

**ISSUE:** Certificate of Appropriateness for alterations and Permit to Demolish/Capsulate (partial)

**APPLICANT:** Landry's Inc.

**LOCATION:** Old and Historic Alexandria District  
1 Cameron Street

**ZONE:** CD/Commercial Downtown Zone

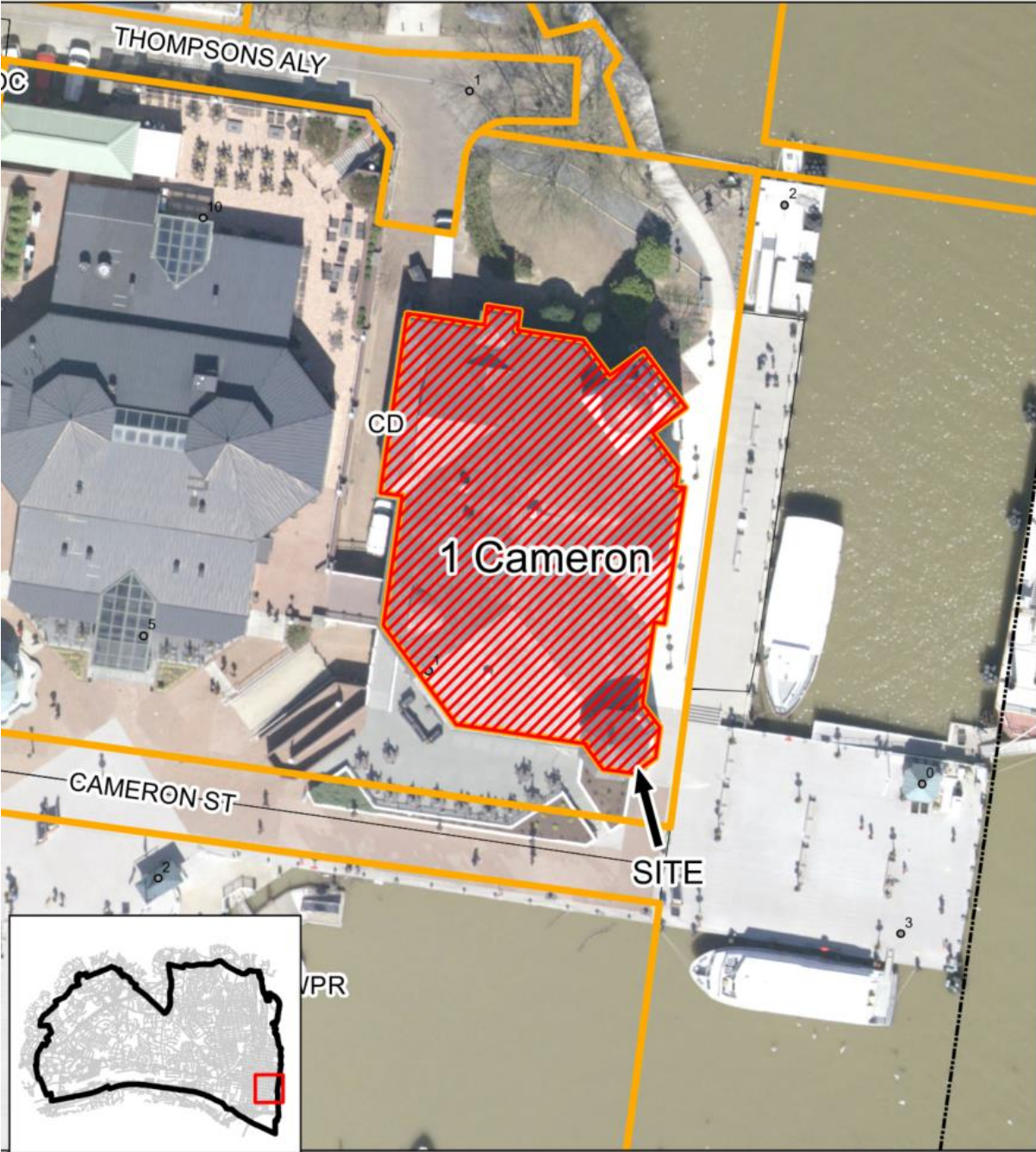
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**STAFF RECOMMENDATION**

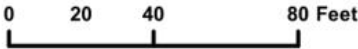
Staff recommends approval of the Permit to Demolish (partial) and Certificate of Appropriateness for the proposed alterations with the condition that the applicant work with staff to clarify the extent of proposed signage.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR#2023-00382 & BAR#2023-00412**  
**1 Cameron Street**



## I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish (partial) and Certificate of Appropriateness to construct a pergola in the location of the existing outdoor dining area.

### Permit to Demolish/Capsulate

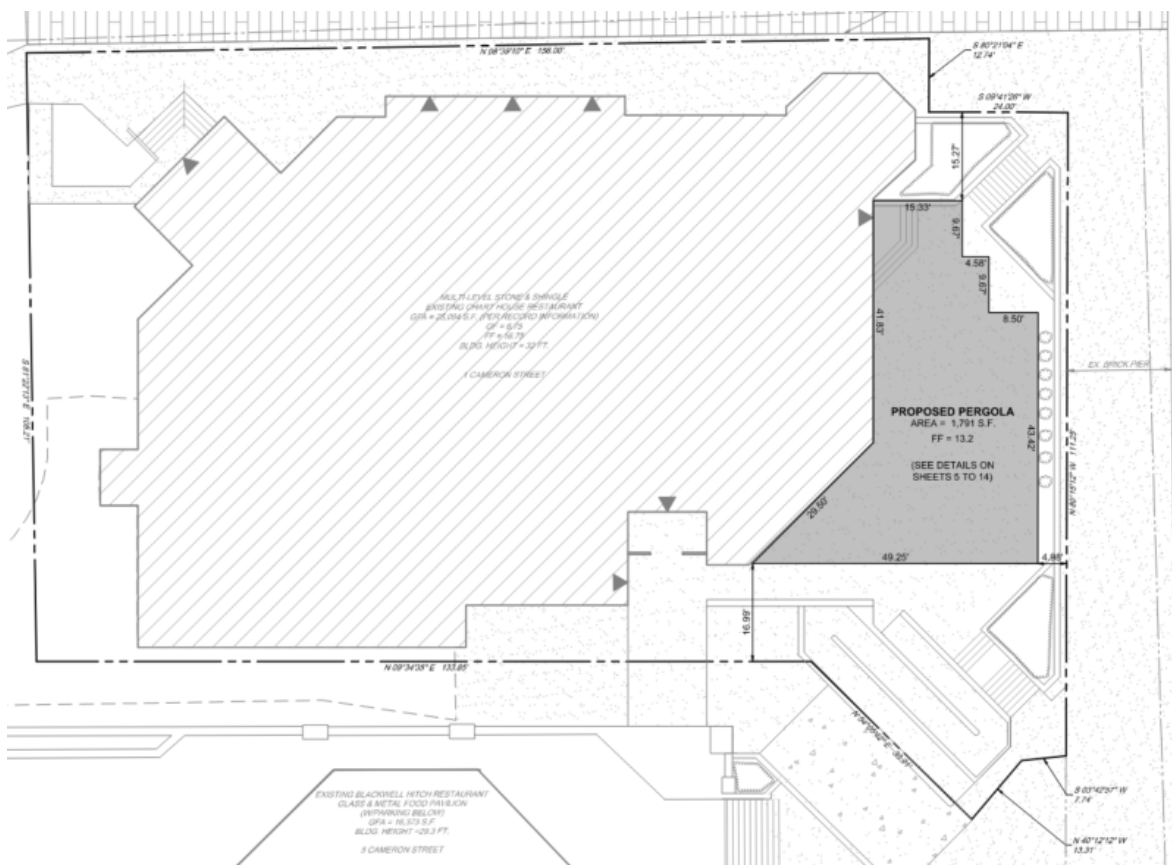
The exterior enclosure of the pergola is operable, so the encapsulation is only for the area of exterior wall to be covered by the attachment of the roof structure to the existing building.

### Certificate of Appropriateness

The applicant proposes to construct a pergola along the south side of the existing Chart House restaurant (Figure 1). The flat portion of the roof will be 11'-9" tall with the top of the sloped portion 2'-4" taller. The exterior walls of the pergola will be operable accordion style glass featuring the restaurant logo, capable of opening vertically. Operable fabric shades will be installed at these exterior walls to control exposure to the sun. The roof will be a retractable fabric that retracts towards the building. The pergola structure will be white painted aluminum.

### Site context

The existing structure is located at the base of Cameron Street, adjacent to the city pier and the Torpedo Factory. This prominent location allows for visibility of all sides of the proposed addition.



## II. HISTORY

The building at 1 Cameron Street is a one-story frame freestanding building in a Shingle Revival style that was originally built as a restaurant as part of the revitalization of the waterfront in **1987**.

The Board originally approved the signage for the Chart House Restaurant in 1990 (BAR Case #90-014, 10/3/90). In 2004, the Board approved replacement signage (BAR Case #2004-0171).

## III. ANALYSIS

### Demolition/Capsulation

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No



The analysis of the standards indicated above relate only to the specific portions of the building proposed for demolition/capsulation, not the overall building. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The building dates from 1987 and is typical of commercial construction built at that time. The proposed encapsulation is minimal and could easily be reversed in the future without the loss of original fabric.

#### Certificate of Appropriateness

The *Design Guidelines* state that “accessory structures should complement, not compete with, the architecture of the main building” and that “Exterior finishes for accessory structures should be selected to complement the main building.” While the proposed pergola will be attached to the main structure, it should be considered an accessory to the main building.

The shape of the proposed pergola is similar to the original building, using an angular plan to create a seating area between the building and the adjacent walkway. The materials that are being proposed are similar to those on the main building. The painted aluminum structure reflects the trim on the shingled building and the pattern of the structural members is compatible with the rhythm of the exterior openings. The pergola is being designed to allow for flexibility in the level of enclosure but even with the roof and walls in the extended position, the light nature of the design does not detract from the design of the original building (Figure 2 & 3).

There is some lack of clarity in the provided drawings regarding the location of the restaurant logo on the structure. In some places it appears on the accordion glass and in others it appears that it is located on the retractable sunshades.



Figure 2: View of proposed pergola from adjacent walkway



Figure 3: View of proposed pergola from adjacent walkway

With the uncertainty regarding the extent and size of the proposed restaurant logo on the proposed structure, it is difficult for staff to make a determination regarding compliance with zoning restrictions on the allowable area of signage.

Staff finds that the design for the proposed pergola is consistent with the design for the building and does not detract from historic fabric. The buildings immediately adjacent to the project site are of a similar vintage, with the exception of the nearby Torpedo Factory. While the Torpedo Factory is one of the most prominent structures on the waterfront, the proposed pergola will not detract from its historic integrity.

Staff recommends approval of the Permit to Demolish (partial) and Certificate of Appropriateness for the proposed alterations with the condition that the applicant work with staff to clarify the extent of proposed signage.

#### **STAFF**

Bill Conkey, AIA, Historic Preservation Architect, Planning & Zoning  
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

### **III. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

C-1 Proposed Pergola will comply with zoning.

C-2 Proposed Pergola must meet the approved design and conditions of SUP2023-00061.

**Code Administration**

C-1 Building permit is required

**Transportation and Environmental Services**

No comments received

**Alexandria Archaeology**

C-1 No archaeology comments

**V. ATTACHMENTS**

1 – Supplemental Materials

2 – Application for BAR 2023-00382 & BAR 2023-00412 1 Cameron Street

**BAR CASE#** \_\_\_\_\_  
(OFFICE USE ONLY)

**ADDRESS OF PROJECT:** \_\_\_\_\_

**DISTRICT:** ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

**TAX MAP AND PARCEL:** \_\_\_\_\_ **ZONING:** \_\_\_\_\_

**APPLICATION FOR:** *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

**Applicant:** ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Authorized Agent** *(if applicable)*: ☐ Attorney ☐ Architect ☐ \_\_\_\_\_

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

**Legal Property Owner:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☐ EXTERIOR ALTERATION: *Please check all that apply.*
- |                                      |   |   |                                   |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning      | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors       | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting    | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____ |   |   |                                   |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

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**SUBMITTAL REQUIREMENTS:**

- ☐ Check this box if there is a homeowner's association for this property. If so, you must attach a copy of the letter approving the project.

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☐ I understand that after reviewing the proposed alterations, BAR staff will invoice the appropriate filing fee in APEX. The application will not be processed until the fee is paid online.
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: *douglas zang*

Printed Name: \_\_\_\_\_

Date: \_\_\_\_\_

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. CHLN, Inc	1510 West Loop South, Houston, TX 70027	100
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Torpedo Factory 66, LLC	118 King St, Alex, VA 22314	100
2.		Add text here
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Printed Name

*douglas zang*  
 \_\_\_\_\_  
 Signature



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

**B**

### A. Property Information

A1.  Street Address  Zone

A2.  Total Lot Area x  Floor Area Ratio Allowed by Zone =  Maximum Allowable Floor Area

### B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. <input type="text"/> Sq. Ft. Existing Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	B2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	B3. <input type="text"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	<b>Comments for Existing Gross Floor Area</b> <input type="text"/>
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. <u>Total Gross</u> <input type="text"/>		B2. <u>Total Exclusions</u> <input type="text"/>		

### C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text"/> Sq. Ft. Proposed Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	C2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C3. <input type="text"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. <u>Total Gross</u> <input type="text"/>		C2. <u>Total Exclusions</u> <input type="text"/>		

### D. Total Floor Area

D1.  Sq. Ft.  
Total Floor Area (add B3 and C3)

D2.  Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

### E. Open Space

E1.  Sq. Ft.  
Existing Open Space

E2.  Sq. Ft.  
Required Open Space

E3.  Sq. Ft.  
Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_ 13 Date: \_\_\_\_\_

**SPECIAL USE PERMIT SUP# 2019-0039**

**AMENDMENT FOR:**

**CHART HOUSE**

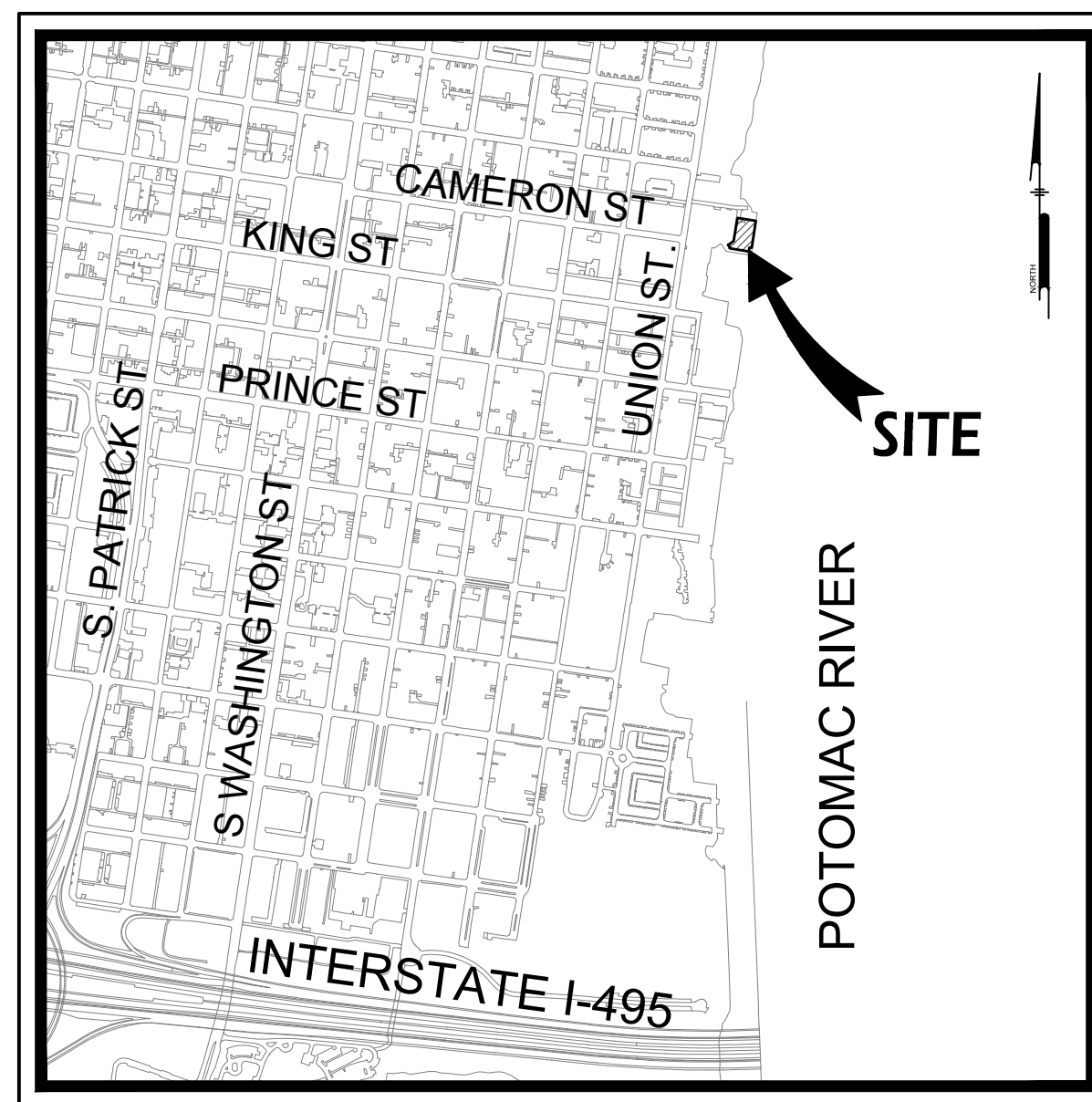
**EXTERIOR IMPROVEMENTS**

**1 CAMERON STREET**

**CITY OF ALEXANDRIA, VIRGINIA 22314**

**GENERAL NOTES:**

1. THIS SITE IS LOCATED WITHIN THE OLD TOWN SMALL AREA PLAN AND OVERLAPS WITH A PORTION OF THE WATER FRONT SMALL AREA PLAN.
2. THE SITE PLAN IS LOCATED AT 1 CAMERON STREET, ALEXANDRIA, VIRGINIA WITH TAX ID NUMBER 075.01-04-10.
3. THE SITE IS LOCATED WITHIN THE LOCALLY REGULATED OLD AND HISTORIC ALEXANDRIA DISTRICT.
4. NO CHANGES IN NUMBER OF SEATS OR PARKING REQUIREMENTS RESULT FROM THE PROPOSED IMPROVEMENTS.
5. NO YARD OR OPEN SPACE REQUIREMENTS.
6. NO MINIMUM LOT SIZE OR FRONT YARD REQUIREMENTS.



## LOCATION MAP

Scale: 1" = 1000'

**PROJECT DESCRIPTION:**

THIS PLAN PROPOSES THE INSTALLATION OF A NEW MOTORIZED PERGOLA IN THE EXISTING OUTDOOR DINING (1,791 SF). NO CHANGES IN LAND COVER OR GROUND DISTURBANCE IS ANTICIPATED TO TAKE PLACE WITHIN THE AREA OF WORK. NO CHANGES TO THE EXISTING BUILDING OR ITS ARCHITECTURAL FEATURES IS PROPOSED WITH THIS PROJECT.

**OWNER**

TORPEDO FACTORY 66 LLC  
118 KING STREET  
FLOOR 2  
ALEXANDRIA, VIRGINIA 22314

**APPLICANT**

DOUGLAS ZANG  
LANDRY'S INC.  
1510 W. LOOP SOUTH  
HOUSTON, TEXAS 77027  
(703) 505-0020

**CIVIL ENGINEER**



**PENNONI ASSOCIATES INC.**  
14901 Bogle Drive, Suite 202  
Chantilly, VA 20151  
T 703.956.6204

SHEET INDEX		
Sheet No.	Drawing No.	DESCRIPTION
1	CS0001	COVER SHEET
2	CS0201	EXISTING CONDITIONS & OVERALL PLAN
3	CS0202	EXISTING CONDITIONS PHOTOS
4	CS1001	PROPOSED IMPROVEMENTS
5	T1	PERGOLA INSTALLATION PLANS AND DETAILS
6	AO	PERGOLA INSTALLATION PLANS AND DETAILS
7	A1	PERGOLA INSTALLATION PLANS AND DETAILS
8	A2	PERGOLA INSTALLATION PLANS AND DETAILS
9	A3	PERGOLA INSTALLATION PLANS AND DETAILS
10	A4	PERGOLA INSTALLATION PLANS AND DETAILS
11	A5	PERGOLA INSTALLATION PLANS AND DETAILS
12	S01	PERGOLA INSTALLATION PLANS AND DETAILS
13	S02	PERGOLA INSTALLATION PLANS AND DETAILS
14	S03	PERGOLA INSTALLATION PLANS AND DETAILS

ZONING TABULATIONS			
	PERMITTED/REQUIRE (SUP #1944 AND SUP2019-0038)	EXISTING	PROPOSED
		CD/ COMMERCIAL DOWNTOWN	CD/ COMMERCIAL DOWNTOWN
TOTAL SITE AREA:	53,477 S.F.	53,477 S.F.	N/C
TOTAL GROSS FLOOR AREA:	80,215 S.F. *	41,422 S.F.	43,213 S.F.
BUILDING GROSS FLOOR AREA: (BLACKWALL HITCH)	16,373 S.F.	16,373 S.F.	N/C
FAR (OVERALL):	1.5	0.77	0.81
SITE AREA: (CHART HOUSE)	19,335 S.F.	19,335 S.F.	19,335 S.F.
FAR: (CHART HOUSE)	2.50 **	1.30	1.39
BUILDING GROSS FLOOR AREA:	48,338 S.F.	25,049 S.F.	26,840 S.F.
BUILDING HEIGHT:	50 FT.	32 FT.	N/C
OVERALL SEATS (INDOOR/OUTDOOR):	350	350	N/C
OVERALL PARKING:	88	88	N/C

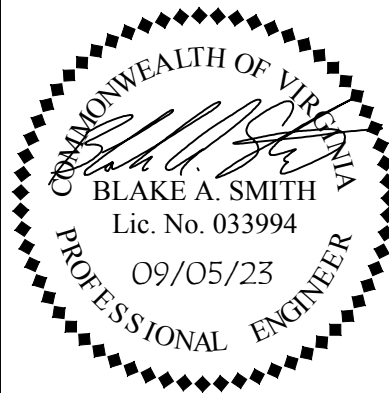
**ZONING TABULATION NOTES:**

\* CALCULATED BASED ON TOTAL GROSS FLOOR AREA AND OVERALL SITE AREA.  
\*\* CALCULATED BASED ON PERMITTED GROSS FLOOR AREA.

**NOT FOR CONSTRUCTION**



**PENNONI ASSOCIATES INC.**  
14901 Bogle Drive, Suite 202  
Chantilly, VA 20151  
T 703.956.6204



**ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR  
AND OWNER MUST BE NOTIFIED OF ANY  
DISCREPANCIES BEFORE PROCEEDING WITH WORK**

**CHART HOUSE - LANDRY'S**  
CITY OF ALEXANDRIA

COVER SHEET

[illegible]

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE. IN RESPECT OF THE PROJECT, THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY TO PENNONI ASSOCIATES. PENNONI ASSOCIATES SHALL NOT BE RESPONSIBLE FOR EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT LANDE22001

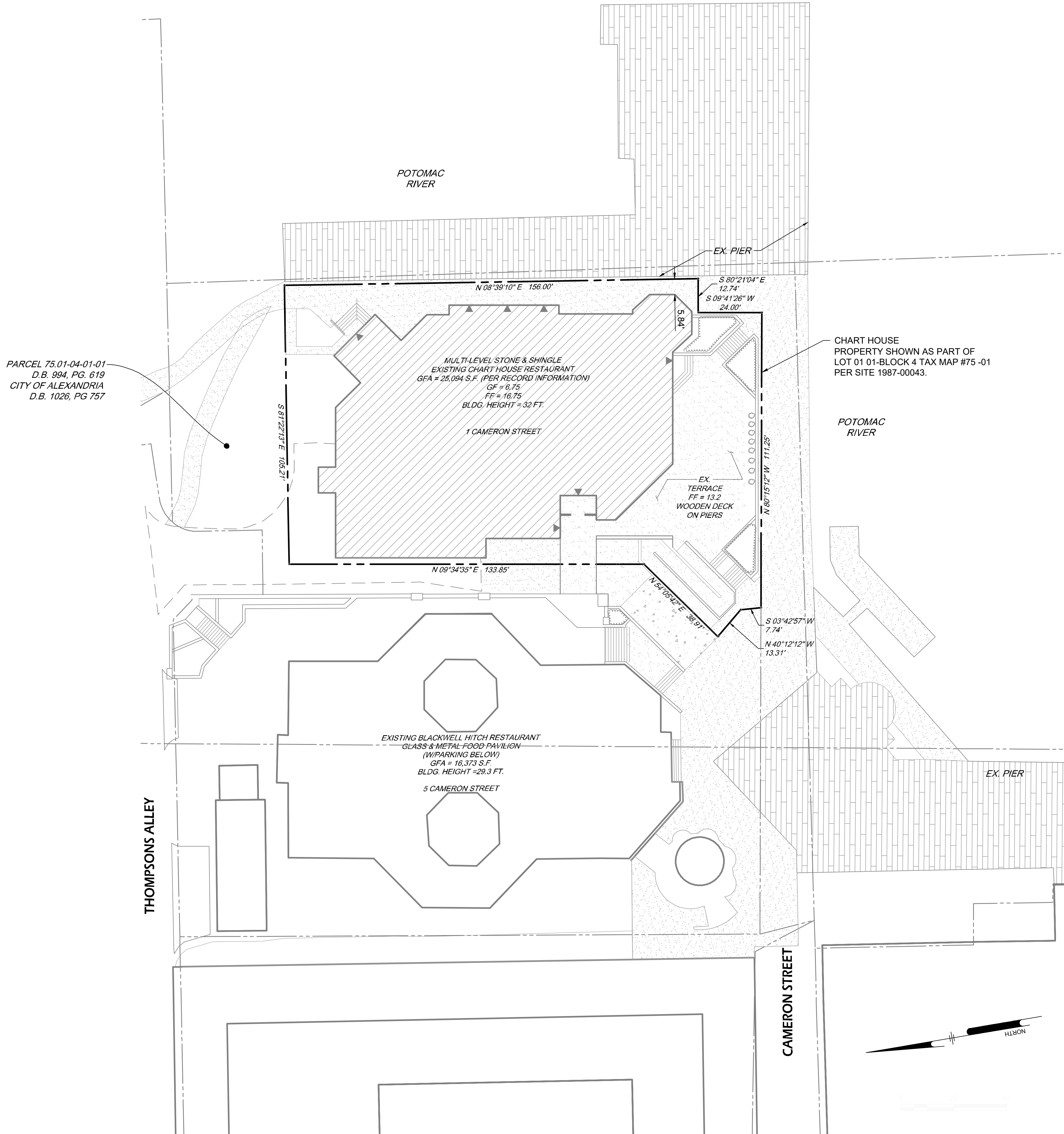
DATE	06-28-2023
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DRAWING SCALE AS SHOWN

CS0001

SHEET 1 OF 14





NOT FOR CONSTRUCTION

**PENNONI ASSOCIATES INC.**  
14901 Bogle Drive, Suite 202  
Chantilly, VA 20151  
T 703.956.6204

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR  
AND OWNER MUST BE NOTIFIED OF ANY  
DISCREPANCIES BEFORE PROCEEDING WITH WORK

BLAKE A. SMITH  
Lic. No. 033994  
09/05/23  
PROFESSIONAL ENGINEER

**CHART HOUSE - LANDRY'S**  
CITY OF ALEXANDRIA  
VIRGINIA

**EXISTING CONDITIONS & OVERALL PLAN**  
CITY OF ALEXANDRIA  
1 CAMERON STREET  
ALEXANDRIA, VIRGINIA 22314

DATE	NO.	#	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	LANDE22001
DATE	06-28-2023
DRAWING SCALE	1" = 20'
DRAWN BY	KJC
COUNTY PLAN NO.	

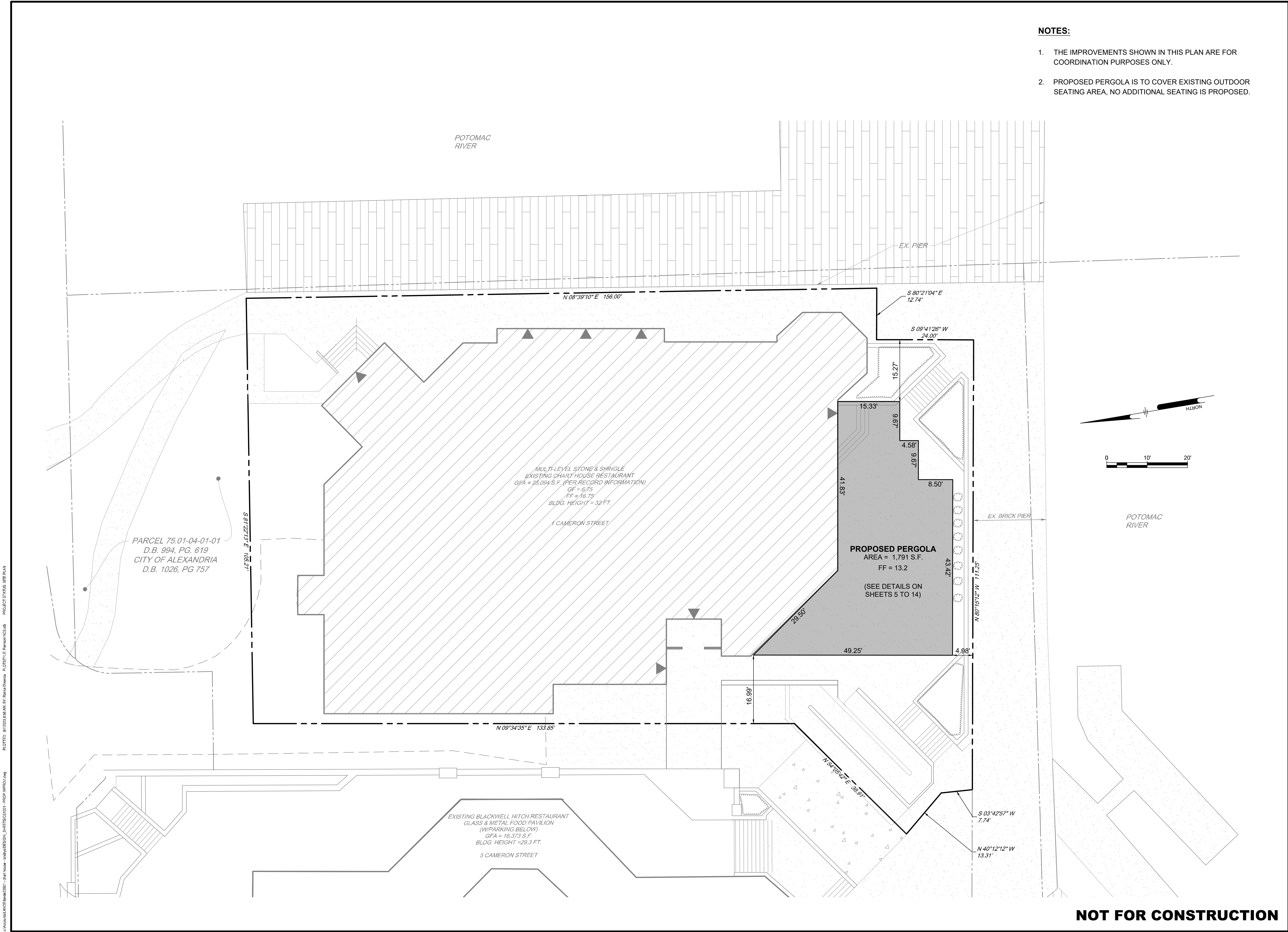
**CS0201**

SHEET 2 OF 14









NOTES:

1. THE IMPROVEMENTS SHOWN IN THIS PLAN ARE FOR COORDINATION PURPOSES ONLY.
2. PROPOSED PERGOLA IS TO COVER EXISTING OUTDOOR SEATING AREA, NO ADDITIONAL SEATING IS PROPOSED.

**PENNONI ASSOCIATES INC.**  
14901 Bogle Drive, Suite 202  
Chantilly, VA 20151  
T 703.956.6204

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**CHART HOUSE - LANDRY'S**  
CITY OF ALEXANDRIA  
VIRGINIA

**PROPOSED IMPROVEMENTS**  
CITY OF ALEXANDRIA  
1 CAMERON STREET  
ALEXANDRIA, VIRGINIA 22314

REVISIONS		BY	
DATE	NO.	#	#

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	LANDE22001
DATE	06-28-2023
DRAWING SCALE	1" = 10'
DRAWN BY	KJC
COUNTY PLAN NO.	

**CS1001**

SHEET 4 OF 14

NOT FOR CONSTRUCTION



## GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
2. THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAILS OR SPECIFY MATERIALS AND/OR MANUFACTURERS.
3. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUT-SHEETS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS.
4. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTOR SHALL USE THE MATERIALS SELECTED BY THE OWNER OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE.
5. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
6. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE CONSTRUCTION DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
7. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER/ARCHITECT FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
8. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), NATIONAL ELECTRICAL CODE (NEC), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
9. THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS, HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION.
10. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
12. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.
13. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
14. ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
15. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS.
16. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WILL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOWS SUCH STORAGE TO BE PLACED.
17. GENERAL CONTRACTOR AND OWNER ARE REQUIRED TO SIGN THE STRUCTURAL SPECIAL INSPECTION FORM OF THE EXPOXY HOLDOWN SPECIAL ANCHOR BOLTS BEFORE THE BUILDING PERMIT IS ISSUED BY CITY.
18. THE LIST OF DEFERRED ITEMS WILL PROVIDED ON THE COVER SHEET. THE DEFERRED ITEMS SHALL NOT BE CONSTRUCTED OR INSTALLED UNTIL REVIEWED AND APPROVED BY CITY.
19. UNDER SPECIAL INSPECTION TITLE ALL WORK REQUIRING SPECIAL INSPECTION PER 2019 CBC CHAPTER 17. ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.
20. RETROFIT HOLDOWN SPECIAL ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION(S).
21. FINISH GRADE AROUND STRUCTURAL SHALL SLOPE AWAY FROM FOUNDATION A MINIMUM 5% FOR A MINIMUM 10'.

[illegible]

## An aerial view of a modern rooftop terrace. The terrace is enclosed by glass railings with white frames. Inside, there are several wooden tables and chairs arranged for dining. The terrace is surrounded by a low wall and has some landscaping with small trees and plants. The building has a green roof and a large arched window. The terrace is located on a brick-paved area.



1	VIRGINIA FIRE CODE	2019 EDITION
2	VIRGINIA BUILDING CODE (CBC)	2019 EDITION
3	VIRGINIA MECHANICAL CODE (CMC)	2019 EDITION
4	VIRGINIA PLUMBING CODE (CPC)	2019 EDITION
5	VIRGINIA ELECTRIC CODE (CEC)	2019 EDITION
6	VIRGINIA CALGREEN CODE	2019 EDITION
7	VIRGINIA ENERGY STANDARDS	2019 EDITION
8	& OTHER APPLICABLE LOCAL & STATE LAWS OF CITY REGULATIONS OF LOUNDOUN MUNICIPAL CODE & ORDINANCES.	

TENANT IMPROVEMENT  
INSTALLATION OF NEW MOTORIZED PERGOLA IN THE EXISTING OUTDOOR DINING AREA.  
NO WORK IN THE EXISTING RESTAURANT, ONLY OUTDOOR DINING AREA.  
1786.73 SQ.FT.

<b>REVISION</b>	<b>RECEIVED DATE</b>
	INITIAL PLAN SET

LIVE SMART IN ALL SEASON

**1 CAMERON ST. ALEXANDRIA  
VERGINIA 22314**

*Steve*

CH  
CHART  
HOUSE

DESIGNED BY	PERGOROOF INC
DRAWN BY	JHON MECATE
DATE	MARCH 24, 2022
SCALE	NOT TO SCALE

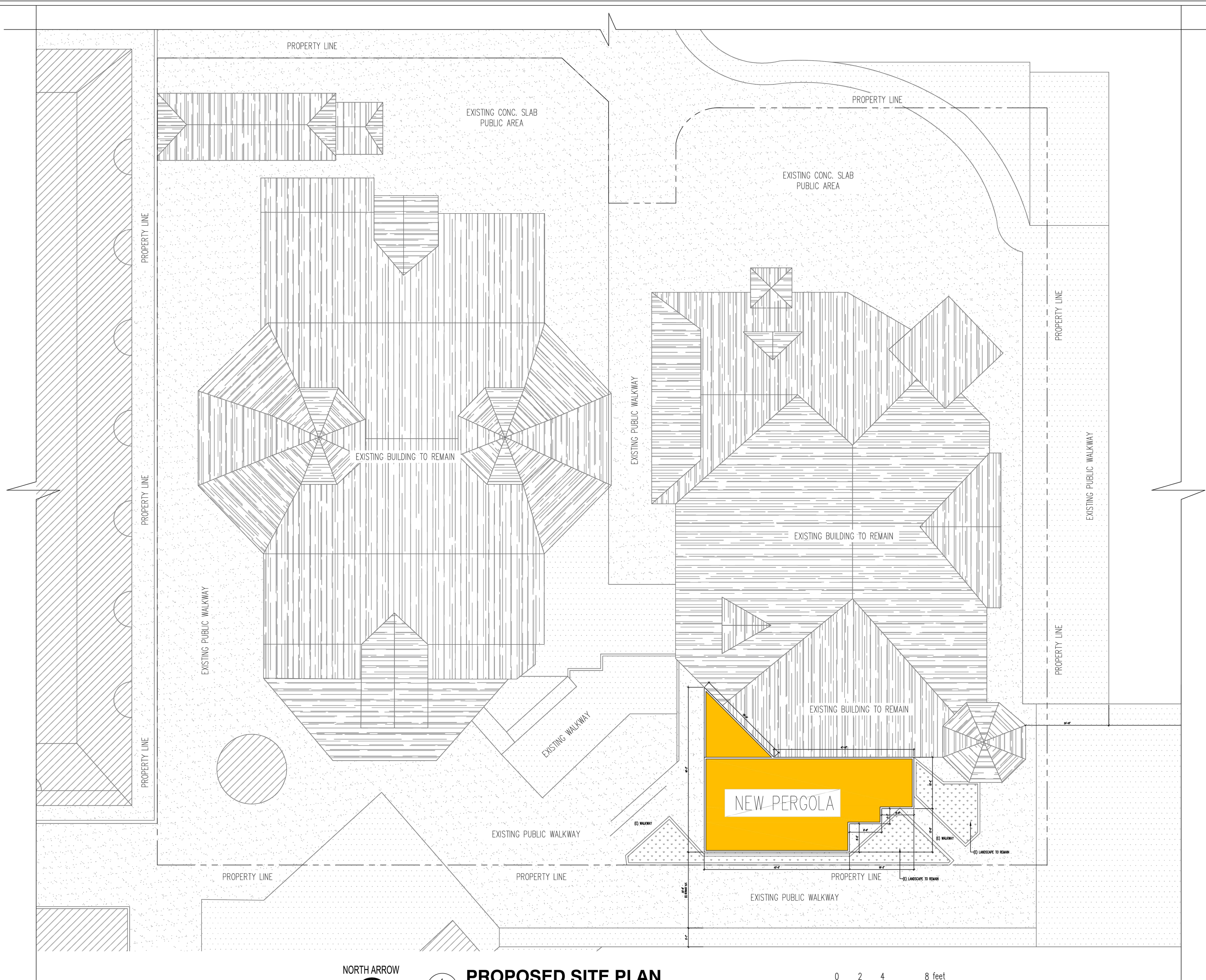
1 X 7

# T1

SHEET 5 OF 14



u:\Account\LAND\16062007 - chart house - landscape\DESIGN\_SHEETS\A0 PROPOSED SITE PLAN.dwg  
PLOTED: 8/7/2023 8:56 AM BY: Renee Dierenda PLOTSTYLE: Perimet NCS.ctb PROJECT STATUS: SITE PLAN



1  
A0

## PROPOSED SITE PLAN

SCALE: NTS

0 2 4 8 feet

REVISION	RECEIVED DATE
	INITIAL PLAN SET

**PERGOROOF**

LIVE SMART IN ALL SEASON

PERGOLA INSTALLATION PLANS AND DETAILS  
**CHART HOUSE**

**1 CAMERON ST. ALEXANDRIA  
VERGINIA 22314**

PROJECT DESIGNER  
**JHON CHRISTIAN MECATE**

**CH**  
CHART  
HOUSE

DESIGNED BY  
DRAWN BY  
DATE  
SCALE

PERGOROOF INC  
JHON MECATE  
MARCH 24, 2022  
NOT TO SCALE

SHEET  
NUMBER

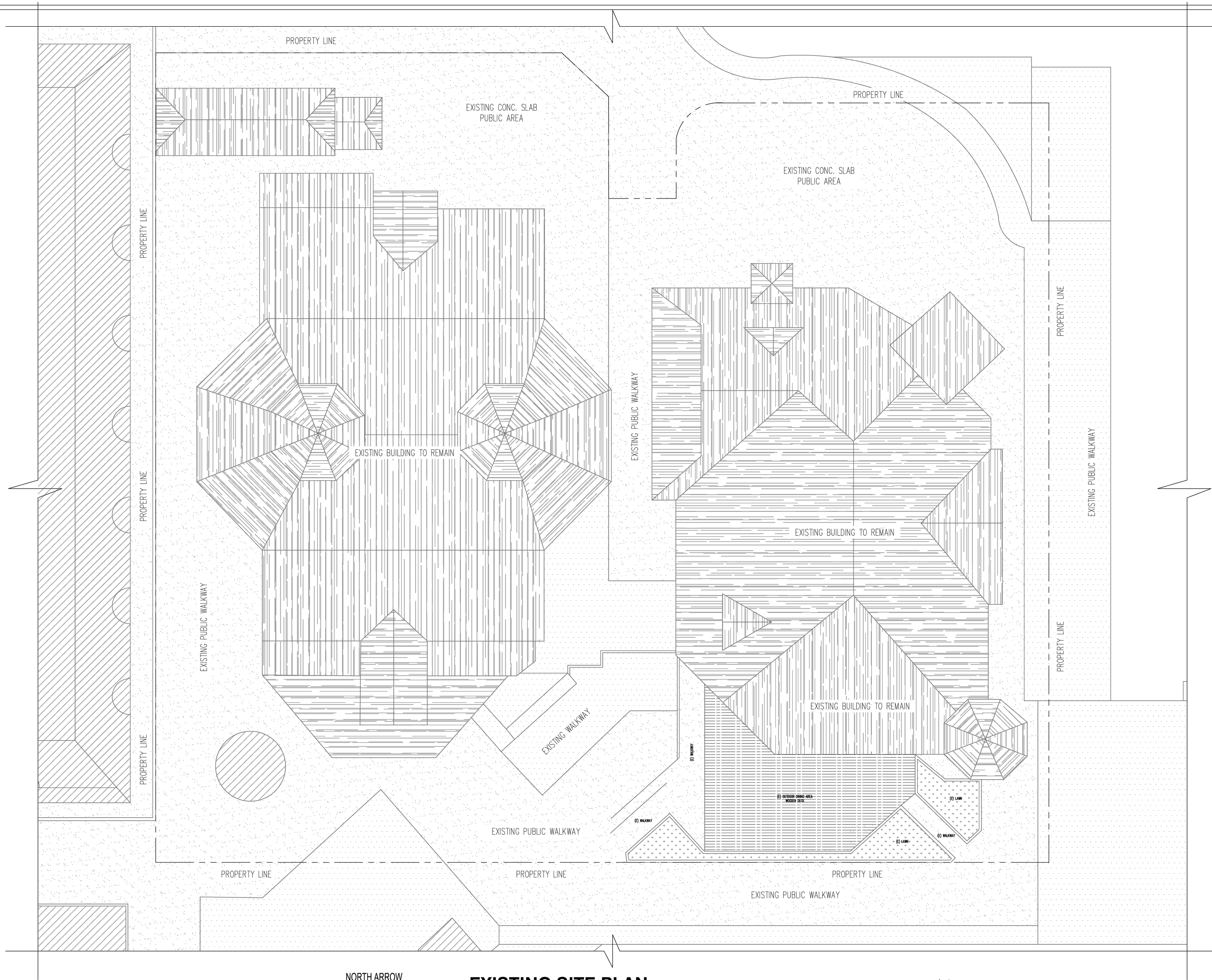
2 X 7

**A0**

SHEET 6 OF 14



u:\Account\LAND\Inks\2007 - chart house - land\DESIGN - SHEETS\EXISTING SITE PLAN.dwg  
PLOTED: 8/7/2023 8:56 AM BY: Renee Dierenda PLOTTED: LE Permit NCS.sab PROJECT STATUS: SITE PLAN



2  
A0

## EXISTING SITE PLAN

SCALE: NTS

0 2 4 8 feet

REVISION	RECEIVED DATE
	INITIAL PLAN SET

**PERGOROOF**

LIVE SMART IN ALL SEASON

PERGOLA INSTALLATION PLANS AND DETAILS  
**CHART HOUSE**

**1 CAMERON ST. ALEXANDRIA  
VERGINIA 22314**

PROJECT DESIGNER  
**JHON CHRISTIAN MECATE**

**CH**  
CHART  
HOUSE

DESIGNED BY  
DRAWN BY  
DATE  
SCALE

PERGOROOF INC  
JHON MECATE  
MARCH 24, 2022  
NOT TO SCALE

SHEET  
NUMBER

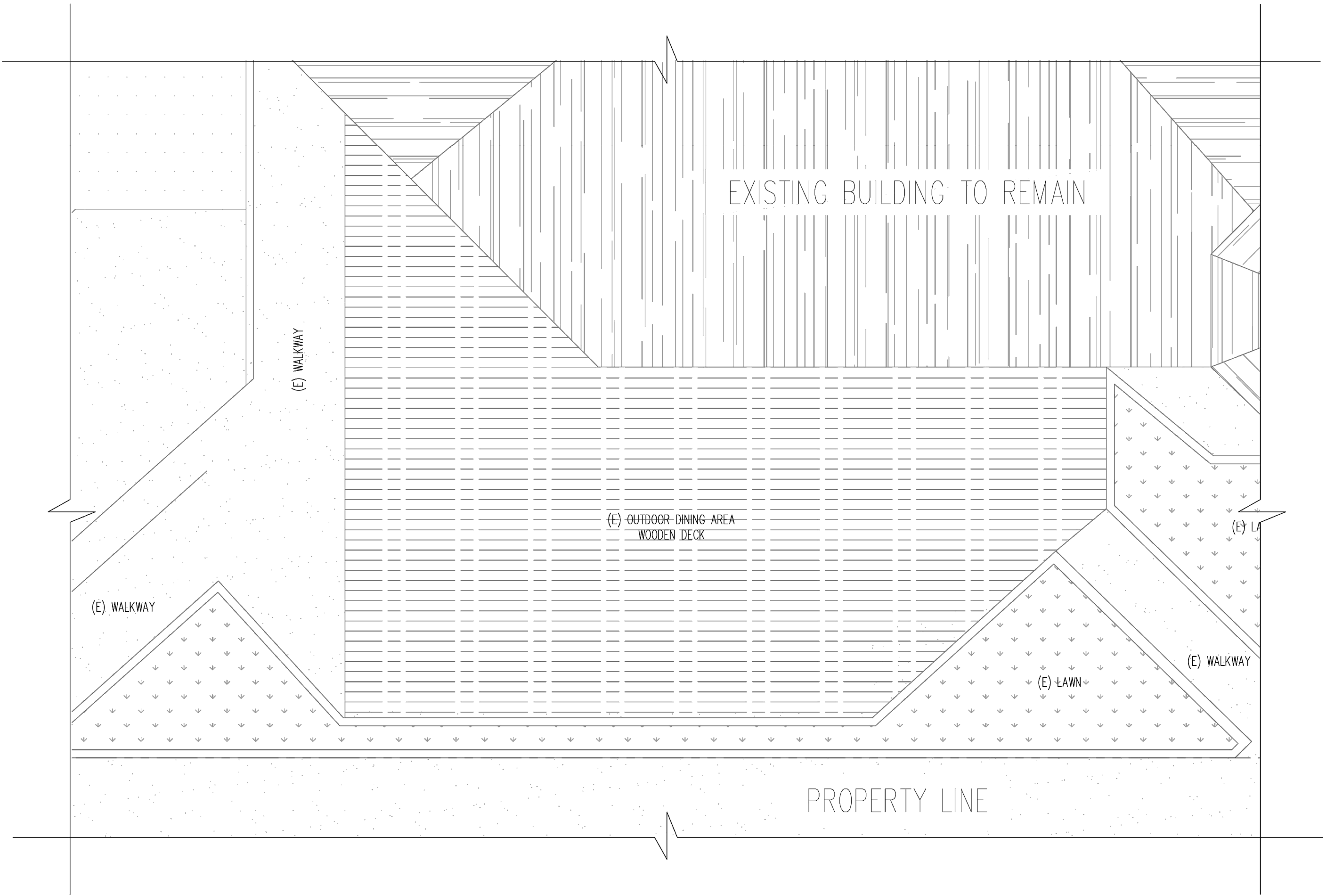
3 X 7

**A1**

SHEET 7 OF 14



u:\account\landmark\2007 - chart house - land\p\DESIGN\_SHEETS\ENLARGE EX FLOOR PLAN.dwg PLOTTED: 9/7/2023 8:56 AM BY: Parvika Dhanraj PERMERINC.sab PROJECT STATUS: SITE PLAN



1  
A2

**ENLARGE (E) FLOOR PLAN**

SCALE 3/6"=1'-0"

0 2 4 8 feet

REVISION	RECEIVED DATE
	INITIAL PLAN SET

**PERGOROOF**

LIVE SMART IN ALL SEASON

PERGOLA INSTALLATION PLANS AND DETAILS  
**CHART HOUSE**

1 CAMERON ST. ALEXANDRIA  
VERGINIA 22314

PROJECT DESIGNER  
JHON CHRISTIAN MECATE

**CH**  
CHART  
HOUSE

DESIGNED BY  
DRAWN BY  
DATE  
SCALE

PERGOROOF INC  
JHON MECATE  
MARCH 24, 2022  
NOT TO SCALE


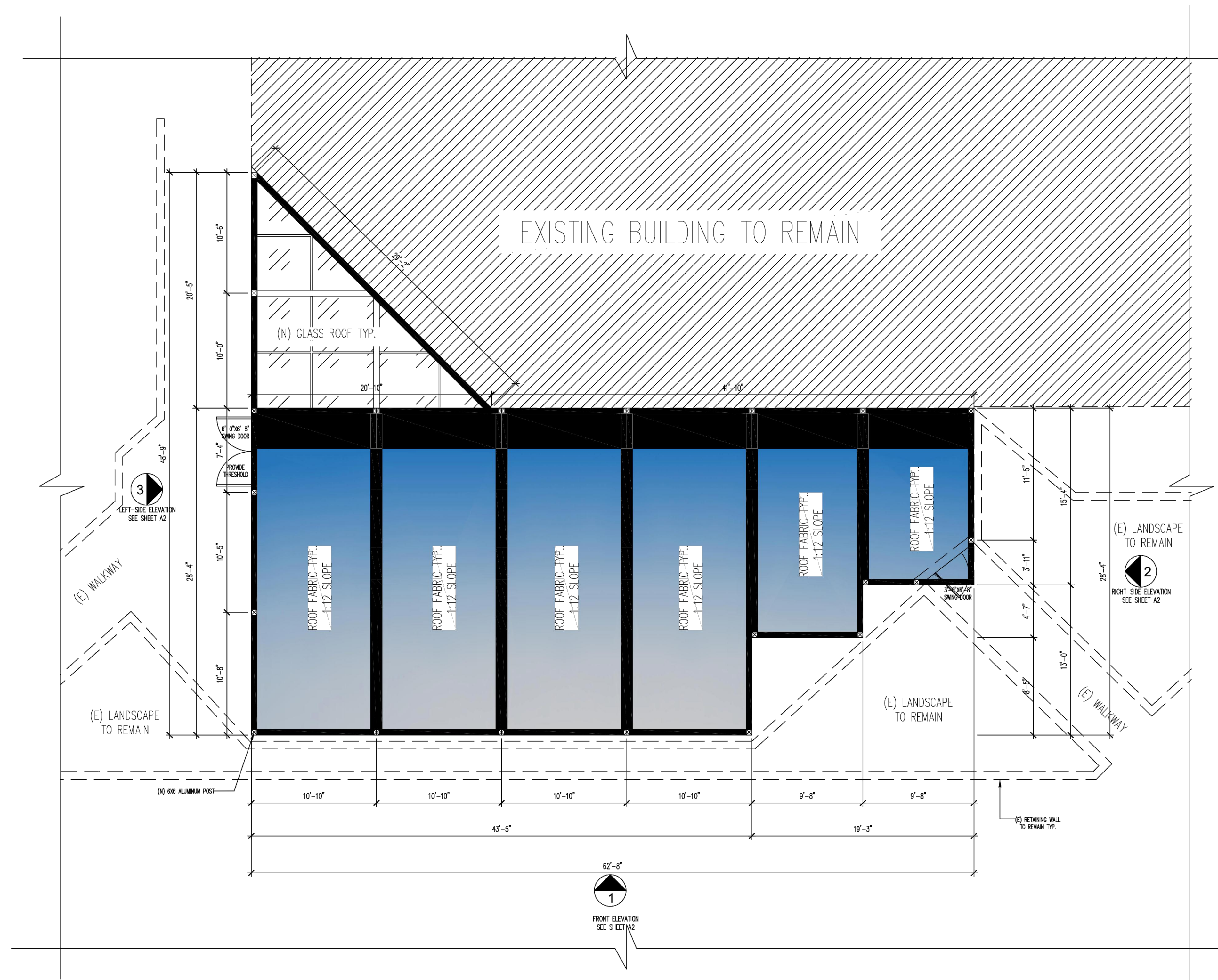
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NUMBER

4 X 7

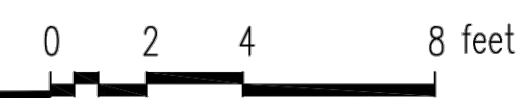
**A2**

SHEET 8 OF 14





## PROPOSED FLOOR PLAN



<b>REVISION</b>	<b>RECEIVED DATE</b>
	INITIAL PLAN SET

**PERGO**ROOF  
LIVE SMART IN ALL SEASON

## PERGOLA INSTALLATION PLANS AND DETAILS

# CHART HOUSE

1 CAMERON ST. ALEXANDRIA  
VERGINIA 22314

PROJECT DESIGNER

**JHON CHRISTIAN MECATE**

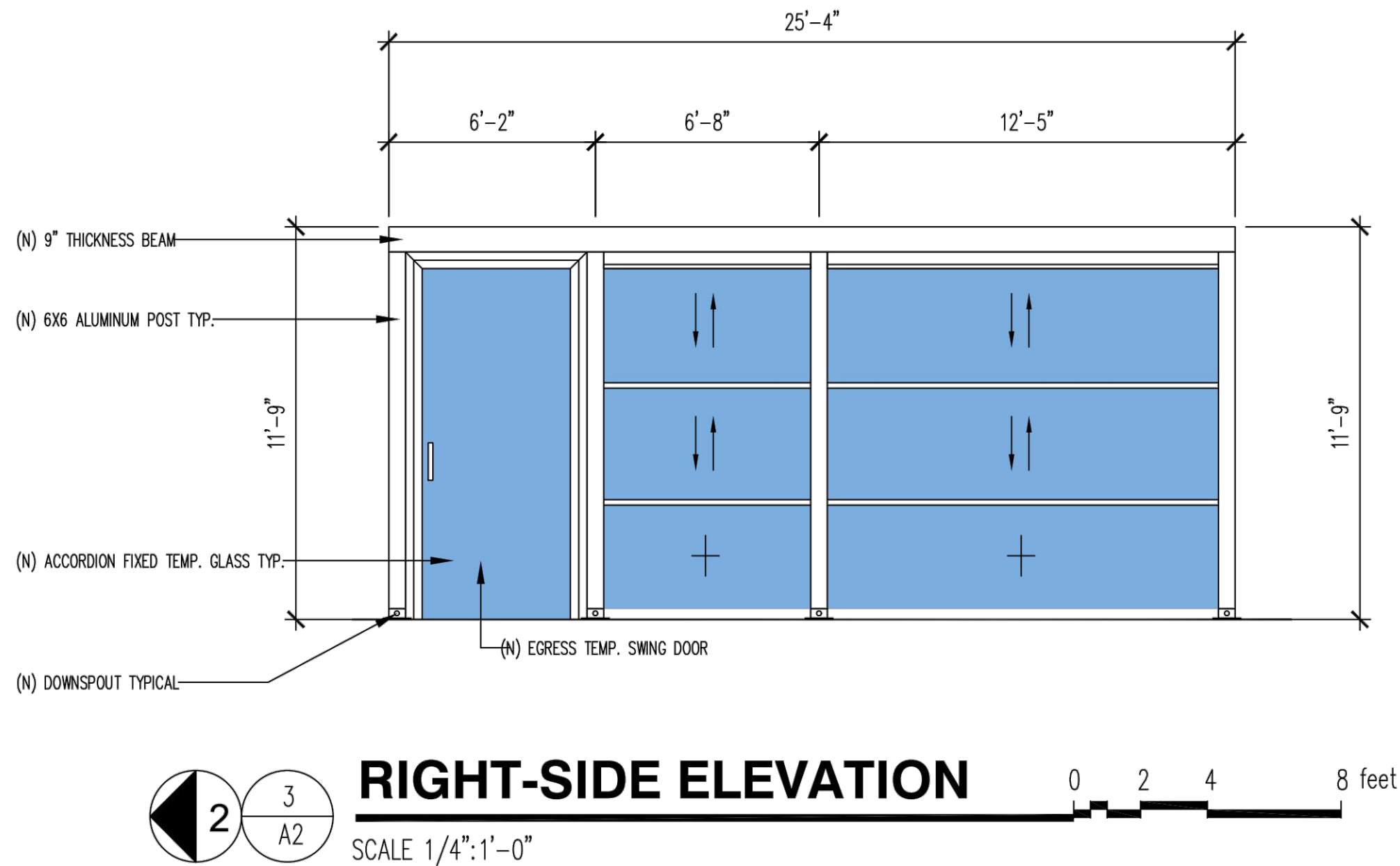
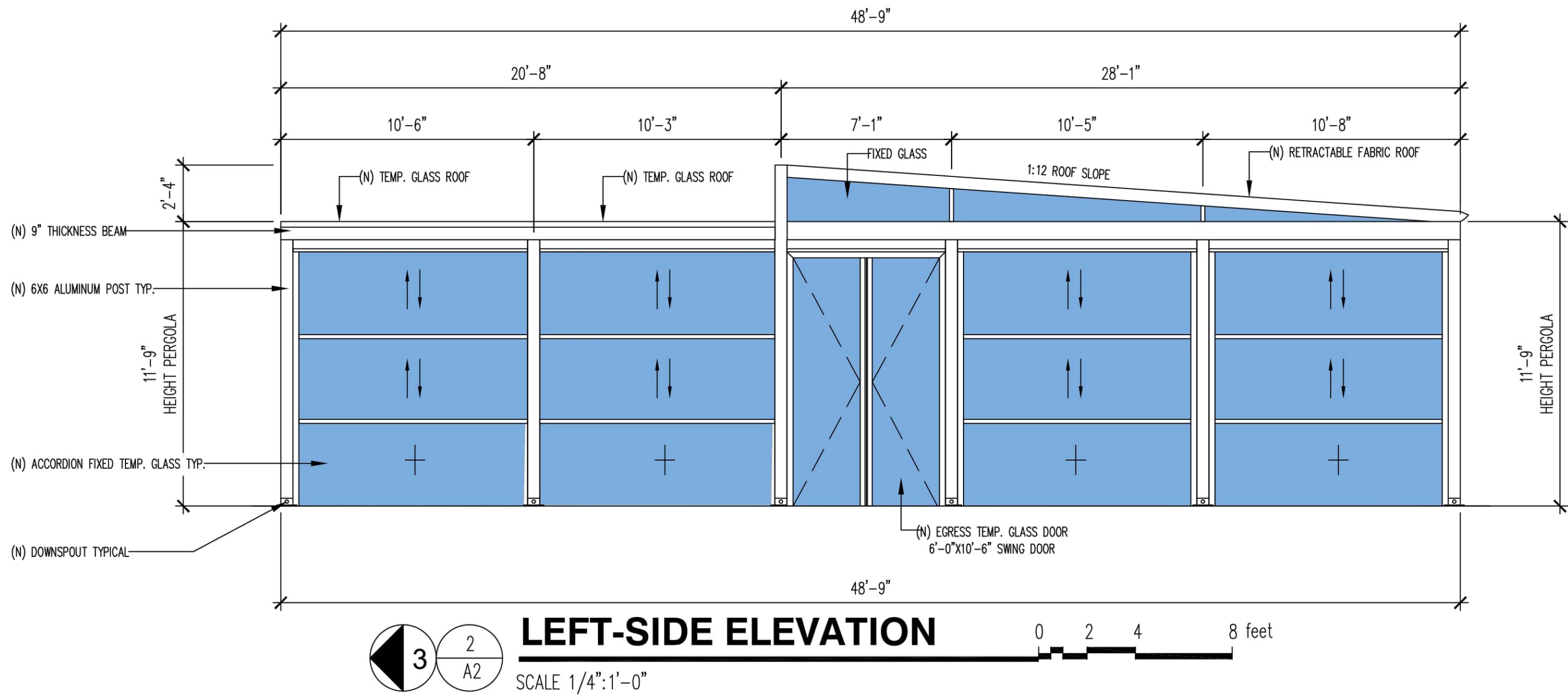
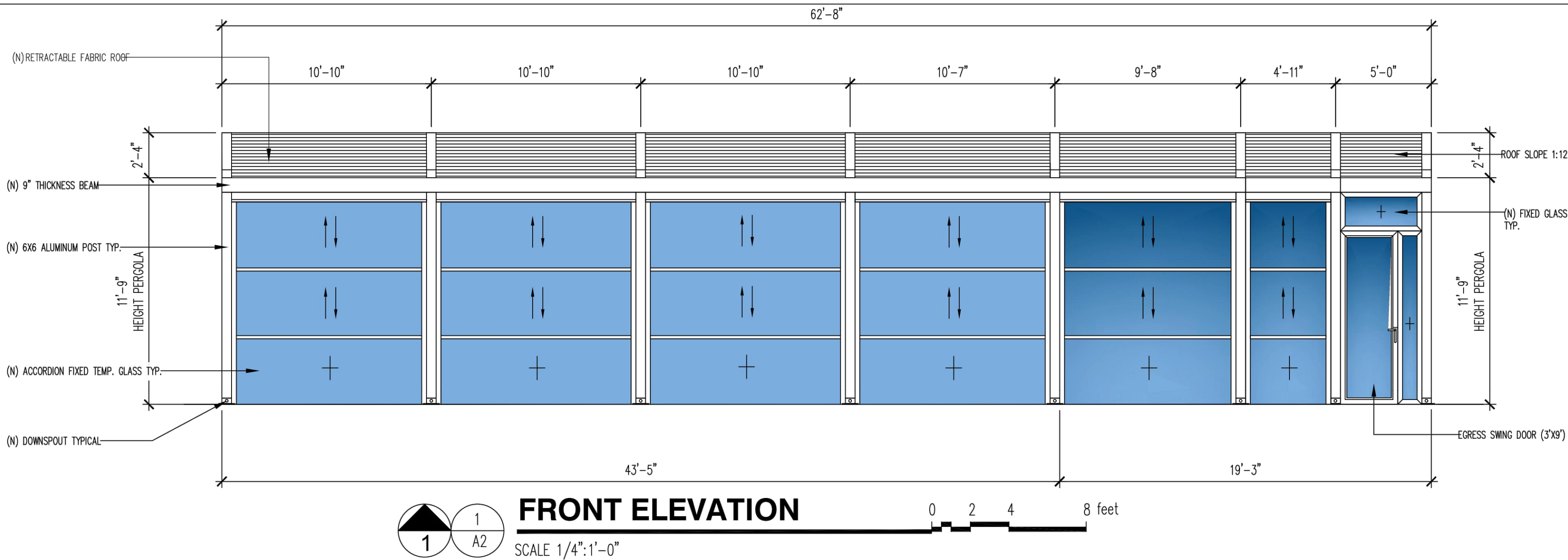
CH  
CHART  
HOUSE

DESIGNED BY	PERGOROOF INC
DRAWN BY	JHON MECATE
DATE	MARCH 24, 2022
SCALE	NOT TO SCALE

SHEET NUMBER	<div style="text-align: center;"> <h1>A3</h1> <p>SHEET 9 OF 14</p> </div>
5 X 7	



u:\Account\LAND\In\mk2007 - chart house - land\DESIGN\_SHEETS\A1 PROPOSED ELEVATIONS.dwg PLOTTED: 8/7/2023 8:56 AM BY: Rana Dharada PLOTSTYLE: Permit.NCS.ctb PROJECT STATUS: SITE PLAN



REVISION	RECEIVED DATE
	INITIAL PLAN SET

**PERGOROOF**

LIVE SMART IN ALL SEASON

PERGOLA INSTALLATION PLANS AND DETAILS

**CHART HOUSE**

1 CAMERON ST. ALEXANDRIA  
VERGINIA 22314

PROJECT DESIGNER  
JHON CHRISTIAN MECATE

*JHON CHRISTIAN MECATE*

**CH**  
CHART  
HOUSE

DESIGNED BY	PERGOROOF INC
DRAWN BY	JHON MECATE
DATE	MARCH 24, 2022
SCALE	NOT TO SCALE

SHEET NUMBER	<b>A4</b> SHEET 10 OF 14
6 X 7	



MOTORIZED RETRACTABLE PERGOLA



1  
A5

3D RENDERING

SCALE 1/4"=1'-0"

0 2 4 8 feet

REVISION	RECEIVED DATE
	INITIAL PLAN SET

PERGOROOF

LIVE SMART IN ALL SEASON

PERGOLA INSTALLATION PLANS AND DETAILS  
CHART HOUSE

1 CAMERON ST. ALEXANDRIA  
VERGINIA 22314

PROJECT DESIGNER  
JHON CHRISTIAN MECATE

CH  
CHART  
HOUSE

DESIGNED BY	PERGOROOF INC
DRAWN BY	JHON MECATE
DATE	MARCH 24, 2022
SCALE	NOT TO SCALE

SHEET  
NUMBER  
7 X 7

A5  
SHEET 11 OF 14



u:\Account\LAN\ENR\62007-chart house - landy\DESIGN\_SHEETS\S01 STRUCTURAL NOTES.dwg PLOTTED: 8/7/2023 8:57 AM BY: Rama Sharma PLOTSTYLE: Perimet NCS.ctb PROJECT STATUS: SITE PLAN

GENERAL:

1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS.
2. DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
3. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONAL INFORMATION.
4. AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS OF THE JOBSITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
5. ENGINEERS' PRESENCE OR REVIEW OF WORK DOES NOT INCLUDE THE ADEQUACY OF THE CONTRACTORS' MEANS OR METHODS OF CONSTRUCTION.
6. SHORING, BRACING AND PROTECTION OF EXISTING AND ADJACENT STRUCTURES DURING CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. PROTECT AND MAINTAIN THE INTEGRITY OF ADJACENT STREETS, BUILDINGS AND ALL OTHER STRUCTURES.
8. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE STRUCTURE IS COMPLETE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS.
10. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
11. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY MEANS AND METHODS OF CONSTRUCTION OR FOR ANY RELATED SAFETY PRECAUTIONS OR PROGRAMS.

DESIGN LOADS:

1. THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE **2018 VIRGINIA** BUILDING CODE AND APPLICABLE REFERENCE STANDARDS.
2. THE FOLLOWING SUPERIMPOSED LOADINGS HAVE BEEN UTILIZED:  
FLOOR:  
LIVE LOAD 100 psf  
DEAD LOAD 10 psf  
ROOF:  
LIVE LOAD 20 psf  
DEAD LOAD 10 psf  
SNOW LOAD 25 psf  
WIND:  
EXPOSURE C  
RISK CATEGORY II  
ULTIMATE DESIGN WIND SPEED  $V_{ult}=111$  MPH (3-SECOND GUST)  
NOMINAL DESIGN WIND SPEED  $V_{asd}=86$  MPH (3-SECOND GUST)  
SEISMIC LOAD:  
RISK CATEGORY II  
SEISMIC DESIGN CATEGORY D  
 $S_s$  0.133  
 $S_1$  0.043  
TL 8 SEC

CONTRACTOR PROPOSED CHANGES AND SUBSTITUTIONS:

1. PROPOSED CHANGES OR SUBSTITUTIONS TO STRUCTURAL DETAILS OR PLANS SHALL BE SUBMITTED TO ADMIN@YFGENGINEERING.COM TO THE YFG STRUCTURAL ENGINEERING, LLC FOR REVIEW AND APPROVAL.
2. SUBMITTALS SHALL CONTAIN FULL DOCUMENTATION OF CHANGES OR SUBSTITUTIONS WITH SUPPORTING, SEALED CALCULATIONS (WHERE APPLICABLE).
3. THE REVIEW OF CHANGES AND SUBSTITUTIONS, RE-ANALYSIS AND/OR RE-DRAFTING TO INCORPORATE CHANGES OR SUBSTITUTIONS INTO CONTRACT DOCUMENTS ARE ADDITIONAL SERVICES FOR THE EOR.
4. CONSTRUCTION COST REVISIONS ARE BETWEEN THE CONTRACTOR AND OWNER AND ARE NOT REVIEWED BY YFG STRUCTURE ENGINEERING. EXISTING STRUCTURE:
5. ALL EXISTING DIMENSIONS AND LOCATIONS OF EXISTING STRUCTURES INDICATED ON THE DRAWINGS SHALL BE VERIFIED BY FIELD MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER AND ARCHITECT. DRAWINGS HAVE BEEN PREPARED BASED ON AVAILABLE KNOWLEDGE OF EXISTING CONDITIONS. IF, DURING DEMOLITION, EXCAVATION OR CONSTRUCTION, ACTUAL CONDITIONS ARE DISCOVERED TO DIFFER FROM THOSE INDICATED ON DRAWINGS, ENGINEER AND ARCHITECT SHALL BE NOTIFIED.

DEMOLITION

1. NOTIFY ENGINEER OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
2. VERIFY ALL DIMENSIONS AFFECTED BY EXISTING CONSTRUCTION PRIOR TO DEMOLITION.
3. ACTUAL FIELD AS-BUILD CONDITIONS MAY VARY FROM WHAT IS INDICATED ON THE PLANS. ALL DIMENSIONS, ELEVATIONS AND ANY OTHER CONDITIONS OF THE EXISTING STRUCTURE SHALL BE FIELD VERIFIED PRIOR TO DEMOLITION, FABRICATION AND INSTALLATION OF NEW BUILDING COMPONENTS.
4. VERIFY WITH THE EOR PRIOR TO REMOVING OR MODIFYING ANY STRUCTURAL MEMBERS THAT HAVE NOT BEEN INCLUDED IN THE STRUCTURAL CONSTRUCTION DOCUMENTS.
5. REMOVE, REPLACE, PATCH AND REPAIR MATERIALS AND SURFACES CUT OR DAMAGED DURING SELECTIVE DEMOLITION, BY METHODS AND WITH MATERIALS SO AS NOT TO VOID EXISTING WARRANTIES.
6. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM SELECTIVE DEMOLITION ACTIVITIES.
7. WHEN UNANTICIPATED STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE CONFLICT(S) PROMPTLY AND SUBMIT A WRITTEN REPORT TO THE EOR AND AOR.
8. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE REMOVAL OF ANY ELEMENT WILL NOT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE DEMOLITION ACTIVITIES.
9. PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
10. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.
11. SHORING LAYOUT AND DESIGN SHALL BE PERFORMED BY AN ENGINEER REGISTERED IN DESIGNATED STATELAND .
12. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
13. PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY EOR AND AOR, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION.
14. PROTECTIVE RAILING SHALL BE PUT IN PLACE AT ALL CHANGES IN ELEVATION OVER 12'.

WOOD:

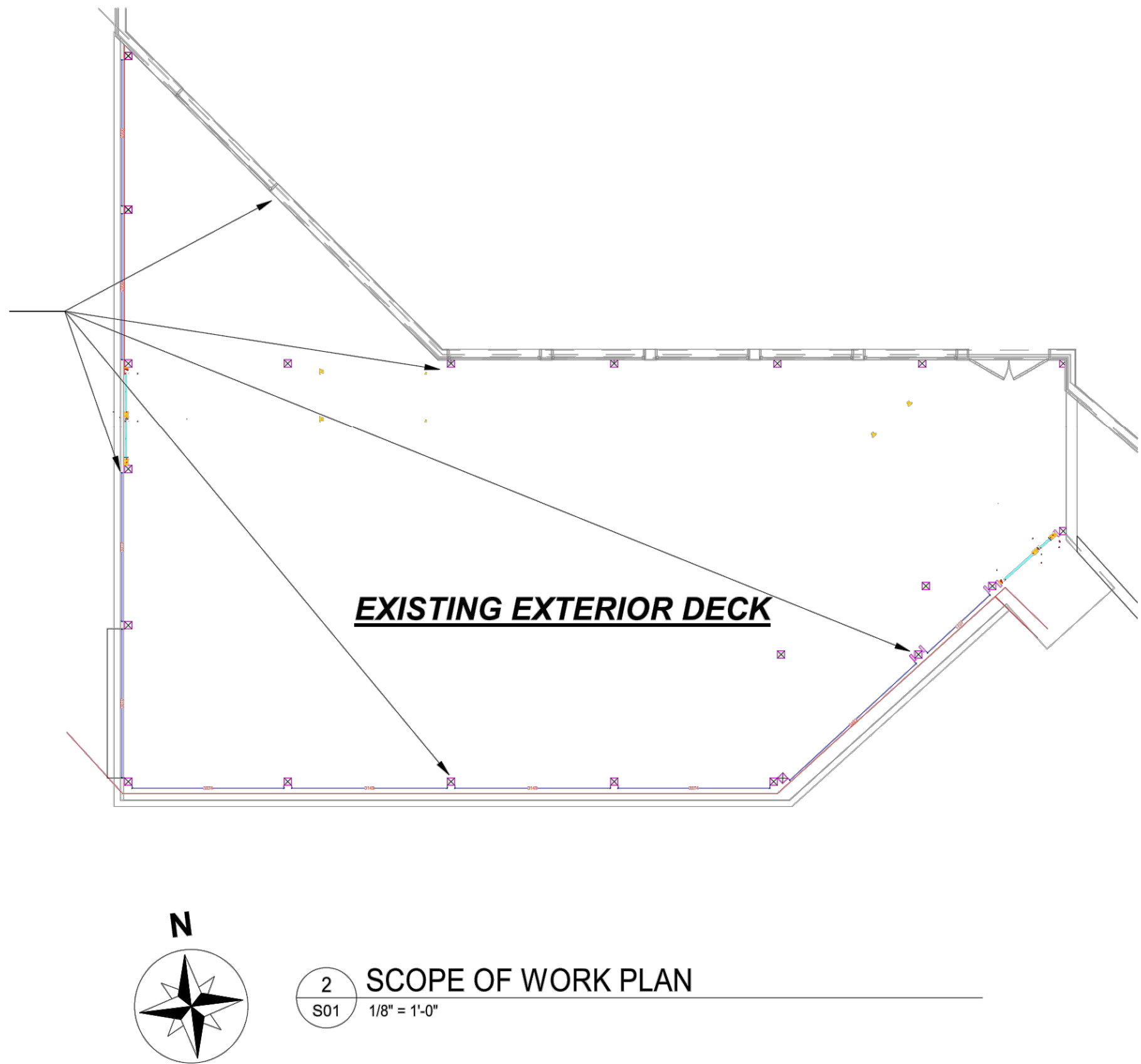
1. STRUCTURAL WOOD COMPONENTS (BEAMS, JOISTS, RAFTERS, ETC.) SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE FIBER STRESSES OF NO. 2 SOUTHERN PINE.  
A. SHEAR  $F_v$  175 psi  
B. BENDING  $2 \times 4$  Fb 1,100 psi  
C. BENDING  $2 \times 6$  Fb 1,000 psi  
D. BENDING  $2 \times 8$  Fb 925 psi  
E. BENDING  $2 \times 10$  Fb 800 psi  
F. BENDING  $2 \times 12$  Fb 750 ps
2. MEMBER SIZES SHOWN ARE NOMINAL UNLESS NOTED OTHERWISE. SUBSTITUTIONS ARE ACCEPTABLE WITH THE APPROVAL OF THE STRUCTURAL ENGINEER.
3. UNLESS SHOWN OTHERWISE, INSTALL SIZE AND NUMBER OF FASTENERS SHOWN IN LATEST SIMPSON CATALOG.
4. WOOD IN CONTACT WITH CONCRETE OR MASONRY, CONCRETE, AND AT OTHER EXPOSED LOCATIONS SUCH AS DECK OR EXTERNAL STAIRS, AND ETC, SHALL BE PROTECTED OR PRESSURE TREATED IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS' ASSOCIATION STANDARDS.

STRUCTURAL STEEL (SHOP DRAWINGS REQUIRED):

1. ROLLED SHAPES SHALL CONFORM TO ASTM A-572 OR A-992 GRADE 50 AND "THE SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC.
2. STRUCTURAL TUBING SHALL CONFORM TO ASTM A-500, GRADE B,  $F_y = 46$  KSI.
3. STRUCTURAL PIPE SHALL CONFORM TO ASTM A-53 GRADE B, TYPE E OR S,  $F_y = 35$  KSI.
4. BEAM CONNECTIONS TO TUBE COLUMNS SHALL BE A.I.S.C. THRU-PLATE TYPE UNLESS SHOWN OTHERWISE.
5. BOLTS SHALL CONFORM TO ASTM A 325 OR ASTM M90. ANCHOR BOLTS SHALL CONFORM TO ASTM A 307 OR ASTM A 36 (THREADED ROD) (U.O.N.).
6. MACHINE AND LAG BOLTS SHALL BE A-307 HOT DIPPED GALVANIZED WITH GALVANIZED WASHERS.
7. ALL STEEL ASSEMBLIES REMAINING EXPOSED (ALL STEEL NOT WITHIN PERMANENT AIR CONDITIONS SPACE) TO THE ELEMENTS THROUGHOUT THE LIFE OF THE STRUCTURE, SHALL BE HOT-DIP GALVANIZED FOLLOWING FABRICATION (FASTENERS SHALL BE MECHANICALLY GALVANIZED). ALL STEEL THAT IS NOT WITHIN AIR CONDITIONED SPACE SHALL BE CONSIDERED EXPOSED TO THE ELEMENTS. EXTERIOR STEEL FRAMING THAT IS BEING COVERED BY EXTERIOR SECONDARY FRAMING AND CLADDING AND FIRE-PROOFED SHALL BE CONSIDERED EXPOSED TO THE ELEMENTS.

SCOPE OF WORK:

1. FOUNDATION & SUPPORT DESIGN FOR NEW DECK PERGOLA POSTS AND FRAMING



ABBREVIATION:

AOR	ARCHITECT OF RECORD
ADD'	ADDITIONAL
BMW	BRICK MASONRY WALL
BOTT	BOTTOM
C/C	CENTER TO CENTER
CF	CONTINUOUS FOOTING
CMU	CONCRETE MASONRY WALL
CONT.	CONTINUOUS
CONC.	CONCRETE
D&E	DRILL & EPOXY
(ETBD)	EXISTING TO BE DEMOLISHED
(E)	EXISTING
EOR	ENGINEER OF RECORD
ETR	EXISTING TO REMAIN
HORIZ.	HORIZONTAL
MAX.	MAXIMUM
MIN.	MINIMUM
(N)	NEW
RB	ROUND BAR
RCW	REINFORCED CONCRETE WALL
REINF.	REINFORCING
SW	SHEARWALL
T/	TOP OF
TYP	TYPICAL
VERT.	VERTICAL
VIF	VERIFIED IN FIELD
WD	WOOD
WW	WOOD WALL

SHEET INDEX

SHT NO.	DESCRIPTION	Current Revision	Current Revision Date
01	STRUCTURAL DOCUMENTS		
S01	STRUCTURAL NOTES		
S02	STRUCTURAL PLANS		
S03	STRUCTURAL SECTIONS & DETAILS		

Project No.: YFG22072801  
THESE DRAWINGS, ALONG WITH THE ARCHITECTURAL DRAWINGS, AND PROJECT MANUAL CONSTITUTE A SINGULAR CONTRACT DOCUMENT AND MUST BE USED TOGETHER IN THEIR ENTIRETY IN THE CONSTRUCTION OF THIS PROJECT.  
PAPER SIZE: 24" x 36"



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REVISIONS

NO.	DESCRIPTION	DATE

PERGOLA INSTALLATION PLANS AND DETAILS  
CHART HOUSE RESTAURANT-  
NEW PERGOLA

1 CAMERON ST,  
ALEXANDRIA, VA, 22314

DESCRIPTION

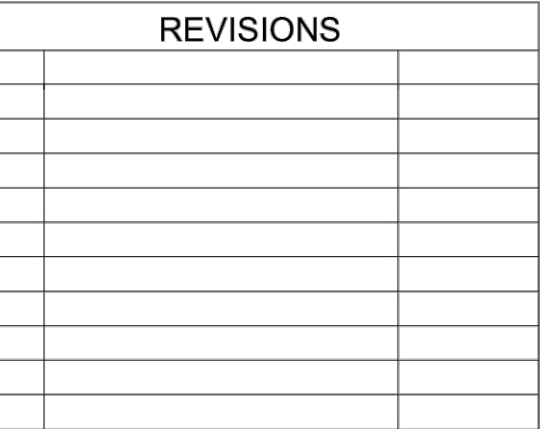
STRUCTURAL NOTES

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SHEET 12 OF 14





**PERGOLA INSTALLATION PLANS AND DETAILS**  
**CHART HOUSE RESTAURANT-**  
**NEW PERGOLA**

1 CAMERON ST.,  
ALEXANDRIA, VA, 22314

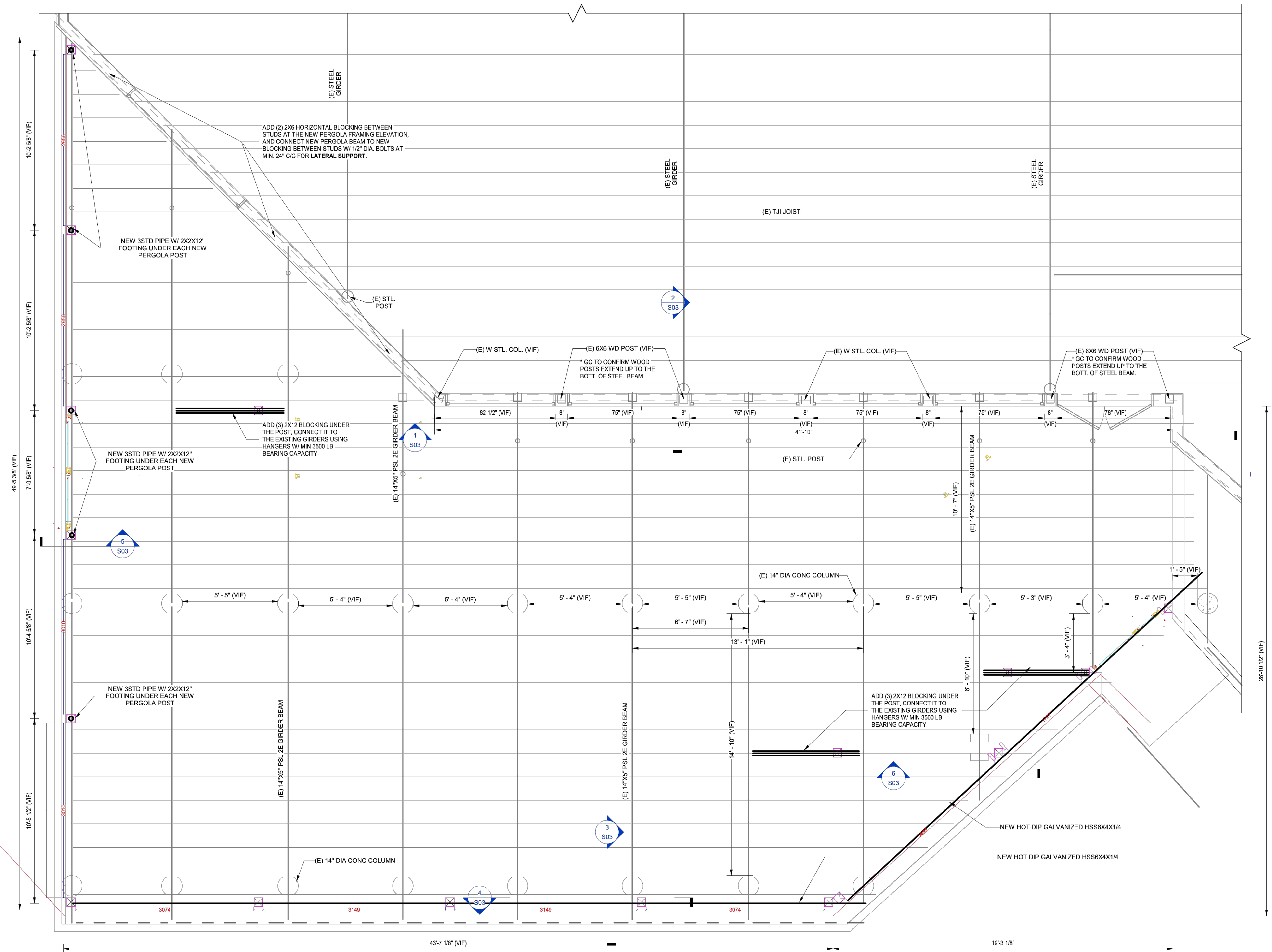
## DESCRIPTION

### STRUCTURAL PLANS

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SHEET

S02  
HEET 13 OF 14



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