTANT ALUMINUM STEP FLASHING AS REQUIRED TO MAINTAIN MINIMUM HEIGHT.

C. FLASH ALL EXTERIOR OPENINGS AND ALL BUILDING CORNERS WITH APPROVED WATERPROOF BUILDING PAPER TO EXTEND AT LEAST 4" BEHIND WALL COVERING.

D. FLASH AND CAULK - WOOD BEAMS AND OTHER PROJECTIONS THROUGH EXTERIOR WALLS ON ROOF SURFACES.

E. EXTERIOR SHEATHING - 7/16" O.S.B. SHEATHING INSTALLED PER MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON DRAWINGS.

F. CAULKING / SEALANT - AS SELECTED BY BUILDER (OWNER) - SUBMIT PRODUCT LITERATURE TO ARCHITECT FOR APPROVAL.

G. FLASHING - WHEN VENEER OF BRICK, CLAY, TILE, CONCRETE OR NATURAL OR ARTIFICIAL STONE ARE USED, 20 MIL PLASTIC FLASHING SHALL BE ATTACHED TO THE SHEATHING WHEREVER NECESSARY TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.

H. ROUGH CARPENTRY CONTRACTORS SHALL SEAL WITH CONSTRUCTION ADHESIVE. PLATES AT FLOOR AND CEILING AND CAULK ALL WINDOWS AND DOOR FLANGES / JAMBS AND ALL PANEL BUTT JOINTS PRIOR TO AND DURING ERECTION.

7.05 FIRESTOPPING - SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) IN THE FOLLOWING LOCATIONS:

A. ALL PIPES, DUCTS, VENTS, WIRING AND CHASES WHICH PENETRATE CEILINGS DIRECTLY BELOW A TRUSS OR ROOF ASSEMBLY SHALL BE FIRESTOPPED.

1. IN EXTERIOR OR INTERIOR STUD WALLS, AT CEILING AND FLOOR LEVELS AND SO PLACED THAT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACE IS NOT MORE THAN 10'-0"

2. BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND BETWEEN STUDS IN LINE WITH STAIR RUN.

3. SPACES BETWEEN CHIMNEYS AND WOOD FRAMING SHALL BE FILLED WITH LOOSE NONCOMBUSTIBLE MATERIAL (2" MIN. THICKNESS), PLACED IN NONCOMBUSTIBLE SUPPORTS TIGHTLY FITTED TO THE CHIMNEY.

4. OTHER LOCATIONS NOT MENTIONED ABOVE SUCH AS HOLES FOR PIPES, SLEEVES, BEHIND FRAMING STRIPS AND OTHER SIMILAR PLACES WHICH COULD AFFORD A PASSAGE FOR FLAMES.

B. FIRESTOPS - WHEN MADE OF WOOD, SHALL BE MINIMUM 2" NOMINAL THICKNESS AND MAY ALSO BE OF GYPSUM BOARD, MINERAL WOOL OR OTHER NONCOMBUSTIBLE MATERIAL.

C. DRAFTSTOPPING - PROVIDE DRAFTSTOPPING WHERE REQUIRED IN ACCORDANCE WITH APPLICABLE CODES.

7.06 SIDING - TO BE AS CALLED FOR ON DRAWINGS AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

7.07 - VENTILATION - PROVIDE ADEQUATE CROSS VENTILATION (MINIMUM AS REQUIRED BY CODE) FOR ALL CONCEALED ATTIC AND RAFTER SPACES. PROVIDE CROSS VENTILATION AS REQUIRED BY CODE FOR CRAWL SPACES.

7.08 GUTTER AND LEADERS - IF APPLICABLE, PREFINISHED ALUMINUM LEAD TO SPLASH BLOCKS.

7.09 ALL WOOD SHALL BE MINIMUM 8" ABOVE FINISH GRADE OR PRESSURE TREATED LESS THAN 8" ABOVE FINISH GRADE. ALL SIDING SHALL BE MINIMUM 6" ABOVE FINISH GRADE.

8.0 DOORS AND WINDOWS

A. EXTERIOR ENTRANCE DOORS - 1 3/4" SOLID WOOD CORE HOLLOW METAL MINIMUM 20 GAUGE FILLED WITH SOLID SLAB POLYSTYRENE INSULATION PERMANENTLY BONDED TO PANELS. PROVIDE 1 1/2" PAIR HINGES FOR DOORS UP TO 7'-2" IN HEIGHT AND 2 PAIR I HINGES FOR DOORS TO 8'-0" IN HEIGHT. FRAMES TO BE MINIMUM 16 GAUGE GALVANIZED STEEL. SEE DRAWINGS FOR RAISED PANEL DESIGN. PROVIDE COMPLETE WEATHER STRIPPING AND METAL THRESHOLD.

B. GARAGE UNIT DOORS - IF APPLICABLE - TO BE METAL OR SOLID WOOD CORE 1 3/4", FIRE RATED.

C. INTERIOR DOORS - TO BE SOLID CORE WOOD WITH VENEER.

D. DOOR SIZES - REFER TO DOOR SCHEDULE.

8.1 WINDOWS - PER MECHANICAL ENERGY CODE REQUIREMENTS (LOW - E IF REQ'D)

A. GENERAL - GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS ENTRY DOORS AND SKYLIGHTS, SLIDING GLASS DOOR, SHOWER DOORS, TUB ENCLOSURES AND STORM DOORS SHALL BE FULLY TEMPERED IN ACCORDANCE WITH THE BOCA CODE. FIXED PANELS WITH AREA IN EXCESS OF 9 SQUARE FEET WITH THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISHED FLOOR OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING UNLESS A HORIZONTAL MEMBER NOT LESS THAN 1 1/2" WIDTH LOCATED BETWEEN 24" AND 36" ABOVE THE WALKED SURFACE SHALL BE FULLY TEMPERED. SEE BOCA FOR EXCEPTIONS TO HAZARDOUS LOCATIONS, IF APPLICABLE.

B. WEATHER PROOFING - ALL SLIDING, SWINGING DOORS AND WINDOWS OPENING TO THE EXTERIOR SHALL BE FULLY WEATHER-STRIPPED, CAULKED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION. PROVIDE MAXIMUM AIR INFILTRATION AS FOLLOWS:

1. WINDOWS SHALL HAVE AN AIR INFILTRATION RATE OF LESS THAN 0.5 CFM PER SQUARE FOOT OF SUCH CRACK.

2. SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF LESS THAN 0.5 CFM PER SQUARE FOOT OF DOOR AREA.

PROVIDE FLASHING AS PER SMACNA AT ALL WINDOW HEADS.

C. EMERGENCY EGRESS - EVERY SLEEPING ROOM BELOW THE FOURTH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR FOR EMERGENCY EGRESS OR RESCUE. EGRESS WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISHED FLOOR AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND MINIMUM OPENING WIDTH OF 20". GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.

D. ALL OPERABLE WINDOWS - SHALL HAVE NONCORROSIVE SCREENS AND SASH LOCKS.

9.0 FINISHES

A. GYPSUM WALL BOARD - SHALL BE INSTALLED IN ACCORDANCE WITH U.S. GYPSUM RECOMMENDATIONS AND SHALL MEET THE REQUIREMENTS OF BOCA AND OTHER APPLICABLE CODES. TYPICAL INTERIOR PARTITIONS TO HAVE 1/2" TAPERED EDGE TAPED AND FINISHED. PROVIDE 58" TYPE "X" FIRE RATED GYPSUM BOARD AT WALL AND CEILINGS WHERE CALLED FOR ON THE DRAWINGS.

B. GYPSUM WALLBOARD - SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED.

C. SUPPORT - ALL EDGES AND ENDS OF GYPSUM BOARD SHALL OCCUR ON FRAMING MEMBERS EXCEPT THOSE EDGES PERPENDICULAR TO FRAMING MEMBERS.

D. MOISTURE RESISTANT GYPSUM BOARD - PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND WHEREVER MOISTURE CONDITIONS CAN EXIST.

E. J BEAD - SHOULD BE USED WITH MOISTURE RESISTANT GYPSUM BOARD AND WHEREVER MOISTURE CONDITIONS CAN EXIST.

F. INTERIOR FINISH SCHEDULE SHALL TAKE PRECEDENCE OVER THE FOLLOWING.

G. CERAMIC TILE - CERAMIC TILE SHALL BE 4 1/2" X 4 1/4" GLAZED TILE, THIN SET APPLICATION ON MOISTURE RESISTANT DRYWALL. PROVIDE BASE AND MISCELLANEOUS TRIM THE COLOR AS SELECTED BY OWNER. PROVIDE MARBLE THRESHOLD FOR TRANSITION BETWEEN CERAMIC FLOOR TILE AND OTHER FLOOR FINISHES. FLOOR TILE SHALL BE NON-SLIP. TILE BY OWNER GROUT - COMMERCIAL WATERPROOF GROUT CEMENT.

H. RESILIENT FLOORING - SHALL BE SHEET VINYL OR VINYL COMPOSITION TILE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

I. UNDERLAYMENT - PROVIDE SUITABLE FLOOR UNDERLAYMENT FOR ALL CERAMIC TILE AND RESILIENT FLOORING.

J. PAINT INTERIOR

CEILINGS - LATEX FLAT, 2 COATS
WALLS - LATEX FLAT, 2 COATS
TRIM - LATEX SEMI-GLOSS, 2ND COAT BRUSH APPLIED OVER ONE COAT FLAT.
KITCHEN AND BATHROOMS
CEILING - LATEX EGG SHELL, 2 COATS
WALLS - LATEX EGG SHELL, 2 COATS

K. PAINT EXTERIOR
TRIM - LATEX, 1 COAT PRIME, 1 COAT FINISH
10.0 SPECIALTIES

A. BATH VANITIES - AS SELECTED BY BUILDER (OWNER).

B. BATH FIXTURES - AS SELECTED BY BUILDER (OWNER).

11.0 EQUIPMENT - GAS VENTED FIREPLACE BY OWNER

12.0 FURNISHINGS - NONE

13.0 SPECIAL CONSTRUCTION - NONE

14.0 CONVEYING SYSTEMS - NONE

15.0 MECHANICAL - SEE M SHEETS

A. H.V.A.C. KITCHEN AND BATH VENTILATION METAL DUCTS TO EXTERIOR WHERE INDICATED AND/OR REQUIRED BY APPLICABLE CODES. COMPLETE INSTALLATION CIRCULATING AIR COMBUSTION TO MEET ALL REQUIREMENTS OF THE MANUFACTURER AND THE STATE.

16.0 PLUMBING

A. SANITARY: COLD AND HOT WATER: AND ALL OTHER PIPING SHALL CONFORM TO THE REQUIREMENTS LOCAL AND THE STATE.

B. PROVIDE MINIMUM 18" WALKING SPACE IN FRONT OF ALL PLUMBING FIXTURES IN BATHROOM AND 14" X 30" ACCESS PANEL AT TUB CONNECTIONS UNLESS OTHERWISE NOTED. ALL SHOWER STALLS SHALL HAVE A MINIMUM FINISHED AREA OF 1024 SQUARE INCHES WITH A MINIMUM OF 15" FROM WALL TO CENTERLINE OF FIXTURE.

17.0 ELECTRICAL

A. ELECTRICAL SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE LOCAL REGULATIONS. OBTAIN ALL PERMITS AND PAY FEES REQUIRED BY THIS WORK. HAVE THE INSTALLATION INSPECTED AND APPROVED BY THE INSPECTION AGENCY OF THE FIRE UNDERWRITERS ASSOCIATION. SUBMIT A CERTIFICATE OF FINAL APPROVAL BY THE INSPECTION AGENCY UPON COMPLETION. FIXTURES AND APPARATUS AS SELECTED BY BUILDER UNLESS OTHERWISE NOTED.

B. SMOKE DETECTORS - ARE REQUIRED AND SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN EACH SLEEPING ROOM, AND ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND CELLARS (IF APPLICABLE) BUT NOT IN UNINHABITABLE SPACES. ALL DETECTORS SHALL BE INTERCONNECTED, APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

GENERAL NOTES:

IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO NOTIFY THE ARCHITECT/ENGINEER.

IF DISCREPANCIES ARE FOUND ON THESE PLANS.

CONFLICTS SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER. FAILURE TO CONTACT THE ARCHITECT/ENGINEER IS AT THE CONTRACTORS OWN RISK.

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SPECIFICATIONS 3

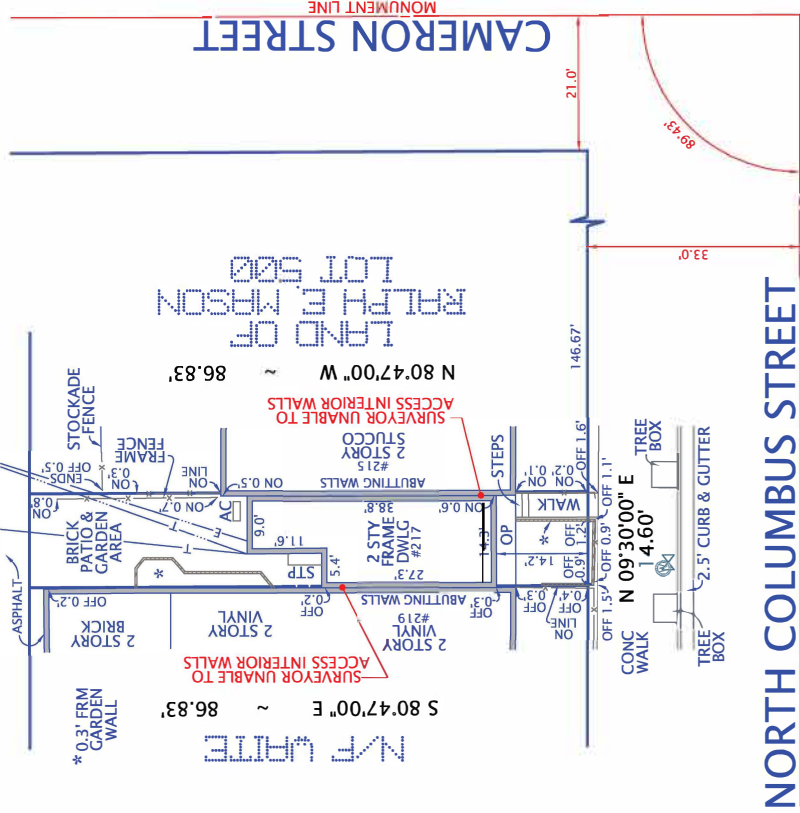
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Scale	

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10' ALLEY
S 09°30'00" W
14.60'



NORTH COLUMBUS STREET
MONUMENT LINE

PLAT
SHOWING HOUSE LOCATION ON
THE PROPERTY LOCATED AT
#217 NORTH COLUMBUS STREET
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20'
FEBRUARY 23, 2024
(INSTRUMENT NO: 0160000164)

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
A TITLE REPORT WAS NOT FURNISHED.
NO CORNER MARKERS SET.

Ordered by:

Cathleen
Curtin
Architects

601 Princess St.
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Fax: 703-836-8288



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Case Name: MacDONALD, TR. #60526001-1

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EXSTG
SITE PLAN

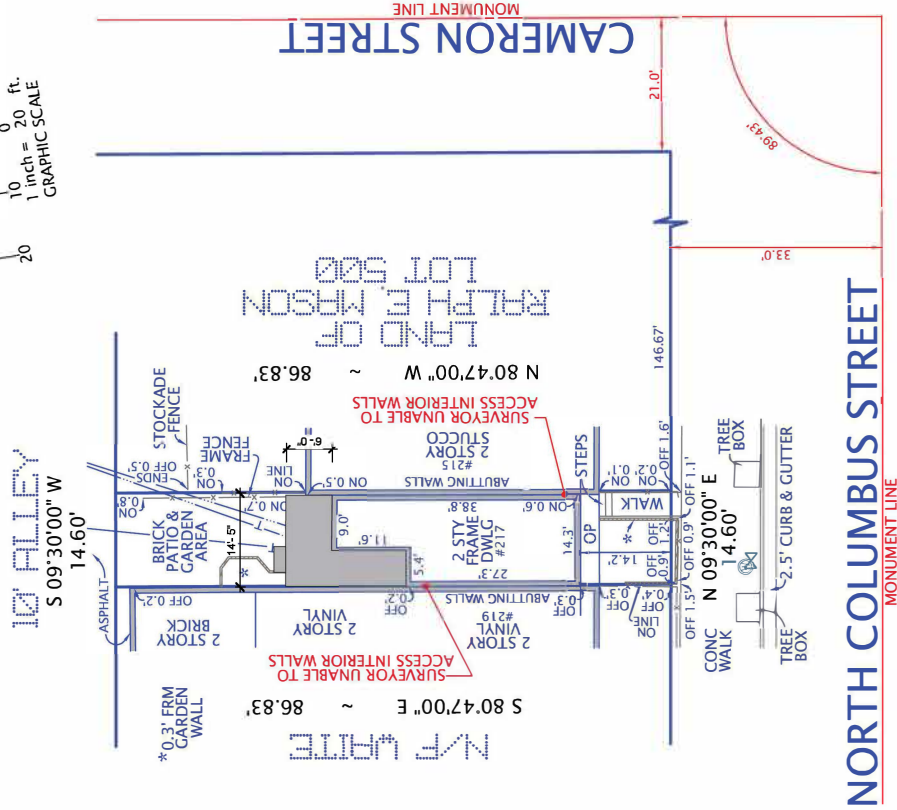
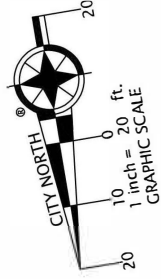
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Checked by	CC

SITE 1

Scale 1" = 10' 0"

NOTES: 1. FENCES ARE WROUGHT IRON UNLESS OTHERWISE NOTED.



PLAT
 SHOWING HOUSE LOCATION ON
 THE PROPERTY LOCATED AT
#217 NORTH COLUMBUS STREET
 (INSTRUMENT NO: 0160000164)
 CITY OF ALEXANDRIA, VIRGINIA
 SCALE: 1" = 20' FEBRUARY 23, 2024

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MACDONALD HOUSE ADDITION + RENOVATION

PROPOSED SITE PLAN

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SITE 2
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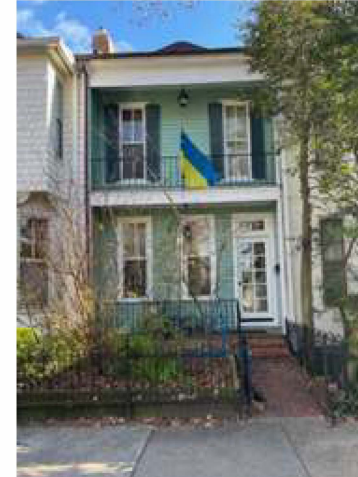
217
N COLUMBUS ST



215
N COLUMBUS ST

219
N COLUMBUS ST

VIEW FROM ADJACENT EAST PRIVATE PARKING LOT

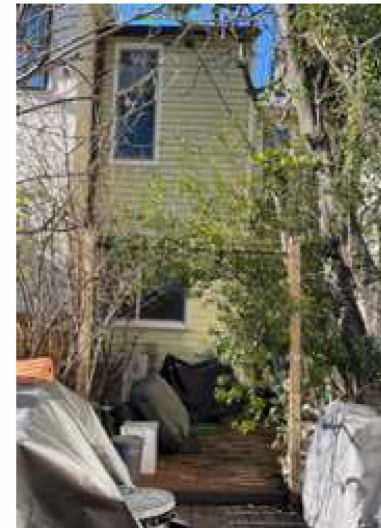


WEST ELEVATION VIEW, 217 N COLUMBUS ST

1ST LEVEL SIDING ,
WINDOWS + SIDE
DOOR W/ STOOP TO
BE REMOVED FOR A
PROPOSED 1 STORY
REAR ADDITION



CLOSE UP OF EAST ELEVATION AT REAR



EAST ELEVATION VIEW AT REAR

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MACDONALD HOUSE
ADDITION + RENOVATION

EXTERIOR PHOTOS
OF
EXISTING HOUSE

NOTE: ORIGINAL SET IS ON 24" X 36".
TO PRINT ON 11" X 17" SHEET CUSTOMIZE
THE PAGE LAYOUT TO 50% SCALE.

Project number AR.M.12.23

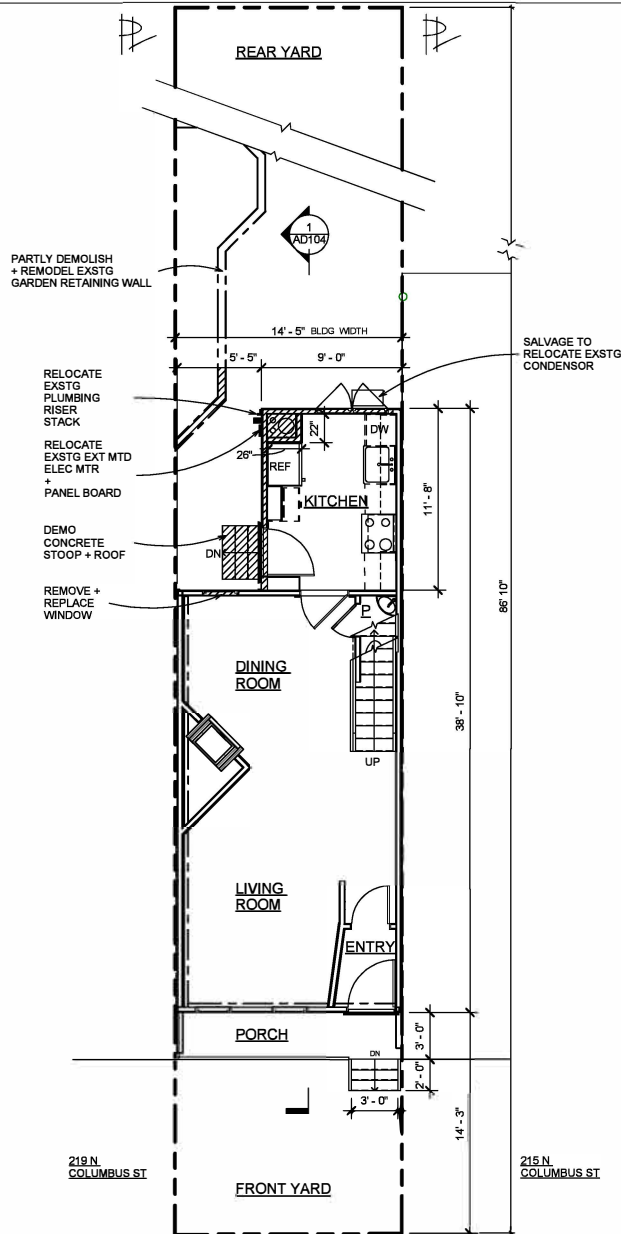
Date 03.29.24

Drawn by CI

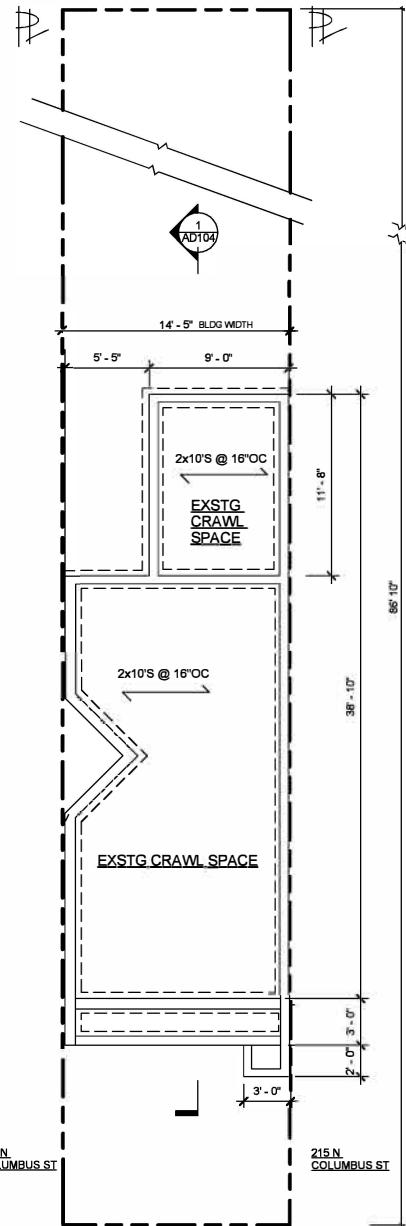
Checked by CC

SITE 3

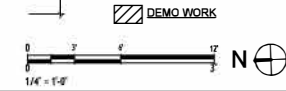
Scale



2 EXSTG FIRST FLOOR PLAN
1/4" = 1'-0"



1 EXSTG FOUNDATION PLAN
1/4" = 1'-0"



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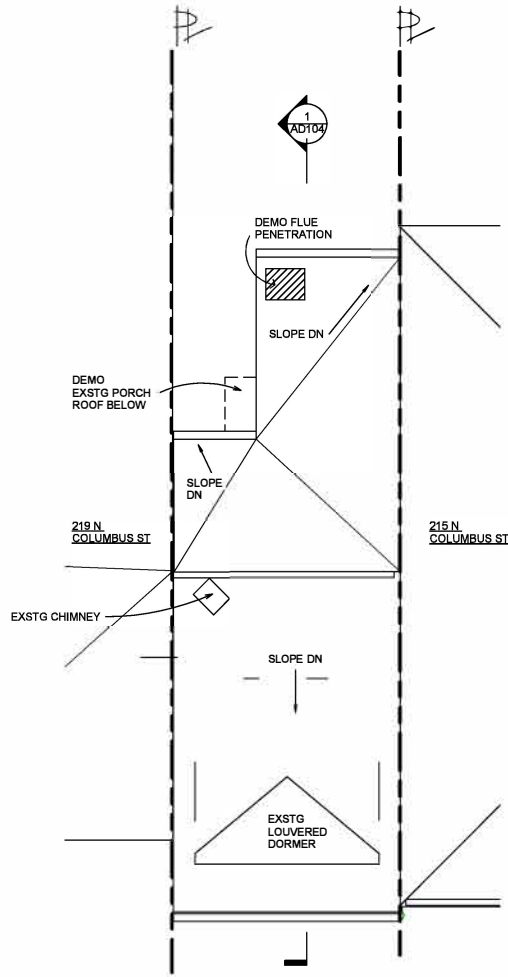
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DEMO
FOUNDATION
+
FIRST FLOOR
PLANS

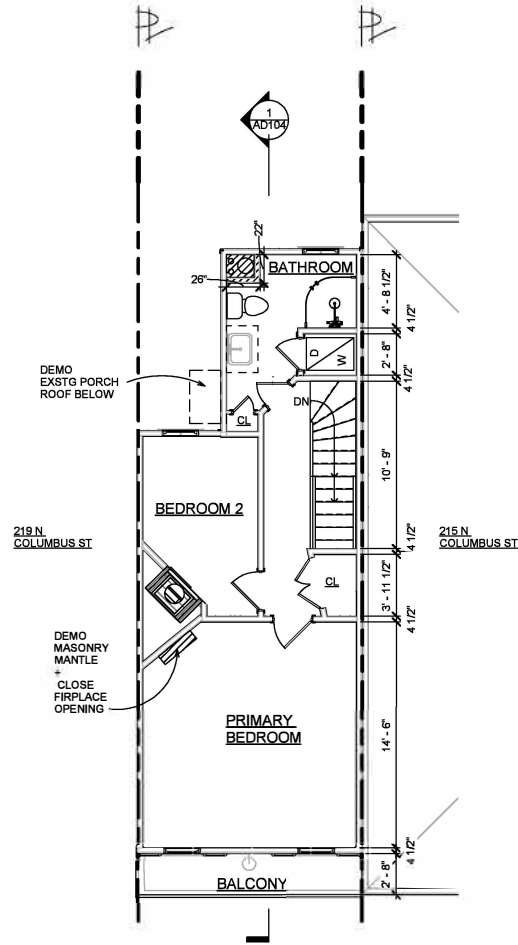
NOTE: ORIGINAL SET IS ON 24" X 36".
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Date	04.12.24
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AD101
S 1/4" = 1'-0"



2 EXSTG ROOF PLAN
1/4" = 1'-0"



1 EXSTG 2ND FLOOR PLAN
1/4" = 1'-0"

DEMOWORK



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DEMO
2ND FLOOR
+
ROOF
PLANS

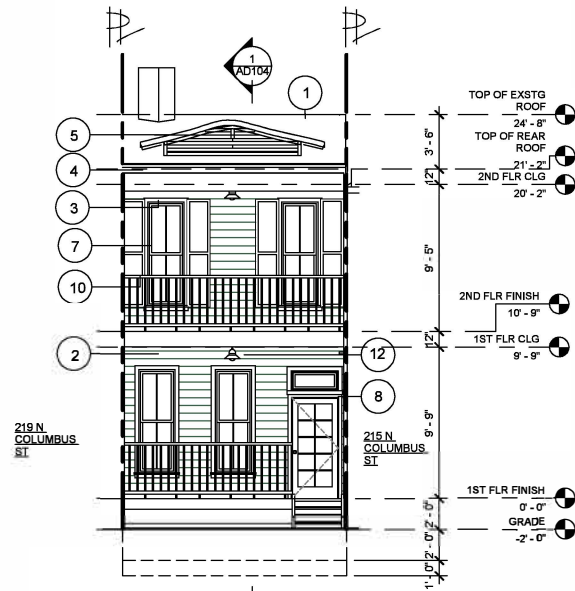
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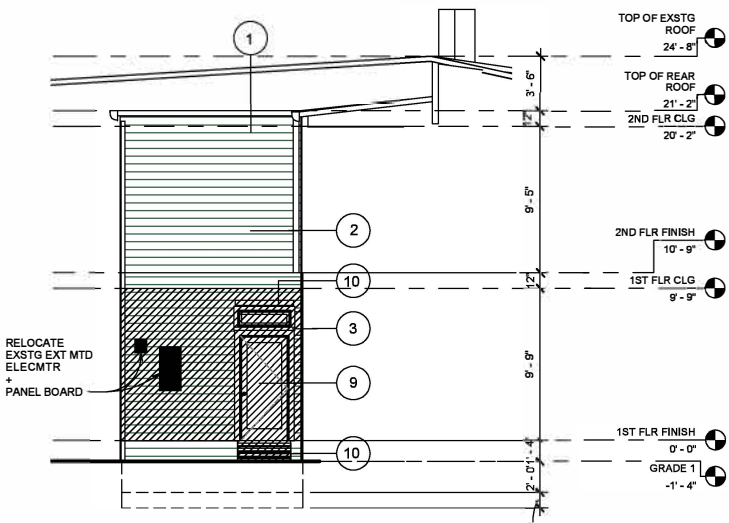
AD102
Scale 1/4" = 1'-0"

JAB02024.4.08.07 PM

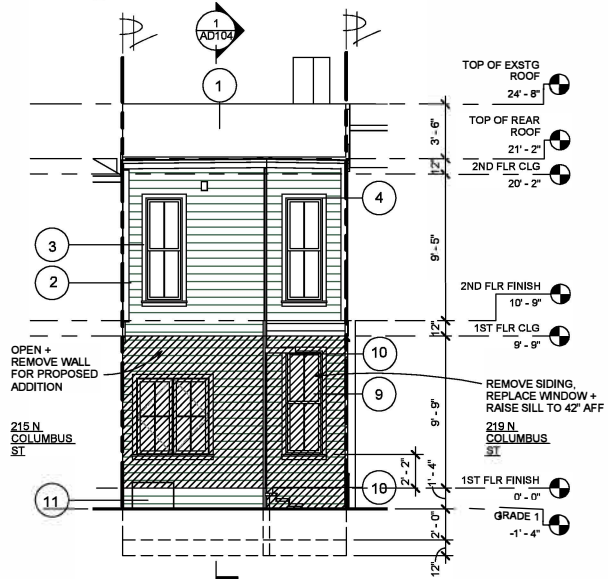
EXTERIOR #	MATERIAL FINISH SCHEDULE MATERIAL
1	EXSTG METAL ROOF
2	EXSTG DUTCHLAP SIDING 4.75" EXP
3	3/4" X 4" TRIM
4	3/4" X 8" WOOD FASCIA + RAKE BD
5	EXSTG GABLE LOUVER
5	BRICK
6	CMU FDTN WALL
7	EXSTG SHUTTERS
8	EXSTG FRONT DOOR W/ TRANSOM
9	EXSTG KITCHEN DOORS
10	EXSTG STEPS WITH PORCH ROOF
11	EXSTG HVAC CONDENSER TO BE RELOCATED
12	EXSTG EXTERIOR LIGHTS
13	NEW METAL ROOFING TO MATCH EXISTING
14	NEW CEDAR DUTCH LAP SIDING PRIMED + PAINTED
15	NEW 3/4" X 4" TRIM PRIMED + PAINTED
16	NEW 3/4" X 8" WOOD FASCIA + RAKE BD PRIMED + PAINTED
17	NEW BRICK + CMU FDTN WALL
18	NEW WINDOW AND DOOR
19	NEW COMPOSITE DECK
20	NEW ADDITION CONDENSER
21	EXISTING CHIMNEY
22	NEW GUTTERS + LEADERS



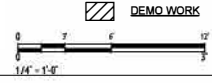
1 EXSTG WEST ELEVATION
1/4" = 1'-0"



3 EXSTG SOUTH ELEVATION
1/4" = 1'-0"



2 EXSTG EAST ELEVATION
1/4" = 1'-0"



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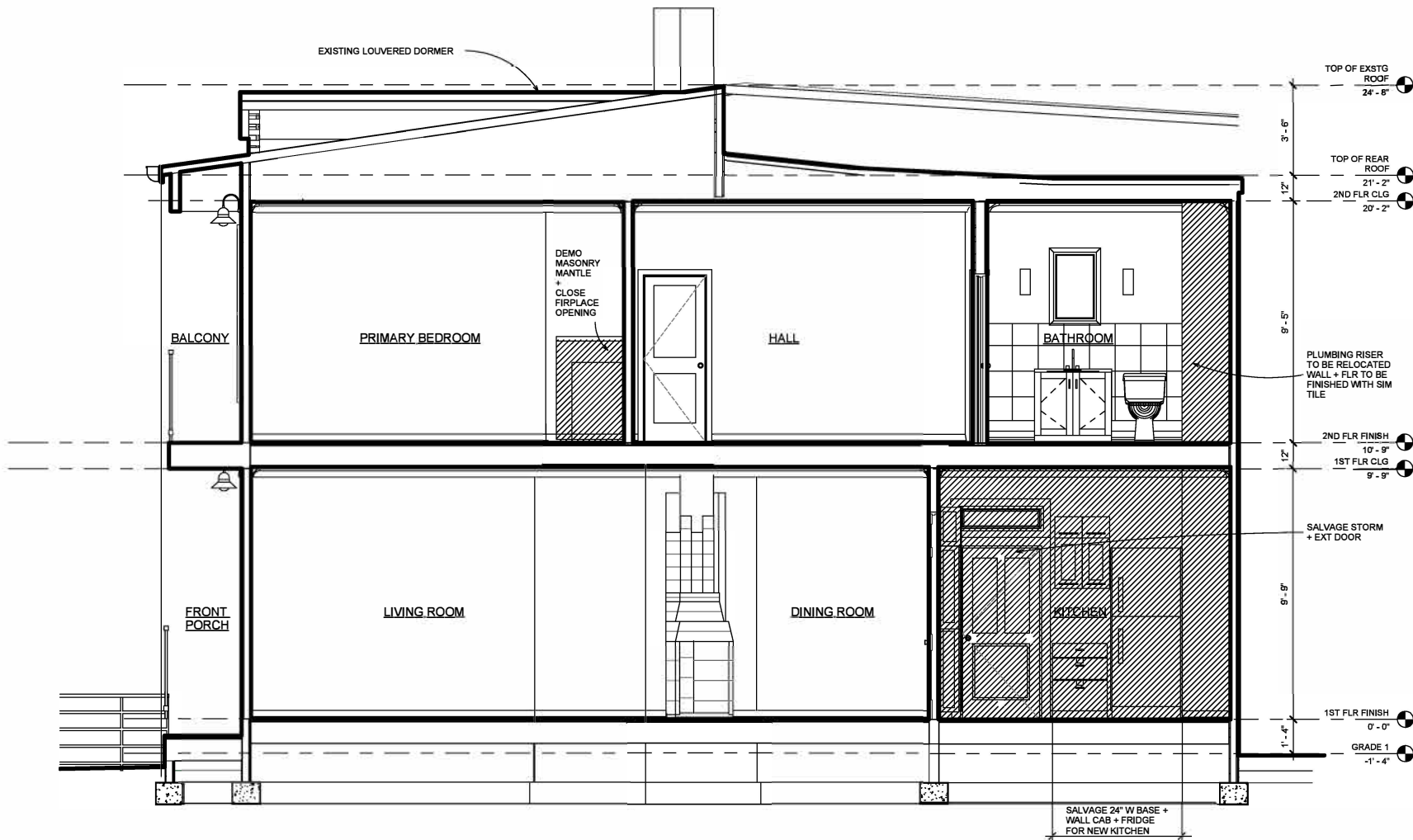
MACDONALD HOUSE
ADDITION + RENOVATION

DEMO
EAST
WEST
+
SOUTH
ELEVATIONS

NOTE: ORIGINAL SET IS ON 24" X 36",
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THE PAGE LAYOUT TO 50% SCALE.

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AD103
Scale 1/4" = 1'-0"



1 EXSTG BUILDING SECTION
1/2" = 1'-0"

DEMO WORK



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ADDITION + RENOVATION

DEMO
AT
BUILDING SECTION

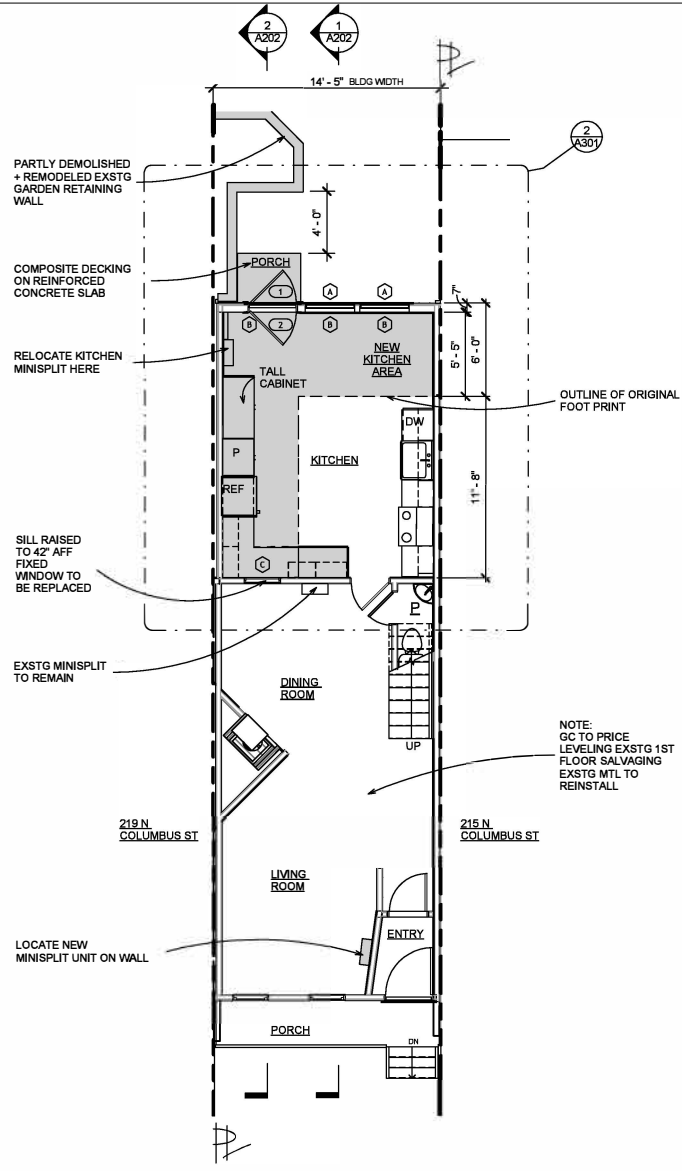
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THE PAGE LAYOUT TO 50% SCALE.

Project number	AR.M.12.23
Date	04.12.24
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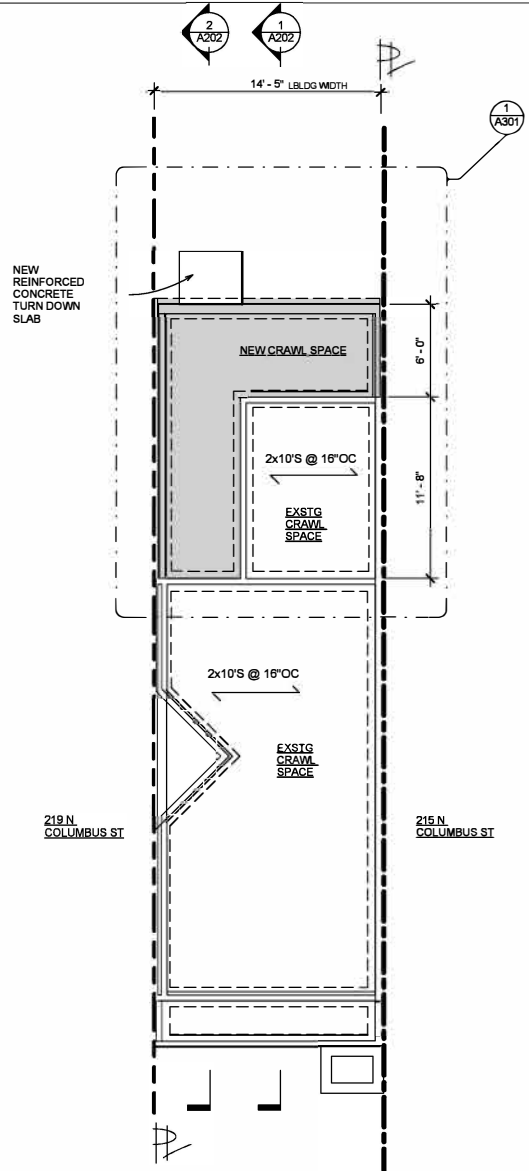
AD104

Scale 1/2" = 1'-0"

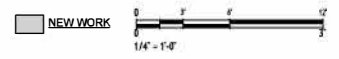
4/25/2024 4:08:59 PM



2 NEW FIRST FLOOR PLAN
1/4" = 1'-0"



1 NEW FOUNDATION PLAN
1/4" = 1'-0"



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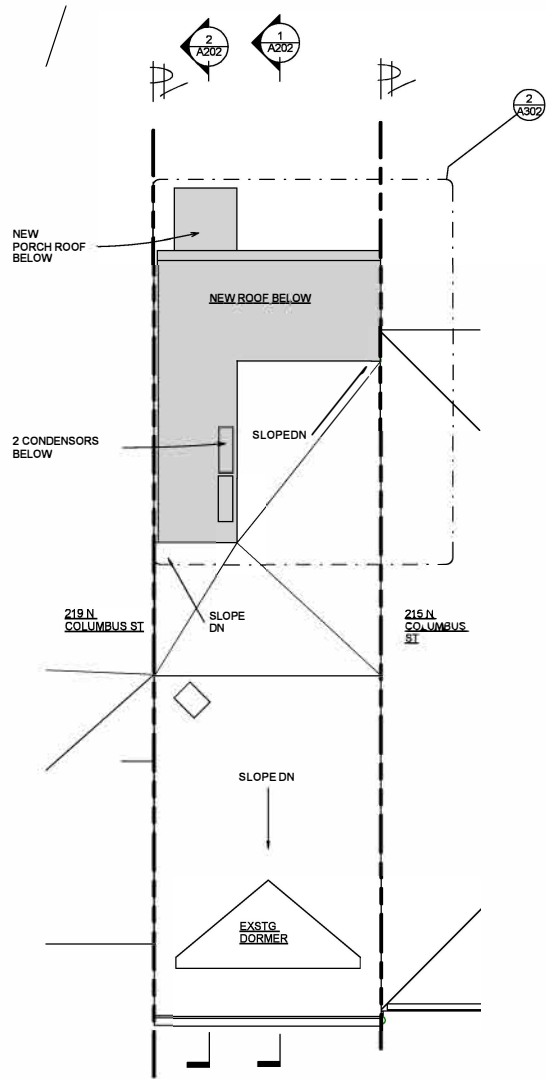
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ADDITION + RENOVATION

NEW
FOUNDATION
+
FIRST FLOOR
PLAN

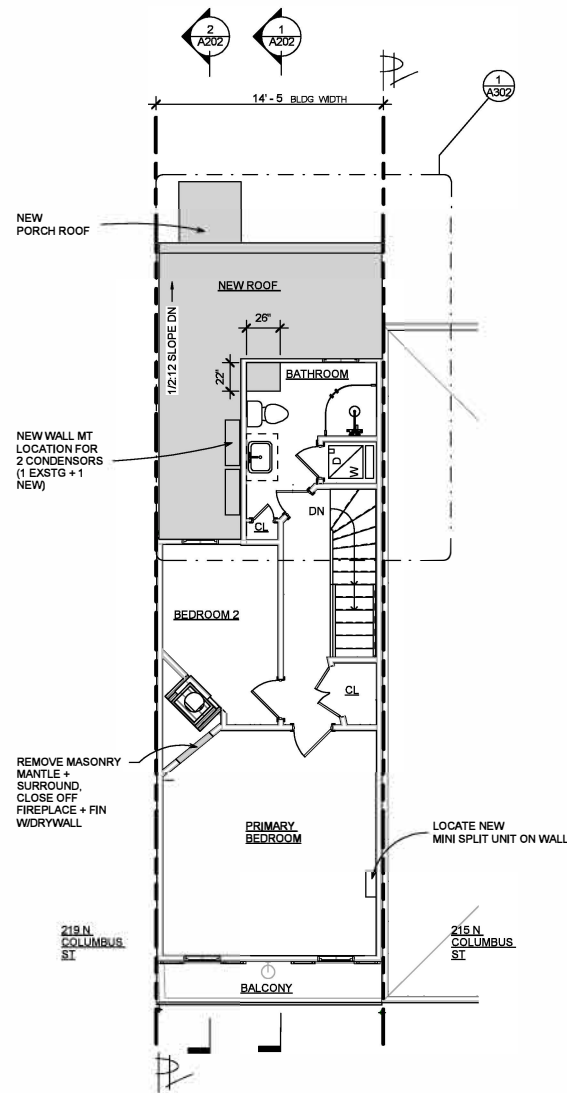
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Project number	AR.M.12.23
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A101
Scale 1/4" = 1'-0"



2 NEW ROOF PLAN
1/4" = 1'-0"



1 NEW 2ND FLOOR PLAN
1/4" = 1'-0"

NEW WORK



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NEW
2ND FLOOR
+
ROOF
PLAN

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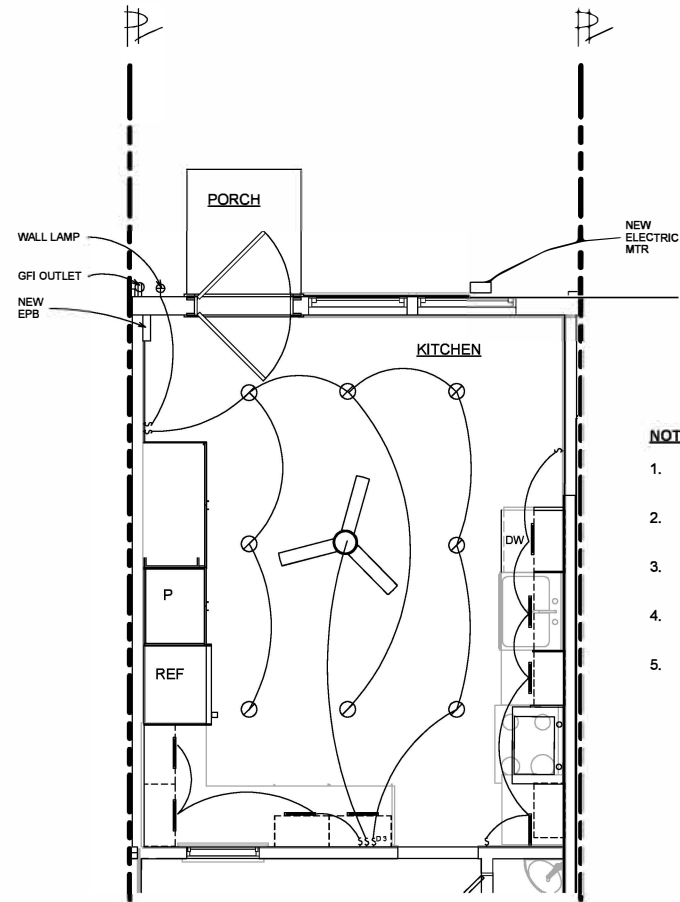
A102

Scale 1/4" = 1'-0"

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NOTES:

1. SALVAGE + REINSTALL EXISTING CLG FAN
2. MATCH EXSTG REC'D LIGHTS FOR NEW INSTALL
3. MATCH EXSTG UNDERCAB LIGHTS FOR NEW INSTALL
4. SWITCHES, OUTLETS + PLATES TO MATCH EXSTG
5. LED BULBS NOT TO EXCEED 3000K

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NEW KITCHEN
REFLECTED
CEILING PLAN

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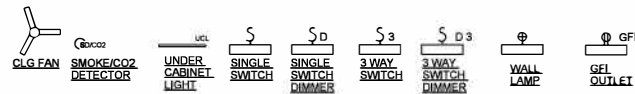
Project number	AR.M.12.23
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A103

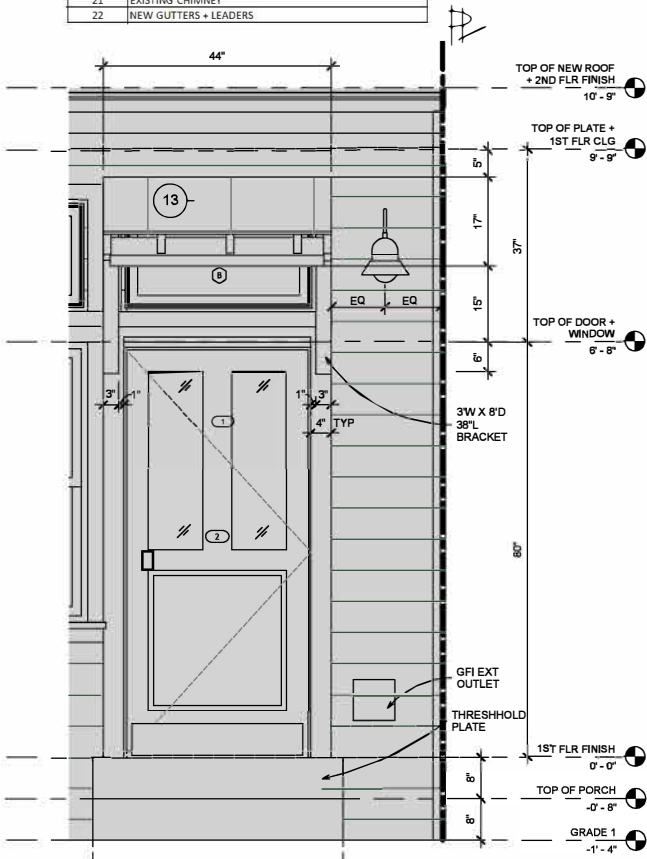
Scale 1/2" = 1'-0"

1 NEW KITCHEN RCP
1/2" = 1'-0"

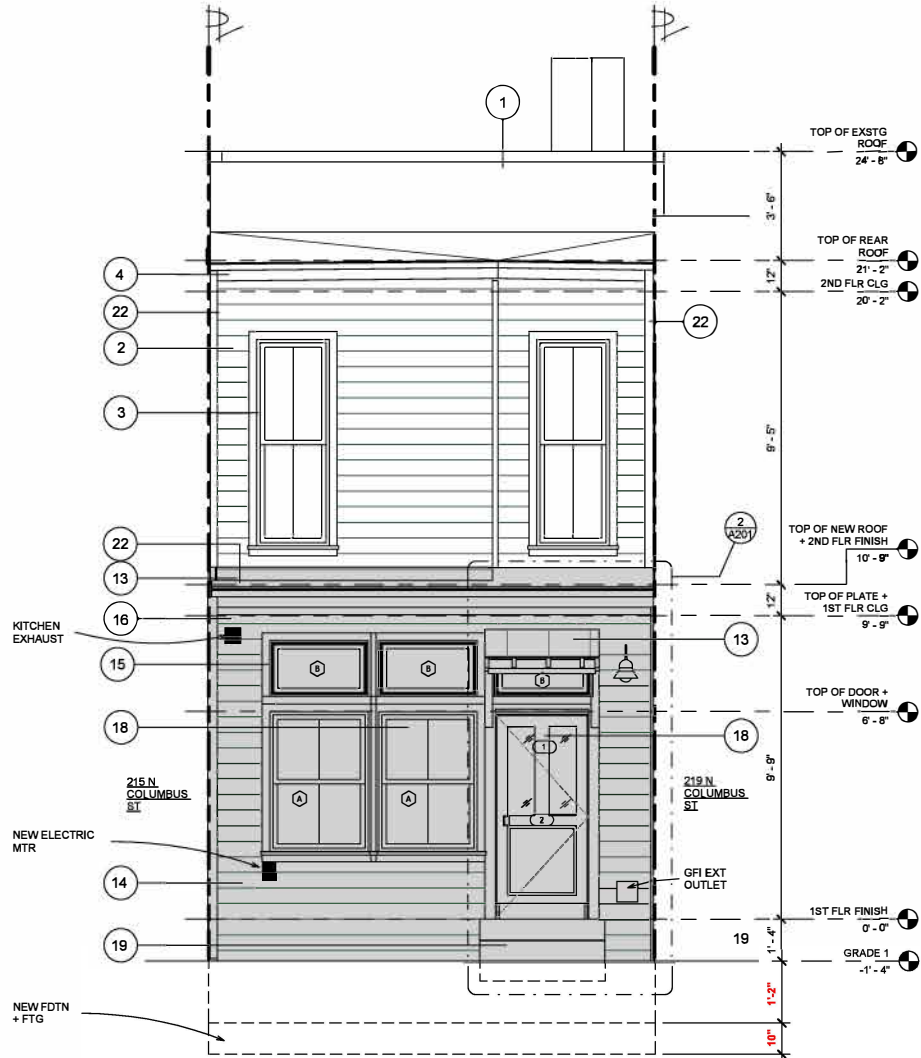
ELECTRICAL LEGEND



EXTERIOR #	MATERIAL FINISH SCHEDULE MATERIAL
1	EXSTG METAL ROOF
2	EXSTG DUTCHLAP SIDING 4.75" EXP
3	3/4" X 4" TRIM
4	3/4" X 8" WOOD FASCIA + RAKE BD
5	EXSTG GABLE LOUVER
5	BRICK
6	CMU FDTN WALL
7	EXSTG SHUTTERS
8	EXSTG FRONT DOOR W/ TRANSOM
9	EXSTG KITCHEN DOORS
10	EXSTG STEPS WITH PORCH ROOF
11	EXSTG HVAC CONDENSER TO BE RELOCATED
12	EXSTG EXTERIOR LIGHTS
13	NEW METAL ROOFING TO MATCH EXISTING
14	NEW CEDAR DUTCH LAP SIDING PRIMED + PAINTED
15	NEW 3/4" X 4" TRIM PRIMED + PAINTED
16	NEW 3/4" X 8" WOOD FASCIA + RAKE BD PRIMED + PAINTED
17	NEW BRICK + CMU FDTN WALL
18	NEW WINDOW AND DOOR
19	NEW COMPOSITE DECK
20	NEW ADDITION CONDENSER
21	EXISTING CHIMNEY
22	NEW GUTTERS + LEADERS



2 DOOR + ROOF ELEVATION DETAIL
1/2" = 1'-0"



1 NEW EAST ELEVATION
1/2" = 1'-0"

NEW WORK



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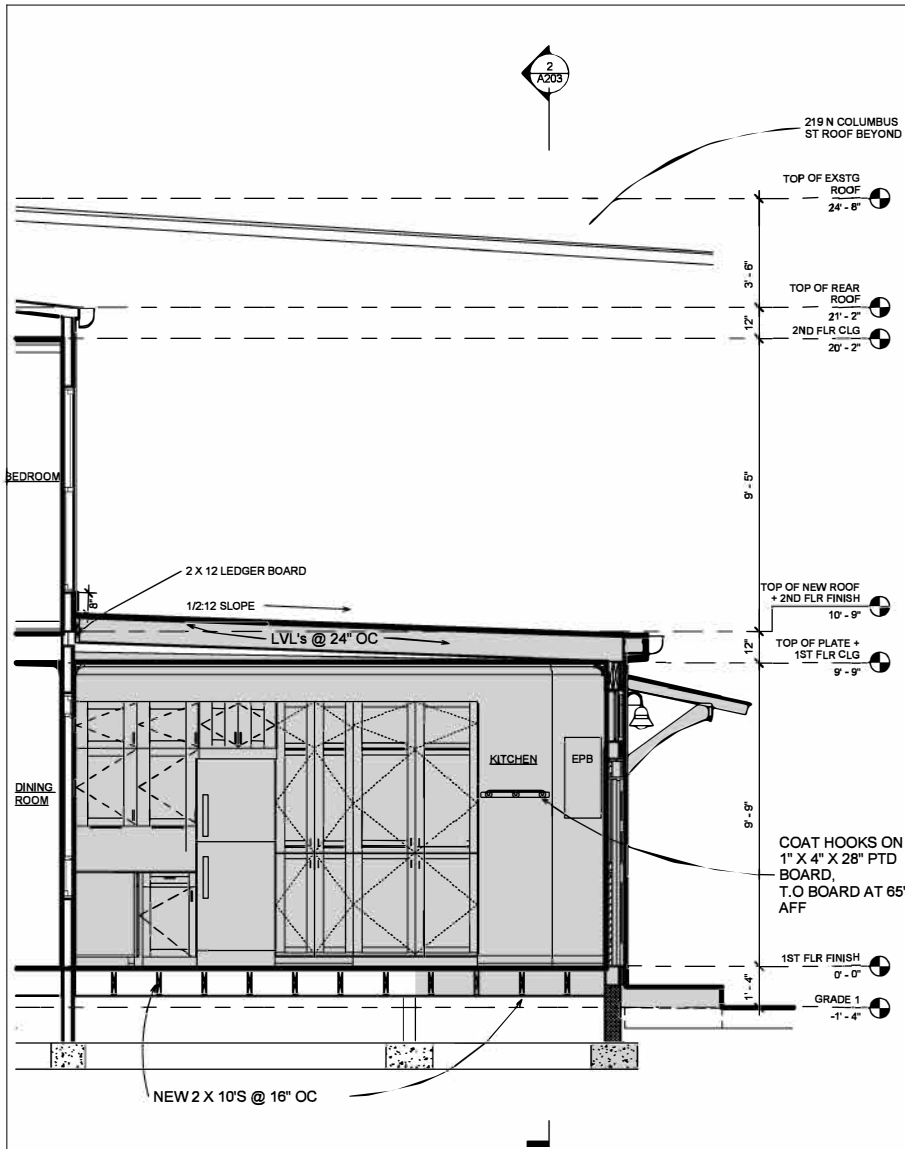
NEW
EAST ELEVATION
+
ELEVATION
DETAIL

NOTE: ORIGINAL SET IS ON 24" X 36".
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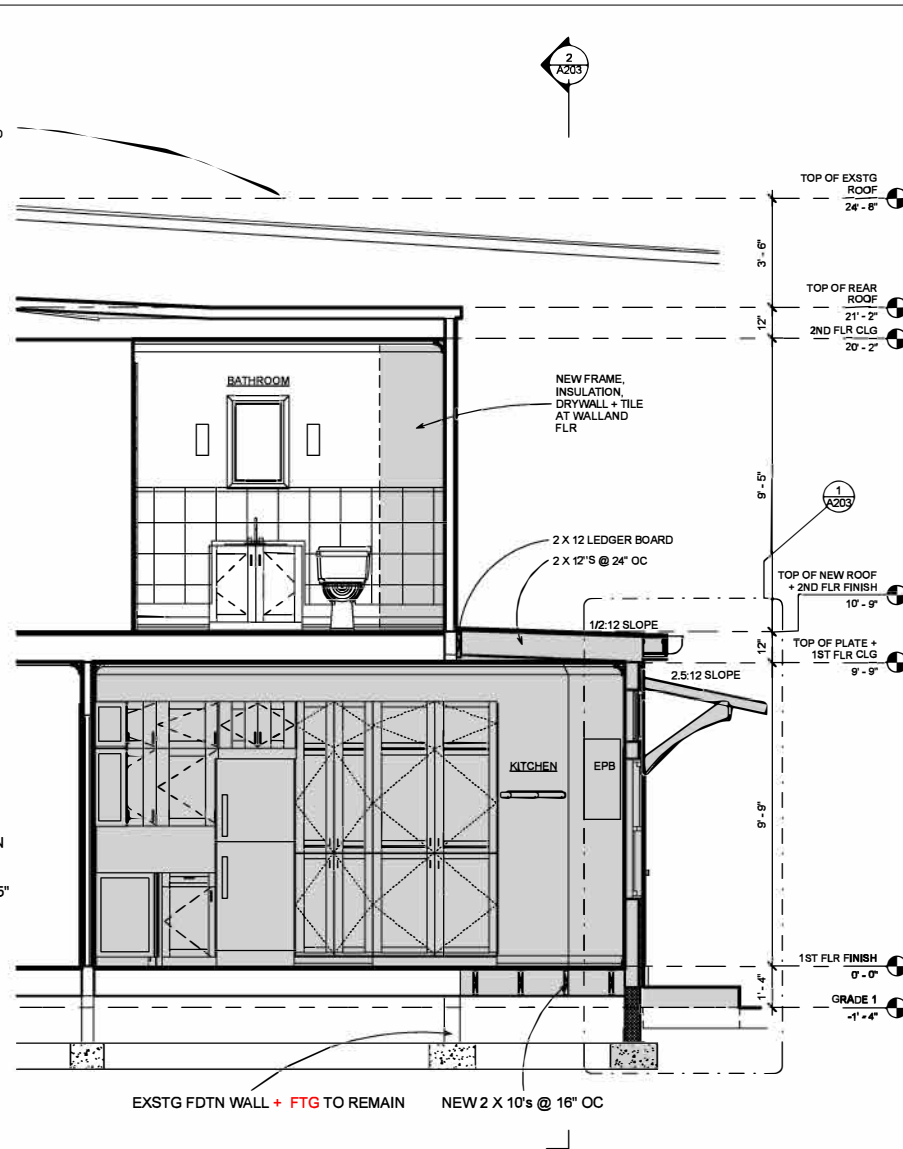
Project number	AR.M.12.23
Date	04.12.24
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A201

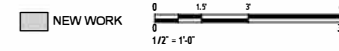
Scale As indicated



2 NEW BUILDING SECTION
1/2" = 1'-0"



1 NEW BUILDING SECTION
1/2" = 1'-0"



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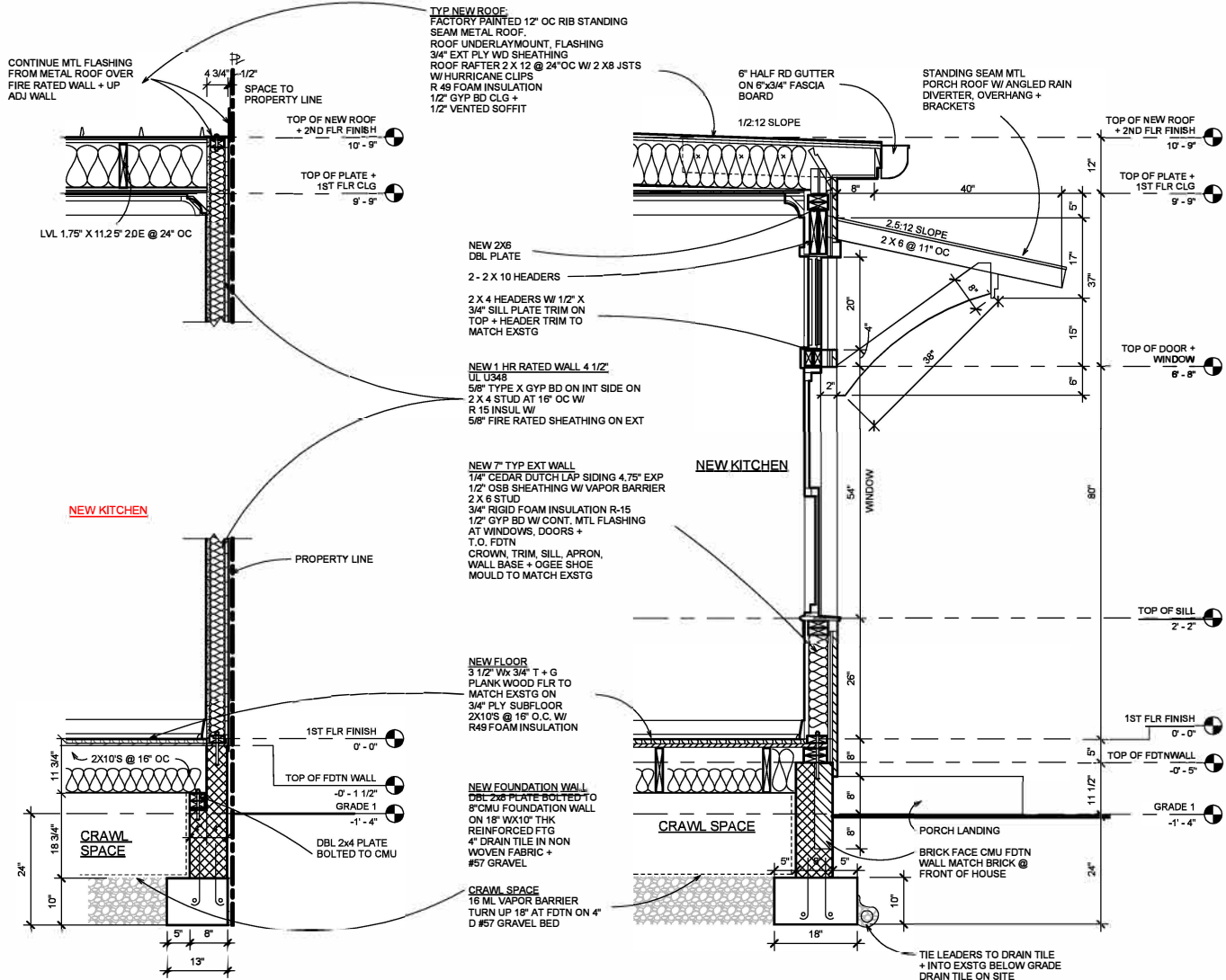
NEW BUILDING
SECTIONS

NOTE: ORIGINAL SET IS ON 24" X 36".
TO PRINT ON 11" X 17" SHEET CUSTOMIZE
THE PAGE LAYOUT TO 50% SCALE.

Project number AR.M.12.23
Date 04.12.24
Drawn by CI
Checked by CC

A202

Scale 1/2" = 1'-0"



2 DETAILED 1 HR RATED WALL SECTION
 1/2" = 1'-0" **UL U348 @ NORTH + SOUTH WALL**

1 DETAILED EAST WALL SECTION
 1" = 1'-0"



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WALL SECTION

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A203

Scale As indicated

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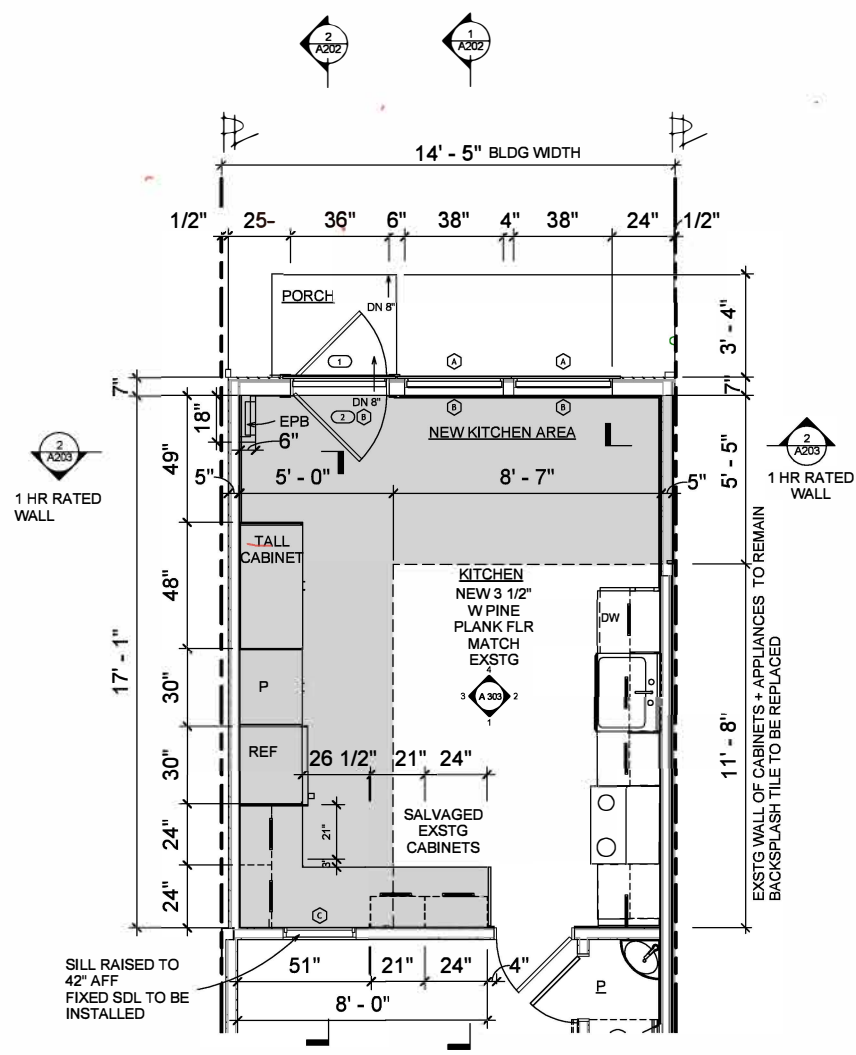
NEW
FOUNDATION
+
KITCHEN
PLAN

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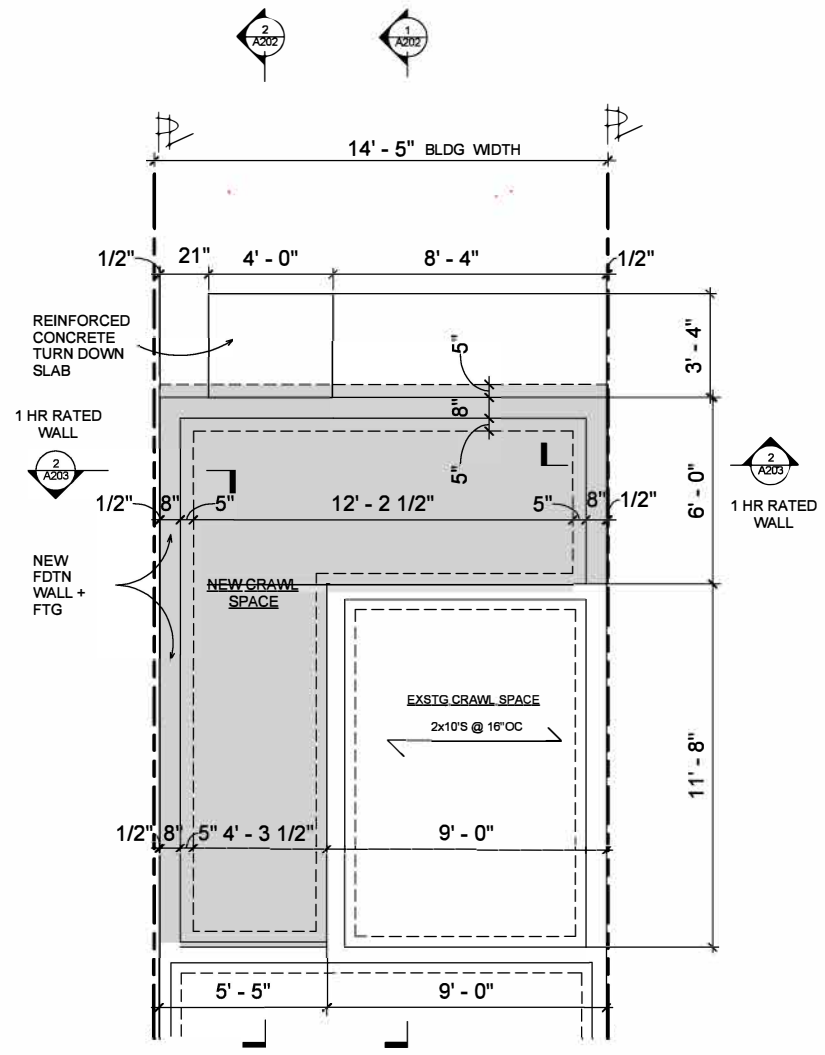
Project number	AR.M.12.23
Date	04.12.24
Drawn by	CI
Checked by	CC

A301

Scale 1/2" = 1'-0"



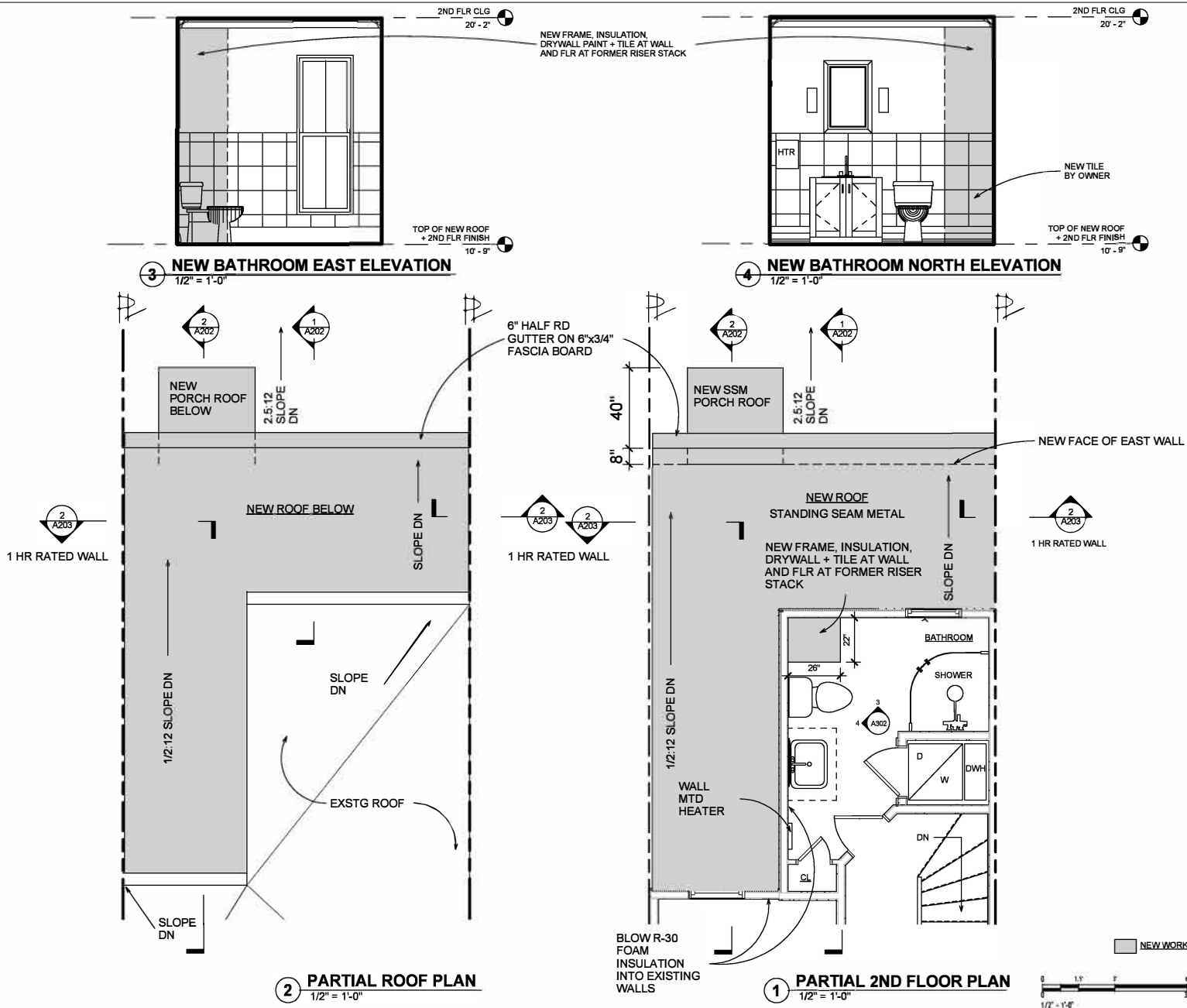
2 PARTIAL FIRST FLOOR KITCHEN PLAN
1/2" = 1'-0"



1 PARTIAL FOUNDATION PLAN
1/2" = 1'-0"

NEW WORK





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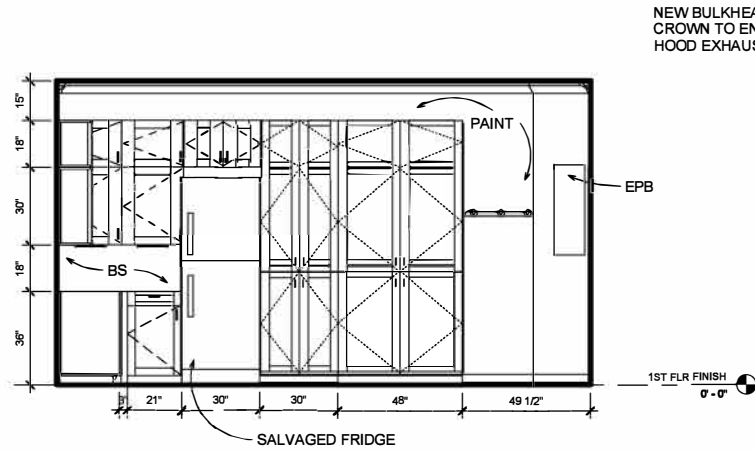
MACDONALD HOUSE
ADDITION + RENOVATION

RENOVATED
BATHROOM PLAN
W/ INTERIOR
ELEVATIONS
PARTIAL ROOF PLAN

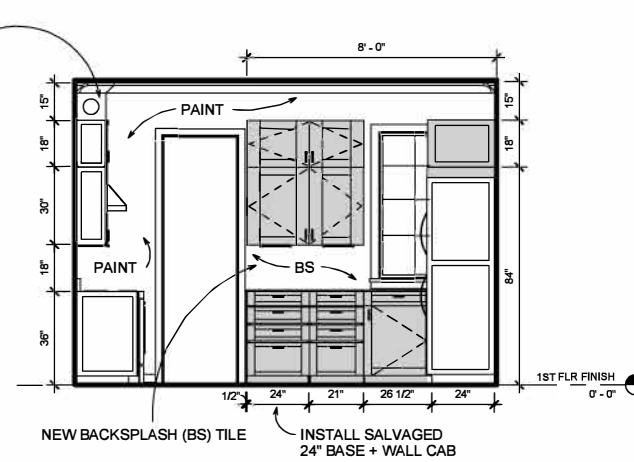
NOTE: ORIGINAL SET IS ON 24" X 36".
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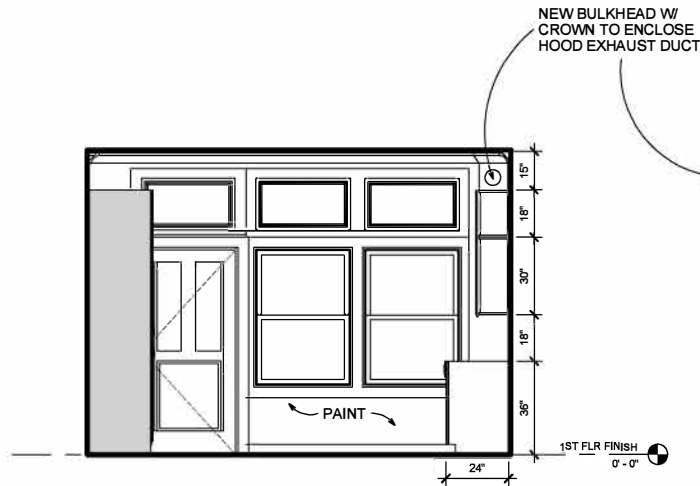
A302
Scale 1/2" = 1'-0"



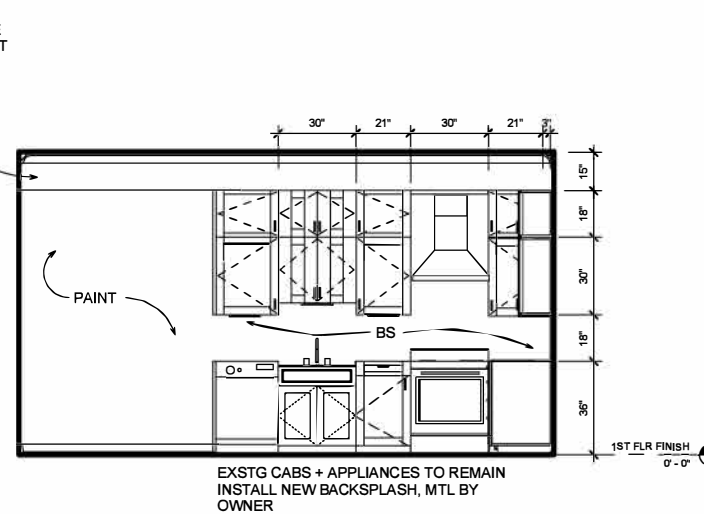
3 NEW KITCHEN NORTH ELEVATION
1/2" = 1'-0"



1 NEW KITCHEN WEST ELEVATION
1/2" = 1'-0"



4 NEW KITCHEN EAST ELEVATION
1/2" = 1'-0"



2 NEW KITCHEN SOUTH ELEVATION
1/2" = 1'-0"

NEW WORK



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MACDONALD HOUSE
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NEW
KITCHEN
INTERIOR ELEVATIONS

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A 303

Scale 1/2" = 1'-0"

DOOR SCHEDULE

#	ROOM	DOOR PANEL SIZE (INCHES)	DOOR	HINGE TYPE	HARDWARE	FINISH	GLASS	NOTES
1	KITCHEN STORM DOOR, LAWSON	36" W X 80" H	AL CLAD, GLASS WITH ADJUSTABLE SCREEN	OUTSWING	DBL PULL W/ KEYED SECURITY DEADBOLT, NO THUMBLATCH	POL BRASS	TEMPERED	WHITE FRAME, CLEAR GLASS
2	KITCHEN EXTERIOR DOOR	36" W X 80" H	FRAMED, 2 PANEL GLASS WITH BOTTOM RAISED PANEL, PRIMED WOOD	INSWING	DBL PULL W/ KEYED SECURITY DEADBOLT, NO THUMBLATCH	POL BRASS	TEMPERED	CLEAR GLASS, KICK PLATE

WINDOW SCHEDULE

#	ROOM	SIZE (INCHES)	TYPE	GLASS	FINISH	NOTES
A	MAIN FLR NEW KITCHEN	38"W X 54" H	AL CLAD, PRIMED WOOD, 2 OVER 2, SDL, DOUBLE	INSUL/TEMPERED	HARDWARE POL BRASS	
B	MAIN FLOOR KITCHEN	38"W X 20" H	AL CLAD PRIMED WOOD, FIXED TRANSOM	INSUL	NA	
C	MAIN FLR DINING RM OPENING	30" W X 48"H	PRIMED WOOD, 2 BY 4 LITES, SDL, FIXED	TEMPERED	NA	

ROOM FINISH SCHEDULE

ROOM	FLOORS	WALLS	CEILINGS	TRIM + CABINETS	NOTES
NEW KITCHEN	STAINED WOOD TO MATCH EXISTING	EGGSHELL PAINT FINISH/ BACKPLASH TILE TILE MTL BY OWNER	FLAT	MATCH EXISTING CHERRY CAB, TRIM IN SEMI GLOSS TYP	BROOKHAVEN CABINETS BY OWNER. MATCHING COUNTER TOP BY GC
NEW LIVING RM +DINING RM	STAINED WOOD	NA	NA	NA	OPTION - LEVEL MAIN FLOOR
NEW DECK	COMPOSITE DECKING, COLOR TBD	NO RAILINGS	NA	NA	
RENOVATED BATHROOM	MATCH EXISTING TILE	MATCH EXISTING 54" H TILE/ PAINTED DRYWALL	MATCH EXISTING	CABINET BY OWNER	
RENOVATED PRIMARY BEDROOM	STAINED WOOD TO MATCH EXISTING	EGGSHELL PAINT FINISH	FLAT	MATCH EXISTING	

GENERAL TRIM + MOULDING NOTES

1. EXSTG DOOR + WINDOW TRIM IS 4" X 3/4" FLAT PLS MATCH EXSTG
2. DOOR + CASED OPNG WITH PLINTH TO MATCH EXSTG
3. WINDOWS HAVE STOOL AND APRON MATCH EXSTG

GENERAL NOTES FOR WINDOWS BY JELD-WEN OR WEATHERSHIELD

1. VINYL/ ALUMCLAD EXT. W/ PRIMED WOOD INTERIOR
2. STUD FRAME DIMENSION 5.5 X 3.5 W (SIGHTLINES)
3. INTEGRAL FLAT CASING MOLD W/ NAILING FIN.
4. ALL OPERABLE WINDOWS TO HAVE WINDOW OPENING CONTROL DEVICE + MULTI POINT LATCH ACTUATOR
6. STD. ALUMINUM FRAMED MESH SCREEN AT ALL WINDOWS
7. ALL EXT WINDOW TRIM TO MATCH EXSTG W/ AZEK TRIM
8. ALL DOORS TO HAVE HINGE STOPS . NO DOOR STOP
9. GLAZING U-FACTOR 0.55
10. SHGC VALUE - 0.40
11. SAFETY GLAZING: PLEASE NOTE THAT SAFETY GLAZING IS REQUIRED IN HAZARDOUS LOCATIONS (REF. 2015 IRC R308.1 AND R308.4)

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**DOOR, WINDOW
+
ROOM FINISH
SCHEDULE**

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A401

Scale