**ISSUE:** Permit to Demolish/Capsulate (partial)

**APPLICANT:** Cathleen Curtin Architects, LLC

**LOCATION:** Old and Historic Alexandria District

217 North Columbus Street

**ZONE:** RM/Residential Townhouse Zone

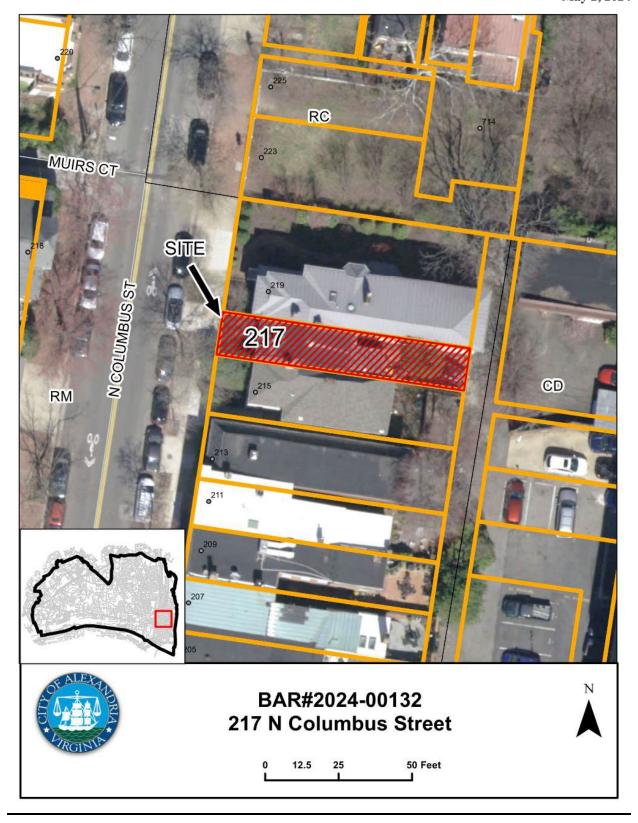
# **STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate (partial) as submitted.

# **GENERAL NOTES TO THE APPLICANT**

1. APPEAL OF DECISION: In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.

- 2. COMPLIANCE WITH BAR POLICIES: All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
- 3. BUILDING PERMITS: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (<u>including signs</u>). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
- 4. ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH: Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
- 5. EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
- 6. HISTORIC PROPERTY TAX CREDITS: Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the <u>Virginia Department of Historic Resources (VDHR)</u> prior to initiating any work to determine whether the proposed project may qualify for such credits.



# I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) to remove portions of the rear wall, at 217 N Columbus Street. The wall area consists of wood siding and approximately 251.88 ft<sup>2</sup> of it will be demolished/encapsulated for the construction of a non-visible addition. Staff notes that the addition does not require Board approval.

# Site context

The alley to the east, behind the subject property, is private.

# II. HISTORY

The two-story, two-bay frame townhouse at **217 North Columbus Street** was originally constructed in 1886 in Queen Anne style. It is the center unit of three attached townhouses which were built by T.H. Crilly and designed by Glenn Brown, according to a notice in the Alexandria Gazette (April 14, 1886). The BAR approved the remodel of 217 North Columbus Street on September 20, 1972, and the alterations essentially removed all the original character-defining Queen Anne details.

# Previous BAR Approvals

BAR2017-00412 – Administrative approval for in-kind door replacement (12/6/17).

BAR2017-00393 – Administrative approval for tuck-pointing (10/16/17).

BAR2013-00123 – The Board approved a permit to demolish the existing garage (5/15/13).

BAR2010-00035 – The Board approved a certificate of appropriateness for alterations (4/7/10).

BAR2010-00015 – The Board approved a permit to demolish (3/17/10).

# III. ANALYSIS

# Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No

(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The analysis of the standards indicated above relates only to the portions of the wall area proposed for demolition/capsulation. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The areas proposed for demolition/capsulation are not of unusual or uncommon design and can easily be replicated.

# **STAFF**

Amirah Lane, Historic Preservation Planner, Planning & Zoning Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

# III. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

# **Zoning**

C-1 Proposed 2 story rear addition will comply with zoning.

C-2 Under Zoning for Housing regulations, no side yard is required for lots under 25' in width.

# **Code Administration**

A building permit is required.

# **Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

  For a Public Alley The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

  For a Private Alley The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

# Alexandria Archaeology

No comments received.

# V. <u>ATTACHMENTS</u>

- 1 Supplemental Materials
- 2 Application for BAR2024-00132: 217 North Columbus Street

			BAR CA	ASE#
ADDRESS OF PROJE	: <sub>СТ</sub> . 217 N COL	UMBUS ST		(OFFICE USE ONLY)
DISTRICT: Old & I			– Gray □10	00 Year Old Building
TAX MAP AND PARC	EL: <u>064.04-0</u>	7-16		_zoning: R5
APPLICATION FOR:	(Please check all that	apply)		
☐ CERTIFICATE OF	APPROPRIATE	NESS		
PERMIT TO MOVE (Required if more than				)
☐ WAIVER OF VISIO CLEARANCE ARE				D REQUIREMENTS IN A VISION
WAIVER OF ROO (Section 6-403(B)(3), A			UIREMENT	
rianic.	N CURTIN		-	ss name & contact person)
Address: 501 PRIN		\//		1
City: ALEXANI		State: VA	Zip: 2231	<u>4</u>
Phone: 70393093	22	E-mail:	EEN@CATHLEENCURT	INARCHITECTS.COM
Authorized Agent (in Name: CATHLEEI  E-mail: CATHLEEN@CATHLEENCE	N CURTIN	Attorney <b>I</b>	Architect	Phone: 7039309322
Legal Property Owi				
	/ H. MACDO			
Address: 217 N CC	<u> DLUMBUS S</u>	ST		
City: ALEXANI	ORIA	State: VA	Zip: 2231	4
Phone: 60351293	79	E-mail: AHMACI	DONALD@MAC.C	ОМ

		BAR CASE#	
			(OFFICE USE ONLY)
NATURE OF PROPOSED WORK: Ple	ase check all that appl	y	
☐ doors ☐ window ☐ lighting ☐ pergola	ate or garden wall	HVAC equipment siding painting unpainted masor	☐ shutters ☐ shed nry
other  ADDITION  DEMOLITION/ENCAPSULATION SIGNAGE			
<b>DESCRIPTION OF PROPOSED W</b> be attached).			letail (Additional pages may
OWNER PROPOSES A FIRT FLOOR EXPANI			
THE EXISTING EXPOPSED EAST FACE OF T	HE ORIGINAL BUILIDING	S WILL BE	
ENCAPSULATED BY THE PROPSOED REAR			
NEW DUTCH LAP SIDING, TRIM, WINDOW S	YLE, DOOR STYLE AND	METAL ROOF TO MAMTC	H EXISTING
SUBMITTAL REQUIREMENTS:			
Check this box if there is a homeover copy of the letter approving the project		or this property. If so, y	ou must attach a
Items listed below comprise the <b>minin</b> request additional information during a Design Guidelines for further information	pplication review. Pl	ease refer to the releva	
Applicants must use the checklist belo material that are necessary to thoroug docketing of the application for review. All applicants are encouraged to meet	nly describe the proje Pre-application mee	ect. Incomplete applica etings are required for a	tions will delay the all proposed additions.
<b>Demolition/Encapsulation:</b> All app must complete this section. Check N/A if a			
N/A  Survey plat showing the exten  Existing elevation drawings cle  Clear and labeled photographs to be demolished.  Description of the reason for d	early showing all elen s of all elevations of t	nents proposed for der the building if the entire	
Description of the alternatives considered feasible.			alternatives are not

BAR CASE#	
	(OFFICE USE ONLY)

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

	N/A	
X		Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted or uniment.
X		equipment. FAR & Open Space calculation form. Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
X		Existing elevations must be scaled and include dimensions.
X		Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
х		Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
X		Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
		For development site plan projects, a model showing mass relationships to adjacent properties and structures.
illun	ninat	& Awnings: One sign per building under one square foot does not require BAR approval unless ed. All other signs including window signs require BAR approval. Check N/A if an item in this section does to your project.
		Linear feet of building: Front:Secondary front (if corner lot):  Square feet of existing signs to remain:  Photograph of building showing existing conditions.  Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.  Location of sign (show exact location on building including the height above sidewalk).  Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).  Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.
Alt	erat	ions: Check N/A if an item in this section does not apply to your project.
	N/A	Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
		Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows,
		doors, lighting, fencing, HVAC equipment and walls.  Drawings accurately representing the changes to the proposed structure, including materials and
		overall dimensions. Drawings must be to scale.  An official survey plat showing the proposed locations of HVAC units, fences, and sheds.  Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL	ALL APPLICATIONS: Please read and check that you have read and understand the following items:					
x	I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.					
X	I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.					
x	I, the applicant, or an authorized representative will be present at the public hearing.					
x	I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.					

BAR CASE#\_

(OFFICE USE ONLY)

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

# APPLICANT OR AUTHORIZED AGENT:

Signature: <u>Cathleen Curtin</u>

Printed Name: CATHLEEN CURTIN

Date: 03.29.24

# OWNERSHIP AND DISCLOSURE STATEMENT Use additional sheets if necessary

an interest in the applicant, ur case identify each owner of r	nddress and percent of ownership nless the entity is a corporati nore than three percent. The to interest held at the time of the	on or partnership, in which erm ownership interest shall
Name	Address	Percent of Ownership
1. ANDREW H.MACDONALI	217 N COLUMBUS ST	100
2.		
3.		
an interest in the property locate entity is a corporation or partner percent. The term ownership int time of the application in the rea	ship, in which case identify each erest shall include any legal or ea I property which is the subject of	(address), unless the owner of more than three quitable interest held at the theapplication.
Name	Address	Percent of Ownership
<sup>1.</sup> NA		
2.		
3.		
ownership interest in the applicationship business or financial relationship existing at the time of this applications.	onships. Each person or entity list ant or in the subject property is rep, as defined by Section 11-350 cation, or within the12-month perior of the Alexandria City Council, For of Architectural Review.	quired to disclose <b>any</b> of the Zoning Ordinance, od prior to the submission of
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
<sup>1.</sup> NA		
<sup>2.</sup> NA		
<sup>3.</sup> NA		
	relationships of the type descri ion and before each public hea	
As the applicant or the applican the information provided above	t's authorized agent, I hereby atte is true and correct.	est to the best of my ability that
03.29.24 Printed	   Name	Cathleen Curtin Signature



# Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

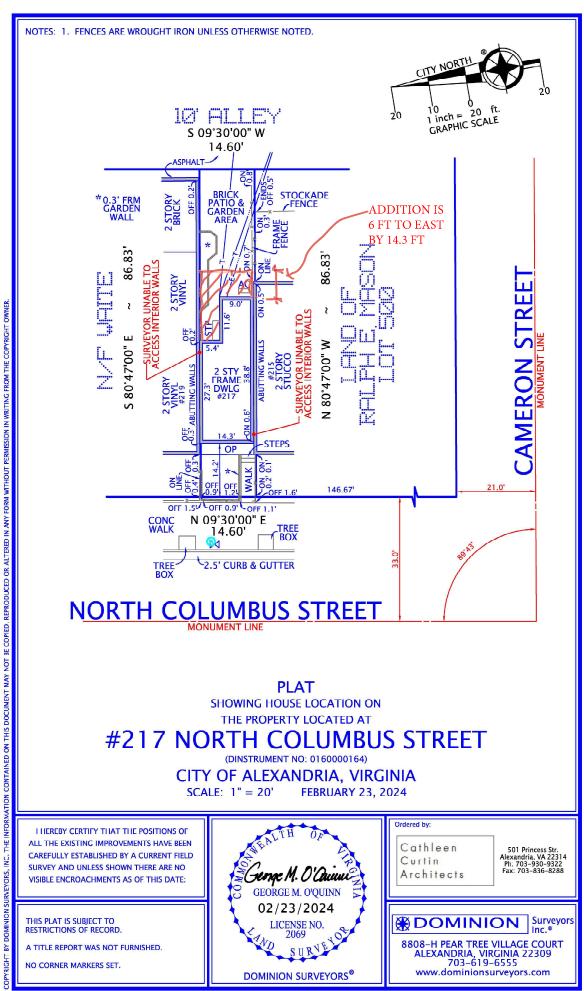


Α.	Property Info	rmation						
A1.	217 N Columbus	Street				RM		
	Street Address					Zon		
A2.	1,267.00 Total Lot Area		X	1.50 F <b>l</b> oor Area Ratio Al	llowed by Zone	1,900 Max	0.50 imum Allowable Floor Area	
	Total Lot Area			TIOOT Area Ratio A	nowed by Zone	IVIAA	imum Allowable Floor Area	
В.	Existing Gross			Allowable Exclu	sions**			
	Basement			Basement**		B1.	1,037.00 Sq. Ft.	
	First Floor	497.00		Stairways**	96.00		Existing Gross Floor Area*	
	Second Floor	497.00		Mechanical**		B2.	139.00 Sq. Ft.	
	Third Floor			Attic less than 7'**			Allowable Floor Exclusions**  898.00	
	Attic			Porches**	43.00	B3.	Sq. Ft. Existing Floor Area Minus Exclusions	
	Porches	43.00		Balcony/Deck**			(subtract B2 from B1)	
	Balcony/Deck			Lavatory***		Con	nments for Existing Gross Floor Area	
	Lavatory***			Other**				
	Other**			Other**				
B1.	Total Gross	1,037.00	B2.		139.00			
C.	Proposed Gross  Basement  First Floor  Second Floor	oss Floor Area s Area 120.00		Allowable Exclusion Basement** Stairways** Mechanical**	sions**	C1.	120.00 Sq. Ft. Proposed Gross Floor Area*  0.00 Sq. Ft. Allowable Floor Exclusions**	
	Third Floor			Attic less than 7'**			120.00	
	Attic			Porches**		C3.	Proposed Floor Area Minus Exclusions	
	Porches			Balcony/Deck**			(subtract C2 from C1)	
	Balcony/Deck			Lavatory***				
	Lavatory***			Other**				
	Other			Other**			Notes	
C1.	Total Gross	120.00	C2.	Total Exclusions	0.00		*Gross floor area is the sum of <u>all areas</u> under roof of a lot, measured from the face of exterior walls, including basements,	
D.	Total Floor A	rea		E. Open Spa	ce		garages, sheds, gazebos, guest buildings and other accessory buildings.	
D1.	1,018.00 Total Floor Area			E1. 752.30 Existing Ope			** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.	
D2.	1,900.50 Total Floor Area by Zone (A2)	Sq. Ft.		<b>E2.</b> 443.45 Required Ope <b>E3.</b> 632.30	Sq.		***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of	
				Proposed Op	oen Space		gross floor area.	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Cathleen Curtin

03.29.24





#### BUILDING CODE DESIGN INFORMATION

- CONSTRUCTION TYPE- VB/BCOA 5A
- IEBC2018
  NEC 2011
  2018 VIRGINIA UNIFORM STATEWIDE BUILDING
- CODE (VUSBC)
  VIRGINIA RESIDENTIAL CODE/VRC 2018
- ICC INTERNATIONAL RESIDENTIAL CODE 2018
  ICC INTERNATIONAL EXISTING BUILDING CODE
- NEPA NATIONAL ELECTRICAL CODE 2014
- ASCE 7, MINIMUM DESIGN LOADS FOR BUILDINGS + OTHER STRUCTURES
  ACI 530/ ASCE 6/ TMS/ 602 BUILDING CODE RQMTS

FOR MASONRY CONSTRUCTION
LVL STRUCTURAL DESIGN PROPERTIES

#### SCOPE OF WORK: USE GROUP - RM, TOWNHOUSE

- FIRST FLOOR REAR ADDITION OF EXPANDED KITCHEN AND MODIFIED
- NEW STRUCTURAL SUPPORT AND FRAMING WORK
  NEW MECHANICAL/ELECTRICAL/HVAC FOR NEW + EXISTING FIRST +

TOTAL BUILDING AREA AREA CALCULATIONS TOTAL LOT AREA
EXISTING HOUSE AREA
TOTAL EXSITNG BLDG AREA 1267.0 SF 1037.0 SF (ABOVE GRADE) 1037.0 SF, 81.8% OF LOT TOTAL NEW ADDITION 149 OSF 11 76% OF LOT 1047.0, 82.6% OF LOT NEW LIVARI E AREA ABOVE GRADE 2 STORY LIVING AREA 1047,0 SF
NEW ADDITION AREA 140 0 SE 149,0 SF 1047,0 SF TOTAL NEW LIVABLE AREA BUILDING HEIGHT ALLOWED: BUILDING HEIGHT ACTUAL: FRONT YARD SETBACK ALLOWED FRONT YARD SETBACK ACTUAL 35.0 FT 0.0 FT SIDE YARD SETRACK ALLOWED

16.0 FT

SIDE YARD SETBACK ACTUAL

# 217 NORTH COLUMBUS STREET **ALEXANDRIA, VIRGINIA 22314 ADDITION + RENOVATION**

LOT 217 N COLUMBUS STREET MAP# 064.04-07-16 PROPERTY OWNER ANDREW H. MACDONALD TRUST

#### GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR TO SUSTEM STATE AND VERIFY SUSTRING GRADES PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR TO COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, DO NOT SCALE DRAWINGS, FIGURE DIMENSIONS SHALL GOVERN.
- DIMENSIONS ARE SHOWN TO FACE OF DRYWALL LINESS OTHERWISE NOTED
- DIMENSIONS ARE SHOWN TO FACE OF DRYWALL UNLESS OF HERWISE NOTED.

  COMPLY WITH ALL PRODUCT MANUFACTURE INSTRUCTIONS AND REQUIREMENTS CONCERNING STORAGE, HANDLING, PROTECTION,
  INSTALLATION, ADJUSTMENT, WARRANTY, ETC.

  SLOPE MEMBRANE ROOF MIN 14" PER 12".

  COMPLY WITH ALL REQUIREMENTS OF ROOFING MANUFACTURERS INSTALLATION INSTRUCTIONS.

#### ENERGY COMPLIANCE

# MINIMUM INSULATION VALUES WINDOWS/ DOORS U 0.32 / SHGC 0.24 ROOF /CEILING R 49

WALLS (WOOD FRAMED) R 15

ROOF/CEILING INSULATION IS CLOSED CELL SPRAY FOAM, IMPERMEABLE, TIGHT TO THE UNDER SIDE OF THE ROOF SHEATHING, ALL LAMPS IN NEW LIGHT FIXTURES TO BE HIGH EFFICIENCY LED.

# AIR BARRIER AND INSULATION INSTALLATION 1. AIR BARRIER AND THERMAL BARRIER - A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE, EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER, BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR -PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL

- CEILING/ATTIC THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.
- WALLS CAVITIES WITHIN CORNERS AND HEADERS SHALL BE INSULATED WALLS - CAVITIES WITHIN CONTRINS AND HEADERS SHALL BE INSULATED BY COMPLETELY FILLING THE CANTY WITH A MATERIAL HAVING A MINIMUM THERMAL RESISTANCE OF R-3 PER INCH, THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED, THE JUNCTION OF THE TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT
  WITH THE AIR BARRIER, KNEE WALLS SHALL BE SEALED.
- WINDOWS, SKYLIGHTS AND DOORS THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING AND SKYLIGHTS AND FRAMING SHALL BE SEALED.
- RIM JOISTS RIM JOISTS SHALL BE INSULATED AND INCLUDE THE AIR
- FLOORS (INCLUDING ABOVE-GARAGE AND CANTILEVERED FLOORS) -INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT

INSTALLED AT ANY EXPOSED EDGE OF INSULATION.

- CRAWL SPACE WALLS WHERE PROVIDED IN LIEU OF FLOOR CRAWL SPACE WALLS - WHERE PROVIDED IN LIEU OF FLOOR
  INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE
  CRAWLSPACE WALLS, EXPOSED EARTH IN UNVENTED CRAWL SPACES
  SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
- SHAFTS, PENETRATIONS DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE
- NARROW CAVITIES BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
- RECESSED LIGHTING RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL.
- PLUMBING AND WIRING BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUNDWIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING
- SHOWER OR TUB ON EXTERIOR WALL EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED. AND AN AIR BARRIER SHALL BE INSTALLED ON THE INTERIOR SIDE OF THE EXTERIOR WALL
- ELECTRICAL/PHONE BOX ON EXTERIOR WALLS THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
- HVAC REGISTER BOOTS HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.

PNL - PANEL PL - PROPERTY LINE PTD - PAINTED REC'D - RECESSED REF - REFRIGERATOR

R + S - ROD + SHELF

RENO - RENOVATED
RFI - RIGID FOAM INSULATION

#### DRAWING LIST

GENERAL CS COVER SHEET

SPECIFICATIONS SP 1 SPECIFICATIONS 1

SITE 1 EXSTG SITE PLAN SITE 2 PROPOSED SITE PLAN SITE 3 EXTERIOR PHOTOS OF EXISTING HOUSE

DEMOLITION AD 101 DEMO FOUNDATION + 1ST FLOOR PLAN AD 102 DEMO 2ND FLR + ROOF PLAN AD 103 DEMO EAST, WEST + SOUTH ELEVATIONS AD 104 DEMO AT BUILDING SECTION

#### ARCHITECTURAL

- A 101 NEW FOUNDATION + 1ST FLOOR PLAN A 102 NEW 2ND + ROOF FLOOR PLAN A 103 NEW KITCHEN REFLECTED CEILING PLAN A 201 NEW FAST EL CATION
- A 201 NEW EAST ELEVATION A 202 NEW BUILDING SECTIONS
- A 203 WALL SECTIONS A 301 NEW FOUNDATION + KITCHEN PLAN A 302 RENOVATED BATHROOM PLAN W/ INTERIOR ELE

A 303 NEW KITCHEN INTERIOR ELEVATIONS A 401 DOOR, WINDOW + ROOM FINISH SCHEDULE

#### STRUCTURE S 100 STRUCTURAL PLANS

# MECHANICAL M 100 MECHANICAL PLANS

ELECTRICAL E100 ELECTRICAL SPECS, NOTES + SCHEDULES E101 ELECTRICAL LIGHTING + POWER PLANS

PLUMBING P 100 PLUMBING FLOOR PLANS

# **CATHLEEN CURTIN** AIA ARCHITECTS LLC

**501 PRINCESS STREET ALEXANDRIA VA 22314** 

O 703 930 9322

www.cathleencurtinarchitects.com

SHELKIN ENGINEERING PLLC ALEXANDRIA VA 703 200 9534

217 NORTH **COLUMBUS** STREET, ALEXANDRIA VA 22314

PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
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Description	Date
DESIGN DEVELOPMENT	03.15.24
BAR SUBMISSION	05,02,24
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MACDONALD HOUSE ADDITION + RENOVATION

COVER SHEET

NOTE: ORIGINAL SET IS ON 24" X 36"

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#### ABBREVIATION KEY

CH - CHROME

CL - CLOSET CLG - CELLING

ABV - ABOVE ABV - ABUVE
AC - ABOVE COUNTER
AD - AREA DRAIN
ADJ - ADJUSTABLE
AFF - ABOVE FINISHED FLOOR
AFG - ABOVE FINISHED GRADE AH - AIR HANDLER AL - ALUMINIUM AW - AREA WAY BA - BEFORE B+B - BOARD+BATTEN BC - BELOW COUNTER BD - BOARD BDRM - BEDROOM BE - BASEMENT EGRESS BE - BASEMENT EGRESS BR - BRUSHED BS - BACK SPLASH BEV CTR - BEVERAGE CENTER CAB - CABINET CATV - CABLE TV

CMU - CONCRETE MASONRY UNIT CO - CASED OPENING CONC - CONCRETE

CSMT - CASEMENT CT - COUNTERTOP
CTR - CENTER
D - DEEP
DBL - DOUBLE
DEMO - DEMOLISHED
DIAM - DIAMETER DR - DOOR DW - DISHWASHER DWR - DRAWER DWH- HOT WATER ON DEMAND EA - EACH ELEV - ELEVATION ENCL - ENCLOSURE EQ - EQUAL

EPB - ELECTRIC PANEL BOX

EXT - EXTERIOR

EXSTG - EXISTING EXP - EXPOSED FDTN - FOUNDATION FIN - FINISHED FOB - FACE OF BLDG

FLR - FLOOR
GC - GENERAL CONTRACTOR
GD - GARBAGE DISPOSAL

FTG - FOOTING

GL - GLASS

HH - HANDHELD HB - HOSE BIB HDWR - HARDWARE HP/C - HEAT PUMP/ CONDENSER HWH - HOT WATER HEATER INT - INTERIOR INSLD - INSULATED KIT - KITCHEN L - LONG LAV-LAVATORY LBW - LOAD BEARING WALL LVL - LAMINATED VENEER LUMBER MC - MEDICINE CABINET MC - MEDICINE CABINE I MLDG - MOLDING MT - MARBLE THRESHOLD MTD - MOUNTED MTL - MATERIAL MW - MICROWAVE NOM - NOMINAL N - NEW NA - NOT APPLICABLE NTS - NOT TO SCALE OA - OVERALL

H - HIGH HH - HANDHELD

R+S-ROD+SHELF S-SHELVES SDL-SIMULATED DIVIDED LIGHT SIM-SIMILAR SK - SCHEMATIC SGL - SINGLE SQ - SQUARE STL - STEEL SST - STAINLESS STEEL SSI - STAINLESS STEEL
T - TREAD
T+G - TONGUE +GROOVE
TTL - TOTAL
TBD - TO BE DECIDED TEMP - TEMPERED TYP - TYPICAL UCL - UNDER CABINET LIGHTS LIPR - LIPPER W-WDE W-WTH WC-WATER CLOSET P - PANTRY/POWDE WD - WOOD

SPECIFICATIONS

STEEDITION TO STATE WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, REGULATIONS AND AMENDMENTS AND ALL OTHER AUTHORITIES HAVING JURISDICTION. THE WORK SHALL COMPLY WITH INTERPRETATIONS OF THE LOCAL BUILDING OFFICIAL IS TAY ARRANCE WITH THESE DOCUMENTS. INFORM THE ARCHITECT PRIOR TO PROCEEDING

1.01 CONSTRUCTION METHODS AND TECHNIQUES - THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES PROCEDURES, OR FOR SAFETY MEASURES IN CONNECTION WITH THE WORK AND SHALL NOT BE HELD RESPONSIBLE FOR THE FAILURE OF THE OWNER (CLIENT) OR HIS CONTRACTORS OR ANYONE PERFORMING THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.02 FIELD CONDITIONS AND DIMENSIONS - ON-SITE VERIFICATION OF ALL DIMENSIONS AND 102 PIECE CONDITIONS AND DIMENSIONS - UNSUITE VERHICATION OF ALL QUINERSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS, NOTED DIMENSIONS TAKE PRESENCE OVER SCALED IMPRISIONS TAKE PRESENCE OVER SCALED IMPRISIONS ARCHITECT SHALL BE NOTHERED PROMPTLY OF ANY DISCREPANCIES IN INFORMATION AND OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND INFORMATION ON THE DRAWINGS PRIOR TO CONSTRUCTION.

1.03 TYPICAL CONDITIONS - THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS INDICATED OTHERWISE. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN OR DETAILED, THE CHARACTER AND QUALITY OF THE WORK SHALL BE THE SAME AS THAT INDICATED FOR SIMILAR WORK CONDITIONS.

1.04 COORDINATION OF WORK - THE CONTRACTOR SHALL COORDINATE AND COMPARE ALL DRAWINGS BETWEEN THE DIFFERENT CONSULTANTS AND TRADES AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT MAY BE FOUND.

1.05 STRUCTURAL NOTES - IN CASE OF ANY DISCREPANCIES BETWEEN THESE NOTES AND NOTES ON THE STRUCTURAL DRAWINGS THE NOTES FOUND ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE

1.06 TEMPORARY BRACING - USE TEMPORARY BRACING AS REQUIRED TO STABILIZE BASEMENT AND FOUNDATION WALLS AND SUPERSTRUCTURE UNTIL PERMANENT CONSTRUCTION IS IN PLACE.

THE STRUCTURAL INTEGRITY OF THE BUILDING IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. THE ARCHITECT AND STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION. THE METHOD OF CONSTRUCTION AND SEQUENCE OF OPERATIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE SEQUENCE OF DEPARTIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE
CONTRACTOR SHALL SUPPLY ANY NECESSARY SHORING, BRACING, STRUTS, GUYS, ETC. TO
PROPERTY BRACE THE STRUCTURE AGAINST WIND, DEAD AND LIVE LOADS UNTIL THE BUILDING IS COMPLETED ACCORDING TO THE PLANS AND SPECIFICATIONS CONTRACTOR SHALL NOT IS COMPLETED ACCORDING TO THE PLANS AND SPECIFICATIONS. CONTINAL TO SPALL NOT PLACE BACK-FILL AGAINST BASEMENT WALLS UNTIL THE FLOOR SYSTEM IS COMPLETELY INSTALLED OR CONTRACTOR HAS PROVIDED ADEQUATE SHORING AND BRACING, ANY QUESTIONS REGARDING TEMPORARY BRACING REQUIREMENTS SHOULD BE FORWARDED TO A STRUCTURAL ENGINEER FOR REVIEW

1.07 - DESIGN LOADS LIVE LOADS DEAD LOADS TOTAL LOADS ROOF TRUSSES 30 PSF (SNOW) 7 TOP 47 PSF & 10 BOTTOM ROOF RAFTERS 30 PSF 12 PSF 42 PSF SLEEPING ROOMS 30 PSF 10 PSF 40 PS OTHER FLOORS 40 PSF 10 PSF 50 PSF GARAGE FLOORS 50 PSF 50 PSF 100 PSF DECKS 40 PSF 10 PSF 50 PSF 100 DECKS 40 PSF 10 PSF 50 PSF BREEZEWAYS 80 PSF 10 PSF 90 PSF STAIRS 40 PSF (1) 10 PSF 50 PSF WIND LOAD 80 MPH BACKELL 30 PCF FOUNALENT FLUID WEIGHT UNLESS NOTED OTHERWISE

D. WIND DESIGN DATA:

- BASIC WND SPEED = 115 MPH, 3 SECOND GUSTS - WND LOAD IMPORTANCE FACTOR. I = 1.0

WIND EXPOSURE FACTOR = B

WND DESIGN PRESSURE = 18 PSE

E. EARTHQUAKE DESIGN DATA: PEAK VELOCITY-RELOCATED ACCELERATION, Av =0.05

- PEAK ACCELERATION, As = 0.05

SEISMIC HAZARD EXPOSURE GROUP = 1
SEISMIC PERFORMANCE CATEGORY = B
SOIL-PROFILE TYPE = S1 (TO BE CONFIRMED BY SOILS ENGINEER)
BASIC STRUCTURAL SYSTEM = 1

SEISMIC-RESISTING SYSTEM = 1

- RESPONSE MODIFICATION FACTOR. R = 6.5 - DEFLECTION AMPLIFICATION FACTOR, Cd = 4 - ANALYSIS PROCEDURE UTILIZED = 1612.4 OF 1993 BOCA

(1) INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 POUND CONCENTRATED LOAD APPLIED IN ANY SINGLE DIRECTION AT ANY POINT ALONG

1.08 MECHANICAL UNITS AND ANY OTHER EQUIPMENT SUPPORTED BY THE STRUCTURE WITH ANY WEIGHTS IN EXCESS OF 200 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

1.00 PRODUCT LITERATURE AND MANUEACTURER'S RECOMMENDATIONS - COMPLY WITH THE ILUS PRODUCT LITERATURE AND MANUPACTURES RECOMMENDATIONS - COMPLY WIT MANUFACTURER'S OR FABRICATOR'S INSTRUCTIONS OR RECOMMENDATIONS FOR THE PREPARATION OF SUBSTRATES AND INSTALLATION AND USE OF MATERIAL.

1.10 SOIL TREATMENT FOR TERMITE CONTROL (IF APPLICABLE) - APPLY TOXICANT TO SOIL IN ENTIRE AREA TO BE OCCUPIED BY STUUCTURE AND TO 2 BEYOND PERIMETER LINE OF STRUCTURE. USE APPROVED TOXICANT WITH A FIVE YEAR GUARANTEE NOTE: THIS ITEM MAY BE WAVED IF SITE CONDITIONS DO NOT WARRANT IT AND WITH OWNERS APPROVAL.

1.11 FIRE RATED ASSEMBLIES - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND 1.11 FIRE RATE DESEMBLES - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ISSUBCONTRACTORS TO VERIFY AND CONSTRUCT ALL RATED ASSEMBLES TO COMPLY EXACTLY WITH THE REQUIREMENTS OF THE TEST REPORTS LISTED. THE ARCHITECT SHALL BE NOTIFIED PROMPTLY OF ANY CHANGE IN MATERIALS PRIOR TO CONSTRUCTION ON ON CHANGES IN MATERIALS MUST HAVE THE APPROVAL OF THE ARCHITECT. ALL FIRE RATED ASSEMBLIES ARE CONTINUOUS UNLESS OTHERWISE NOTED, ASSEMBLY MATERIALS SHALL TAKE PRECEDENCE OVER MATERIALS SPECIFIED IN THESE DRAWINGS. DOES NOT EXCEED SAFE LIMITS AS MANDATED BY STATE OR LOCAL LAWS, NOTIFY ARCHITECT AND LOCAL JURISDICTIONAL AUTHORITIES BEFORE BEGINNING CONSTRUCTION OR SPECIFIC DETAILS WHICH MAY BE REQUIRED.

1.13 MECHANICAL / PLUMBING / ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL HORIZONTAL AND VERTICAL PENETRATIONS IN THE EXTERIOR WALL CAUSED BY THEIR TRADE.

1.14 ALL SHEATHING PENETRATIONS CAUSED BY ERECTION SHALL BE PATCHED AND REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS

1.15 DETAILS OF CONSTRUCTION OF ANY RETAINING WALL BUILT MUST BE SUBMITTED TO THE OFFICE OF THE BUILDING INSPECTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

1.16 CRAWL SPACE SHALL BE PROVIDED UNDER FLOOR JOIST NOT LESS THAN 18" IN DEPTH, AND SUCH SPACE SHALL BE VENTED WITH SCREENED OPENINGS HAVING A CLEAR AREA OF NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL SPACE AREA.

1.17 GENERAL CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROVIDE NECESSARY STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SLEEVES, ANCHORS, VENT OPENINGS, ETC. THAT MIGHT BE REQUIRED.

2.01 THESE DRAWINGS DO NOT COVER SITE WORK, EXCAVATION, GRADING AND LANDSCAPING, REFER TO THE SITE DRAWINGS PREPARED BY THE CIVIL ENGINEER FOR THESE ITEMS.

2.02 EXCAVATION - SHALL BE SUFFICIENT TO PROVIDE FULL DESIGN DIMENSIONS OR TO ALLOW FOR FORMING AS REQUIRED. NO FOOTINGS SHALL BE PLACED ON SOFT MATERIAL.

2.03 BACKFILL AND COMPACTION - USE ONLY CLEAN, WELL GRADED EARTH CONTAINING NO ORGANIC MATERIAL, TRASH, MUCK, ROOTS, LOGS, STUMPS, CONCRETE, ASPHALT, OR OTHER DELETERIOUS SUBSTANCES, BACKFILL SH. BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE ASTM D698 STANDARD PROCTOR TEST. ON NOT BACKFILL AGAINST BASEMENT WALLS UNTIL SUPER STRUCTURE IS IN PLACE. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. BACKFILL IN LAYERS OF 6"-8" EACH. ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT.

3.0 CONCRETE/FOUNDATIONS - ALL REINFORCED CONCRETE TO BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE ACI 318-89, ALL PLAIN CONCRETE TO CONFORM TO ACI 318.1 AND ACI 332R-84 GUIDE TO RESIDENTIAL CAST-INPLACE CONCRETE CONSTRUCTION

A. MINIMUM SPECIFIED COMPRESSIVE STRENGTH: F'c @ 28 DAYS

LOCATION OF CONCRETE MIN. COMP. STRENGTH (Ftc) SLUMP (IN.) BASEMENT WALLS & FND NOT EXPOSED TO WEATHER2500 PSI (1) 6" +/- 1" BASEMENT SLABS & INT. SLABS ON GRADE 2500 PSI (1) 5" +/- 1" BASEMENT WALLS, FND, EXT, WALLS & OTHER CONCRETE WORK EXPOSED TO WEATHER 3000 PSI (2) 6" +/- 1" DRIVEWAY, CURBS, WALKS, PATIOS, PORCHES, STEPS & STAIRS AND UNHEATED GARAGE FLOOR EXPOSED TO WEATHER 3500 PSI (2 & 3) 5" +/- 1"

- CONCRETE IN THESE LOCATIONS WHICH MAY BE SUBJECT TO FREEZING AND THAWING DURING
- CONSTRUCTION SHALL BE AIR-ENTRAINED.
  CONCRETE SHALL BE AIR-ENTRAINED.
  MINIMUM CEMENT CONTENT SHALL BE 520 POUNDS OF CEMENT MEETING ASTM C150 OR C595 PER CUBIC YARD OF CONCRETE

B. AIR ENTRAINMENT - ALL CONCRETE SUBJECTED TO SEVERE WEATHERING POTENTIAL SHALL BE AIR ENTRAINED AS

AGGREGATE SIZE AIR ENTRAINMENT %

3/8" - 1/2" 7.0 3/4" 6.0 1" 6.0

C. AGGREGATE SHALL CONFORM TO ASTM C33 AND MAY RANGE FROM 3/8" TO 1" IN SIZE.

D. USE OF ADDITIVES SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. USE OF ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE PERMITTED.

E. FOOTING DESIGN IS BASED ON THE FOLLOWING CONDITIONS:

E. FOOTING BESING BASED ON THE FOLLOWING CONSTITUTE.
SOIL BEARING CAPACITY: MINIMUM ASSUMED 1500 PSF, FIELD VERIFY UNDER ALL FOOTINGS AND SLABS ON GRADE.
WATER TABLE: 2'-0' (MIN.) BELOW BOTTOM OF ALL CONCRETE SLABS AND FOOTINGS. SOILS: SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS

F. ALL FOUNDATIONS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL NOT LESS THAN 1'-0" BELOW EXISTING GRADE OR 2-5" BELOW ADJACENT FINISH EXTERIOR GRADE OR TO FROST LINE PER LOCAL JURISDICTION UNLESS OTHERWISE NOTED ON THE PRAWMING MAINTAIN 1.2 SLOPE (WETTICAL TO HORIZONTAL) FROM BOTTOM BEDGE OF FOOTING TO BOTTOM BEDGE OF ANY ADJACENT FOUNDATION. ARCHITECTEMBRIEER TO BE NOTHIFED IMMEDIATELY SHOULD INSUFFICIENT BEARING CAPACITY OR HIGH WATER TARLE RE ENCOUNTERED.

3.01 INSPECTIONS - FOOTING EXCAVATIONS SHALL BE INSPECTED BY THE BUILDING OFFICIAL PRIOR TO THE PLACING OF ANY CONCRETE. THE BUILDING OFFICIAL SHALL BE GIVEN NOTICE FOR THIS INSPECTION.

3.02 SOIL INVESTIGATION AND REPORT - ALL EARTHWORK, COMPACTION AND FOLINDATION WORK SHALL BE DONE IN 302 SOLL INVESTIGATION AND REPORT - ALL EARLY MOORN, COMPACTION AND POUNDATION WORK SPALL BE BUD ACCORDANCE WITH THE SOLLS INVESTIGATION REPORT WHICH SHALL BE PROVIDED BY THE OWNER, NOTIFY ARCHITECT FON-STEET EST BEARINGS INDICATE LESSER VALUES BEFORE PROCEDING WITH THE WORK, SOIL VALUES TO BE DETERMINED BY A REGISTERED ENGINEER EXPERIENCED IN SOLES ENGINEERING.

3.03 DRAINAGE OF FOOTINGS - UNLESS OTHERWISE NOTED PROVIDE PERIMETER BASEMENT WALLS WITH 4" OR 6" DIAMETER PERVORATED CORRUGATED PLASTIC DRAIN LAID ON 2" GRAVEL BASE WHO 8-8" GRAVEL COVER WITH JOINTS COVERED WITH FLIETE CLOTH FOR PERFORATED TILE. SLOPE DRAIN TILE AS REQUIRED TO DRAIN TO STORM SEWER OR OUTFALL PUT 18" OF GRAVEL ALL AROUND FOUNDATION. PROVIDE FREE DRAINING. GRANULAR BACKELL WITH A MAXIMUM EQUIVALENT FLUID PRESSURE = 30 PSF PER FOOT OF DETH HAGNIST BASSMENT A RETAINING WALLS. IF BACKFILL PRESSURE EXCEEDS 30 PSF THEN WALL MUST BE DESIGNED FOR ACTUAL PRESSURES BY STRUCTURAL ENGINEER.

3.04 DAMPPROOFING FOR CONCRETE AND MASONRY FOUNDATIONS - EXTERIOR FOUNDATION WALLS OF MASONRY CONSTRUCTION ENCLOSING BASEMENTS SHALL BE DAMPPROOFED BY APPLYING NOT LESS THAN 36" OF PORTLAND COMENT PARGING TO THE WALL FROM FOOTING TO FINSH GRADE. THE PARGING SHALL BE COVERED WITH ALL COAT OF APPROVED BITUMINOUS MATERIAL APPLIED AT THE RECOMMENDED RATE EXTERIOR FOLINDATION WALLS OF CONCRETE MAI EMAIL APPLIED AT THE RECOMMENDED PATE. EXTENIOR YOUNGATION WALLS OF CONCRETE CONSTRUCTION ENCLOSING BASEMENTS SHALL BE DAMPROOFED BY APPLYING A COAT OF APPROVED BITUMINOUS MATERIAL TO THE WALL FROM THE FOOTING TO THE FINISH GRADE LINE AT THE RECOMMENDED RATE. FOUNDATION WALLS OF HABITABLE ROOMS LOCATED BELOW GRADE SHALL BE WATERPROOFED WITH MEMBRANES EXTENDING FROM THE EDGE OF THE FOOTING TO THE FINISH GRADE LINE THE MEMBRANE SHALL CONSIST OF FITHER 2-PLY HOT-MOPPED FELTS 6-THE FINISH GRADE LINE. THE MEMBRANE SHALL CONSIST OF EITHER 2-PLY HOT-MOPPED FELTS, 6-MIL POLY-VIVI, CHLORIDE, 55 POUND ROLL ROOFING OR EQUIVALENT MATERIAL. THE LAPS IN THE WATERPROOFING MEMBRANE SHALL BE SEALED AND FIRMLY AFFIXED TO THE WALL, FOUNDATION WALL MAY BE DAMPPROOFED OR WATERPROOFED USING MATERIALS OR METHODS OF CONSTRUCTION OTHER THAN COVERED IN THIS SECTION WHERE APPROVED BY THE BUILDING

#### 3.05 REINFORCING

A. REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60 (60,000 PS). WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A-185. ALL REINFORCING SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH THE ACI'S "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" (ACI-315), DETAILS OF REINFORCEMENT SHALL CONFORM TO ACI 318-83. ACI 315-74 AND CRSI STANDARDS.

B. ALL REINFORCING STEEL MARKED "CONTINUOUS" SHALL BE LAPPED 36 BAR DIAMETERS AT SPLICES AND AROUND CORNER OR INTERSECTION WITH A STANDARD 90 DEGREE BEND ON CORNER BARS. LAP WELDED WIRE MESH ONE FULL MESH AT SIDE AND END LAPS.

A SLARS ON GRADE SHALL BE 4" THICK CONCRETE AND REINFORCED WITH 6X6 W1 4X1 4 WWF LAP MESH 8" IN EACH DIRECTION, PLACE CONCRETE OVER 4 MIL, POLYETHYLENE VAPOR BARRIER AND 4 INCHES MINIMUM OF COARSE AGGREGATE OR AS RECOMMENDED BY SOILS ENGINEER. THE AGGREGATE LAYER SHALL BE PLACED OVER FIRM NATURAL SUBGRADE OR ON COMPACTED AND CONTROLLED FILL FILL UNDER SLARS SHALL BE COMPACTED IN 8" LAYERS TO 95% MAXIMUM ODINSTY, USE AIR ENTRAINED CONCRETE AT ALL EXTENDING MASS NOT SHE SHADOWN OF WAYMING MEDISTRY. USE AIR ENTRAINED CONCRETE AT ALL EXTENDING MASS NOT SHADS IN A LITERNATE PANELS ATTO A MAXIMUM OF 600 AS REQUIRE FEET AND PROVIDE CONTROL AND CRAINED WAYMING AND CONTROL AND CRAINED TO PREVENT UNCONTROLLAD CRACKING.

B. PROVIDE 3" X.3" CORNER BARS TO MATCH ALL HORIZONTAL REINFORCING IN WALLS AND FROTTINGS. ALL LAPS SHALL BE A MINIMUM OF 36 BAR DIAMETERS, PROVIDE DOWELS BETWEEN ALL FOOTINGS, WALLS AND PIERS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

3.07 CONCRETE BASEMENT WALLS - WALLS DESIGNED AS PLAIN CONCRETE SHALL BE REINFORCED. WITH #4 REBARS @ 24" O/C HORIZONTALLY OR PER LOCAL CODES.
ALL WINDOW AND DOOR OPENINGS SHALL BE REINFORCED WITH A MINIMUM OF 2 #5 BARS AND SHALL EXTEND AT LEAST 24 INCHES BEYOND THE CORNERS OF THE OPENINGS.

CONCRETE FOOTINGS FOR THE FOLLOWING WALL ARE THE MINIMUM REQUIRED:

A. 8" MASONRY OR CONCRETE WALL - 16" X 8" DEEP A 6 MASONRY OR CONCRETE WALL -18 A 9 USEF
B. 10 MASONRY OR CONCRETE WALL -18 X 8" DEEP
C. 12 MASONRY OR CONCRETE WALL -24 X 12" DEEP
C. 12 MASONRY PIERS AND CHIMNEYS - FOOTINGS SHALL HAVE 6" PROJECTIONS X 12" DEPTH. WHERE
THE DRAWINGS INJOICATE A GREATER FOOTING SIZE, THE GREATER SIZE SHALL BE USED.
FOOTINGS SHALL HAVE A MINIMIM 24 BARS CONTINUOUS WHEN FOOTINGS ARE PLACED OVER

FILL OR SOIL OF DIFFERENT COMPACTION LEVELS. 3.08 FORMWORK - TO BE WELL BRACED. TRUE TO DIMENSION, LEVEL AND PLUMB

3.09 CONCRETE PROTECTION - SEE STRUCTURAL ALSO FOR PLACEMENT LOCATIONS. CONCRETE PROTECTION FOR REINFORCEMENT: PROVIDE THE MINIMUM CLEARANCES (COVER) FOR REINFORCEMENT AS FOLLOWS:

FOOTINGS AND OTHER CONCRETE POURED AGAINST EARTH: 3" FORMED CONCRETE EXPOSED TO EARTH: 2"
FORMED CONCRETE NOT EXPOSED TO WEATHER OR EARTH: 1 1/2"
SLABS ON GROUND, UNLESS OTHERWISE NOTED: MID-DEPTH PIERS: 1 1/2" TO TIES WALLS: 2" TO OUTSIDE FACE, 3/4" TO INSIDE FACE

3.10 GYPCRETE - INSTALL AS PER MANUFACTURER INSTRUCTIONS WHERE APPLICABLE

311 THE SILLS OF DOOR OPENINGS BETWEEN THE GARAGE AND ADJACENT INTERIOR SPACES SHALL BE RAISED NOT LESS THAN 4" ABOVE THE GARAGE FLOOR, GARAGE SLAB SHALL BE STRUCTURAL WHEN FILL EXCEEDS 24"

## 4.0 MASONRY

A. MATERIALS

HOLLOW CMU: NORMAL WEIGHT, ASTM C-90-85, GRADE N FACE BRICK: ASTM C-216-81, SEVERE WEATHER BRICK STONE VENEER: OWNER APPROVED HIGHEST GRADE LOCAL STONE CONCRETE BRICK: ASTM C-55-75 TYPE 1, GRADE S SOLID CMU: NORMAL WEIGHT ASTM C145-85 GRADE N MORTAR: ASTM C270-82, PROPORTION SPECIFIC MORTAR SHALL CONSIST OF TYPE 1 PORTLAND CEMENT, TYPE S HYDRATED LIME AND APPROVED AGGREGATE OR TYPE N

B. ALL MASONRY WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF BIA AND NCMA, B. ALL MASOINET WOMEN SHALL CONFORM TO IT OF A PAPILICABLE REQUIREMENTS OF BIA AND NOWA, 
"SPECIFICATION FOR CONCRETE MASOINEY CONSTRUCTION" (ACI 531.4-76)
C. SOLID MASOINET WALL TO HAVE "DUR-O-WALL" (OR APPROVE EQUAL) TRUSS TIES AT 16° OIC 
VERTICALLY ABOVE GRADE AND B' OIC VERTICALLY BELOW GRADE. INTERSECTING MASOINEY 
WALLS OTHER THAN INTERIOR NON LOAD BEARING WALLS SHALL HAVE "DUR-O-WALL" (OR 
PAPPROVED EQUAL) TRUSS THES AT B' OIC VERTICALLY AND EXTENDING 30' IN EACH DIRECTION @

INTERSECTION.

D. BRICK VENEER WALLS TO HAVE NON-CORROSIVE METAL TIES AT 16° O/C VERTICALLY AND HORIZONTALLY, AND WEEP HOLES AT 24° O/C AT BASE FLASHING.

E. LINTELS FOR BRICK VERER WALLS: PROVIDE 4° BEARING MINIMUM AT EACH END.

OPENINGS TO 4'-0" : 3-1/2" X 3-1/2" X 1/4" 4'-0" TO 5'-6" : 4" X 3-1/2" X 5/16" - 3-1/2" HORIZONTAL 5'-6" TO 7'-6" : 5" X 3-1/2" X 5/16" - 3-1/2" HORIZONTAL 7'-6" TO 9'0" : 6" X 3-1/2" X 5/16" - 3 1/2" HORIZONTAL

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SPECIFICATIONS 1

NOTE: ORIGINAL SET IS ON 24" Y 36" TO PRINT ON 11" X 17" SHEET CUSTOMIZE

THE PAGE LAYOUT	TO 50% SCALE.
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Date	04.12.24
Drawn by	CI
Checked by	CC

SP1

Scale

F. UNLESS OTHERWISE NOTES, 12" MASONRY FOUNDATION WALLS SHALL BE REINFORCED AS FOLLOWS:

HEIGHT OF WALL (H) 8'-0" FROM SLAB TO TOP OF WALL (H)

-EXTERIOR GRADE = H TO .75H : #4 @ 32" O.C. -EXTERIOR GRADE = .75H TO .50H : #4 @ 48" O.C. -EXTERIOR GRADE = LESS THAN .50H : NONE

FOR 9'-0" FROM SLAB TO UNDERSIDE OF JOISTS (H)

-EXTERIOR GRADE = H TO .75H : #4 @ 24" O.C. -EXTERIOR GRADE = .75H TO .50H : #4 @ 32" O.C. -EXTERIOR GRADE = LESS THAN .50 H : NONE

PLACE REINFORCEMENT 3" CLEAR FROM INSIDE FACE OF TENSION SIDE OF ALL (I.E. INTERIOR SIDE OF WALL)

PROVIDE DOWELS FROM ALL FOOTINGS TO MASONRY WALLS TO MATCH SIZE AND SPACING OF ALL VERTICAL REINFORCING GROUT ALL REINFORCED CORES SOLID.

4.01 PARGING ENT ABOVE GRADE - 1 COAT PORTLAND CEMENT ABOVE GRADE - BELOW GRADE SEE 3.04 W/

4.02 SOLID MASONRY - PROVIDE MINIMUM 2-COURSES X 24" WIDE 100% GROOVED SOLID UNDER ALL STEEL

TOP COURSES OF BLOCK FOUNDATION WALLS SHALL BE FILLED OR SOLID INCLUDING THE COURSES UNDER ANY STEEL BEAM.

4.03 LINTELS FOR MASONRY WALLS SHALL BE AS FOLLOWS: PROVIDE 1 ANGLE FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:

OPENINGS

SEE 4.0E

4.04 STONE MASONRY - 5" STONE VENEER, COLOR AS SELECTED BY ARCHITECT.

#### 50 METALS

5.01 FOUNDATION ANCHOR BOLTS - SHALL BE PROVIDED AT MAXIMUM 6-0" O/C INTERVALS AND PLACED 12 FROM THE END OF EACH SECTION WITH MINIMUM TWO ANCHOR BOLTS PER SECTION OF WALL. ANCHOR BOLD SHALL BE MINIMUM 1/2" DIAMETER AND SHALL BE EMBEDDED IN FOUNDATION IN DEPTH MINIMUM 8" OF POURED IN PLACE CONCRETE AND NOT LESS THAN 15" IN GROUTED UNIT MASONRY WITH APPROVAL FROM ENGINEER. (ALT. USE METAL STRAP ANCHORS PER MANUFACTURER'S RECOMMENDATIONS & ASTM DATA)

#### 5.02 STEEL

A. ALL METAL ANCHORS, FASTENERS, JOIST HANGERS, ETC. TO BE GALVANIZED. ALL STRUCTURAL STEEL TO CONFORM TO ASTMA-36 PIPE TO BE A53

TUBE TO BE 4500 OR 4501. DETAILING TO BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL CONNECTIONS SHALL BE CAPABLE OF SUPPORTING ALLOWABLE UNIFORM LOAD STRESS OF 24 KSI.

BOTH OF HELD CONNECTION SHALL BE 344 DIAMETER HIGH STRENGTH BOLTS MEETING AST SPECIFICATION A-325. BOLTED JOINTS TO BE BEARING TYPE USING THE TURN-OF-THE-NUT METHED OF TIGHTENING. EXCEPT ADD HARDENED WASHER LINDER TURNED ELEMENT

STRUCTURAL STEEL SHALL HAVE A MINIMUM STRENGTH: Fy=36 KSI

WELDS SHALL COMPLY WITH AWS A5.18 OR AWA A5.20.E70

CONNECTIONS SHALL BE AISE STANDARD

PROVIDE BASE PLATE FOR ALL STRUCTURAL STEEL BEAMS BEARING ON CONCRETE OR MASONRY PROVIDE BASE FOLL FOR ALL SINGUISTRAL SIEED BEAWS BEAWING ON CONCRETE ON MAJORITY DUISTABLE STEEL COLUMNS SHALL MET OR EXCEED ALLOWABLE LOADS GIVEN FOR CARDINAL MANUFACTURERS "TEL O-POST". COLUMNS SHALL BE CERTIFIED BY BOCA AND SHALL HAVE A MARK INDICATING THE BOCA RESEARCH REPORT NUMBER. THE MANUFACTURERS NAME, AND DATE OF MANUFACTURE OF EACH COLUMN. COLUMNS SHALL HAVE A MINIMUM OF 5"X 4"X 1/4" BEARING PLATE AND SCREW JACK SHALL BE ENCASED IN CONCRETE OR TACK WELDED AFTER INSTALL ATION. CAPACITY RATING SHOULD BE DESIGNATED ON COLUMN.

B. SUBMIT COMPLETE SHOP AND ERECTION DRAWINGS FOR APPROVAL PRIOR TO FABRICATION AND

C. ALL WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY. ALL WELDING ELECTRODES, MACHINES, ETC. SHALL BE COMPATIBLE WITH THE TYPE OF STEEL BEING WELDED.

D. PROVIDE GALVANIZED METAL LET-IN BRACING AT ALL EXTERIOR CORNERS OF FRAME WALLS. (NOTE: MAY

5.04 NAILING SCHEDULE - AS PER APPLICABLE BUILDING CODES, OR MANUFACTURER'S RECOMMENDED STANDARDS, BUT NOT LESS THAN THAT REQUIRED BY CODE.

5.05 HOLES SHALL NOT BE CUT THROUGH BEAMS UNLESS INDICATED OR APPROVED BY ENGINEER. PROVIDE STANDARD ANGLE WALL ANCHORS FOR A BEAM RESTING ON MASONRY.

## en woon

6.01 SILL PLATE - PLATE TREATED TO MEET AMERICAN WOOD PRESERVES INSTITUTE STANDARD LP-2 OR LP-4 WHERE INDICATED ON PLANS. BOLTS SHALL BE 1/2" DIAMETER AT 6-0" OIC, 8" INTO CONCRETE, NOT MORE THAN 12" FROM CORNER.

PRESSURE PRESERVATIVE TREATED IN ACCORDANCE WITH INDUSTRY STANDARDS WITH A MINIMUM .40 POUND RETENTION, PROVIDE FIRE RETARDANT SHEATHING AND LUMBER WHERE INDICATED ON DRAWINGS.

5,03 MAXIMUM MOISTURE CONTENT - OF ALL LUMBER SHALL BE 19%, LUMBER MAY BE KILN-DRIED BUT DRYING PROCESS MUST BE REGULATED TO CAUSE A MINIMUM AMOUNT OF CHECKING AND KILN DRIED LUMBER SHALL BE COMPARABLE TO AIR DRIED STOCK.

6.04 WOOD STRUCTURAL MEMBER

A JOISTS HEADERS AND TRIMMERS SHALL BE MINIMUM #2 HEM-FIR HAVING THE FOLLOWING PROPERTIES UNLESS NOTED OTHERWISE:

Fb = 850 PSI Fc PERP = 405 PSI Fy = 75 PSI E = 1.300,000 PSI

B, EXTERIOR BEARING WALL STUDS SHALL BE A MINIMUM #2 GRADE SPF 2 X 6'S HAVING THE FOLLOWING PROPERTIES UNLESS NOTED OTHERWISE:

Eh = 875 PSI Fc PER. = 425 PSI Fc PAR. = 1100 PSI E = 1.400.000 PSI

SEE PLANS FOR SPACING AND SPECIAL REQUIREMENTS

C. INTERIOR BEARING WALL STUDS SHALL BE MINIMUM STUD GRADE SPF 2 X 4'S HAVING THE FOLLOWING PROPERTIES UNLESS NOTED OTHERWISE

Fc PER. = 425 PS Ec PAR = 675 PSI

D. ALL 4 X 4 POSTS DESIGNATED #2 SYP SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES

Eh = 1500 PSI Fc PER. = 565 PSI Fc PAR. = 1650 PSI F = 1.600.000 PSI

E. LUMBER FOR DECKS SHALL BE MINIMUM #2 SOUTHERN YELLOW PINE, PRESSURE TREATED TO .40 LB. RETENTION. HAVING THE FOLLOWING PROPERTIES:

Fh = 1050 PSIFc PER. = 565 PSI Fv = 90 PSI E = 1,600,000 PSI

F. LVL'S (LAMINATED VENEER LUMBER) SHALL BE 1 3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER. THEY SHALL HAVE THE FOLLOWING PROPERTIES:

Fh = 2800 PSI Fc = 500 PSI Fv = 250 PSI E = 2.000.000 PSI

G. GLU-LAMS (LAMINATED TIMBER MEMBERS) SHALL BE OF THE WIDTH AND DEPTH SPECIFIED ON THE PLANS. THEY SHALL HAVE THE FOLLOWING PROPERTIES:

Fb = 2400 PSI E = 1.700,000 PSI

H. FLITCH BEAM SHALL BE SIZED AS INDICATED ON DRAWINGS, USING #2 HEM-FIR MINIMUM AND A-36 STEEL PLATE. USE TWO ROWS OF 1/2" DIA THROUGH BOITS 2" FROM TOP AND BOTTOM, SPACE 16" OIC AT TOP AND 20" OIC AT BOTTOM, BEGIN BOLT ROWS AT 6" FROM ENDS.

I. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH NFOPA, MEMBERS ARE NOT TO BE DRILLED IN EXCESS OF NDS OR LOCAL, CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ALL POSTS AND UNLID STUDS SHALL RUN CONTINUOUSLY TO SOLID BEAGNING ON FOUNDATION WALLS OR REAMS, PROVIDE SOLID BLOCKING AT FLOORS, STUDS AND JOISTS OR FLOOR TRUSSES SHALL ALIGN AT CANTILLEVERS ABOVE AND BELOW THE JOIST OR TRUSSES ARE SPACED AT 2F OC AND STUDS ARE 15F OVER PROVIDE #2 SYP DOUBLE TOP PLATES (WHERE TRUSS LENGTH IS LESS THAN 31') OR PLACE STUD UNDER EACH TRUSS

I OPEN-WER TRUSSES: TRUSSES SHALL BE DESIGNED AND FARRICATED IN ACCORDANCE WITH TPI RECOMMENDATIONS TO CARRY ALL DEAD AND LIVE LOADS, LIVE LOAD DEFLECTION SHALL NOT EXCEED L480 FOR FLOOR TRUSSES AND L680 FOR FOOR ROOF TRUSSES. THE MANUFACTURER SHALL SUPPLY ALL REQUIRED HANGERS, HOLD DOWN STRIPS, SHEAR PANELS AND OTHER SPECIAL HARDWARE. THE MANUFACTURER SHALL SUBMIT ERECTION DRAWINGS AND SHOP DRAWINGS TO THE ARCHITECT OR ENGINEER PRIOR TO FABRICATION: ALL SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE ALL SHOP DRAWINGS SHALL BE SIGNED THAN SEALED BY REPORTESSIONAL ENGINEER REGISTERED IT FOR STATE WHERE THE JOB IS TO BE BUILT. THE MANUFACTURES SHALL PROVIDE LOAD TEST REGISTERED IT FOR SINGLE-MEMBER TOP-CHORD-BEARING THE CHOOR TRUSESS IF REQUIRED BY THE BUILDING OFFICIAL. ALL TRUSSES SINGLE MEMBER TOP-CHORD-BEARING THE CHOOR TRUSSES IN THE MANUFACTURES INSTRUCTIONS. WHEN A 2X SHALL BE INSTALLED AND BRACED IN ACCOUNT OF THE MANUFACTURES INSTRUCTIONS. WHEN A 2X RIBERTOR RETAILED AND SCHOOL THE SOLID BAND THE SHOP THE WAS THE STATES THE STATES THE CADE FROM FLOOR TO

K. PREFABRICATED ELOOR JOISTS: PREFABRICATED ELOOR JOISTS SHALL BE APPROVED BY A RECOGNIZED TESTING AGENCY. THEY SHALL BE DESIGNED TO CARRY ALL LIVE AND DEAD LOADS WITH THE LIVE LOAD DEFLECTION NOT TO EXCEED L/480. THE MANUFACTURER SHALL SUPPLY ALL REQUIRED HANGERS, SHEAR PANELS, BLOCKING AND OTHER SPECIAL HARDWARE, ERECTION DRAWING SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER PRIOR TO FARRICATION ALL PREFABRICATED FLOOR JOISTS SHALL BE INSTALLED AND BRACED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

L. FRAME CHIMNEY'S: FRAME CHIMNEY'S SHALL BE CONSTRUCTED OF MINIMUM #2 SPF STUDS, MAXIMUM 16" O/C. USE 2X 4'S IF CHIMNEY EXTENDS LESS THAN 8"-0" ABOVE ROOF; OTHERWISE USE 2X 6'S. SHEATH WITH 1/2" APA RATED SHEATHING CONTINUIOS ACROSS PLATES AND, JOISTE, GIULE AND HALL WITH BH ANLES @6-0" O/C SECURE TO ROOF. STUDS MUST BE CONTINUOUS ACROSS ROOF INTERSECTION

M. ADD EXTRA JOISTS UNDER FULL HEIGHT WALLS WHERE WALL EXTENDS MORE THAN HALF THE LENGTH OF

N. BLOCKING: PROVIDE SOLID BLOCKING @ 4'-0" O/C @ BASEMENT WALLS WHEN JOISTS ARE PARALLEL TO WALL, EXTEND BLOCKING 3 JOISTS MINIMUM

O, SPACE JOISTS NOT CLOSER THAN 16" O,C, UNDER JACUZZI TUBS, CERAMIC OR MARBLE TILE AND POTENTIAL

P. CUTTING AND NOTCHING FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING, OR PER MANUFACTURER'S

Q. NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE SIXTH THE DEPTH OF THE MEMBERS AND SHALL NOT BE LOCATED IN THE MIDDLE ONE THIRD OF THE SPAN. (INCLUDING BIRDS MOUTH CUTS)

R. NOTCH DEPTHS AT THE END OF THE MEMBER SHALL NOT EXCEED ONE FOURTH THE DEPTH OF THE MEMBER.

S. THE TENSION SIDE OF BEAMS. JOISTS AND RAFTERS OF FOUR INCHES OR GREATER NOMINAL THICKNESS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS

T. HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE THIRD THE DEPTH OF THE JOISTS.

U. STRESS GRADE LUMBER SHALL BE CLEARLY STAMPED WITH THE LUMBER INSPECTION ASSOCIATION SEAL SHOWING THE STRESS GRADE. ALL FABRICATION, ERECTION AND OTHER PROCEDURES SHALL CONFORM TO THE CURRENT "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS

V. PREFABRICATED TIMBER SHALL BE INSTALLED AND BRACED PER MANUFACTURER'S RECOMMENDATION. TIMBER MEMBER SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE

W. WHERE DOUBLE MEMBERS ARE INDICATED ON THE DRAWINGS, MECHANICALLY FASTEN BOTH MEMBERS IN A MANNER SUCH THAT BOTH MEMBERS SHARE THE SUPERIMPOSED LOADS, INCLUDING LOADS FROM HEADERS

X. THE DESIGN AND DETAILS OF ALL TRUSSES SHALL MEET THE REQUIREMENTS OF THE F.H.A. G4541.1 DESIGN CRITERIA FOR TRUSSES RAFTERS. THE "NATIONAL SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS" AND ALL APPLICABLE BUILDING CODES.

6.05 WOOD JOIST - SHALL HAVE A MINIMUM BEARING OF 1 1/2", WOOD FLOOR TRUSSES TO HAVE MINIMUM BEARING AS PER MANUFACTURER'S RECOMMENDATIONS, ALL RAFTERS AND TRUSSES SHALL BE CONNECTED AT BEARING POINTS WITH ONE PREFABRICATED GAL VANIZED METAL CONNECTOR. MINIMUM 18 GA, WITH CAPACITY TO RESIST 450# LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS

A, PREFAB JOISTS AND BEAM HANGERS SHALL BE SIZED AND ATTACHED FOR MANUFACTURER'S RECOMMENDATIONS. HOLES THROUGH WOOD I'S SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS, NO CUTS OR HOLES ARE ALLOWED THROUGH TOP OR BOTTOM CHORD.

B. WOOD FLOOR JOISTS SHALL BE DEPTH AND SPACING SHOWN ON DRAWINGS. SUPPLIER SHALL CONFIRM THAT MEMBERS PROVIDED CAN CARRY THE LOADING DESIGNATED IN SECTION 1.08.

C. PROVIDE 2 3/4" EXTERIOR PLYWOOD BANDS AT ALL PERIMETER BEARING WOOD. PROVIDE SQUASH BLOCKS AND STIFFENERS ASS REQUIRED TO DISTRIBUTE LOADINGS AND SHEAR REINFORCING AS REQUIRED AT CONCENTRATED LOADS.

D. TRUSSES, TRUSS JOIST AND FLOOR JOISTS SHALL ALIGN DIRECTLY OVER STUDS WITH AN OFFSET OF NO MORE THAN ONE INCH. INSTALL ADDITIONAL STUDS AS REQUIRED.

E. PROVIDE SOLID BLOCKING AT 4'-0" O/C BETWEEN BAND AND JOIST AND FIRST INTERIOR PARALLEL

 $6.06\,\mathrm{LINTELS}$  - ALL LINTELS OVER ALL FRAMED OPENINGS TO BE SHOWN BELOW UNLESS NOTED OTHERWISE.

2-2 X 8 - OPENINGS UP TO 4'-6" 2-2 X 10 - OPENINGS UP TO 5'-6" 2-2 X 12 - OPENINGS UP TO 7'-0"

6.07 PLYWOOD - ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THE TYPE, GRADE AND SPECIES OF PLYWOOD AND SHALL BE SO IDENTIFIED BY AN APPROVED TESTING AGENCY. ANU 3-FEGIES OF PLYWOOD AND SYMAL BE SO IDEN THEID BY AN APPROVED TESTING AGENCY. SUBFLOOR TO BE 344" TONGUE AND GROOVE PLYWOOD STANDARD STUD. I-FLOORD D.F.T.S. UNLESS NOTED DTHERWISE. ROOF DECK-1/2" CDX D.F.P.S. WITH EXTERIOR GLUE UNLESS OTHERWISE NOTED. DIRECT BEARING AT ALL EDGES, GLUES AND NAILED. ALL BUD JOINTS SHALL BE LAID AT RIGHT ANGLES TO THE JOISTS AND TRUSSES AND PARALLEL TO THE STUDS. USE PLYWOOD CLIPS W 5/6" ROOF PLYWOOD FAPPLICABLE.

6.08 FIRE RETARDANT TREATED PLYWOOD AND DIMENSIONAL LUMBER (WHERE APPLICABLE) - IF FIRE RETARDANT TREATED PLYWOOD IS APPLIED TO A STRUCTURE (FIRE RETARDANT PLYWOOD MUST BE APPLIED 4" TO EITHER SIDE OF FIRE WALLS OR PARTY WALLS UNLESS NOTED OTHERWISE) IT IS TO BE ACCOMPANIED BY VERIFICATION THAT ACID HYDROLYSIS WILL NOT OCCUR IN THE PRODUCT AT TEMPERATURES BELOW 400 DEGREES FAHRENHEIT: THIS CERTIFICATION MUST COME FROM THE ACTURER AND BE APPROVED BY A CERTIFIED TESTING AGENCY AMD LOCAL BUILDING

6.09 WOOD BLOCKING - ALL WOOD BLOCKING, NAILERS ETC. SHALL BE ATTACHED TO STEEL OR ONORTHE FRAMING WITH POWER ACTUATED FASTENERS OR 36" DIAMETER BOLTS ULESS NOTED OTHERWISE. FASTENERS SHALL BE SPACED AT 24" MAXIMUM O/C AND SHALL BE STAGGERED. FASTENERS SHALL HAVE A MINIMUM REARING CAPACITY OF 100 POLINDS IN SHEAR AND PULL OUT

6.10 INTERIOR TRIM - WINDOWS, DOOR AND BASES MAY BE FINGER JOINTED, 21/2" TRADITIONAL PROFILE OR AS INDICATED ON DRAWINGS.

6.11 INTERIOR STAIRS - PRE FABRICATED WOOD UNLESS OTHERWISE NOTED

6.12 SHELVING - 3/4" FILLED FLAKEBOARD WITH TAPERED FRONT EDGE, SHOP AND METAL BRACKETS, 42" O/C MAX. UNLESS INDICATED OTHERWISE ON DRAWINGS OR VINYL WRAP WIRE SHELVING AS SELECTED BY BUILDER (OWNER)

6.13 RAILINGS - RAILINGS OR HANDRAILS SHALL BE INSTALLED ON ANY EXTERIOR PORCH OR STAIR EXCEEDING 3 RISERS IN HEIGHT OR 18" ABOVE GRADE

6.14 HANDRAILS - AT STAIR (IF APPLICABLE). 34" HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAIL GRIP SIZE SHALL HAVE EITHER A CIRCULAR CROSS SECTION DIAMETER OF 1 1/4" TO 2" OR A NONCIRCULAR CROSS SECTION W/A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT MORE THAN 6 1/4" AND A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4". EDGED TO HAVE

6.15 GUARDRAILS - NOT LESS THAN 42" HEIGHT MEASURED VERTICALLY EXCEPT FOR BUILDINGS OF USE GROUP R-3 SHALL NOT BE LESS THAN 36". CONSTRUCT SUCH THAT A SPHERE WITH A DIAMETER OF 4" CANNOT PASS THROUGH ANY OPENING. **CATHLEEN CURTIN** AIA ARCHITECTS LLC

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SPECIFICATIONS 2

NOTE: ORIGINAL SET IS ON 24" X 36" TO PRINT ON 11" X 17" SHEET CUSTOMIZE THE PAGE LAYOUT TO 50% SCALE.

AR.M.12.23 Project number NA 12 24 Drawn by Checked by CC

SP2

Scale

15

7.01 SILL SEAL - 1/2" X 3 1/2" COMPRESSIBLE FIBERGLASS BENEATH ALL EXTERIOR SILL PLATES,

A, WALLS - R-15 MINIMUM 3 5/8" BATT INSULATION WITH KRAFT PAPER FACE VAPOR BARRIER, UNLESS OTHERWISE NOTED, PROVIDE 3 1/2" R-13 BLANKET INSULATION IN ALL EXTERIOR FRAME WALLS THAT ARE 4" THICK, PROVIDE 6" R-19 BLANKET INSULATION IN ALL 6" EXTERIOR FRAMEWALLS AND ANY FLOOR AREA EXPOSED TO THE FLEMENTS OR BELOW STORAGE ROOM, PROVIDE R-13 BATT INSULATION IN ALL FURRED OUT BASEMENT WALLS

B, CEILINGS AT ROOF - R-49 FIBERGLASS BATT WITH KRAFT PAPER FACE VAPOR BARRIER, OR BELOW INSUL, WITH

CRAWL SPACES - AND OTHER FLOORS EXPOSED TO UNHEATED SPACES BELOW, R-19 FIBERGLASS BATT WITH KRAFT PAPER FACE VAPOR BARRIER

D. PERIMETER SLAB - INSULATION TO BE RIGID EXTERIOR GRADE, MINIMUM R-7 EXTENDING 2-0" VERTICALLY AND 2-0" HORIZONTALLY. MINIMUM PERIMETER INSULATION TO BE EXTRUDED POLYSTYRENE\ CLOSED CELL.

F VAPOR BARRIERS - TO FACE WARM SIDE OF SPACE (INTERIOR) LINESS NOTED OTHERWISE ON DRAWINGS

A SHINGLES - 235# ASPHALT OR 215# FIBERGLASS SHINGLES CLASS 'C' OR BETTER ON 15# ROOFING FELT ON SLOPES OF 4" TO 12" OR GREATER ON SLOPES LESS THAN 4" TO 12" BUIT GREATER THAN 2" TO 12" PROVIDE DOUBLE COVERAGE ASPHALT/FIBERGLASS SHINGLES ON TWO LAYERS 15# ROOFING FELT. SHINGLES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND APPLICABLE BUILDING CODES

B. VALLEY FLASHING - OPEN VALLEYS SHALL BE FLASHED WITH MIN. NO. 28 GAUGE GALVANIZED CORROSIONRESISTANT SHEET METAL AND SHALL EXTEND MINIMUM 8° FROM CENTER LINE EACH WAY, CLOSED VALLEY FLASHING SHALL BE TWO LAYERS 90M MINERAL SLOFANCE CAP SHEET WITH BOTTOM CEMENTED TOGETHER, CLOSED VALLEYS MAY ALSO BE OF 38° MIDE FOIL ROOFING MATERIAL NOT LESS THAN NO, 50 IN THE VALLEY OVER THE LINDERLAYMENT

C. RIDGE FLASHING - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.

D. ROOF EDGE - PROVIDE NON-CORROSIVE ALUMINUM DRIP EDGE FLASHING AT ROOF EDGE.

E. BUILT UP ROOFING - TO BE DETAILED ON DRAWINGS AND INSTALLED AS PER MANUFACTURER'S

F. ROOFING AND SHEET METAL - INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARDS AND DETAILS ESTABLISHED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.
"SMACNA" - REFER TO CURRENT EDITION APPROVED BY ARLINGTON CO,VA FOR SPECIFIC DETAIL INFORMATION.

#### 7.04 EXTERIOR WALLS

A, FLASHING - TO BE NON-CORROSIVE ALUMINUM OR COPPER PROVIDED AT TOPS AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER TO BE LEAKPROF, REFER TO STANDARDS AND DETAILS ESTABLISHED BY THE SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. "SMACNA", CURRENT EDITION APPROVED BY ARI INGTON CO VA

I, FLASH AND COUNTER FLASH - ALL ROOF TO WALL CONDITIONS, MINIMUM NO. 26 GAUGE CORROSION RESISTANT ALUMINUM STEP FLASHING AS REQUIRED TO MAINTAIN MINIMUM HEIGHT.

C. FLASH ALL EXTERIOR OPENINGS AND ALL BUILDING CORNERS WITH APPROVED WATERPROOF BUILDING PAPER TO EXTEND AT LEAST 4" BEHIND WALL COVERING.

D. FLASH AND CAULK - WOOD BEAMS AND OTHER PROJECTIONS THROUGH EXTERIOR WALLS ON ROOF SURFACES

E, EXTERIOR SHEATHING - 7/16" O.S.B, SHEATHING INSTALLED PER MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON DRAWINGS.

F. CAULKING / SEALANT - AS SELECTED BY BUILDER (OWNER) - SUBMIT PRODUCT LITERATURE TO ARCHITECT FOR

G. FLASHING - WHEN VENEER OF BRICK CLAY, TILE, CONCRETE OR NATURAL OR ARTIFICIAL STONE ARE USED, 20 MIL PLASTIC FLASHING SHALL BE ATTACHED TO THE SHEATHING WHEREVER NECESSARY TO PREVENT MOISTURE

ROUGH CARPENTRY CONTRACTORS SHALL SEAL WITH CONSTRUCTION ADHESIVE, PLATES AT FLOOR AND CEILING AND CAULK ALL WINDOWS AND DOOR FLANGES / JAMBS AND ALL PANEL BUTT JOINTS PRIOR TO AND

7.05 FIRESTOPPING - SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) IN THE FOLLOWING LOCATIONS:

A, ALL PIPES, DUCTS, VENTS, WIRING AND CHASES WHICH PENETRATE CEILINGS DIRECTLY BELOW A TRUSS OR ROOF ASSEMBLY SHALL BE FIRESTOPPED.

I. IN EXTERIOR OR INTERIOR STUD WALLS, AT CEILING AND FLOOR LEVELS AND SO PLACED THAT THE MAXIMUM

2. BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND BETWEEN STUDS IN LINE WITH STAIR RUN.

3. SPACES BETWEEN CHIMNEYS AND WOOD FRAMING SHALL BE FILLED WITH LOOSE NONCOMBUSTIBLE MATERIAL (2" MIN. THICKNESS). PLACED IN NONCOMBUSTIBLE SUPPORTS TIGHTLY FITTED TO THE CHIMNEY

4 OTHER LOCATIONS NOT MENTIONED ABOVE SLICH AS HOLES FOR PIPES. SLEEVES, BEHIND FRAMING STRIPS AND OTHER SIMILAR PLACES WHICH COULD AFFORD A PASSAGE FOR FLAMES.

B, FIRESTOPS - WHEN MADE OF WOOD, SHALL BE MINIMUM 2" NOMINAL THICKNESS AND MAY ALSO BE OF GYPSUM

BOARD, MINERAL WOOL OR OTHER NONCOMBUSTIBLE MATERIAL,

C. DRAFTSTOPPING - PROVIDE DRAFTSTOPPING WHERE REQUIRED IN ACCORDANCE WITH APPLICABLE CODES,

7,06 SIDING - TO BE AS CALLED FOR ON DRAWINGS AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS,

7,07 - VENTILATION - PROVIDE ADEQUATE CROSS VENTILATION (MINIMUM AS REQUIRED BY CODE) FOR ALL CONCEALED ATTIC AND RAFTER SPACES. PROVIDE CROSS VENTILATION AS REQUIRED BY CODE FOR CRAWL

7.08 GUTTER AND LEADERS - IF APPLICABLE, PREFINISHED ALUMINUM LEAD TO SPLASH BLOCKS.

7,09 ALL WOOD SHALL BE MINIMUM 8" ABOVE FINISH GRADE OR PRESSURE TREATED LESS THAN 8" ABOVE FINISH GRADE, ALL SIDING SHALL BE MINIMUM 6" ABOVE FINISH GRADE.

#### 8.0 DOORS AND WINDOWS

A. EXTERIOR ENTRANCE DOORS - 1 3/4" SOLID WOOD CORE HOLLOW METAL MINIMUM 20 GAUGE FILLED WITH SLAB POLYSTYRENE INSULATION PERMANENTLY BONDED TO PANELS, PROVIDE 1 1/2" PAIR HINGES FOR DOORS

TO 7.2" IN HEIGHT AND 2 PAIR \ HINGES FOR DOORS TO 8'-0" IN HEIGHT FRAMES TO BE MINIMUM 16 GALIGE GALVANIZED STEEL, SEE DRAWINGS FOR RAISED PANEL DESIGN, PROVIDE COMPLETE WEATHER STRII

B. GARAGE UNIT DOORS - IF APPLICABLE - TO BE METAL OR SOLID WOOD CORE 1 3/4". FIRE RATED.

C. INTERIOR DOORS - TO BE SOLID CORE WOOD WITH VENEER

D. DOOR SIZES - REFER TO DOOR SCHEDULE.

8.1 WINDOWS - PER MECHANICAL ENERGY CODE REQUIREMENTS (LOW - E IF REQ'D)

A GENERAL - GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS ENTRY DOORS AND SKYLIGHTS SLIDING GLASS DOOR, SHOWER DOORS, TUB ENCLOSURES AND STORM DOORS SHALL BE FULLY TEMPERED IN SLIDING GLASS DOOR, SHOWER DOORS, TLB ENCLOSURES AND EXTORD DOORS SHALL BE FULLY TEMPERED IN ACCORDANCE WITH THE BOCK OCODE, REVENUE AND EXTRAIN EXCESS OF 9 SQUARE FEET WITH THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISHED FLOOR OR WALKING SURFACE WITHIN 38" OF SUCH GLAZING UNLESS A HORIZONTAL MEMBER NOT LESS THAN 110" ABOVE THE WALKED UNLESS A HORIZONTAL MEMBER NOT LESS THAN 110" AND THE WALKED WITH LOVER THE WALKED WALKED BETWEEN 24" AND 36" ABOVE THE WALKED WALKED WALKED BETWEEN 24" AND 36" ABOVE THE WALKED WALKED WALKED BETWEEN 24" AND 36" ABOVE THE WALKED WAL

SHALL BE FULLY TEMPERED, SEE BOCA FOR EXCEPTIONS TO HAZARDOUS LOCATIONS, IF APPLICABLE.

B. WEATHER PROOFING - ALL SLIDING, SWINGING DOORS AND WINDOWS OPENING TO THE EXTERIOR SHALL BE FULLY WEATHER-STRIPPED, CAULKED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION, PROVIDE MAXIMUM AIR INFILTRATION AS FOLLOWS:

1, WINDOWS SHALL HAVE AN AIR INFILTRATION RATE OF LESS THAN 0,5 CFM PER SQUARE FOOT OF SUCH CRACK.

2. SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF LESS THAN 0.5 CFM PER SQUARE FOOT OF

PROVIDE FLASHING AS PER SMACNA AT ALL WINDOW HEADS.

C. EMERGENCY EGRESS - EVERY SLEEPING ROOM BELOW THE FOURTH STORY SHALL HAVE AT LEAST ONE COPERABLE WINDOW OR DOOR FOR EMERGENCY EGRESS OR RESCUE. EGRESS WINDOWS SHALL HAVE A
MAXIMUM SILL HEIGHT OF 44\* ABOYE FINISHED FLOOR AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7
SQUARE FEET WITH A MINIMUM CLEAR OPENING HEIGHT OF 24\* AND MINIMUM OPENING WITH OF 20.7
GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET

D. ALL OPERABLE WINDOWS - SHALL HAVE NONCORROSIVE SCREENS AND SASH LOCKS.

A. GYPSUM WALLBOARD - SHALL BE INSTALLED IN ACCORDANCE WITH U.S. GYPSUM RECOMMENDATIONS AND SHALL MEET THE REQUIREMENTS OF BOCA AND OTHER APPLICABLE CODES, TYPICAL INTERIOR PARTITIONS TO HAVE 1/2" TAPERED EDGE TAPED AND FINISHED, PROVIDE 5/8" TYPE "X" FIRE RATED GYPSUM BOARD AT WALL AND CELLINGS WHERE CALLED FOR ON THE DRAWINGS

B, GYPSUM WALLBOARD - SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS

C, SUPPORT - ALL EDGES AND ENDS OF GYPSUM BOARD SHALL OCCUR ON FRAMING MEMBERS EXCEPT THOSE EDGES PERPENDICULAR TO FRAMING MEMBERS

D. MOISTURE RESISTANT GYPSUM BOARD - PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND WHEREVER MOISTURE CONDITIONS CAN EXIST.

E. J BEAD - SHOULD BE USED WITH MOISTURE RESISTANT GYPSUM BOARD AND WHEREVER MOISTURE CONDITIONS

F. INTERIOR FINISH SCHEDULE SHALL TAKE PRECEDENCE OVER THE FOLLOWING.

G. CERAMIC TILE - CERAMIC TILE SHALL BE 4.1/2" X 4.14" GLAZED TILE, THIN SET APPLICATION ON MOISTURE RESISTANT DRYWALL PROVIDE BASE AND MISCELLANEOUS TRIM. THE COLOR AS SELECTED BY OWNER, PROVIDE MARBLE THRESHOLD FOR TRANSITION BETWEEN CERAMIC FLOOR TILE AND OTHER FLOOR FINISHES, FLOOR TILE SHALL BE NON-SLIP. TILE BY OWNER GROUT - COMMERCIAL WATERPROOF GROUT CEMENT.

H, RESILIENT FLOORING - SHALL BE SHEET VINYL OR VINYL COMPOSITION TILE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS

I. UNDERLAYMENT - PROVIDE SUITABLE FLOOR UNDERLAYMENT FOR ALL CERAMIC TILE AND RESILIENT FLOORING.

### J. PAINT INTERIOR

CEILINGS - LATEX FLAT, 2 COATS
WALLS - LATEX FLAT, 2 COATS
TRIM - LATEX SEMI-GLOSS, 2ND COAT BRUSH APPLIED OVER ONE COAT FLAT.
KITCHEN AND BATHROOMS CELLING - LATEY EGG SHELL 2 COATS WALLS - LATEX EGG SHELL, 2 COATS

K PAINT EXTERIOR FRIM - LATEX. 1 COAT PRIME. 1 COAT FINISH

A. BATH VANITIES - AS SELECTED BY BUILDER (OWNER).

B, BATH FIXTURES - AS SELECTED BY BUILDER (OWNER) 11.0 EQUIPMENT - GAS VENTED FIREPLACE BY OWNER

12,0 FURNISHINGS - NONE

13.0 SPECIAL CONSTRUCTION - NONE

14.0 CONVEYING SYSTEMS - NONE

15.0 MECHANICAL - SEE M SHEETS

A. H.V.A.C. KITCHEN AND BATH VENTILATION METAL DUCTS TO EXTERIOR WHERE INDICATED AND/OR REQUIRED BY APPLICABLE CODES, COMPLETE INSTALLATION CIRCULATING AIR COMBUSTION TO MEET ALL REQUIREMENTS OF THE MANUFACTURER AND THE STATE,

#### 16.0 PLUMBING

A. SANITARY: COLD AND HOT WATER: AND ALL OTHER PIPING SHALL CONFORM TO THE REQUIREMENTS LOCAL AND THE STATE.

B. PROVIDE MINIMUM 18" WALKING SPACE IN FRONT OF ALL PLUMBING FIXTURES IN BATHROOM AND 14" X 30" ACCESS PANEL AT TUE CONNECTIONS UNLESS OTHERWISE NOTED, ALL SHOWER STALLS SHALL HAVE A MINIMUM FINISHED AREA OF 1024 SQUARE INCHES WITH A MINIMUM OF 15" FROM WALL TO CENTERLINE OF FIXTURE.

#### 17.0 ELECTRICAL

A FLECTRICAL SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL A ELECTRICAL SHALL CONFORM TO THE REQUIREMENTS OF THE MATIFIANCE ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE LOCAL REGULATIONS, OBTAIN ALL PERMITS AND PAY FEES REQUIRED BY THIS WORK. HAVE THE INSTALLATION INSPECTED AND APPROVED BY THE INSPECTION AGENCY OF THE FIRE UNDERWRITER'S ASSOCIATION, SUBMIT A CERTIFICATE OF FINAL APPROVAL BY THE INSPECTION AGENCY LIPON COMPLETION FIXTURES AND APPARATUS AS SELECTED BY BUILDER UNLESS OTHERWISE

B. SMOKE DETECTORS - ARE REQUIRED AND SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA, IN EACH SLEEPING ROOM, AND ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND CELLARS (IF APPLICABLE) BUT NOT IN UNINHABITABLE SPACES. ALL DETECTORS SHALL BE INTERCONNECTED APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS

IT IS THE GENERAL COTRACTORS RESPONSIBILITY TO NOTIFY THE IF DISCREPANCIES ARE FOUND ON THESE PLANS. CONFLICTS SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER.
FAILURE TO CONTACT TJE ARCHITECT/ENGINEER IS AT THE CONTRACTORS OWN

# **CATHLEEN CURTIN** AIA ARCHITECTS LLC

**501 PRINCESS STREET ALEXANDRIA VA 22314** 

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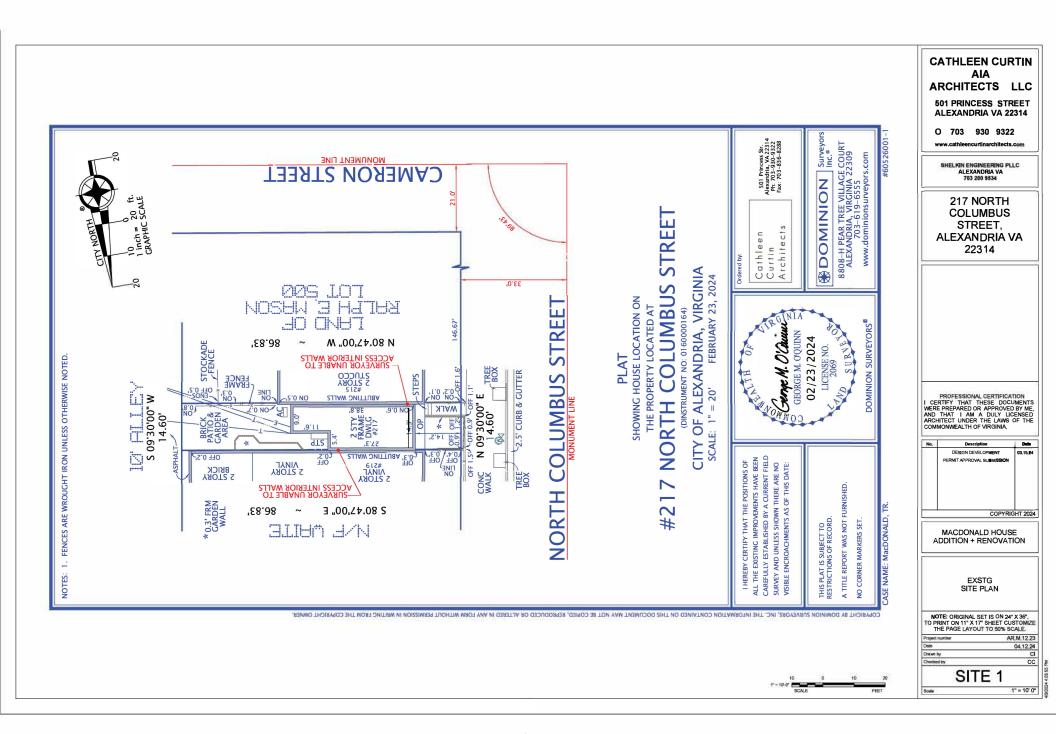
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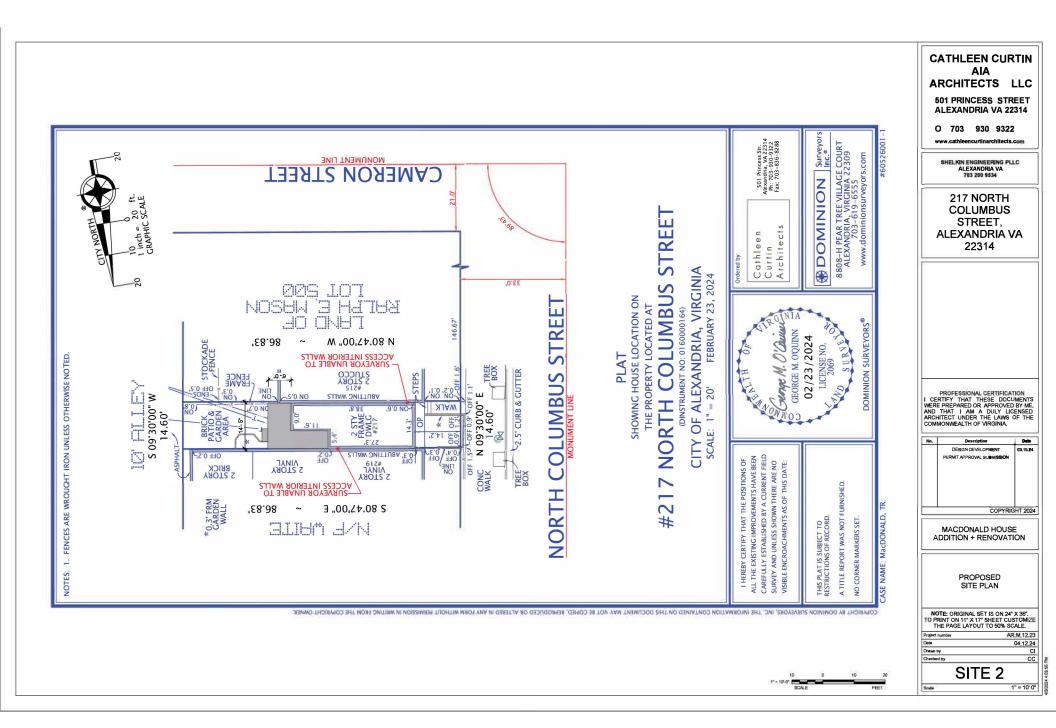
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VIEW FROM ADJACENT EAST PRIVATE PARKING LOT



WEST ELEVATION VIEW, 217 N COLUMBUS ST



**EAST ELEVATION VIEW AT REAR** 

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## EXTERIOR PHOTOS OF EXISTING HOUSE

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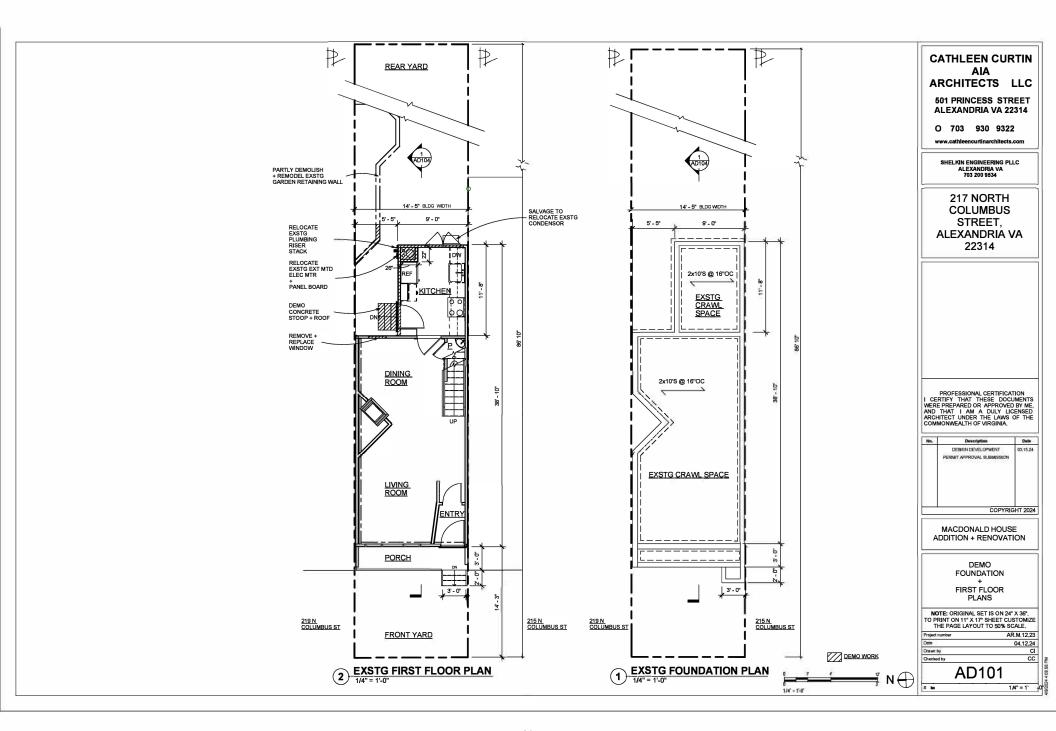
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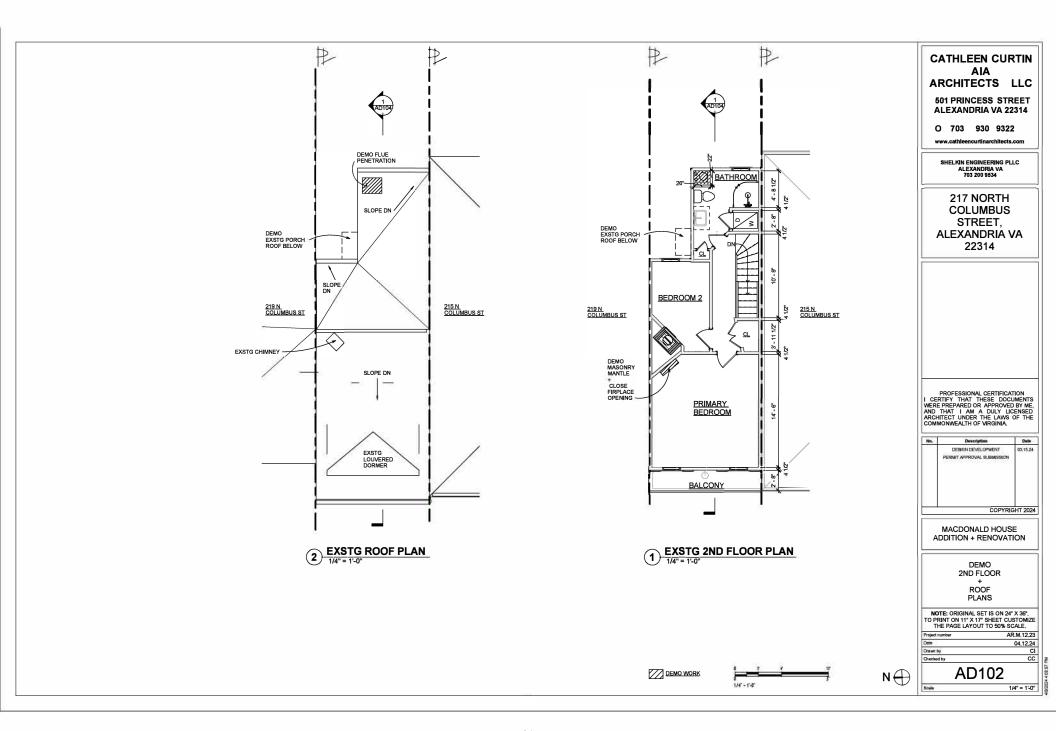
SITE 3

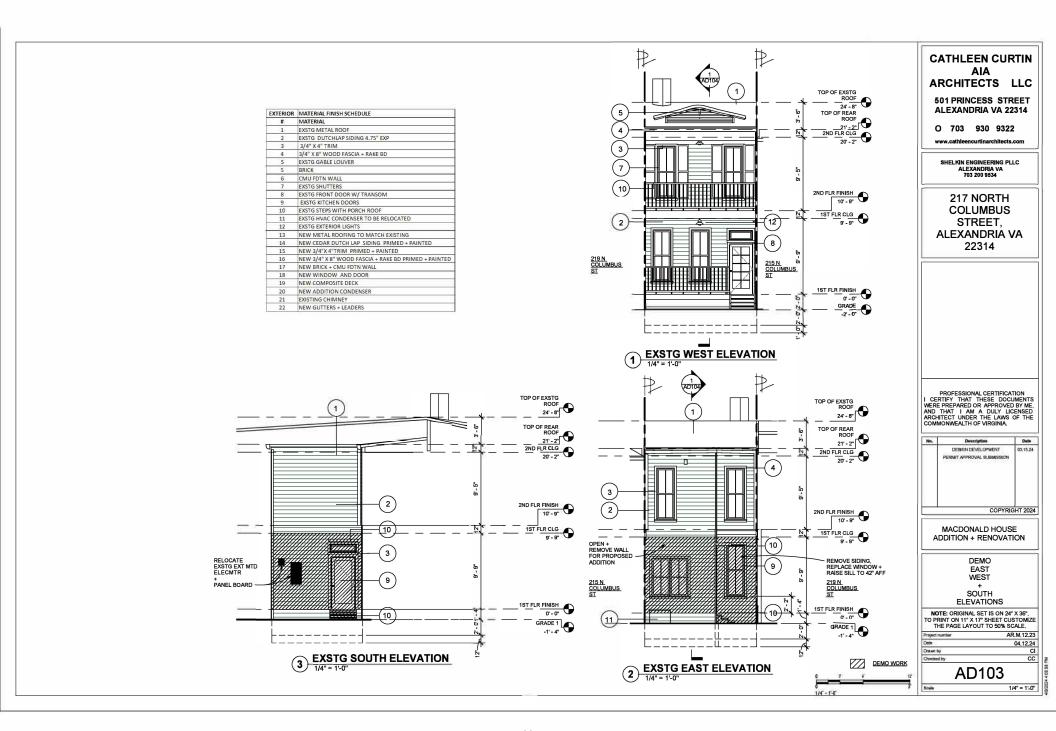
1ST LEVEL SIDING , WINDOWS + SIDE DOOR W! STOOP TO BE REMOVED FOR A PROPOSED 1 STORY REAR ADDITION



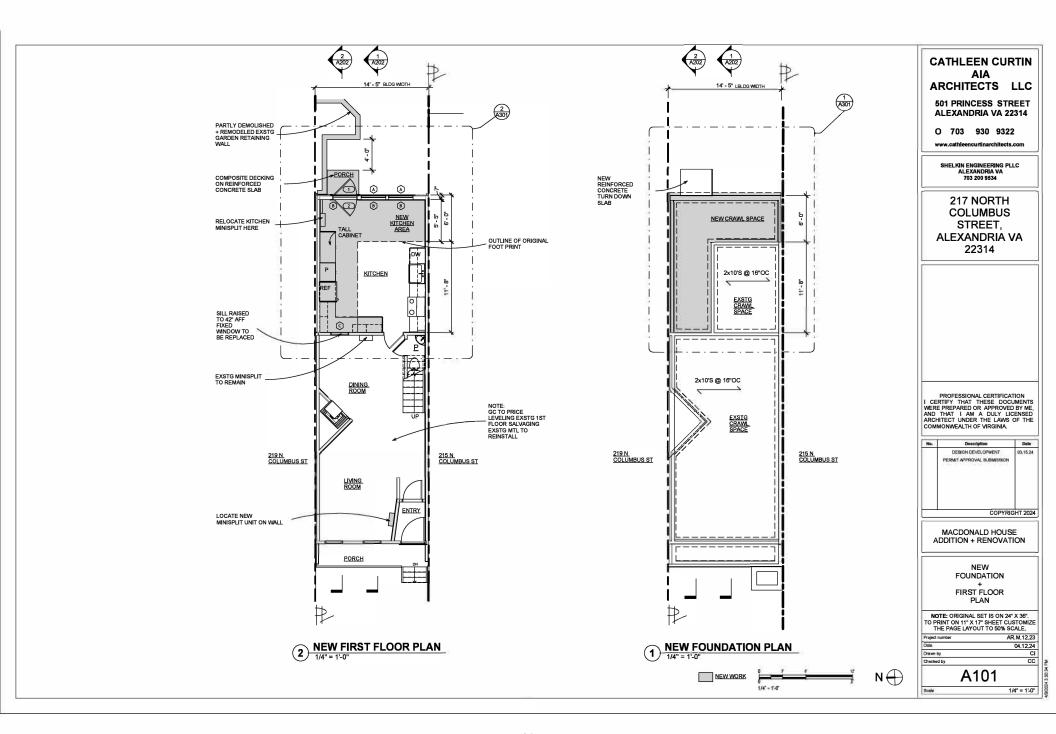
**CLOSE UP OF EAST ELEVATION AT REAR** 

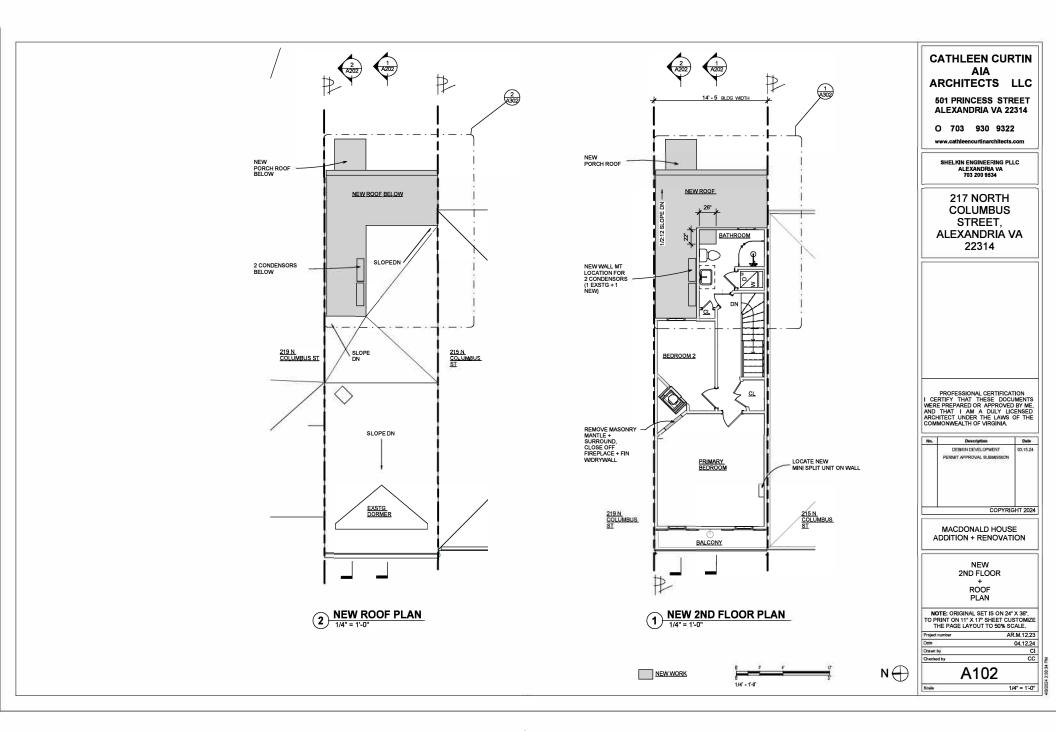


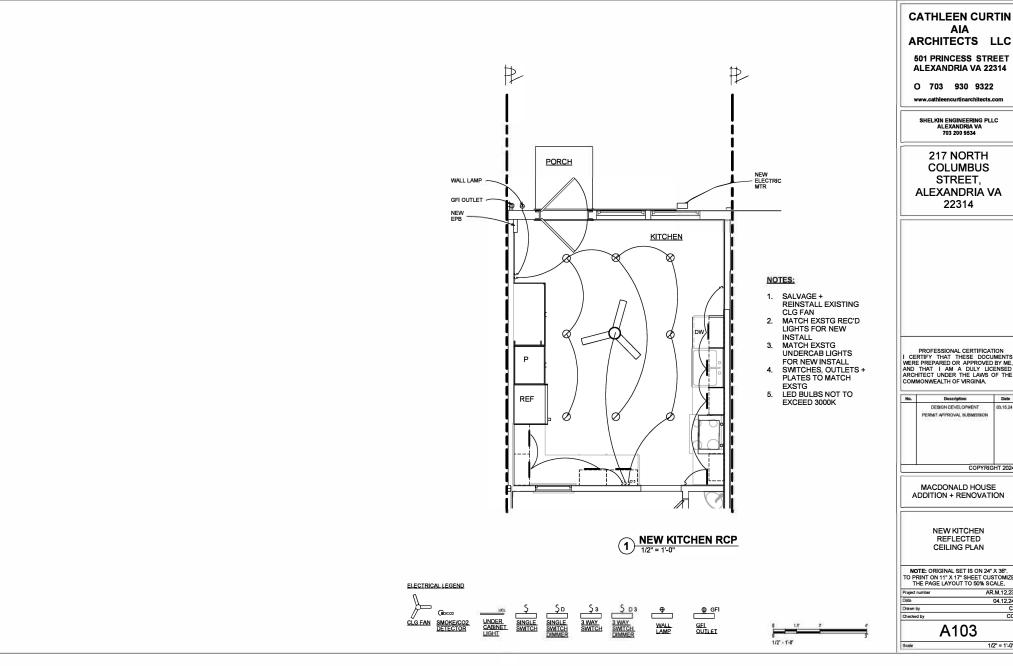












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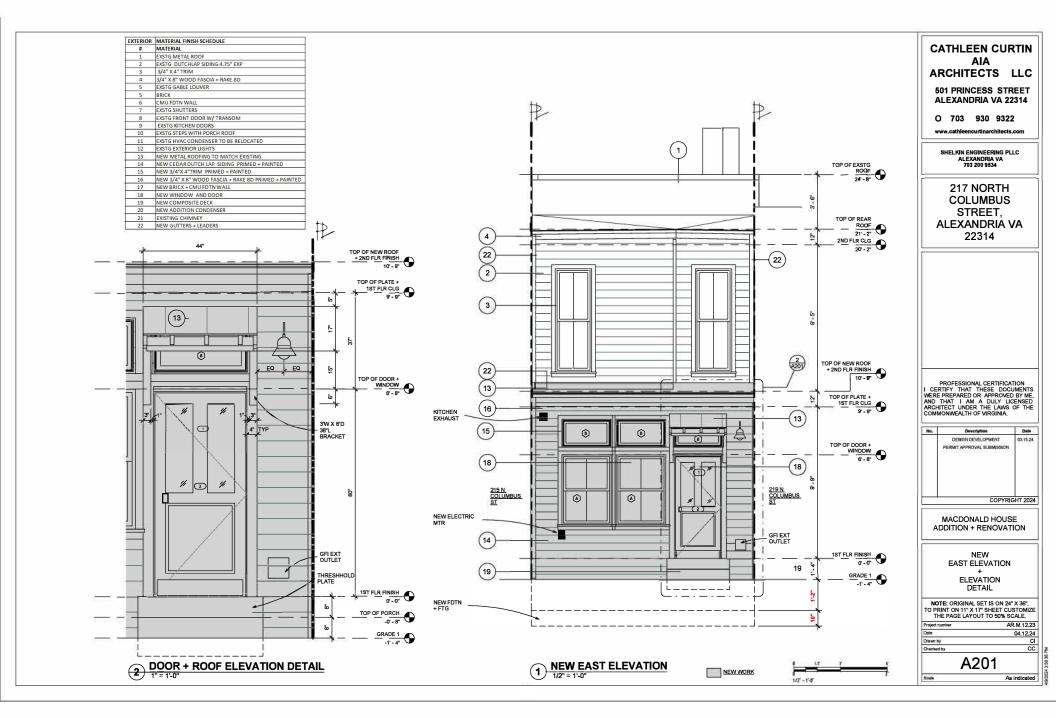
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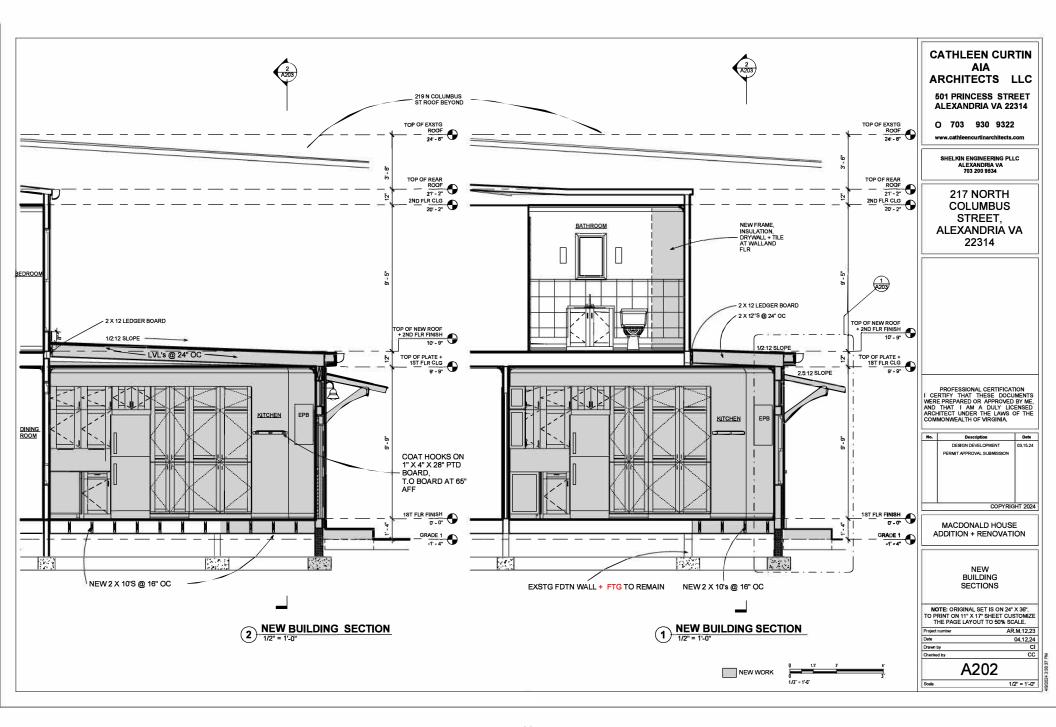
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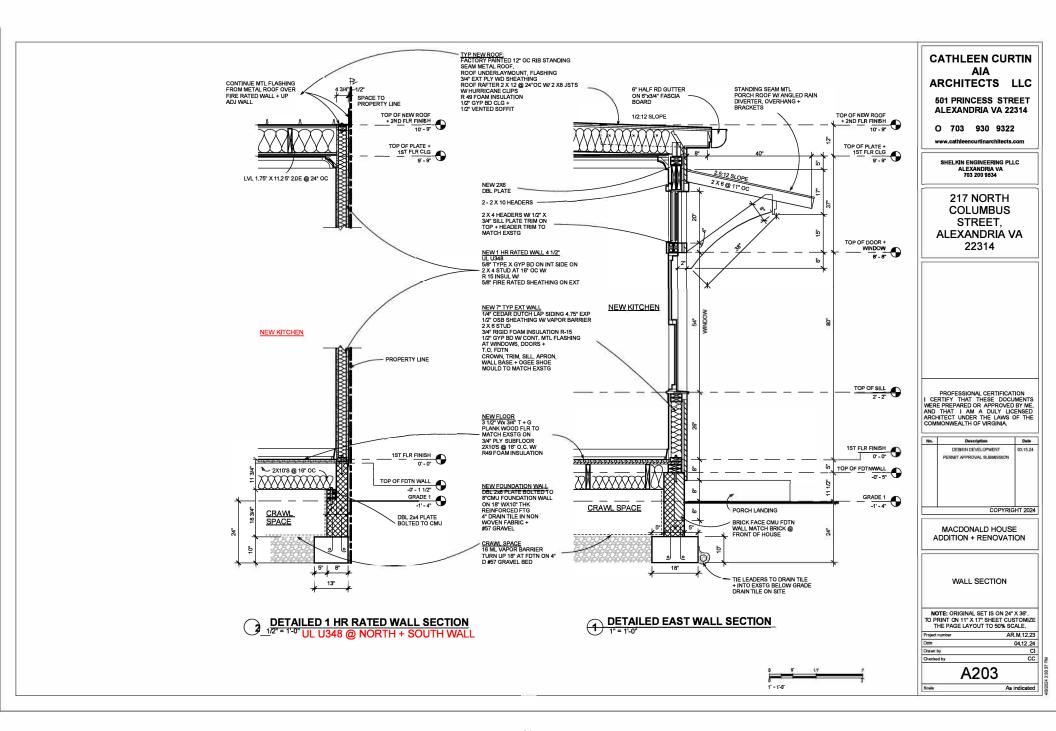
NEW KITCHEN REFLECTED CEILING PLAN

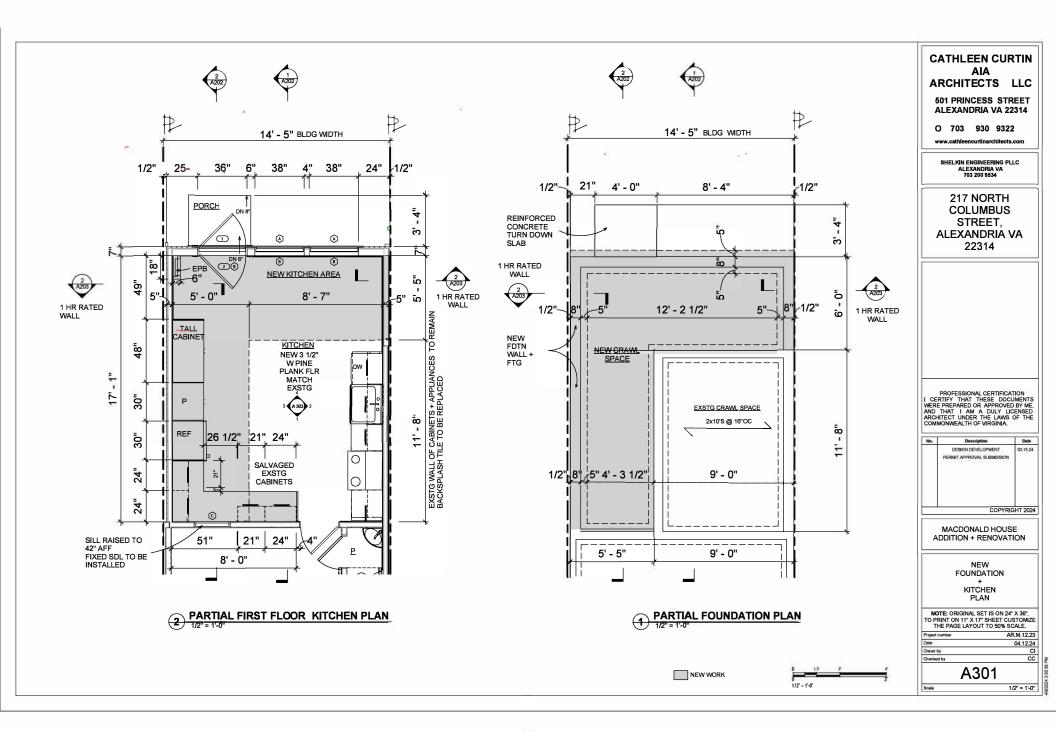
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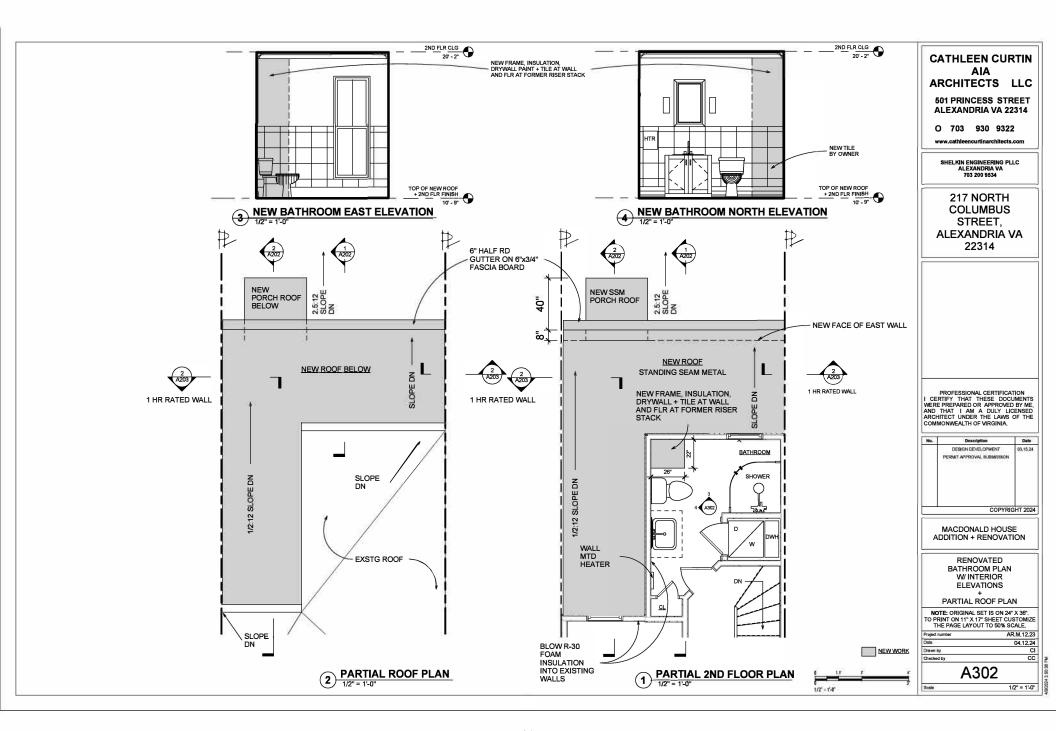
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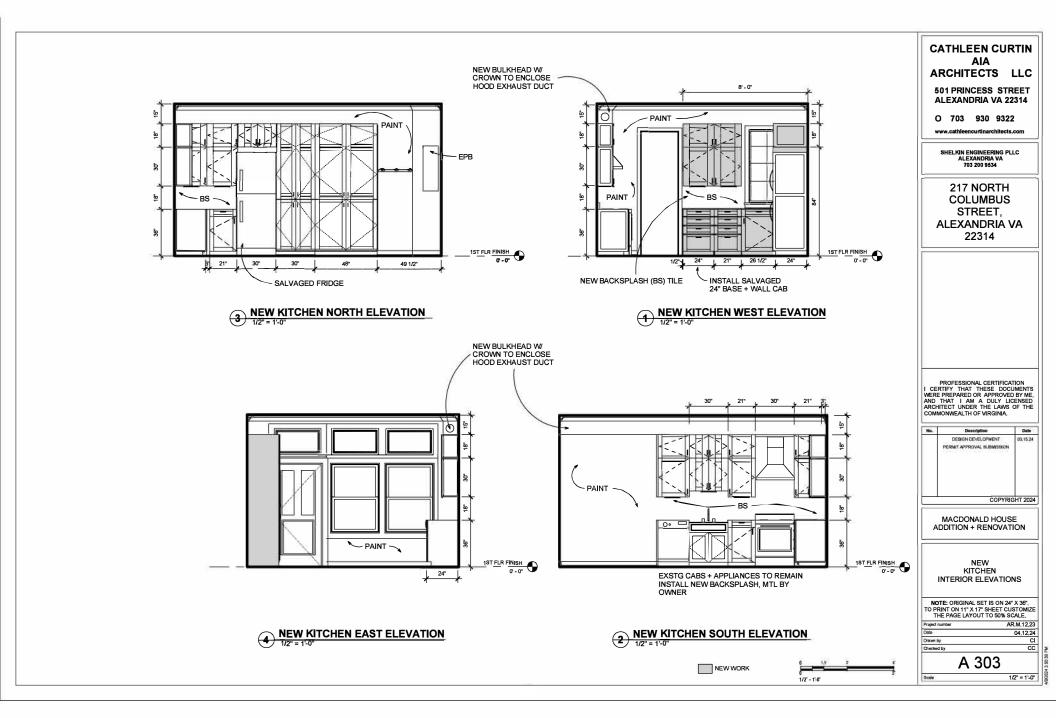












### DOOR SCHEDULE

	ROOM	DOOR PANEL	DOOR	HINGE TYPE	HARDWARE	FINISH	GLASS	NOTES
#	,	SIZE (INCHES)						
1	KITCHEN STORM DOOR,	36" W X 80" H	AL CLAD, GLASS WITH ADJUSTABLE	OUTSWING	DBL PULL W/ KEYED	POL BRASS	TEMPERED	WHITE FRAME,
	LAWSON		SCREEN		SECURITY DEADBOLT, NO			CLEAR GLASS
					THUMBLATCH			
2	KITCHEN EXTERIOR DOOR	36" W X 80" H	FRAMED, 2 PANEL GLASS WITH	INSWING	DBL PULL W/ KEYED	POL BRASS	TEMPERED	CLEAR GLASS, KICK
			BOTTOM RAISED PANEL, PRIMED		SECURITY DEADBOLT, NO			PLATE
			WOOD		THUMBLATCH			

## WINDOW SCHEDULE

	WIII DO W SCHEDOLL					
	ROOM	SIZE (INCHES)	TYPE			n
#				GLASS	FINISH	NOTES
А	MAIN FLR NEW KITCHEN	38"W X 54" H	AL CLAD, PRIMED WOOD, 2	INSUL/	HARDWARE POL	
			OVER 2, SDL, DOUBLE	TEMPERED	BRASS	
В	MAIN FLOOR KITCHEN	38"W X 20" H	AL CLAD PRIMED WOOD,	INSUL	NA	
			FIXED TRANSOM			
	MAIN FLR DINING RM OPENING	30" W X 48"H	PRIMED WOOD, 2 BY 4	TEMPERED	NA	
С			LITES, SDL, FIXED			

### **ROOM FINISH SCHEDULE**

ROOM	FLOORS	WALLS	CEILINGS	TRIM +	NOTES
		,		CABINETS	
NEW KITCHEN	STAINED WOOD TO MATCH EXISTING	EGGSHELL PAINT FINISH/ BACKPLASH TILE TILE MTL BY OWNER	FLAT	MATCH EXISTING CHERRY CAB, TRIM IN SEMI GLOSS TYP	BROOKHAVEN CABINETS BY OWNER. MATCHING COUNTER TOP BY GC
NEW LIVING RM +DINING RM	STAINED WOOD	NA	NA	NA	OPTION - LEVEL MAIN FLOOR
NEW DECK	COMPOSITE DECKING, COLOR TBD	NO RAILINGS	NA	NA	
RENOVATED BATHROOM	MATCH EXISTING TILE	MATCH EXISTING 54" H TILE/ PAINTED DRYWALL	MATCH EXISTING	CABINET BY OWNER	
RENOVATED PRIMARY BEDROOM	STAINED WOOD TO MATCH EXISTING	EGGSHELL PAINT FINISH	FLAT	MATCH EXISTING	4

## GENERAL TRIM + MOULDING NOTES

- 1. EXSTG DOOR + WINDOW TRIM IS 4" X 3/4" FLAT PLS MATCH EXSTG
- 2. DOOR + CASED OPNG WITH PLINTH TO MATCH EXSTG
- 3. WINDOWS HAVE STOOL AND APRON MATCH EXSTG

### GENERAL NOTES FOR WINDOWS BY JELD-WEN OR WEATHERSHIELD

- 1. VINYL/ ALUMCLAD EXT. W/ PRIMED WOOD INTERIOR
- 2. STUD FRAME DIMENSION 5.5 X 3.5 W (SIGHTLINES)
- 3. INTEGRAL FLAT CASING MOLD W/ NAILING FIN.
- 4. ALL OPERABLE WINDOWS TO HAVE WINDOW OPENING CONTROL DEVICE + MULTI POINT LATCH ACTUATOR
- 6. STD. ALUMINUM FRAMED MESH SCREEN AT ALL WINDOWS
- 7. ALL EXT WINDOW TRIM TO MATCH EXSTG W/ AZEK TRIM
- 8. ALL DOORS TO HAVE HINGE STOPS NO DOOR STOP
- 9. GLAZING U-FACTOR 0.55
- 10. SHGC VALUE 0.40
- 11. SAFETY GLAZING: PLEASE NOTE THAT SAFETY GLAZING IS REQUIRED IN HAZARDOUS LOCATIONS (REF. 2015 IRC R308.1 AND R308.4)

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> DOOR, WINDOW ROOM FINISH

> > SCHEDULE

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