

October 2, 2019

Re: DOCKET ITEM #2 - SPECIAL USE PERMIT #2019-0043 – 2500 North Van Dorn Street

Chairman Nate Macek and members of the Planning Commission,

The purpose of this letter is to share our concern, as members of the Partnership for a Healthier Alexandria, for Access to Playspaces associated with a request for a Day Care Center at 2500 North Van Dorn Street per SUP #2019-0043.

In 2012 and 2013, the Partnership for a Healthier Alexandria (PHA) and the Alexandria Childhood Obesity Action Network (A-COAN) worked with numerous City departments to conduct a Playspace assessment and develop a Playspace Policy as part of efforts to address the rising problem of childhood obesity in Alexandria. A key goal of that policy was to ensure equitable access to Playspaces by Alexandria's youth, especially children ages 2 to 5, for whom significant numbers are overweight. City Council adopted the Playspace Policy, following the Planning Commission's 7-0 vote to recommend approval in October 2013.

In 2015, the City adopted the "Fort Ward Park & Museum Area Management Plan," which included a "High Priority" action to "Clearly mark and develop two park access points from North Van Dorn Street." These access points have been sorely needed to provide safe and accessible access to Fort Ward Park for residents in Park Place Condominiums and Braddock Lee Apartments. The attached photos of existing "demand path" trails indicate both existing demand, and the unsatisfactory condition of these entrances to the Park. The potential approval of a Day Care Center at 2500 North Van Dorn Street magnifies the urgency for providing direct access points to the Park for the health and safety of up to 60 Day Care students.

With Fort Ward as the only apparent outside Playspace available to these Day care students, we would greatly appreciate your consideration of a recommendation for the City to accelerate implementation of its plans to provide the two park access points from North Van Dorn Street identified in the "Fort Ward Park & Museum Area Management Plan".

Sincerely,

//s//

Jim Durham and Candace Hill

Co-Champions, Healthy Eating and Active Living, Partnership for a Healthier Alexandria

Attachment 1 – Photos of the "Demand path" entrance to Fort Ward Park from N. Van Dorn Street

**Attachment 1 – Photos of the “Demand path” entrance to Fort Ward Park from N. Van Dorn St.**



## City of Alexandria, Virginia

---

### MEMORANDUM

DATE: SEPTEMBER 27, 2019

TO: CHAIRMAN NATE MACEK AND MEMBERS OF THE PLANNING COMMISSION

FROM: KARL MORITZ, DIRECTOR, DEPARTMENT OF PLANNING & ZONING

SUBJECT: DOCKET ITEM #2 - SPECIAL USE PERMIT #2019-0043 –  
2500 North Van Dorn Street

---

This memorandum provides the revised day care operation application from August 22 and a letter of support from the Park Place Condominium Association Board of Directors, dated September 3 for Planning Commission review. These documents were inadvertently not attached to the docket materials for SUP #2019-0043. In addition, this memorandum clarifies that the employee parking for the day care business would be determined by the Park Place Board of Directors through an amendment to Condition 8.

#### I. Revised Application

The applicant submitted a revised application on August 22 to this memorandum, as attached. The application amendments are in response to Park Place Board of Directors' concerns and to Building Code requirements that were identified during the SUP analysis. The revised application reduced the number of children, classrooms, and employees. It also adjusted the number of parking spaces to align with the zoning ordinance requirements, revised the pick-up and drop off plan, and amended the architectural plans.

#### II. Park Place Board of Directors Letter

The Park Place Board of Directors' submitted a second letter on September 3, 2019 which supported the applicant's request for a day care operation at 2500 N. Van Dorn Street. This letter is attached for Planning Commission review.

#### III. Employee Parking Area (Figure 3)

The staff report specifies that employee parking would be located in a triangular visitor parking area as noted in Figure 3 on page four. To allow the board of directors the flexibility to assign a parking location for day care business employees, staff recommends deleting Figure 3 on page four and deleting two text references to Figure 3 on page 4. In addition, staff proposes an amendment to Condition 8 to reflect that the board of directors will determine the visitor parking area for the applicant's use:

8. **CONDITION AMENDED BY PLANNING COMMISSION:** Employee parking is limited to available spaces in the visitor parking area as ~~noted in Figure 3 of the staff report~~ determined by the Park Place Board of Directors. ~~(P&Z)~~ (PC)

Although the board of directors may change the parking area for the applicant's use at any time it deems appropriate, it submitted the attached diagram on September 26, noting employee parking and pick-up and drop off areas.

Staff continues to recommend approval of SUP #2019-0043 with the deletion of references to Figure 3 on page 4 in the staff report and with the amendment to Condition 8.

- Attachments:
- 1) Revised application
  - 2) Park Place Board of Directors' letter dated September 3
  - 3) Parking diagram submitted by the Park Place Board of Directors



# APPLICATION

## SPECIAL USE PERMIT

SPECIAL USE PERMIT # \_\_\_\_\_

PROPERTY LOCATION: 2500 N. VAN DYK ST. Alexandria, VA 22304 #100

TAX MAP REFERENCE: 21.01 ZONE: R-C

**APPLICANT:**

Name: Zuleima L. Villa

Address: 9017 Lincolnwood dr. Burke, VA 22015

PROPOSED USE: Daycare Center

**THE UNDERSIGNED**, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

**THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

**THE UNDERSIGNED**, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Zuleima L. Villa  
Print Name of Applicant or Agent  
9017 Lincolnwood dr.  
Mailing/Street Address  
Burke, VA 22015  
City and State Zip Code

[Signature] 4.22.19  
Signature Date  
571.205.0556  
Telephone # Fax #  
ZVilla@yahoo.com  
Email address

ACTION-PLANNING COMMISSION: \_\_\_\_\_ DATE: \_\_\_\_\_  
ACTION-CITY COUNCIL: \_\_\_\_\_ DATE: \_\_\_\_\_

SUP # \_\_\_\_\_

**PROPERTY OWNER'S AUTHORIZATION**

As the property owner of 2500 N Van Dorn St., Alexandria VA 22314, I hereby  
(Property Address)  
grant the applicant authorization to apply for the Daycare use as  
(use)  
described in this application.

Name: Zuleima Villa (with permission)

Phone: 571-205-0556

Please Print

Address: 9617 Linconlwood Dr., Burke, VA 22015

Email: zvilla@yahoo.com

Signature: 

Date: 06/10/19

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

Required floor plan and plot/site plan attached.

Requesting a waiver. See attached written request.

2. The applicant is the (check one):

Owner

Contract Purchaser

Lessee or

Other: \_\_\_\_\_ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

Khem Batra, 8878 Hoes Rd., Lorton, VA 22079, 0%

Zuleima L. Villa, 9617 Lincolnwood Dr., Burke, VA 22015, 80%

Marcela Villa, 249 Old Stone Crossing, Lexington, NC 27292, 10%

Francisco Villa, 249 Old Stone Crossing, Lexington, NC 27292, 10%

Thursday, January 17, 2019

## Letter of Representation / Power of Attorney

Re: Property at 2500 N Van Dorn St., Alexandria VA  
Tenant: Zuleima L. Villa  
Effective: January 17, 2019  
Expires: January 31, 2021

---

I, Khem Batra, , hereby appoint Zuleima L. Villa, and it's agents, to act on my behalf in any lawful way with respect to the following subjects described below.

Ms. Villa shall have full power and authority to act on my behalf in regards to all issues involving my above referenced property, and all aspects to renovate the property, including the solicitation of permits from the appropriate agencies. (the "Scope of Representation").

I hereby authorize you, agent(s), representative(s), and assign(s)s to discuss, negotiate, approve or otherwise communicate regarding any and all issues within the above described Scope of Representation with my Agent.

I also hereby authorize you to release and provide any and all information related to the issues within the above described Scope of Representation to my Agent including but not limited to, any and all blue prints, legal records, disclosure(s), and any and all correspondence to, from, or about me or about the issues within the above described Scope of Representation.

I authorize that a copy or electronic representation of this form, which includes my signature may be deemed to be the equivalent of the original and may be used as duplicate original.

I agree that any third party who receives a copy of this document may act under it.

Your prompt adherence to this request is appreciated.

Khem C Batra ZLV  
Khem Batra, on behalf of Rayan & Jayin, LLC

1/17/2019  
Date:

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Khem Batra	8878 Hoes Rd Lexington, VA 22079	0%
2. Zuleima L. Villa	9017 Lincolnwood dr. Burke, VA 22015	80%
3. Marcela Villa	244 Old Stone Crossing Lexington, NC 27292	10%
4. Francisco Villa	(same as above ↑)	10%

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Khem Batra	8878 Hoes Rd. Lexington, VA 22079	0%
2. Zuleima L. Villa	9017 Lincolnwood dr. Burke, VA 22015	80%
3. Marcela Villa	244 Old Stone Crossing	10%
4. Francisco Villa	Lexington NC 27292	10%

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

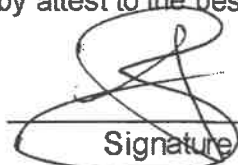
For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here.](#)

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Khem Batra	none	none
2. Zuleima L. Villa	none	none
3. Marcela Villa	none	none
Francisco Villa	none	none

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

06/10/19 Zuleima Villa  
Date Printed Name

  
Signature



SUP # \_\_\_\_\_

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

**Yes.** Provide proof of current City business license

**No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

**NARRATIVE DESCRIPTION**

**3.** The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

~~The planned operation and use shall be for childcare. Going through all the licensing requirements by the state and county, we plan to provide childcare services to the local community. For children as young as 3mos through 5yrs of age. We plan to divide the children in the different age groups and provide age-appropriate care for each group through qualified and trained staff. All in accordance with the Department of Social Services of the state of Virginia.~~  
The center will have daily schedules and activities planned daily for the children and will assure care and safety for all students.

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

**USE CHARACTERISTICS**

4. The proposed special use permit request is for (check one):
- a new use requiring a special use permit,
  - an expansion or change to an existing use without a special use permit,
  - an expansion or change to an existing use with a special use permit,
  - other. Please describe: \_\_\_\_\_

5. Please describe the capacity of the proposed use:

- A. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).

6pm

60 ~~XXX~~ Students between 7am - ~~XXXX~~

- B. How many employees, staff and other personnel do you expect?  
Specify time period (i.e., day, hour, or shift).

10 employees, shifts would alternate a.m. / p.m.

6. Please describe the proposed hours and days of operation of the proposed use:

Day:	Hours:
Mon-Fri	7am - <del>XXXX</del> 6pm
_____	_____
_____	_____
_____	_____

7. Please describe any potential noise emanating from the proposed use.

- A. Describe the noise levels anticipated from all mechanical equipment and patrons.

Children playing, singing laughing

- B. How will the noise be controlled?

through activities with children

8. Describe any potential odors emanating from the proposed use and plans to control them:

Dirty diapers, food from lunch (in trash)  
will utilize diaper pails, constant change  
of trash bags

9. Please provide information regarding trash and litter generated by the use.

A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

Dirty diapers, paper, crafts, food wrappers

B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

4 trash bags per day

C. How often will trash be collected?

daily

D. How will you prevent littering on the property, streets and nearby properties?

have available bins all around entrances/exits

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

[ ] Yes.

No.

If yes, provide the name, monthly quantity, and specific disposal method below:

\_\_\_\_\_  
 \_\_\_\_\_

SUP # \_\_\_\_\_

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes.  No.

If yes, provide the name, monthly quantity, and specific disposal method below:

---

---

---

12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?

Follow DSS procedures for children safety,  
monthly inspections + drills, logs +  
check-in/out of all patrons/employees

### ALCOHOL SALES

13.

A. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes  No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

---

---

---

---

SUP # \_\_\_\_\_

**PARKING AND ACCESS REQUIREMENTS**

14. A. How many parking spaces of each type are provided for the proposed use:

- \_\_\_\_\_ Standard spaces
- \_\_\_\_\_ Compact spaces
- \_\_\_\_\_ Handicapped accessible spaces.
- \_\_\_\_\_ Other.

Planning and Zoning Staff Only Required number of spaces for use per Zoning Ordinance Section 8-200A _____ Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No
---

B. Where is required parking located? (check one)

on-site

off-site

If the required parking will be located off-site, where will it be located?

**PLEASE NOTE:** Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

Parking reduction requested; see attached supplemental form

15. Please provide information regarding loading and unloading facilities for the use:

A. How many loading spaces are available for the use? 1

Planning and Zoning Staff Only Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____ Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No
--

See attached addendum\*

Attachment for question 15a:

The daycare does not require daily loading/unloading for operation. The only things that may be unloaded is groceries for the snacks and that would be done on Saturdays, on days that the Daycare is closed.

SUP # \_\_\_\_\_

B. Where are off-street loading facilities located? \_\_\_\_\_  
N. Van dem st.

C. During what hours of the day do you expect loading/unloading operations to occur?  
NA

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?  
1x per week during non-business hours

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?  
adequate

**SITE CHARACTERISTICS**

17. Will the proposed uses be located in an existing building?  Yes  No  
Do you propose to construct an addition to the building?  Yes  No  
How large will the addition be? \_\_\_\_\_ square feet.

18. What will the total area occupied by the proposed use be?  
2,100 sq. ft. (existing) + \_\_\_\_\_ sq. ft. (addition if any) = 2,100 sq. ft. (total)

19. The proposed use is located in: (check one)  
 a stand alone building  
 a house located in a residential zone  
 a warehouse  
 a shopping center. Please provide name of the center: \_\_\_\_\_  
 an office building. Please provide name of the building: \_\_\_\_\_  
 other. Please describe: administration building

End of Application

City of Alexandria, Virginia, Planning and Zoning Department  
Day Care Drop-Off/Pickup Plan for Special Use Permit Staff Review

In addition to completing this form, please submit a site plan that identifies the building, the location of off-street parking spaces, and the movement of vehicles during drop-off and pick-up times.

Return to: SUP Planner, Department of Planning and Zoning, Room 2100, City of Alexandria, VA, 22314.

1. Name of day care establishment:

OUR FIRST STEPS

2. Address:

2500 N VAN DORN ST, ALEXANDRIA, VA 22302

3. Business owner:

ZULEIMA L VILLA

4. Business owner phone and email:

571-205-0556 ZLVILLA@YAHOO.COM

5. Description of day care establishment:

DAY CARE CENTRE CATERING TO CHILDREN AGES: 3 MONTHS  
5 ~~XIX~~ YEARS OLD.



14-15

6. Number of children at the site at any one time and their ages:

60 ~~33~~ CHILDREN (~~33~~ CHILDREN PER AGE GROUP)

~~18-24~~ ~~25-31~~ ~~32-38~~ ~~39-45~~ ~~46-52~~ ~~53-59~~ ~~60+~~  
~~1/2~~ ~~1~~ ~~2~~ ~~3~~ ~~4~~ ~~5~~ ~~6~~ ~~7~~ ~~8~~ ~~9~~ ~~10~~ ~~11~~ ~~12~~ ~~13~~ ~~14~~ ~~15~~ ~~16~~ ~~17~~ ~~18~~ ~~19~~ ~~20~~ ~~21~~ ~~22~~ ~~23~~ ~~24~~ ~~25~~ ~~26~~ ~~27~~ ~~28~~ ~~29~~ ~~30~~ ~~31~~ ~~32~~ ~~33~~ ~~34~~ ~~35~~ ~~36~~ ~~37~~ ~~38~~ ~~39~~ ~~40~~ ~~41~~ ~~42~~ ~~43~~ ~~44~~ ~~45~~ ~~46~~ ~~47~~ ~~48~~ ~~49~~ ~~50~~ ~~51~~ ~~52~~ ~~53~~ ~~54~~ ~~55~~ ~~56~~ ~~57~~ ~~58~~ ~~59~~ ~~60~~ ~~61~~ ~~62~~ ~~63~~ ~~64~~ ~~65~~ ~~66~~ ~~67~~ ~~68~~ ~~69~~ ~~70~~ ~~71~~ ~~72~~ ~~73~~ ~~74~~ ~~75~~ ~~76~~ ~~77~~ ~~78~~ ~~79~~ ~~80~~ ~~81~~ ~~82~~ ~~83~~ ~~84~~ ~~85~~ ~~86~~ ~~87~~ ~~88~~ ~~89~~ ~~90~~ ~~91~~ ~~92~~ ~~93~~ ~~94~~ ~~95~~ ~~96~~ ~~97~~ ~~98~~ ~~99~~ ~~100~~

7. Number of classrooms:

2 ~~1~~ CLASSROOMS

8. Number of employees on-site at any one time:

6 ~~1~~ EMPLOYEES

9. Overall hours of operation:

7 AM TO <sup>6pm</sup> ~~7~~ PM

10. Peak times of drop-off/pickup

7 AM TO <sup>9</sup> 8:30 AM MORNING 3 6  
~~8~~ PM TO ~~7~~ PM AFTERNOON

11. Number of off-street parking spaces available for the day care use:

- A. Number for employees: ~~3~~ 4
- B. Number for parents/guardians (if parking and walking children into site during drop-off/pickup): ~~1~~ 3
- C. Total Number: ~~4~~ 7

12. Method of transferring children between staff and parents/guardians:

- 100% ~~100%~~ Parents/guardians will park vehicles and walk children to meet daycare center staff. (PARENTS W/ INFANTS)
- ~~100%~~ Parents/guardians will wait in their vehicles in driveway/parking area and daycare center staff will meet children at vehicle. (PARENTS W/ TODDLERS)
- Other, please describe.

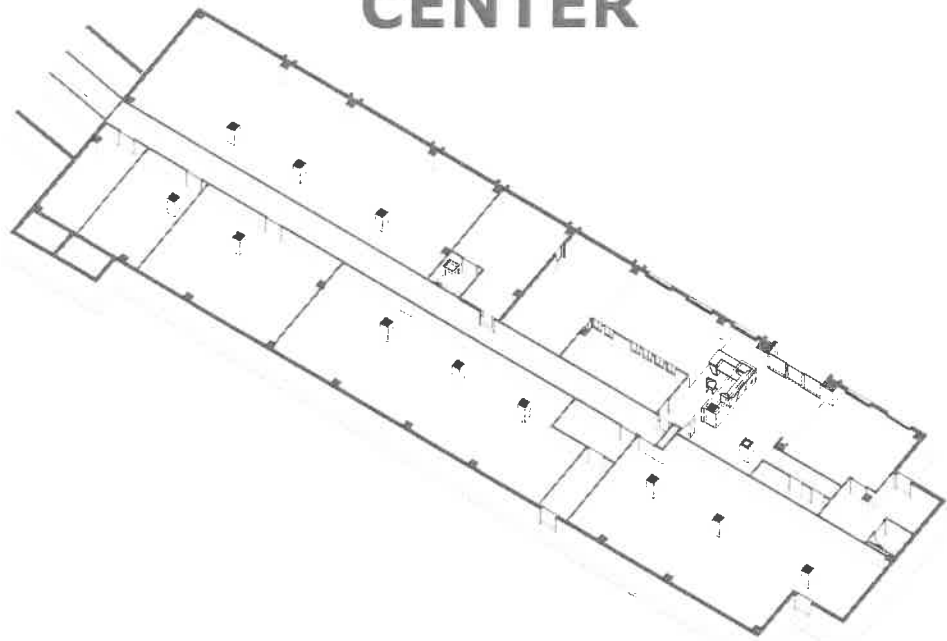
13. Written description of drop-off/pickup plan including direction of travel for vehicles entering/exiting site. Attach a site plan that illustrates the proposed plan including the building, the location of off-street parking spaces, and the movement of vehicles during drop-off and pickup times.

1- VEHICLES WILL ENTER PARKING AREA THROUGH EITHER  
ONE OF THE ENTRANCES LOCATED ALONG N VAN DORN ST  
AND CIRCULATE TO PICK-UP AND DROP-OFF AREA/SIDEWALK

2- CHILDREN ARE DROPPED-OFF OR PICKED-UP

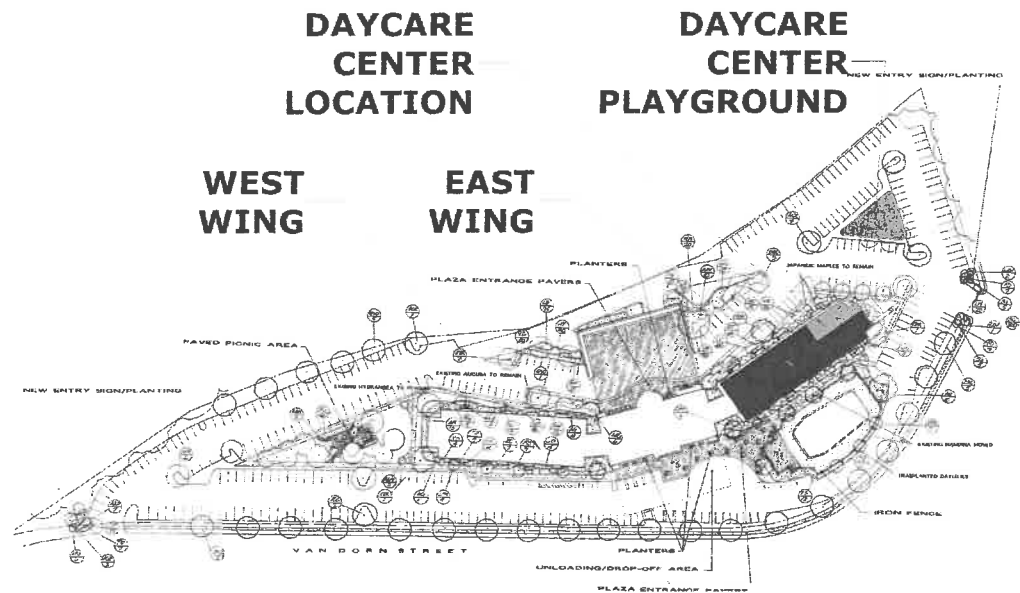
3- VEHICLES WILL EXIT PARKING AREA THROUGH EITHER  
ONE OF THE ENTRANCES LOCATED ALONG N. VAN DORN ST.

# 2500 N VAN DORN ST DAYCARE CENTER



**2019-08-22 - SPECIAL PERMIT USE SET**  
2500 N VAN DORN ST, ALEXANDRIA, VA 22302

**SITE PLAN - EXISTING - DAYCARE CENTER LOCATION**



## CODE'S SUMMARIES

**SCOPE OF WORK:**  
1. NEW DAYCARE CENTER  
2. NEW INTERIOR LAYOUT RE-UTILIZING THE PREVIOUS TENANT LAYOUT

2.0 ZONING ANALYSIS SUMMARY			
PROJECT NAME:	2500 N VAN DORN ST DAYCARE CENTER		
PROJECT ADDRESS/UNIT:	2500 N VAN DORN ST, ALEXANDRIA, VA 22302		
ZONING CODE:	ALEXANDRIA ZONING ORDINANCE		
	REQUIRED	EXISTING	PROPOSED
4 LEGAL DESCRIPTION	LOT 3856 01 01-1 S/D PAR 3856 01 FT WARD TOWERS		UNCHANGED
5 MAP BLOCK LOT No	021.01-09-00		UNCHANGED
6 DENSITY	Gross density shall not exceed 54.45 dwelling units per acre.		UNCHANGED
7 ZONING	RC		UNCHANGED
8 LOT AREA	800 SF X UNIT	269,183 SF	UNCHANGED
9 LOT SIZE (APPROX)	N/A	WIDTH = 1,260 FT DEPTH = 380 FT FRONT = N/A FT	UNCHANGED
10 UNDEVELOPED OPEN SPACE	320 SF X UNIT		UNCHANGED
11 YARDS / SETBACKS	FRONT - 0' SIDE - 1' REAR - 1'		UNCHANGED
12 BUILDING HEIGHT	150 FT		UNCHANGED
13 FAR	1.25		UNCHANGED

1.0 BUILDING CODE ANALYSIS SUMMARY			
CODE/ EDITION:	2018 Virginia Construction Code 2018 Virginia Existing Building Code 2018 Virginia Maintenance Code 2018 Virginia Amusement Device Regulations 2018 Virginia Certification Standards 2018 Virginia Industrialized Building Safety Regulations 2018 Building and Related Laws Package 2018 Virginia Statewide Fire Prevention Code (Effective 10-16-18)		
	REQUIRED	EXISTING	PROPOSED
2 OCCUPANCY/ USE CLASSIFICATION	N/A	B	I-4
3 MIXED USE BUILDING:	N/A	RESIDENTIAL OFFICE MERCANTILE	RESIDENTIAL INSTITUTIONAL
4 CONSTRUCTION TYPE:	N/A	1A	UNCHANGED
5 OCCUPANT LOAD	N/A	N/A	SEE SHEET A101B
6 SCOPE OF WORK AREA:	N/A	N/A	2,100 SF
7 NUMBER OF STORIES:	N/A	15 STORIES	UNCHANGED
8 BUILDING HEIGHT	UNLIMITED	145 FT	UNCHANGED
9 BUILDING SPRINKLED	YES - PARKING / STORAGE	YES - PARKING / STORAGE	YES - DAYCARE AREA
10 FIRE ALARM	YES	YES	DAYCARE AREA
11 STANDPIPES	YES	YES	UNCHANGED
12 OTHER FIRE PROTECTION SYSTEM	NO	NO	UNCHANGED
13 ACCESSIBILITY OF BUILDING	YES	YES	UNCHANGED
14 MODIFICATION REQUEST	NO	NO	UNCHANGED
15 MEANS OF EGRESS	FOUR EXITS	UNCHANGED	UNCHANGED
16 INTERIOR PARTITION	RATED (1 HR RATED)	RATED (1 HR RATED)	UNCHANGED
17			
18			

## GENERAL NOTES

- A. GENERAL NOTES:**
- COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION, & DRAINAGE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT.
  - VERIFY FIELD CONDITIONS AND COORDINATE WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES OR CONFLICTS IN OR AMONG THE CONTRACT DOCUMENTS TO THE OWNER/ARCHITECT/DESIGNER FOR DIRECTION. CLARIFICATION, REVISION OR RESOLUTION BEFORE PROCEEDING WITH ANY OF THE WORK IN QUESTION.
  - COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE PROJECT DOCUMENTS.
  - THESE GENERAL NOTES AND TYPICAL WRITTEN DETAILS APPLY THROUGHOUT THE DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN.
- B. DEFINITIONS:**
- "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.
  - "USUAL" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPATIBLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.
  - "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS, SHALL BE PROVIDED.
  - "ALONG" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, AND PLUMB RELATION TO ADJACENT MATERIALS.
- C. DIMENSIONS:**
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS/HER SUBCONTRACTORS. INFORM THE OWNER/ARCHITECT/DESIGNER OF ANY DISCREPANCIES. DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
  - DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID, FACE OF CONCRETE WALL, NOMINAL FACE OF CMU WALL, FACE OF PARTITION TYPE AS SCHEDULED, UOM
  - ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE
  - PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER: 1) MIN DIMENSION FOR ACCESSIBILITY CLEARANCE & BUILDING CODE, 2) LARGE SCALE DETAILS, 3) SMALL SCALE DETAILS, 4) ENLARGED VIEWS, 5) FLOOR PLANS AND ELEVATIONS.
  - FLOOR ELEVATIONS ARE INDICATED TO THE FACE OF THE STRUCTURAL SLAB, UNLESS OTHERWISE NOTED.
  - VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL AT THE GIVEN POINT, UNLESS NOTED ABOVE FINISH FLOOR -"AFF".
  - CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED
  - SUSPENDED CEILING SYSTEM OR FACE OF FINISH MATERIAL AS SCHEDULED
  - DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED SIZE, CLEARANCE, AND
  - DIRECTIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.
- D. EXECUTION:**
- PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS, UNLESS OTHERWISE NOTED.
  - COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS, AND SYSTEMS PROVIDED BY THE OWNER.
  - IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
  - THE DRAWINGS ARE INTENDED FOR OBTAINING A PERMIT TO CONSTRUCT FOR THE CITY/COUNTY AND ONLY SHOW THE GENERAL SCOPE OF DRAWINGS FOR THAT PURPOSE AND IN NO WAY ARE TO BE CONSTRUED AS TOTALLY COMPREHENSIVE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING WORK IS CONSIDERED DESIGN-BUILD BY THE CONTRACTOR.
  - THE CONTRACTOR WARRANTS THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE NEW AND THAT ALL WORK SHALL BE PERFORMED BY LABOR SKILLED IN THE TASK BEING PERFORMED AND THAT THE WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO MAKE ALL NECESSARY PENETRATIONS THROUGH WALLS, FLOORS, ROOFS AND CEILINGS FOR ALL PIPES, ETC., WHETHER OR NOT SUCH PENETRATIONS ARE SPECIFICALLY SHOWN ON THE ARCHITECTURAL DRAWINGS.
  - THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, EXECUTION AND PROTECTION OF ALL OPERATIONS NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE SCOPE OF WORK AND THE CONTRACT.
  - THE CONTRACTOR SHALL PAY ALL APPLICABLE TAXES AND FEES AND SHALL SECURE AND PAY FOR ALL PERMITS NECESSARY FOR COMPLETION OF THE WORK.
  - AT THE COMPLETION OF THE JOB, THE CONTRACTOR SHALL PROVIDE GUARANTEES COVERING ALL MATERIALS AND WORKMANSHIP PERFORMED BY HIM AND HIS SUBCONTRACTORS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL TURN OVER TO THE OWNER ALL GUARANTEES OF ALL MATERIALS USED IN THE WORK OF THE CONTRACT.
  - THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CHANGES MADE BY THE CONTRACTOR, HIS FORCE, OR THE OWNER DURING CONSTRUCTION. THE PROJECT IS NOT SUBJECT TO SUPERVISION BY THE ARCHITECT DURING CONSTRUCTION.
- E. BIDDING:**
- BEFORE SUBMITTING PROPOSALS BIDDERS SHALL CAREFULLY EXAMINE THE DRAWINGS AND NOTES, VISIT THE SITE AND ACCUPLY THEMSELVES WITH ALL GOVERNING ORDINANCES, LAWS, ETC., AND OTHERWISE FAMILIARIZE THEMSELVES WITH ALL MATTERS WHICH AFFECT PERFORMANCE OF THE WORK. THE ACT OF SUBMITTING A PROPOSAL SHALL BE CONSIDERED AS MEANING THAT THE BINDER HAS SO FAMILIARIZED HIMSELF AND THEREFORE NO COMMISSION WILL BE GRANTED RELEASABLE OF ANY CLAIM OR MISUNDERSTANDING OR LACK OF INFORMATION.
- F. ROUGH CARPENTRY:**
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND SUPERVISION NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
  - ALL SILLS, HEADER BEAMS AND BASE PLATES ON MASONRY AND/OR CONCRETE FOUNDATIONS SHALL BE LOCATED WITHIN 3" OF THE GROUND TO BE PRESSURE TREATED PAIR, SIZE AS SHOWN. INSTALL OVER A LAYER OF 3/4" FOAM AND ATTACH SECURELY.
  - STUDS TO BE NORMAL 2X4, 2X6, 2X8 WHERE INDICATED, 16" OR SHORTER, "STUD" OR NO. 2 STRUCTURAL LIGHT FRAMING GRADE. ANY SPECIES GRADED UNDER FIPPA, WCLCS, SPECIES W/CLAS RULERS.
  - PLYWOOD: PROVIDE APA GRADED PANELS COMPLYING WITH PS 1/888 AT 96, FOR TYPE OF APPLICATIONS INDICATED.
  - FASTENERS: HOT DIPPED GALVANIZED, ASTM A 133 STEEL FOR HIGH HUMIDITY AND TREATED WOOD LOCATIONS.
- G. DESIGN LOADS:**
- GROUND ROOF SNOW LOAD: 25 PSF
  - WIND SPEED: 80 MPH
  - SEVERE WIND CATEGORY: SEVERE
  - WEATHERING: SLIGHT TO MOD
  - DECAT: MODERATE TO HEAVY
  - TEMPERATURE: 15 F
  - WINTER DESIGN TEMPR: 24 INCHES
  - FROST LINE DEPTH: 24 INCHES
  - ICE SHELD UNDERLAY: YES
  - APR FREEZING INDEX: <1500 F
  - MEAN ANNUAL TEMP: 55 F
  - FLOOD HAZARD: 50-59-1990
  - LINE LOAD: 40 PSF
  - SOIL BEARING CAPACITY: 1,500 LBS
  - CONC FOUNDATION: 2,000 PSF
  - CONC EXPOSED TO WEATHER AND GARAGE: 3,500 PSF

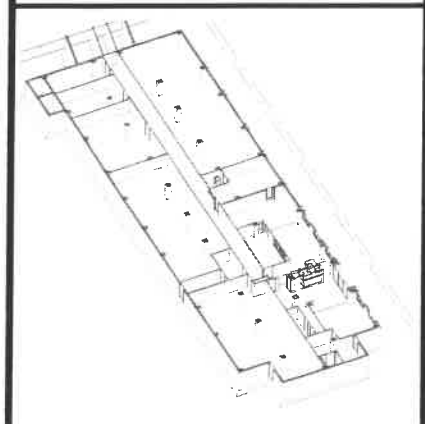
## DRAWING LIST

DRAWING LIST	
Sheet Number	Sheet Name
A100	COVER SHEET
A102	EXISTING PHOTOS
A103	WING PLAN
A104	DAYCARE PLAN DETAILS - PHASE 1
A101	OCCUPANT LOAD AND EXIT
A105	DAYCARE PLAN DETAILS - PHASE 2

Architect:  
**ARIMSE ARCHITECTS**  
ARIMSEARCHITECTURE.COM  
703-662-1115

Project Name:  
**2500 N VAN DORN ST DAYCARE CENTER**  
2500 N VAN DORN ST, ALEXANDRIA, VA 22302

Client:  
**LIZ VILLA**



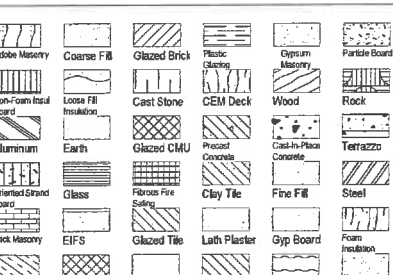
## LOCATION MAP



## CONSULTANTS

Contractor:  
  
Civil and Structural Engineer:  
  
Mechanical Lien's Agent:

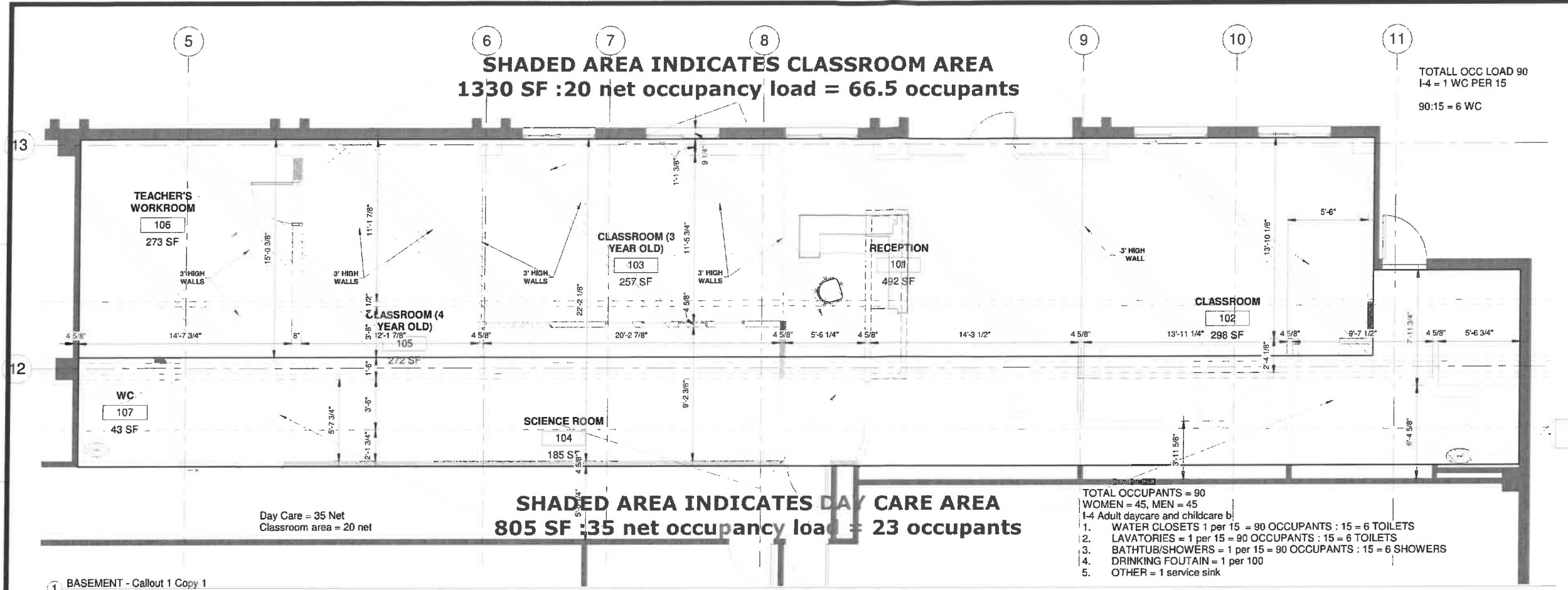
## MATERIALS LEGEND



## COVER SHEET

North:  
Project No.:  
Project Number  
Drawn by:  
Author  
Checked by:  
Checker  
Stamp:  
Scale:  
As indicated  
Date:  
8/22/2019 2:04:46 AM

Drawing No.:  
**A100**



**SHADED AREA INDICATES CLASSROOM AREA**  
 1330 SF :20 net occupancy load = 66.5 occupants

TOTAL OCC LOAD 90  
 1-4 = 1 WC PER 15  
 90:15 = 6 WC

**SHADED AREA INDICATES DAY CARE AREA**  
 805 SF :35 net occupancy load = 23 occupants

TOTAL OCCUPANTS = 90  
 WOMEN = 45, MEN = 45  
 1-4 Adult daycare and childcare b)  
 1. WATER CLOSETS 1 per 15 = 90 OCCUPANTS : 15 = 6 TOILETS  
 2. LAVATORIES = 1 per 15 = 90 OCCUPANTS : 15 = 6 TOILETS  
 3. BATHTUB/SHOWERS = 1 per 15 = 90 OCCUPANTS : 15 = 6 SHOWERS  
 4. DRINKING FOUNTAIN = 1 per 100  
 5. OTHER = 1 service sink

Day Care = 35 Net  
 Classroom area = 20 net

① BASEMENT - Callout 1 Copy 1  
 1/4" = 1'-0"

Drawing Title:  
**OCCUPANT LOAD AND EXIT**

North: 	Project No.:	Project Number
	Drawn by:	Author
	Checked by:	Checker
Stamp:	Scale:	1/4" = 1'-0"
	Date:	8/22/2019 2:04:48 AM

Drawing No.:  
**A101**



Architect:  
**ARIMSE ARCHITECTS**  
 ARIMSEARCHITECTURE.COM  
 703-662-1115



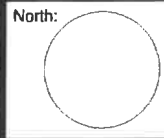
Project Name:  
**2500 N VAN DORN ST  
 DAYCARE CENTER**  
 2500 N VAN DORN ST, ALEXANDRIA, VA 22302

Client:  
**LIZ VILLA**



Revision No.:  
 Date:  
 Revision Name:

Drawing Title:  
**EXISTING PHOTOS**

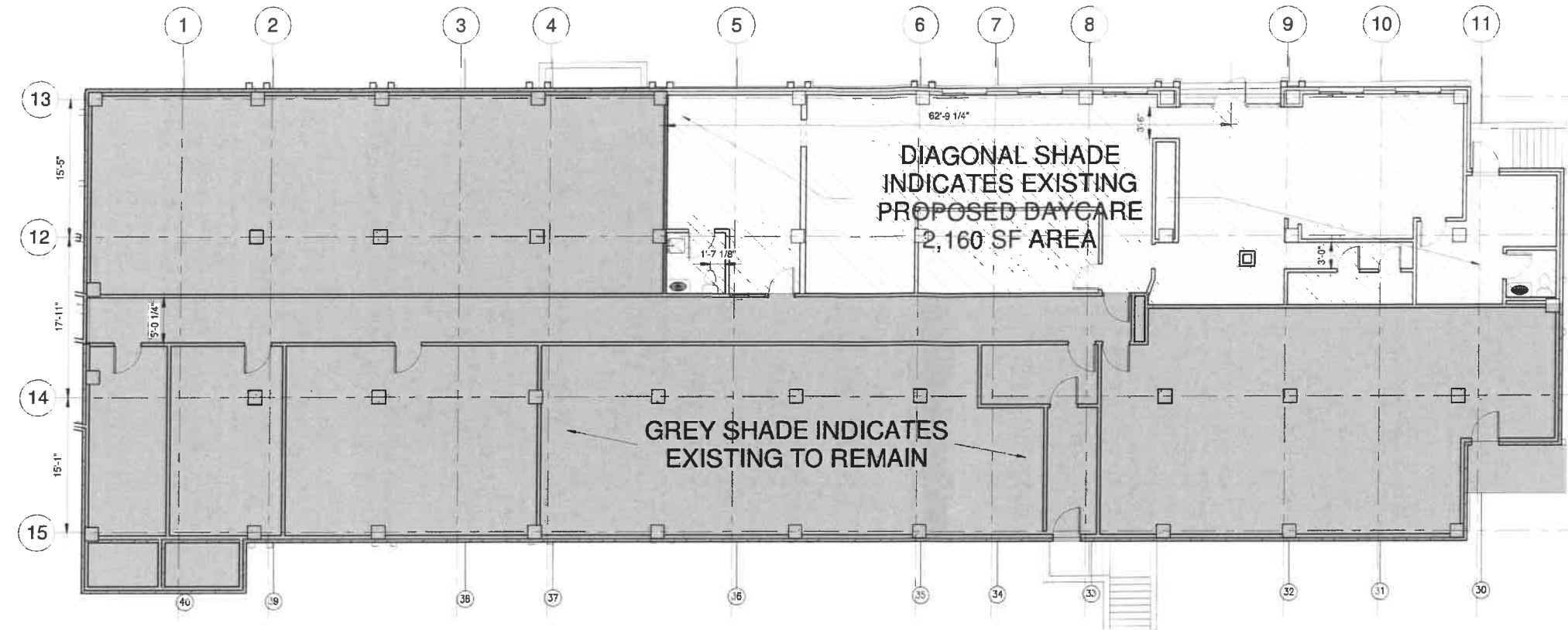


Project No.:  
**Project Number**  
 Drawn by:  
**Author**  
 Checked by:  
**Checker**

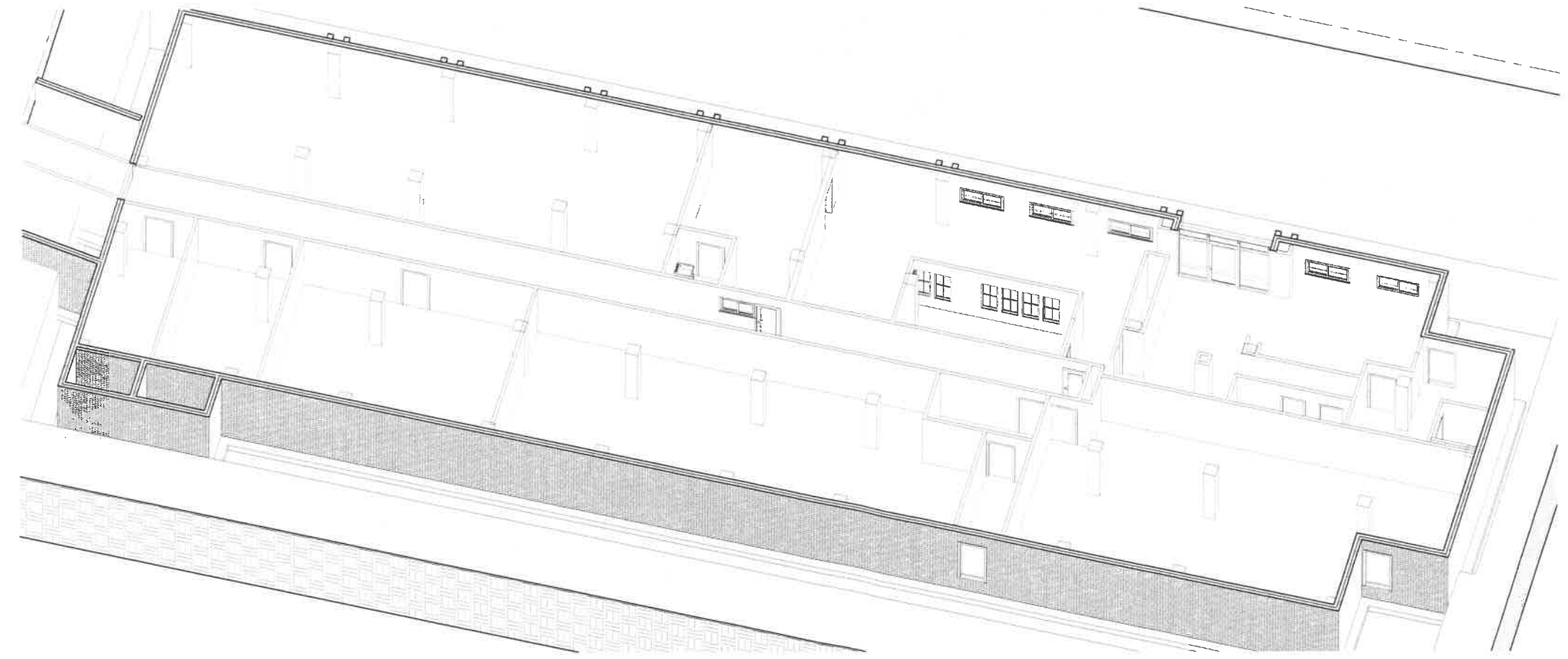
Stamp:

Scale:  
 Date:  
**8/22/2019 2:04:48 AM**

Drawing No.:  
**A102**



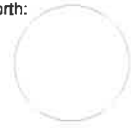
1 BASEMENT  
 1/8" = 1'-0"



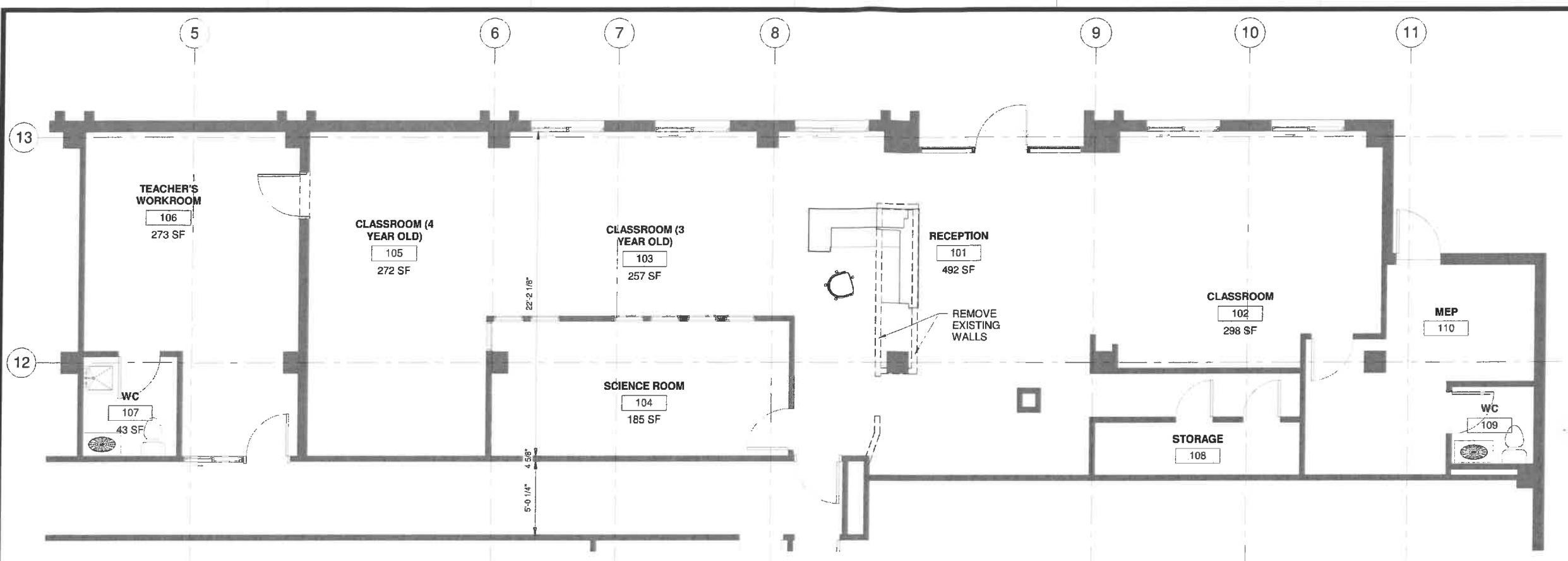
2 (3D) Copy 1 Copy 1

Revised:	Date:	Revised Name:
----------	-------	---------------

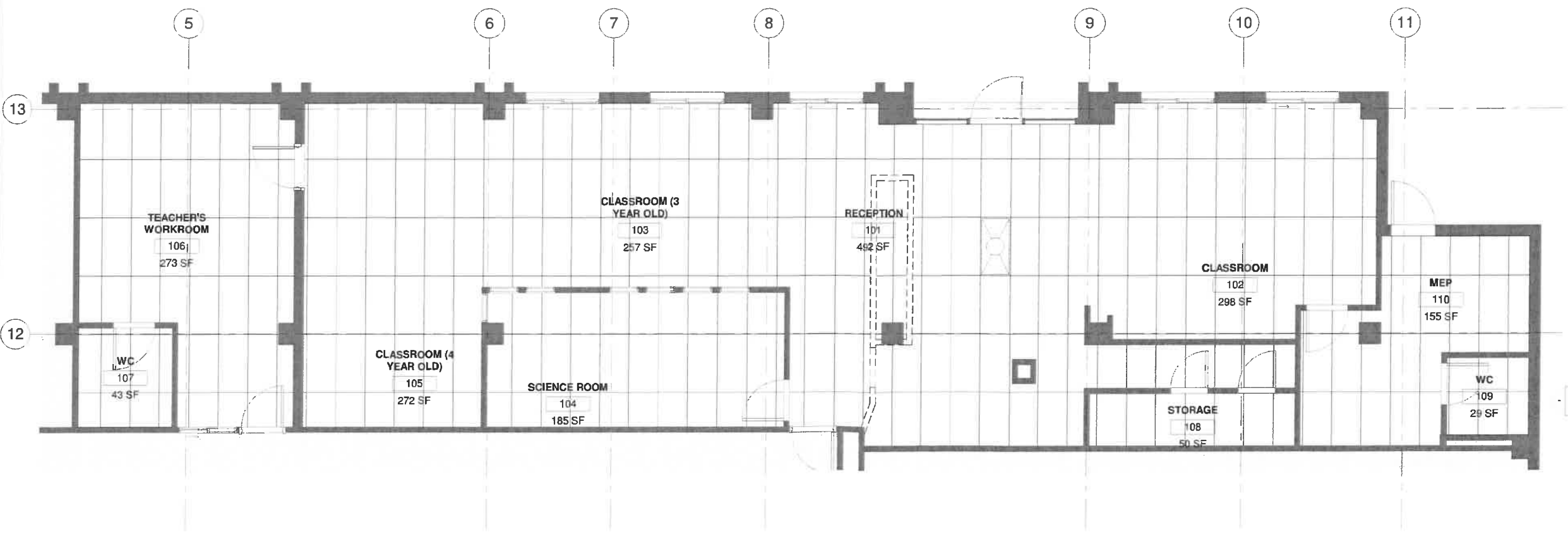
Drawing Title:  
**WING PLAN**

North: 	Project No.:	Project Number
	Drawn by:	Author
Stamp:	Checked by:	Checker
	Scale:	1/8" = 1'-0"
	Date:	8/22/2019 2:04:54 AM

Drawing No.:  
**A103**



① DAYCARE PLAN DETAILS - PHASE 1  
 1/4" = 1'-0"



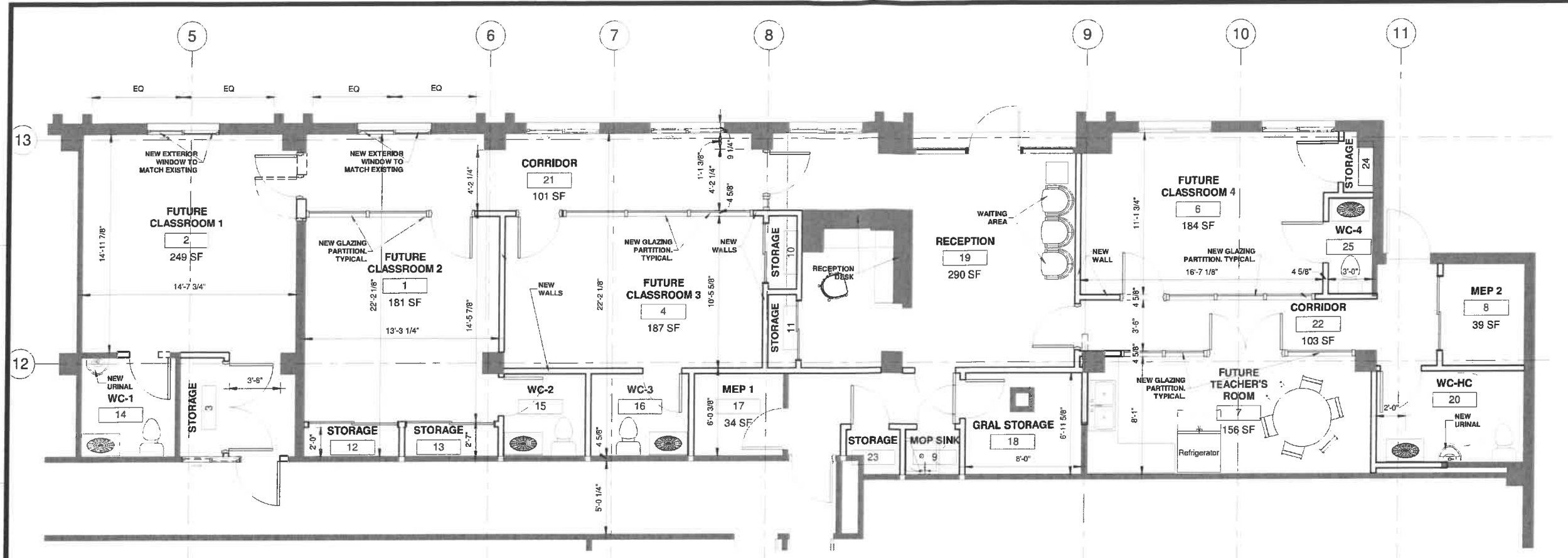
② DAYCARE RCP DETAILS - PHASE 1  
 1/4" = 1'-0"

Drawing Title:  
**DAYCARE PLAN  
 DETAILS - PHASE 1**

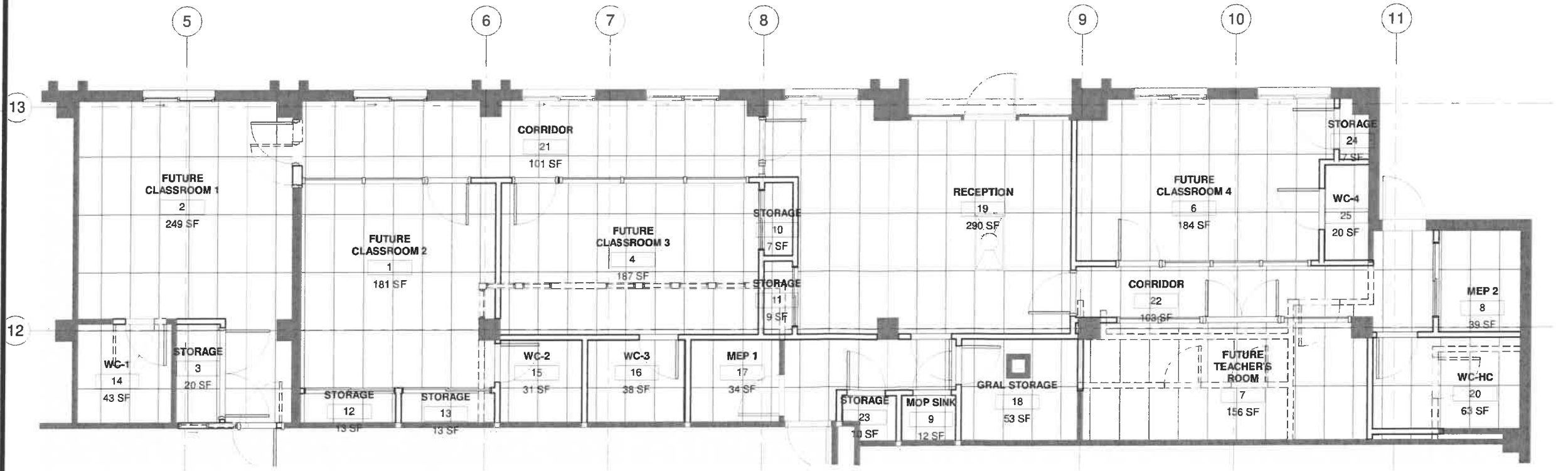
North:	Project No.:	Project Number
	Drawn by:	Author
Stamp:	Checked by:	Checker
	Scale:	1/4" = 1'-0"
	Date:	8/22/2019 2:04:57 AM

Drawing No.:

# A104



1 DAYCARE PLAN DETAILS - PHASE 2  
 1/4" = 1'-0"



2 DAYCARE RCP DETAILS - PHASE 2  
 1/4" = 1'-0"

Drawing Title:  
**DAYCARE PLAN  
 DETAILS - PHASE 2**

North:	Project No.:	Project Number
	Drawn by:	Author
Stamp:	Checked by:	Checker
	Scale:	1/4" = 1'-0"
	Date:	8/22/2019 2:05:01 AM

Drawing No.:  
**A105**





From: Park Place Board of Directors  
2500 North Van Dorn Street  
Suite 118  
Alexandria, VA 22302  
[bod@parkplaceva.com](mailto:bod@parkplaceva.com)

To: Department of Planning and Zoning  
City of Alexandria  
Room 2100  
City Hall  
301 King Street  
Alexandria, VA 22314  
[Max.Ewart@alexandriava.gov](mailto:Max.Ewart@alexandriava.gov)

Date: September 3, 2019

Mr. Ewart,

Thank you for your willingness to meet with the daycare owner and the Association's General Manager on August 15, 2019 to identify workable proposals for SUP #2019-0043 and for also attending our Board meeting on August 22nd.

The Park Place Board of Directors is pleased to provide this updated submission to the City documenting that the issues raised in our letter dated August 9 and subsequent email on August 12 have been resolved.

At our August 22 Board meeting, the Board approved the revised parking plan you provided to us in your August 15, 2019 meeting minutes. We approved the use of available parking in the back triangle along 395 for daycare employees. We also approved reserving three spots adjacent the loading zone outside Unit 100 from 7 a.m. to 6 p.m. during weekdays.

Liz Villa, the owner of the daycare also attended the August 22nd Board meeting. She and her architect agreed they would comply with all city, state, and federal laws and building codes, including Virginia's standard for licensed day care centers 22VAC40-185-310 on indoor space. The Board documented this in a motion for our records. You also stated the SUP will require compliance with these regulations and described how the application will be reviewed by numerous City and State government organizations to ensure it is compliant with all applicable rules, laws, and building codes. Ms. Villa also brought documentation from her other location showing how there are very few, if any days when all children are present. Finally, we were pleased with the voluntary reduction from 75 students to 60 children in the application, especially when in conjunction with expected compliance on 22VAC40-185-310 standards for usable square feet per child. Combined, these factors allay our density concerns, and the associated proportional impacts on parking and traffic.

The Board greatly appreciated your efforts to identify a solution for the playground. We are very pleased the daycare will be able to use Fort Ward Park's playground, which we believe is a great outcome.

With regard to Fort Ward Park, we wish to note for the record that the closest access to the park from Park Place is via a "social trail" created by Braddock Lee and Park Place residents over the years through a "desire path" for park access. The two "social trails" from Van Dorn Street are acknowledged by the City in the "Fort Ward Park & Museum Area

***2500 North Van Dorn Street ~ Alexandria, VA 22302 Phone: 703.578.4400 ~ Fax: 703.824.0684***




Management Plan” in plates (maps) of “Existing Conditions/Adjacent Land Use” and “Summary of Existing Natural Resource Conditions.” The paths are not ideal as they have stumps, uneven ground, and there are often downed trees blocking the path. The easternmost path is the closest way the daycare can access the park, and it is the most direct route to the playground, emerging through trees directly into the clearing for the playground.

While we understand and acknowledge your statement that improvements to that “social trail” cannot be officially tied to the SUP, we want City Council to know this is a need and a concern. Fort Ward Park is used every day by the owners and residents of Park Place and Braddock Lee. In resident and owner feedback surveys, we have received specific feedback about the need for better pedestrian access to the park. Many of our elderly residents use Fort Ward to get their daily exercise, and they have no good way into the park other than this path. Strollers are also very difficult to navigate through the existing paths. In 2016, the City created the first step in good pedestrian access to the park through the establishment of a protected crosswalk across Van Dorn Street. With the crosswalk in place, pedestrian access to the park is primed for improvement in a way that was not possible when the “Fort Ward Park & Museum Area Management Plan” was released in 2015.

In the “Fort Ward Park & Museum Area Management Plan,” the City set a “high priority action” to “Clearly mark and develop two park access points from North Van Dorn Street.” We implore the city to transform this rugged “social trail” into a better and safer way to enter the park from Park Place Condominiums and Braddock Lee Apartments.

Last, the Board and community would like to express its content at the prospect of the return of all day bus service per the Alexandria Transit Vision Plan. Park Place was served by all day bus service, seven days a week, through 2015, when WMATA’s 25 bus lines were eliminated, just before Park Place was able to realize better pedestrian access to the bus stop through the 2016 North Van Dorn Street Complete Streets Project. Park Place is now only served by weekday peak period service on WMATA’s 22F. Our residents, businesses, and community thrive when granted better mobility. Residents have raised this issue of bus service in community surveys, and news of the Transit Vision Plan’s proposal received applause at the Association Annual Meeting. The Board was surprised to see the initial application’s plan for employee parking ratios given the lack of bus service, and believes that transit should be an option for employees and patrons of Park Place businesses. The Board would like to voice its support for any transit restoration and improvement to benefit our residents, businesses, and the community. The community awaits the City’s detailed plans and final bus network and seek its engagement as plans finalize this Fall.

Sincerely,

DocuSigned by:  
  
4B8FFD407CF9444...

Don Burke  
President, Park Place Board of Directors

REF	QTY	SIZE	TREE
COB	2	18-12"	CEDRUS DEODARA JACOBINA CEDAR
OSR	2	3"	QUERCUS BILGUA BERTOTTI QUERCUS TREE
BJT	3	3"	BANKSIA JAPONICA SCHOLAR TREE
BPR	0	12-14"	BETULA NIGRA TORIA HEAT TOLERANT BIRCH
SPB	0	3"	STEWARTIA PLEUOCAMPELLA STEWARTIA
ACB	4	18-12"	AMELANCHIER CANADENSIS JANE BERRY
ELM	4	8-10"	MAGNOLIA A LIMBOLIBIT MAGNOLIA
LPM	0	8-10"	LAGERSTROEMIA SPER CRAPPE MYRTLE
LPW	0	7-8"	LAGERSTROEMIA SPER CRAPPE MYRTLE
OSR	12	3"	QUERCUS BURNINGHAM BURNINGHAM OAK
ZBZ	10	3"	ZELKOYA SERATA OCELONIA
ACR	0	3"	ACER RUBRUM RED MAPLE
ASR	0	3"	ACER RUBRUM RED MAPLE
ACC	2	1 1/2"	PISTACHIA CHINENSIS CHINESE PISTACHE

REF	QTY	SIZE	TREE
EC	14	24-30"	SHRUBS ON WEST FOUNDA TION POOL
VB	8	24-30"	EUCYTHUS ALATUS COMPACTA
PO	33	18-24"	VERONICA P. WINDATA
AG	21	18-24"	PRUNUS L OTTO LUTRENS
BE	24	18-24"	AZALEA OLENDIALE
ID	10	8"	S.P.S. DRAGON LADY
JO	20	20"	JANIPERUS C. OLD GOLD
AO	10	20"	NANDINA TELIS POWERS
AR	20	20"	ANGELIA LITTLE RICHARD
VB	20	20"	TRANSPLANT EXISTING NANDINA IN BLOCKS OF 6 ALONG NEW POOL FENCE
TS	12	6-8"	THALIA STEPHLECHASE

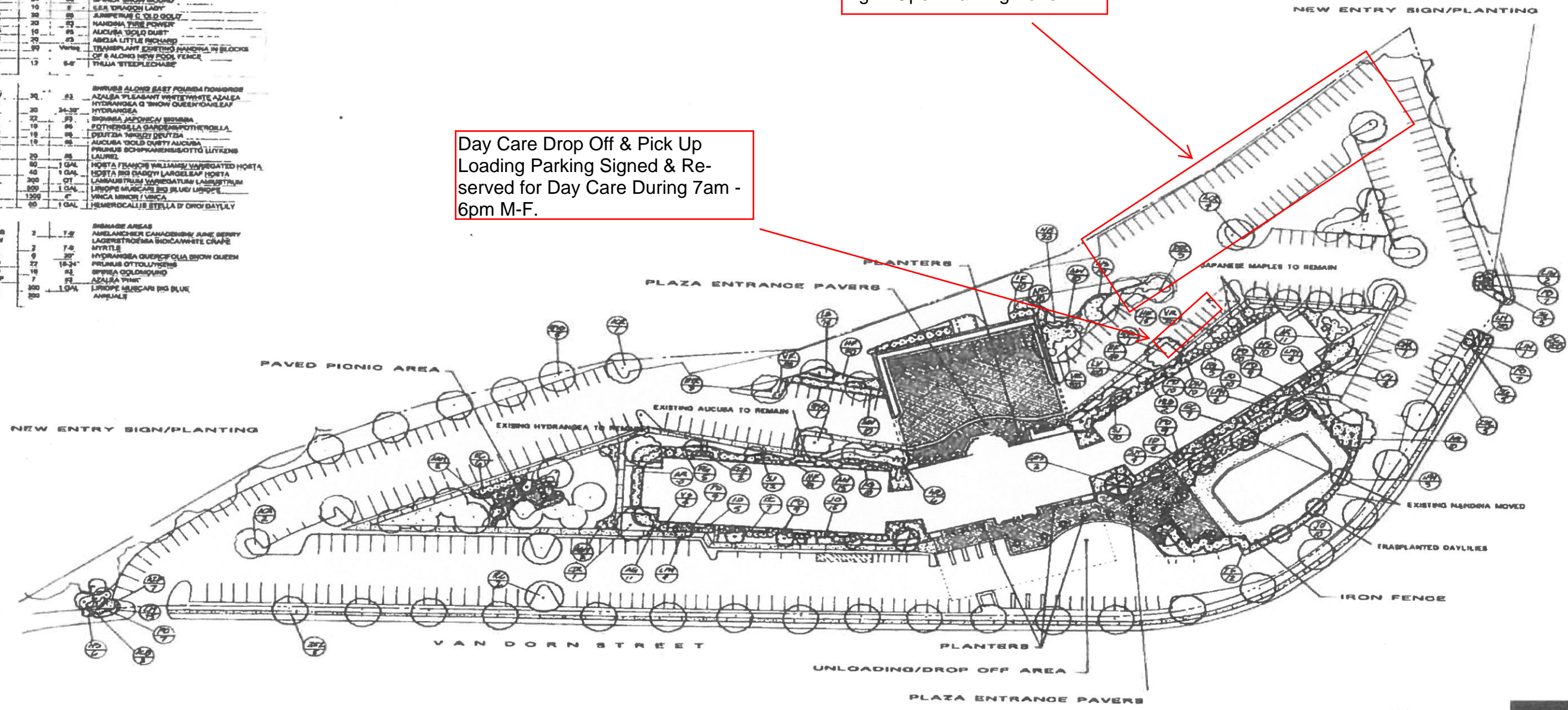
REF	QTY	SIZE	TREE
AW	30	22"	SHRUBS ALONG EAST FOUNDA TION POOL
MS	20	24-30"	AZALEA PLEASANT WHITE WHITE AZALEA
PG	22	24-30"	HYDRANGEA Q SNOW QUEEN SNOWLEAF
DM	10	24-30"	HYDRANGEA
AG	10	24-30"	BANKSIA JAPONICA BOMBIA
PO	10	24-30"	FOTHERGILLA GARDEN POTTHERGILLA
DM	10	24-30"	DEUTZIA WOODY DEUTZIA
AG	10	24-30"	AUCUBA GOLD DUSTY AUCUBA
PO	10	24-30"	PRUNUS SCHWABERSCOTTI LUTRENS LAUREL
HF	80	1 GAL	HORTIA FRANCIS WILLIAMS VARIETATED HORTIA
HS	40	1 GAL	HORTIA BEE GARDEN LARGE LEAF HORTIA
LV	200	0.1	LIRIODENDRUM VORICATUM LAMBERTUM
LR	800	1 GAL	LIRIOPE MUSCARI BIG BLUE LIRIOPE
VR	1500	0.1	VINCA MINOR / VINCA
HE	80	1 GAL	HEMEROCALLIS STELLA D'ORO DAY LILY

REF	QTY	SIZE	TREE
ACB	3	7-8"	AMELANCHIER CANADENSIS JANE BERRY
LW	2	7-8"	LAGERSTROEMIA BUCKWHITE CRAPPE MYRTLE
HS	9	20"	HYDRANGEA QUERCIFOLIA SNOW QUEEN
PO	22	18-24"	PRUNUS OTTOLUTRENS
BE	10	18"	SPYREA GOLDEN GLOBE
ADP	7	18"	AZALEA WINE
LM	300	1 GAL	LIRIOPE MUSCARI BIG BLUE
SC	200	1 GAL	ANNUALS

REVISIONS	BY

Day Care Staff & Visitor Parking in Open Parking Zone.

Day Care Drop Off & Pick Up Loading Parking Signed & Reserved for Day Care During 7am - 6pm M-F.



Park Place Construction  
 2500 N. Van Dorn Street  
 Alexandria, VA 22302

PLANTING PLAN

Date	8/28/08
Scale	1"=40'
Drawn	
Job	
Sheet	1 OF 3
OR	

