

# City of Alexandria, Virginia

## MEMORANDUM

DATE: MAY 22, 2013

TO: CHAIRMAN AND MEMBERS OF THE  
OHAD BOARD OF ARCHITECTURAL REVIEW

FROM: MICHELE OAKS, HISTORIC PRESERVATION PLANNER

SUBJECT: 813 PRINCESS ST, BAR CASE # 2012-0415

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On April 24, 2013, the BAR reviewed a Certificate of Appropriateness application for the new three, townhouse development on the subject lots. At this hearing, the majority of the Board members expressed general support for the design, however, a few members objected to the applicant's traditional design approach. The Board approved the site layout and a portion of the building to include foundation to grade and deferred a decision on the rest of the design and requested that the applicant:

- Study the configuration of the windows and the proposed material selection on the rear elevations;
- Study the possibility of lowering the roof height on the northern portion of the center townhouse to reduce bulk;
- Provide drawings for the wall details and architectural features; and
- Provide material samples for the new buildings.

The attached submittal includes a revised design in response to the BAR comments at the April 24, 2013 hearing. The changes to the original design include:

### *North Townhouse*

- Changes to the wall materials. The original brick façade is being changed to 5" exposure HardiePlank siding; the pre-cast concrete headers and sills are being changed to synthetic wood.
- Changes to the design of the cornice. The new cornice design includes a wide frieze board and terminates with a return on the side elevation walls.
- Revisions to design and detailing of the rear "addition" to include a change from a flat roof to a shed roof and alterations to the window locations and styles.
- Changes to the north, south and east elevation's window placement, operation and light configurations.

### *Central Townhouse*

- Reducing the height of the roof structure (northern portion) by 4.5 feet.
- Deleting the sidelights on the front entry door and reducing the entry's overall width.
- Additional detail architectural drawings of belt course/water table, molded brick, brackets, and gable-end brickwork, as requested.
- Changes to the rear elevation's wall materials. The southern portion of the rear elevation is being changed to brick.

- Modifications to the design of the roof structure on the rear elevation. The design was revised so that the townhouse visually appears to be two separate units.
- Changes to the east elevation's window placement and window and door light configurations.
- Installation of stone headers above the basement windows.

*South Townhouse*

- Changes to the rear elevation wall materials. The HardiePlank siding is being changed to brick with a natural veneer stone foundation.
- Changes to the east elevation's window placement, operation and light configurations.
- Changes to the brick/wood fence design, to include a wood board fence with composite vertical 3x3 picket topper detailed with a composite top rail and pier caps.



**Figure 1: April 24, 2013 Submission – Front Elevations**



**Figure 2: Current Submission – Front Elevations**



Figure 3: April 24, 2013 Submission – Rear Elevations

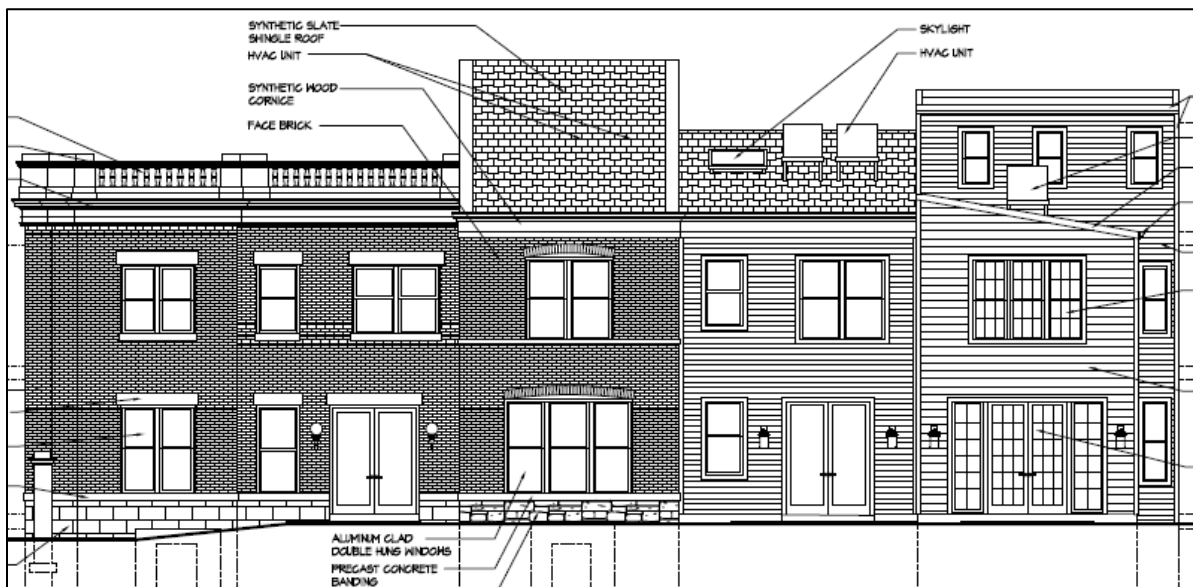


Figure 4: Current Submission – Rear Elevations

## **STANDARDS**

Staff has included below the scope of review and standards described in the Zoning Ordinance which must be considered by the Parker-Gray Board during an application for a Certificate of Appropriateness for new construction.

(1) *Scope of review.* The Parker-Gray District board of architectural review or the city council on appeal shall limit its review to exterior features subject to public view and shall determine the compatibility of proposed construction, reconstruction, alteration, restoration of buildings or structures within the Parker-Gray District based upon compatibility with other buildings or structures on the same block face, the block face across the public street, or the immediate surrounding area within the district.

(2) *Standards.* The board of architectural review, or the city council on appeal, shall consider the following in passing upon the appropriateness of proposals within the Parker-Gray District:

(a) For new buildings and additions to existing buildings:

- (1) Height of the roofline along the street or public way;
- (2) Scale and mass of the building on the site;
- (3) Placement of the building on the site;
- (4) Material, texture and color;
- (5) Architectural style where there is a predominant style on the block face; and
- (6) Architectural details, including signs, subject to public view from the Public Street or public way.

### **ANALYSIS**

Staff supports the revised design and believes that the applicant has adequately addressed the Board's concerns regarding the detailing and consistency of materials on the building's front and rear elevations. Detail drawings and material samples have been submitted.

Staff has no objection to the use of a paintable, millable, smooth finish, solid-through-the-core composite material for the wood fence topper and the brick pier caps. This material will reduce maintenance and rot - as this material will be abutting masonry. Staff finds that since the brick wall is a new structure, the utilization of a composite material in this limited area is consistent with the Board's adopted modern materials policy. The remainder of the fence will be painted wood.

Finally, although a few Board members expressed concern with the owner's use of a traditional vocabulary for this new development, Staff feels that the submission still meets the *Standards* for new construction within the Historic District.

*Additional approvals required as part of the Certificate of Appropriateness:*

#### **Waiver of Rooftop Screening**

Section 6-403 of the zoning ordinance gives the BAR the ability to waive the rooftop HVAC screening requirement if the BAR finds that the screening would be architecturally inappropriate. The applicant has provided roof plans and building sections which illustrate the placement of the proposed HVAC units. Due to the screening provided by the neighboring roof lines and parapets, the proposed HVAC units will only be minimally visible on the rear elevations, as viewed from Princess Street. Staff recommends that the Board support the Waiver of Rooftop Screening.

#### **Waiver of Fence Height**

Section 7-202 (C) of the zoning ordinance gives the BAR the ability to waive the fence height in a required front yard if the BAR finds that proposed fence or wall would be appropriate and consistent with the district. In the opinion of Staff, a 6.5' high fence is necessary and appropriate in order to distinguish the public space from the private spaces on this corner property. Staff recommends that the Board support the Waiver of Fence Height.

#### **Vision Clearance Requirement**

Section 7-802 of the zoning ordinance gives the BAR the ability to waive or modify the Vision Clearance Requirement where the BAR finds "to do so would be consistent with the historic character of the district." The BAR encourages the new construction within the historic district to be consistent with established development patterns to maintain the character of the district. The southern townhouse at

the corner of North Alfred and Princess Street is being located on the side property line, which is typical of the surrounding historic buildings. There is approximately 13 feet between the property line and the curb along Princess Street and 15 feet along North Alfred Street which will contain expanded sidewalks (5') and grass strips with street trees allowing for a pedestrian-friendly, residential urban environment. These specifications are consistent with the neighboring historic buildings and their associated streetscape and for these reasons staff recommends that the Board supports the Waiver of Vision Clearance Requirement.

**STAFF RECOMMENDATION**

Staff supports the improvements and changes made by the applicant and recommends that the Board approve the Certificate of Appropriateness application, Waiver of Rooftop Screening; Waiver of Fence Height; and Waiver of Vision Clearance Requirement as per the revised drawings dated May 13, 2013.

**ATTACHMENTS**

*1 – Updated Supporting Materials*

*2 – Previous Staff Report for BAR2012-0415 with original application materials*

**813 Princess Street, Alexandria, VA 22314 – Parker Gray Historic District**

**Materials Specification List**

**I. North Unit**

**1. West Elevation**

- Hardi-plank cement board siding
  - 5” Exposure
  - Smooth Finish
  - Painted gray
- Six panel wood door with transom above
  - Wood entry surround to match window trim
  - Painted green
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
  - Simulated divided lite
  - Six over six
  - Synthetic wood window sills
  - Synthetic wood window header
- Porch light
  - London Street electric lamp by Bevolo
- Precast concrete stairs
  - Metal handrails
- Synthetic Wood Trim
  - 1x6 Azek (or similar) corner boards
  - 1x4 Azek (or similar) window trim
  - 1x6 Azek (or similar) fascia boards
  - All trim to be painted white
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted white

**2. North, South and East Elevation**

- Hardi-plank cement board siding
  - 5” & 7” Exposure
  - Smooth Finish
  - Painted gray
- Swinging patio wood door with sidelites
  - 18 Lites per panel
  - Painted white
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
  - Simulated divided lite
  - Six over six

## 813 Princess Street, Alexandria, VA 22314 – Parker Gray Historic District

- Casement windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
- Porch light
  - Ledgewood Exterior Wall Sconce
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted white
- Synthetic Wood Trim
  - 1x6 Azek (or similar) corner boards
  - 1x4 Azek (or similar) window trim
  - 1x6 Azek (or similar) fascia boards
  - All trim to be painted white

### II. Middle Unit

#### 1. West Elevation

- Two panel wood door
  - Arched brick entry surround to match field brick
  - Stained natural
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - Green aluminum clad
  - Arched brick window heads to match field brick
- Porch light
  - London Street electric lamp by Bevolo
- Precast concrete stairs
  - Natural stone veneer guardrail
  - Precast stone cap on guardrail
- Natural Stone Veneer Water Table
  - Rough cut field stone
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted beige
- Precast concrete details
  - Banding
  - Columns
  - Rosettes
- Face brick
  - Dark red field color
- Synthetic slate shingle roof
  - Multi-colored

#### 2. South and North Elevation

- Face brick
  - Dark red field color

## 813 Princess Street, Alexandria, VA 22314 – Parker Gray Historic District

- Precast concrete details

- Banding
- Columns
- Rosettes

### 3. East Elevation

- Hardi-plank cement board siding
  - 7" Exposure
  - Smooth Finish
  - Painted dark red to match face brick
- French swinging wood door
  - 18 Lites per panel
  - Painted green
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - Green aluminum clad
- Porch light
  - Ledgewood Exterior Wall Sconce
- Face brick
  - Dark red field color
- Natural Stone Veneer Water Table
  - Rough cut field stone
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted green
- Synthetic Wood Trim
  - 1x6 Azek (or similar) corner boards
  - 1x4 Azek (or similar) window trim
  - 1x6 Azek (or similar) fascia boards
  - All trim to be painted green

### III. South Unit

#### 1. West, South and East Elevation

- Two panel wood door
  - Stained natural
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
  - Precast concrete window headers
- Awning windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
- Porch light
  - Sternberg electric globe light
- Precast concrete stairs
  - Metal handrail

## 813 Princess Street, Alexandria, VA 22314 – Parker Gray Historic District

- Natural Stone Veneer Water Table
    - Smooth face
  - Synthetic Wood Cornice
    - Azek (or similar)
    - Painted white
  - Synthetic Wood Railing and Balustrade
    - Azek (or similar)
    - Painted white
  - Precast concrete details
    - Banding
  - Face brick
    - Light beige
2. East Elevation
- French swinging wood door
    - 18 Lites per panel
    - Painted white
  - Porch light
    - Sternberg electric globe light
  - Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
    - White aluminum clad
    - Precast concrete window headers
  - Synthetic Wood Cornice
    - Azek (or similar)
    - Painted white
- IV. Miscellaneous Exterior
- Gutters to be metal ogee
    - Painted white
  - Downspouts to be metal square
    - Painted white
  - Exposed foundation
    - Parged concrete finish
  - Exterior mechanical units
    - Roof Mounted
  - Window well
    - Metal grate at ground level for fall protection

# Ledgewood Energy Saving Exterior Wall Sconce



**Description:**

Ledgewood energy saving exterior wall sconce features museum bronze finish and champagne inside-etched glass, also available with vintage black finish with opal cased glass. Includes one 13 watt, 120 volt, T2 with GU24 Base, self ballasted compact fluorescent lamp. General light distribution. ES- indicates fixtures that have option to be engineered as Energy Saving. c-ETL-us Wet listed. General light distribution.

Shown in: Black / Opal

**List Price:** \$236.25  
**Our Price:** \$189.00

**Shade Color:** Opal  
**Body Finish:** Black  
**Lamp:** 1 x T2/GU24/13W/120V  
**Wattage:** 13W  
**Dimmer:** Incandescent  
**Dimensions:** 10.5"H x 7.5"W x 6.5"D

Product Number: <b>0805EW-LEDGEES-006C 1-OPVB</b>			
Company:		Fixture Type:	Date: Mar 20, 2013
Project:		Approved By:	



1120VK-GU24

Ledgewood

Width: 7.5"

Height: 10.5"

Weight: 5 lbs.

Material: Cast Aluminum

Glass: Opal-Cased Glass

Bulb: One 26w GU24

Voltage: 120v

TTO: 6"

Extension: 6.5"

Back Plate Height: 7"

Back Plate Width: 4.5"

Certification: C-US Wet Rated

UPC: 640665012019

Notes




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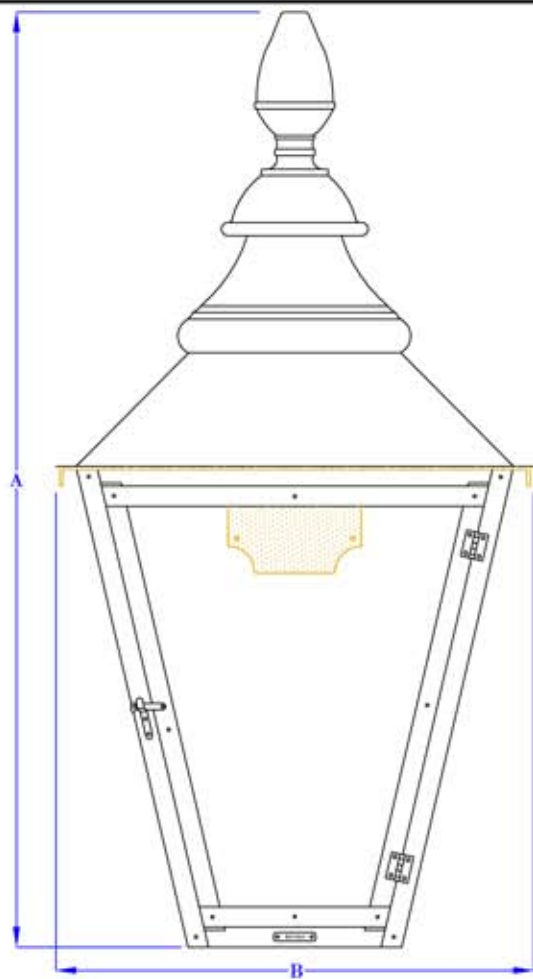
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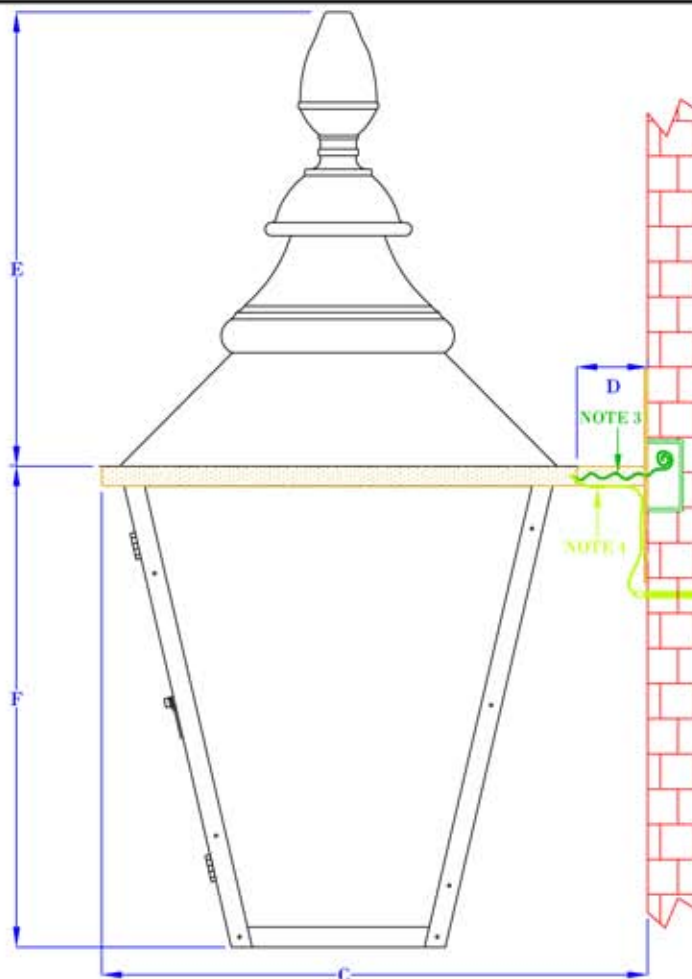
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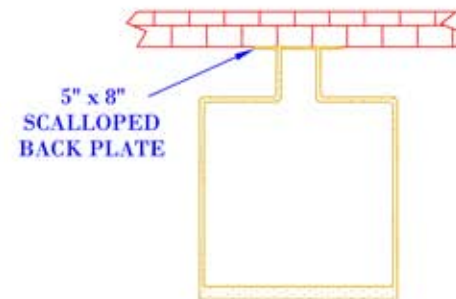
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**FRONT VIEW**  
(NTS)



**SIDE VIEW**  
(NTS)



**TOP VIEW**  
(NTS-BRACKET ONLY)

**NOTES:**

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS  $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH  $\frac{3}{16}$ " COPPER GAS LINE AND  $\frac{3}{16}$ " x  $\frac{1}{4}$ " GAS LINE ADAPTOR

SIZE:	25"	28"	35"
A:	24 $\frac{1}{2}$ "	28 $\frac{1}{4}$ "	34 $\frac{3}{4}$ "
B:	12 $\frac{1}{2}$ "	14 $\frac{1}{2}$ "	17 $\frac{7}{8}$ "
C:	15"	17"	20 $\frac{3}{8}$ "
D:	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "
E:	13"	13 $\frac{3}{4}$ "	16 $\frac{3}{4}$ "
F:	11 $\frac{1}{2}$ "	14 $\frac{1}{2}$ "	18"

**BEVOLO GAS & ELECTRIC LIGHTS**

DRW BY: JJG

**LIGHT:** LONDON STREET

DATE: APP. BY: MAJ

COPYRIGHT 2009, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.

**BRACKET:** STANDARD WALL MOUNT

8-5-10 REVISION: 2

**G12 / G20 DF GLOBE / ART DECO SERIES SPECIFICATIONS**

**GENERAL**

The DF Globe series is a decoratively styled fixture, which consists of a decorative, cast aluminum fitter, cast ballast housing assembly and a white polycarbonate or acrylic globe.

**FITTER**

The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an 8 1/4" inside diameter opening to attach to the 8" neck of the globe. When ordered with a Sternberg aluminum pole, the fitter shall be welded to the pole top or tenon for safety and to ensure the fixture will be plumb, secure and level over the life of the installation. The fitter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly.

**FITTER-TL FOR QUICK & TOOL-LESS REMOVAL OF GLOBE (OPTIONAL)**

The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an 9 1/4" inside diameter opening to attach to the 8" neck of the globe. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon. The fitter shall have an aluminum die cast twist-lock mechanism for tool-less, 1/4 turn installation and removal of globe. The globe is provided with a die cast mating collar which is easily removed and reused if globe replacement is ever performed.

**980 FITTER OPTION**

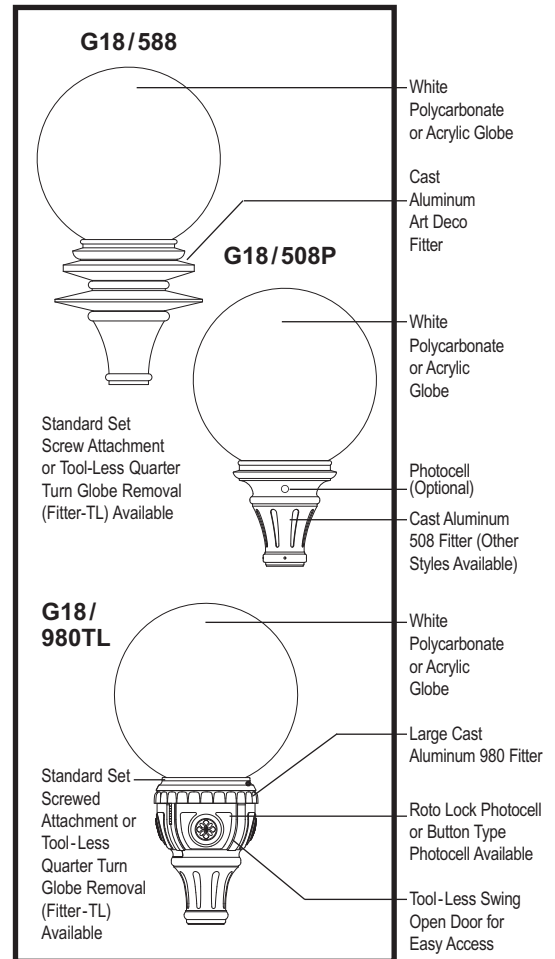
The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have a 9 1/4" inside diameter opening to attach to the 8" neck of the globe. It shall have a hinged, tool-less entry door that provides open access to all of the components. The 980 shall have a terminal block for ease of wiring, an optional Roto-Lock Photocell receptacle, an optional Single Convenience outlet or Duplex GFIC outlet for auxiliary power needs. The top mounted ballast mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 ea finger latches. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon. The fitter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly.

**980 FITTER-TL FOR QUICK & TOOL-LESS REMOVAL OF GLOBE (OPTIONAL)**

The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an 9 1/4" inside diameter opening to attach to the 8" neck of the globe. It shall have a hinged, tool-less entry door that providing an open access to all of the components. The 980 shall have a terminal block for ease of wiring, an optional Roto-Lock Photo-cell receptacle and a Duplex GFIC outlet for auxiliary power needs. The top mounted ballast mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 ea finger latches. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon. The fitter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly. The fitter shall have an aluminum die cast twist-lock mechanism for tool-less, 1/4 turn installation and removal of globe. The globe is provided with a die cast mating collar which is easily removed and reused if globe replacement is ever performed.

**BALLAST HOUSING**

The ballast housing shall be heavy wall cast aluminum, 356 alloy for high tensile strength. The housing shall be cast as an integral part of the fitter to prevent water entry into the ballast compartment and to ensure high capacity heat sinking of ballast temperatures, keeping the ballast cooler and ensuring long life. The ballast mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 ea finger latches.



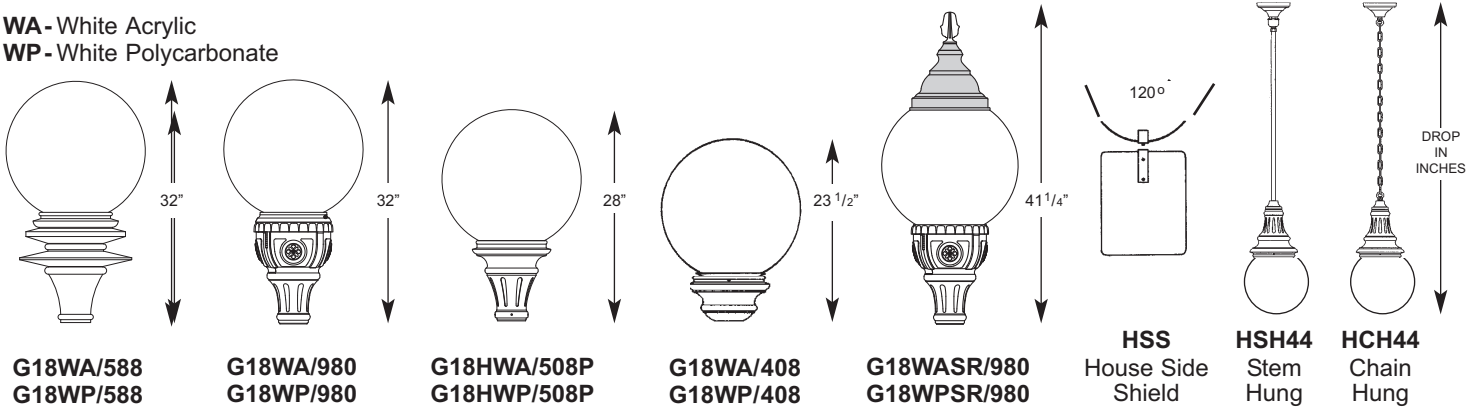
**G18AD EPA = 1.10 (ft<sup>2</sup>)  
WEIGHT = 6.7 LBS**

**LIST NO.  
G12 TO G20  
DF GLOBE &  
ART DECO  
SERIES**

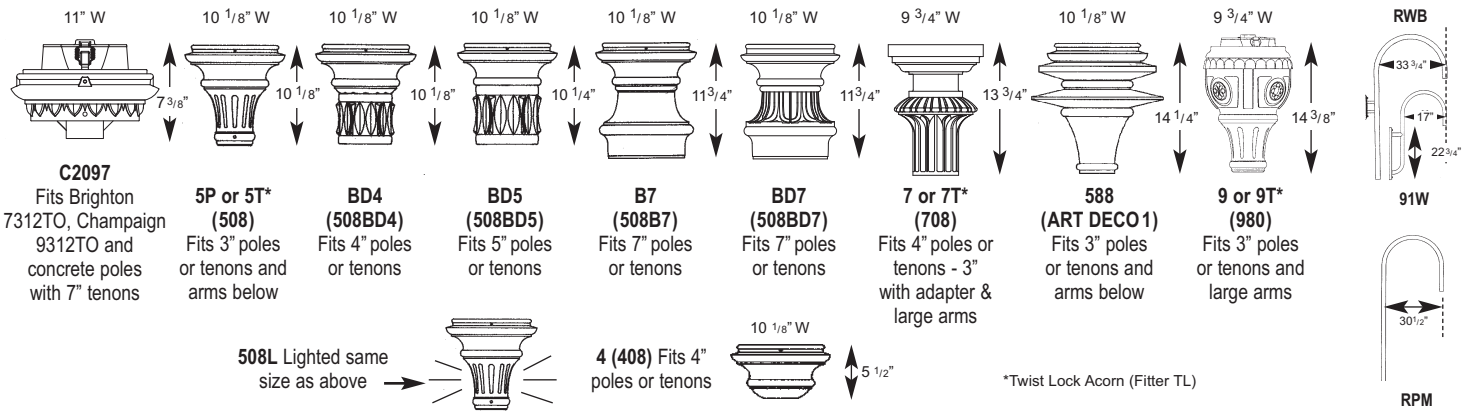
**G12 TO G20 DF GLOBE/ART DECO GLOBES/FITTERS/ARMS PM-WB**

**GLOBES / OPTIONAL TOPS / OPTICAL SYSTEMS      HANGING BRACKETS**

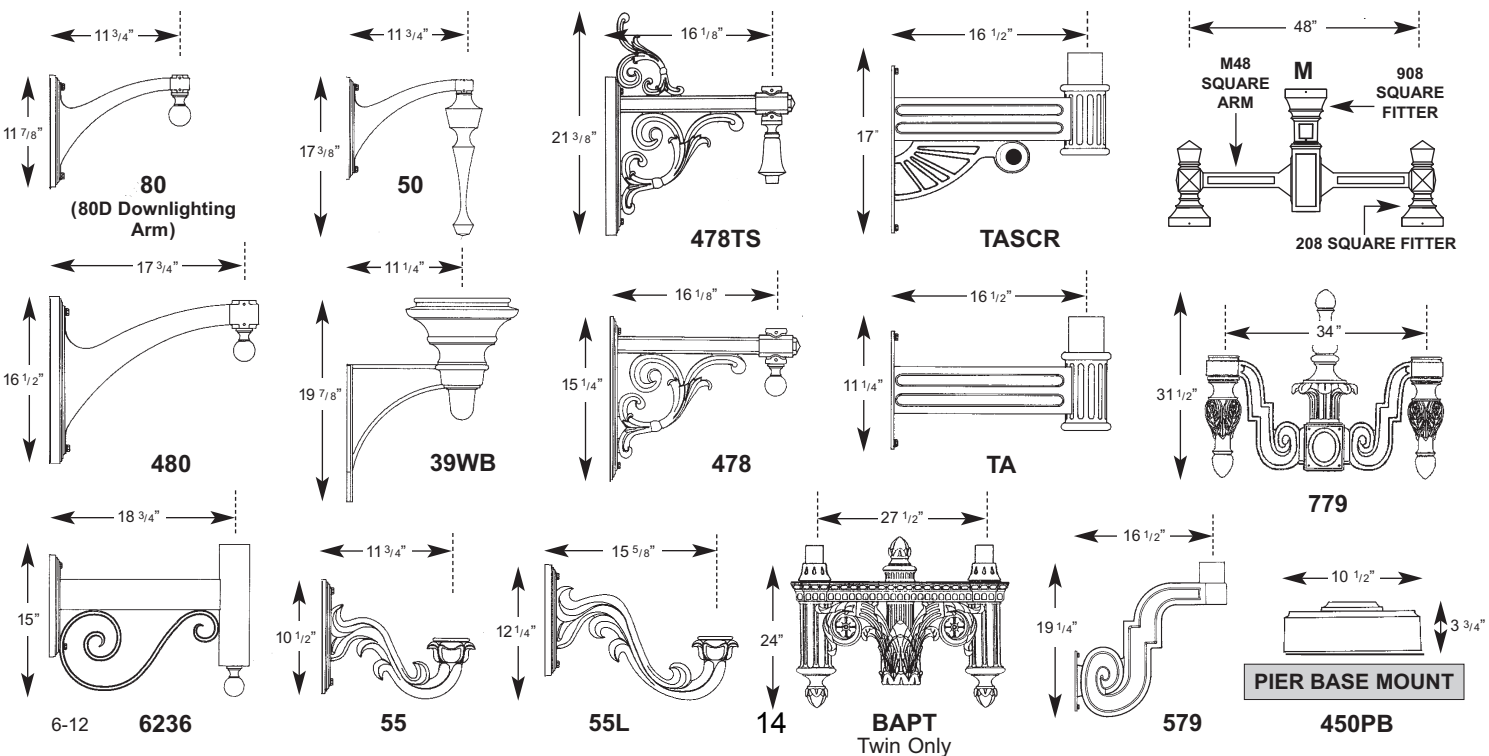
**WA**- White Acrylic  
**WP**- White Polycarbonate



**FITTERS      WALL BRACKETS (WB)**



**ARMS - POST MOUNT (PM) or WALL BRACKETS (WB)      See Arms Section for more information**

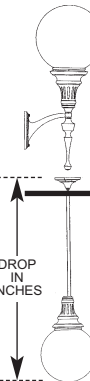


**BUILDING A PART NUMBER**



**POST & ARM FIXTURES**

ARM MOUNTED FIXTURE NO.	CENTER POST TOP FIXTURE (PT)	POST	POST CAP	LIGHT SOURCE BALLAST	OPTICS	OPTIONS	FINISH
5	G16WA/4/TASCR	G16WA/4	PT	5411TFP		70 HPS120	PF BK



**WALL FIXTURES**

GLOBE / FITTER / WALLBRACKET	LIGHT SOURCE BALLAST	OPTICS	OPTIONS	FINISH	PIER FIXTURES
G16WA/5P/50WB	100 HPS120		PEC1	BK	Uses same information boxes as wall fixture G16/5P/450PB

**HANGING FIXTURES**

GLOBE / FITTER / HANGING BRACKET	OVERALL DROP IN INCHES	LIGHT SOURCE BALLAST	OPTIONS	FINISH
G16WA/5P/HS44	48 INCHES	70 HPS120		BK

**PART NUMBER SELECTIONS**

**GLOBES<sup>2</sup>**

- G20WA<sup>4</sup>
- G20WP<sup>4</sup>
- G18WA<sup>5</sup>
- G18WP<sup>5</sup>
- G16WA<sup>6</sup>
- G16WP<sup>6</sup>
- G14WA<sup>7</sup>
- G14WP<sup>7</sup>
- G12WA<sup>8</sup>
- G12WP<sup>8</sup>

**FITTERS**

- C2097
- 5P
- 5T
- 7
- 7T
- 9
- 9T
- BD4
- BD5
- BD7
- B7
- 588
- 408
- 508L<sup>10</sup>
- M Post Top Only

**POST ARMS**

- 50PM
- 50DPM
- 478PM
- 478TSPM
- 80PM
- 80DPM
- 480PM
- 480DPM
- 55PM
- 55LPM
- 779PM
- 6236PM
- 579PT
- TAPT
- TASCRIPT
- 91WPM
- R2PM
- BAPT
- Twin Only
- M48PT\*\*

**OPTICS**

- RSC
- HSS

**PIER BASE**

- 450PB

**WALL BRACKET ARMS**

- 39WB
- 50WB
- 50DWB
- 62WB
- 478WB
- 478TSWB
- 80WB
- 80DWB
- 480WB
- 480DWB
- 55WB
- 55LWB
- 6236WB
- 579WB
- TAWB
- TASCROWB
- 91WWB
- RWB
- M48WB
- 39WB\*\*

**HANGING BRACKETS**

- HCH44
- HSH44

**BALLASTS<sup>3,12</sup>**

- 35HPS<sup>1</sup>
- 50HPS
- 70HPS
- 100HPS
- 150HPS
- 200HPS
- 250HPS
- 50MHP
- 70MHP
- 100MHP
- 150MHP
- 175MHP<sup>13</sup>
- 200MHP
- 250MHP
- 26PLT
- 32PLT
- 42PLT
- 57PLT
- 70PLT
- INCAND
- QL55\*
- QL85\*
- QL165\*

\*Consult factory for specification details

**LAMPS<sup>4</sup>**

- HPS35/MED
- HPS50/MED
- HPS70/MED
- HPS100/MED
- HPS150/MED
- HPS200/MED
- HPS250/MOG/ED18
- MHP50/MED
- MHP70/MED
- MHP100/MED
- MHP150/MED
- MHP175/MOG/ED28<sup>13</sup>
- MHP200/MOG/ED28
- MHP250/MOG/ED28
- PLT26
- PLT32
- PLT42
- PLT57
- PLT70

**VOLTAGES**

- 120
- 208
- 240
- 277
- 480
- MULTI (120-277)

**FINISHES STANDARD**

- BKT Black Textured
- BK Black
- VG Verde Green
- PGT Park Green Textured
- PG Park Green
- ABZT Architectural Medium Bronze Textured
- ABZ Architectural Medium Bronze
- SI Swedish Iron
- DBT Dark Bronze Textured
- DB Dark Bronze
- OWGT Old World Gray Textured
- OWG Old World Gray

**FINISHES CUSTOM**

- WHT White Textured
- WH White
- CV Copper Vein
- WBK Weathered Black
- WBR Weathered Brown
- CD Cedar
- RT Rust
- OI Old Iron
- TT Two Tone
- CM Custom Match

**OPTIONS**

- PEC1 Photocell-Bimetal 120 Volt
- PEC2 Photocell-Bimetal 208-277 Volt
- PEC1-E Photocell-Electronic 120 Volt
- PEC2-E Photocell-Electronic 208-277 Volt
- R<sup>11</sup> Receptacle only for Rotolock Photo Cell
- R1<sup>11</sup> Rotolock Photo Cell 120-277 Volt
- G<sup>11</sup> GFI 15 Amp for 980
- FHS Single Fuse and Holder-120, 277 Volt
- FHD Dual Fuse and Holder 208, 240, 480 Volt
- QR Quartz Re-Strike
- PF Pineapple Finial or Font (TA, TASCR)
- BF Ball Finial or Font (TA, TASCR)
- SR<sup>9</sup> Solid Roof
- LAMPS Select from List

**NOTES:**

- <sup>1</sup> 35HPS is 120 volt only.
- <sup>2</sup> Clear Polycarbonate and Acrylic globes are available. Specify CP or CA after globe.
- <sup>3</sup> Medium base sockets standard with ballasts up to 150 watts HID. Mogul base sockets are standard with ballasts 200 watts and over. 4-pin for PL.
- <sup>4</sup> 250 Watt Maximum <sup>5</sup> 175 Watt Maximum <sup>6</sup> 100 Watt Maximum
- <sup>7</sup> 70 Watt Maximum
- <sup>8</sup> 50 Watt Maximum
- <sup>9</sup> G18 - G16 globes only.
- <sup>10</sup> Lit with 15 Watt PL
- <sup>11</sup> For 9 or 9T fitter only.
- <sup>12</sup> Metal halide systems are pulse start.
- <sup>13</sup> Consult factory for limitations.

# G12 TO G20 DF GLOBE / ART DECO SERIES SPECIFICATIONS

**LIST NO.  
G12 TO G20  
DF GLOBE &  
ART DECO  
SERIES**

## ELECTRICAL

Fixture shall be U.L. or E.T.L. listed in U.S. and Canada. H.I.D. ballasts shall be high power factor with lamp starting down to -30 degrees C. Medium base and mogul base porcelain sockets shall be are 4KV rated. The ballast/socket assembly shall be pre-wired when ballast is located in the fitter. All compact fluorescent (PL) ballasts shall be instant start electronic with a starting temperature of down to 0 degrees F. They shall have a 4-pin socket to accept quad or triple tube lamps. Ballasts shall be DOE EISA compliant.

## GLOBE

The globe shall be 12"-20" in diameter with an 8" aluminum neck. It will be made of vandal resistant white polycarbonate or dent resistant (DR) white acrylic. The globe is available in a solid roof (SR) for added distinction and reduced up-light. The solid roof will be made of spun aluminum and securely affixed to the top of the globe. The solid roof shall be appointed with a cast aluminum decorative 4-vane finial.

## OPTICAL

**House Side Shield (HSS)** is an option that will block 120° of light in any one direction (clear globes only).

## QUARTZ RE-STRIKE

The DF Globe fixture can be supplied with an optional quartz re-strike system to retain constant fixture light if the H.I.D. lamp fails. The fixture will be equipped with a 100 watt quartz lamp and a controller to run on a 120 volt circuit and must be used in conjunction with a 120 volt or multi-tap ballast.

## PHOTOCELLS

Photocells shall be either the thermo bi-metal button type or the electronic button type. On single post top fixtures the photocell shall be mounted in the fitter and pre-wired to ballast. On multiple head fixture assemblies photocells shall be mounted in the pole shaft on an access plate and are not pre-wired as ballast housing assemblies and fitters are packaged separately for ease of wiring to source. The thermo bi-metal photocell shall be designed to turn on at 1.0 footcandle and turn off at not more than 5 footcandles. The electronic button type photocell is instant on and a 5-10 second turn off and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocells are either 120 volt or 208 thru 277 volt.

## ARMS

All arms are made of cast aluminum and/or extruded aluminum. Arms with decorative filigree have meticulously detailed scroll work and gracefully curved brackets. All DF Globe fixtures will have its fitter either welded to the arm or will be mechanically attached at the factory to ensure arms will be plumb, secure and level over the life of the installation. Each arm shall be bolted to a post mount adapter, which is welded to the pole to ensure proper alignment to the base. Twin TA, TASCAR and 579 arms will be attached to a decorative center hub which will slip-fit the center tenon of the pole (not shown). BA and 779 arms are available as a twin application. Arms are pre-wired for ease of installation.

## FINISH

Prior to coating, each assembly shall be chemically cleaned and etched in a 5-stage washing system which includes alkaline cleaning, rinsing, phosphoric etching, reverse osmosis water rinsing and non-chrome sealing to ensure corrosion resistance and excellent adhesion for the finish coating. The finish coating shall be electrostatically applied semi-gloss, super durable polyester powder baked at 400 degrees for a durable and superior, color retentive finish. Our optional antique Verde Green finish and Swedish Iron finish are hand brushed using a 3-step process. The total assembly shall be wrapped in shockproof wrapping or fully enclosed in corrugated cartons.

## WARRANTY

Five-year limited warranty. See product and finish warranty guide for details.





# DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address LOT 603 Zone CL  
 A2. 3,178 x .75 = 2,383  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	—	Basement**	—
First Floor	—	Stairways**	—
Second Floor	—	Mechanical**	—
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	0
<b>Total Gross *</b>	<b>0</b>		

B1. Existing Gross Floor Area \*  
0 Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
0 Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
0 Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	979	Basement**	979
First Floor	979	Stairways**	214
Second Floor	979	Mechanical**	18
Third Floor	590	Other**	—
Porches/ Other	—	Total Exclusions	1,211
<b>Total Gross *</b>	<b>3,527</b>		

C1. Proposed Gross Floor Area \*  
3,527 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
1,211 Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
2,316 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2,316 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 2,383 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature] Date: 3-21-13



## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address LOT 602 Zone CL  
 A2. 2,039 x .75 = 1,529  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	—	Basement**	—
First Floor	—	Stairways**	—
Second Floor	—	Mechanical**	—
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	0
<b>Total Gross *</b>	<b>0</b>		

B1. Existing Gross Floor Area \*  
0 Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
0 Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
0 Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	845	Basement**	845
First Floor	845	Stairways**	177
Second Floor	845	Mechanical**	13
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	1,035
<b>Total Gross *</b>	<b>2,535</b>		

C1. Proposed Gross Floor Area \*  
2,535 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
1,035 Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
1,500 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1,500 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 1,529 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature]

Date: 3.21.13



## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address LOT 601 Zone CL  
 A2. 2,039 x .75 = 1,529  
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	—	Basement**	—
First Floor	—	Stairways**	—
Second Floor	—	Mechanical**	—
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	∅
<b>Total Gross *</b>	<b>∅</b>		

B1. Existing Gross Floor Area \*  
∅ Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
∅ Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
∅ Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	<u>831</u>	Basement**	<u>831</u>
First Floor	<u>831</u>	Stairways**	<u>177</u>
Second Floor	<u>831</u>	Mechanical**	<u>13</u>
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	<u>1,021</u>
<b>Total Gross *</b>	<b><u>2,493</u></b>		

C1. Proposed Gross Floor Area \*  
2,493 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
1,021 Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
1,472 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1,472 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 1,529 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

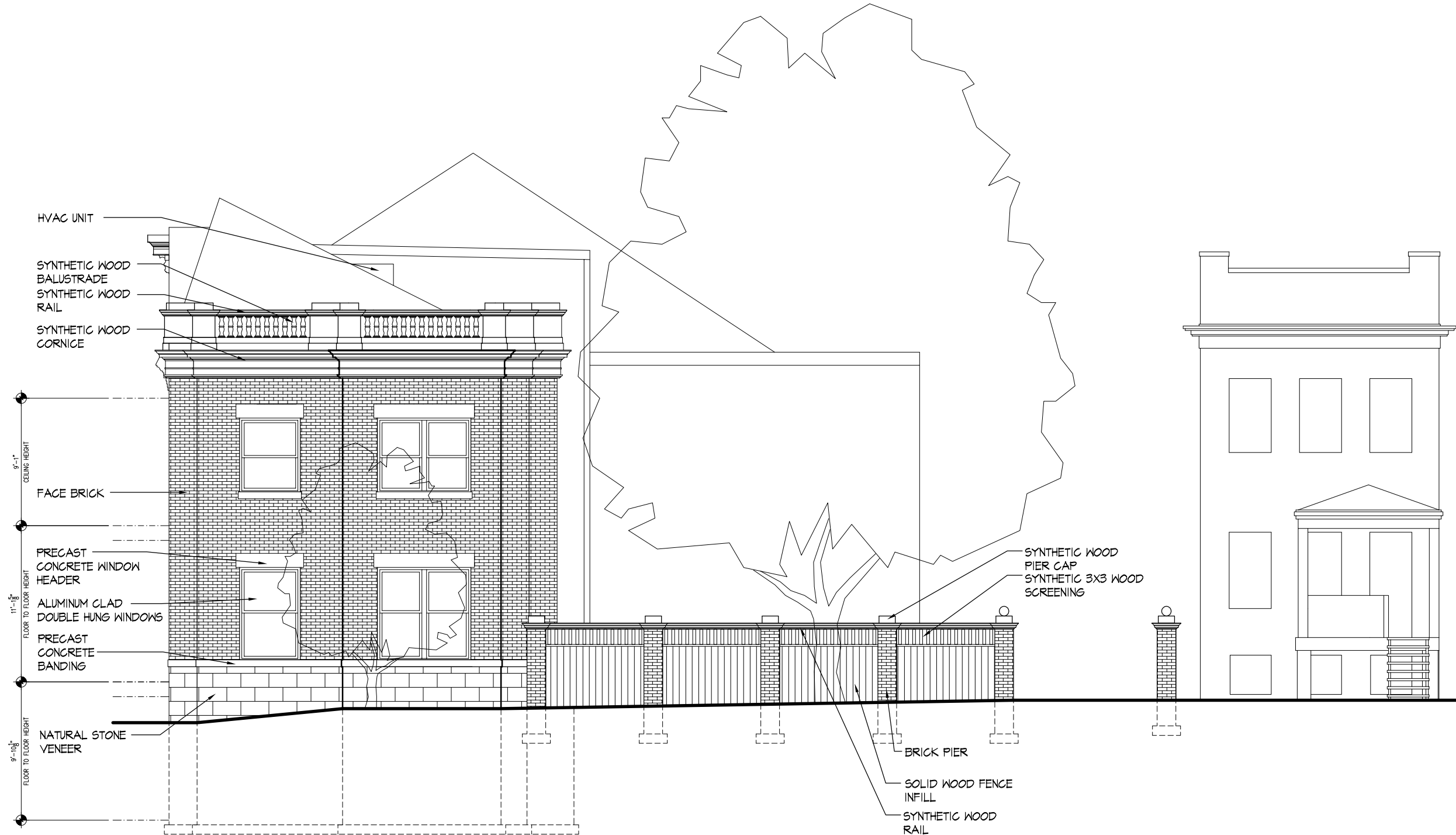
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

Date: 3.21.13



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HVAC UNIT

SYNTHETIC WOOD  
BALUSTRADE  
SYNTHETIC WOOD  
RAIL

SYNTHETIC WOOD  
CORNICHE

9'-1" CEILING HEIGHT

FACE BRICK

11'-8" FLOOR TO FLOOR HEIGHT

PRECAST  
CONCRETE WINDOW  
HEADER

ALUMINUM CLAD  
DOUBLE HUNG WINDOWS

PRECAST  
CONCRETE  
BANDING

9'-10 3/8" FLOOR TO FLOOR HEIGHT

NATURAL STONE  
VENEER

SYNTHETIC WOOD  
PIER CAP  
SYNTHETIC 3X3 WOOD  
SCREENING

BRICK PIER

SOLID WOOD FENCE  
INFILL

SYNTHETIC WOOD  
RAIL

**1** PRINCESS STREET ELEVATION (SOUTH)  
 A2 SCALE: 1/8" = 1'-0"



PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314  
 PRINCESS STREET ELEVATION (SOUTH)

--

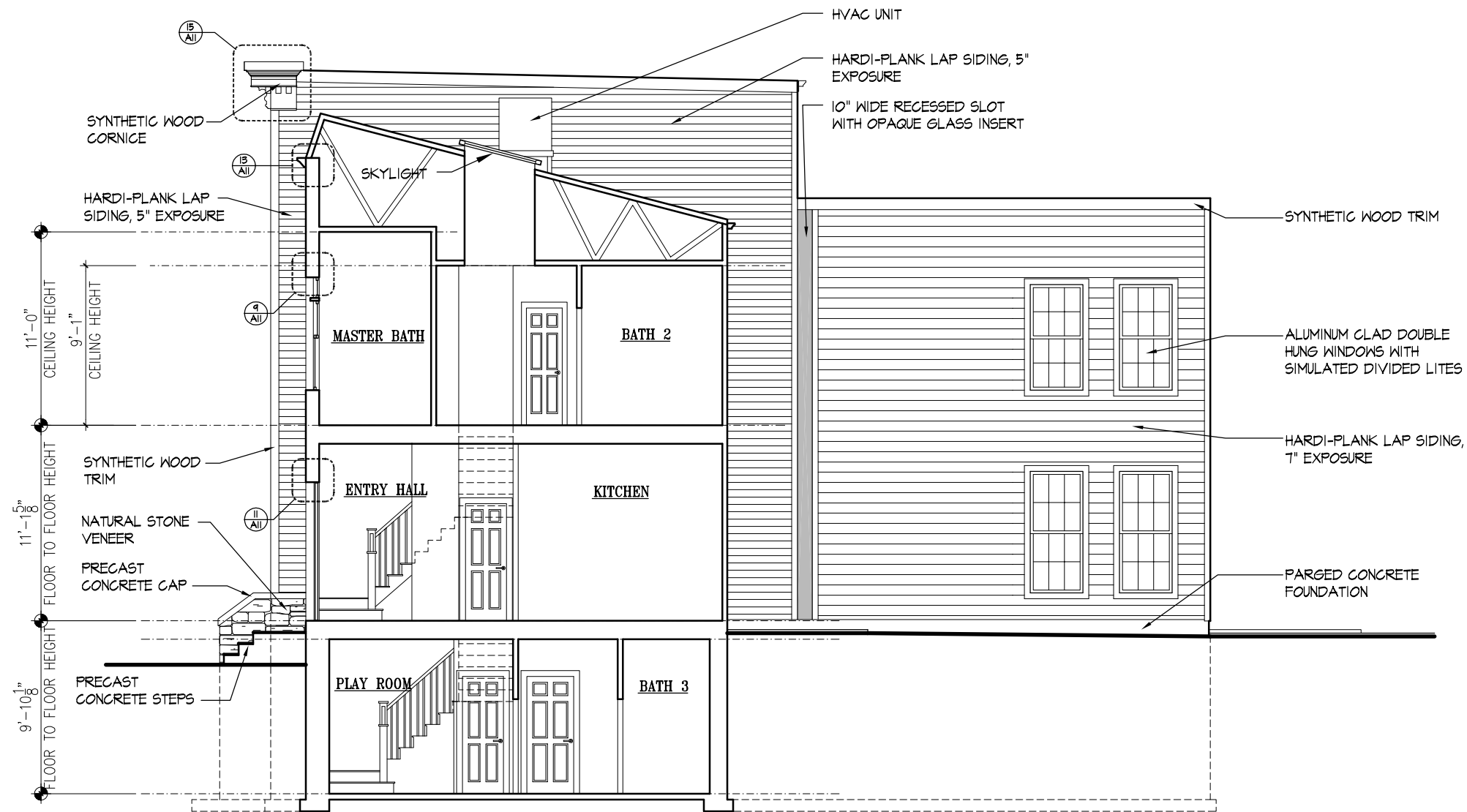
REVISIONS

PROJECT NUMBER	1225	
DATE	5/13/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GGG	SNK	

SHEET NUMBER  
**A2**

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**1** SECTION - PARTIAL SOUTH ELEVATION  
 A3 SCALE: 1/8" = 1'-0"

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**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314

**SECTION - PARTIAL SOUTH ELEVATION**

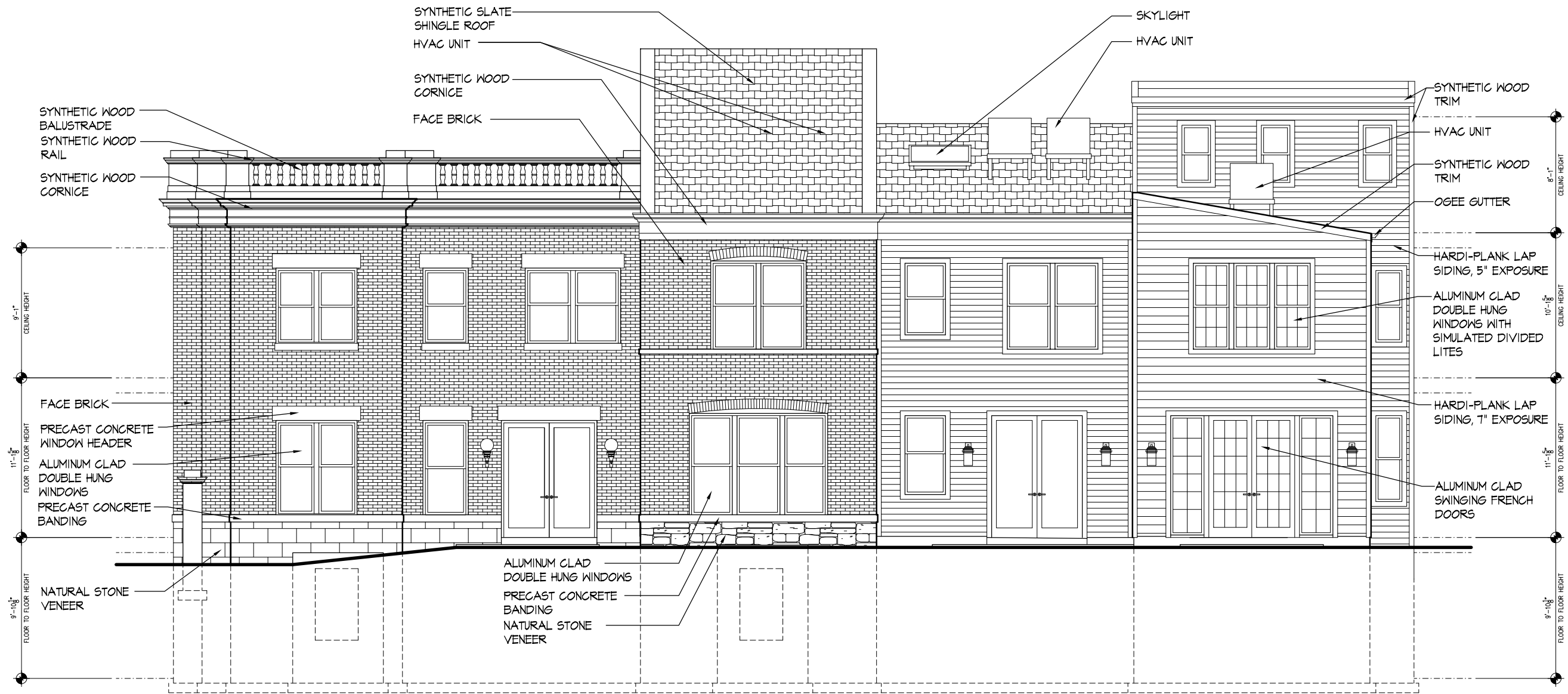
REVISIONS		

PROJECT NUMBER		
1225		
DATE		
5/13/13		
SCALE		
AS NOTED		
DRAWN	DESIGNED	APPROVED
GGS	SNK	

SHEET NUMBER

**A3**

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**1 EAST ELEVATION**  
 A4 SCALE: 1/8" = 1'-0"

**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314

**EAST ELEVATIONS**

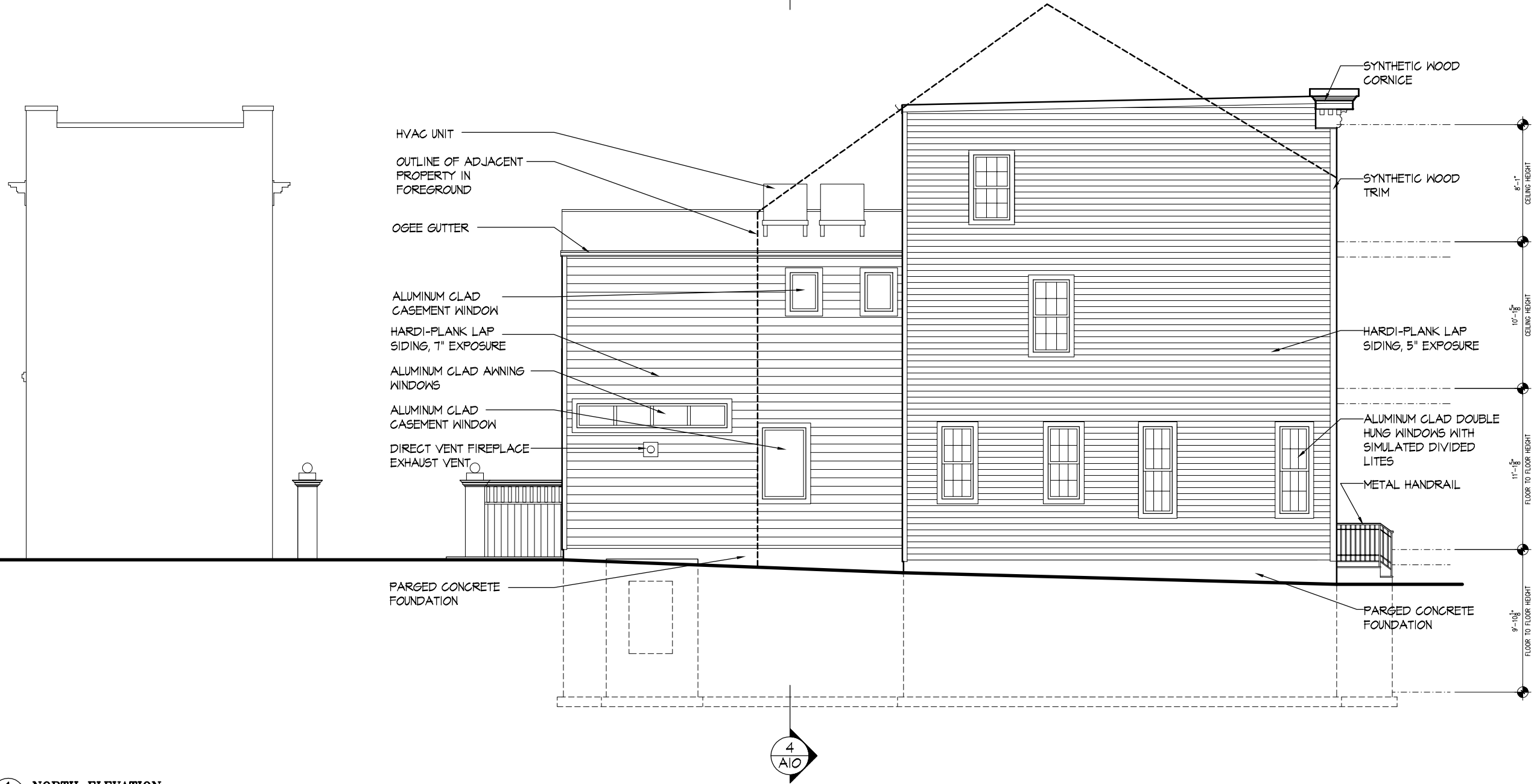
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REVISIONS		

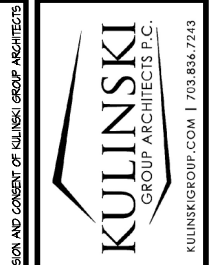
PROJECT NUMBER	1225
DATE	5/13/13
SCALE	AS NOTED
DRAWN	666
DESIGNED	SMK
APPROVED	

SHEET NUMBER  
**A4**

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**1 NORTH ELEVATION**  
 A5 SCALE: 1/8" = 1'-0"

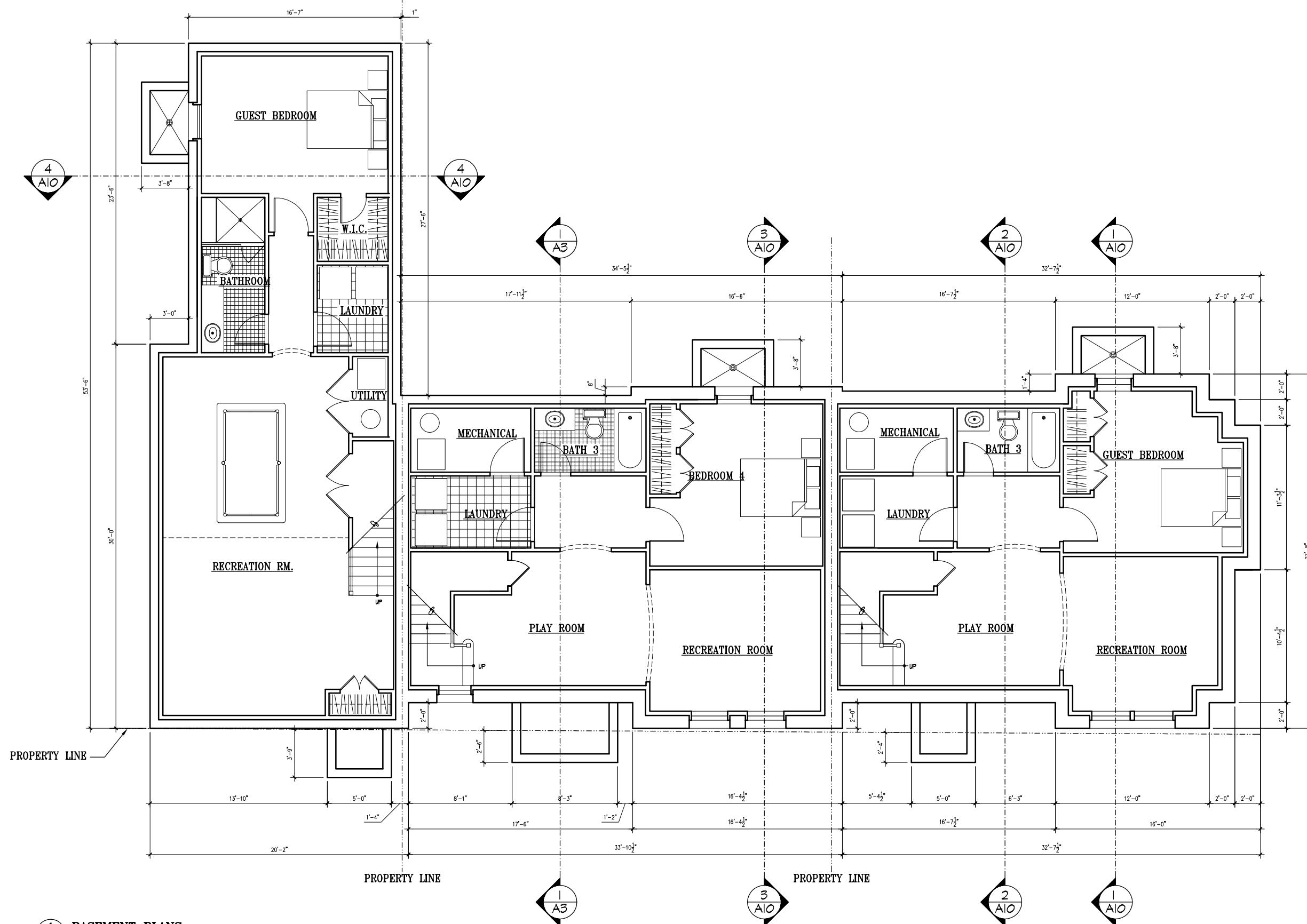


PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314  
**NORTH ELEVATION**

REVISIONS		
PROJECT NUMBER	1225	
DATE	5/13/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GGG	SNK	
SHEET NUMBER		
A5		

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**1** BASEMENT PLANS  
 A6 SCALE: 1/8" = 1'-0"

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**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314

**BASEMENT PLANS**

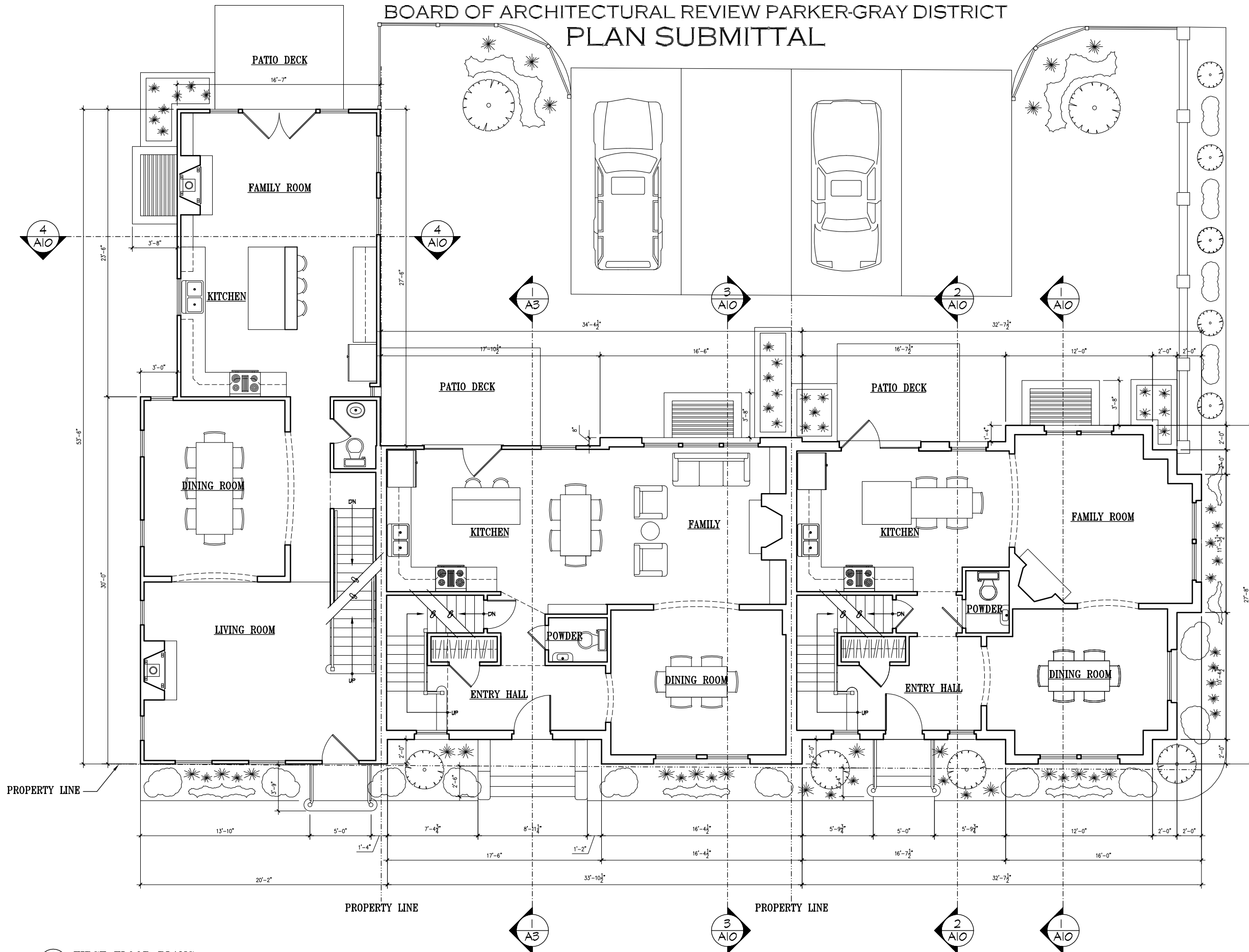
REVISIONS	

PROJECT NUMBER	1225
DATE	5/13/13
SCALE	AS NOTED
DRAWN	DESIGNED
666	SNK
APPROVED	

SHEET NUMBER

**A6**

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**1** FIRST FLOOR PLANS  
 A7 SCALE: 1/8" = 1'-0"

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**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314

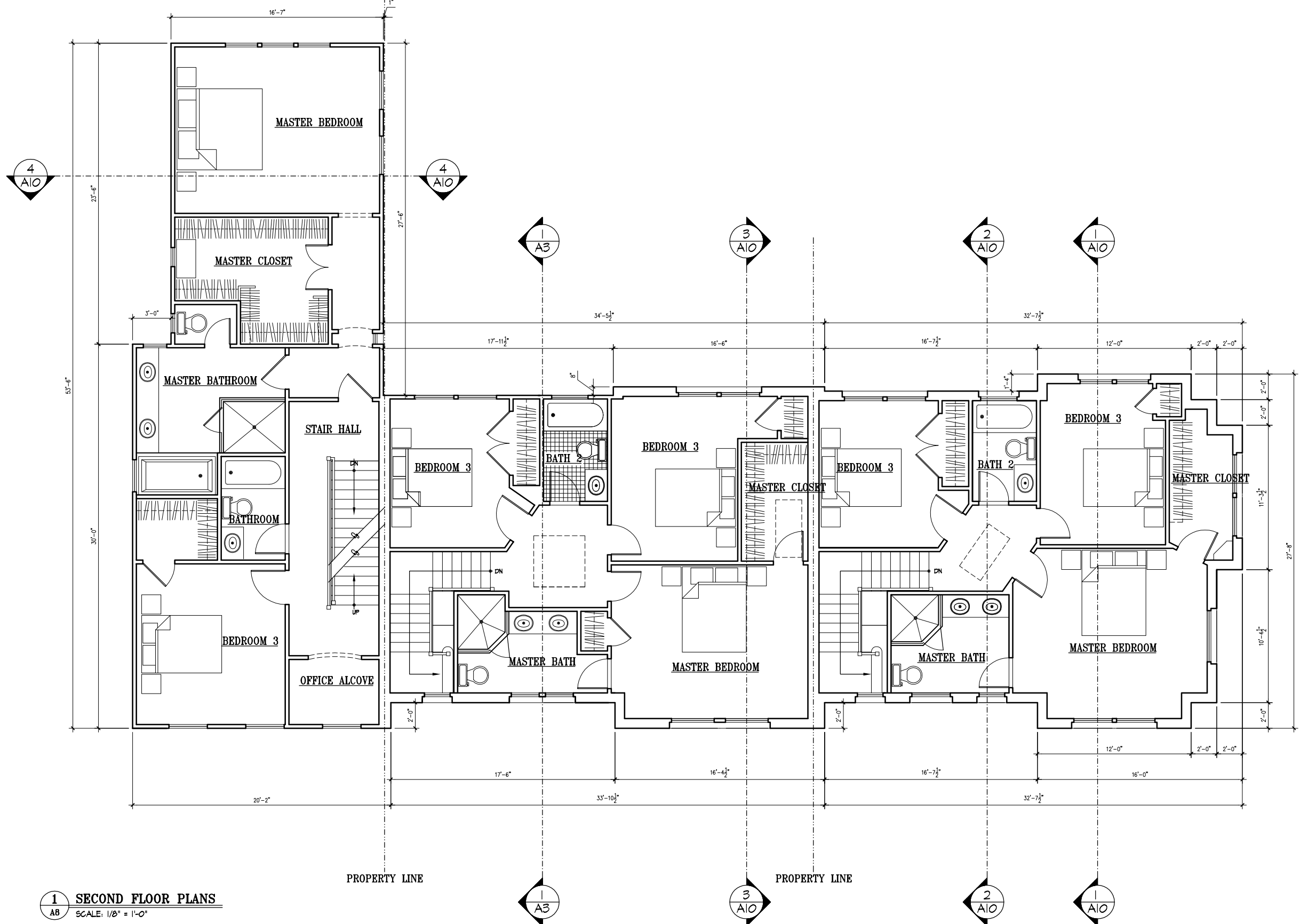
**FIRST FLOOR PLANS**

REVISIONS	

PROJECT NUMBER	1225
DATE	5/13/13
SCALE	AS NOTED
DRAWN	666
DESIGNED	SNK
APPROVED	

SHEET NUMBER  
**A7**

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**1** SECOND FLOOR PLANS  
 AB SCALE: 1/8" = 1'-0"

PROPERTY LINE

PROPERTY LINE

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PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314

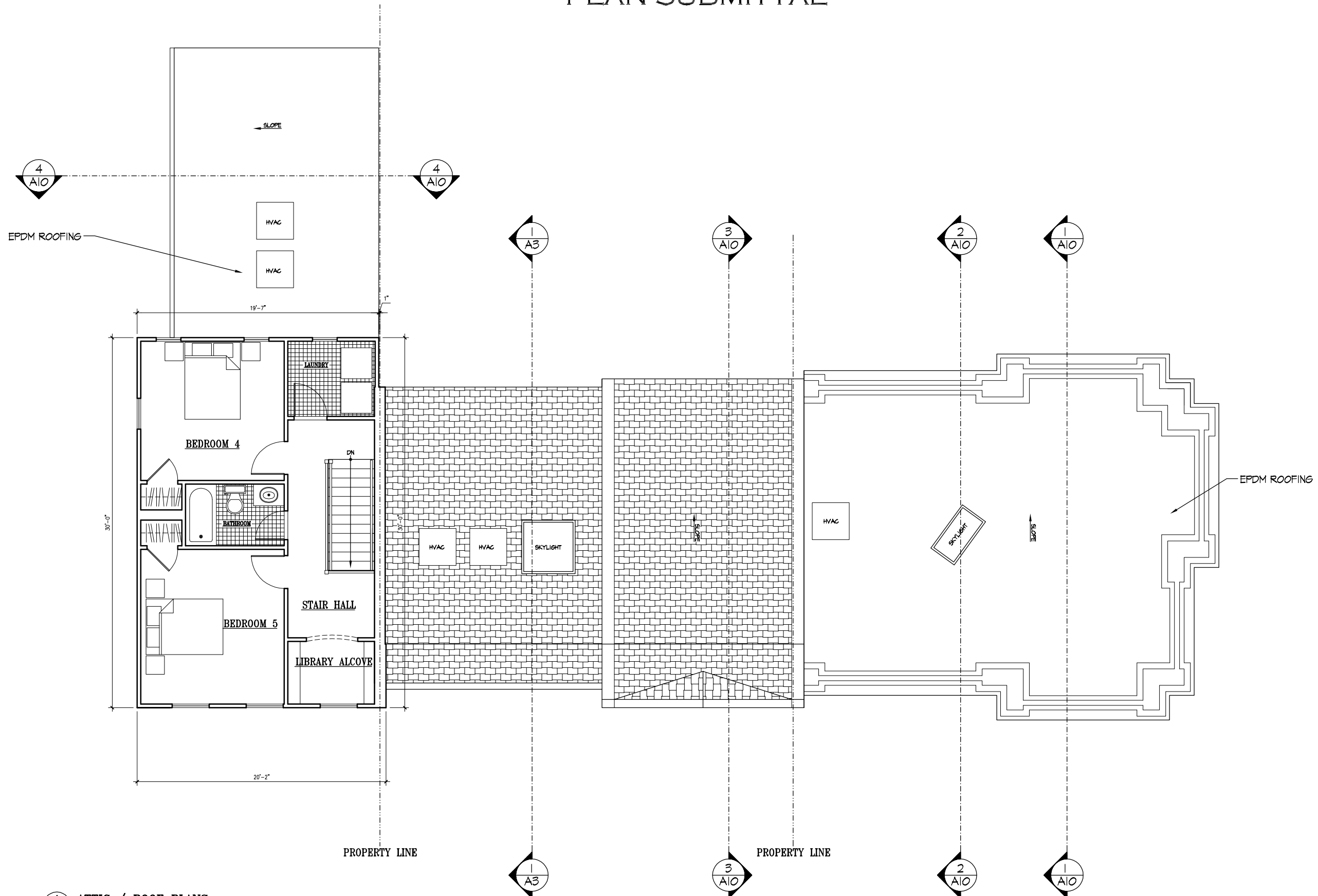
REVISIONS		
PROJECT NUMBER	1225	
DATE	5/13/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GGG	SNK	
SHEET NUMBER		
A8		

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PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314

ATTIC / ROOF PLANS



1 ATTIC / ROOF PLANS  
 A9 SCALE: 1/8" = 1'-0"

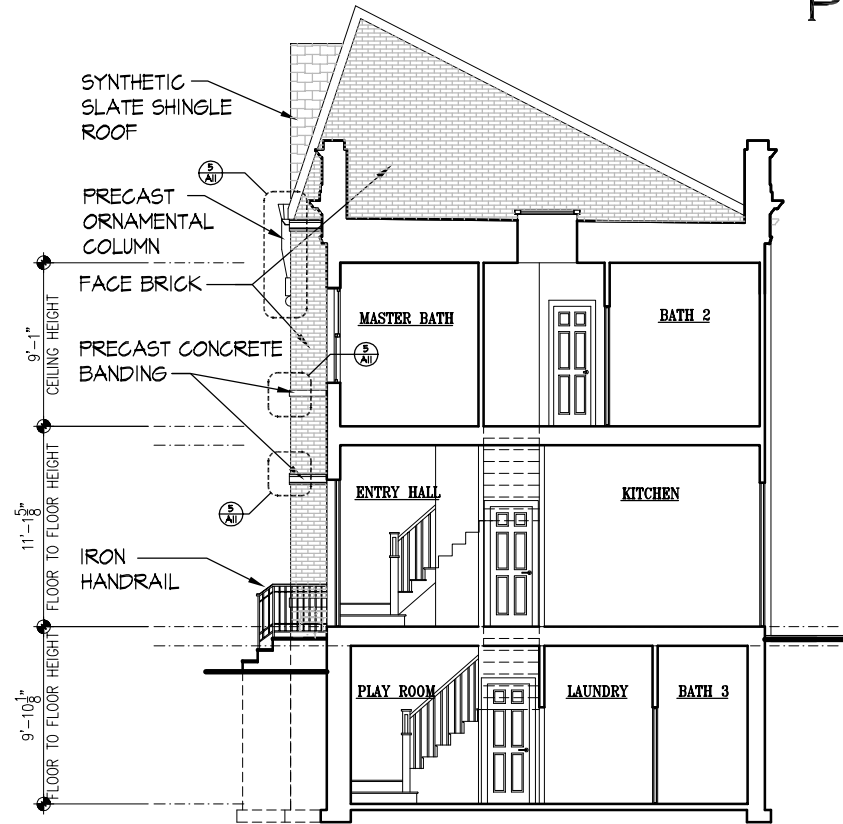
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REVISIONS		

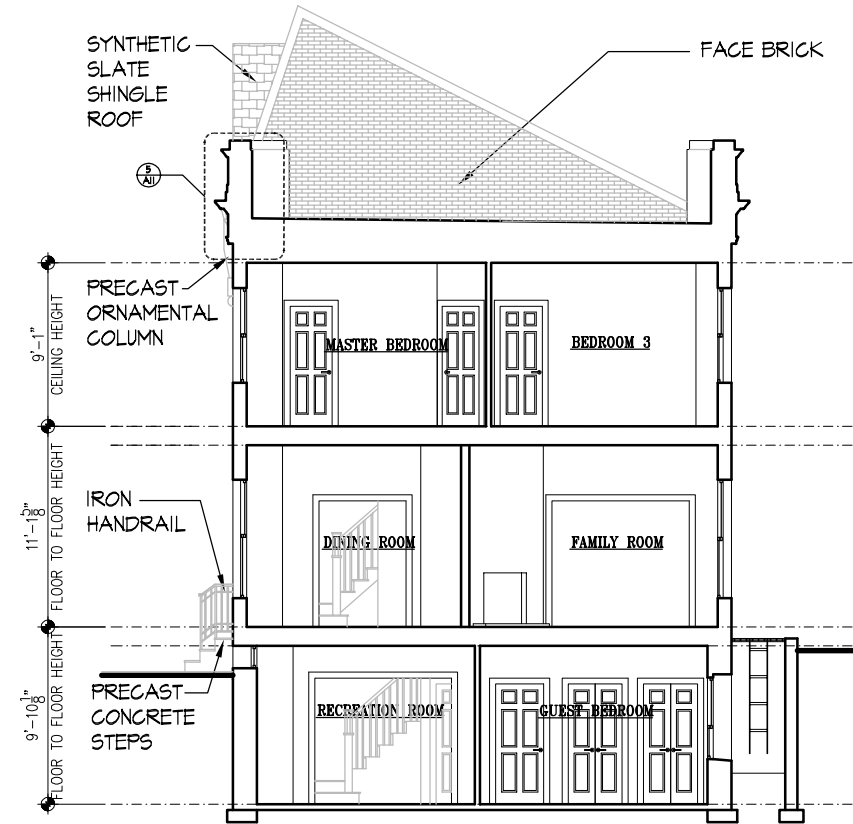
PROJECT NUMBER	1225	
DATE	5/13/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GGG	SNK	

SHEET NUMBER  
**A9**

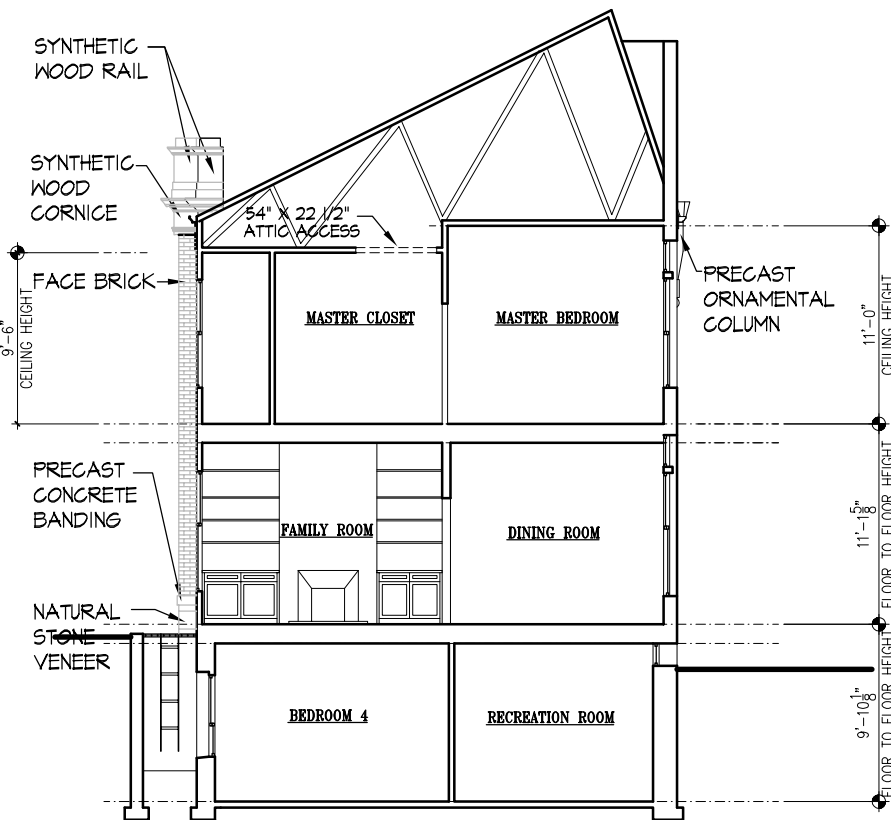
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**1 BUILDING SECTION**  
 A10 SCALE: 3/32" = 1'-0"



**2 BUILDING SECTION**  
 A10 SCALE: 3/32" = 1'-0"



**3 BUILDING SECTION**  
 A10 SCALE: 3/32" = 1'-0"



**4 BUILDING SECTION**  
 A10 SCALE: 3/32" = 1'-0"

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**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314

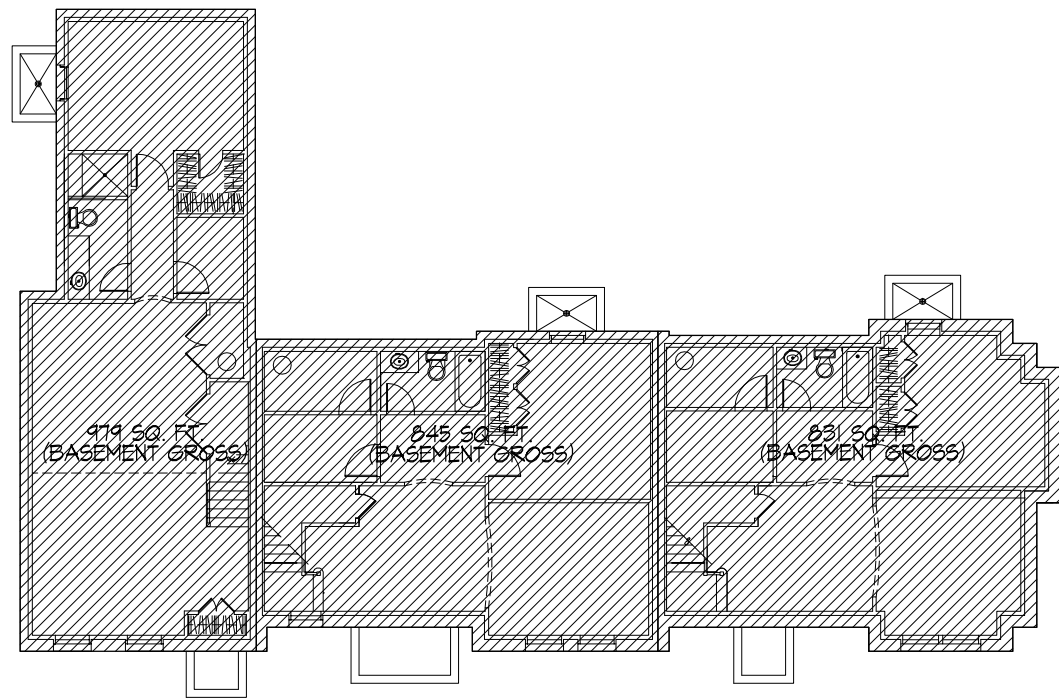
**BUILDING SECTION**

REVISIONS		

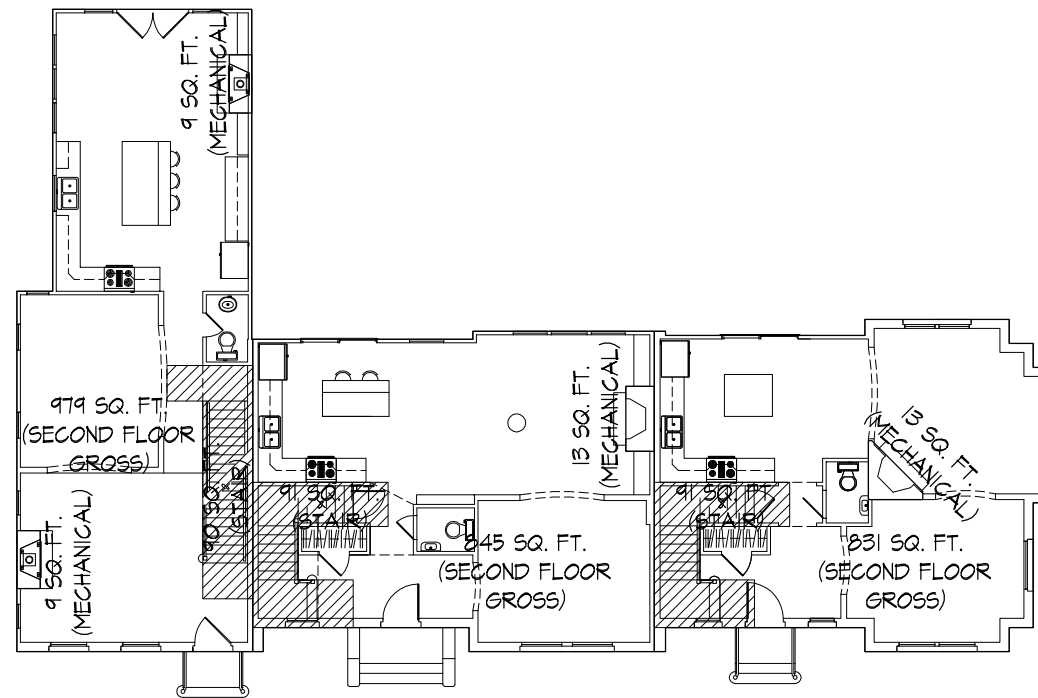
PROJECT NUMBER	1225
DATE	5/13/13
SCALE	AS NOTED
DRAWN	DESIGNED
666	SWK
APPROVED	

SHEET NUMBER  
**A10**

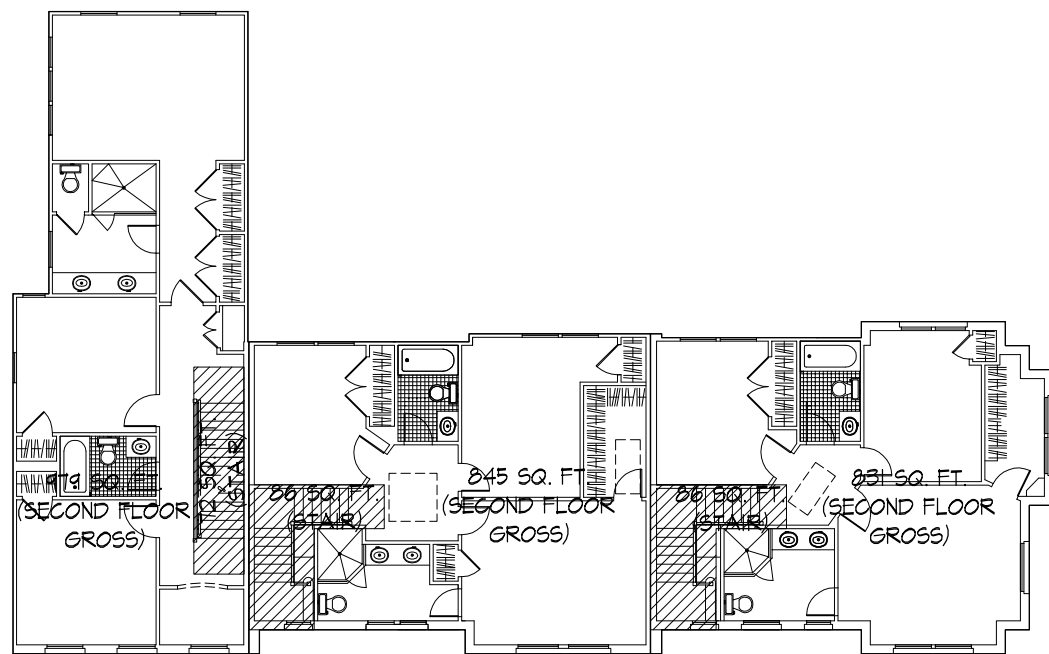




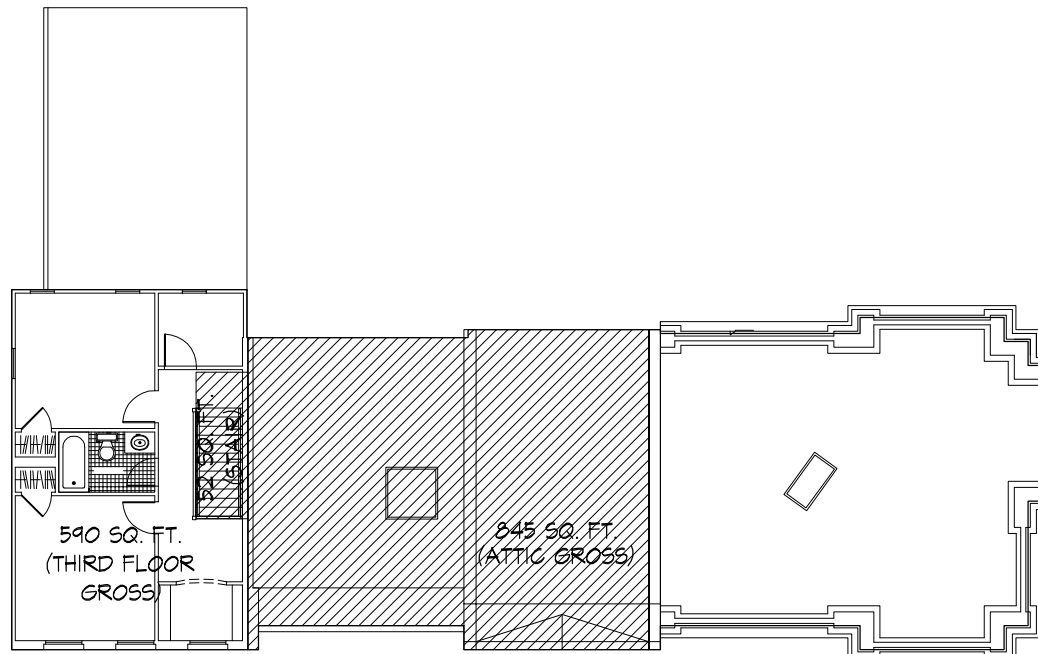
**1 BASEMENT F.A.R. DIAGRAM**  
A12 SCALE: 1/16" = 1'-0"



**2 FIRST FLOOR F.A.R. DIAGRAM**  
A12 SCALE: 1/16" = 1'-0"



**3 SECOND FLOOR F.A.R. DIAGRAM**  
A12 SCALE: 1/16" = 1'-0"



**4 ATTIC FLOOR F.A.R. DIAGRAM**  
A12 SCALE: 1/16" = 1'-0"

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**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314

**F.A.R. DIAGRAMS**

REVISIONS		

PROJECT NUMBER	1225
DATE	5/13/13
SCALE	AS NOTED
DRAWN	DESIGNED
666	SNK
APPROVED	

SHEET NUMBER

A12

CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT  
 PLAN SUBMITTAL



**1 ALFRED STREET ELEVATION STREETScape**  
 A11 SCALE: NTS



**2 PRINCESS STREET ELEVATION STREETScape**  
 A11 SCALE: NTS

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PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314

CONTEXT / STREETScapeS

REVISIONS		
PROJECT NUMBER	1225	
DATE	5/13/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GGG	SNK	
SHEET NUMBER		
A13		

CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT  
 PLAN SUBMITTAL



1 PERSPECTIVE VIEW  
 A14 SCALE: NTS



2 PERSPECTIVE VIEW  
 A14 SCALE: NTS



3 PERSPECTIVE VIEW  
 A14 SCALE: NTS



4 PERSPECTIVE VIEW  
 A14 SCALE: NTS



PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314

CONTEXT

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**Attachment &**

Docket Item # 2  
BAR CASE #2012-0415

BAR Meeting  
April 24, 2013

**ISSUE:** Certificate of Appropriateness for Three New Townhouses;  
Waiver of Rooftop Screening; Waiver of Fence Height; and Waiver of  
Vision Clearance Requirement

**APPLICANT:** Princess and Alfred LLC by Steve Kulinski, Architect

**LOCATION:** 813 Princess Street

**ZONE:** CL / Commercial Low Zone

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**STAFF RECOMMENDATION**

Staff recommends deferral of the BAR Certificate of Appropriateness application in order for the applicant to work with BAR staff on design details.

\*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

\*\*BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



**BAR2012-00415**



## **BACKGROUND**

At the January 23, 2013 informal work session on the subject case, the Board found the proposed development generally appropriate in terms of height, scale, mass, general architectural character, and site layout, and indicated support for potential waivers for rooftop HVAC screening, vision clearance, front yard setback and fence height, subject to further design development. The Board suggested that the applicant restudy the Princess Street elevation to better relate to the adjoining historic property at 809 Princess Street and also encouraged the applicant to work with that owner in order to resolve any potential rear yard access issues, if possible. Finally, the Board asked the applicant to restudy more contemporary architectural details for the townhouses, making them compatible with, yet subtly distinguishable from, nearby historic properties.

On April 2, 2013, the Planning Commission approved the development site plan, with modifications, and subdivision with a variation of the single existing lot into four lots, to permit the construction of three townhouses and a shared rear driveway (Development Site Plan #2012-0018 and Subdivision #2012-0004).

## **I. ISSUE**

This Certificate of Appropriateness application asks the BAR to review the “exterior architectural features of the buildings” to be constructed on the four lots approved by the Planning Commission. The applicant has submitted small changes to the townhouse designs which were previously considered by the Board during the informal work session in January. The applicant believes that this eclectic design direction is compatible with the existing neighborhood and that historically replicative designs are more marketable to customers seeking to purchase in Old Town. The current proposal is to develop the four lots with three residential townhouse units fronting North Alfred Street, each with a different architectural vocabulary based on historic styles found nearby in the neighborhood. The northernmost townhouse is a three-bay, three-story, side gable, brick townhouse in a transitional Greek Revival/Italianate Victorian style. The middle townhouse has two main blocks and reads as a two-and-one-half-story late 19<sup>th</sup> century Richardsonian Romanesque brick townhouse with a recessed arched entry, arched windows and a rusticated stone foundation. The southern townhouse at the corner of North Alfred and is a two-story, brick unit with a pronounced rooftop balustrade in an early 20<sup>th</sup> century Beaux-Arts style and deftly turns the corner onto Princess Street. All the townhouses will contain aluminum clad wood windows, Azek trim, Hardi-plank siding and pre-cast concrete detailing.

Each townhouse will have two parking spaces at rear of each lot which will be accessed from a shared driveway utilizing an existing curb cut along Princess Street. A 6.5’ high wood fence with brick piers is proposed along the front property line in the required front yard of Lot 601 facing Princess Street to define the public space from the private space.

## **II. HISTORY/CONTEXT**

The subject site is located on the northeastern corner the intersection of Princess and North Alfred Streets. The site is located within the Parker-Gray District but is also within a few parcels of the Old and Historic Alexandria District and there is no visually distinguishable boundary

between the two districts. The detached c1920 rock-faced concrete block townhouse immediately to the east (809 Princess Street) is a contributing resource within the historic district.

The general character of the site and the surrounding built environment features a range of building types (townhouses, freestanding houses and commercial buildings), a range of architectural styles (1950s, brick townhouses, late Victorian townhouses, 1970s garage-front townhouses and a mid-20<sup>th</sup> century commercial building), and a range of heights and scales, from one-story to three stories in height. In addition, the corner lot to the south and ½ block to the east now contain parking lots that serve commercial properties on North Washington Street and would not be permitted today by the zoning ordinance.

### **III. ANALYSIS**

#### *Certificate of Appropriateness – Standards for Evaluation*

Staff has included below the scope of review and standards described in the Zoning Ordinance which must be considered by the Parker-Gray Board during an application for a Certificate of Appropriateness for new construction.

(1) *Scope of review.* The Parker-Gray District board of architectural review or the city council on appeal shall limit its review to exterior features subject to public view and shall determine the compatibility of proposed construction, reconstruction, alteration, restoration of buildings or structures within the Parker-Gray District based upon compatibility with other buildings or structures on the same block face, the block face across the public street, or the immediate surrounding area within the district.

(2) *Standards.* The board of architectural review, or the city council on appeal, shall consider the following in passing upon the appropriateness of proposals within the Parker-Gray District:

- (a) For new buildings and additions to existing buildings:
  - (1) Height of the roofline along the street or public way;
  - (2) Scale and mass of the building on the site;
  - (3) Placement of the building on the site;
  - (4) Material, texture and color;
  - (5) Architectural style where there is a predominant style on the block face; and
  - (6) Architectural details, including signs, subject to public view from the Public Street or public way.

When the BAR supported the design concept for this development in January, the applicant was asked to consider the following design refinements in anticipation of a Certificate of Appropriateness application (Staff's comments/responses are in *italics*.)

- Restudy the Princess Street elevation to better relate to the adjoining historic property at 809 Princess Street. *There have been no changes to this elevation at this time. It was*

*recommended by BAR staff that the applicant consider removing the 6' high fence along the eastern property line and only retain the brick pier at the alley entrance.*

- Work with the owner of 809 Princess Street in order to resolve any potential rear yard access issues, if possible. *As shown in the below map, the lot at 809 Princess has never had dedicated public or private alley access to the rear of the lot. The historic alley from Sanborn Maps ended at the northern tip of the lot now delineated as 807 Princess. 807 Princess is a privately owned parcel which historically had a house similar in footprint to 809 Princess and is not an alley.*

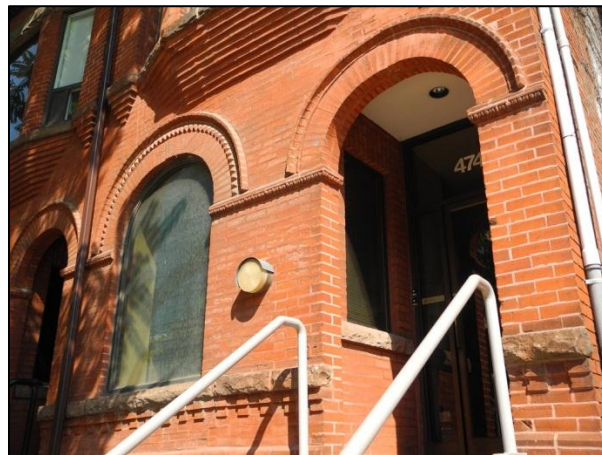


**Figure 1: Map of Site**

- Restudy the use of contemporary architectural details for the townhouses, making them compatible with yet subtly distinguishable from nearby historic properties. *The applicant has elected to use an architectural vocabulary based on historic styles but using many modern materials such as Azek, Hardie-Siding, and Synthetic Slate.*
- Work with BAR Staff to refine the townhouse's material palette and architectural details. *Applicant has provided the Board with a materials specification sheet for each townhouse.*

Staff strongly supports the overall architectural character of this project and feels that the applicant is diligently working on many of the issues noted above. However, based on the Board's *Certificate of Appropriateness Standards and Design Guidelines for New Construction*, there are many design details that need to be studied and refined before the Board approves this Certificate of Appropriateness application. Staff recommends the following design details which need further information or detail drawings. These include:

- North Townhouse: Re-study the cornice, entrance and window hoods on front and rear elevations. The concept review indicated uniform Greek Revival details throughout. The present proposal utilizes an Italianate style bracketed cornice with a simplified Greek entrance surround and six panel door. Staff supports either Greek Revival or Italianate style details with this house but recommends that the stylistic details be consistent throughout the structure.
- North Townhouse: Coordinate window light configurations on the rear and side elevations. The single light casement windows on the rear of the third floor do not relate to the rest of the windows on the building.
- North Townhouse: Staff recommends wrapping the brick around the north side elevation of, at least, the main body of the structure. While primarily visible through a horse alley, this portion of the building will still be visible from North Alfred Street. Masonry houses historically terminated face brick at a corner of the structure and transitioned to common brick but did not change to siding which can become a maintenance challenge when used in narrow pedestrian alleys. The ell of a historic townhouse was frequently wood frame clad in siding and staff generally supports the use of siding on the rear of these buildings.
- Center Townhouse: Due to FAR issues, this roofline has been modified to an unusual and atypical form. Although Richardsonian style townhouses often had unusual roof forms front and rear, the building sections shown on sheet A10 do not clearly show what is being proposed and section 5/A-10 is missing. A re-study of this roofline is necessary to determine how much of this will be visible from Princess Street.
- Center Townhouses: Stone lintels or arches are needed above the basement windows.
- Center Townhouse: More information is needed on the precast ornamental column/pilasters that terminate the belt course on the second floor below the gable. Detail architectural drawings of belt course/water table, molded brick, brackets, rosettes, and gable-end brickwork on this townhouse are needed to understand the proposed materials and depth of the projections.



**Figure 2: Examples of molded brickwork, belt course/water table and corbelled brick**

- South Townhouse: The fence on this corner townhouse helps link it to the adjacent townhouse at 809 Princess and is a prominent visual element on the blockface. The previous concept design proposed a fence top that matched the balustrade of the

townhouse and became an architectural feature in itself. The present fence does not do that. Staff recommends a restudy of this element that might include either a solid brick wall, natural stone piers to match the base of the townhouse or more direct architectural references to the parapet balustrade of the house. In addition, the fence on the east side of the new alley entrance should return to the façade of 809 Princess Street to screen the parking area of the new townhouses from Princess Street. Staff does not, however, recommend that this fence extend north beyond the façade of 809 Princess.

- South Townhouse: Staff recommends that the balustrade detail be returned to its original “X” detail as shown in the concept review submission and on the top of the brick wall. While the proposed baluster design is historically correct, it does not have the architectural interest of the previous proposal and is more difficult to utilize on the fence.
- The applicant should continue to study the architectural style and quality of detailing on the rear elevations of all the units. While the rear elevations will never be seen at the same time as the front facades, they will still be very visible from Princess Street.
- Provide roof plans and building sections indicating locations of HVAC units on the roofs.
- Materials Board needs to be submitted for each townhouse. It should include color and material selections.

*Additional approvals required as part of the Certificate of Appropriateness:*

### **Waiver of Rooftop Screening**

Section 6-403 of the zoning ordinance allows the BAR to waive the rooftop HVAC screening requirement if the BAR finds that the screening would be architecturally inappropriate. The applicant will need to provide the BAR with a roof plan and building sections to verify that these units will not be visible, or only minimally visible, due to screening provided by the parapets.

### **Waiver of Fence Height**

Section 7-202 (C) gives the BAR the ability to waive the fence height in a required front yard if the BAR finds that proposed fence or wall would be appropriate and consistent with the district. In the opinion of Staff, a 6.5’ high fence is necessary and appropriate in order to distinguish the public space from the private spaces on this corner property. However, staff is concerned about the applicant’s choice in materials, it is recommended that the wood and brick pier fence be modified to a brick wall with a wood composite topper with a design to replicate the balustrade on the South Townhouse or a solid brick wall with molded brick and paneling, similar to below, picking-up the cornice detailing on the South Townhouse.



**Figure3: Example of a paneled fence with molded brick cap**

### **Vision Clearance Requirement**

*Per Section 7-802: In the Old and Historic Alexandria and the Parker-Gray Districts, the requirement of Section 7-801, the vision clearance requirement, may be waived or modified by the Board of Architectural Review where the Board finds “to do so would be consistent with the historic character of the district.”*

The BAR encourages the new construction within the historic district to be consistent with established development patterns to maintain the character of the district. The southern townhouse at the corner of North Alfred and Princess Street is being located on the side property line, which is typical of the surrounding historic buildings. There is approximately 13 feet between the property line and the curb along Princess Street and 15 feet along North Alfred Street which will contain expanded sidewalks (5') and grass strips with street trees allowing for a pedestrian-friendly, residential urban environment. These specifications are consistent with the neighboring historic buildings and their associated streetscape and for these reasons staff recommends that the Board supports the Waiver of Vision Clearance Requirement.

In summary, Staff supports most of the improvements and changes made by the applicant since the concept review by the BAR and recommends that the applicant continue to work with staff on the design details and return to the BAR with these changes and detail drawings for final review and approval.

### **STAFF**

Michele Oaks, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

### **IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

#### **Archaeology:** **CONDITIONS**

Call Alexandria Archaeology (703-746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

*Applicant has placed comment on the site plan*

Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

*Applicant has placed comment on the site plan*

The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

*Applicant has placed comment on the site plan*

## **FINDINGS/COMMENTS**

F - 1. The lot at 813 Princess Street has been actively used and occupied since the early nineteenth century. According to 1810 tax records, the Patten and Butcher families owned the entire north side of Princess Street between N. Alfred and N. Columbus. At that time a man named John Rollins, a joiner by trade, lived on the block as a tenant. By 1830 William Patten and Ann Butcher owned the north side of the 800 block of Princess Street and rented out an "old house" to Patsy Nelson, a free person of color (African American) and her child. In 1850 the estate of Edward Smyth now owned the Patten and Butcher property and rented it to Leanna Davis, a free woman of color, and Alfred Davis (presumably her husband) who was a slave owned by Elizabeth Smith.

By 1877, according to the Hopkins map, a person named Bedle owned the corner lot at 813 Princess Street. A structure stood in the center of lot, but it is unclear whether Bedle occupied this particular building which may have been oriented toward N. Alfred Street. By 1896 a Sanford insurance map shows a structure occupying the same basic location as the building in 1877, although differently configured. The 1896 building fronts on Princess Street and a second building is located in the northwest corner of the lot (along N. Alfred), probably an outbuilding. By 1907 the outbuilding is labeled as an office and four additional small structures line the north edge of the lot, while the main dwelling in the center of the lot remained unchanged. The same buildings are shown on the lot in 1931 and 1941 Sanford insurance maps.

Given the span of activity at 813 Princess Street throughout the nineteenth and twentieth centuries, the property has the potential to provide information about the history and development to Alexandria. Of particular note is the possibility that the lot holds archaeological information pertaining to free African Americans.

F - 2. If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

C - 1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

### **Code Administration:**

F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit

plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at [ken.granata@alexandriava.gov](mailto:ken.granata@alexandriava.gov) or 703-746-4193.

- C-1 IRC R302.1 - Any walls within 5 feet of the property line must be 1 hour fire-rated for exposure from inside and outside. Attached is typical one hour fire-rated construction. Please provide the construction method for one-hour fire rated wall system.
- C-2 IRC R602.10 Provide a braced wall design for the proposed construction indicating the location of the braced wall panels and the method of bracing used.
- C-4 New construction must comply with the current edition of the Virginia Uniform Statewide Building Code 2009 (VUSBC 2009) and applicable City of Alexandria requirements.

**Transportation and Environmental Services (T&ES):**

**No comments.**

**V. ATTACHMENTS**

*1 – Supporting Materials*

*2 – Application for BAR2012-0415 at 813 Princess St.*

**813 Princess Street, Alexandria, VA 22314 – Parker Gray Historic District**

**Materials Specification List**

**I. North Unit**

**1. West Elevation**

- Six panel wood door with transom above
  - Wood entry surround to match window trim
  - Painted green
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
  - Simulated divided lite
  - Six over six
  - Precast concrete window sills
  - Precast concrete window header
- Porch light
  - London Street electric lamp by Bevolo
- Precast concrete stairs
  - Iron metal handrails
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted white
- Face brick
  - Tan field color

**2. North, South and East Elevation**

- Hardi-plank cement board siding
  - 5" Exposure
  - Smooth Finish
  - Painted tan to match face brick from West elevation
- Swinging patio wood door with sidelites
  - 18 Lites per panel
  - Painted white
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
  - Simulated divided lite
  - Six over six
- Casement windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
- Porch light
  - Ledgewood Exterior Wall Sconce
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted white

## **813 Princess Street, Alexandria, VA 22314 – Parker Gray Historic District**

- Synthetic Wood Trim
  - 1x6 Azek (or similar) corner boards
  - 1x4 Azek (or similar) window trim
  - 1x6 Azek (or similar) fascia boards
  - All trim to be painted white

### **II. Middle Unit**

#### **1. West Elevation**

- Two panel arched wood door with side lites
  - Arched brick entry surround to match field brick
  - Stained natural
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - Green aluminum clad
  - Arched brick window heads to match field brick
- Porch light
  - London Street electric lamp by Bevolo
- Precast concrete stairs
  - Natural stone veneer guardrail
  - Precast stone cap on guardrail
- Natural Stone Veneer Water Table
  - Rough cut field stone
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted beige
- Precast concrete details
  - Banding
  - Columns
  - Rosettes
- Face brick
  - Dark red field color
- Synthetic slate shingle roof
  - Multi-colored

#### **2. South Elevation**

- Face brick
  - Dark red field color
- Precast concrete details
  - Banding
  - Columns
  - Rosettes

#### **3. East Elevation**

- Hardi-plank cement board siding
  - 7" Exposure

### **813 Princess Street, Alexandria, VA 22314 – Parker Gray Historic District**

- Smooth Finish
- Painted dark red to match face brick from West elevation
- French swinging wood door
  - 18 Lites per panel
  - Painted green
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - Green aluminum clad
- Porch light
  - Ledgewood Exterior Wall Sconce
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted green
- Synthetic Wood Trim
  - 1x6 Azek (or similar) corner boards
  - 1x4 Azek (or similar) window trim
  - 1x6 Azek (or similar) fascia boards
  - All trim to be painted green

### **III. South Unit**

#### **1. West, South and East Elevation**

- Two panel wood door
  - Stained natural
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
- Awning windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
- Porch light
  - Sternberg electric globe light
- Precast concrete stairs
  - Iron handrail
- Natural Stone Veneer Water Table
  - Smooth face
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted white
- Synthetic Wood Railing and Balustrade
  - Azek (or similar)
  - Painted white
- Precast concrete details
  - Banding
- Face brick
  - Light beige

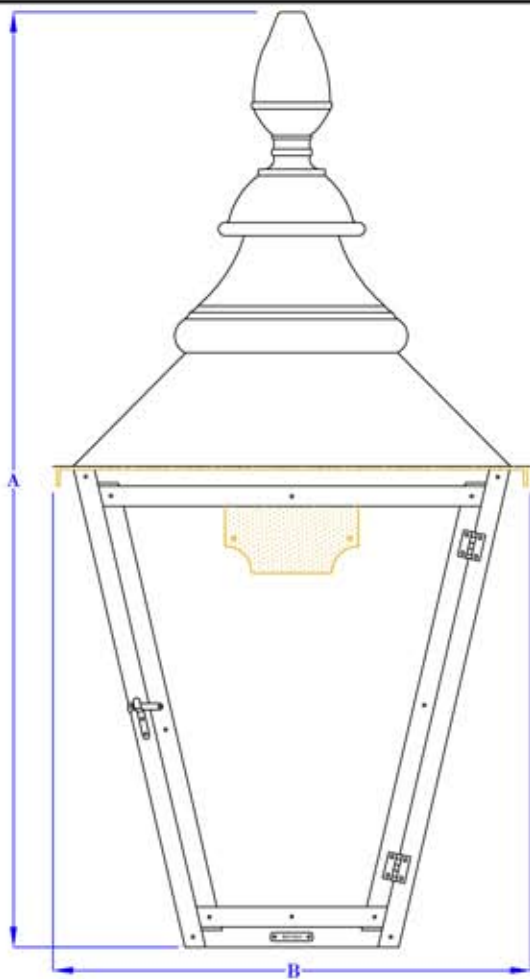
## **813 Princess Street, Alexandria, VA 22314 – Parker Gray Historic District**

### **2. East Elevation**

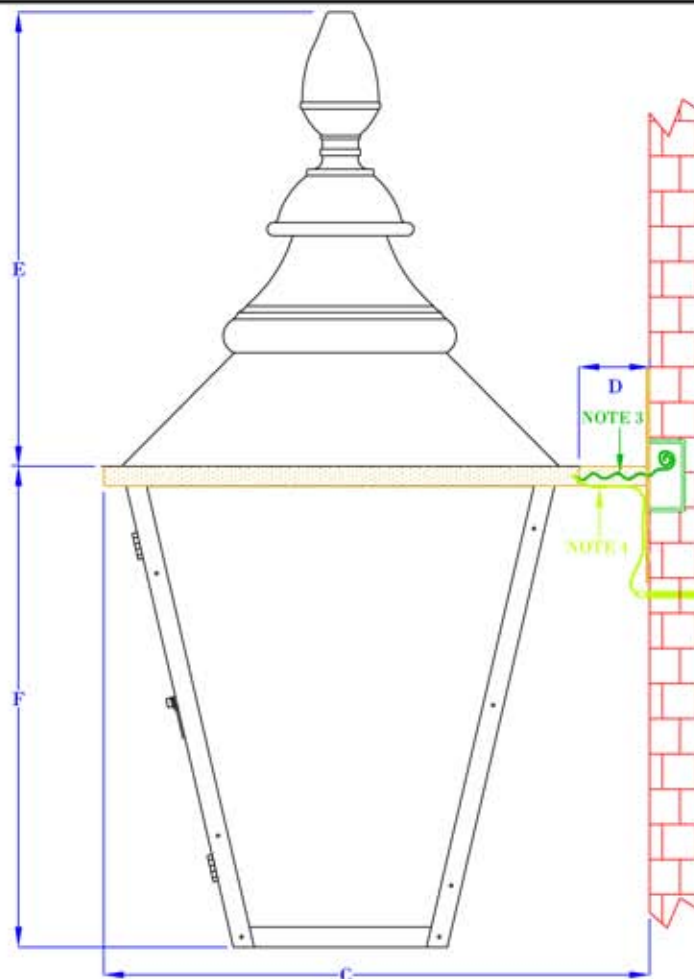
- Hardi-plank cement board siding
  - 5" Exposure
  - Smooth Finish
  - Painted light beige to match face brick
- French swinging wood door
  - 18 Lites per panel
  - Painted white
- Double hung windows – Jeld-Wen Sitrine EX Wood Clad Windows
  - White aluminum clad
- Porch light
  - Electric lamp by Bevolo (or similar)
- Synthetic Wood Cornice
  - Azek (or similar)
  - Painted white
- Synthetic Wood Trim
  - 1x6 Azek (or similar) corner boards
  - 1x4 Azek (or similar) window trim
  - 1x6 Azek (or similar) fascia boards
- All trim to be painted white

### **IV. Miscellaneous Exterior**

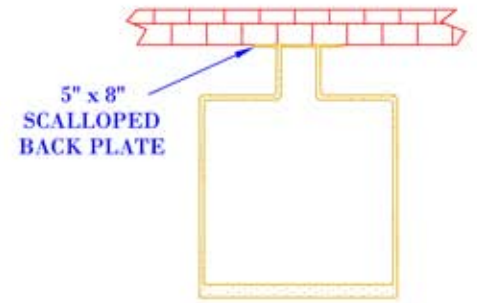
- Gutters to be metal ogee
  - Painted white
- Downspouts to be metal square
  - Painted white
- Exposed foundation
  - Parged concrete finish
- Exterior mechanical units
  - Roof Mounted
- Window well
  - Metal grate at ground level for fall protection



**FRONT VIEW**  
(NTS)



**SIDE VIEW**  
(NTS)



**TOP VIEW**  
(NTS-BRACKET ONLY)

**NOTES:**

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS  $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH  $\frac{3}{16}$ " COPPER GAS LINE AND  $\frac{3}{16}$ " x  $\frac{1}{4}$ " GAS LINE ADAPTOR

SIZE:	25"	28"	35"
A:	24 $\frac{1}{2}$ "	28 $\frac{1}{4}$ "	34 $\frac{3}{4}$ "
B:	12 $\frac{1}{2}$ "	14 $\frac{1}{2}$ "	17 $\frac{7}{8}$ "
C:	15"	17"	20 $\frac{3}{8}$ "
D:	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "
E:	13"	13 $\frac{3}{4}$ "	16 $\frac{3}{4}$ "
F:	11 $\frac{1}{2}$ "	14 $\frac{1}{2}$ "	18"

**BEVOLO GAS & ELECTRIC LIGHTS**

DRW BY: JJG

LIGHT: LONDON STREET

DATE: APP. BY: MAJ

COPYRIGHT 2009, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.

BRACKET: STANDARD WALL MOUNT

8-5-10 REVISION: 2

# Ledgewood Energy Saving Exterior Wall Sconce



**Description:**

Ledgewood energy saving exterior wall sconce features museum bronze finish and champagne inside-etched glass, also available with vintage black finish with opal cased glass. Includes one 13 watt, 120 volt, T2 with GU24 Base, self ballasted compact fluorescent lamp. General light distribution. ES- indicates fixtures that have option to be engineered as Energy Saving. c-ETL-us Wet listed. General light distribution.

Shown in: Black / Opal

**List Price:** \$236.25  
**Our Price:** \$189.00

**Shade Color:** Opal  
**Body Finish:** Black  
**Lamp:** 1 x T2/GU24/13W/120V  
**Wattage:** 13W  
**Dimmer:** Incandescent  
**Dimensions:** 10.5"H x 7.5"W x 6.5"D

Product Number: <b>0805EW-LEDGEES-006C 1-OPVB</b>			
Company:		Fixture Type:	Date: Mar 20, 2013
Project:		Approved By:	

**G12 / G20 DF GLOBE / ART DECO SERIES SPECIFICATIONS**

**GENERAL**

The DF Globe series is a decoratively styled fixture, which consists of a decorative, cast aluminum fitter, cast ballast housing assembly and a white polycarbonate or acrylic globe.

**FITTER**

The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an 8 1/4" inside diameter opening to attach to the 8" neck of the globe. When ordered with a Sternberg aluminum pole, the fitter shall be welded to the pole top or tenon for safety and to ensure the fixture will be plumb, secure and level over the life of the installation. The fitter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly.

**FITTER-TL FOR QUICK & TOOL-LESS REMOVAL OF GLOBE (OPTIONAL)**

The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an 9 1/4" inside diameter opening to attach to the 8" neck of the globe. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon. The fitter shall have an aluminum die cast twist-lock mechanism for tool-less, 1/4 turn installation and removal of globe. The globe is provided with a die cast mating collar which is easily removed and reused if globe replacement is ever performed.

**980 FITTER OPTION**

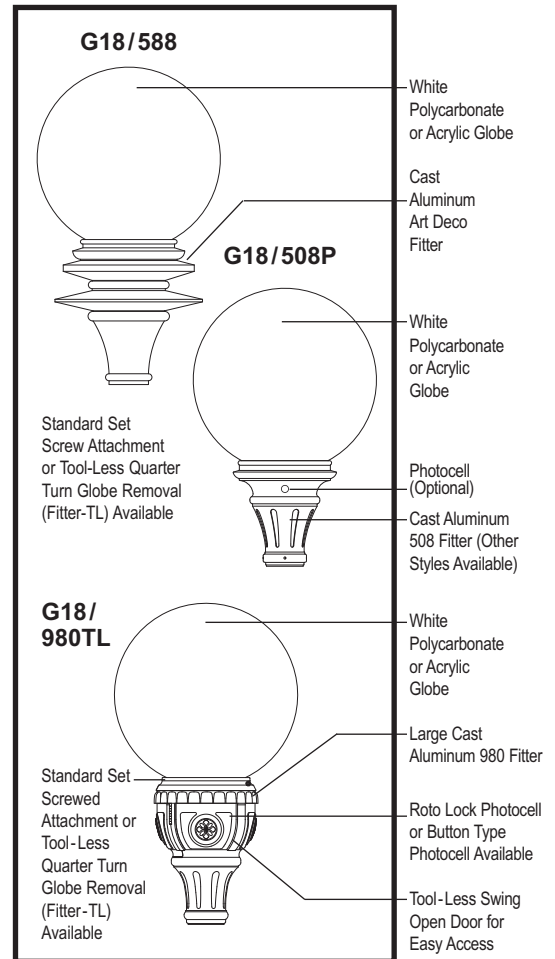
The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have a 9 1/4" inside diameter opening to attach to the 8" neck of the globe. It shall have a hinged, tool-less entry door that provides open access to all of the components. The 980 shall have a terminal block for ease of wiring, an optional Roto-Lock Photocell receptacle, an optional Single Convenience outlet or Duplex GFIC outlet for auxiliary power needs. The top mounted ballast mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 ea finger latches. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon. The fitter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly.

**980 FITTER-TL FOR QUICK & TOOL-LESS REMOVAL OF GLOBE (OPTIONAL)**

The fitter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an 9 1/4" inside diameter opening to attach to the 8" neck of the globe. It shall have a hinged, tool-less entry door that providing an open access to all of the components. The 980 shall have a terminal block for ease of wiring, an optional Roto-Lock Photo-cell receptacle and a Duplex GFIC outlet for auxiliary power needs. The top mounted ballast mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 ea finger latches. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon. The fitter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly. The fitter shall have an aluminum die cast twist-lock mechanism for tool-less, 1/4 turn installation and removal of globe. The globe is provided with a die cast mating collar which is easily removed and reused if globe replacement is ever performed.

**BALLAST HOUSING**

The ballast housing shall be heavy wall cast aluminum, 356 alloy for high tensile strength. The housing shall be cast as an integral part of the fitter to prevent water entry into the ballast compartment and to ensure high capacity heat sinking of ballast temperatures, keeping the ballast cooler and ensuring long life. The ballast mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 ea finger latches.



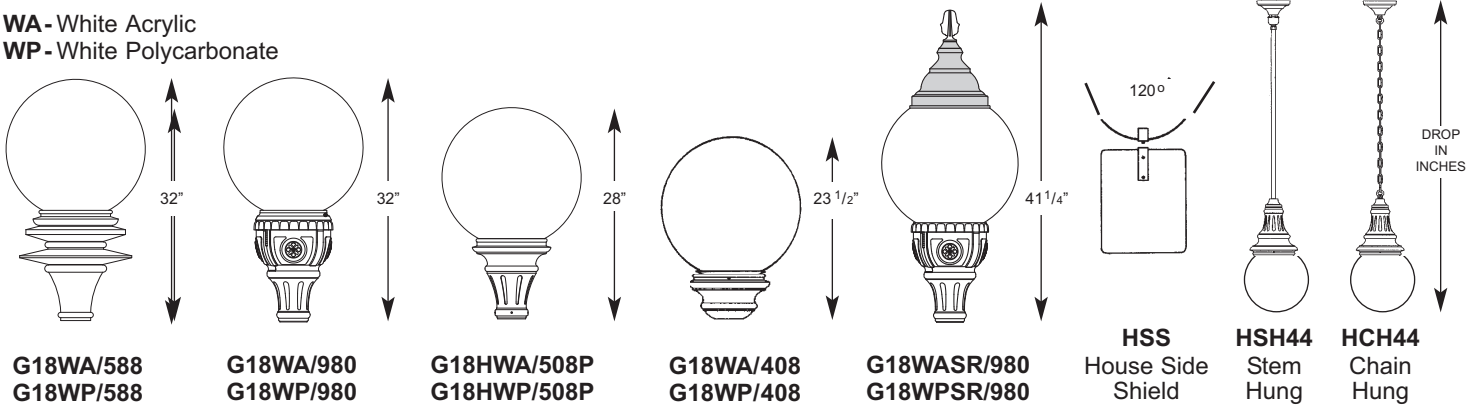
**G18AD EPA = 1.10 (ft<sup>2</sup>)  
WEIGHT = 6.7 LBS**

**LIST NO.  
G12 TO G20  
DF GLOBE &  
ART DECO  
SERIES**

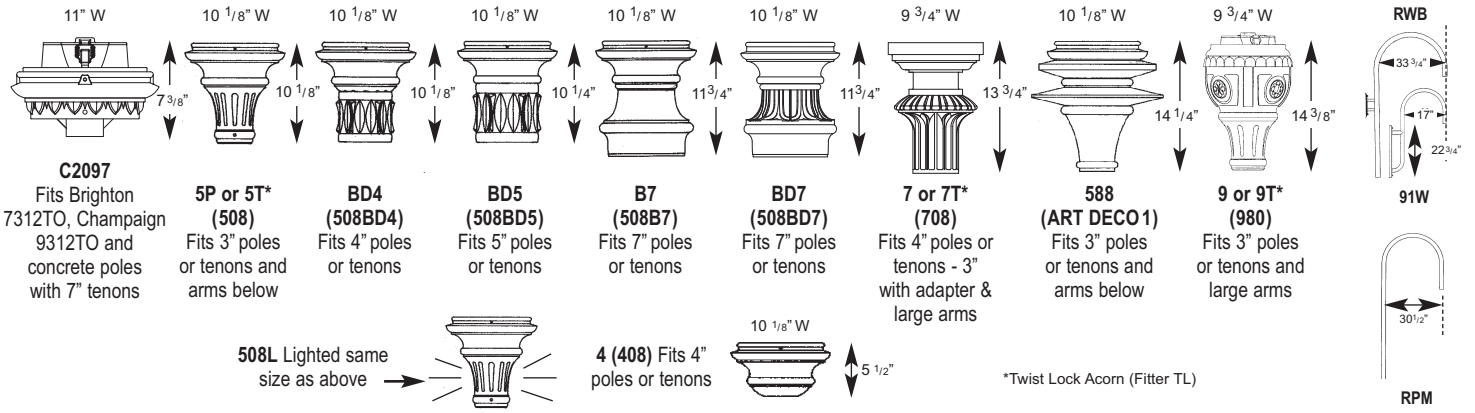
**G12 TO G20 DF GLOBE/ART DECO GLOBES/FITTERS/ARMS PM-WB**

**GLOBES / OPTIONAL TOPS / OPTICAL SYSTEMS      HANGING BRACKETS**

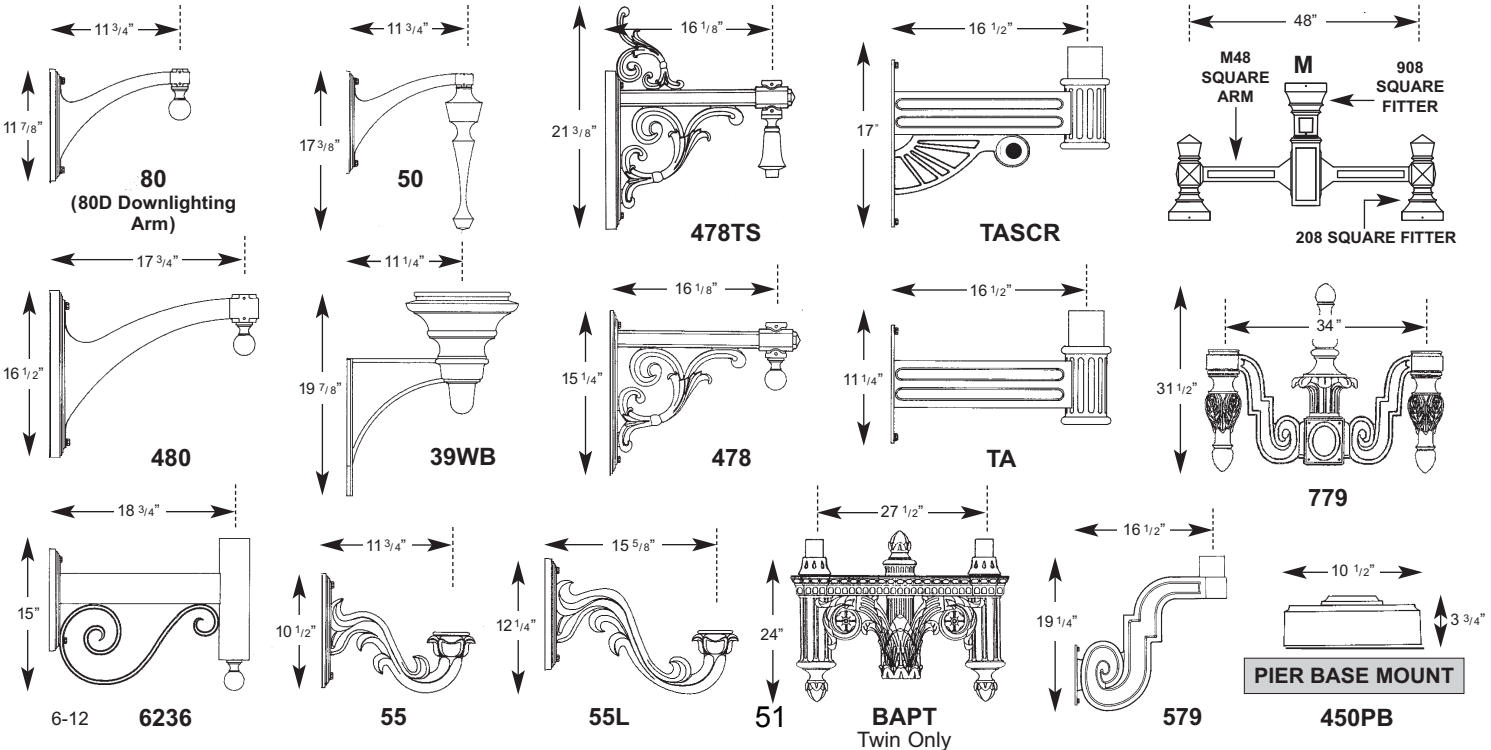
**WA**- White Acrylic  
**WP**- White Polycarbonate



**FITTERS      WALL BRACKETS (WB)**



**ARMS - POST MOUNT (PM) or WALL BRACKETS (WB)      See Arms Section for more information**

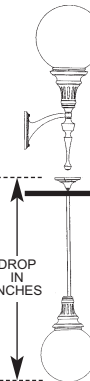


# BUILDING A PART NUMBER



## POST & ARM FIXTURES

ARM MOUNTED FIXTURE NO.	CENTER POST TOP FIXTURE (PT)	POST	POST CAP	LIGHT SOURCE BALLAST	OPTICS	OPTIONS	FINISH
OF ARMS	GLOBE / FITTER / POSTARM	GLOBE	(See Post Section)	WATTS / TYPE / VOLTS			
5	G16WA/4/TASCR	G16WA/4	PT	5411TFP		70 HPS120	PF / BK



## WALL FIXTURES

GLOBE / FITTER / WALLBRACKET	LIGHT SOURCE BALLAST	OPTICS	OPTIONS	FINISH	PIER FIXTURES
WATTS / TYPE / VOLTS					Uses same information boxes as wall fixture
G16WA/5P/50WB	100 HPS120		PEC1	BK	G16/5P/450PB

GLOBE / FITTER / PIER BASE

## HANGING FIXTURES

GLOBE / FITTER / HANGING BRACKET	OVERALL DROP IN INCHES	LIGHT SOURCE BALLAST	OPTIONS	FINISH
WATTS / TYPE / VOLTS				
G16WA/5P/HS44	48 INCHES	70 HPS120		BK

## PART NUMBER SELECTIONS

### GLOBES<sup>2</sup>

- G20WA<sup>4</sup>
- G20WP<sup>4</sup>
- G18WA<sup>5</sup>
- G18WP<sup>5</sup>
- G16WA<sup>6</sup>
- G16WP<sup>6</sup>
- G14WA<sup>7</sup>
- G14WP<sup>7</sup>
- G12WA<sup>8</sup>
- G12WP<sup>8</sup>

### FITTERS

- C2097
- 5P
- 5T
- 7
- 7T
- 9
- 9T
- BD4
- BD5
- BD7
- B7
- 588
- 408
- 508L<sup>10</sup>
- M Post Top Only

### POST ARMS

- 50PM
- 50DPM
- 478PM
- 478TSPM
- 80PM
- 80DPM
- 480PM
- 480DPM
- 55PM
- 55LPM
- 779PM
- 6236PM
- 579PT
- TAPT
- TASCRIPT
- 91WPM
- R2PM
- BAPT
- Twin Only
- M48PT\*\*

### OPTICS

- RSC
- HSS

### PIER BASE

- 450PB

### WALL BRACKET ARMS

- 39WB
- 50WB
- 50DWB
- 62WB
- 478WB
- 478TSWB
- 80WB
- 80DWB
- 480WB
- 480DWB
- 55WB
- 55LWB
- 6236WB
- 579WB
- TAWB
- TASCROWB
- 91WWB
- RWB
- M48WB
- 39WB\*\*

### HANGING BRACKETS

- HCH44
- HSH44

### BALLASTS<sup>3,12</sup>

- 35HPS<sup>1</sup>
- 50HPS
- 70HPS
- 100HPS
- 150HPS
- 200HPS
- 250HPS
- 50MHP
- 70MHP
- 100MHP
- 150MHP
- 175MHP<sup>13</sup>
- 200MHP
- 250MHP
- 26PLT
- 32PLT
- 42PLT
- 57PLT
- 70PLT
- INCAND
- QL55\*
- QL85\*
- QL165\*

\*Consult factory for specification details

### LAMPS<sup>4</sup>

- HPS35/MED
- HPS50/MED
- HPS70/MED
- HPS100/MED
- HPS150/MED
- HPS200/MED
- HPS250/MOG/ED18
- MHP50/MED
- MHP70/MED
- MHP100/MED
- MHP150/MED
- MHP175/MOG/ED28<sup>13</sup>
- MHP200/MOG/ED28
- MHP250/MOG/ED28
- PLT26
- PLT32
- PLT42
- PLT57
- PLT70

### VOLTAGES

- 120
- 208
- 240
- 277
- 480
- MULTI (120-277)

### FINISHES STANDARD

- BKT Black Textured
- BK Black
- VG Verde Green
- PGT Park Green Textured
- PG Park Green
- ABZT Architectural Medium Bronze Textured
- ABZ Architectural Medium Bronze
- SI Swedish Iron
- DBT Dark Bronze Textured
- DB Dark Bronze
- OWGT Old World Gray Textured
- OWG Old World Gray

### FINISHES CUSTOM

- WHT White Textured
- WH White
- CV Copper Vein
- WBK Weathered Black
- WBR Weathered Brown
- CD Cedar
- RT Rust
- OI Old Iron
- TT Two Tone
- CM Custom Match

### OPTIONS

- PEC1 Photocell-Bimetal 120 Volt
- PEC2 Photocell-Bimetal 208-277 Volt
- PEC1-E Photocell-Electronic 120 Volt
- PEC2-E Photocell-Electronic 208-277 Volt
- R<sup>11</sup> Receptacle only for Rotolock Photo Cell
- R1<sup>11</sup> Rotolock Photo Cell 120-277 Volt
- G<sup>11</sup> GFI 15 Amp for 980
- FHS Single Fuse and Holder-120, 277 Volt
- FHD Dual Fuse and Holder 208, 240, 480 Volt
- QR Quartz Re-Strike
- PF Pineapple Finial or Font (TA, TASCR)
- BF Ball Finial or Font (TA, TASCR)
- SR<sup>9</sup> Solid Roof
- LAMPS Select from List

### NOTES:

- <sup>1</sup> 35HPS is 120 volt only.
- <sup>2</sup> Clear Polycarbonate and Acrylic globes are available. Specify CP or CA after globe.
- <sup>3</sup> Medium base sockets standard with ballasts up to 150 watts HID. Mogul base sockets are standard with ballasts 200 watts and over. 4-pin for PL.
- <sup>4</sup> 250 Watt Maximum <sup>5</sup> 175 Watt Maximum <sup>6</sup> 100 Watt Maximum
- <sup>7</sup> 70 Watt Maximum
- <sup>8</sup> 50 Watt Maximum
- <sup>9</sup> G18 - G16 globes only.
- <sup>10</sup> Lit with 15 Watt PL
- <sup>11</sup> For 9 or 9T fitter only.
- <sup>12</sup> Metal halide systems are pulse start.
- <sup>13</sup> Consult factory for limitations.

# G12 TO G20 DF GLOBE / ART DECO SERIES SPECIFICATIONS

**LIST NO.  
G12 TO G20  
DF GLOBE &  
ART DECO  
SERIES**

## ELECTRICAL

Fixture shall be U.L. or E.T.L. listed in U.S. and Canada. H.I.D. ballasts shall be high power factor with lamp starting down to -30 degrees C. Medium base and mogul base porcelain sockets shall be are 4KV rated. The ballast/socket assembly shall be pre-wired when ballast is located in the fitter. All compact fluorescent (PL) ballasts shall be instant start electronic with a starting temperature of down to 0 degrees F. They shall have a 4-pin socket to accept quad or triple tube lamps. Ballasts shall be DOE EISA compliant.

## GLOBE

The globe shall be 12"-20" in diameter with an 8" aluminum neck. It will be made of vandal resistant white polycarbonate or dent resistant (DR) white acrylic. The globe is available in a solid roof (SR) for added distinction and reduced up-light. The solid roof will be made of spun aluminum and securely affixed to the top of the globe. The solid roof shall be appointed with a cast aluminum decorative 4-vane finial.

## OPTICAL

**House Side Shield (HSS)** is an option that will block 120° of light in any one direction (clear globes only).

## QUARTZ RE-STRIKE

The DF Globe fixture can be supplied with an optional quartz re-strike system to retain constant fixture light if the H.I.D. lamp fails. The fixture will be equipped with a 100 watt quartz lamp and a controller to run on a 120 volt circuit and must be used in conjunction with a 120 volt or multi-tap ballast.

## PHOTOCELLS

Photocells shall be either the thermo bi-metal button type or the electronic button type. On single post top fixtures the photocell shall be mounted in the fitter and pre-wired to ballast. On multiple head fixture assemblies photocells shall be mounted in the pole shaft on an access plate and are not pre-wired as ballast housing assemblies and fitters are packaged separately for ease of wiring to source. The thermo bi-metal photocell shall be designed to turn on at 1.0 footcandle and turn off at not more than 5 footcandles. The electronic button type photocell is instant on and a 5-10 second turn off and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocells are either 120 volt or 208 thru 277 volt.

## ARMS

All arms are made of cast aluminum and/or extruded aluminum. Arms with decorative filigree have meticulously detailed scroll work and gracefully curved brackets. All DF Globe fixtures will have its fitter either welded to the arm or will be mechanically attached at the factory to ensure arms will be plumb, secure and level over the life of the installation. Each arm shall be bolted to a post mount adapter, which is welded to the pole to ensure proper alignment to the base. Twin TA, TASCAR and 579 arms will be attached to a decorative center hub which will slip-fit the center tenon of the pole (not shown). BA and 779 arms are available as a twin application. Arms are pre-wired for ease of installation.

## FINISH

Prior to coating, each assembly shall be chemically cleaned and etched in a 5-stage washing system which includes alkaline cleaning, rinsing, phosphoric etching, reverse osmosis water rinsing and non-chrome sealing to ensure corrosion resistance and excellent adhesion for the finish coating. The finish coating shall be electrostatically applied semi-gloss, super durable polyester powder baked at 400 degrees for a durable and superior, color retentive finish. Our optional antique Verde Green finish and Swedish Iron finish are hand brushed using a 3-step process. The total assembly shall be wrapped in shockproof wrapping or fully enclosed in corrugated cartons.

## WARRANTY

Five-year limited warranty. See product and finish warranty guide for details.





## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address LOT 601 Zone CL  
 A2. 2,039 x .75 = 1,529  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	—	Basement**	—
First Floor	—	Stairways**	—
Second Floor	—	Mechanical**	—
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	0
<b>Total Gross *</b>	<b>0</b>		

B1. Existing Gross Floor Area \*  
0 Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
0 Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
0 Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	831	Basement**	831
First Floor	831	Stairways**	177
Second Floor	831	Mechanical**	13
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	1,021
<b>Total Gross *</b>	<b>2,493</b>		

C1. Proposed Gross Floor Area \*  
2,493 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
1,021 Sq. Ft.  
 C3. Proposed Floor Area minus  
 Exclusions 1,472 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1,472 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 1,529 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

Date: 3.21.13



## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address LOT 602 Zone CL  
 A2. 2,039 x .75 = 1,529  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	—	Basement**	—
First Floor	—	Stairways**	—
Second Floor	—	Mechanical**	—
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	0
<b>Total Gross *</b>	<b>0</b>		

B1. Existing Gross Floor Area \*  
0 Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
0 Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
0 Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	845	Basement**	845
First Floor	845	Stairways**	177
Second Floor	845	Mechanical**	13
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	1,035
<b>Total Gross *</b>	<b>2,535</b>		

C1. Proposed Gross Floor Area \*  
2,535 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
1,035 Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
1,500 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1,500 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 1,529 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature]

Date: 3.21.13



## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address LOT 603 Zone CL

A2. 3,178 x .75 = 2,383  
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	—	Basement**	—
First Floor	—	Stairways**	—
Second Floor	—	Mechanical**	—
Third Floor	—	Other**	—
Porches/ Other	—	Total Exclusions	∅
<b>Total Gross *</b>	<u>∅</u>		

B1. Existing Gross Floor Area \*  
∅ Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
∅ Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
∅ Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	<u>979</u>	Basement**	<u>979</u>
First Floor	<u>979</u>	Stairways**	<u>214</u>
Second Floor	<u>979</u>	Mechanical**	<u>18</u>
Third Floor	<u>590</u>	Other**	—
Porches/ Other	—	Total Exclusions	<u>1,211</u>
<b>Total Gross *</b>	<u>3,527</u>		

C1. Proposed Gross Floor Area \*  
3,527 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
1,211 Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
2,316 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2,316 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 2,383 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

Date: 3-21-13

CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT  
 PLAN SUBMITTAL

**KULINSKI**  
 GROUP ARCHITECTS P.C.  
 KULINSKIGROUP.COM | 703.836.7243



**1** NORTH ALFRED STREET ELEVATIONS LOT 603 602 AND 601  
 A1 SCALE: 1/8" = 1'-0"

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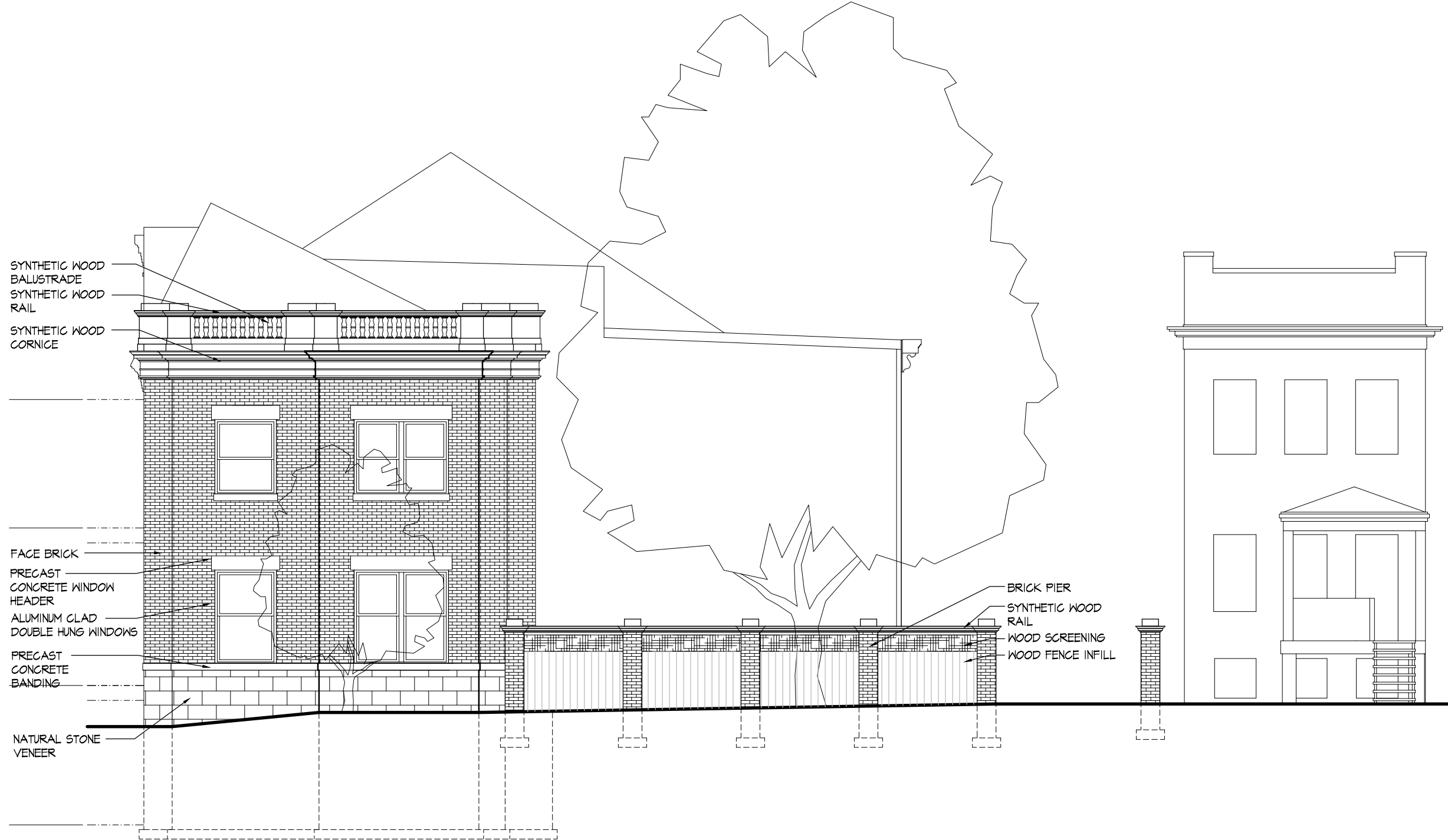
PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314  
 NORTH ALFRED STREET ELEVATIONS

REVISIONS

PROJECT NUMBER	1225
DATE	3/20/13
SCALE	AS NOTED
DRAWN	EGG
DESIGNED	SNK
APPROVED	

SHEET NUMBER  
**A1**

CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT  
 PLAN SUBMITTAL



SYNTHETIC WOOD  
 BALUSTRADE  
 SYNTHETIC WOOD  
 RAIL  
 SYNTHETIC WOOD  
 CORNICE

FACE BRICK  
 PRECAST  
 CONCRETE WINDOW  
 HEADER  
 ALUMINUM CLAD  
 DOUBLE HUNG WINDOWS  
 PRECAST  
 CONCRETE  
 BANDING

NATURAL STONE  
 VENEER

BRICK PIER  
 SYNTHETIC WOOD  
 RAIL  
 WOOD SCREENING  
 WOOD FENCE INFILL

**1** PRINCESS STREET ELEVATION  
 A2 SCALE: 1/8" = 1'-0"

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 GROUP ARCHITECTS P.C.  
KULINSKIGROUP.COM | 703.836.7243

**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314

**PRINCESS STREET ELEVATION**

REVISIONS		

PROJECT NUMBER		
1225		
DATE		
3/20/13		
SCALE		
AS NOTED		
DRAWN	DESIGNED	APPROVED
GGS	SNK	
SHEET NUMBER		
<b>A2</b>		

CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT  
 PLAN SUBMITTAL



**1 REAR ELEVATIONS**  
 A3 SCALE: 1/8" = 1'-0"



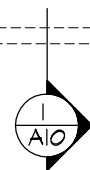
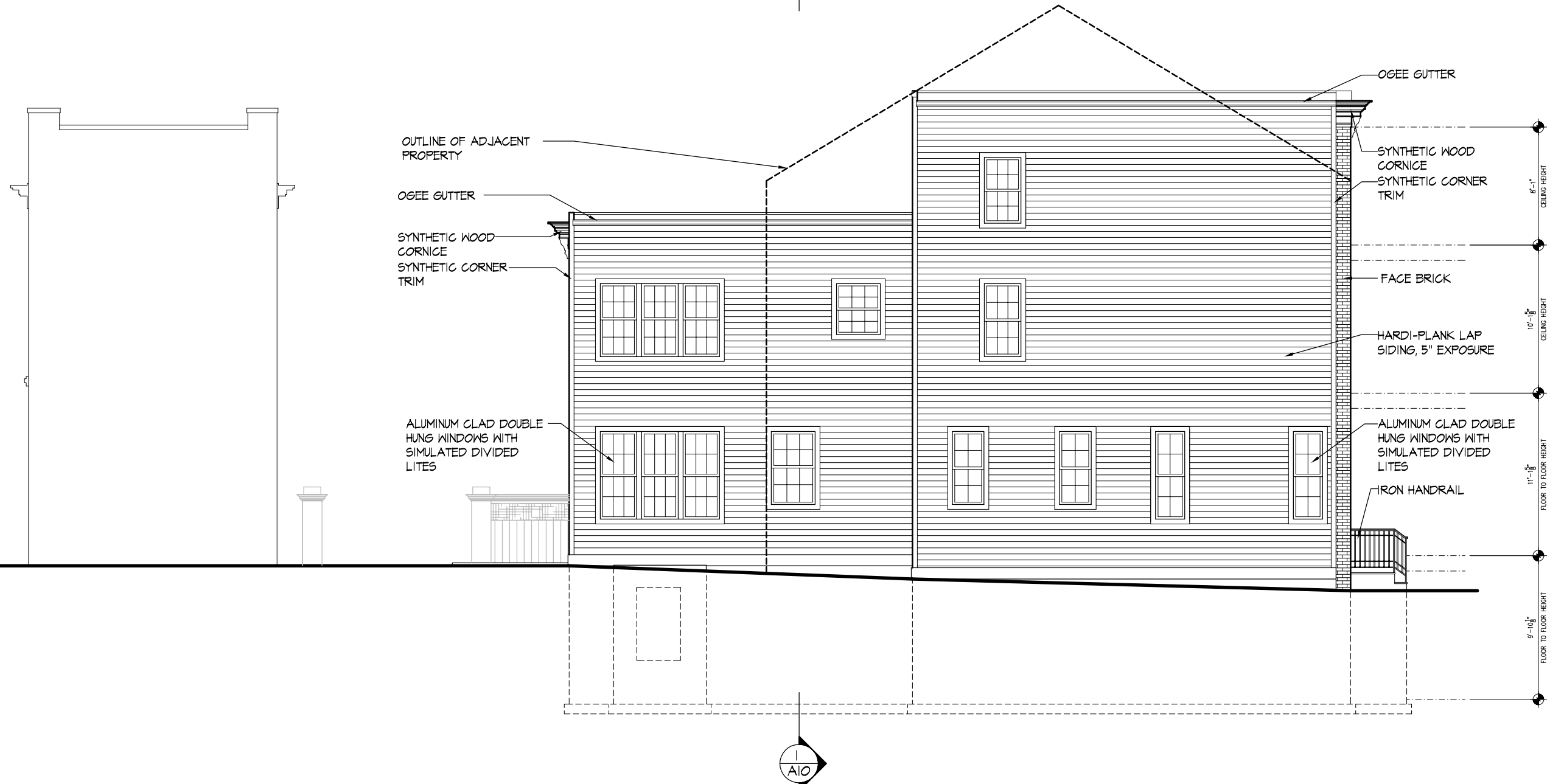
PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314

REAR ELEVATIONS

REVISIONS		
PROJECT NUMBER	1225	
DATE	3/20/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GS	SNK	
SHEET NUMBER		
A3		

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CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT  
 PLAN SUBMITTAL



**1** LEFT SIDE ELEVATION  
 A4 SCALE: 1/8" = 1'-0"



PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314

LEFT SIDE ELEVATION

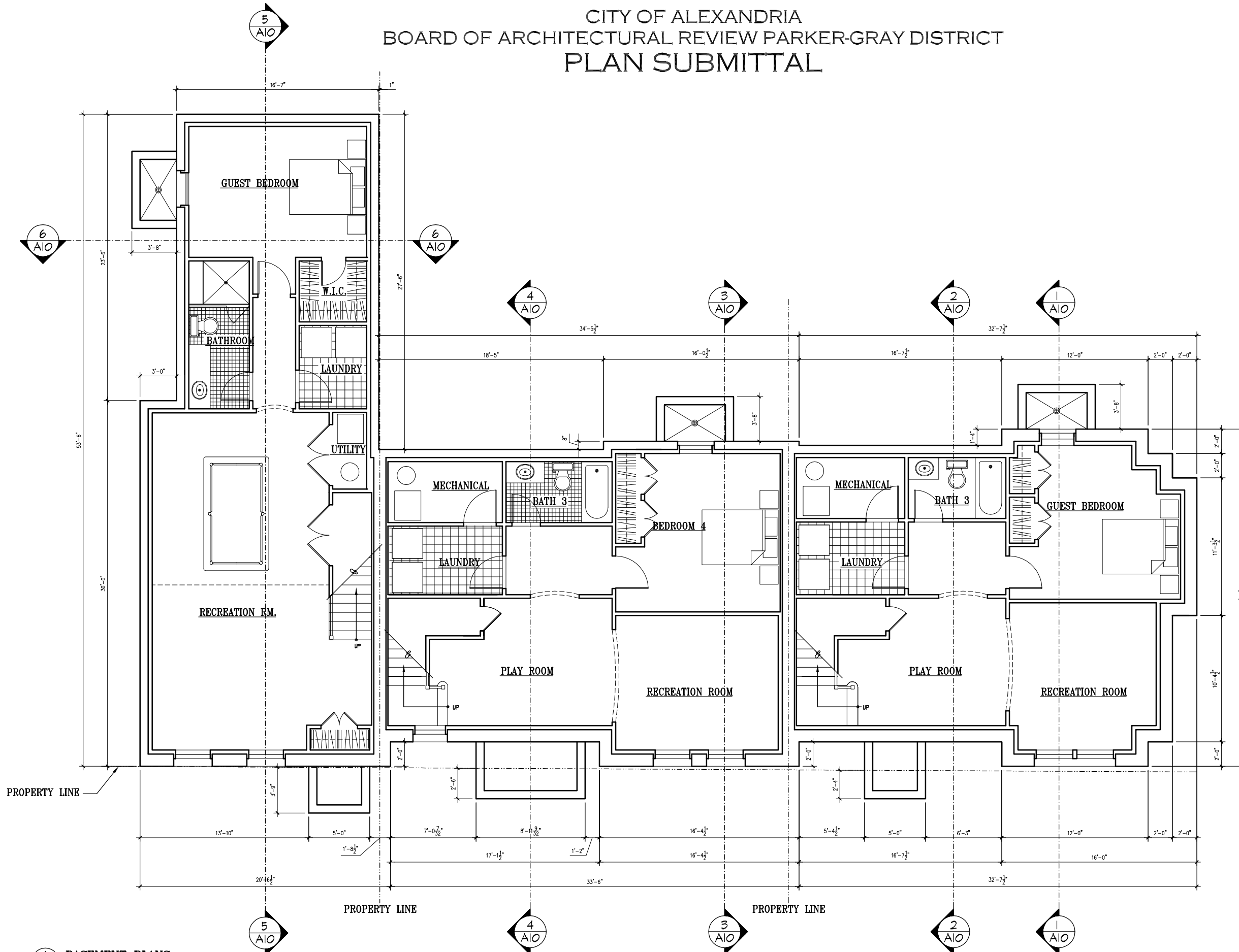
REVISIONS

PROJECT NUMBER	1225	
DATE	3/20/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GGG	SHK	

SHEET NUMBER  
**A4**

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CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT  
 PLAN SUBMITTAL



**1 BASEMENT PLANS**  
 A5 SCALE: 1/4" = 1'-0"

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**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314

**BASEMENT PLANS**

REVISIONS	

PROJECT NUMBER 1225
DATE 3/20/15
SCALE AS NOTED
DRAWN GGS
DESIGNED SWK
APPROVED 

SHEET NUMBER  
**A5**





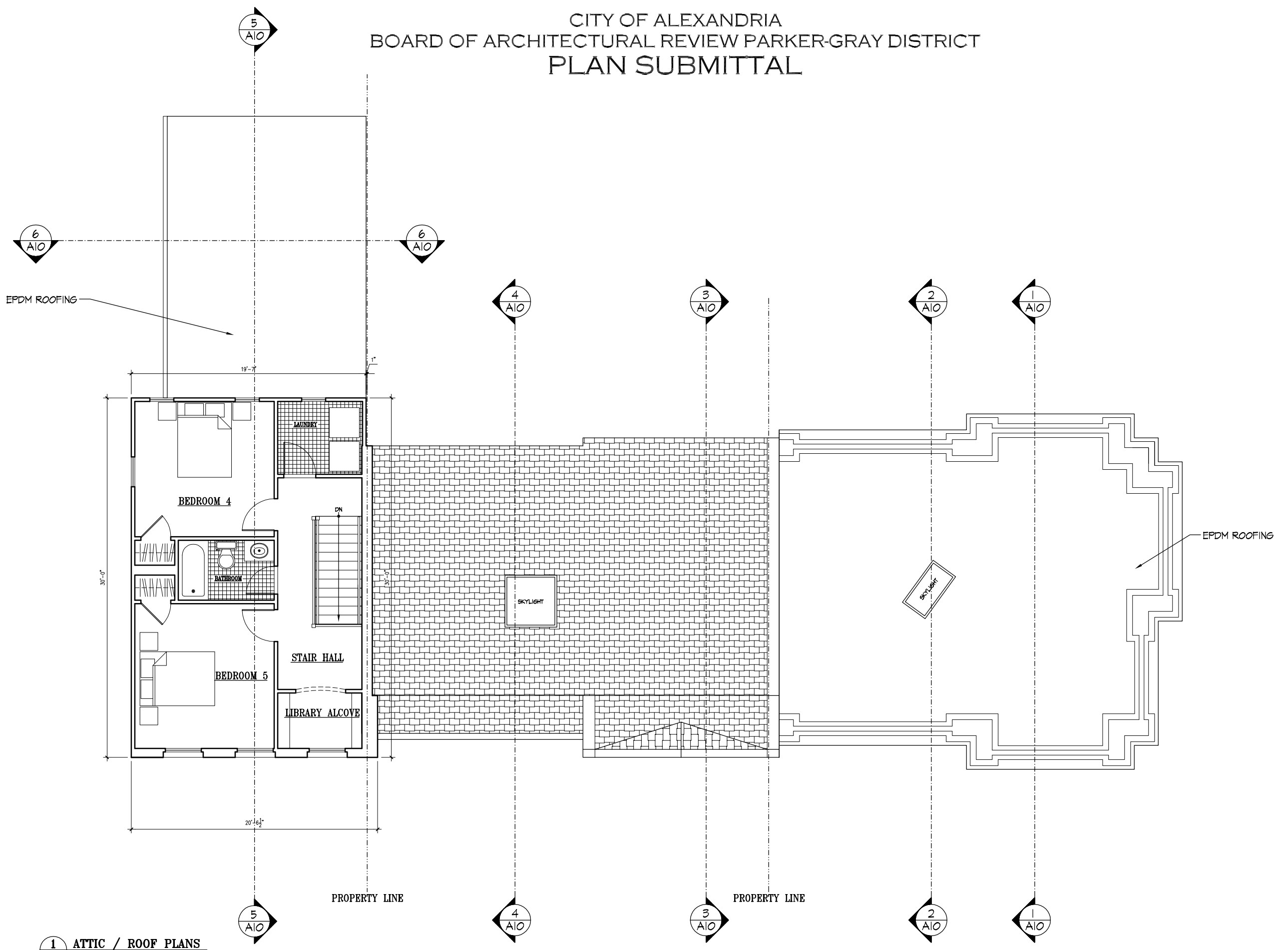
CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT  
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PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314

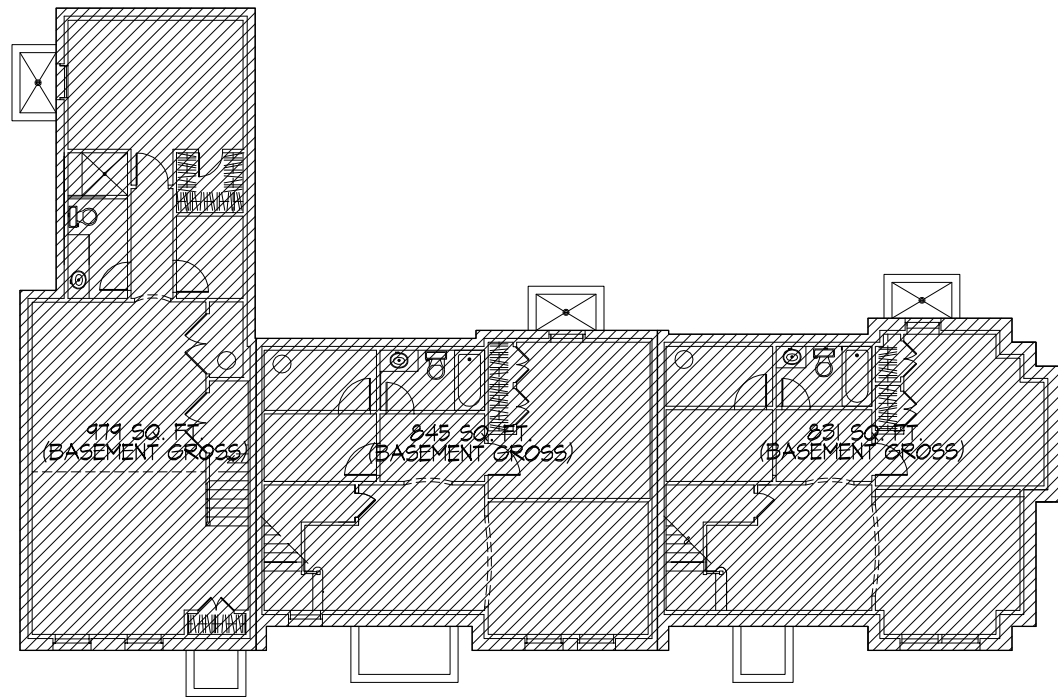
ATTIC / ROOF PLANS

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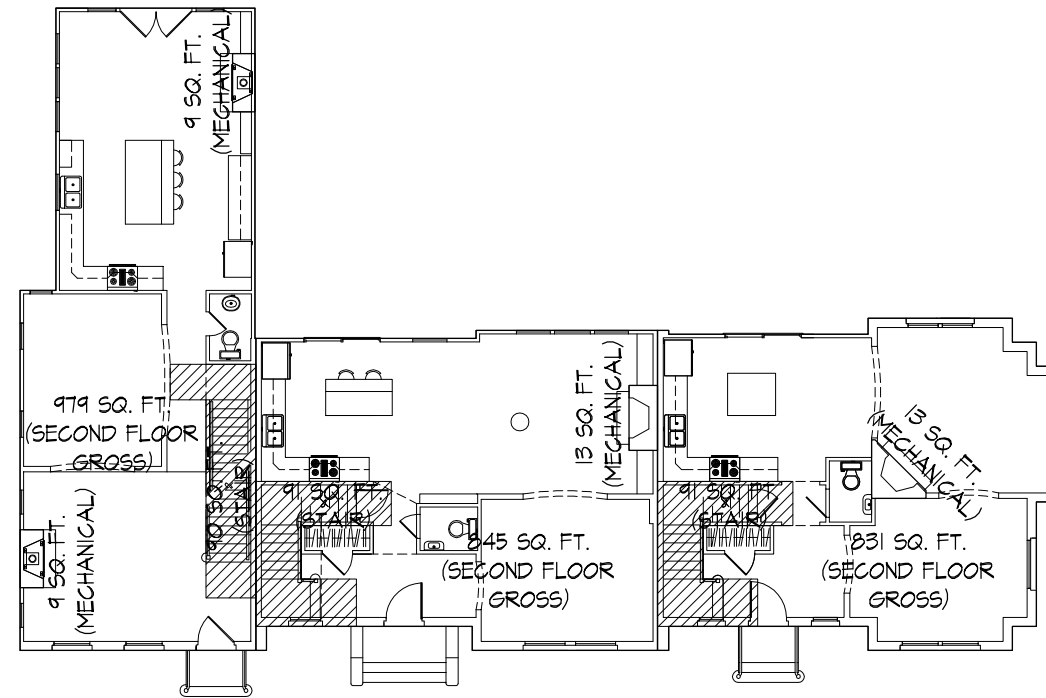


1 ATTIC / ROOF PLANS  
 A8 SCALE: 1/4" = 1'-0"

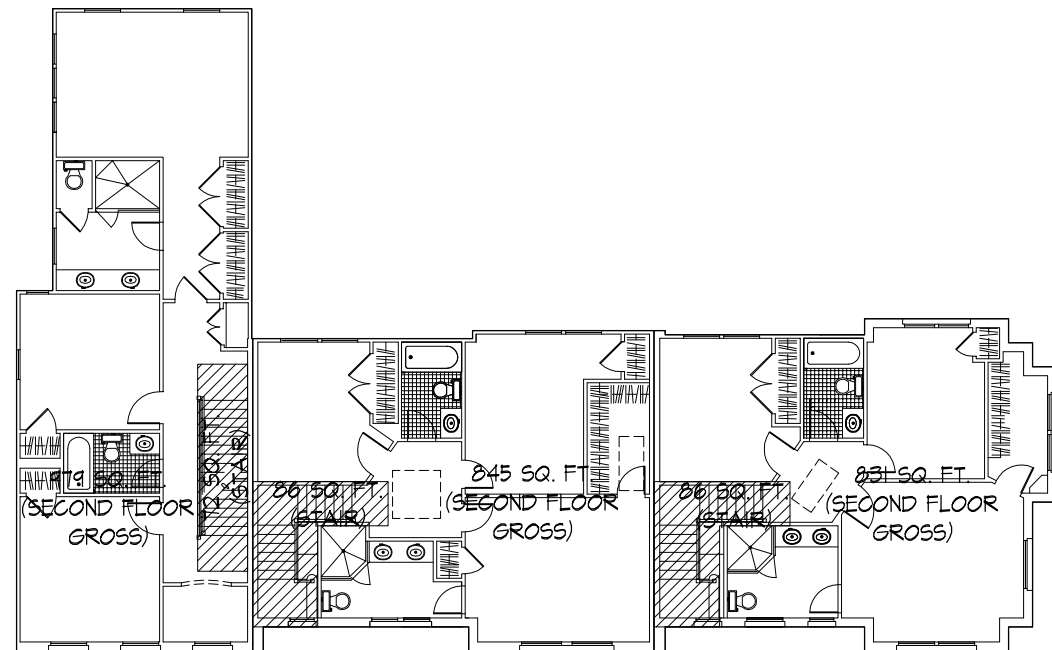
REVISIONS		
PROJECT NUMBER	1225	
DATE	3/20/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GGG	SAK	
SHEET NUMBER		
A8		



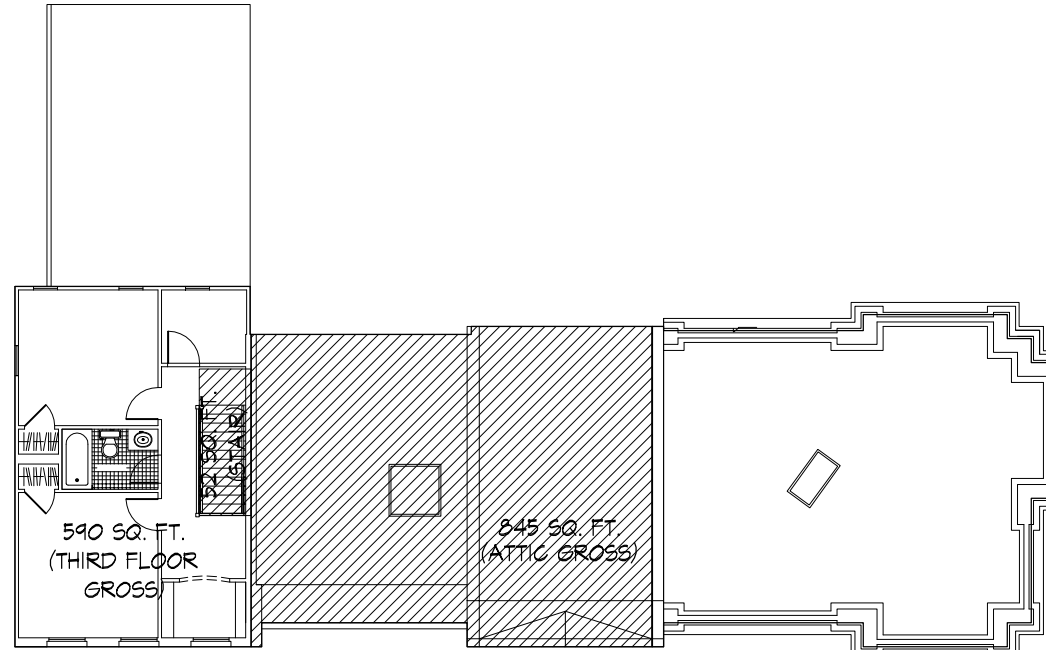
**1 BASEMENT F.A.R. DIAGRAM**  
A9 SCALE: 1/16" = 1'-0"



**2 FIRST FLOOR F.A.R. DIAGRAM**  
A9 SCALE: 1/16" = 1'-0"



**3 SECOND FLOOR F.A.R. DIAGRAM**  
A9 SCALE: 1/16" = 1'-0"



**4 ATTIC FLOOR F.A.R. DIAGRAM**  
A9 SCALE: 1/16" = 1'-0"

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**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314

**F.A.R. DIAGRAMS**

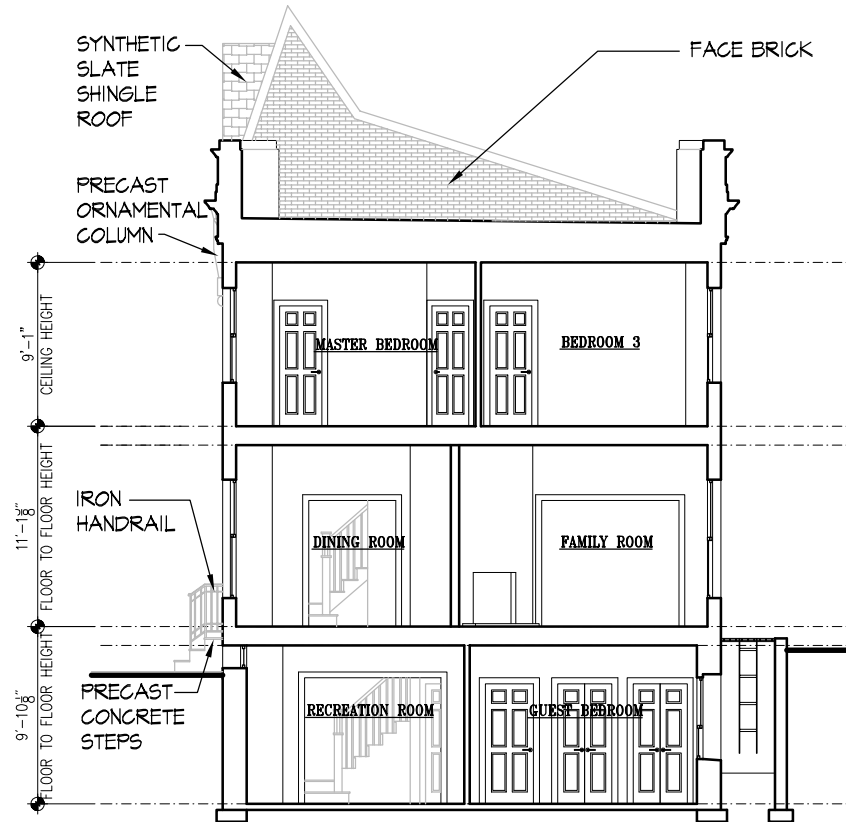
REVISIONS		

PROJECT NUMBER	1225
DATE	3/20/13
SCALE	AS NOTED
DRAWN	EGS
DESIGNED	SNK
APPROVED	

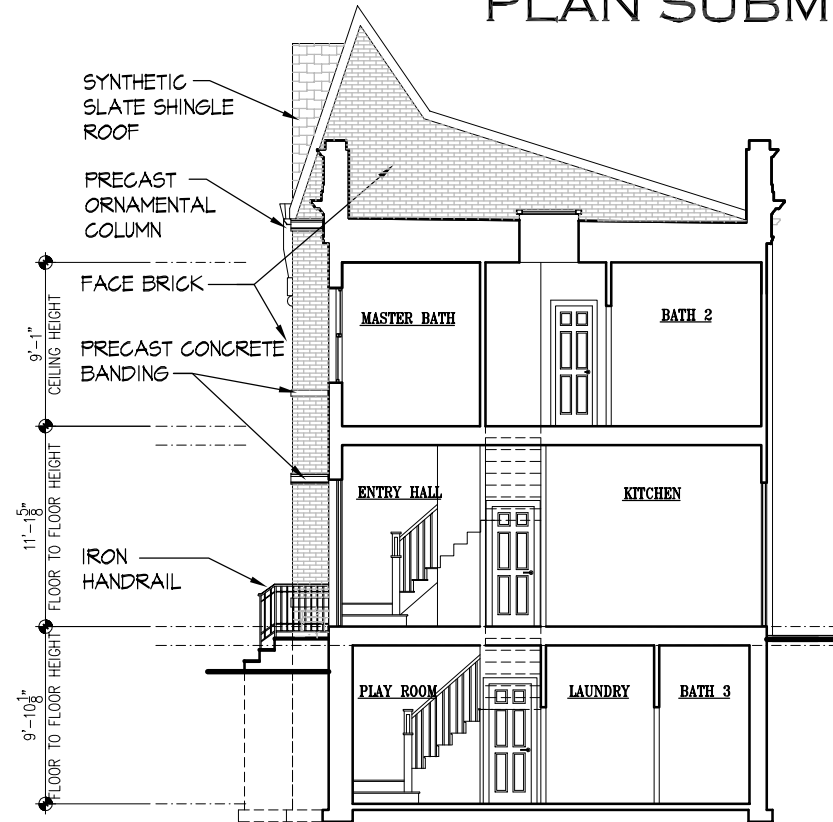
SHEET NUMBER

A9

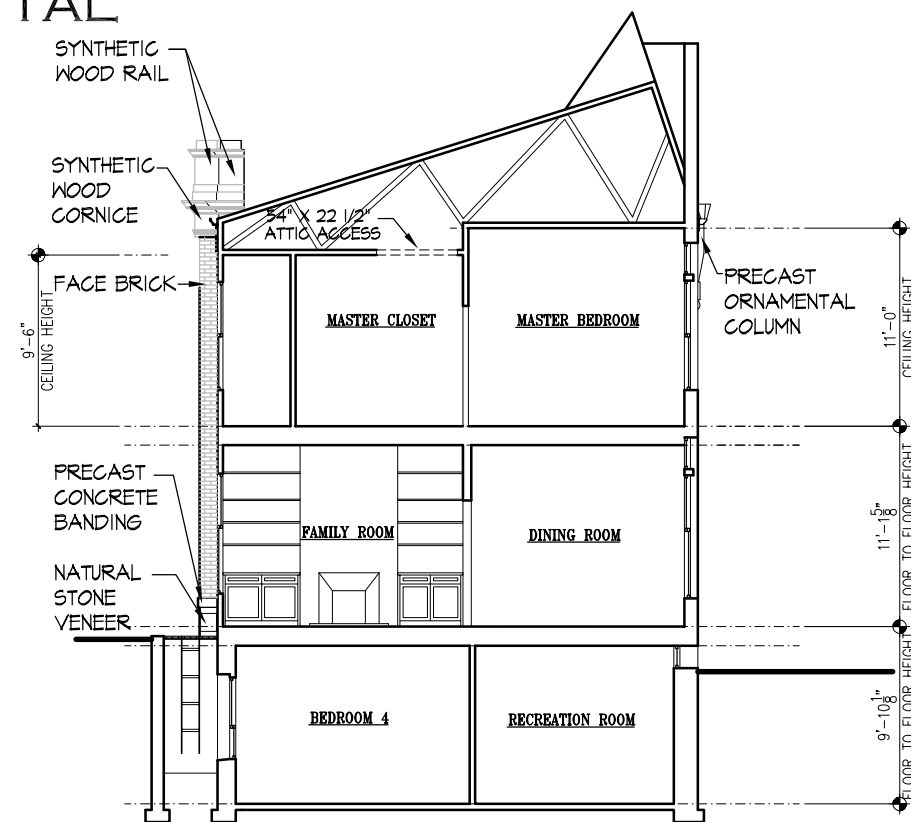
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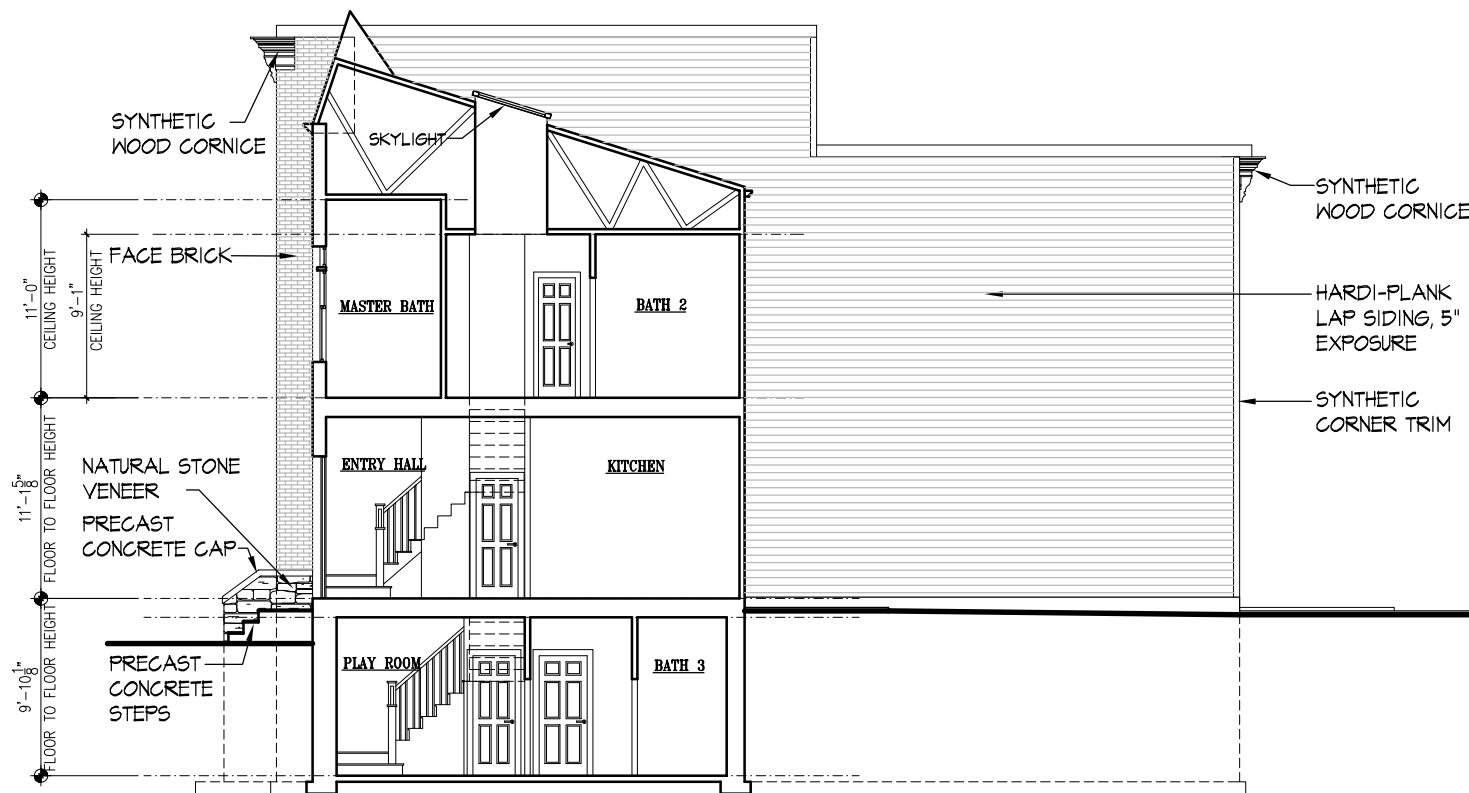
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 A10 SCALE: 3/32" = 1'-0"



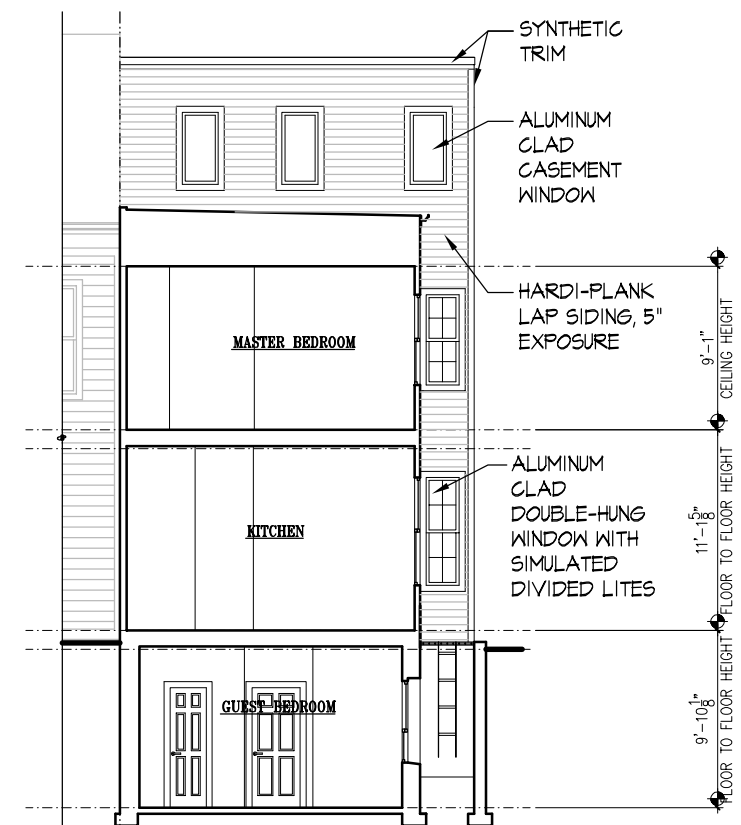
**2 BUILDING SECTION**  
 A10 SCALE: 3/32" = 1'-0"



**3 BUILDING SECTION**  
 A10 SCALE: 3/32" = 1'-0"



**4 BUILDING SECTION**  
 A10 SCALE: 3/32" = 1'-0"



**6 BUILDING SECTION**  
 A10 SCALE: 3/32" = 1'-0"

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**PRINCESS STREET TOWNHOMES**  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314

**BUILDING SECTION**

REVISIONS		

PROJECT NUMBER	1225
DATE	3/20/13
SCALE	AS NOTED
DRAWN	DESIGNED
GGG	SNK
APPROVED	
SHEET NUMBER	
<b>A10</b>	

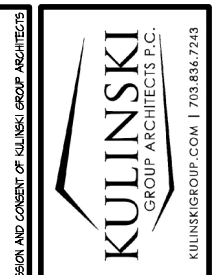
CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT  
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**1 ALFRED STREET ELEVATION STREETScape**  
 A11 SCALE: NTS



**2 PRINCESS STREET ELEVATION STREETScape**  
 A11 SCALE: NTS



PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET  
 ALEXANDRIA, VIRGINIA 22314  
 CONTEXT / STREETSAPES

REVISIONS

PROJECT NUMBER	1225	
DATE	3/20/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GGG	SNK	

SHEET NUMBER  
**A11**

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**1** PERSPECTIVE VIEW  
 A12 SCALE: NTS

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PRINCESS STREET TOWNHOMES  
 NORTH EAST CORNER OF PRINCESS STREET AND NORTH ALFRED STREET ALEXANDRIA, VIRGINIA 22314  
 CONTEXT / STREETSCAPES

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REVISIONS

PROJECT NUMBER	1225	
DATE	3/20/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
GGG	SNK	

SHEET NUMBER  
**A12**

**ADDRESS OF PROJECT:** 813 Princess Street

**TAX MAP AND PARCEL:** 064.02-07-09

**ZONING:** CL/Commercial Low

**APPLICATION FOR:** *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS —
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

**Applicant:**  Property Owner       Business *(Please provide business name & contact person)*

Name: Princess and Alfred, LLC, a Virginia limited liability company

Address: 820 South 18<sup>th</sup> Street

City: Arlington                      State: VA                      Zip: 22202

Phone: (703) 271-1121              E-mail: nathan@ccsdmv.com

**Authorized Agent (if applicable):**  Attorney               Architect               \_\_\_\_\_

Name: STEPHEN W. KULINSKI              Phone: (703) 836-7243

E-mail: steve@kulinskigroup.com

**Legal Property Owner:**

Name: Princess and Alfred, LLC, a Virginia limited liability company

Address: 820 South 18<sup>th</sup> Street

City: Arlington                      State: VA                      Zip: 22202

Phone: (703) 271-1121              E-mail: nathan@ccsdmv.com

- Yes  No Is there an historic preservation easement on this property?
- Yes  No If yes, has the easement holder agreed to the proposed alterations?
- Yes  No Is there a homeowner's association for this property?
- Yes  No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

NEW CONSTRUCTION

EXTERIOR ALTERATION: *Please check all that apply.*

awning

fence, gate or garden wall

HVAC equipment

shutters

doors

windows

siding

shed

lighting

pergola/trellis

painting unpainted masonry

other \_\_\_\_\_

ADDITION

DEMOLITION/ENCAPSULATION

SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages maybe attached).*

THE EXISTING SITE IS BEING USED AS A FULLY PAVED, ASPHALT COVERED PARKING LOT. THE ZONING IS CURRENTLY CL. WE PROPOSE TO DEVELOP THE SITE INTO THREE RESIDENTIAL TOWNHOUSE UNITS THAT FACE ALONG NORTH ALFRED STREET. TWO NEW TOWNHOUSES WILL BE TWO STORIES AND THE THIRD TOWNHOUSE WILL BE THREE STORIES. THE FORM AND MASSING OF THE TOWNHOUSES WILL BE CONSISTENT WITH THE SURROUNDING NEIGHBORHOOD. PARKING WILL BE PROVIDED IN THE REAR OF EACH LOT UTILIZING A PRIVATE ALLEY THAT WILL BE ACCESSED FROM AN EXISTING CURB CUT ALONG PRINCESS STREET.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

N/A

Survey plat showing the extent of the proposed demolition/encapsulation.

Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

Description of the reason for demolition/encapsulation.

Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

N/A

- Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

N/A

- Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- Square feet of existing signs to remain: \_\_\_\_\_
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

N/A

- Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

---

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: \_\_\_\_\_

Printed Name: STEPHEN W. KULINSKI

Date: 3.22.13

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Nathan Hamman	820 South 18 <sup>th</sup> Street Arlington, VA 22202	25%
2. Alon Street	820 South 18 <sup>th</sup> Street Arlington, VA 22202	25%
3. Gary Abrams	820 South 18 <sup>th</sup> Street Arlington, VA 22202	25%

4. Andrew Weiss 820 S. 18<sup>th</sup> St., Arlington, VA 22202 25%

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 333 N Royal Street & 316 Princess Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Nathan Hamman	820 South 18 <sup>th</sup> Street Arlington, VA 22202	25%
2. Alon Street	820 South 18 <sup>th</sup> Street Arlington, VA 22202	25%
3. Gary Abrams	820 South 18 <sup>th</sup> Street Arlington, VA 22202	25%

4. Andrew Weiss 820 S. 18<sup>th</sup> St., Arlington, VA 22202 25%

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Nathan Hamman	None	None
2. Alon Street	None	None
3. Gary Abrams	None	None

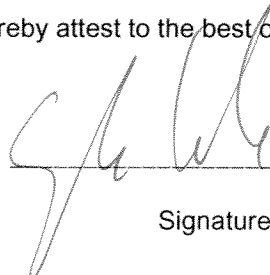
4. Andrew Weiss None None

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3-22-13

STEPHEN W. KULINSKI



Date

Printed Name

Signature