

Special Use Permit #2025-0044
107 North Fairfax Street

Application	General Data	
Public Hearing and consideration of a request for a Special Use Permit for Floor Area Ratio up to 2.5 to allow for the proposed addition to an existing nonresidential building	Planning Commission Hearing:	October 9, 2025
	City Council Hearing:	October 18, 2025
Address: 107 North Fairfax Street	Zone:	CD/Commercial Downtown
Applicant: KAPS LLC	Small Area Plan:	Old Town Small Area Plan

Staff Recommendation: APPROVAL

Staff Reviewers: Catie McDonald, catherine.mcdonald@alexandriava.gov
Sam Shelby, sam.shelby@alexandriava.gov

PLANNING COMMISSION ACTION, OCTOBER 9, 2025: On a motion by Vice Chair Koenig, seconded by Commissioner Manor, the Planning Commission voted unanimously to approve Special Use Permit #2025-00044. The motion carried on a vote of 7-0 on the Consent Calendar.



I. DISCUSSION

The applicant, KAPS LLC, requests Special Use Permit approval for a floor area ratio (FAR) up to 2.5 for expansion of the auxiliary dwelling on the upper floors of an existing building located at 107 North Fairfax Street.

SITE DESCRIPTION

The subject property contains one lot of record with 28.2 feet of frontage along North Fairfax Street. Its lot size is 2,028 square feet. A mixed-use building occupies the subject property with restaurant/retail on the first floor and auxiliary dwellings on the upper floors. In total, the building contains approximately 3,542 square feet of net floor area. A mix of commercial and residential uses surround the property. Additionally, the subject property is within the Old and Historic Alexandria District. As such, any addition to the property would require approval from the Board of Architectural Review.



Figure 1 – Subject property

BACKGROUND

The subject property was originally constructed in the late eighteenth century as a single-unit dwelling. Sometime between 1841 and 1885, the building's primary use changed to become a bakery. Between 1885 and 1946, the building's use changed multiple times, including office and retail uses. By 1946, the building was being used as an antique shop on the ground floor with two apartments on the upper floors.

In 1967, a building permit was approved to construct a two-story addition, which resulted in the building's current condition. The ground floor of the building has been occupied by the Dolci Gelati Café since 2015, with auxiliary dwellings on the upper floors.

AUXILIARY DWELLINGS

Auxiliary dwellings are defined in Section 2-136.2 of the Zoning Ordinance as “a portion of a commercial building containing up to four dwelling units located on a ground floor or floors above or below retail or commercial uses.” The CD zone categorizes auxiliary dwellings as nonresidential for the purpose of applying the zone's bulk and open space requirements. Given this, the building and proposal would be subject to the CD zone's nonresidential FAR requirements and would be exempt from providing open space or setbacks.

PROPOSAL

The applicant proposes to combine the existing auxiliary dwelling units on the upper floors into a single auxiliary dwelling unit and to construct an addition to the upper floors. There would be no change in the building's footprint. The applicant proposes renovations and additions to the upper floor. The work would include a fourth-floor front and rear dormer expansion with a rooftop deck and pergola connected to a third-floor rear balcony via metal stairs. The proposed addition would be 894 square feet, bringing the building to a total of 5,070 square feet of floor area (2.5 FAR). At the project's conclusion, one auxiliary dwelling unit would be provided and the first floor of the building would remain commercial. The applicant requests SUP approval to allow for a nonresidential floor area (FAR) of 2.5 for the proposed expansion. See proposed elevations in Figures 2 and 3, below.



Figure 2 – Proposed front (west) and rear (east) elevations

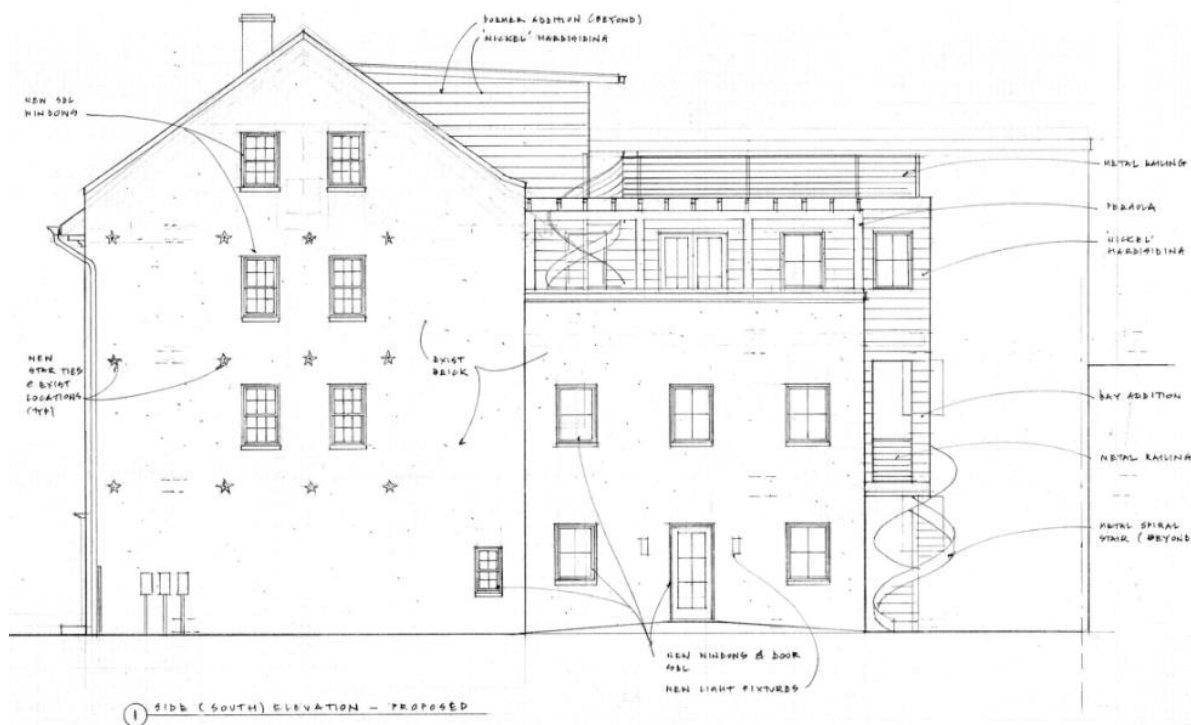


Figure 3 – Proposed side (south) elevation

PARKING

The subject property is located in the Enhanced Transit Area as well as the Central Business District. Per Section 8-300(B), within the central business district the “provisions of section 8-200(A) shall not apply to restaurants and outdoor dining.” As such, there is no parking requirement for the ground floor restaurant use. In addition, auxiliary dwellings in the CD zone do not have a minimum parking requirement within the Enhanced Transit Area. Therefore, the subject property does not have a minimum parking requirement.

ZONING/MASTER PLAN DESIGNATION

The subject property is zoned CD/Commercial Downtown. The CD zone allows a maximum 1.5 FAR for nonresidential uses and allows up to 2.5 FAR with SUP approval.

The existing building provides 3,542 square feet of non-residential floor area, which, based on its lot size, results in a floor area ratio (FAR) of 1.75. When the building was last expanded in 1967, the subject property was zoned C-3/Commercial. The C-3 zone allowed a maximum FAR of 3.0. Along with the City’s 1992 comprehensive Zoning Ordinance re-write, the subject property was rezoned to CD/Commercial Downtown. The CD zone permits a maximum FAR of 1.5 for non-residential uses. The existing building became noncomplying with regard to FAR with the 1992 rezoning.

With the proposed renovations, the building would provide 5,070 square feet of non-residential floor area or a non-residential FAR of 2.5. Because the FAR would exceed what would be permitted by-right, the proposed non-residential floor area requires SUP approval.

The proposal is not subject to yard or open space requirements because the CD zone exempts nonresidential uses from these requirements.

The Old Town Small Area Plan (SAP) and the King Street Retail Strategy envision active ground floor uses at the subject property and encourage full utilization of upper floors with uses that support an active and vibrant area. Both envision residential uses on upper floors of buildings within the SAP.

II. STAFF ANALYSIS

Staff recommends approval of the SUP request to allow up to 2.5 non-residential FAR to expand the existing building's upper floors. The applicant's proposal would be consistent with the King Street Retail Strategy which encourages redevelopments that "facilitate the addition of upper floor uses, such as retail, residential and office, that are appropriate to enhancing and energizing King Street." As such, the retention of the existing ground floor restaurant use and the expansion of the upper floors' auxiliary dwelling would maintain the site's consistency with the SAP and the King Street Retail Strategy.

BULK AND COMPATIBILITY

Staff recommends approval of the applicant's request for increased floor area. One of the key considerations for this type of request is whether the proposed FAR and resulting structures would be compatible with its surroundings. Technically, section 11-504 states that Council may consider whether the use "will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the development and use of neighboring property." Staff supports the request because it will not dominate the surrounding uses given it would be consistent in design with neighboring buildings with regard to height, mass, and scale, and would be compatible with the character of the neighborhood.

While City Council may consider the request for general compatibility, the final design appropriateness would be determined by the Board of Architectural Review (BAR). City Council approval of the request would allow an FAR of up to 2.5 for the proposed addition. The BAR would determine the proposal's compatibility with the Old and Historic Alexandria District (OHAD) design guidelines.

The proposed FAR of the subject property would be within the range of those of the surrounding buildings in the CD zone, see Table 1, below. Additionally, the proposed height of 35.5 feet would be under the maximum height permitted for the zone and would be comparable to the surrounding properties.

Table 1: Surrounding Property's FARs

ADDRESS	FAR	Floor Area
107 N. Fairfax St.	2.5	5,070 Sq. Ft.
109 N. Fairfax St.	2.71	3,996 Sq. Ft.
113 N. Fairfax St.	3.11	3,324 Sq. Ft.
115 N. Fairfax St.	1.25	3,935 Sq. Ft.
117 N. Fairfax St.	1.53	7,028 Sq. Ft.

The subject property is also directly across the street from City Hall which has a floor area of approximately 100,000 square feet.

The proposed increase in FAR will not have any undue adverse effect upon adjacent and surrounding property or the character of the neighborhood as it maintains the vision of the King Street Retail Strategy for active ground floor uses with auxiliary residential dwellings on the upper floors. In terms of neighborhood compatibility, while the proposed rear addition would be somewhat visible from King Street, it would be fairly screened by existing trees and shrubbery. Except for the additional proposed dormer on the front, a majority of the proposed addition would not be visible from North Fairfax Street.

Overall, the requested increase in FAR would not impact the surrounding neighborhood because the proposed expansion would be within the size range of neighboring buildings and would be in character with this area of Old Town. All changes would continue to facilitate the active mixed uses envisioned by the King Street Retail Strategy.

OTHER CONSIDERATIONS

Staff notified the Old Town Civic Association on September 15, 2025. No comments or questions have been received as of the publication of this report.

Staff recommends approval of the Special Use Permit request.

STAFF: Tony LaColla, AICP, Division Chief, Department of Planning and Zoning
Sam Shelby, Principal Planner, Department of Planning and Zoning
Catherine McDonald, Urban Planner, Department of Planning and Zoning

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

III. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

C-1 Based on the removal of downspouts shown on the architectural drawings, please note that all downspouts should continue to discharge to gutter pans in order to maintain the existing drainage patterns. (T&ES)

Code Administration:

C-1 A building permit is required.

Fire:

No comments or concerns.

Office of Housing:

No comments received.

Health:

No comments received.

Recreation, Parks and Cultural Activities:

No comments received.

Police Department:

No comments received.

Historic Preservation:

No comments received.

Historic Alexandria (Archaeology):

No comments.



APPLICATION

SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

PROPERTY LOCATION: 107 North Fairfax Street

TAX MAP REFERENCE: 075.01 - 02 - 19 **ZONE:** CD

APPLICANT:

Name: KAPS LLC

Address: [REDACTED]

PROPOSED USE: Unchanged - Mixed use with first floor retail and upper floors residential, and request an increase in FAR

- ☒ THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Patrick Camus

Print Name of Applicant or Agent

[REDACTED]

Mailing/Street Address

[REDACTED]

City and State

Zip Code

[Signature]

Signature

[REDACTED]

Telephone #

[REDACTED]

Email address

23 July 25

Date

Fax #

As the property owner of N/A, I hereby
(Property Address)
grant the applicant authorization to apply for the _____ use as
(use)
described in this application.

Date: _____

-
-
-

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Patrick and Kerry Adams		100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 509 North Quaker Lane Alexandria VA 22304 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3. Patrick and Kerry Adams		100%

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Patrick and Kerry Adams	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

23 July 25

Date

Patrick Camus

Printed Name


Signature

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

☒ **Yes.** Provide proof of current City business license

☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION

3. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

We are requesting and increase in FAR from 1.5 to 2.5 to allow for an expansion of the building. The first floor will remain unchanged as retail, and the upper two apartments will remain as residential but will be renovated and expanded. The owners intend to make the upper floor of the building their full time residence.

Currently the building does not comply with the FAR, so the proposed increase will bring the property into compliance and allow for the expansion. The existing building is smaller than the surrounding properties and the proposed increase is relatively small compared to the density of its neighbors.

There are no significant changes to the front elevation, other than proposed new dormers on the 4th floor, and the Small Area Plan ' Active Streetscape' will be maintained. The majority of the expansion will occur at the rear of the property with an expansion of the Third Floor and moving the existing roof deck from the Third Floor to the Fourth floor as to not lose usable outdoor space. This will be obliquely visible from King Street behind the Ramsay House garden. With the proposed rear staircase from the Second floor to the rear yard, the existing outdoor space becomes better connected to the building. The addition is set back from the South elevation to maintain the historical story line of the property.

USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):

- ☐ a new use requiring a special use permit,
☐ an expansion or change to an existing use without a special use permit,
☐ an expansion or change to an existing use with a special use permit,
☒ other. Please describe: Request an increase in FAR from 1.5 to 2.5

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?
Specify time period (i.e., day, hour, or shift).

Unchanged

B. How many employees, staff and other personnel do you expect?
Specify time period (i.e., day, hour, or shift).

Unchanged

6. Please describe the proposed hours and days of operation of the proposed use:

Day:
Unchanged

Hours:
Unchanged

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

AC condenser to serve the expanded residential area, of typical noise levels

B. How will the noise be controlled?

Placed on roof and screened behind the roof addition

- 8.** Describe any potential odors emanating from the proposed use and plans to control them:

N/A

- 9.** Please provide information regarding trash and litter generated by the use.

- A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

Unchanged

- B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

Unchanged

- C. How often will trash be collected?

Unchanged, Twice a week

- D. How will you prevent littering on the property, streets and nearby properties?

Unchanged and will comply with City ordinances

- 10.** Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☐ Yes.

☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

- 11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

- 12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?
N/A

ALCOHOL SALES

- 13.** A. Will the proposed use include the sale of beer, wine, or mixed drinks?

☒ Yes ☐ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

N/A

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

0 _____ Standard spaces
0 _____ Compact spaces
0 _____ Handicapped accessible spaces.
0 _____ Other.

Planning and Zoning Staff Only Required number of spaces for use per Zoning Ordinance Section 8-200A _____ Does the application meet the requirement? ☐ Yes ☐ No

- B. Where is required parking located? (*check one*)

☐ on-site
☐ off-site

If the required parking will be located off-site, where will it be located?

No off Street Parking required for this use _____

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

☐ **Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? N/A

Planning and Zoning Staff Only Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____ Does the application meet the requirement? ☐ Yes ☐ No
--

B. Where are off-street loading facilities located? N/A

C. During what hours of the day do you expect loading/unloading operations to occur?

N/A

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

N/A

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

N/A

SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? ☒ Yes ☐ No

Do you propose to construct an addition to the building? ☒ Yes ☐ No

How large will the addition be? 701 square feet.

18. What will the total area occupied by the proposed use be?

3542 sq. ft. (existing) + 894 sq. ft. (addition if any) = 4436 sq. ft. (total)

19. The proposed use is located in: (*check one*)

☒ a stand alone building

☐ a house located in a residential zone

☐ a warehouse

☐ a shopping center. Please provide name of the center: _____

☐ an office building. Please provide name of the building: _____

☐ other. Please describe: _____

End of Application



Department of Planning & Zoning Special Use Permit Application Checklist

Supplemental application for the following uses:

- ☐ Automobile Oriented
- ☐ Parking Reduction
- ☐ Signs
- ☒ Substandard Lot
- ☐ Lot modifications requested with SUP use

Interior Floor Plan

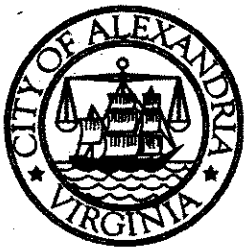
- ☒ Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

If Applicable

- ☒ Plan for outdoor uses

Contextual site image

- ☐ Show subject site, on-site parking area, surrounding buildings, cross streets



2025 City of Alexandria Business License

Finance Department, Revenue Administration Division, City of Alexandria
301 King Street, Room 1700, Alexandria, VA 22314
Phone: 703.746.4800 <http://www.alexandriava.gov/>

License Number: 119044-2025
Account Number: 119044
Tax Period: 2025
Business Name: STUDIO CAMUS LLC
Trade Name: STUDIO CAMUS, LLC
Business Location: [REDACTED]

STUDIO CAMUS LLC
[REDACTED]

License Classification(s):

Professional Occupations/Businesses
9-071-004
Architect

March 31, 2025

Dear Taxpayer:

This is your 2025 City of Alexandria Business License. The bottom portion of this page is perforated to allow you to tear off and post the business license in your establishment.

If you paid for your business license via check, please be aware that if your check is not honored by your financial institution, this business license shall be invalid.

As with all taxes, our goal is to administer Business License taxes fairly and in accordance with Commonwealth and Locality code. Our staff strives to provide professional assistance and quality customer service. Your satisfaction is important to us and your comments are always welcome.

If you have any questions regarding this letter, please visit <http://www.alexandriava.gov/> or contact my office via phone at 703.746.4800.

Finance Department, Revenue Administration Division, City of Alexandria

Keep this letter for your records.

City of Alexandria Business License

Revenue Administration Division, City of Alexandria, 301 King Street, Room 1700, Alexandria, VA 22314

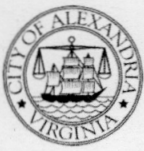


License Number: 119044-2025
Account Number: 119044
Tax Period: 2025
Business Name: STUDIO CAMUS LLC
Trade Name: STUDIO CAMUS, LLC
Business Location: [REDACTED]

This license has been issued by the Revenue Administration Division of the City of Alexandria and is granted to:

STUDIO CAMUS LLC
[REDACTED]

License Classification(s): Professional Occupations/Businesses
9-071-004
Architect



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 107 North Fairfax Street
Street Address

CD

Zone

A2. 2028 x 1.5 / 2.5 with SUP
Total Lot Area Floor Area Ratio Allowed by Zone

= 3042 / 5070
Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement	813
First Floor	1389
Second Floor	1389
Third Floor	813
Attic	813
Porches	
Balcony/Deck	
Lavatory***	
Other**	

Allowable Exclusions**

Basement**	813
Stairways**	225
Mechanical**	25
Attic less than 7'***	460
Porches**	
Balcony/Deck**	
Lavatory***	150
Other**	
Other**	

B1. 5217 Sq. Ft.
Existing Gross Floor Area*

B2. 1673 Sq. Ft.
Allowable Floor Exclusions**

B3. 3542 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross 5217 B2. Total Exclusions 1673

C. Proposed Gross Floor Area

Proposed Gross Area

Basement	
First Floor	
Second Floor	64
Third Floor	549
Attic	281
Porches	
Balcony/Deck	
Lavatory***	
Other	

Allowable Exclusions**

Basement**	
Stairways**	
Mechanical**	
Attic less than 7'***	
Porches**	
Balcony/Deck**	
Lavatory***	
Other**	
Other**	

C1. 894 Sq. Ft.
Proposed Gross Floor Area*

C2. 0 Sq. Ft.
Allowable Floor Exclusions**

C3. 894 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross 894 C2. Total Exclusions 0

D. Total Floor Area

D1. 5070 w/SUP Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 4436 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. 400 Sq. Ft.
Existing Open Space

E2. 0 Sq. Ft.
Required Open Space

E3. 336 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: 24 July 2025

DRAWING INDEX

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A7	Front and Rear Elevations, Proposed
A8	Side Elevation, Proposed
A9	Building Section, Proposed
A10	Axonometric

Project Scope

Third floor addition with two story bay. New Dormers at the front elevation and Dormer addition at the rear



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 107 North Fairfax Street Street Address	CD Zone
A2. 2028 Total Lot Area	3042 / 5070 Maximum Allowable Floor Area
x 1.5 / 2.5 with SUP Floor Area Ratio Allowed by Zone	

B. Existing Gross Floor Area

Existing Gross Area	Allowable Exclusions**		
Basement	Basement**	813	B1. 5217
First Floor	Stairways**	225	Existing Gross Floor Area*
Second Floor	Mechanical**	25	B2. 1673
Third Floor	Attic less than 7**	460	Allowable Floor Exclusions**
Attic	Porches**		B3. 3542
Porches	Balcony/Deck**		Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	Lavatory***	150	Comments for Existing Gross Floor Area
Lavatory***	Other**		
Other**			
B1. Total Gross	B2. Total Exclusions	1673	

C. Proposed Gross Floor Area

Proposed Gross Area	Allowable Exclusions**		
Basement	Basement**		C1. 894
First Floor	Stairways**		Proposed Gross Floor Area*
Second Floor	Mechanical**		C2. 0
Third Floor	Attic less than 7**		Allowable Floor Exclusions**
Attic	Porches**		C3. 894
Porches	Balcony/Deck**		Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	Lavatory***		
Lavatory***	Other**		
Other**			
C1. Total Gross	C2. Total Exclusions	0	

D. Total Floor Area

D1. 5070 w/SUP	Sq. Ft.
Total Floor Area (add B3 and C3)	
D2. 4436	Sq. Ft.
Total Floor Area Allowed by Zone (A2)	

E. Open Space

E1. 400	Sq. Ft.
Existing Open Space	
E2. 0	Sq. Ft.
Required Open Space	
E3. 336	Sq. Ft.
Proposed Open Space	

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

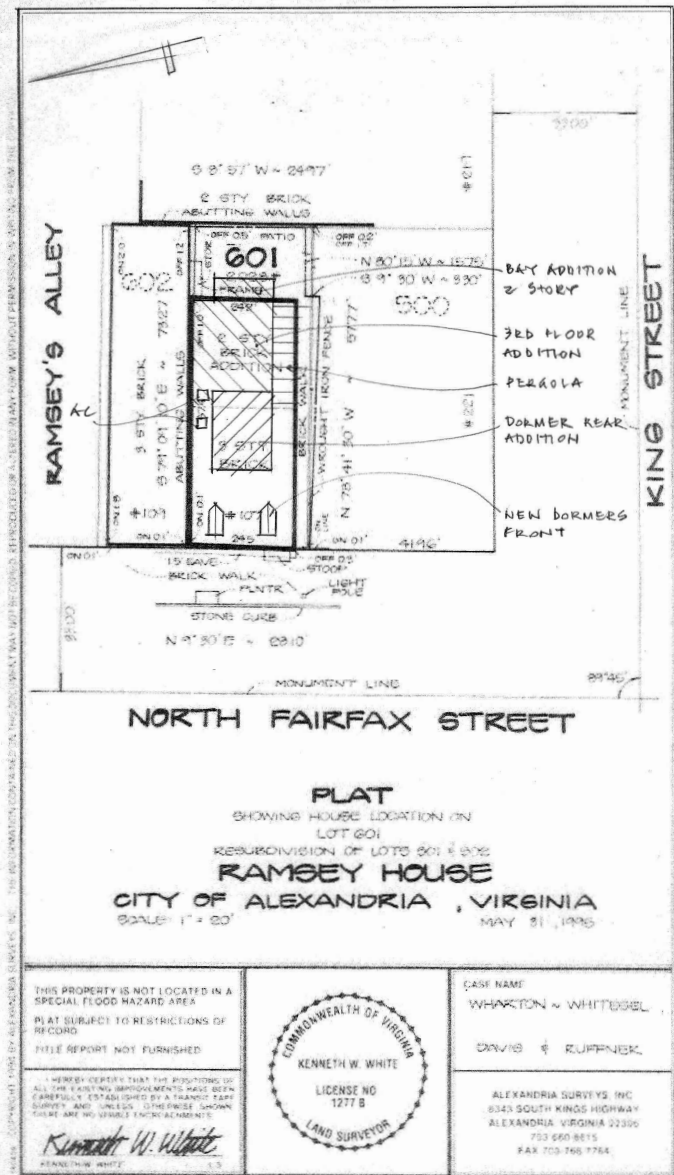
**Refer to the Zoning Ordinance (Section 2-145B) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: *[Signature]*

Date: 24 July 2025



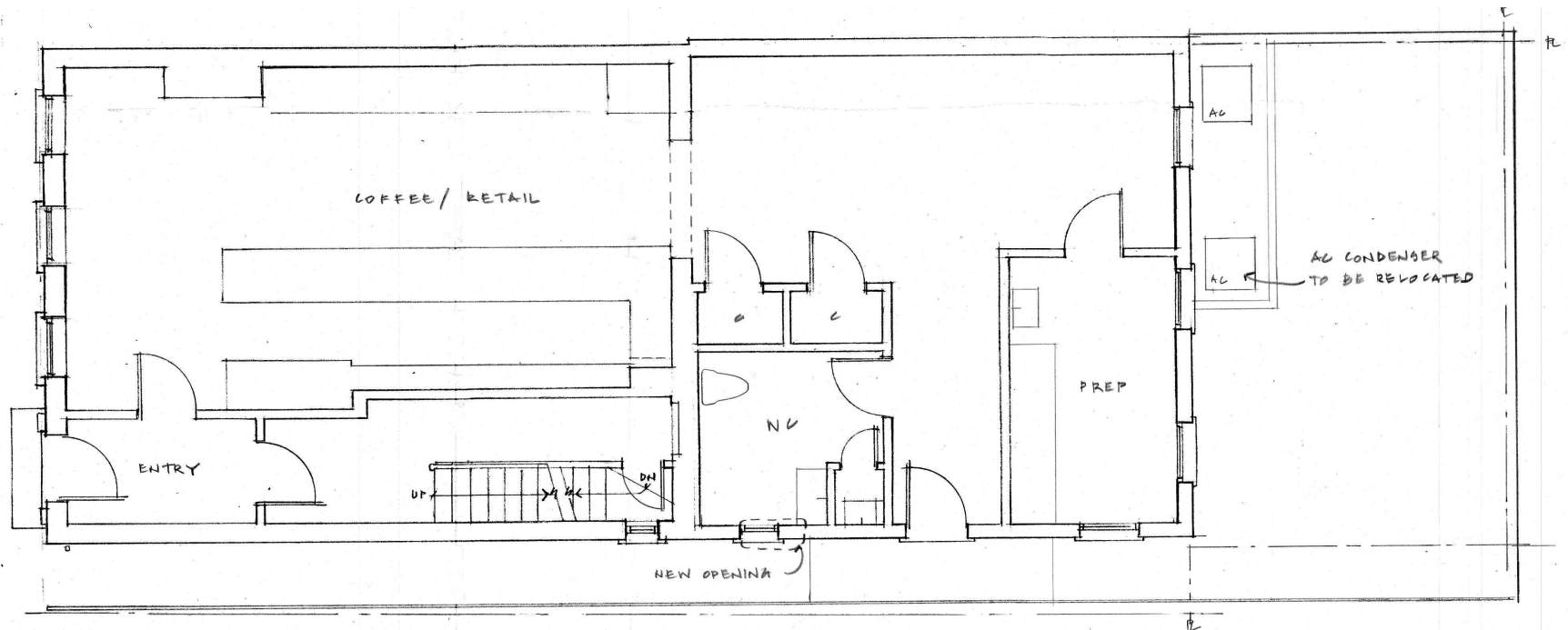
C²

STUDIO CAMUS LLC
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studiocamus@comcast.net
Lynette 703 989 3777 Patrick 703 626 1984

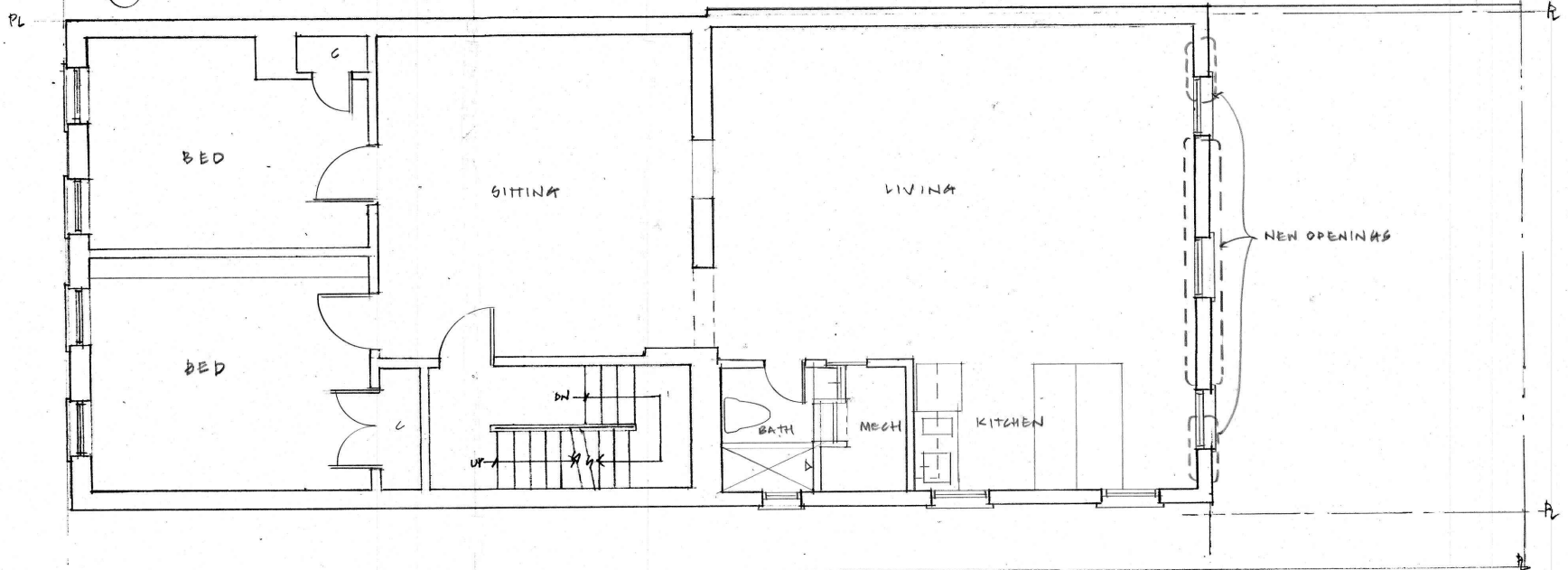
Proposed Modifications to
107 NORTH FAIRFAX STREET
Alexandria Virginia

DATE
24 Jul 25
SCALE
1" = 20' 0"

CS



① FIRST FLOOR PLAN - EXIST & DEMOLITION



② SECOND FLOOR PLAN - EXIST & DEMOLITION

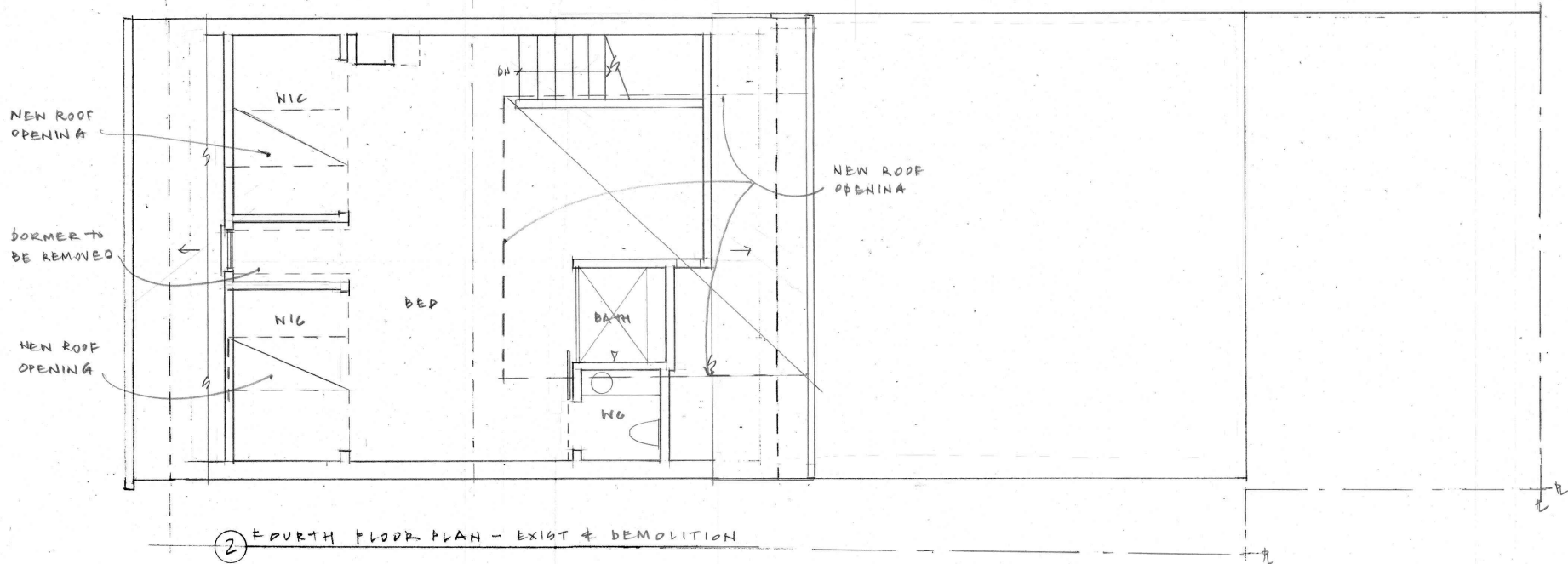
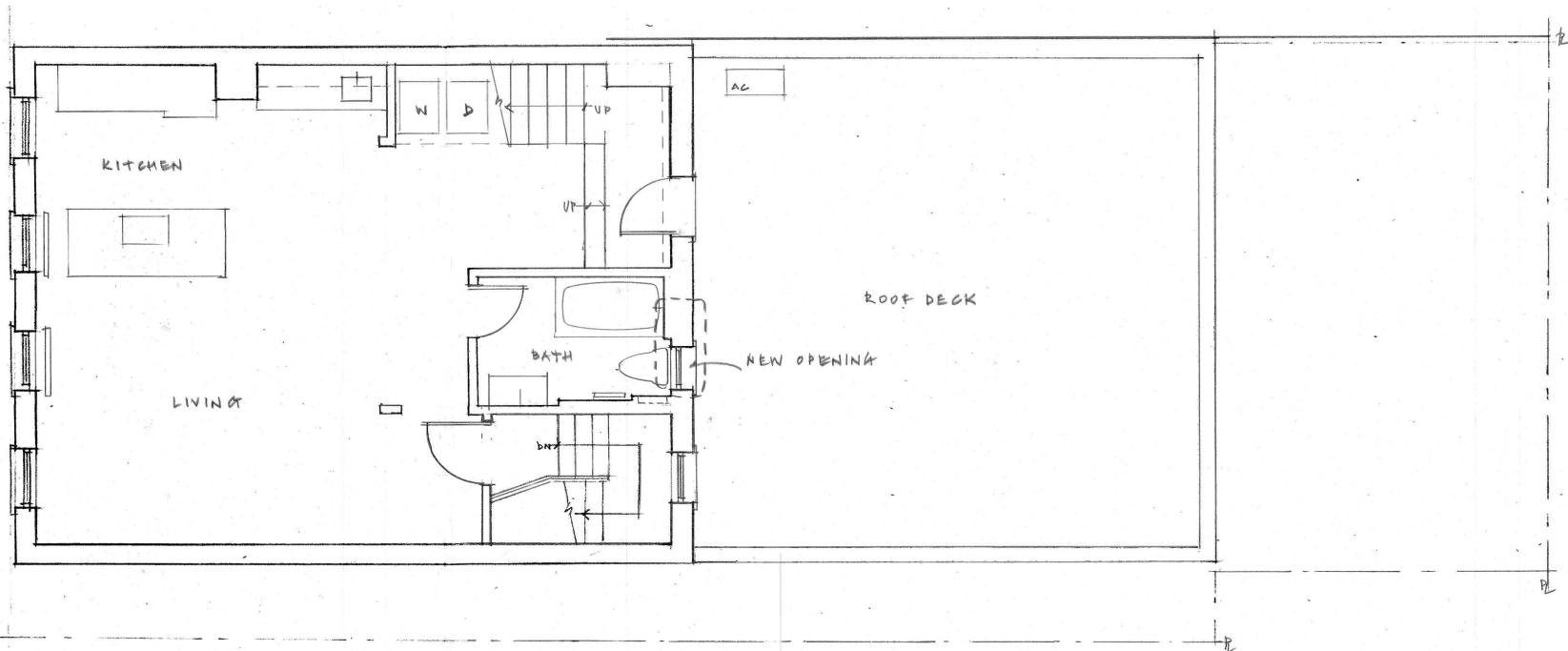


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 studiocamus@camcast.net Patrick 703 626 1984
 Lynnette 703 989 3777

Proposed Modifications to
107 NORTH FAIRFAX ST
 Alexandria Virginia

DATE
 24 JUL 25
 SCALE
 1/4" = 1'-0"

A1

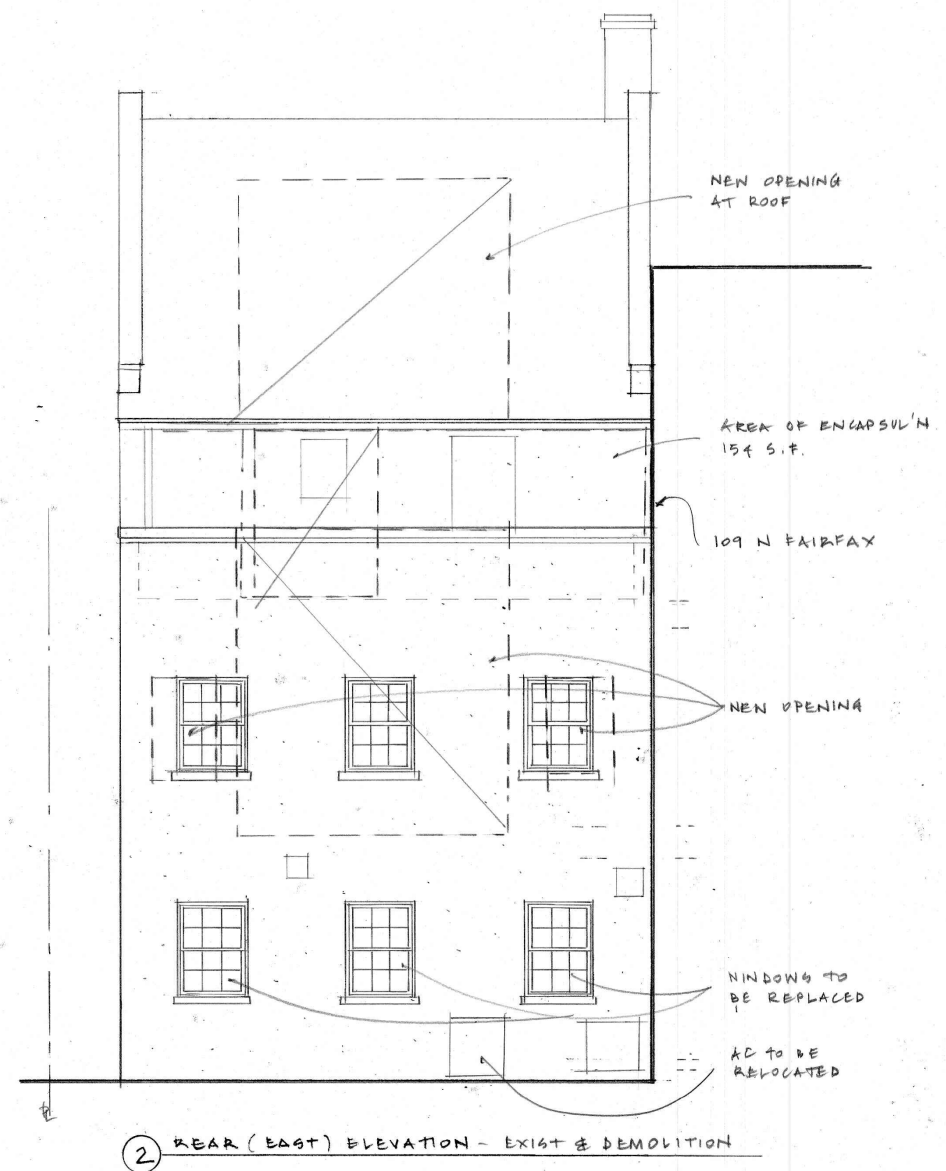


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Proposed Modifications to
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DATE
24 JUL 25
SCALE
1/4" = 1'-0"

A2

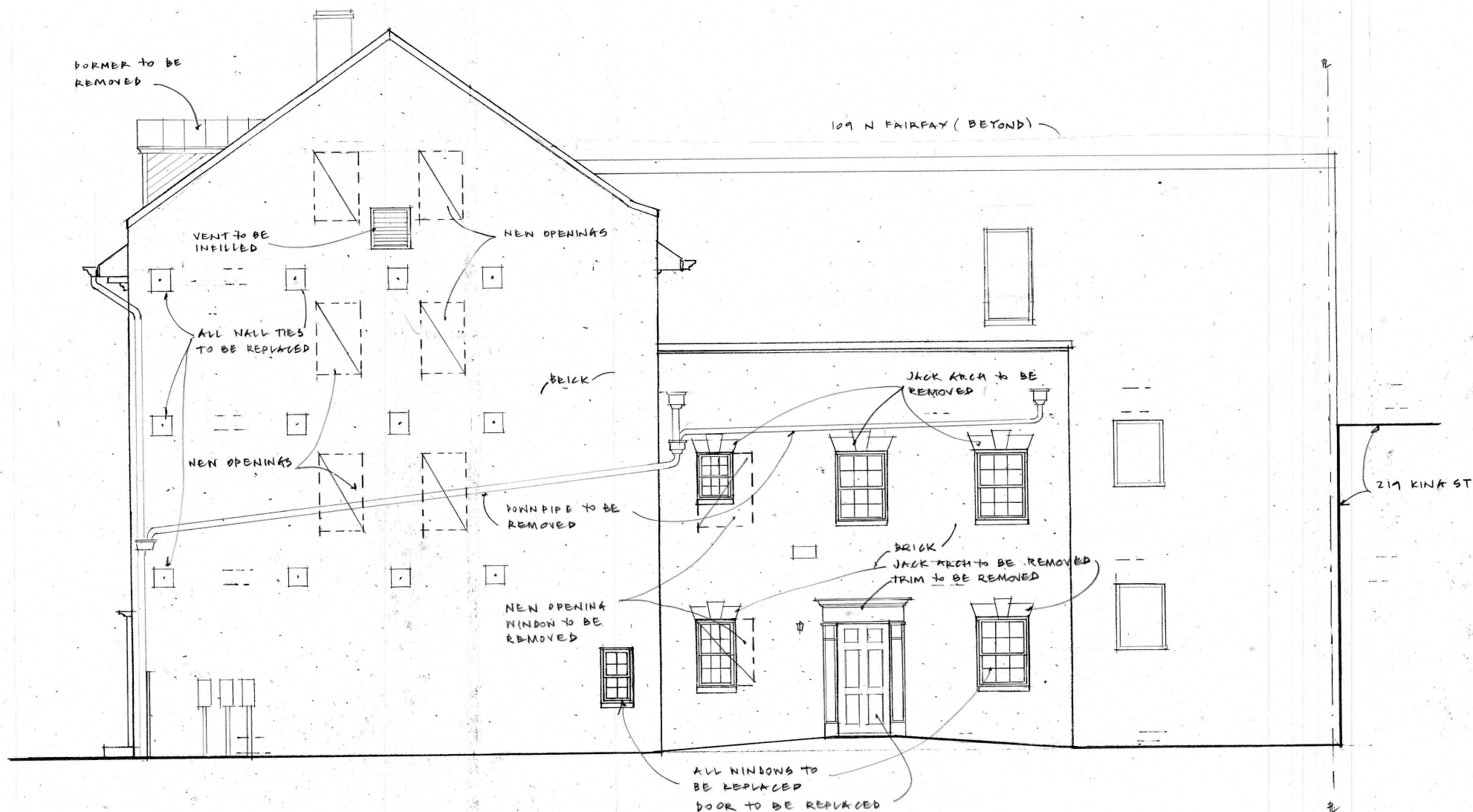


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DATE
24 JUL 25
SCALE
1/4" = 1'-0"

A3



1 SIDE (SOUTH) ELEVATION - EXISTING & DEMOLITION

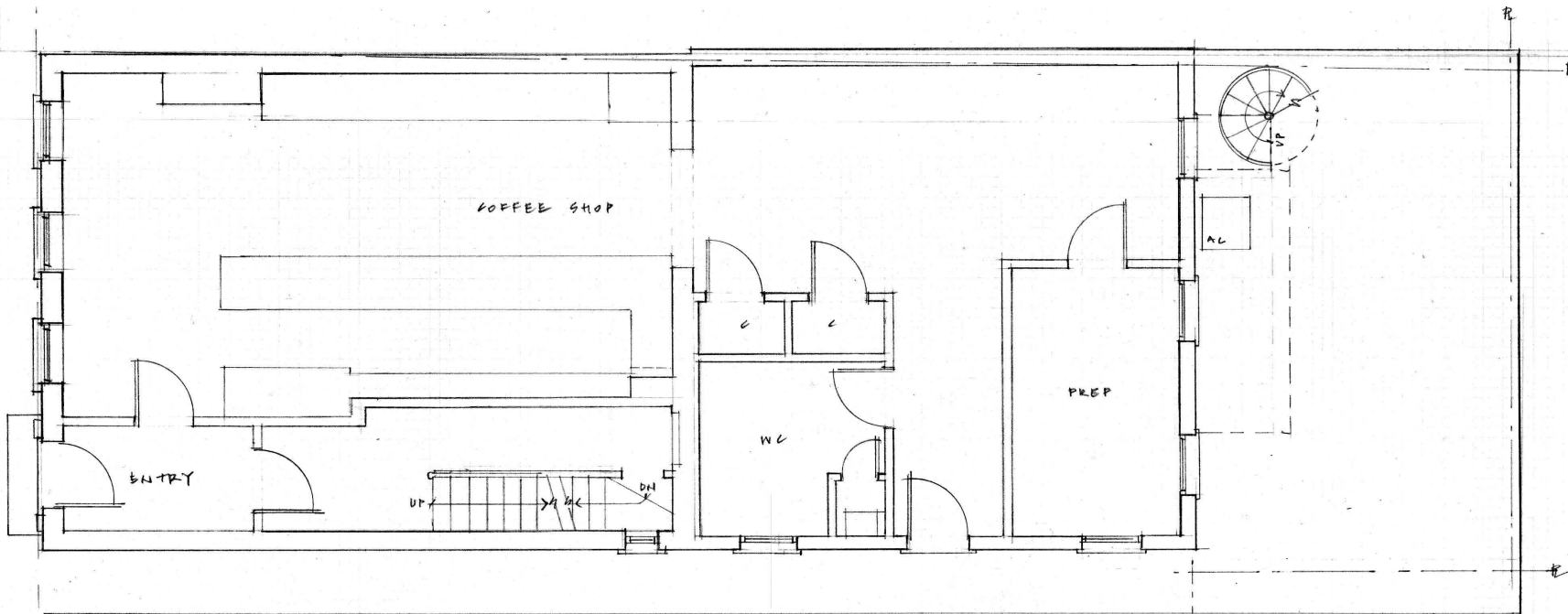


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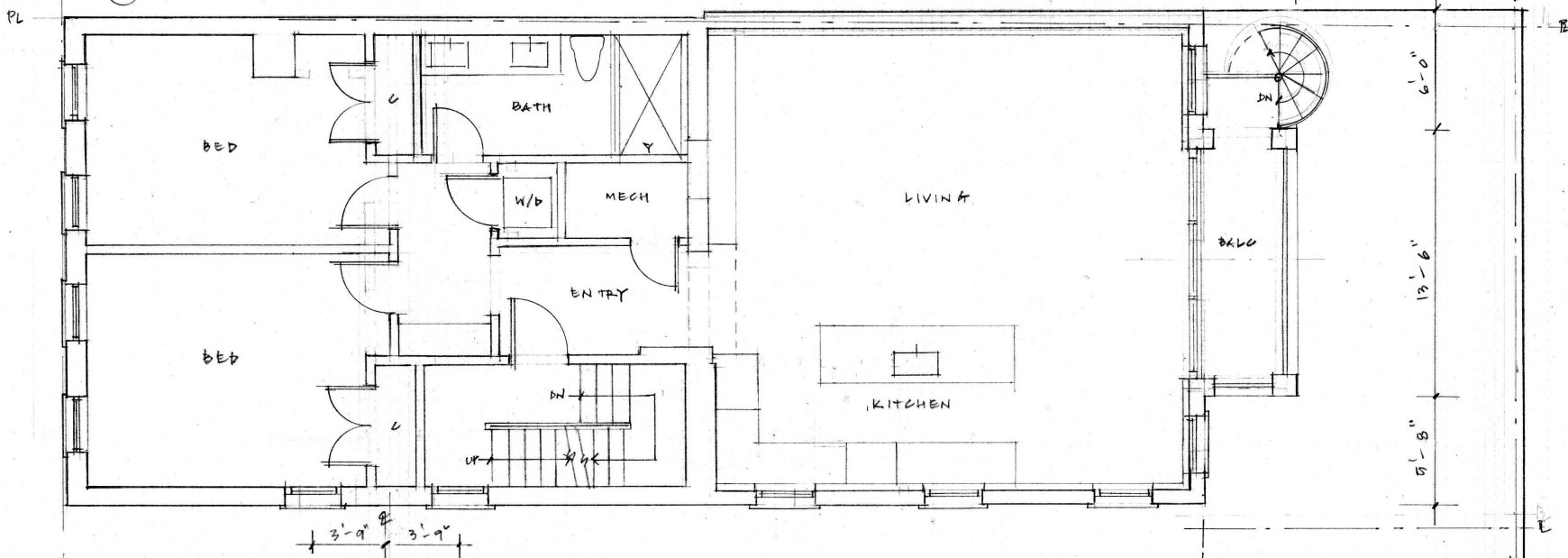
Proposed Modifications to
107 NORTH FAIRFAX ST
Alexandria Virginia

DATE
24 JUL 25
SCALE
1/4" = 1'-0"

A4



① FIRST FLOOR PLAN - PROPOSED



② SECOND FLOOR PLAN - PROPOSED

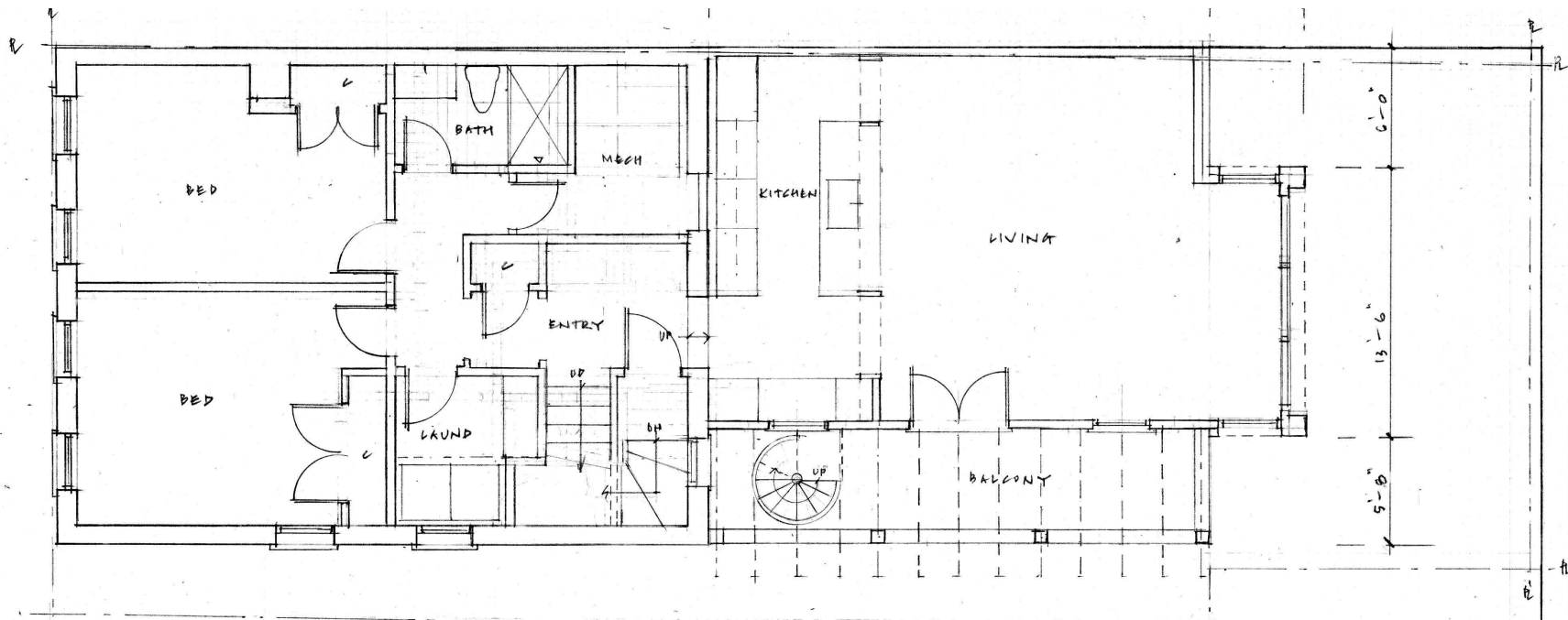


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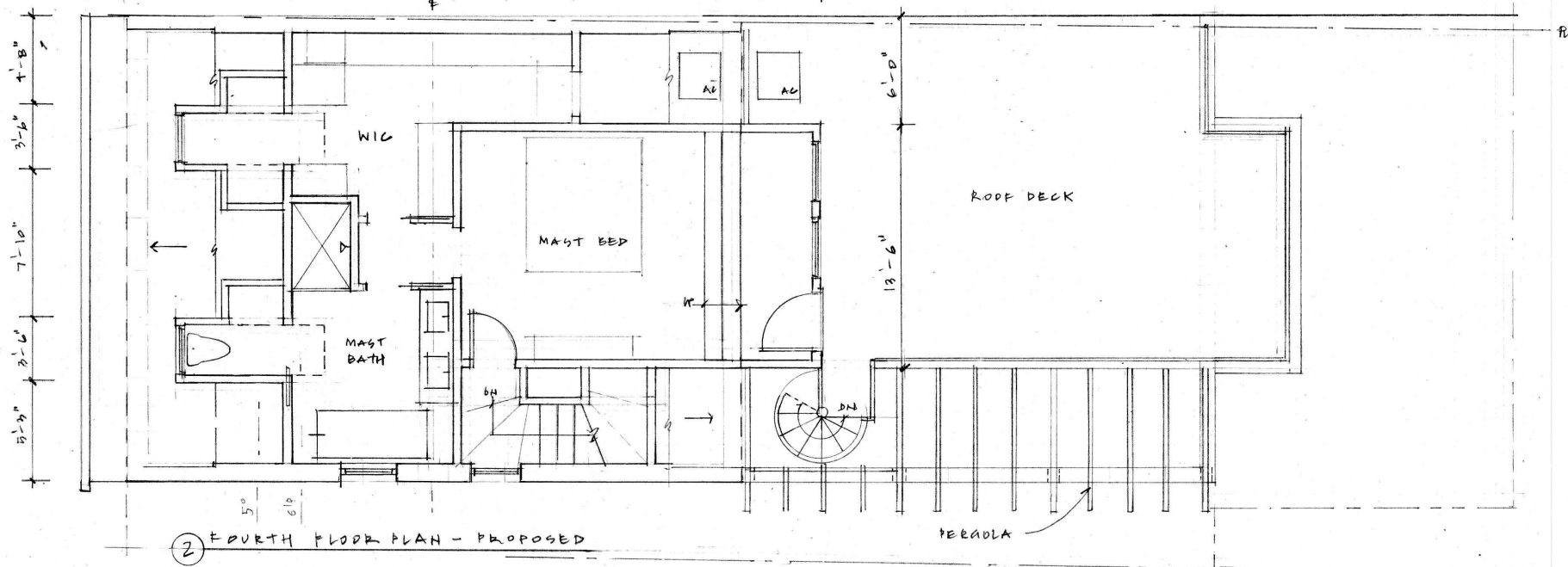
Proposed Modifications to
107 NORTH FAIRFAX ST
Alexandria Virginia

DATE
24 JUL 25
SCALE
1/4" = 1'-0"

A5



1 THIRD FLOOR PLAN - PROPOSED



2 FOURTH FLOOR PLAN - PROPOSED



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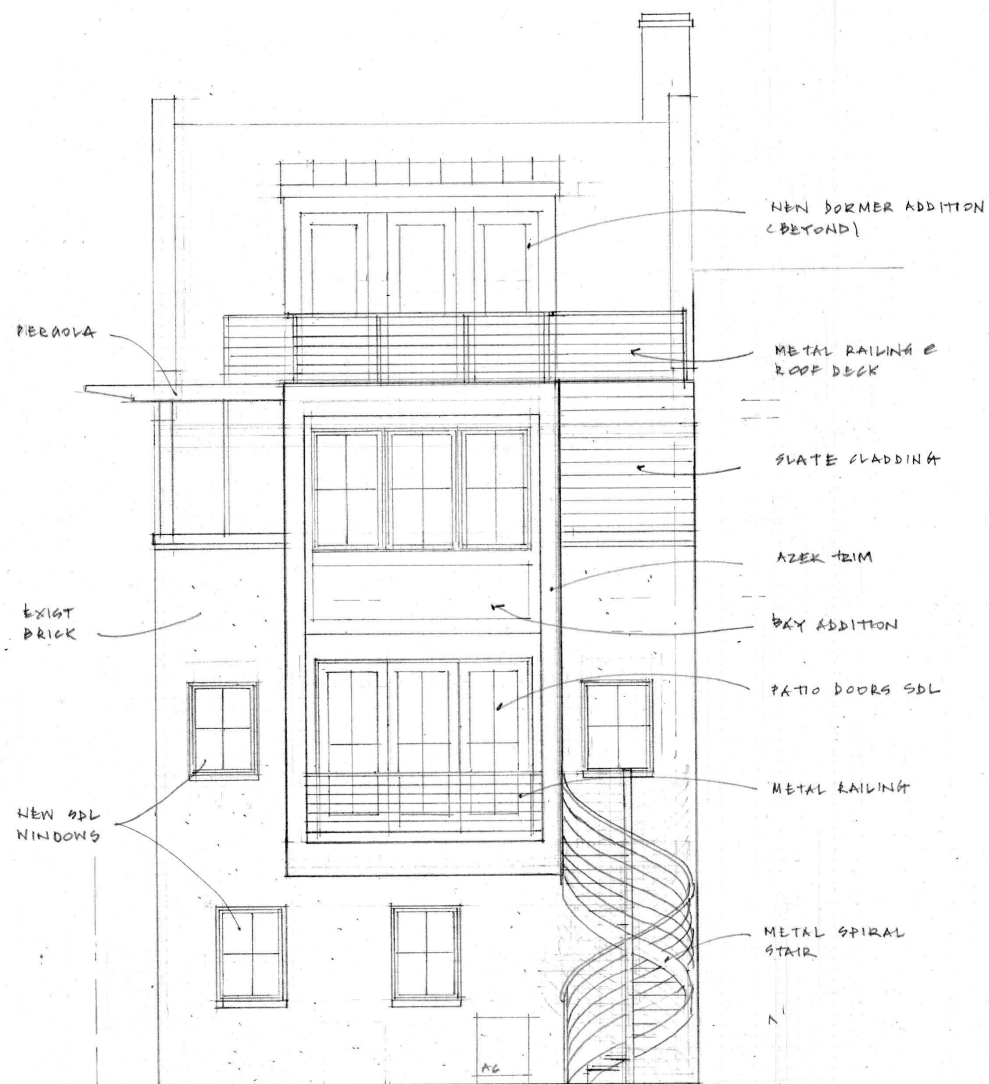
Proposed Modifications to
107 NORTH FAIRFAX ST
 Alexandria, Virginia

DATE
 24 JUL 25
 SCALE
 1/4" = 1'-0"

A6



1 FRONT (WEST) ELEVATION - PROPOSED



2 REAR (EAST) ELEVATION - PROPOSED

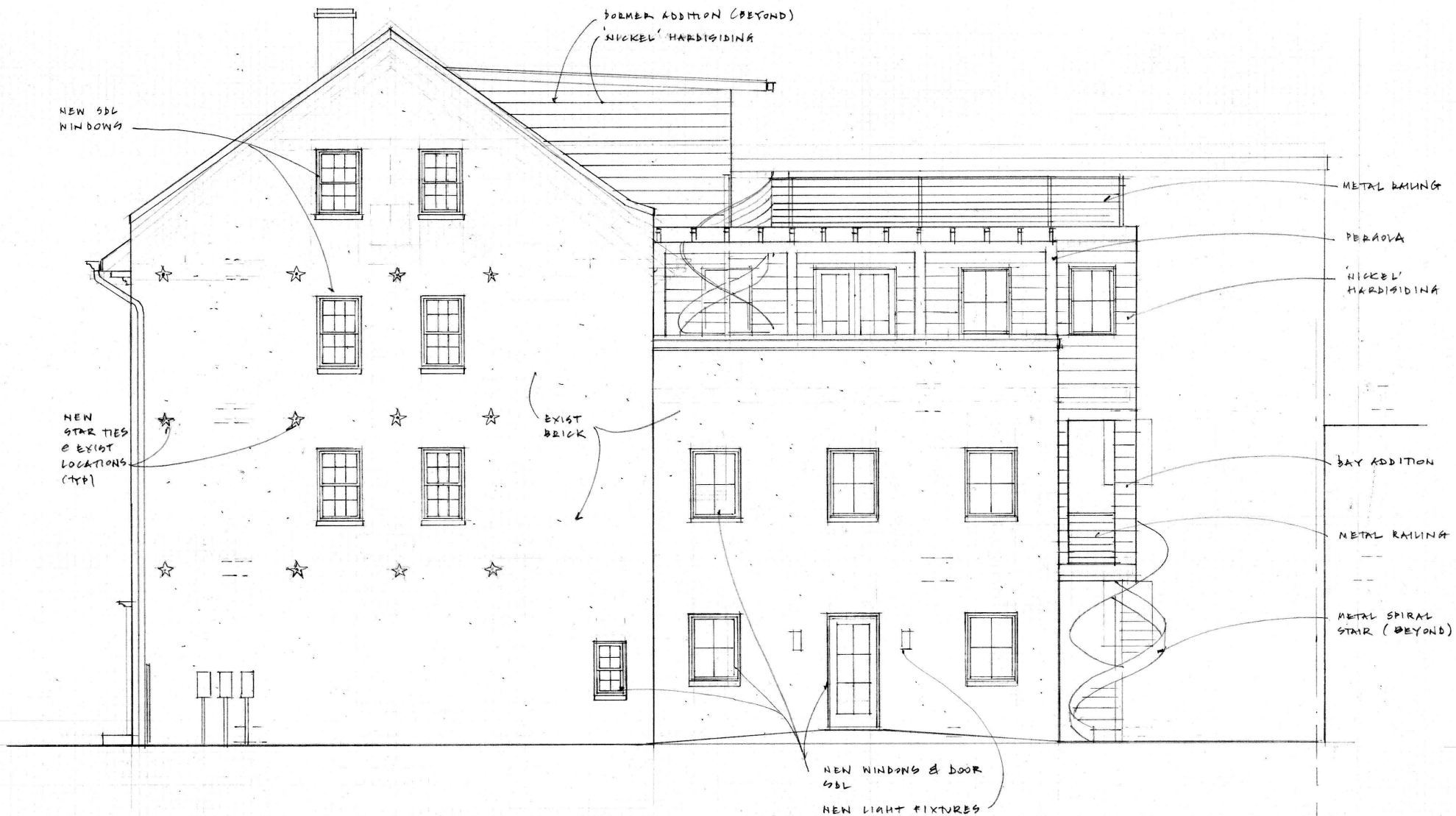
C²

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Proposed Modifications to
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DATE
24 JUL 25
SCALE
1/4"=1'-0"

A7



1 SIDE (SOUTH) ELEVATION - PROPOSED

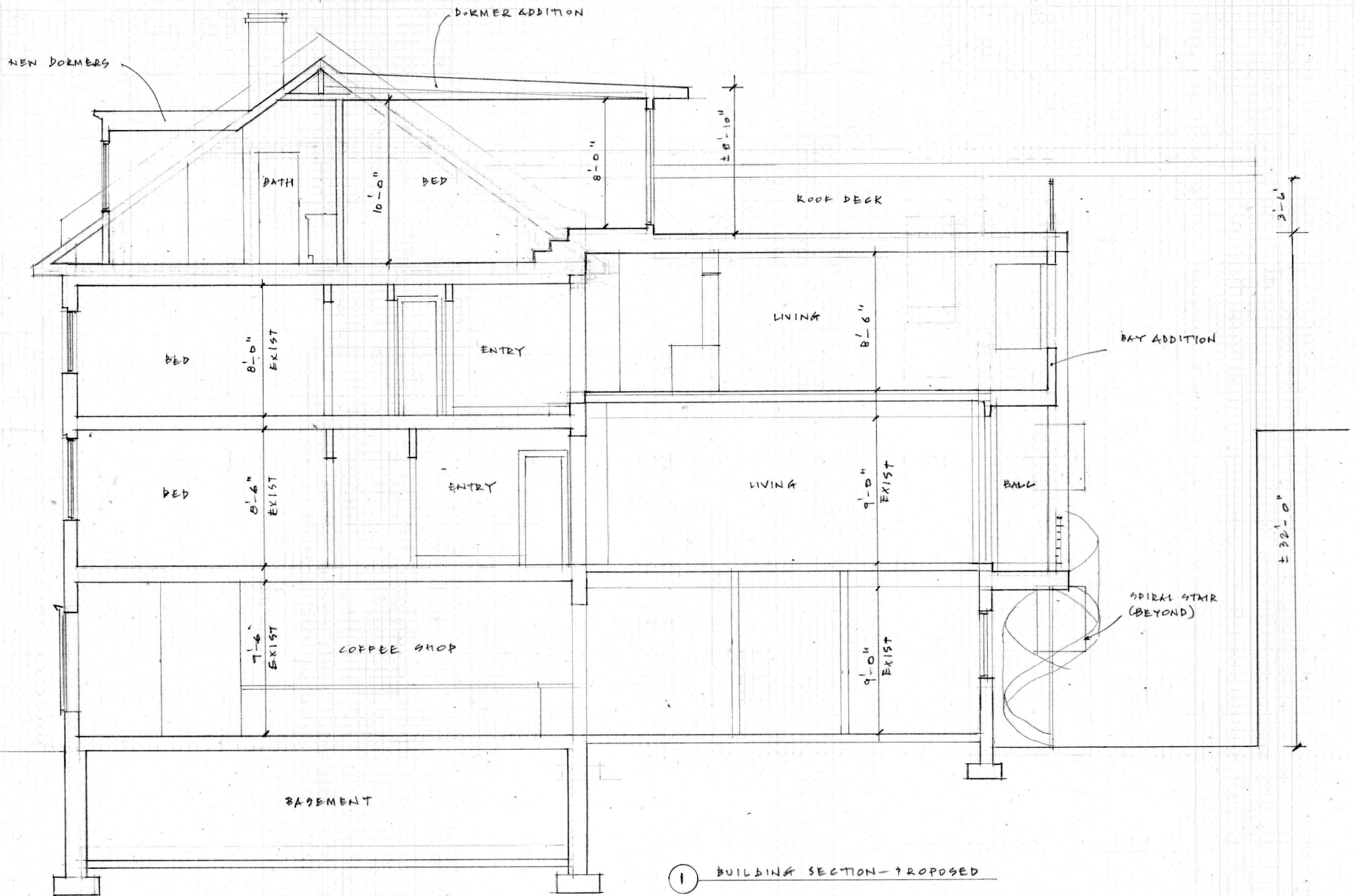


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SCALE
1/4" = 1'-0"

A8



1 BUILDING SECTION - PROPOSED

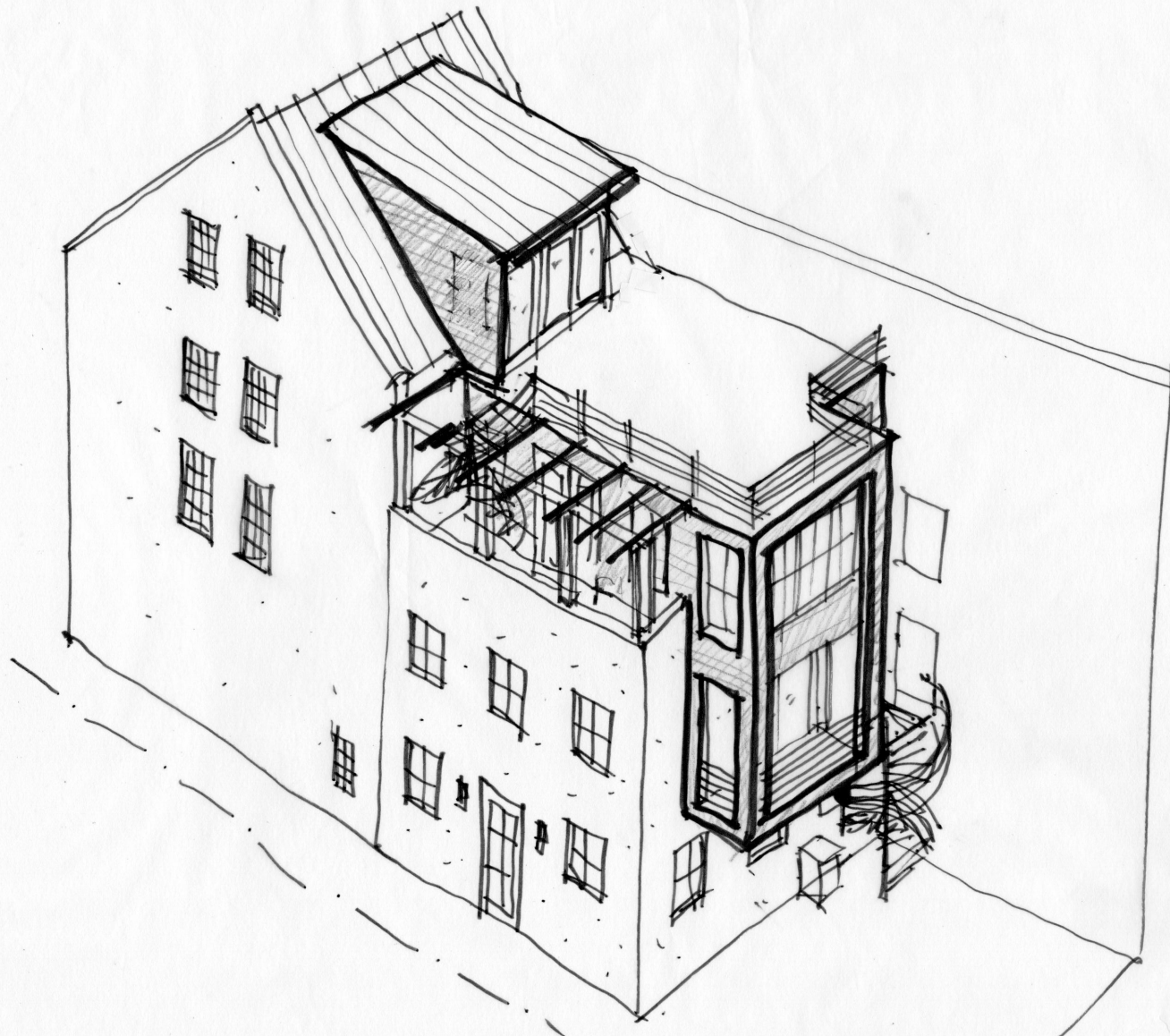


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Proposed Modifications to
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DATE
24 JUL 25
SCALE
1/4" = 1'-0"

A9



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Proposed Modifications to
 107 NORTH FAIRFAX STREET
 Alexandria Virginia

DATE
 29 JULY 25
 SCALE
 N.T.S.

SHEET
 A10