Application	General Data		
Project Name: 116 S. Henry Street	PC Hearing:	June 4, 2025	
	CC Hearing:	June 14, 2025	
	If approved, DSUP Expiration:	June 14, 2028	
	Plan Acreage:	.35 acres (15,332 SF)	
Location: 116 S. Henry Street	Zone:	CD / Commercial Downtown	
	Proposed Use:	Mixed-use (residential, retail, automated parking structure)	
	Dwelling Units:	19	
Applicant: Galena Capital Partners, represented by Mary Catherine Gibbs, attorney	Gross Floor Area:	66,337 SF (includes garage)	
	Net Floor Area:	24,333 SF	
	Small Area Plan:	Old Town / King Street Retail Strategy	
	Historic District:	Old & Historic Alexandria District	
	Green Building:	2009 Green Building Policy	
	Schools:	Lyles Couch Traditional Academy George Washington Middle School Alexandria City High School	

Purpose of Application

The applicant requests a three-year extension of a previously approved Development Special Use Permit (DSUP#2019-00033) with site plan to construct two multi-unit buildings, ground floor retail and a automated parking structure.

Special Use Permits and Modifications Requested

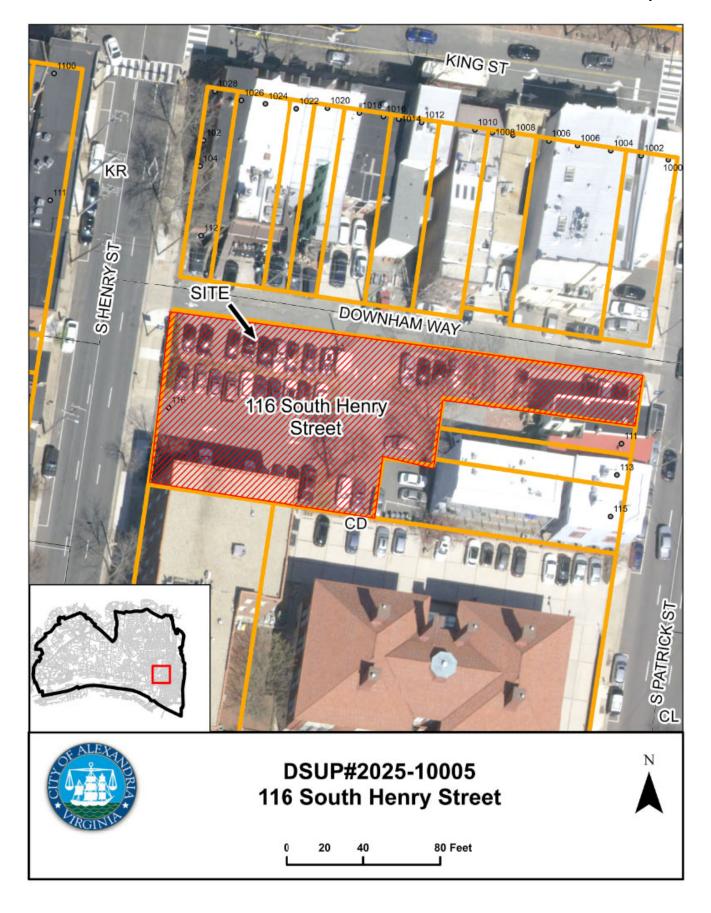
- DSUP with site plan for a multi-unit building and a mixed-use residential building with ground floor retail, as well as a 142-space automated parking structure
- Special Use Permit for motor vehicle parking or storage for more than 20 vehicles
- Special Use Permit to exceed the maximum parking requirement
- Special Use Permit for a reduction of the loading space requirement (for clearance height)
- Modification of the crown coverage requirement
- Modification to street tree requirement in the Landscape Guidelines
- Modification to the open space requirement
- Modification to the setback requirement

Staff Recommendation: APPROVAL WITH CONDITIONS

Staff Reviewers:

Robert M. Kerns, AICP, Chief of Development
Catherine Miliaras, AICP, Principal Planner
Stephanie Sample, Urban Planner

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I. SUMMARY

Staff recommends approval of a three-year extension of a previously approved Development Special Use Permit (DSUP) for the construction of a mixed-use development with two multi-unit residential buildings, one fronting S. Patrick Street and the other fronting S. Henry Street (with ground floor retail and two retail-ready units). In the center of the site, along Downham Way, there will be an automated parking structure with room for up to 142 vehicles. This project, along with a related project at 912-920 King Street (DSUP#2019-00032 original approval; DSUP#2025-10006 project extension), is part of the redevelopment of two City-owned surface parking lots. All prior approvals associated with the project will be extended, except for two SUPs (one to increase the number of dwellings per acre and the other for a restaurant), which are no longer necessary due to zoning changes implemented following the project's approval. The current approval expires on July 12, 2025.

This is the first project extension request, and staff finds that it continues to be a reasonable and appropriate use for this site and is consistent with the Old Town Small Area Plan. The applicant noted several reasons for the construction delay including economic downturn following the pandemic; construction price increases; and a slowdown associated with neighbor concerns regarding parking access.

The project continues to provide the following benefits:

- High-quality, compatible design and architecture that has been approved by the Board of Architectural Review;
- Contextually responsive infill development that removes a large surface parking lot in a vibrant part of the City;
- Automated parking which maximizes parking in a small footprint and accommodates the required residential parking, plus approximately 90 publicly available spaces;
- The creation of "retail-ready" units facing S. Henry Street that can be used for commercial or residential purposes, or a combination of the two;
- Neighborhood-serving retail space on S. Henry Street;
- A widened and improved public alley (Downham Way) with a defined pedestrian walkway to the parking garage;
- Residential units just off of King Street that will add to the mixed-use character of Old Town;
- New street trees and pedestrian improvements;
- Green building and site design, including LEED Certified (or equivalent) for residential, LEED
 Silver (or equivalent) for commercial and ParkSmart (or comparable green building practices) for
 the automated garage;
- Public art contribution or on-site public art (at a minimum value of \$19,901);
- A Housing Trust Fund contribution of approximately \$70,480;
- A \$2,500 contribution to Capital Bikeshare; and,
- A \$9,046 contribution to the Urban Forestry Fund.

II. BACKGROUND

A. Procedural Background

The original three-year approval was granted on September 12, 2020, but was extended to July 17, 2025, by the City Council's passage of an ordinance in connection with the Covid-19 local emergency declaration allowing for project extensions. The applicant submitted several final site plans and the plan was set to be released pending approval of the bond package.

During the final site plan review process the applicant worked with the two adjacent neighbors at 111 and 113 S. Patrick Street to modify the site plan to allow for continued vehicular access to parking areas behind each building. The above grade transformer that previously blocked access to the rear yards is no longer required by Dominion Virginia Power.

B. Disposition of 116 S. Henry and 912-920 King Street and Section 9.06 Review

In 2009, the City declared the two surface parking lots surplus properties and in 2017 a Request for Proposals (RFP) was issued for the disposition, sale and redevelopment of the properties. In 2019, the City entered into a contract with Galena Capital Partners, LLC to redevelop both sites. The contract requires that the projects be phased, with the parking garage on the Henry Street site constructed and operable prior to the commencement of the King Street building to maintain public parking in the immediate vicinity. The applicant will close on the sale of the properties after the approval of the building permits.

The Planning Commission reviewed the sale of the properties per City Charter Section 9.06 on October 3, 2019, finding that the sale was consistent with the goals of the Old Town Small Area Plan, which advocates for a balance of commercial and residential.

C. Site Context

This irregularly shaped lot is in a dense part of Old Town, with the longest frontage located behind the 1000 block of King Street on Downham Way, with smaller street frontages on S. Henry and S. Patrick streets (Figure 1). Commercial and retail uses surround the site.



Figure 1: Site location

D. General Project Description

The project consists of three distinct elements (figure 2): a four-story, three-unit building facing S. Patrick Street; a six-level automated parking garage in the interior of the site; and, a four-story 16-unit building with two retail-ready units and ground floor retail fronting on S. Henry Street.



Figure 2: Project renderings

The S. Patrick St. building will have a raised first-floor with a recessed entrance, as well as a 19-foot setback at the fourth floor for private rooftop open space. The Downham Way elevation will be broken up with different brick colors to recall common townhouse forms and proportions. The different bay spacings express the verticality of the building on this elevation.

The automated garage, located at the interior of the site, will accommodate up to 142 vehicles within six levels (average floor-to-ceiling clearance is 6'8") but will not exceed the height limit of 50 feet. On the exterior, the upper floors extend 18 feet over the ground level where entry/exit into the two garage bays will occur. A lobby to the west of the garage bays provides an area for customers to wait for their car while it is being retrieved.

The proposed S. Henry Street building, with 16 residential units, will include two flexible retail-ready units (also known as live/work units), a small commercial space on the corner of S. Henry and Downham Way and the lobby entrance to the residential units. The building massing is broken down with vertical expressions on the exterior and strategic setbacks at the upper floors. Like the S. Patrick Street building, this building is four stories tall and defined by different brick colors to suggest a townhouse scale. A significant portion of the roof (2,260 square feet) will be dedicated to rooftop open space and additional ground level open space (513 square feet) will be located behind the multi-unit building and the garage.

III. ZONING

Table 1 – Zoning Tabulations

Property	116 South Henry St.		
Addresses			
Total Site Area	15,332 SF (.35 acres)		
Zone	CD/Commercial downtown zone		
Current Use	Surface parking lot		
Proposed Use	Mixed-use residential/retail and parking garage		
	Permitted/Required	Proposed/ Provided	
FAR	1.25 residential/2.5 non-residential	1.25 residential/.34 non-residential	
Height	50	50	
Open Space	40% required (6,133 SF)	20 % provided (3,068 SF) ¹ Private at-grade 3.3% Private above-grade 16.7%	

¹ Open space modification previously granted (DSUP#2019-00033).

Crown	25% required (3,833 SF)	3.7% provided (560 SF) ²
Coverage		
Parking	17-20 spaces for residential uses; exempt for commercial uses	1423
Loading Spaces	1	14

IV. STAFF ANALYSIS

Staff recommend extending the period of validity for the previously approved Development Special Use Permit and associated approvals for three years.

A. Consistency with Small Area Plan

The site is in the boundaries of both the Old Town Small Area Plan and the King Street Retail Strategy. The plan meets several of the SAP's recommendations to maintain the balance of residential and commercial uses. Likewise, the project complies with several elements of the King Street Strategy elements, such as urban design, land use and a vital retail environment.

B. City Policies

All City policies in effect at the time of the original approval are applicable for the first extension. In addition, the monetary contributions to the Housing Trust Fund, the Urban Forestry Fund, the Public Art Fund and Capital Bikeshare have already been calculated per the 2020 approval.

Affordable Housing Policy

The applicant will provide a voluntary monetary contribution of \$70,480 to the City's Housing Trust Fund based on a Non-Residential contribution of \$2.29 per square foot, a Tier 1 Residential contribution of \$3.06 per square foot, and a Tier 2 Residential contribution of \$6.11 per square foot. The contribution is consistent with the City's Procedures Regarding Affordable Housing Contributions and supports the goals and strategies of the City's Housing Master Plan.

Green Building Policy

The project is subject to 2009 Green Building Policy, which requires that the project achieve LEED Certified (or equivalent) for residential uses, LEED Silver (or equivalent) for non-residential uses and ParkSmart for the automated garage.

² Crown coverage modification granted (DSUP#2019-00033).

³ SUPs for exceeding the maximum parking requirement and storage for more than 20 vehicles granted (DSUP#2019-00033).

⁴ Loading space reduction granted for a lower clearance height (DSUP#2019-00033).

Public Art Policy

The applicant has indicated that they will pay a contribution to the Public Art Fund, which is estimated to be approximately \$19,900.

C. Board of Architectural Review

Following approval of the original DSUP, the Board of Architectural Review approved the Certificate of Appropriateness for the project on May 5, 2022 (BAR2022-00104). The BAR approval is associated with the DSUP and therefore the Certificate of Appropriateness will be extended another three years as part of this request.

D. Additional Considerations

Conditions

The original DSUP conditions have been carried forward with the following changes:

Amended/deleted:

- Removed the condition that notes that if there were fireplaces in the development, they were required to be gas powered (original Condition #80)
- Removed of the commercial kitchen condition referencing the need for an Oil and Grease Separator Maintenance Agreement (original Condition #51)
- Removed of the conditions related to the restaurant SUP, because restaurants are now approved via administrative approval (original Conditions #115-129)
- Updated the sewer tap fee condition (original Condition #50)
- Updated the DSUP and BAR case numbers and approval dates

E. School Impacts

When the project was first approved the student generation rate for the 19 residential units in a marketrate, mid-rise building was .03 students per unit, or one student. Using the most recent formula of .04 students per unit, the number of students generated is still one.

V. COMMUNITY

The applicant hosted a virtual community meeting on May 19, 2025, where both the King and Henry streets projects. The Old Town Civic Association and the Upper King Street Neighborhood Association, as well as nearby neighbors, were invited to attend. The applicant explained the project and answered questions related to construction timing and the operation of the garage.

VI. CONCLUSION

Staff recommends approval of the three-year extension of a previously approved DSUP (DSUP2019-00033) with site plan to construct two multi-unit buildings with ground floor retail and an automated parking structure, subject to compliance with all applicable codes and the following staff recommendations.

Staff: Robert M. Kerns, AICP, Chief, Development Division Catherine Miliaras, AICP, Principal Planner, Development Division Stephanie Sample, Urban Planner, Development Division

VII. ADDITIONAL GRAPHICS

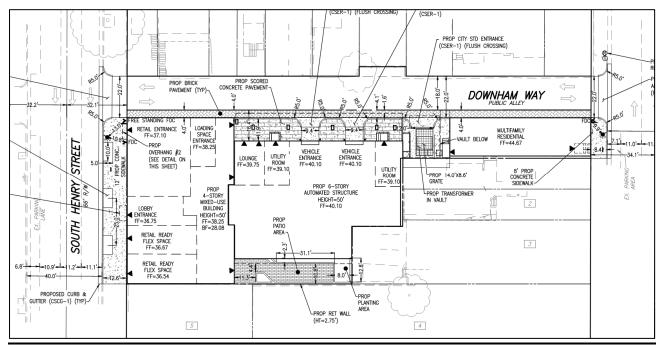


Figure 3: Site Plan

VIII. STAFF RECOMMENDATIONS

1. **CONDITION AMENDED BY STAFF:** The Final Site Plan shall be in substantial conformance with the Preliminary Plan dated May 1, 2020, and as amended June 12, 2020 May 25, 2022 and comply with the following conditions of approval.

I. SITE PLAN

- 2. **CONDITION AMENDED BY STAFF:** Per Section 11-418 of the Zoning Ordinance, the development special use permit shall expire and become null and void, unless substantial construction of the project is commenced within 36 months after initial approval (plus any extensions per the July 7, 2020 City Council Docket Item 15.a. due to the COVID-19 emergency) and such construction is thereafter pursued with due diligence. The applicant shall provide a written status report to staff 18 months after initial approval to update the City Council on the project status if substantial construction has not commenced at such time. The period of validity may be extended upon petition by the applicant and after adequate notice and public hearing. (P&Z)
- 3. Submit the plat and all applicable easements prior to the Final Site Plan submission. The plat(s) shall be approved prior to or concurrently with the release of the Final Site Plan. (P&Z) (T&ES) *
- 4. The plat shall be recorded, and a copy of the recorded plat, dedications and deeds shall be submitted with the first request for a building permit. (P&Z) (T&ES) **
- 5. Provide a public access easement for the portions of the four-foot sidewalk adjacent to Downham Way on the applicant's property. The easement language shall be reviewed by the Office of the City Attorney and to the satisfaction of the Directors of P&Z and T&ES.
- 6. Coordinate location of site utilities with other site conditions to the satisfaction of the Directors of P&Z and T&ES. These items include:
 - a. Location of site utilities including above grade service openings and required clearances for items such as transformers, telephone, HVAC units and cable boxes.
 - b. Minimize conflicts with plantings, pedestrian areas and major view sheds.
 - c. Do not locate above grade utilities in dedicated open space areas and tree wells.
 - d. If applicable, all utilities shall be screened from the public ROW to the satisfaction of the Director of P&Z. (P&Z) (T&ES) (BAR)
- 7. Provide a lighting plan with the Final Site Plan to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of T&ES and/or P&Z in consultation with the Chief of Police and shall include the following:
 - a. Clearly show location of all existing and proposed streetlights and site lights, shading back less relevant information.

- b. Determine if existing lighting meets minimum standards within the City right-of-way adjacent to the site. If lighting does not meet minimum standards, additional lighting shall be provided to achieve City standards or to the satisfaction of the Director of T&ES.
- c. A lighting schedule that identifies each type and number of all fixtures, mounting height, and strength of fixture in Lumens or Watts.
- d. All streetlights fronting the site and along the public alley shall be replaced with Alexandria Historic Streetlights (or subsequent designated streetlight) with details coordinated with the City. (P&Z) (T&ES) (Police)(BAR)(Code)
- e. Manufacturer's specifications and details for all proposed fixtures including site, landscape, pedestrian, sign(s) and security lighting.
- f. A photometric plan with lighting calculations that include all existing and proposed light fixtures, including any existing streetlights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way. Show existing and proposed streetlights and site lights.
- g. Photometric site lighting plan shall be coordinated with architectural/building mounted lights, site lighting, street trees and streetlights to minimize light spill into adjacent residential areas.
- h. If site lights are included in the photometric plan to comply with City's lighting standards, then these lights shall be put on photovoltaic switches.
- i. Provide location of conduit routing between site lighting fixtures to avoid conflicts with street trees.
- j. Detail information indicating proposed light pole and any footing in relationship to adjacent grade or pavement. All light pole foundations shall be concealed from view or light poles shall be direct bury.
- k. The lighting for the areas not covered by the City of Alexandria's standards shall be designed to the satisfaction of Directors of T&ES and P&Z.
- 1. Provide numeric summary for various areas (i.e., roadway, walkway/ sidewalk, alley, and parking lot, etc.) in the proposed development.
- m. The walls and ceilings in the occupiable spaces of the garage must be light-colored to increase reflectivity and provide safe lighting levels at night.
- n. The lighting for the underground/structured parking garage shall be a minimum of 5.0-foot candle maintained, where occupied. When unoccupied the lighting levels will be reduced to no less than 1.5-foot candles. Lighting levels in the storage area of the garage will be at emergency levels only.
- o. Light fixtures for the underground/structured parking garage shall be recessed into the ceiling for any areas that can be seen from the public ROW.
- p. Light fixtures for open canopies shall be recessed into the ceiling for any areas that can be seen from the public ROW.
- q. Upon installation of all exterior light fixtures for the site/building, the applicant shall provide photographs of the site demonstrating compliance with this condition.
- r. Full cut-off lighting shall be used as applicable at the development site to prevent light spill onto adjacent properties. (P&Z) (T&ES) (Police)(BAR)(Code)

- 8. Provide a unit numbering plan for each floor of a multi-unit building with the first Final Site Plan submission. The unit numbers should comply with a scheme of 100 level numbers on the first floor, 200 level numbers on the second floor, and 300 level numbers for third floor and continue in this scheme for the remaining floors. Indicate unit's use (i.e.: Residential, Retail, Office) if known. (P&Z)
- 9. Provide a georeferenced CAD file in .dwg format of the dimension plan of this project. This information will be used to compile a master CAD reference to ensure all elements/layers are correctly located and will connect. (P&Z) (DPI) *

A. **BUILDING**:

- 10. **CONDITION AMENDED BY STAFF:** The building design, including the appearance, color and quality of materials, final detailing, three-dimensional expression shall be generally consistent with the elevations dated June 12, 2020, and the May 5, 2022 Board of Architectural Review approved Certificate of Appropriateness from the Board of Architectural Review (BAR2022-00104) and the following conditions. (P&Z)
- 11. Provide the following building refinements to the satisfaction of the Director of P&Z:
 - a. Any ventilation for the retail/commercial (including retail-ready spaces) use shall be integrated with the overall building design, reviewed and approved to the satisfaction of the Director of Planning and Zoning and the Board of Architectural Review.
 - b. All wall mounted vents shall be flush mounted and architecturally integrated with the building design with regard to both placement and color.
- 12. Provide detailed drawings (enlarged and coordinated plan-section-elevation studies, typically at ½"=1'-0" scale, in color, with shadows cast at 45 degrees from both left and above to show true depth of recesses and projections) in color to evaluate the building base, entrance canopy, stoops, window and material details including the final detailing, finish and color of these elements during the Final Site Plan review. Separate design drawings shall be submitted for each building typology or different bay type. (P&Z)
- 13. Building materials, finishes, and relationships shall be subject to review and approval by the Department of Planning and Zoning for substantial conformance to the Preliminary Plan and as set forth in the associated *Guidelines for Preparations of Mock-Up Panels* Memo to Industry, effective May 16, 2013. The following submissions shall be provided to review the materials, finishes and architectural details, prior to selection of final building materials:
 - a. Provide a materials board that includes all proposed materials and finishes at first Final Site Plan. *
 - b. The materials board shall remain with the Department of Planning and Zoning until the final certificate of occupancy, upon which all samples shall be returned to the applicant. ***
 - c. Provide drawings of a mock-up panel that depict all proposed materials, finishes, and relationships as part of the first Final Site Plan. *

- d. Construct an on-site, mock-up panel of proposed materials, finishes, and relationships for review and approval prior to final selection of building materials. The mock-up panel requires a building permit and shall be constructed and approved prior to vertical (above-grade) construction and prior to ordering final building materials. **
- e. The mock-up panel shall be located such that it shall remain on-site in the same location through the duration of construction until the first certificate of occupancy.

 *** (P&Z) (Code)
- 14. Building materials, finishes and architectural details shall be subject to review and approval by the Board of Architectural Review. A materials board shall be submitted as part of the Certificate of Appropriateness approval. (BAR)
- 15. Per the City's Green Building Policy adopted April 18, 2009, achieve LEED Certified (or equivalent) for the residential portion of the building and LEED Silver (or equivalent) for the commercial portion of the building and retail-ready units to the satisfaction of the Directors of P&Z, and/or RP&CA and T&ES. In addition to the compliance with the 2009 Green Building Policy, the applicant shall demonstrate additional commitment to green building practices by seeking to achieve one of the following:
 - a. LEED Silver / 2 Green Globes (or equivalent) for the entire building.
 - b. Meeting one of the performance points requirements for Green Globes outlined in the 2019 Green Building Policy:
 - i. 3.3.1.1 Assessing Energy Performance
 - ii. 3.3.9.1.1 / 3.3.9.1.2 / 3.3.9.2.1 Renewable Energy
 - iii. 3.4.1.1 Indoor Water Consumption
 - iv. 3.7.1.1 / 3.7.1.2 / 3.7.2.1 Indoor Air Quality
- 16. Achieve ParkSmart Silver Certification (or equivalent) for the automated parking garage or integrate comparable green building elements into the garage design at Final Site Plan. Satisfaction of green building practices may include one or more of the following:
 - a. Solar panels integrated with the green roof to meet the majority of non-process electricity use (energy usage not directly related to the movement and storage of motor vehicles, i.e. garage lighting and waiting room) to the satisfaction of the Director of Planning & Zoning and T&ES.
 - b. Rapid EV charging station installed on the exterior of the facility or off-site in the immediate vicinity to the satisfaction of the Director of T&ES.
 - c. Induction or other EV charging infrastructure in the garage to satisfaction of the Director of T&ES. (P&Z) (T&ES) *
- 17. Diligent pursuance and achievement of the applicable green building certification for the project, including the automated parking garage and performance points, shall be monitored through the following:
 - a. Provide evidence of the project's registration with LEED (or equivalent) with the submission of the first Final Site Plan and provide a draft checklist showing how the project plans to achieve the certification. *

- b. Provide evidence of submission of materials for Design Phase credits to the U.S. Green Building Council (USGBC) (or equivalent) prior to issuance of a certificate of occupancy. ***
- c. Provide evidence of submission of materials for Construction Phase credits to USGBC (or equivalent) within six months of obtaining a final certificate of occupancy.
- d. Provide documentation of certification within two (2) years of obtaining a final certificate of occupancy.
- e. Failure to achieve LEED Certified (or equivalent) for the residential portion of the project and LEED Silver (or equivalent) for the commercial and retail-ready portion of the project, ParkSmart Silver (or equivalent) and the additional green building requirement as outlined above will be evaluated by City staff, and if staff determines that a good faith, reasonable, and documented effort was not made to achieve these certification levels, then any City-wide Green Building policies existing at the time of staffs' release of Final Site Plan will apply.
- f. Provide documentation to future retail and daycare tenants encouraging them to operate their business consistently with the goals of LEED, as well as to pursue LEED for Commercial Interiors certification. (P&Z) (T&ES) (RP&CA)
- 18. Increase the loading dock clearance height at the building opening to a minimum 11.5 feet above the Downham Way elevation finished floor to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES) *
- 19. The applicant shall work with the City for recycling and/or reuse of the existing building materials as part of the demolition process, including leftover, unused, and/or discarded building materials. (T&ES) (P&Z)
- 20. Install Energy Star labeled appliances in all multi-family residential units. (T&ES)
- 21. Provide 50 percent of the required parking spaces with the necessary infrastructure for the future installation of level 2 electric vehicle chargers (240 volt and at least a 40-amp dedicated conduit). (T&ES)
- 22. In order to provide a more sustainable use of natural resources, the applicant shall use EPA-labeled WaterSense or equivalent low flow fixtures. In addition, the applicant is encouraged to explore the possibilities of adopting water reduction strategies (i.e., use of gray water system on-site) and other measures that could reduce the consumption of potable water on this site. A list of applicable mechanisms can be found at: www.epa.gov/WaterSense. (T&ES)

B. <u>OPEN SPACE/LANDSCAPING:</u>

23. Develop, provide, install and maintain an integrated Landscape Plan with the Final Site Plan that is coordinated with other associated site conditions to the satisfaction of the Director of P&Z. Landscape plans shall be submitted in accordance with the City of Alexandria's Landscape Guidelines, available online at:

 $\underline{www.alexandriava.gov/uploadedFiles/recreation/ParkPlanning/LandscapeGuidelinesFina}\\ \underline{lv2Final.pdf}$

- 24. Coordinate with the adjacent property owner of tree T-280 to discuss removal of the tree or potential damage which may be incurred during construction and provide a letter documenting the discussion (P&Z)
- 25. If existing soils will not be used and imported soils are specified, provide a soil sample test report documenting the imported soil's pH concurrent with the landscape installation/planting operations pre-installation/construction meeting. (P&Z) ***
- 26. Develop a palette of site furnishings in consultation with staff. Site furnishings may include benches, bicycle racks, trash and recycling receptacles, and other associated features (P&Z) (T&ES) *
- 27. Provide material, finishes, and architectural details for all retaining walls, seat walls, decorative walls, and screen walls. Indicate methods for grade transitions, handrails if required by code, directional changes, above and below grade conditions. Coordinate with adjacent conditions. Design and construction of all walls shall be to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES) (Code) *
- 28. Provide, implement and follow a <u>Tree and Vegetation Protection Plan</u> per the City of Alexandria Landscape Guidelines (P&Z) (RP&CA)

C. ARCHAEOLOGY:

- 29. Hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the open space and to prepare interpretive elements, which shall be erected as part of the development project. The site plan shall indicate themes and locations of interpretive elements. Prior to release of the Final Site Plan, the consultant shall provide text and graphics for the interpretive elements subject to approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z. (Arch)(P&Z) *
- 30. Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)
- 31. The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management

- Plan is in place to recover significant resources in concert with construction activities. * (Archaeology)
- 32. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- 33. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- 34. Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology)

D. PEDESTRIAN/STREETSCAPE:

- 35. Provide the following pedestrian improvements to the satisfaction of the Directors of P&Z and T&ES:
 - a. Complete all pedestrian improvements prior to the issuance of a certificate of occupancy permit.
 - b. Construct all concrete sidewalks to City standards. The minimum unobstructed width of newly constructed sidewalks shall be 6 feet.
 - c. Sidewalks shall be flush across all driveway crossings.
 - d. All below grade utilities placed within a City sidewalk shall be designed in such a manner as to integrate the overall design of the structure with the adjacent paving materials to minimize any potential visible impacts.
 - e. The sidewalk adjacent to Downham Way on the applicant's property in the public access easement shall have a different treatment, such as a row of brick along the right-of-way line, that delineates the concrete sidewalk from the vehicular travel way.*** (P&Z) (T&ES)

E. PARKING:

36. **CONDITION AMENDED BY STAFF:** Parking for the residential and commercial uses shall be consistent with the requirements of the Zoning Ordinance in effect at the time of approval by City Council and/or Planning Commission. Parking requirements associated with 912-920 King Street (DSUP#2019-00032) (DSUP2025-10006) shall be provided by this development plan 116 S. Henry Street (DSUP2019-00033) (DSUP2025-10005). (P&Z) (T&ES)

- 37. All residential parking shall be unbundled (i.e., the cost to purchase or lease a parking space is separate from the cost to purchase or lease the residential unit). (T&ES)
- 38. Provide a Parking Management Plan with the Final Site Plan submission in coordination with the development at 912-920 King Street. The Parking Management Plan shall be approved by the Departments of P&Z and T&ES prior to the release of the Final Site Plan and comply with the requirements of the Parking Management Plan Template provided in Memo to Industry 01-19. In addition to the requirements of the Memo to Industry, include the agreement between this development and the development at 912-920 King Street, a narrative of the shared use of the garage and accessibility to the public, and a description of the automatic garage operations and management. (P&Z) (T&ES)
- 39. Parking garage shall utilize a smart parking system that provides an open API (Application Programming Interface) for the City and its agents to access occupancy data and direct parkers to available public parking spaces solely for the purpose of determining real time availability. The City will notify the parking operator before releasing such information. (T&ES)
- 40. Parking spaces within the parking garage that are allocated to the residential or retail use that are required to comply with zoning requirements may be made available for public/off-site parking. (T&ES) (P&Z)
- 41. Provide a copy of the Automated Garage manufacturer specification to the city prior to the issuance of Certificate of Occupancy. In addition, a copy of the specification shall remain on site. (T&ES).
- 42. Provide a Maintenance Agreement for the Automated Garage equipment and structure to ensure operation and processing speed is maintained per the manufacturer specifications prior to the issuance of Certificate of Occupancy. The Maintenance Agreement should include, but not limited to, a periodic check of operating condition in which processing speed is logged, and an agreed plan for parked vehicles when garage is under maintenance and not operational. (T&ES)
- 43. All on-street parking controls and restrictions within the project area shall be determined by the City. Any such controls and restrictions which the applicant desires shall be shown on the Final Site Plan. (P&Z) (T&ES)*
- 44. **CONDITION AMENDED BY STAFF:** Provide 10 bicycle parking spaces per Alexandria's current Bicycle Parking Standards and note the required versus proposed amounts of short-term and long term spaces on the cover sheet of the plan set. Bicycle parking standards, acceptable rack types for short- and long-term parking and details for allowable locations are available at: www.alexandriava.gov/bicycleparking. Details on location and type of bicycle parking shall be provided on the Final Site Plan. Bicycle parking must be installed and operational prior to first CO. (T&ES) ***

II. <u>TRANSPORTATION</u>

A. <u>STREETS/TRAFFIC:</u>

- 45. If the City's existing public infrastructure is damaged during construction, or patch work required for utility installation then the applicant shall be responsible for construction/installation or repair of the same as per the City of Alexandria standards and specifications and to the satisfaction of Director, Transportation and Environmental Services. (T&ES)
- 46. A pre-construction walk/survey of the site shall occur with Transportation and Environmental Services Construction & Inspection staff and Code Administration staff to document existing conditions prior to any land disturbing activities. (T&ES) (Code)
- 47. Furnish and install two 4-inch Schedule 40 PVC conduits with pull wires, and junction boxes located underneath the sidewalk along S. Henry Street to the extent of the property's frontage. These conduits shall terminate in an underground junction box at each corner of the site. The junction box cover shall have the word "TRAFFIC" engraved on it. (T&ES)
- 48. Asphalt patches larger than 20 percent of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration. (T&ES)

III. PUBLIC WORKS

A. WASTEWATER/SANITARY SEWERS:

- 49. The project lies within the Combined Sewer System (CSS) area district, therefore, stormwater management and compliance with the state stormwater quality and quantity requirements and the City's Alexandria Water Quality Volume Default shall be coordinated with the project's compliance with the CSS Management Policy set forth in Memo to Industry 07-14, effective July 1, 2014. The applicant is proposing to discharge both the sanitary flow and the stormwater from the site to the combined sanitary sewer system. With respect to sanitary requirements, the applicant shall contribute \$36,018.00 based on a formula of \$1.5 per gallon of peak sanitary flow (\$1.5 per gallon x 6,003 gallons x 4). With respect to the stormwater requirement, the applicant is proposing a green roof to help mitigate stormwater impacts on combined sewer discharges. Staff has determined that the size of the proposed green roof would meet 42 percent of their stormwater requirements. Therefore, the applicant shall contribute based on a formula of \$200,000 per acre x 0.43-acre x (1-0.42), which results in a contribution of \$49,880.00. The sanitary and stormwater contribution fee is due prior to release of the final site plan. (T&ES)*
- 50. **CONDITION AMENDED BY STAFF:** Pay tThe sewer connection fee must be paid per City Code Sec. 5-6-25.1(a) prior to the release of the final site plan. (T&ES)

CONDITION DELETED BY STAFF: (Former Condition# 51) If a commercial kitchen is constructed, then the kitchen facility shall be provided with an oil & grease separator and the discharge from the separator shall be connected to a sanitary sewer Submit two originals of the Oil and Grease separator Maintenance Agreement with the City prior to the release of the final site plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to site plan release. (T&ES) *

B. <u>UTILITIES:</u>

- 51. Locate all private utilities without a franchise agreement outside of the public right-of-way and public utility easements. (T&ES)
- 52. Undergrounding shall be consistent with the exhibit entitled, "King Street and S. Henry Street Dry Utility Plan" provided to the City of Alexandria on August 6th, 2020. Any deviations to the dry utility plan shall be approved by the Director of T&ES. (T&ES)
- 53. No transformer and switch gears shall be located in the public right of way. (T&ES)

C. SOLID WASTE:

- 54. If the property is a required user, the development must meet all the minimum street standards for the City to provide solid waste collection service. See Alexandria Virginia Code of Ordinances Title 5 Chapter 1 Solid Waste Control. Collection vehicles must be able to pick up solid waste from private streets without backing up. The containers must be stored inside the units or within an enclosure that completely screens them from view. Where the City of Alexandria provides the solid waste collection services; all refuse/recycling shall be placed at the City Right-of-Way for collection. The official setout location of the containers shall be approved by the Director of T&ES. (T&ES)
- 55. All trash collectors for the project site are required to take their collected trash to the Alexandria/Arlington waste-to-energy facility (T&ES)
- 56. Provide \$1,402 per receptacle to the Director of T&ES for purchase and installation of one (1) Victor Stanley Ironsites Series model SD-42 black receptacle with Dome Lid per block face dedicated to trash collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES) *
- 57. Provide \$1,626 per receptacle to the Director of T&ES for the purchase and installation of one (1) Victor Stanley Ironsites Series Model SD-42 blue receptacle with Dome Lid, approved dome decals, and approved band per block face dedicated to recycling collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES)*

IV. <u>ENVIRONMENTAL</u>

A. STORMWATER MANAGEMENT:

- 58. The City of Alexandria's stormwater management regulations regarding water quality are two-fold: 1) state phosphorus removal requirement and 2) Alexandria Water Quality Volume Default. Compliance with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. The Alexandria Water Quality Volume Default, as determined by the site's post-development impervious area shall be treated in a Best Management Practice (BMP) facility. (T&ES)
- 59. Provide BMP narrative and complete pre and post development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance. The project must use hydrologic soil group "D" in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES)
- 60. All stormwater Best Management Practices (BMPs) must be designed to comply with the most recent standards and specifications published in the Virginia Stormwater BMP Clearinghouse. Provide complete design details for all BMPs. This includes site specific plan views, cross sections, planting plans, and complete design calculations for each BMP. (T&ES)
- 61. Provide a BMP table with a separate listing for each individual BMP that includes the name of the practice, total area treated (acres), pervious area treated (acres), impervious area treated (acres), phosphorous removal efficiency (percentage), phosphorous removal efficiency (percentage), phosphorous removal by the practice (lbs.), and latitude and longitude in decimal degrees (NAD83). (T&ES)
- 62. Construction inspection checklists and associated photographic documentation must be completed for each stormwater best management practice (BMP) and detention facility during construction. Prior to the release of the performance bond, the applicant must submit all documents required by *The City of Alexandria As-Built Stormwater Requirements* to the City including as built plans, CAD data, BMP certifications and completed construction inspection checklists. (T&ES)
- 63. The stormwater Best Management Practices (BMPs) required for this project shall be constructed and installed under the direct supervision of the design professional or his designated representative. Prior to release of the performance bond, the design professional shall submit a written certification to the Director of T&ES that the BMPs are:
 - a. Constructed and installed as designed and in accordance with the released Final Site Plan.

- b. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized. (T&ES) ****
- 64. Surface-installed stormwater Best Management Practice (BMP) measures, i.e. Bio-Retention Filters, Vegetated Swales, etc. that are employed for this site, require installation of descriptive signage to the satisfaction of the Director of T&ES. (T&ES)
- 65. Submit two (2) originals of the stormwater quality BMP Maintenance Agreement, to include the BMP Schedule and Guidelines Addendum with the City to be reviewed as part of the Final #2 Plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to approval of the Final Site Plan. (T&ES) *
- 66. The Applicant shall be responsible for maintaining stormwater Best Management Practices (BMPs) until activation of the master association. Prior to transferring maintenance responsibility for the BMPs to the master association, the Applicant shall execute a maintenance service contract with a qualified private contractor for a minimum of three (3) years, and transfer the contract to the master association. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. (T&ES) ****
- 67. If units will be sold as individual units and a Master Association established the following two conditions shall apply:
 - a. The Applicant shall furnish the Master Association with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) used on site. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including any mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City.
 - b. The Developer shall furnish each home/ property purchaser with a brochure describing the stormwater BMP(s) installed on the site, outlining the responsibilities of the property owners and the Master Association with respect to maintenance requirements. Upon activation of the Master Association, the Developer shall furnish five copies of the brochure per unit to the Master Association for distribution to owners. (T&ES)
- 68. Submit a copy of the Operation and Maintenance Manual to the T&ES Stormwater Management Division on digital media prior to release of the performance bond. (T&ES) ****
- 69. Prior to release of the performance bond, the Applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the

facility or systems were required in order to make this certification, provide a description of the maintenance measures performed. (T&ES) ****

B. WATERSHED, WETLANDS, & RPAs:

70. Provide Environmental Site Assessment Notes that clearly delineate, map, describe and/or explain the following environmental features if located on site: individual components of the RPA as well as the total geographic extent of the RPA, to include the appropriate buffer, intermittent streams and associated buffers; highly erodible and highly permeable soils; steep slopes greater than 15 percent in grade; known areas of contamination; springs, seeps or related features; and a listing of all wetlands permits required by law. (T&ES)

C. CONTAMINATED LAND:

- 71. Indicate whether there is any known soil and groundwater contamination present on the plan. The applicant must submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES)
- 72. If environmental site assessments or investigations discover the presence of contamination on site, the final [site plan/demo plan/grading plan] shall not be released, and no construction activity shall take place until the following has been submitted and approved by the Director of T&ES:
 - a. Submit a Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
 - b. Submit a Risk Assessment indicating any risks associated with the contamination.
 - c. Submit a Remediation Plan detailing how any contaminated soils and/or groundwater will be dealt with, including plans to remediate utility corridors. Utility corridors in contaminated soil shall be over excavated by 2 feet and backfilled with "clean" soil. Include description of environmentally sound methods of off-site transport and disposal of contaminated soils and debris (including, but not limited to types of vehicles appropriate for handling specific materials and ensuring vehicle loads are covered).
 - d. Submit a Health and Safety Plan indicating measures to be taken during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. The determination whether air monitoring is needed must be adequately addressed in the Health and Safety Plan submitted for review.
 - e. The applicant shall screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes the following SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221&1222 (Bituminous Coal).

- f. Applicant shall submit three (3) electronic and two (2) hard copies of the above. The remediation plan must be included in the Final Site Plan. (T&ES) *
- 73. Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the Applicant must immediately notify the City of Alexandria Department of Transportation and Environmental Services, Office of Environmental Quality. Should unanticipated conditions warrant, construction within the impacted area shall be stopped until the appropriate environmental reports identified in a. through f. above are submitted and approved at the discretion of the Director of Transportation and Environmental Services. This shall be included as a note on the Final Site Plan. (T&ES) (Code)
- 74. If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. The installed vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. (T&ES)

D. NOISE:

- 75. Prepare a noise study identifying the levels of noise residents of the project will be exposed to at the present time, and 10 years into the future in a manner consistent with the Noise Guidance Book used by the Department of Housing and Urban Development (HUD). In addition, include analysis of the levels of noise residents of the project will be exposed to due to loading and unloading activities, idling and traffic. Identify options to minimize noise and vibration exposure to future residents at the site, particularly in those units closest to the commercial activities, loading areas, garage entrances, interstate highway, railroad tracks and airport traffic, including triple-glazing for windows, additional wall / roofing insulation, installation of resilient channels between interior gypsum board and wall studs, installation of a berm or sound wall and any other special construction methods to reduce sound transmission. If needed, the applicant shall install some combination of the above to the satisfaction of the Directors of P&Z and T&ES. (T&ES)
- 76. The noise study and noise commitment letter shall be submitted and approved prior to Final Site Plan release.* (T&ES)
- 77. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)
- 78. No vehicles associated with this project shall be permitted to idle for more than 10 minutes when parked. This includes a prohibition on idling for longer than 10 minutes in the loading dock area. The applicant shall post of minimum of two no idling for greater than 10 minutes signs in the loading dock area in plain view. (T&ES)

E. AIR POLLUTION:

CONDITION AMENDED BY STAFF: (Former Condition #80) If fireplaces are utilized in the development, the Applicant is required to install gas fireplaces to reduce air pollution and odors. Animal screens must be installed on chimneys. (T&ES)

79. Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. (T&ES)

V. CONSTRUCTION MANAGEMENT

- 80. Submit a separate construction management plan to the Directors of P&Z, T&ES and Code Administration prior to Final Site Plan release. The plan shall:
 - a. No streetlights shall be removed without authorization from the City of Alexandria.
 - b. If streetlights are to be removed from the public right of way, then temporary lights shall be provided until the installation and commissioning of new lights.
 - c. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed.
 - d. Provide a detailed sequence of demolition and construction of improvements in the public right of way along with an overall proposed schedule for demolition and construction;
 - e. Include an overall proposed schedule for construction;
 - f. Include a plan for temporary pedestrian circulation;
 - g. Include the location and size of proposed construction trailers, if any;
 - h. Include a preliminary Maintenance of Traffic Plan (MOT) as part of the construction management plan for informational purposes only, to include proposed controls for traffic movement, lane closures, construction entrances and storage of materials.
 - i. Copies of the plan shall be posted in the construction trailer and given to each subcontractor before they commence work. (P&Z) (T&ES)
- 81. Provide off-street parking for all construction workers without charge to the construction workers. The applicant shall be responsible for ensuring that all contractors use the off-street parking provided. For the construction workers who use Metro, DASH, or another form of mass transit to the site, the applicant shall subsidize a minimum of 50% of the fees for mass transit. Compliance with this condition shall be a component of the construction management plan, which shall be submitted to the Department of P&Z and T&ES prior to Final Site Plan release. This plan shall:
 - a. Establish the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit.

- b. Provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes.
- c. If the off-street construction workers parking plan is found to be violated during construction, a correction notice will be issued to the developer. If the violation is not corrected within five (5) days, a "stop work order" will be issued, with construction halted until the violation has been corrected. (P&Z) (T&ES) *
- 82. Sidewalks adjacent to the site shall remain open during construction. If sidewalks must be closed, pedestrian access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. The plan for maintenance of pedestrian access shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
- 83. Bicycle facilities including Capital Bikeshare stations adjacent to the site shall remain open during construction. If a bicycle facility including a Capital Bikeshare station must be closed, Bicycle access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. The plan for maintenance of bicycle access shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
- 84. No major construction staging shall be allowed within the public right-of-way. The applicant shall meet with T&ES to discuss construction staging activities prior to release of any permits for ground disturbing activities. (T&ES)
- 85. Transit stops adjacent to the site shall remain open if feasible for the duration of construction. If construction forces the closure of the stop, a temporary ADA accessible transit stop shall be installed. The exact temporary location shall be coordinated with the T&ES Office of Transit Services at 703-746-4075 as well as with the transit agency which provides service to the bus stop. Signs noting the bus stop closure and location of the temporary bus stop must be installed at all bus stops taken out of service due to construction. (T&ES)
- 86. Any structural elements that extend into the public right of way, including but not limited to footings, foundations, tie-backs etc., must be approved by the Director of T&ES as a part of the Sheeting and Shoring Permit. (T&ES)
- 87. A "Certified Land Disturber" (CLD) shall be named in a letter to the Division Chief of Infrastructure Right of Way prior to any land disturbing activities. If the CLD changes during the project, that change must be noted in a letter to the Division Chief. A note to this effect shall be placed on the Phase I Erosion and Sediment Control sheets on the site plan. (T&ES)
- 88. Prior to commencing clearing and grading of the site, the applicant shall hold a meeting with notice to all adjoining property owners and civic associations to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. The Departments of P&Z and T&ES shall

- be notified a minimum of 14 calendar days prior to the meeting date, and the meeting must be held before any permits are issued. (P&Z) (T&ES)
- 89. Prior to commencement of landscape installation/planting operations, a preinstallation/construction meeting will be scheduled with the project planner in the Department of P&Z to review the scope of installation procedures and processes. This is in addition to the pre-construction meeting required above. (P&Z)
- 90. Identify a person who will serve as a liaison to the community throughout the duration of construction. The name and telephone number, including an emergency contact number, of this individual shall be provided in writing to residents, property managers and business owners whose property abuts the site and shall be placed on the project sign, to the satisfaction of the Directors of P&Z, and/or and T&ES. (P&Z) (T&ES)
- 91. Install a temporary informational sign on the site prior to release of the Final Site Plan for the project. The sign shall notify the public of the nature of the project and shall include the name and telephone number of the community liaison, including an emergency contact number for public questions regarding the project. The sign shall be displayed until construction is complete. (P&Z) (T&ES)
- 92. Implement a waste and refuse control program during the construction phase of this development. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. All wastes shall be properly disposed offsite in accordance with all applicable federal, state and local laws. Provide information on the program in construction management plan. If program is implemented in coordination with green building certification, include documentation as appropriate per the City's Green Building Policy and conditions herein. (T&ES)
- 93. Temporary construction and/or on-site sales trailer(s) shall be permitted and be subject to the approval of the Director of P&Z. The trailer(s) shall be removed prior to the issuance of a final certificate of occupancy permit. (P&Z) (Code) ***
- 94. Submit a wall check prior to the commencement of construction of the first floor above grade framing for the building(s). The wall check shall include the building footprint, as depicted in the released Final Site Plan, the top-of-slab elevation and the first-floor elevation. The wall check shall be prepared and sealed by a registered engineer or surveyor and submitted to Planning & Zoning. Approval of the wall check by Planning & Zoning is required prior to commencement of framing. (P&Z)
- 95. Submit an as-built development site plan survey, pursuant to the requirements outlined in the initial as-built submission for occupancy portion of the as-built development site plan survey checklist to the Department of Transportation and Environmental Services Site Plan

Coordinator prior to requesting a certificate of occupancy permit. The as-built development site plan survey shall be prepared and sealed by a registered architect, engineer, or surveyor. Include a note which states that the height was calculated based on all applicable provisions of the Zoning Ordinance. (P&Z) (T&ES) ***

- 96. Contractors shall not cause or permit vehicles to idle for more than 10 minutes when parked. (T&ES)
- 97. If there are outstanding performance, completion or other bonds for the benefit of the City in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond and associated documents must be provided by that party or, in the alternative, an assignment or other documentation from the bonding company indicating that the existing bond remains in effect despite the change in ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met, and the bond(s) released by the City. (T&ES)

VI. CONTRIBUTIONS

- 98. Contribute \$2,500 to the City prior to Final Site Plan release to install Capital Bikeshare station on or directly across from the project as part of a coordinated bike share program. In the event a Capital Bikeshare station cannot be located along the site frontage due to space constraints or impacts to operational efficiency, an alternate off-site location within a two-block radius of the project may be selected. (T&ES)
- 99. Contribute \$9,046 to the Urban Forestry Fund prior to first Certificate of Occupancy per the Landscape Guidelines. This contribution includes a fee-in-lieu of the required on-site crown coverage and \$2,500 for an additional street tree. (RP&CA)(P&Z)***

A. HOUSING:

100. A voluntary contribution of \$70,480 to the Housing Trust Fund would be consistent with the conclusions of the Developer's Housing Contribution Work Group accepted by The Alexandria City Council in December 2013.

B. PUBLIC ART:

- 101. Per the City's Public Art Policy, adopted December 13, 2014, work with City staff to determine ways to incorporate public art elements on-site, or provide an equivalent monetary contribution to be used toward public art within the Small Area Plan planning area, to the satisfaction of the Directors of RP&CA and P&Z. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. In the event public art is provided on-site, the public art shall be of an equivalent value. (RP&CA) (P&Z)
 - a. The next submission shall identify the location, type and goals for public art. Prior to release of the Final Site Plan, the applicant shall have selected the artist, have locations and medium finalized and provide a schedule for the art installation. The

- applicant is strongly encouraged to concurrently provide information on construction materials and the recommended maintenance regimen. The art shall be installed prior to the issuance of the first Certificate of Occupancy, to the satisfaction of the Directors of P&Z and/or RP&CA. (RP&CA)(P&Z) * ***
- b. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. The contribution shall be provided prior to the issuance of the first Certificate of Occupancy. (RP&CA) (P&Z) ***

VII. USES AND SIGNS

A. <u>RETAIL USES:</u>

- 102. Provide documentation (lease agreement or similar) to future retail tenants requiring them to operate their business consistently with the goals of LEED, as well as to pursue LEED for Retail or LEED for Commercial Interiors certification at a Silver level.
- 103. Ensure the following for the retail and retail-ready units within the development, to the satisfaction of the Director of P&Z:
 - a. Provide the minimum floor to floor heights per the Preliminary Site Plan.
 - b. All entrances along S. Henry Street are required to be operable and ADA accessible, even if the retail-ready space is used for residential purposes. This requirement shall be included as part of the lease for each tenant.
 - c. All windows and doors shall be a storefront system as depicted in the Preliminary Site Plan.
 - d. The placement or construction of items that block the visibility of the interior of the store from the street and sidewalk (e.g. storage cabinets, carts, shelving, boxes, coat racks, storage bins, closets, etc.) shall be prohibited. This is not intended to prevent retailers from displaying their goods in display cases that are oriented towards the street frontage. This requirement shall be included as part of the lease for each tenant. The interior layout of retail-ready units must consist of full-height space off of the storefront entrance and include a bathroom that can be publicly accessible.
 - e. The location for signage shall be identified as part of the coordinated site plan.
 - f. The retail-ready unit type shall be listed on all promotion material/websites to encourage active uses. (P&Z)
- 104. The applicant shall encourage its employees who drive to use off-street parking. (T&ES)
- 105. The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at goalex@alexandriava.gov for information on establishing an employee transportation benefits program. (T&ES)
- 106. The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)

107. The applicant shall encourage patrons to park off-street through the provision of information about nearby garages on advertising and on the restaurant's website. (T&ES)

B. <u>SIGNAGE</u>:

- 108. Design and develop a coordinated sign plan, which includes a color palette, for all proposed commercial signage, including for the retail-ready spaces. The plan shall be included as part of the Final Site Plan and BAR Certificate of Appropriateness and shall coordinate the location, scale, massing and character of all proposed signage to the satisfaction of the Director of P&Z.* (P&Z) (BAR)
- 109. Provide signage at the entrances to the parking garage with retail parking that is consistent with the City's Wayfinding standards for identifying parking garages. (T&ES)

VIII. DISCLOSURE REQUIREMENTS

- 110. All master association covenants shall be reviewed by the Director of P&Z and the City Attorney to ensure inclusion of all the conditions of this DSUP prior to applying for the first certificate of occupancy permit for the project. The association covenants shall include the conditions listed below, which shall be clearly expressed in a separate section of the covenants. The language shall establish and clearly explain that these conditions cannot be changed except by an amendment to this development special use permit approved by City Council.
 - a. The principal use of the automated garage shall be for passenger vehicle parking only; storage which interferes with the use of a parking space for a motor vehicle is not permitted.
 - b. The property includes a public access easement over the four-foot pedestrian sidewalk adjacent to Downham Way.
 - c. The site is located in the Old and Historic Alexandria District, and any exterior alterations are subject to review and approval by the Board of Architectural Review.
 - d. All landscaping and open space areas within the development shall be maintained by the master association.
 - e. Exterior building improvements or changes by future residents shall require the approval of the City Council, as determined by the Director of P&Z.
 - f. Develop a noise control by-law aimed at controlling noise levels in the proposed development and resolving noise issues between neighboring occupants and disclose this by-law to all involved at the time of sale or lease agreement.
 - g. The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit.
 - h. Stormwater facility BMPs must be inspected and adequately maintained as designed to ensure proper functioning.
 - i. The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit.
 - j. Residents are not eligible for residential street parking permits because the property is not located within a residential permit parking district and are not eligible for a permit in a sub-district based on code requirements. (P&Z) (T&ES) (PC)***

- 111. If environmental site assessments or investigations discover the presence of onsite contamination, the applicant or its agent shall furnish each prospective buyer with a statement disclosing the prior history of the site, including previous environmental conditions and on-going remediation measures. Disclosures shall be made to the satisfaction of the Director of Transportation and Environmental Services. (T&ES)
- 112. Present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Directors of P&Z and T&ES, and the City Attorney:
 - a. That the loading dock clearance is under 14'6" and the building operator and/or commercial tenants shall coordinate with trash and delivery services accordingly.
 - b. That Route 1 is an existing/planned location for Transit Corridor A, which will traverse in a north-south direction in the general vicinity of Route 1 and connect to future transit corridors in Fairfax and Arlington Counties. (P&Z) (T&ES) (City Attorney)

IX. RESTAURANT USE (SUP#2020-0036)

CONDITIONS DELETED BY STAFF (Former Conditions #115-#129)

The conditions contained herein relating to restaurant uses cover any of the ground-floor commercial or retail-ready tenant spaces in DSUP#2019-0033. (P&Z)(T&ES).

The Special Use Permit shall be granted to the applicant only or to any business or entity in which the applicant has a controlling interest. (P&Z)

Trash and garbage shall be stored inside or in sealed containers that do not allow odors to escape, invasion by animals, or leaking. No trash or debris shall be allowed to accumulate outside of those containers. Outdoor containers shall be maintained to the satisfaction of the Directors of P&Z and T&ES, including replacing damaged lids and repairing/replacing damaged dumpsters. (P&Z) (T&ES)

Live entertainment shall be limited to indoor only. The applicant shall conform with the City's noise ordinance and no amplified sound shall be audible at the property line after 11:00 p.m. (T&ES)

Kitchen equipment, including floor mats, shall not be cleaned outside, nor shall any cooking residue be washed into any street, alley, or storm sewer. (T&ES)

Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00 p.m. and 7:00 a.m. (T&ES)

Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring

properties, as determined by the Director of Transportation and Environmental Services. (T&ES)

Chemicals, detergents or cleaners stored outside the building shall be kept in an enclosure with a roof. (T&ES)

If used cooking oil is stored outside, the lid of the used cooking oil drum shall be kept securely closed (using a bung) when not receiving used oil. The drum shall be placed on secondary containment and situated under cover to prevent rainwater from falling on it. (T&ES)

Litter on the site and on public rights of way and spaces adjacent to or within 75 feet of the premises shall be picked up at least twice a day and at the close of business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is open to the public. (T&ES)

The applicant shall encourage its employees who drive to use off-street parking. (T&ES)

The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at goalex@alexandriava.gov for information on establishing an employee transportation benefits program. (T&ES)

The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)

The applicant shall encourage patrons to park off-street through the provision of information about the on-site public garage and other nearby garages on advertising and on the restaurant's website. (T&ES)

The Director of Planning and Zoning shall review the Special Use Permit after it has been operational for one (1) year, and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse zoning impact on the surrounding community; (b) the director has received a request from any person to docket the permit for review as the result of a complaint that rises to the level of a violation of the permit conditions, or (c) the director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)

IX. CITY DEPARTMENT CODE COMMENTS

Legend: C - Code Requirement R - Recommendation S - Suggestion F - Finding

Planning and Zoning (P&Z)

- R 1. For all first-floor bays with a street-facing door providing their primary access, please coordinate with the Geographic Information Systems (GIS) Division for address assignments at tenant fit out. These uses are not permitted to use the primary building address as their address. Please contact the Addressing Coordinator in the GIS Division (703-746-3823) as each new tenant is determined, and an appropriate address based on the location of the primary entrance door of the new space will be assigned.
- C 1 As-built documents for all landscape and irrigation installations are required to be submitted with the Site as-built and request for Performance Bond release. Refer to City of Alexandria Landscape Guidelines, Section III A & B. (P&Z) (T&ES) ****
- C 2 Tree conservation and protection plans shall identify all trees to be removed, and all trees to be protected / preserved. Construction methods to reduce disturbance within driplines shall also be identified. An on-site inspection of existing conditions shall be held with the City Arborist and Natural Resources Division Staff prior to the preparation of the Tree Conservation and Protection Plan.
- C 3 The landscape elements of this development shall be subject to the Performance and Maintenance bonds, based on criteria established by the City and available through T&ES. Release of Performance and Maintenance Bonds are subject to inspections by City staff per City Code requirements. A final inspection for landscaping is also required three (3) years after completion. (P&Z) (T&ES) ****
- C 4 No permits shall be issued prior to the release of the Certificate of Appropriateness from the Board of Architectural Review. (BAR)
- C 5 Parking ratio requirement adjustment. Any parking requirement may be adjusted within 5% of the requirement if the director of Planning and Zoning determines that physical requirements of the building prevent compliance with the specific number of parking spaces required. (Section 8-200(A)(2)(c)(i) of the Zoning Ordinance) (T&ES) (P&Z)

Code Administration (Building Code)

- F 1. The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. A preconstruction conference is recommended for large projects. If there are any questions, the applicant may contact the Code Administration Office, Plan Review Supervisor at 703-746-4200.
- C 1 New construction or alterations to existing structures must comply with the current edition of the Uniform Statewide Building Code (USBC).

- C 2 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) total floor area per floor; e) height of structure f) non-separated or separated mixed use g) fire protection system requirements.
- C 3 A soils report must be submitted with the building permit application for all new and existing building structures.
- C 4 The most restrictive type of construction shall apply to the structure for height and area limitations for non-separated uses.
- C 5 Where required per the current edition Virginia Uniform Statewide Building Code exits, parking, and facilities shall be accessible for persons with disabilities.
- C 6 All proposed buildings where an occupied floor exceeds 75 feet above the lowest level of fire department vehicle access shall meet the Virginia Uniform Statewide Building Code for HIGH-RISE buildings.
- C 7 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to the Department of Code Administration that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C 8 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C 9 A wall location plat prepared by a land surveyor is required to be submitted to the Department of Code Administration prior to any building framing inspection.

Archaeology

- F 1. This section of upper King St. experienced development in the early nineteenth century. For example, as detailed in the 1810 tax assessor's list there were eight standing houses on the street face. Moreover, Levin Moreland and James Nutt lived on the street face in the vicinity of 116 S. Henry St. in 1810. Both lots likely contain significant archaeological evidence of the development of late eighteenth- and nineteenth-century Alexandria, especially considering that most of the two lots are paved which suggests modern impacts to the archaeological resources could be minimal.
- C -1. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

Transportation and Environmental Services (T&ES)

F - 1. Since the record drawings, maps, and other documents of the City of Alexandria, State, and Federal agencies show the true north pointing upwards, therefore, the Site Plan shall show the true north

arrow pointing upward as is customary; however, for the sake of putting the plan together and/or ease of understanding, the project north arrow pointing upward, preferably east, or west may be shown provided it is consistently shown in the same direction on all the sheets with no exception at all. The north arrow shall show the source of meridian. The project north arrow pointing downward will not be acceptable even if, it is shown consistently on all the sheets. (T&ES)

- F 2. The Final Site Plan must be prepared per the requirements of Memorandum to Industry 02-09 dated December 3, 2009, Design Guidelines for Site Plan Preparation, which is available at the City's website:
 - http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-09%20December%203,%202009.pdf
- F 3. The plan shall show sanitary and storm sewer, and water line in plan and profile in the first final submission and cross reference the sheets on which the plan and profile is shown, if plan and profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, or water line plans and profiles. Provide existing and proposed grade elevations along with the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. (T&ES)
- F 4. The Plan shall include a dimension plan with all proposed features fully dimensioned and the property line clearly shown. (T&ES)
- F 5. Include all symbols, abbreviations, and line types in the legend. (T&ES)
- F 6. All storm sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter for storm sewers shall be 18" in the public Right of Way (ROW) and the minimum size storm sewer catch basin lead is 15". The acceptable pipe materials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the Director of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable minimum and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public Right of Way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public Right of Way shall be owned and maintained privately). (T&ES)
- F 7. All sanitary sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter of sanitary sewers shall be 10 inches in the public Right of Way and sanitary lateral 6 inches for all commercial and institutional developments; however, a 4-inch sanitary lateral will be acceptable for single family residences. The acceptable pipe materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52, or reinforced concrete pipe ASTM C-76 Class IV (For 12 inch or larger diameters); Class III may be acceptable on private properties. The acceptable minimum and maximum velocities will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured "Y" or "T" or approved sewer

- saddle. Where the laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured "Y" or "T", or else install a manhole. (T&ES)
- F 8. Lateral Separation of Sewers and Water Mains: A horizontal separation of 10 feet (edge to edge) shall be provided between a storm or sanitary sewer and a water line; however, if this horizontal separation cannot be achieved then the sewer and water main shall be installed in separate trenches and the bottom of the water main shall be at least 18 inches above of the top of the sewer. If both the horizontal and vertical separations cannot be achieved, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 and pressure tested in place without leakage prior to installation. (T&ES)
- F 9. Crossing Water Main Over and Under a Sanitary or Storm Sewer: When a water main over crosses or under crosses a sanitary / storm sewer then the vertical separation between the bottom of one (i.e., sanitary / storm sewer or water main) to the top of the other (water main or sanitary / storm sewer) shall be at least 18 inches for sanitary sewer and 12 inches for storm sewer; however, if this cannot be achieved then both the water main and the sanitary / storm sewer shall be constructed of Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing and the pipes shall be pressure tested in place without leakage prior to installation. Sewers crossing over the water main shall have adequate structural support (concrete pier support and/or concrete encasement) to prevent damage to the water main. Sanitary sewers under creeks and storm sewer pipe crossings with less than 6-inch clearance shall be encased in concrete. (T&ES)
- F 10. No water main pipe shall pass through or come in contact with any part of sanitary / storm sewer manhole. Manholes shall be placed at least 10 feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, the manhole shall be of watertight construction and tested in place. (T&ES)
- F 11. Crossing Existing or Proposed Utilities: Underground telephone, cable T.V., gas, and electrical duct banks shall be crossed maintaining a minimum of 12 inches of separation or clearance with water main, sanitary, or storm sewers. If this separation cannot be achieved, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 for a distance of 10 feet on each side of the point of crossing and pressure tested in place without leakage prior to installation. Sanitary / storm sewers and water main crossing over the utilities shall have adequate structural support (pier support and/or concrete encasement) to prevent damage to the utilities. (T&ES)
- F 12. Dimensions of parking spaces, aisle widths, etc. within the parking garage shall be provided on the plan. Note that dimensions shall not include column widths. (T&ES)
- F 13. Show the drainage divide areas on the grading plan or on a sheet showing reasonable information on topography along with the structures where each sub-area drains. (T&ES)
- F 14. Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. (T&ES)

- F 15. All the existing and proposed public and private utilities and easements shall be shown on the plan and a descriptive narration of various utilities shall be provided. (T&ES)
- F 16. A Maintenance of Traffic Plan shall be provided within the Construction Management Plan and shall replicate the existing vehicular and pedestrian routes as nearly as practical. Pedestrian and bike access shall be maintained adjacent to the site per Memo to Industry #04-18. These sheets are to be provided as "Information Only." (T&ES)
- F 17. The following notes shall be included on all Maintenance of Traffic Plan Sheets: (T&ES)
 - a. The prepared drawings shall include a statement "FOR INFORMATION ONLY" on all MOT Sheets.
 - b. Sidewalk closures will not be permitted for the duration of the project. Temporary sidewalk closures are subject to separate approval from Transportation and Environmental Services (T&ES) at the time of permit application.
 - c. Contractor shall apply for all necessary permits for uses of the City Right of Way and shall submit MOT Plans with the T&ES Application for final approval at that time. *
- F 18. Add complete streets tabulation to the cover sheet with the Final 1 submission. (T&ES)
- C 1 Per the requirements of the City of Alexandria Zoning Ordinance Article XI, the applicant shall complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site. If the existing storm system is determined to be inadequate, then the applicant shall design and build on-site or off-site improvements to discharge to an adequate outfall; even if the post development stormwater flow from the site is reduced from the predevelopment flow. The Plan shall demonstrate to the satisfaction of the Director of T&ES that a non-erosive stormwater outfall is present. (T&ES)
- C-2 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article XIII, Environmental Management Ordinance, the applicant shall comply with the stormwater quality and quantity requirements and provide channel protection and flood protection in accordance with these requirements. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be met. If the project site lies within the Braddock-West watershed or known flooding area, then the applicant shall provide an additional 10 percent storage of the pre-development flows in this watershed to meet detention requirements. (T&ES)
- C 3 Per the requirements of Article 13-114 (f) of the AZO, all stormwater designs that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems shall be signed and sealed by a professional engineer, registered in the Commonwealth of Virginia. The design of storm sewer shall include the adequate outfall, inlet, and hydraulic grade line (HGL) analyses that shall be completed to the satisfaction of the Director of T&ES. Provide appropriate reference and/or source used to complete these analyses. (T&ES)

- C 4 The proposed development shall conform to all requirements and restrictions set forth in Section 6-300 (Flood plain District) of Article VI (Special and Overlay Zones) of the City of Alexandria Zoning Ordinance. (T&ES)
- C 5 If it is determined that the site is not in compliance with Section 13-1-3 of the City Code, then the applicant shall make additional improvements to adjust lighting levels to the satisfaction of the Director of T&ES to comply with the Code. (T&ES)
- C 6 Location of customer utility services and installation of transmission, distribution and main lines in the public rights of way by any public service company shall be governed by franchise agreement with the City in accordance with Title 5, Chapter 3, Section 5-3-2 and Section 5-3-3, respectively. The transformers, switch gears, and boxes shall be located outside of the public right of way. (T&ES)
- C 7 (a) Per the requirements of Section 5-3-2, Article A, Chapter 3 of the City of Alexandria Code, all new customer utility services, extensions of existing customer utility services and existing overhead customer utility services supplied by any existing overhead facilities which are relocated underground shall, after October 15, 1971 be installed below the surface of the ground except otherwise exempted by the City Code and to the satisfaction of the Director, Department of Transportation and Environmental Services. (b) Per the requirements of Section 5-3-3, Article A, Chapter 3 of the City of Alexandria Code, all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to be used to transmit or distribute any service such as electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam or petroleum, whether or not on the streets, alleys, or other public places of the City shall, after October 15, 1971, be installed below the surface of the ground or below the surface in the case of bridges and elevated highways except otherwise exempted by the City Code and to the satisfaction of Director, Department of Transportation and Environmental Services. (T&ES)
- C 8 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable after treating for water quality as per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). (T&ES)
- C 9 In compliance with Title 5: Transportation and Environmental Services, Section 5-1-2(12b) of the City Charter and Code, the City of Alexandria shall provide solid waste collection services to the condominium townhomes portion of the development. All refuse / recycling receptacles shall be placed at the City Right-of-Way. (T&ES)
- C 10 Per the requirements of Title 4, Chapter 2, Article B, Section 4-2-21, Appendix A, Section A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access: provide a total turning radius of 25 feet to the satisfaction of Directors of T&ES and Office of Building and Fire Code Administration and show turning movements of standard vehicles in the parking lot as per the latest AASHTO vehicular guidelines. (T&ES)

- C 11 The applicant shall provide required storage space for both trash and recycling materials containers as outlined in the City's "Solid Waste and Recyclable Materials Storage Space Guidelines", or to the satisfaction of the Director of Transportation & Environmental Services. The plan shall show the turning movements of the collection trucks and the trucks shall not back up to collect trash or recycling. The City's storage space guidelines are available online at: www.alexandriava.gov/solidwaste or by contacting the City's Solid Waste Division at 703-746-4410, or via email at commercialrecycling@alexandriava.gov. (T&ES)
- C 12 The applicant shall be responsible to deliver all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at 5301 Eisenhower Avenue. A note to that effect shall be included on the plan. The developer further agrees to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. (T&ES)
- C 13 The applicants shall submit a Recycling Implementation Plan (RIP) form to the Solid Waste Division, as outlined in Article H of Title 5 (Ordinance Number 4438), which requires all commercial properties to recycle. Instructions for how to obtain a RIP form can be found at: www.alexandriava.gov/solidwaste or by calling the Solid Waste Division at 703.746.4410 or by e-mailing CommercialRecycling@alexandriava.gov. (T&ES)
- C 14 All private streets and alleys shall comply with the City's Minimum Standards for Private Streets and Alleys. (T&ES)
- C 15 Bond for the public improvements must be posted prior to release of the site plan. (T&ES)*
- C 16 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan. (T&ES) *
- C 17 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)
- C 18 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To ensure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)
- C 19 The thickness of sub-base, base, and wearing course shall be designed using "California Method" as set forth on page 3-76 of the second edition of a book entitled, "Data Book for Civil Engineers, Volume One, Design" written by Elwyn E. Seelye. Values of California Bearing Ratios used in the design shall be determined by field and/or laboratory tests. An alternate pavement section for Emergency Vehicle Easements (EVE) to support H-20 loading designed using California Bearing Ratio (CBR) determined through geotechnical investigation and using Virginia Department of Transportation (VDOT) method (Vaswani Method) and standard material specifications designed

- to the satisfaction of the Director of Transportation and Environmental Services (T&ES) will be acceptable. (T&ES)
- C 20 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)
- C 21 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)
- C 22 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)
- C 23 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)
- C 24 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C 25 All construction activities must comply with the Alexandria Noise Control Code Title 11, Chapter 5, Section 11-5-4(b)(15), which permits construction activities to occur between the following hours:
 - a. Monday Through Friday from 7 AM To 6 PM and
 - b. Saturdays from 9 AM to 6 PM.
 - c. No construction activities are permitted on Sundays and holidays. Section 11-5-4(b)(19) further restricts the Pile Driving to the following hours:
 - d. Monday Through Friday from 9 AM To 6 PM and
 - e. Saturdays from 10 AM To 4 PM
 - f. No pile driving is permitted on Sundays and holidays. Section 11-5-109 restricts work in the right of way for excavation to the following:
 - g. Monday through Saturday 7 AM to 5 pm
 - h. No excavation in the right of way is permitted on Sundays. (T&ES)
- C 26 The applicant shall comply with the Article XIII of the City of Alexandria Zoning Ordinance, which includes requirements for stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default and stormwater quantity management. (T&ES)
- C 27 The applicant shall comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. (T&ES)

PWS Comments

C-28 Proposed 4 feet public alley widening should be an asphalt hatch, not a concrete hatch as shown.

AlexRenew Comments

No comments.

VAWC Comments

No comments received.

Fire Department

No comments.

Police Department

- R 2. It is recommended that the buildings have an address number which is contrasting in color to the background, at least 3 inches high, reflective, and visible from the street placed on the front and back of each home. It is strongly suggested that no brass or gold colored numbers are used. This aids in a timely response from emergency personnel should they be needed.
- R 3. It is recommended that all the ground floor level windows be equipped with a device or hardware that allows windows to be secured in a partially open position. This is to negate a "breaking and entering" when the windows are open for air.
- R 4. It is recommended that a "door-viewer" (commonly known as a peep-hole) be installed on all doors on the ground level that lead directly into an apartment. This is for the security of the occupant.

Asterisks denote the following:

- * Condition must be fulfilled prior to release of the Final Site Plan
- ** Condition must be fulfilled prior to release of the building permit
- *** Condition must be fulfilled prior to release of the certificate of occupancy
- **** Condition must be fulfilled prior to release of the bond

X. <u>ATTACHMENTS</u>

1. DSUP2019-00033 – 116 S. Henry Street Approved Staff Report

APPLICATION



DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN

DS	UP #2025-10005 Proje	ct Name: GCP Henry Street
	4400.11	
PROPERTY L	074.04.05.40	
TAX MAP REI	FERENCE: 074.01-05-12	zone: <u>CD</u>
APPLICANT:		
Name:	Galena Capital Partners	
Address:		
PROPERTY O	WNED.	
	City of Alexandria	
	301 King Street, Alexandria,	VA 22314
		tension of the previously approved DSUP for multi-family residential uses
	-	work space and an automated parking facility.
		open space, decrease set back requirement in
	1 2	erage, and street tree requirements. of more than 20 vehicles and SUP for loading space reduction
		mum clearance requirement of 14.5' per Section 8-200 (B)(3).
And for increase	e in the number of units per acre and for	more parking than the maximum permitted and umbrella SUP for
with the provisions	NDERSIGNED hereby applies for Developn s of Section 11-400 of the Zoning Ordinance	restaurant on the first floor. nent Site Plan with Special Use Permit approval in accordance of the City of Alexandria, Virginia.
Alexandria to post		from the property owner, hereby grants permission to the City of application is requested, pursuant to Article XI, Section 11-301 ginia.
		formation herein provided and specifically including all surveys, courate to the best of his/her knowledge and belief.
	rine Gibbs, Wire Gill, LLP	Mary atherice Sel
Print Name of Appli	icant or Agent	Signature/
City and State	Zip Code	Email address March / 2025
		Date
5/5/5/5/5/	DO NOT WRITE IN THIS	SPACE - OFFICE USE ONLY
Application Receiv	ved:	Received Plans for Completeness:
Fee Paid and Date		Received Plans for Preliminary:
ACTION - PLANN	NING COMMISSION:	
ACTION - CITY C	COUNCIL:	

Development SUP #	2025-10005

ALL APPLICANTS MUST COMPLETE THIS FORM.

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

1.	The applican	t is: (check one)			
	OThe Owner	Contract Purchaser	OLessee or	Other:	of
	the subject proj	perty.			

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than three percent.

Omar Abdul-Baki	- 25%
Ahmed Abdul-Baki	- 75%

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- Yes. Provide proof of current City business license.
- **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
^{1.} Omar Abdul-Baki		25%
^{2.} Ahmad Abdul-Baki		75%
3.		

2. Property. State the name, address and percent of ownership of any person or entity ownin	g an
interest in the property located at116 S. Henry St.	(address),
unless the entity is a corporation or partnership, in which case identify each owner of more than	three
percent. The term ownership interest shall include any legal or equitable interest held at the time	of the
application in the real property which is the subject of the application.	

Name	Address	Percent of Ownership
1. City of Alexandria	301 King St. Alexandria, VA 22314	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business

and financial relationship, click here.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Omar Abdul-Baki	None	NA
2. Ahmad Abdul-Baki	None	NA
3. Galena Capital Partners	None	NA

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applican	t or the applicant's authorized agent,	I hereby attest to the best of my ability	that
	provided above is true and correct.		0
4/14/25		Marsathenie &	2/
3/20/25	Mary Catherine Gibbs	// My deflerell all	1
Date	Printed Name	Signature	

2. Narrative description. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 6-9. (Attach additional sheets if necessary.)

The Applicant is seeking a extension of the previsouly approved DSUP and associated other applications. This exciting and innovative project has fallen prey to multiple delay factors including:

- 1. Recovering from the COVID-19 pandemic's economic downturn;
- 2. An appeal of the DSUP by one neighbor that was settled amicably, but took significant time and required a minor change to the site plan to accommodate an access easement;
- 3. Changeover in staffing at different consultant's offices working on the project;
- 4. Significant increases in interest rates in the lending market making obtaining additional financing much more difficult;
- 5. Significant construction pricing increases due to multiple factors including material cost increases, an additional downturn in the ecomony in 2023 and 2024; and
- 6. Changes in what Dominion Va. Power would permit as it pertains to getting electicity to serve the site, requiring another minor change to the site plan that was only recently approved.

During all these delays, the Applicant continued to diligently pursue all their development permits to the best of its ability and it is very close to obtaining final site plan approval that will then permit it to submit for building permits. The expiration of the DSUP and associated approvals, is in July of 2025. In an abundance of caution, the Applicant is filing this application in order to get a hearing in June of 2025.

Development SUP #	2025-10005

3.		atrons, clients, puperiod (i.e., day, hour, or		ch users do you expect?	
	based on occ	upany of the 19 units	. Retail customers	sidential. Number will vary and employees will depend in automated facility.	ı
4.	_	mployees, staff an		el do you expect?	
		n ultimate retail tenan e anticipated except f		cility will be automated so no d emergencies.)
5.	Describe the p	proposed hours and d	lays of operation of	the proposed use:	
	Day 24/7	Hours	Day	Hours	
			_		
			_		
			_		
6.	Describe any	y potential noise er	manating from th	e proposed use:	
	A. Describ	e the noise levels antic	ipated from all mech	anical equipment and patrons.	
	Typical noise	from a multi-family re he automated facility	esidential buildings	of these modest sizes and rechind mechanical doors on	retail
	B. How wil	I the noise from patrons	s be controlled?		
		l be secured and kep or activity from these		pise inside the building exceruildings.	ot for
7.	Describe any	•	manating from th	e proposed use and plans	s to

NA

Development SUP #	2025-10005

8.	Provide information regarding trash and litter generated by the use:	
	A. What type of trash and garbage will be generated by the use? Typical type for these residential uses, retail trash to be determined based on ultimate retail tenant.	
	B. How much trash and garbage will be generated by the use? Likely at least one dumpster per week.	
	C. How often will trash be collected? At least once a week, more if necessary.	
	D. How will you prevent littering on the property, streets and nearby properties? The applicant will ultimately have a property management company who will be required to maitain the property.	
9.	Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?	
	Yes. VNo.	
	If yes, provide the name, monthly quantity, and specific disposal method below:	
10.	Will any organic compounds (for example: paint, ink, lacquer thinner, or cleaning or degreasing solvent) be handled, stored, or generated on the property?	
	☐ Yes. ✓ No.	

If yes, provide the name, monthly quantity, and specific disposal method below:

evelopment SUP # 2025-10005

11. What methods are proposed to ensure the safety of residents, employees and patrons?

Security measures will be provided by at a minimum key code/pad access with the residential building locked at all times. Necessary security facilities associated with the retail/auto storage uses will also be provided.

ALCOHOL SALES

12.	Will	the proposed use include the sale of beer, wine or mixed drinks?
	Y	es. V No.
	or off- and id Indivi	describe alcohol sales below, including if the ABC license will include on-premises and/premises sales. Existing uses must describe their existing alcohol sales and/or service dentify any proposed changes in that aspect of the operation. idual retail tenants will have to obtain their own ABC licenses, as needed, but no mation is available at this time related to ulitimate retail users.
PAR	KING A	AND ACCESS REQUIREMENTS
13.	Provi	ide information regarding the availability of off-street parking:
	A.	How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance? 17-33 spaces for residential use of 19 units.
	B.	How many parking spaces of each type are provided for the proposed use: O Standard spaces Compact spaces
		O Compact spaces Handicapped accessible spaces Other

	Development 30F #
C.	Where is required parking located? (check one) on-site off-site
	If the required parking will be located off-site, where will it be located? Automated parking facility on site.
	Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.
D.	If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the Parking Reduction Supplemental Application.
Provi	ide information regarding loading and unloading facilities for the use:
A.	How many loading spaces are required for the use, per section 8-200 (B) of the
	zoning ordinance? 0
B.	How many loading spaces are available for the use? 1
C.	Where are off-street loading facilities located? Off the alley to the north of the property.
D. Typic	During what hours of the day do you expect loading/unloading operations to occur? cal loading/unloading hours for residential use of this size and retail of this size.

14.

Ε.

as appropriate?

Development SUB # 2025-10005

Daily.

How frequently are loading/unloading operations expected to occur, per day or per week,

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Street access is adequate from both S. Henry and St. Patrick Streets.

FINAL SITE PLAN OLD TOWN ALEXANDRIA DEVELOPMENT

116 SOUTH HENRY STREET CITY OF ALEXANDRIA, VIRGINIA

AREA TABULATIONS

TOTAL SITE AREA = 0.3520 AC 15,332 SF TOTAL AREA OF TAX PARCELS = 0.3520 AC 15,332 SF TOTAL EXISTING IMPERVIOUS AREA (PARCEL AREA) = $\frac{0.3016}{}$ AC $\frac{13,137}{}$ SF TOTAL PROPOSED IMPERVIOUS AREA (PARCEL AREA) = $\frac{0.3520}{15,332}$ SF TOTAL DISTURBED AREA = _______0.6155 _____AC ______26,811 _____ SF

ENVIRONMENTAL SITE ASSESSMENT

- PRODUCTS, ALSO KNOWN AS A RECOGNIZED ENVIRONMENTAL CONDITION (REC), WAS POSSIBLE ONSITE; THEREFORE, A PHASE II ESA WAS CONDUCTED. PER

ENVIRONMENTAL PERMITS NOTES

ALL REQUIRED PERMITS FROM VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, ENVIRONMENTAL PROTECTION AGENCY, ARMY CORPS OF ENGINEERS, VIRGINIA MARINE RESOURCES MUST BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN.

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES WHICH DISTURB AN AREA LESS THAN 1 ACRE, THEREFORE A VPDES PERMIT IS NOT REQUIRED.

ARCHAEOLOGY NOTES

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS. WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED IN COMPLIANCE WITH SECTION 11-411 OF THE ZONING ORDINANCE.

GENERAL NOTES

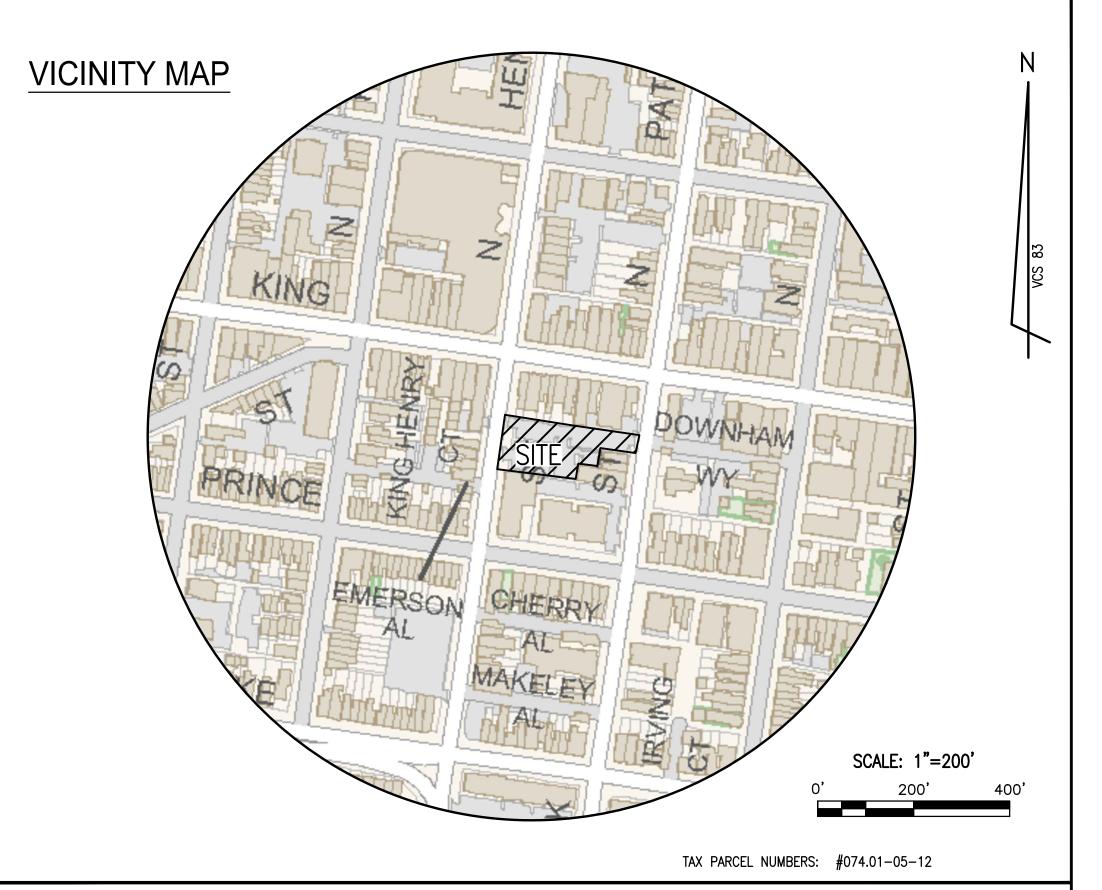
- PRIOR TO THE APPLICATION FOR NEW CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL SUBMIT A BUILDING PERMIT FOR A CHANGE OF USE. DRAWINGS PREPARED BY A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER SHALL ACCOMPANY THE PERMIT APPLICATION. THE PLANS SHALL SHOW PROPOSED CONDITIONS AND PROVIDE DATA BY THE DESIGN PROFESSIONAL WHICH DETAILS HOW THE PROPOSED USE WILL COMPLY WITH THE CURRENT EDITION OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE FOR THE NEW USE IN THE AREA OF STRUCTURAL STRENGTH, MEANS OF EGRESS, PASSIVE AND ACTIVE FIRE PROTECTION, HEATING AND VENTILATING SYSTEMS, HANDICAPPED ACCESSIBILITY AND PLUMBING FACILITIES.
- NEW CONSTRUCTION MUST COMPLY WITH THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE (USBC).
- BEFORE A BUILDING PERMIT CAN BE ISSUED ON ANY PROPOSED FUTURE ALTERATIONS, A CERTIFICATION IS REQUIRED FROM THE OWNER OR OWNER'S AGENT THAT THE BUILDING HAS BEEN INSPECTED BY A LICENSED ASBESTOS INSPECTOR FOR THE PRESENCE OF ASBESTOS.
- 4. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED PRIOR TO ANY OCCUPANCY OF THE BUILDING OR PORTION THEREOF.
- REQUIRED EXITS, PARKING, AND ACCESSIBILITY WITHIN THE BUILDING FOR PERSONS WITH DISABILITIES MUST COMPLY WITH USBC CHAPTER 11. HANDICAPPED ACCESSIBLE BATHROOMS SHALL ALSO BE PROVIDED.
- . TOILET FACILITIES FOR PERSONS WITH DISABILITIES: LARGER, DETAILED, DIMENSIONED DRAWINGS ARE REQUIRED TO CLARIFY SPACE LAYOUT AND MOUNTING HEIGHTS OF AFFECTED ACCESSORIES. INFORMATION ON DOOR HARDWARE FOR THE TOILET STALL IS REQUIRED (USBC 1109.2.2).
- IF APPLICABLE, ENCLOSED PARKING GARAGES MUST BE VENTILATED IN ACCORDANCE WITH USBC 406.4.2. THE REQUIRED MECHANICAL VENTILATION RATE FOR AIR IS 0.75 CFM PER SQUARE FOOT OF THE FLOOR AREA (USBC 2801.1). IN AREAS WHERE MOTOR VEHICLES OPERATE FOR A PERIOD OF TIME EXCEEDING 10 SECONDS, THE VENTILATION RETURN AIR MUST BE EXHAUSTED. AN EXHAUST SYSTEM MUST BE PROVIDED TO CONNECT DIRECTLY TO THE MOTOR VEHICLE EXHAUST (USBC 2801.1).
- 8. ELECTRICAL WIRING METHODS AND OTHER ELECTRICAL REQUIREMENTS MUST COMPLY WITH NFPA 70, 2008.
- 9. IF APPLICABLE, THE PUBLIC PARKING GARAGE FLOOR MUST COMPLY WITH USBC 406.2.6 AND DRAIN THROUGH OIL SEPARATORS OR TRAPS TO AVOID ACCUMULATION OF EXPLOSIVE VAPORS IN BUILDING DRAINS OR SEWERS AS PROVIDED FOR IN THE PLUMBING CODE (USBC 2901). THIS PARKING GARAGE IS CLASSIFIED AS AN S-2, GROUP 2, PUBLIC GARAGE.
- 10. THIS PROJECT IS LOCATED IN A COMBINED SEWER AREA.
- 11. THIS SITE DOES NOT CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS.
- 12. THIS SITE IS NOT LOCATED WITHIN 1,000 FEET OF A FORMER LANDFILL OR OTHER DUMP SITE.

TEXT LEGEND AND CIVIL LEGEND NOTE:

SEE THE EXISTING CONDITIONS OR FINAL SITE PLAN SHEETS WITHIN THIS PLAN SET FOR A LISTING OF THE TEXT LEGEND AND CIVIL LEGEND.

SURVEYOR'S CERTIFICATION:

I, WIM DE SUTTER, LS, HEREBY CERTIFY THAT THIS PROPERTY IS IN THE NAME OF CITY OF ALEXANDRIA AS RECORDED AT DB. 785. PG. 772 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA. VA.



PROJECT DESCRIPTION NARRATIVE

THE APPLICANT REQUESTS A DEVELOPMENT SPECIAL USE PERMIT (DSUP) WITH A SITE PLAN TO PERMIT THE REDEVELOPMENT OF THE EXISTING CITY ALEXANDRIA SURFACE PARKING LOT INTO A PROPOSED MIXED-USE RETAIL/RESIDENTIAL BUILDING. AUTOMATED PARKING STRUCTURE, AND MULTIFAMILY RESIDENTIAL BUILDING, WITH SITE IMPROVEMENTS. PROPOSED SITE ACCESS IS TO BE PROVIDED OFF OF THE ADJACENT PUBLIC ALLEY.

APPROVED APPLICATIONS AND MODIFICATIONS:

- DSUP (DEVELOPMENT SPECIAL USE PERMIT) FOR A SIX-STORY AUTOMATED STRUCTURE WITH GROUND-FLOOR RETAIL AND MULTIFAMILY RESIDENTIAL USES
- SPECIAL USE PERMIT FOR MOTOR VEHICLE PARKING OR STORAGE FOR MORE THAN 20 VEHICLES
- SPECIAL USE PERMIT TO INCREASE THE NUMBER OF DWELLING UNITS PER ACRE A NUMBER NOT TO EXCEED 54.45 MODIFICATION TO THE 40% OPEN SPACE REQUIREMENT.
- MODIFICATIONS TO THE SETBACK REQUIREMENTS OF THE CD ZONE
- MODIFICATION FOR CANOPY COVERAGE
- SPECIAL USE PERMIT FOR MORE PARKING THAN THE MAXIMUM PERMITTED
- MODIFICATION TO THE STREET TREE REQUIREMENTS
- SPECIAL USE PERMIT FOR A REDUCTION TO THE LOADING SPACE REQUIREMENTS

BUILDING CODE ANALYSIS:

	S HENRY ST	AUTOMATED STRUCTURE	S PATRICK ST
USE GROUP(S):	R-2/ M	S-1	R-3
TYPE OF CONSTRUCTION:	VA/IIA	IIA	VA
NUMBER OF STORIES:	4	6	4
FLOOR AREA (GROSS):	20,475 SQ. FT.	40,403 SQ. FT.	5,643 SQ. FT.
BUILDING HEIGHT:	50'	50'	50'
FIRE SUPRESSION/DETECTION:	SPRINKLERED	SPRINKLERED	SPRINKLERED

COMPLETE STREETS INFORMATION:

- 1			
		NEW	UPGRADED
	CROSSWALKS (NUMBER)	N/A	N/A
	STANDARD	N/A	N/A
	HIGH VISIBILITY	N/A	N/A
_	CURB RAMPS	N/A	N/A
	SIDEWALKS (LF)	N/A	110
	BICYCLE PARKING (NUMBER SPACES)	10	N/A
	PUBLIC/VISITOR	4	N/A
	PRIVATE/GARAGE	6	N/A
	BICYCLE PATHS (LF)	N/A	N/A
	PEDESTRIAN SIGNALS	N/A	N/A
	· · · · · · · · · · · · · · · · · · ·		

OWNER/DEVELOPER

CITY OF ALEXANDRIA P.O. BOX 178 ALEXANDRIA, VA 22313

DEVELOPER:

OMAR ABDUL-BAKI

(703) 898-9236

GALENA CAPITAL PARTNERS

1010 PENDLETON STREET

ALEXANDRIA, VA 22314

WINSTANLEY ARCHITECTS + PLANNERS 107 N. WEST STREET ALEXANDRIA, VA 22314 (703) 519-8081 CONTACT: LEEJUNG HONG

R.C. FIELDS & ASSOCIATES, INC.

700 S. WASHINGTON STREET, SUITE 220

PLAN PREPARED BY:

(703) 549 - 6422

ALEXANDRIA, VA 22314

CONTACT: VINCE MCHALE

WIRE GILL LLP 1750 TYSONS BOULEVARD, SUITE 1500 TYSONS, VIRGINIA 22102 (703) 836-5757 CONTACT: MARY CATHERINE GIBBS

ATTORNEY:

LANDSCAPE ARCHITECT: LAND DESIGN 200 SOUTH PEYTON STREET ALEXANDRIA, VA 22314 (703) 549-7784 CONTACT: MATT CLARK

TNT ENVIRONMENTAL 13996 PARKEAST CIRCLE, SUITE 101 CHANTILLY, VIRGINIA 20151 (703) 466-5123 CONTACT: SOPHIE SWARTZENDRUBER

CONTACT: TIMOTHY W. WALTON

STRUCTURAL ENGINEER:

WINCHESTER, VA 22601

1850 SOUTH LOUDOUN STREET SUITE 200

ALPHA CORPORATION

(540) 723-0704

ZONING TABULATIONS

2. ZONE OF SITE:

		1 1101 00LD _		(**************************************		· /
3.	USE:	EXISTING _ PROPOSED _	CITY PARKING (735) MIXED-USE (RETAIL/RESIDENTIAL)			
4.	SITE AREA:	15,332 SF (0.3520 AC.)				
5.	NUMBER OF UNITS:	19 UNITS ((14 STUDIOS/1	BDRMS, 5 2 BDF	RMS/3 BDRMS)	
* 6.	DENSITY:	PERMITTED _	54.45 DU/AC	PROPOS	SED53	.98 DU/ACRE
7.	FLOOR AREA:	PROPOSED:	PRELIM	IINARY	FI	NAL
			GROSS	NET	GROSS	NET
	RESIDENTIAL (109 S	S. PATRICK)	5,643 SF	4,592 SF	5,643 SF	4,584 SF
	RESIDENTIAL (116 S	S. HENRY)	18,810 SF	14,573 SF	18,958 SF	14,581 SF
	NONRESIDENTIAL (1	16 S. HENRY)	1,517 SF	1,467 SF	1,517 SF	1,467 SF
	NONRESIDENTIAL (AUTOMATED STRUCT	TURE)	40,367 SF	3,701 SF	40,403 SF	3,701 SF
	TOTAL		66,337 SF	24,333 SF	66,521 SF	24,333 SF
* 8.	FLOOR AREA RATIO:				•	_

#074.01-05-12

CD (COMMERCIAL DOWNTOWN)

CD (COMMERCIAL DOWNTOWN)

PROPOSED AT GRADE: 20.0% (3.068 SF)

10. AVERAGE FINISHED GRADE: BUILDING #1: 37.5 BUILDING #2: 40.3 BUILDING #3: 42.4 11. HEIGHT: 12. YARDS: *

13. FRONTAGE: 25 FT (S PATRICK ST), 92 FT (N HENRY ST)

***** 15. PARKING TABULATION: REQUIRED NUMBER OF BEDROOMS: PARKING RATIO: $0.8 - [0.8 \times (0.10^{**} + 0.05^{***})] = 0.68$ RATIO FOR KING STREET METRO WALKSHED (0.8 SPACES/BEDROOM) *CREDIT FOR WALKSCORE OF 90-100 (10%) **CREDIT FOR LOCATION ON 4 BUS ROUTES (5%) TOTAL RESIDENTIAL PARKING REQUIRED: 0.68 X 24 = 17 SPACES

MIN. 0.25 SPACE/1,000 SF (1,517/1,000*0.25): MAX. 3 SPACE/1,000 SF (1,517/1,000*3): TOTAL RETAIL PARKING REQUIRED: TOTAL PARKING REQUIRED MINIMUM: TOTAL PARKING REQUIRED MAXIMUM:

COMPACT STANDARD TOTAL PARKING PROVIDED:

SHEET INDEX

SITE DETAILS

SITE DETAILS

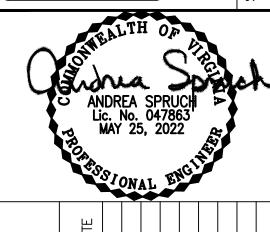
TREE AND VEGETATION SURVEY & PROTECTION PLAN TP-1 TREE AND VEGETATION SURVEY & PROTECTION PLAN TP-2 17 SPACES 22 SPACES 11 SPACES (GARAGE) 131 SPACES (GARAGE) 142 SPACES (GARAGE)

O SPACES MINIMUM 5 SPACES MAXIMUM

0 SPACES TO 5 SPACES

*16. LOADING SPACES: REQUIRED_ * SEE APPROVED APPLICATIONS/MODIFICATIONS FOR DETAILED INFORMATION (THIS SHEET)

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CH

APPROVED 2025-10005 SPECIAL USE PERMIT NO. DATE RECORDED DEED BOOK NO. DATE

Development Special Use Permit #2019-00033 Special Use Permit #2020-00036 116 South Henry Street

Application	General Data		
	PC Hearing:	September 1, 2020	
*	CC Hearing:	September 12, 2020	
Project Name: 116 South Henry Street	If approved, DSUP Expiration:	September 12, 2023 ¹ (3 years)	
	Plan Acreage:	0.35 acres (15,332 SF)	
	Zone:	CD/Commercial Downtown	
Location:	Existing Uses:	Surface parking	
116 South Henry Street	Proposed Uses:	Mixed-use (residential, retail, automated structured parking, restaurant)	
	Dwelling Units:	19	
	Gross Floor Area:	Residential/retail: 25,970 SF Garage: 40,367 SF Total: 66,337 SF	
	Net Floor Area:	Residential/retail: 20,632 SF Garage: 3,701 SF Total: 24,333 SF	
Applicant:	Small Area Plan:	Old Town / King Street Retail Strategy	
Galena Capital Partners,	Historic District:	Old and Historic Alexandria	
epresented by Mary atherine Gibbs, attorney	Green Building:	 Description LEED Certified or equivalent for residential LEED Silver or equivalent for commercial ParkSmart or comparable green building practices for the automated garage 	

Purpose of Application

Public Hearing and consideration of a request for a Development Special Use Permit and site plan with modifications to construct a 16-unit mixed-use retail/residential building with ground floor commercial uses facing S. Henry Street, a three-unit multifamily residential building facing S. Patrick Street and a 142-space, six-story automated parking garage. **Special Use Permits and Modifications Requested:**

- 1. Development Special Use Permit and Site Plan to construct a mixed-use retail/residential building and a 142-space automated parking garage;
- 2. Special Use Permit to increase the number of dwellings per acre to not exceed 54.45;

The DSUP approval time of validity may be extended per the conditions of approval based on City Council guidance for land use approvals based on the COVID-19 pandemic.

- 3. Special Use Permit for motor vehicle parking or storage for more than 20 vehicles;
- 4. Special Use Permit to exceed the maximum parking requirement;
- 5. Special Use Permit for a reduction of the loading space requirement;
- 6. Special Use Permit for restaurant use;
- 7. Modification to the crown coverage requirement;
- 8. Modification to the street tree requirements in the Landscape Guidelines;
- 9. Modification to the open space requirement; and,
- 10. Modification to the setback requirements of the CD Zone.

Staff Recommendation: APPROVAL WITH CONDITIONS **Staff Reviewers:**

Robert M. Kerns, AICP, Chief of Development Catherine Miliaras, AICP, Principal Planner Stephanie Sample, Urban Planner

robert.kerns@alexandriava.gov catherine.miliaras@alexandriava.gov stephanie.sample@alexandria.gov

CITY COUNCIL ACTION, SEPTEMBER 12, 2020:

City Council approved the Planning Commission, with an amendment to **Condition #40**, to delete "provided the applicant notify the Director of T&ES that excess parking is available" and add a period after the word "parking".

PLANNING COMMISSION ACTION, SEPTEMBER 1, 2020:

On a motion by Vice Chair McMahon, seconded by Commissioner Koenig, the Planning Commission voted to recommend the approval of Development Special Use Permit #2019-00033 as amended, and Special Use Permit #2020-00036. The motion carried on a vote of 5 to 0, with Commissioner Lyle recusing herself.

Reason: The Planning Commission agreed with the staff analysis and with the recommended changes to the conditions as shown below:

Condition 40

40. Parking spaces within the parking garage that are allocated to the residential or retail use that are required to comply with zoning requirements may be made available for public/offsite parking provided the applicant notify the Director of T&ES that excess parking is available. excess parking can be demonstrated to the satisfaction of the Directors of P&Z and T&ES. (T&ES) (P&Z)

New Condition 112(j)

Residents are not eligible for residential street parking permits because the property is not located within a residential permit parking district and are not eligible for a permit in a sub-<u>district based on code requirements.</u>

Vice Chair McMahon said that although she is not typically in favor of excess parking, she was in support of this new type of parking garage due to its relatively small footprint and efficient use

of space. The functionality of the garage allows for real-time flexibility and can utilize all available parking, meeting the definition of shared parking. She said that she was not in favor of the portion of Condition #40 that required that the applicant to demonstrate the availability of excess parking to staff prior to making it available to the public. The applicant's attorney, Mary Catherine Gibbs, suggested alternative language that requires the applicant to notify the Director of T&ES of excessing parking availability, allowing the parking operator to make excess parking available in real time. She said that she felt comfortable with the operator self-policing the reserved residential spaces and said the nature of a computer-operated parking system allows for the facility to be used to its fullest possibility.

Chair Macek agreed that the condition was too onerous on the applicant and thought the condition could be simplified to ensure that the leased residential spaces were reserved but allowing nonreserved residential spaces to be made available to the public immediately. He also asked for an explanation of Condition #21 and Ms. Gibbs noted that the garage could be retrofitted in the future once induction technology expands for use in an automated garage. She said that there were other opportunities as part of the Green Building condition for them to provide an on-site or nearby EV charging station as part of the construction of the garage.

Ms. Oleynik, Transportation & Environmental Services, explained that the condition had been written to give the applicant the flexibility to provide additional public parking but that the intent was to ensure that the garage maintained the required amount of parking required in the Zoning Ordinance, recognizing that some residents would not purchase spaces in the garage. She said that the intent was not to make the process difficult for the applicant and recognized that parking is a dynamic situation. She noted that the garage data would be shared with the City through the API (Application Programming Interface) so she did not feel like the applicant would have a difficult time demonstrating that there were unused residential spaces.

Mr. Macek also raised the issue of residential parking permits for future owners/tenants and Ms. Oleynik stated that the future residents would not be eligible for on-street parking permits. Ms. Miliaras, Planning & Zoning, and Ms. Oleynik recommended the addition of Condition 112(j) to notify future residents of the restriction in the disclosure documents.

Commissioner Koenig said that he had been following the evolution of the project and was in strong support. He said that the interior location of the parking allowed the architect to design very successful buildings which would be a significant improvement in this area.

Commissioner Brown noted that the Commission was taking a big leap of faith in approving a project with a new building type (automated parking) but that he felt it was a very successful infill project. He asked for confirmation from Ms. Gibbs that the hourly rates would be higher because this is a privately-operated garage and she stated that due to the cost of constructing the facility the hourly fee would be higher than the typical parking fees in Old Town. He commended the project team on the project on a particularly challenging site.

Commissioner Goebel said that he was in support of the size, scale and design of the project which would be a big improvement on a challenging site.

Speakers:

Charlotte Hall, Old Town Business Association, spoke in support of the mixed-use multifamily project with parking garage in this area of Old Town. She encouraged the applicant to provide as much public parking as possible, and even consider offering valet parking.

Mary Catherine Gibbs, representing the applicant, spoke in favor of the project and introduced the project team. She said that the project provides high-quality, well-designed architecture and that the new garage will accommodate all of the surface parking spaces being lost due to the development, plus additional spaces. She explained that the nature of the garage, located in the center of the site, limited the amount of open space that could be provided at grade in the project.

Steve Milone, president of the Old Town Civic Association, said the association was generally in favor of the project, although they recognized that the buildings are significantly larger than surrounding properties. He said that the applicant did a fair amount of outreach prior to the COVID-19 pandemic and continued to reach out in other ways after public spaces were closed to gatherings. He said that he was concerned about the large expanse of synthetic stucco (EIFS) on the garage and would support the idea of an art installation on that elevation. He said the new automated garage has the potential to be unattractive to drivers looking to run quick errands at the nearby businesses and that could impact public street parking.

III. STAFF RECOMMENDATIONS

The Final Site Plan shall be in substantial conformance with the Preliminary Plan dated May 1, 2020, and as amended June 12, 2020, and comply with the following conditions of approval.

SITE PLAN

- Per Section 11-418 of the Zoning Ordinance, the development special use permit shall expire and become null and void, unless substantial construction of the project is commenced within 36 months after initial approval (plus any extensions per the July 7, 2020 City Council Docket Item 15.a. due to the COVID-19 emergency) and such construction is thereafter pursued with due diligence. The applicant shall provide a written status report to staff 18 months after initial approval to update the City Council on the project status if substantial construction has not commenced at such time. The period of validity may be extended upon petition by the applicant and after adequate notice and public hearing. (P&Z)
- Submit the plat and all applicable easements prior to the Final Site Plan submission. The plat(s) shall be approved prior to or concurrently with the release of the Final Site Plan. (P&Z) (T&ES) *
- 4. The plat shall be recorded, and a copy of the recorded plat, dedications and deeds shall be submitted with the first request for a building permit. (P&Z) (T&ES) **
- Provide a public access easement for the portions of the four-foot sidewalk adjacent to Downham Way on the applicant's property. The easement language shall be reviewed by the Office of the City Attorney and to the satisfaction of the Directors of P&Z and T&ES.
- Coordinate location of site utilities with other site conditions to the satisfaction of the Directors of P&Z and T&ES. These items include:
 - Location of site utilities including above grade service openings and required clearances for items such as transformers, telephone, HVAC units and cable boxes.
 - Minimize conflicts with plantings, pedestrian areas and major view sheds.
 - Do not locate above grade utilities in dedicated open space areas and tree

If applicable, all utilities shall be screened from the public ROW to the satisfaction of the Director of P&Z. (P&Z) (T&ES) (BAR)

Provide a lighting plan with the Final Site Plan to verify that lighting meets City standards. The plan shall be to the satisfaction of the Directors of T&ES and/or P&Z in consultation with the Chief of Police and shall include the following:

- a. Clearly show location of all existing and proposed streetlights and site lights, shading back less relevant information.
- b. Determine if existing lighting meets minimum standards within the City right-of-way adjacent to the site. If lighting does not meet minimum standards, additional lighting shall be provided to achieve City standards or to the satisfaction of the Director of T&ES.
- c. A lighting schedule that identifies each type and number of all fixtures,
- mounting height, and strength of fixture in Lumens or Watts. d. All streetlights fronting the site and along the public alley shall be replaced with Alexandria Historic Streetlights (or subsequent designated streetlight) with details coordinated with the City. (P&Z) (T&ES) (Police)(BAR)(Code)
- e. Manufacturer's specifications and details for all proposed fixtures including site, landscape, pedestrian, sign(s) and security lighting.
- f. A photometric plan with lighting calculations that include all existing and proposed light fixtures, including any existing streetlights located on the opposite side(s) of all adjacent streets. Photometric calculations must extend from proposed building face(s) to property line and from property line to the opposite side(s) of all adjacent streets and/or 20 feet beyond the property line on all adjacent properties and rights-of-way. Show existing and proposed streetlights and site lights.
- g. Photometric site lighting plan shall be coordinated with architectural/building mounted lights, site lighting, street trees and streetlights to minimize light spill into adjacent residential areas.
- h. If site lights are included in the photometric plan to comply with City's lighting standards, then these lights shall be put on photovoltaic switches.
- i. Provide location of conduit routing between site lighting fixtures to avoid conflicts with street trees. j. Detail information indicating proposed light pole and any footing in
- relationship to adjacent grade or pavement. All light pole foundations shall be concealed from view or light poles shall be direct bury. k. The lighting for the areas not covered by the City of Alexandria's standards
- shall be designed to the satisfaction of Directors of T&ES and P&Z. 1. Provide numeric summary for various areas (i.e., roadway, walkway/ sidewalk, alley, and parking lot, etc.) in the proposed development.
- m. The walls and ceilings in the occupiable spaces of the garage must be light-
- colored to increase reflectivity and provide safe lighting levels at night. n. The lighting for the underground/structured parking garage shall be a minimum of 5.0-foot candle maintained, where occupied. When unoccupied the lighting levels will be reduced to no less than 1.5-foot candles. Lighting levels in the storage area of the garage will be at emergency levels only.
- o. Light fixtures for the underground/structured parking garage shall be recessed into the ceiling for any areas that can be seen from the public
- p. Light fixtures for open canopies shall be recessed into the ceiling for any areas that can be seen from the public ROW.
- q. Upon installation of all exterior light fixtures for the site/building, the applicant shall provide photographs of the site demonstrating compliance
- r. Full cut-off lighting shall be used as applicable at the development site to prevent light spill onto adjacent properties. (P&Z) (T&ES) (Police)(BAR)(Code)
- Provide a unit numbering plan for each floor of a multi-unit building with the first Final Site Plan submission. The unit numbers should comply with a scheme of 100 level numbers on the first floor, 200 level numbers on the second floor, and 300 level numbers for third floor and continue in this scheme for the remaining floors. Indicate unit's use (i.e.: Residential, Retail, Office) if known. (P&Z)
- Provide a georeferenced CAD file in .dwg format of the dimension plan of this project. This information will be used to compile a master CAD reference to ensure all elements/layers are correctly located and will connect. (P&Z) (DPI)

BUILDING:

ESI

PEER REVIEW

- The building design, including the appearance, color and quality of materials, final detailing, three-dimensional expression shall be generally consistent with the elevations dated June 12, 2020, and the approved Certificate of Appropriateness from the Board of Architectural Review and the following conditions. (P&Z)
- Provide the following building refinements to the satisfaction of the Director of
 - a. Any ventilation for the retail/commercial (including retail-ready spaces) use shall be integrated with the overall building design, reviewed and approved to the satisfaction of the Director of Planning and Zoning and the Board of Architectural Review.
 - b. All wall mounted vents shall be flush mounted and architecturally integrated with the building design with regard to both placement and color.

Provide detailed drawings (enlarged and coordinated plan-section-elevation studies, typically at 1/4"=1'-0" scale, in color, with shadows cast at 45 degrees from both left and above to show true depth of recesses and projections) in color to evaluate the building base, entrance canopy, stoops, window and material details including the final detailing, finish and color of these elements during the Final Site Plan review. Separate design drawings shall be submitted for each building typology or different bay type. (P&Z)

- Building materials, finishes, and relationships shall be subject to review and approval by the Department of Planning and Zoning for substantial conformance to the Preliminary Plan and as set forth in the associated Guidelines for Preparations of Mock-Up Panels Memo to Industry, effective May 16, 2013. The following submissions shall be provided to review the materials, finishes and architectural details, prior to selection of final building
- a. Provide a materials board that includes all proposed materials and finishes at first Final Site Plan. *
- b. The materials board shall remain with the Department of Planning and Zoning until the final certificate of occupancy, upon which all samples shall be returned to the applicant. ***
- c. Provide drawings of a mock-up panel that depict all proposed materials, finishes, and relationships as part of the first Final Site Plan. *
- d. Construct an on-site, mock-up panel of proposed materials, finishes, and relationships for review and approval prior to final selection of building materials. The mock-up panel requires a building permit and shall be constructed and approved prior to vertical (above-grade) construction and prior to ordering final building materials. **
- e. The mock-up panel shall be located such that it shall remain on-site in the same location through the duration of construction until the first certificate of occupancy. *** (P&Z) (Code)
- Building materials, finishes and architectural details shall be subject to review and approval by the Board of Architectural Review. A materials board shall be submitted as part of the Certificate of Appropriateness approval. (BAR)
- Per the City's Green Building Policy adopted April 18, 2009, achieve LEED Certified (or equivalent) for the residential portion of the building and LEED Silver (or equivalent) for the commercial portion of the building and retailready units to the satisfaction of the Directors of P&Z, and/or RP&CA and T&ES. In addition to the compliance with the 2009 Green Building Policy, the applicant shall demonstrate additional commitment to green building practices by seeking to achieve one of the following:
 - a. LEED Silver / 2 Green Globes (or equivalent) for the entire building.
 - b. Meeting one of the performance points requirements for Green Globes outlined in the 2019 Green Building Policy:
 - i. 3.3.1.1 Assessing Energy Performance
 - ii. 3.3.9.1.1 / 3.3.9.1.2 / 3.3.9.2.1 Renewable Energy
 - iii. 3.4.1.1 Indoor Water Consumption iv. 3.7.1.1 / 3.7.1.2 / 3.7.2.1 – Indoor Air Quality
- Achieve ParkSmart Silver Certification (or equivalent) for the automated parking garage or integrate comparable green building elements into the garage
- design at Final Site Plan. Satisfaction of green building practices may include one or more of the following: a. Solar panels integrated with the green roof to meet the majority of non
 - and storage of motor vehicles, i.e. garage lighting and waiting room) to the satisfaction of the Director of Planning & Zoning and T&ES. b. Rapid EV charging station installed on the exterior of the facility or off-site

process electricity use (energy usage not directly related to the movement

- in the immediate vicinity to the satisfaction of the Director of T&ES. c. Induction or other EV charging infrastructure in the garage to satisfaction
- of the Director of T&ES. (P&Z) (T&ES) * Diligent pursuance and achievement of the applicable green building
- certification for the project, including the automated parking garage and performance points, shall be monitored through the following: a. Provide evidence of the project's registration with LEED (or equivalent)
- with the submission of the first Final Site Plan and provide a draft checklist showing how the project plans to achieve the certification. *
- b. Provide evidence of submission of materials for Design Phase credits to the U.S. Green Building Council (USGBC) (or equivalent) prior to issuance of a certificate of occupancy. ***
- c. Provide evidence of submission of materials for Construction Phase credits to USGBC (or equivalent) within six months of obtaining a final certificate
- d. Provide documentation of certification within two (2) years of obtaining a final certificate of occupancy.
- e. Failure to achieve LEED Certified (or equivalent) for the residential portion of the project and LEED Silver (or equivalent) for the commercial and retail-ready portion of the project, ParkSmart Silver (or equivalent) and the additional green building requirement as outlined above will be evaluated by City staff, and if staff determines that a good faith, reasonable, and documented effort was not made to achieve these certification levels, then any City-wide Green Building policies existing at the time of staffs' release of Final Site Plan will apply.
- f. Provide documentation to future retail and daycare tenants encouraging them to operate their business consistently with the goals of LEED, as well as to pursue LEED for Commercial Interiors certification. (P&Z) (T&ES) (RP&CA)
- Increase the loading dock clearance height at the building opening to a minimum 11.5 feet above the Downham Way elevation finished floor to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES) *
- The applicant shall work with the City for recycling and/or reuse of the existing building materials as part of the demolition process, including leftover, unused, and/or discarded building materials. (T&ES) (P&Z)

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(enlarged and coordinated plan-section-elevation		
-0" scale, in color, with shadows cast at 45 degrees show true depth of recesses and projections) in color ase, entrance canopy, stoops, window and material detailing, finish and color of these elements during Separate design drawings shall be submitted for different bay type. (P&Z)	APPROVED SPECIAL USE PERMIT NO. 2025-10005 DEPARTMENT OF PLANNING & ZONING	DESIGN: VMM CHECKED: ACS SCALE: NO SCALE DATE: JAN 2022
THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.	DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO	CONDITIONS
EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.	DIRECTOR DATE	
LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF CO 2022 R.C. FIELDS & ASSOCIATES, INC.	DATE RECORDED INSTRUMENT NO. DEED BOOK NO. DATE	SHEET 02 OF 38

FINAL SITE PLANEXALEXANDRIA
S SOUTH HENRY SOF ALEXANDRIA 9 N O O 70 DATE | REVISION

PMENT

In order to provide a more sustainable use of natural resources, the applicant shall use EPA-labeled WaterSense or equivalent low flow fixtures. In addition, the applicant is encouraged to explore the possibilities of adopting water reduction strategies (i.e., use of gray water system on-site) and other measures that could reduce the consumption of potable water on this site. A list of applicable mechanisms can be found at: www.epa.gov/WaterSense. (T&ES)

OPEN SPACE/LANDSCAPING:

- Develop, provide, install and maintain an integrated Landscape Plan with the Final Site Plan that is coordinated with other associated site conditions to the satisfaction of the Director of P&Z. Landscape plans shall be submitted in accordance with the City of Alexandria's Landscape Guidelines, available www.alexandriava.gov/uploadedFiles/recreation/ParkPlanning/LandscapeGui delinesFinalv2Final.pdf
- Coordinate with the adjacent property owner of tree T-280 to discuss removal of the tree or potential damage which may be incurred during construction and provide a letter documenting the discussion (P&Z)
- If existing soils will not be used and imported soils are specified, provide a soil sample test report documenting the imported soil's pH concurrent with the landscape installation/planting operations pre-installation/construction meeting. (P&Z) ***
- Develop a palette of site furnishings in consultation with staff. Site furnishings may include benches, bicycle racks, trash and recycling receptacles, and other associated features (P&Z) (T&ES) *
- Provide material, finishes, and architectural details for all retaining walls, seat walls, decorative walls, and screen walls. Indicate methods for grade transitions, handrails — if required by code, directional changes, above and below grade conditions. Coordinate with adjacent conditions. Design and construction of all walls shall be to the satisfaction of the Directors of P&Z and T&ES. (P&Z) (T&ES) (Code) *
- Provide, implement and follow a <u>Tree and Vegetation Protection Plan</u> per the City of Alexandria Landscape Guidelines (P&Z) (RP&CA)

ARCHAEOLOGY:

- Hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the open space and to prepare interpretive elements, which shall be erected as part of the development project. The site plan shall indicate themes and locations of interpretive elements. Prior to release of the Final Site Plan, the consultant shall provide text and graphics for the interpretive elements subject to approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z. (Arch)(P&Z) *
- Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)
- The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. * (Archaeology)
- Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology)

PEDESTRIAN/STREETSCAPE:

- Provide the following pedestrian improvements to the satisfaction of the Directors of P&Z and T&ES:
 - a. Complete all pedestrian improvements prior to the issuance of a certificate of occupancy permit.
 - b. Construct all concrete sidewalks to City standards. The minimum unobstructed width of newly constructed sidewalks shall be 6 feet. c. Sidewalks shall be flush across all driveway crossings.
 - d. All below grade utilities placed within a City sidewalk shall be designed in such a manner as to integrate the overall design of the structure with the adjacent paving materials to minimize any potential visible impacts.
 - e. The sidewalk adjacent to Downham Way on the applicant's property in the public access easement shall have a different treatment, such as a row of brick along the right-of-way line, that delineates the concrete sidewalk from the vehicular travel way.*** (P&Z) (T&ES)

PARKING:

- Parking for the residential and commercial uses shall be consistent with the requirements of the Zoning Ordinance in effect at the time of approval by City Council and/or Planning Commission. Parking requirements associated with 912-920 King Street (DSUP#2019-00032) shall be provided by this development plan 116 S Henry Street (DSUP#2019-00033). (P&Z) (T&ES)
- All residential parking shall be unbundled (i.e., the cost to purchase or lease a parking space is separate from the cost to purchase or lease the residential unit).
- Provide a Parking Management Plan with the Final Site Plan submission in coordination with the development at 912-920 King Street. The Parking Management Plan shall be approved by the Departments of P&Z and T&ES prior to the release of the Final Site Plan and comply with the requirements of the Parking Management Plan Template provided in Memo to Industry 01-19. In addition to the requirements of the Memo to Industry, include the agreement between this development and the development at 912-920 King Street, a narrative of the shared use of the garage and accessibility to the public, and a description of the automatic garage operations and management. (P&Z)
- Parking garage shall utilize a smart parking system that provides an open API (Application Programming Interface) for the City and its agents to access occupancy data and direct parkers to available public parking spaces solely for the purpose of determining real time availability. The City will notify the parking operator before releasing such information. (T&ES)
- Parking spaces within the parking garage that are allocated to the residential or retail use that are required to comply with zoning requirements may be made available for public/off-site parking. (T&ES) (CC)
- Provide a copy of the Automated Garage manufacturer specification to the city prior to the issuance of Certificate of Occupancy. In addition, a copy of the specification shall remain on site. (T&ES).
- Provide a Maintenance Agreement for the Automated Garage equipment and structure to ensure operation and processing speed is maintained per the manufacturer specifications prior to the issuance of Certificate of Occupancy. The Maintenance Agreement should include, but not limited to, a periodic check of operating condition in which processing speed is logged, and an agreed plan for parked vehicles when garage is under maintenance and not operational. (T&ES)
- All on-street parking controls and restrictions within the project area shall be determined by the City. Any such controls and restrictions which the applicant desires shall be shown on the Final Site Plan. (P&Z) (T&ES)*
- Provide 10 bicycle parking spaces per Alexandria's current Bicycle Parking Standards. Bicycle parking standards, acceptable rack types for short- and longterm parking and details for allowable locations are available at: www.alexandriava.gov/bicycleparking. Details on location and type of bicycle parking shall be provided on the Final Site Plan. Bicycle parking must be installed and operational prior to first CO. (T&ES) ***

TRANSPORTATION

STREETS/TRAFFIC:

- If the City's existing public infrastructure is damaged during construction, or patch work required for utility installation then the applicant shall be responsible for construction/installation or repair of the same as per the City of Alexandria standards and specifications and to the satisfaction of Director, Transportation and Environmental Services. (T&ES)
- A pre-construction walk/survey of the site shall occur with Transportation and Environmental Services Construction & Inspection staff and Code Administration staff to document existing conditions prior to any land disturbing activities. (T&ES) (Code)
- Furnish and install two 4-inch Schedule 40 PVC conduits with pull wires, and junction boxes located underneath the sidewalk along S. Henry Street to the extent of the property's frontage. These conduits shall terminate in an underground junction box at each corner of the site. The junction box cover shall have the word "TRAFFIC" engraved on it. (T&ES)
- Asphalt patches larger than 20 percent of the total asphalt surface, measured along the length of the road adjacent to the property frontage and/or extending to the centerline of the street, will require full curb to curb restoration. (T&ES)

PUBLIC WORKS

WASTEWATER/SANITARY SEWERS:

- The project lies within the Combined Sewer System (CSS) area district, therefore, stormwater management and compliance with the state stormwater quality and quantity requirements and the City's Alexandria Water Quality Volume Default shall be coordinated with the project's compliance with the CSS Management Policy set forth in Memo to Industry 07-14, effective July 1, 2014. The applicant is proposing to discharge both the sanitary flow and the stormwater from the site to the combined sanitary sewer system. With respect to sanitary requirements, the applicant shall contribute \$36,018.00 based on a formula of \$1.5 per gallon of peak sanitary flow (\$1.5 per gallon x 6,003 gallons x 4). With respect to the stormwater requirement, the applicant is proposing a green roof to help mitigate stormwater impacts on combined sewer discharges. Staff has determined that the size of the proposed green roof would meet 42 percent of their stormwater requirements. Therefore, the applicant shall contribute based on a formula of \$200,000 per acre x 0.43-acre x (1-0.42), which results in a contribution of \$49,880.00. The sanitary and stormwater contribution fee is due prior to release of the final site plan. (T&ES)*
- The sewer connection fee must be paid prior to release of the final site plan.

If a commercial kitchen is constructed, then the kitchen facility shall be provided with an oil & grease separator and the discharge from the separator shall be connected to a sanitary sewer Submit two originals of the Oil and Grease separator Maintenance Agreement with the City prior to the release of the final site plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to site plan release. (T&ES)

UTILITIES:

- Locate all private utilities without a franchise agreement outside of the public right-of-way and public utility easements. (T&ES)
- Undergrounding shall be consistent with the exhibit entitled, "King Street and S. Henry Street Dry Utility Plan" provided to the City of Alexandria on August 6th, 2020. Any deviations to the dry utility plan shall be approved by the Director of T&ES. (T&ES)
- No transformer and switch gears shall be located in the public right of way.

SOLID WASTE:

- If the property is a required user, the development must meet all the minimum street standards for the City to provide solid waste collection service. See Alexandria Virginia Code of Ordinances Title 5 Chapter 1 Solid Waste Control. Collection vehicles must be able to pick up solid waste from private streets without backing up. The containers must be stored inside the units or within an enclosure that completely screens them from view. Where the City of Alexandria provides the solid waste collection services; all refuse/recycling shall be placed at the City Right-of-Way for collection. The official setout location of the containers shall be approved by the Director of T&ES. (T&ES)
- All trash collectors for the project site are required to take their collected trash to the Alexandria/Arlington waste-to-energy facility (T&ES)
- Provide \$1,402 per receptacle to the Director of T&ES for purchase and installation of one (1) Victor Stanley Ironsites Series model SD-42 black receptacle with Dome Lid per block face dedicated to trash collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES) *
- Provide \$1,626 per receptacle to the Director of T&ES for the purchase and installation of one (1) Victor Stanley Ironsites Series Model SD-42 blue receptacle with Dome Lid, approved dome decals, and approved band per block face dedicated to recycling collection. The receptacle(s) shall be placed in the public right of way to serve open space and park sites. Receptacles shall be generally located along the property frontage and at strategic locations in the vicinity of the site as approved by the Director of T&ES. Payment required prior to release of Final Site Plan. (T&ES)*

ENVIRONMENTAL

STORMWATER MANAGEMENT:

ESI

PEER REVIEW

- The City of Alexandria's stormwater management regulations regarding water quality are two-fold: 1) state phosphorus removal requirement and 2) Alexandria Water Quality Volume Default. Compliance with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality Default requirement. The Alexandria Water Quality Volume Default, as determined by the site's post-development impervious area shall be treated in a Best Management Practice (BMP) facility. (T&ES)
- Provide BMP narrative and complete pre and post development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, locations of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Method (VRMM) worksheet showing project compliance. The project must use hydrologic soil group "D" in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates onsite soils otherwise. (T&ES)
- All stormwater Best Management Practices (BMPs) must be designed to comply with the most recent standards and specifications published in the Virginia Stormwater BMP Clearinghouse. Provide complete design details for all BMPs. This includes site specific plan views, cross sections, planting plans, and complete design calculations for each BMP. (T&ES)
- Provide a BMP table with a separate listing for each individual BMP that includes the name of the practice, total area treated (acres), pervious area treated (acres), impervious area treated (acres), phosphorous removal efficiency (percentage), phosphorous removal efficiency (percentage), phosphorous removed by the practice (lbs.), and latitude and longitude in decimal degrees (NAD83). (T&ES)
- Construction inspection checklists and associated photographic documentation must be completed for each stormwater best management practice (BMP) and detention facility during construction. Prior to the release of the performance bond, the applicant must submit all documents required by The City of Alexandria As-Built Stormwater Requirements to the City including as built plans, CAD data, BMP certifications and completed construction inspection checklists. (T&ES)

- The stormwater Best Management Practices (BMPs) required for this project shall be constructed and installed under the direct supervision of the design professional or his designated representative. Prior to release of the performance bond, the design professional shall submit a written certification to the Director of T&ES that the BMPs are:
 - a. Constructed and installed as designed and in accordance with the released Final Site Plan.
 - b. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized. (T&ES) ****
- Surface-installed stormwater Best Management Practice (BMP) measures, i.e. Bio-Retention Filters, Vegetated Swales, etc. that are employed for this site, require installation of descriptive signage to the satisfaction of the Director of T&ES. (T&ES)
- Submit two (2) originals of the stormwater quality BMP Maintenance Agreement, to include the BMP Schedule and Guidelines Addendum with the City to be reviewed as part of the Final #2 Plan. The agreement must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to approval of the Final Site Plan. (T&ES) *
- The Applicant shall be responsible for maintaining stormwater Best Management Practices (BMPs) until activation of the master association. Prior to transferring maintenance responsibility for the BMPs to the master association, the Applicant shall execute a maintenance service contract with a qualified private contractor for a minimum of three (3) years, and transfer the contract to the master association. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. (T&ES) ****
- If units will be sold as individual units and a Master Association established the following two conditions shall apply:
 - a. The Applicant shall furnish the Master Association with an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) used on site. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including any mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City.
 - b. The Developer shall furnish each home/property purchaser with a brochure describing the stormwater BMP(s) installed on the site, outlining the responsibilities of the property owners and the Master Association with respect to maintenance requirements. Upon activation of the Master Association, the Developer shall furnish five copies of the brochure per unit to the Master Association for distribution to owners. (T&ES)
- Submit a copy of the Operation and Maintenance Manual to the T&ES Stormwater Management Division on digital media prior to release of the performance bond. (T&ES) ****
- Prior to release of the performance bond, the Applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the facility or systems were required in order to make this certification, provide a description of the maintenance measures performed. (T&ES) ****

WATERSHED, WETLANDS, & RPAs:

Provide Environmental Site Assessment Notes that clearly delineate, map, describe and/or explain the following environmental features if located on site: individual components of the RPA as well as the total geographic extent of the RPA, to include the appropriate buffer, intermittent streams and associated buffers; highly erodible and highly permeable soils; steep slopes greater than 15 percent in grade; known areas of contamination; springs, seeps or related features; and a listing of all wetlands permits required by law. (T&ES)

CONTAMINATED LAND:

- Indicate whether there is any known soil and groundwater contamination present on the plan. The applicant must submit supporting reports for associated environmental investigations or assessments performed to substantiate this determination. (T&ES)
- If environmental site assessments or investigations discover the presence of contamination on site, the final [site plan/demo plan/grading plan] shall not be released, and no construction activity shall take place until the following has been submitted and approved by the Director of T&ES:
 - a. Submit a Site Characterization Report/Extent of Contamination Study detailing the location, applicable contaminants, and the estimated quantity of any contaminated soils and/or groundwater at or in the immediate vicinity of the site.
 - b. Submit a Risk Assessment indicating any risks associated with the contamination

certifications and completed construction inspection		
	APPROVED SPECIAL USE PERMIT NO. 2025-10005 DEPARTMENT OF PLANNING & ZONING	DESIGN: VMM CHECKED: ACS SCALE: NO SCALE DATE: JAN 2022
THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.	DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO	CONDITIONS
EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.	DIRECTOR DATE	
LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.	CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED	SHEET 03 OF 38
ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2022 R.C. FIELDS & ASSOCIATES, INC.	INSTRUMENT NO. DEED BOOK NO. DATE	FILE: 19-153

FINAL SITE PLANEXALEXANDRIA
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- d. Submit a Health and Safety Plan indicating measures to be taken during remediation and/or construction activities to minimize the potential risks to workers, the neighborhood, and the environment. Initial Air Monitoring may be required during site activities to demonstrate acceptable levels of volatiles and/or airborne particles. The determination whether air monitoring is needed must be adequately addressed in the Health and Safety Plan submitted for review.
- e. The applicant shall screen for PCBs as part of the site characterization if any of the past uses are within the identified high risk category sites for potential sources of residual PCBs, which includes the following SICs: 26&27 (Paper and Allied Products), 30 (Rubber and Misc. Plastics), 33 (Primary Metal Industries), 34 (Fabricated Metal Products), 37 (Transportation Equipment), 49 (Electrical, Gas, and Sanitary Services), 5093 (Scrap Metal Recycling), and 1221&1222 (Bituminous Coal).
- Applicant shall submit three (3) electronic and two (2) hard copies of the above. The remediation plan must be included in the Final Site Plan. (T&ES) *
- Should any unanticipated contamination, underground storage tanks, drums or containers be encountered at the site during construction, the Applicant must immediately notify the City of Alexandria Department of Transportation and Environmental Services, Office of Environmental Quality. Should unanticipated conditions warrant, construction within the impacted area shall be stopped until the appropriate environmental reports identified in a. through f. above are submitted and approved at the discretion of the Director of Transportation and Environmental Services. This shall be included as a note on the Final Site Plan. (T&ES) (Code)
- If warranted by a Site Characterization report, design and install a vapor barrier and ventilation system for buildings and parking areas in order to prevent the migration or accumulation of methane or other gases, or conduct a study and provide a report signed by a professional engineer showing that such measures are not required to the satisfaction of Directors of T&ES and Code Administration. The installed vapor barrier and ventilation system must include a passive ventilation system that can be converted to an active ventilation system if warranted. (T&ES)

NOISE:

Prepare a noise study identifying the levels of noise residents of the project will be exposed to at the present time, and 10 years into the future in a manner consistent with the Noise Guidance Book used by the Department of Housing and Urban Development (HUD). In addition, include analysis of the levels of noise residents of the project will be exposed to due to loading and unloading activities, idling and traffic. Identify options to minimize noise and vibration exposure to future residents at the site, particularly in those units closest to the commercial activities, loading areas, garage entrances, interstate highway, railroad tracks and airport traffic, including triple-glazing for windows, additional wall / roofing insulation, installation of resilient channels between interior gypsum board and wall studs, installation of a berm or sound wall and any other special construction methods to reduce sound transmission. If

> needed, the applicant shall install some combination of the above to the satisfaction of the Directors of P&Z and T&ES. (T&ES)

- The noise study and noise commitment letter shall be submitted and approved prior to Final Site Plan release.* (T&ES)
- Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)
- No vehicles associated with this project shall be permitted to idle for more than 10 minutes when parked. This includes a prohibition on idling for longer than 10 minutes in the loading dock area. The applicant shall post of minimum of two no idling for greater than 10 minutes signs in the loading dock area in plain view. (T&ES)

AIR POLLUTION:

- If fireplaces are utilized in the development, the Applicant is required to install gas fireplaces to reduce air pollution and odors. Animal screens must be installed on chimneys. (T&ES)
- Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. (T&ES)

E. CONSTRUCTION MANAGEMENT

- Submit a separate construction management plan to the Directors of P&Z, T&ES and Code Administration prior to Final Site Plan release. The plan shall: a. No streetlights shall be removed without authorization from the City of Alexandria.
 - b. If streetlights are to be removed from the public right of way, then temporary lights shall be provided until the installation and commissioning of new lights.
 - c. Include an analysis as to whether temporary street or site lighting is needed for safety during the construction on the site and how it is to be installed.
 - d. Provide a detailed sequence of demolition and construction of improvements in the public right of way along with an overall proposed schedule for demolition and construction;
 - e. Include an overall proposed schedule for construction;
 - f. Include a plan for temporary pedestrian circulation;
 - g. Include the location and size of proposed construction trailers, if any;
 - h. Include a preliminary Maintenance of Traffic Plan (MOT) as part of the construction management plan for informational purposes only, to include

- proposed controls for traffic movement, lane closures, construction entrances and storage of materials.
- i. Copies of the plan shall be posted in the construction trailer and given to each subcontractor before they commence work. (P&Z) (T&ES)
- Provide off-street parking for all construction workers without charge to the construction workers. The applicant shall be responsible for ensuring that all contractors use the off-street parking provided. For the construction workers who use Metro, DASH, or another form of mass transit to the site, the applicant shall subsidize a minimum of 50% of the fees for mass transit. Compliance with this condition shall be a component of the construction management plan, which shall be submitted to the Department of P&Z and T&ES prior to Final Site Plan release. This plan shall:
 - a. Establish the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit.
 - b. Provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes.
 - c. If the off-street construction workers parking plan is found to be violated during construction, a correction notice will be issued to the developer. If the violation is not corrected within five (5) days, a "stop work order" will be issued, with construction halted until the violation has been corrected. (P&Z)(T&ES)*
- Sidewalks adjacent to the site shall remain open during construction. If sidewalks must be closed, pedestrian access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. The plan for maintenance of pedestrian access shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
- Bicycle facilities including Capital Bikeshare stations adjacent to the site shall remain open during construction. If a bicycle facility including a Capital Bikeshare station must be closed, Bicycle access shall be maintained adjacent to the site per Memo to Industry #04-18 throughout the construction of the project. The plan for maintenance of bicycle access shall be included in the Construction Management Plan for approval by T&ES. (T&ES)
- No major construction staging shall be allowed within the public right-of-way. The applicant shall meet with T&ES to discuss construction staging activities prior to release of any permits for ground disturbing activities. (T&ES)
- Transit stops adjacent to the site shall remain open if feasible for the duration of construction. If construction forces the closure of the stop, a temporary ADA accessible transit stop shall be installed. The exact temporary location shall be coordinated with the T&ES Office of Transit Services at 703-746-4075 as well as with the transit agency which provides service to the bus stop. Signs noting the bus stop closure and location of the temporary bus stop must be installed at all bus stops taken out of service due to construction. (T&ES)
- Any structural elements that extend into the public right of way, including but not limited to footings, foundations, tie-backs etc., must be approved by the Director of T&ES as a part of the Sheeting and Shoring Permit. (T&ES)
- A "Certified Land Disturber" (CLD) shall be named in a letter to the Division Chief of Infrastructure Right of Way prior to any land disturbing activities. If the CLD changes during the project, that change must be noted in a letter to the Division Chief. A note to this effect shall be placed on the Phase I Erosion and Sediment Control sheets on the site plan. (T&ES)
- Prior to commencing clearing and grading of the site, the applicant shall hold a meeting with notice to all adjoining property owners and civic associations to review the location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. The Departments of P&Z and T&ES shall be notified a minimum of 14 calendar days prior to the meeting date, and the meeting must be held before any permits are issued. (P&Z) (T&ES)
- Prior to commencement of landscape installation/planting operations, a preinstallation/construction meeting will be scheduled with the project planner in the Department of P&Z to review the scope of installation procedures and processes. This is in addition to the pre-construction meeting required above.
- Identify a person who will serve as a liaison to the community throughout the duration of construction. The name and telephone number, including an emergency contact number, of this individual shall be provided in writing to residents, property managers and business owners whose property abuts the site and shall be placed on the project sign, to the satisfaction of the Directors of P&Z, and/or and T&ES. (P&Z) (T&ES)
- Install a temporary informational sign on the site prior to release of the Final Site Plan for the project. The sign shall notify the public of the nature of the project and shall include the name and telephone number of the community liaison, including an emergency contact number for public questions regarding the project. The sign shall be displayed until construction is complete. (P&Z) (T&ES)
- Implement a waste and refuse control program during the construction phase of this development. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile food vendor businesses serving them, and all sanitary waste at the construction site and prevent offsite migration that may cause adverse impacts to neighboring properties or to the environment to the satisfaction of Directors of T&ES and Code Administration. All wastes shall be properly disposed offsite in accordance with all applicable federal, state and local laws. Provide information on the program in construction management plan. If program is implemented in coordination with green building certification, include documentation as appropriate per the City's Green Building Policy and conditions herein. (T&ES)
- Temporary construction and/or on-site sales trailer(s) shall be permitted and be subject to the approval of the Director of P&Z. The trailer(s) shall be removed prior to the issuance of a final certificate of occupancy permit. (P&Z) (Code)

- Submit a wall check prior to the commencement of construction of the first floor above grade framing for the building(s). The wall check shall include the building footprint, as depicted in the released Final Site Plan, the top-of-slab elevation and the first-floor elevation. The wall check shall be prepared and sealed by a registered engineer or surveyor and submitted to Planning & Zoning. Approval of the wall check by Planning & Zoning is required prior to commencement of framing. (P&Z)
- Submit an as-built development site plan survey, pursuant to the requirements outlined in the initial as-built submission for occupancy portion of the as-built development site plan survey checklist to the Department of Transportation and Environmental Services Site Plan Coordinator prior to requesting a certificate of occupancy permit. The as-built development site plan survey shall be prepared and sealed by a registered architect, engineer, or surveyor. Include a note which states that the height was calculated based on all applicable provisions of the Zoning Ordinance. (P&Z) (T&ES) ***
- Contractors shall not cause or permit vehicles to idle for more than 10 minutes when parked. (T&ES)
- If there are outstanding performance, completion or other bonds for the benefit of the City in effect for the property at such time as it may be conveyed or sold to a party other than the applicant, a substitute bond and associated documents must be provided by that party or, in the alternative, an assignment or other documentation from the bonding company indicating that the existing bond remains in effect despite the change in ownership may be provided. The bond(s) shall be maintained until such time that all requirements are met, and the bond(s) released by the City. (T&ES)

F. CONTRIBUTIONS

- Contribute \$2,500 to the City prior to Final Site Plan release to install Capital Bikeshare station on or directly across from the project as part of a coordinated bike share program. In the event a Capital Bikeshare station cannot be located along the site frontage due to space constraints or impacts to operational efficiency, an alternate off-site location within a two-block radius of the project may be selected. (T&ES)
- Contribute \$9,046 to the Urban Forestry Fund prior to first Certificate of Occupancy per the Landscape Guidelines. This contribution includes a fee-inlieu of the required on-site crown coverage and \$2,500 for an additional street tree. (RP&CA)(P&Z)***

HOUSING:

A voluntary contribution of \$70,480 to the Housing Trust Fund would be consistent with the conclusions of the Developer's Housing Contribution Work Group accepted by The Alexandria City Council in December 2013.

PUBLIC ART:

- Per the City's Public Art Policy, adopted December 13, 2014, work with City staff to determine ways to incorporate public art elements on-site, or provide an equivalent monetary contribution to be used toward public art within the Small Area Plan planning area, to the satisfaction of the Directors of RP&CA and P&Z. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. In the event public art is provided on-site, the public art shall be of an equivalent value. (RP&CA) (P&Z)
- a. The next submission shall identify the location, type and goals for public art. Prior to release of the Final Site Plan, the applicant shall have selected the artist, have locations and medium finalized and provide a schedule for the art installation. The applicant is strongly encouraged to concurrently provide information on construction materials and the recommended maintenance regimen. The art shall be installed prior to the issuance of the first Certificate of Occupancy, to the satisfaction of the Directors of P&Z and/or RP&CA. (RP&CA)(P&Z) * ***
- b. The in-lieu contribution shall be \$.30 per gross square foot, with a maximum contribution of \$75,000 per building. The contribution shall be provided prior to the issuance of the first Certificate of Occupancy. (RP&CA) (P&Z) ***

G. USES AND SIGNS

RETAIL USES:

- Provide documentation (lease agreement or similar) to future retail tenants requiring them to operate their business consistently with the goals of LEED, as well as to pursue LEED for Retail or LEED for Commercial Interiors certification at a Silver level.
- Ensure the following for the retail and retail-ready units within the development, to the satisfaction of the Director of P&Z: a. Provide the minimum floor to floor heights per the Preliminary Site Plan.
 - b. All entrances along S. Henry Street are required to be operable and ADA accessible, even if the retail-ready space is used for residential purposes. This requirement shall be included as part of the lease for each
 - c. All windows and doors shall be a storefront system as depicted in the Preliminary Site Plan.
 - d. The placement or construction of items that block the visibility of the interior of the store from the street and sidewalk (e.g. storage cabinets, carts, shelving, boxes, coat racks, storage bins, closets, etc.) shall be prohibited. This is not intended to prevent retailers from displaying their goods in display cases that are oriented towards the street frontage. This requirement shall be included as part of the lease for each tenant. The interior layout of retail-ready units must consist of full-height space off of the storefront entrance and include a bathroom that can be publicly accessible.
 - e. The location for signage shall be identified as part of the coordinated site

- f. The retail-ready unit type shall be listed on all promotion material/websites to encourage active uses. (P&Z)
- The applicant shall encourage its employees who drive to use off-street parking.
- The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at goalex@alexandriava.gov for information on establishing an employee transportation benefits program. (T&ES)
- The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)
- The applicant shall encourage patrons to park off-street through the provision of information about nearby garages on advertising and on the restaurant's website. (T&ES)

SIGNAGE:

- Design and develop a coordinated sign plan, which includes a color palette, for all proposed commercial signage, including for the retail-ready spaces. The plan shall be included as part of the Final Site Plan and BAR Certificate of Appropriateness and shall coordinate the location, scale, massing and character of all proposed signage to the satisfaction of the Director of P&Z.* (P&Z)
- Provide signage at the entrances to the parking garage with retail parking that is consistent with the City's Wayfinding standards for identifying parking garages. (T&ES)

H. DISCLOSURE REQUIREMENTS

- All master association covenants shall be reviewed by the Director of P&Z and the City Attorney to ensure inclusion of all the conditions of this DSUP prior to applying for the first certificate of occupancy permit for the project. The association covenants shall include the conditions listed below, which shall be clearly expressed in a separate section of the covenants. The language shall establish and clearly explain that these conditions cannot be changed except by an amendment to this development special use permit approved by City
 - a. The principal use of the automated garage shall be for passenger vehicle parking only; storage which interferes with the use of a parking space for a motor vehicle is not permitted.
 - b. The property includes a public access easement over the four-foot pedestrian sidewalk adjacent to Downham Way.
 - c. The site is located in the Old and Historic Alexandria District, and any exterior alterations are subject to review and approval by the Board of Architectural Review.
 - d. All landscaping and open space areas within the development shall be maintained by the master association.
 - e. Exterior building improvements or changes by future residents shall require the approval of the City Council, as determined by the Director of P&Z.
 - f. Develop a noise control by-law aimed at controlling noise levels in the proposed development and resolving noise issues between neighboring occupants and disclose this by-law to all involved at the time of sale or lease
 - g. The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit.
 - h. Stormwater facility BMPs must be inspected and adequately maintained as designed to ensure proper functioning.
 - i. The specific language of the disclosure statement to be utilized shall be provided to the City for approval prior to release of any certificate of occupancy permit.
 - Residents are not eligible for residential street parking permits because the property is not located within a residential permit parking district and are not eligible for a permit in a sub-district based on code requirements. (P&Z) (T&ES)(PC)**
- If environmental site assessments or investigations discover the presence of onsite contamination, the applicant or its agent shall furnish each prospective buyer with a statement disclosing the prior history of the site, including previous environmental conditions and on-going remediation measures. Disclosures shall be made to the satisfaction of the Director of Transportation and Environmental Services. (T&ES)
- Present a disclosure statement to potential buyers disclosing the following to the satisfaction of the Directors of P&Z and T&ES, and the City Attorney:
 - a. That the loading dock clearance is under 14'6" and the building operator and/or commercial tenants shall coordinate with trash and delivery services accordingly.
 - That Route 1 is an existing/planned location for Transit Corridor A, which will traverse in a north-south direction in the general vicinity of Route 1 and connect to future transit corridors in Fairfax and Arlington Counties. (P&Z) (T&ES) (City Attorney)

DESIGN: VMM APPROVED SPECIAL USE PERMIT NO. SCALE: NO SCALE DATE: JAN 2022 DEPARTMENT OF PLANNING & ZONING CONDITIONS DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR SITE PLAN NO. ____ EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTÍLITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. DEED BOOK NO.

SHEET **04** OF **38**

CHECKED: ACS

ESI PEER REVIEW

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2022 R.C. FIELDS & ASSOCIATES, INC.

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DATE REVISION

The Special Use Permit shall be granted to the applicant only or to any business or entity in which the applicant has a controlling interest. (P&Z)

17. Trash and garbage shall be stored inside or in sealed containers that do not allow odors to escape, invasion by animals, or leaking. No trash or debris shall be allowed to accumulate outside of those containers. Outdoor containers shall be maintained to the satisfaction of the Directors of P&Z and T&ES, including replacing damaged lids and repairing/replacing damaged dumpsters. (P&Z) (T&ES)

118. Live entertainment shall be limited to indoor only. The applicant shall conform with the City's noise ordinance and no amplified sound shall be audible at the property line after 11:00 p.m. (T&ES)

119. Kitchen equipment, including floor mats, shall not be cleaned outside, nor shall any cooking residue be washed into any street, alley, or storm sewer. (T&ES)

Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00 p.m. and 7:00 a.m. (T&ES)

21. Control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. (T&ES)

22. Chemicals, detergents or cleaners stored outside the building shall be kept in an enclosure with a roof. (T&ES)

23. If used cooking oil is stored outside, the lid of the used cooking oil drum shall be kept securely closed (using a bung) when not receiving used oil. The drum shall be placed on secondary containment and situated under cover to prevent rainwater from falling on it. (T&ES)

Litter on the site and on public rights-of-way and spaces adjacent to or within 75 feet of the premises shall be picked up at least twice a day and at the close of business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is open to the public. (T&ES)

125. The applicant shall encourage its employees who drive to use off-street parking. (T&ES)

The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at goalex@alexandriava.gov for information on establishing an employee transportation benefits program. (T&ES)

127. The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)

The applicant shall encourage patrons to park off-street through the provision of information about the on-site public garage and other nearby garages on advertising and on the restaurant's website. (T&ES)

29. The Director of Planning and Zoning shall review the Special Use Permit after it has been operational for one (1) year, and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse zoning impact on the surrounding community; (b) the director has received a request from any person to docket the permit for review as the result of a complaint that rises to the level of a violation of the permit conditions, or

of a complaint that rises to the level of a violation of the permit conditions, or (c) the director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)

IX. CITY DEPARTMENT CODE COMMENTS

Legend: C - Code Requirement R - Recommendation S - Suggestion F - Finding

Planning and Zoning (P&Z)

R - 1. For all first-floor bays with a street-facing door providing their primary access, please coordinate with the Geographic Information Systems (GIS) Division for address assignments at tenant fit out. These uses are not permitted to use the primary building address as their address. Please contact the Addressing Coordinator in the GIS Division (703-746-3823) as each new tenant is determined, and an appropriate address based on the location of the primary entrance door of the new space will be assigned.

C-1 As-built documents for all landscape and irrigation installations are required to be submitted with the Site as-built and request for Performance Bond release. Refer to City of Alexandria Landscape Guidelines, Section III A & B. (P&Z) (T&ES) ****

C - 2 Tree conservation and protection plans shall identify all trees to be removed, and all trees to be protected / preserved. Construction methods to reduce disturbance within driplines shall also be identified. An on-site inspection of existing conditions shall be held with the City Arborist and Natural Resources Division Staff prior to the preparation of the Tree Conservation and Protection Plan.

C-3 The landscape elements of this development shall be subject to the Performance and Maintenance bonds, based on criteria established by the City and available through T&ES. Release of Performance and Maintenance Bonds are subject to inspections by City staff per City Code requirements. A final inspection for landscaping is also required three (3) years after completion. (P&Z) (T&ES) ****

C - 4 No permits shall be issued prior to the release of the Certificate of Appropriateness from the Board of Architectural Review. (BAR)

C-5 Parking ratio requirement adjustment. Any parking requirement may be adjusted within 5% of the requirement if the director of Planning and Zoning determines that physical requirements of the building prevent compliance with the specific number of parking spaces required. (Section 8-200(A)(2)(c)(i) of the Zoning Ordinance) (T&ES) (P&Z)

Code Administration (Building Code)

F - 1. The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. A preconstruction conference is recommended for large projects. If there are any questions, the applicant may contact the Code Administration Office, Plan Review Supervisor at 703-746-4200.

C - 1 New construction or alterations to existing structures must comply with the current edition of the Uniform Statewide Building Code (USBC).

C - 2 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) total floor area per floor; e) height of structure f) non-separated or separated mixed use g) fire protection system requirements.

C - 3 A soils report must be submitted with the building permit application for all new and existing building structures.

C - 4 The most restrictive type of construction shall apply to the structure for height and area limitations for non-separated uses.

C - 5 Where required per the current edition Virginia Uniform Statewide Building Code exits, parking, and facilities shall be accessible for persons with disabilities.

C - 6 All proposed buildings where an occupied floor exceeds 75 feet above the lowest level of fire department vehicle access shall meet the Virginia Uniform Statewide Building Code for HIGH-RISE buildings.

C - 7 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to the Department of Code Administration that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

C - 8 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.

C-9 A wall location plat prepared by a land surveyor is required to be submitted to the Department of Code Administration prior to any building framing inspection.

Archaeology

F - 1. This section of upper King St. experienced development in the early nineteenth century. For example, as detailed in the 1810 tax assessor's list there were eight standing houses on the street face. Moreover, Levin Moreland and James Nutt lived on the street face in the vicinity of 116 S. Henry St. in 1810. Both lots likely contain significant archaeological evidence of the development of late eighteenth- and nineteenth-century Alexandria, especially considering that most of the two lots are paved which suggests modern impacts to the archaeological resources could be minimal.

C -1. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

Transportation and Environmental Services (T&ES)

09%20December%203,%202009.pdf

F - 1. Since the record drawings, maps, and other documents of the City of Alexandria, State, and Federal agencies show the true north pointing upwards, therefore, the Site Plan shall show the true north arrow pointing upward as is customary; however, for the sake of putting the plan together and/or ease of understanding, the project north arrow pointing upward, preferably east, or west may be shown provided it is consistently shown in the same direction on all the sheets with no exception at all. The north arrow shall show the source of meridian. The project north arrow pointing downward will not be acceptable even if, it is shown consistently on all the sheets. (T&ES)

F - 1. The Final Site Plan must be prepared per the requirements of Memorandum to Industry 02-09 dated December 3, 2009, Design Guidelines for Site Plan Preparation, which is available at the City's website: http://alexandriava.gov/uploadedFiles/tes/info/Memo%20to%20Industry%20No.%2002-

F - 2. The plan shall show sanitary and storm sewer, and water line in plan and profile in the first final submission and cross reference the sheets on which the plan and profile is shown, if plan and profile is not shown on the same sheet. Clearly label the sanitary and storm sewer, or water line plans and profiles. Provide existing and proposed grade elevations along with the rim and invert elevations of all the existing and proposed sanitary and storm sewer at manholes, and water line piping at gate wells on the respective profiles. Use distinctive stationing for various sanitary and storm sewers (if applicable or required by the plan), and water line in plan and use the corresponding stationing in respective profiles. (T&ES)

F - 3. The Plan shall include a dimension plan with all proposed features fully dimensioned and the property line clearly shown. (T&ES)

F - 4. Include all symbols, abbreviations, and line types in the legend. (T&ES)

F - 5. All storm sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter for storm sewers shall be 18" in the public Right of Way (ROW) and the minimum size storm sewer catch basin lead is 15". The acceptable pipe materials will be Reinforced Concrete Pipe (RCP) ASTM C-76 Class IV. Alternatively, AWWA C-151 (ANSI A21.51) Class 52 may be used if approved by the Director of T&ES. For roof drainage system, Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26 and ASTM 1785-76 Schedule 40 pipes will be acceptable. The acceptable minimum and maximum velocities will be 2.0 fps and 15 fps, respectively. The storm sewers immediately upstream of the first manhole in the public Right of Way shall be owned and maintained privately (i.e., all storm drains not shown within an easement or in a public Right of Way shall be owned and maintained privately). (T&ES)

F - 6. All sanitary sewers shall be constructed to the City of Alexandria standards and specifications. Minimum diameter of sanitary sewers shall be 10 inches in the public Right of Way and sanitary lateral 6 inches for all commercial and institutional developments; however, a 4-inch sanitary lateral will be acceptable for single family residences. The acceptable pipe materials will be Polyvinyl Chloride (PVC) ASTM D-3034-77 SDR 26, ASTM 1785-76 Schedule 40, Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52, or reinforced concrete pipe ASTM C-76 Class IV (For 12 inch or larger diameters); Class III may be acceptable on private properties. The acceptable minimum and maximum velocities will be 2.5 fps and 10 fps, respectively. Laterals shall be connected to the sanitary sewer through a manufactured "Y" or "T" or approved sewer saddle. Where the

laterals are being connected to existing Terracotta pipes, replace the section of main and provide manufactured "Y" or "T", or else install a manhole. (T&ES)

F - 7. Lateral Separation of Sewers and Water Mains: A horizontal separation of 10 feet (edge to edge) shall be provided between a storm or sanitary sewer and a water line; however, if this horizontal separation cannot be achieved then the sewer and water main shall be installed in separate trenches and the bottom of the water main shall be at least 18 inches above of the top of the sewer. If both the horizontal and vertical separations cannot be achieved, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 and pressure tested in place without leakage prior to installation. (T&ES)

F - 8. Crossing Water Main Over and Under a Sanitary or Storm Sewer: When a water main over crosses or under crosses a sanitary / storm sewer then the vertical separation between the bottom of one (i.e., sanitary / storm sewer or water main) to the top of the other (water main or sanitary / storm sewer) shall be at least 18 inches for sanitary sewer and 12 inches for storm sewer; however, if this cannot be achieved then both the water main and the sanitary / storm sewer shall be constructed of Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 with joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing and the pipes shall be pressure tested in place without leakage prior to installation. Sewers crossing over the water main shall have adequate structural support (concrete pier support and/or concrete encasement) to prevent damage to the water main. Sanitary sewers under creeks and storm sewer pipe crossings with less than 6-inch clearance shall be encased in concrete. (T&ES)

F - 9. No water main pipe shall pass through or come in contact with any part of sanitary / storm sewer manhole. Manholes shall be placed at least 10 feet horizontally from the water main whenever possible. When local conditions prohibit this horizontal separation, the manhole shall be of watertight construction and tested in place. (T&ES)

F - 10. Crossing Existing or Proposed Utilities: Underground telephone, cable T.V., gas, and electrical duct banks shall be crossed maintaining a minimum of 12 inches of separation or clearance with water main, sanitary, or storm sewers. If this separation cannot be achieved, then the sewer pipe material shall be Ductile Iron Pipe (DIP) AWWA C-151 (ANSI A21.51) Class 52 for a distance of 10 feet on each side of the point of crossing and pressure tested in place without leakage prior to installation. Sanitary/storm sewers and water main crossing over the utilities shall have adequate structural support (pier support and/or concrete encasement) to prevent damage to the utilities. (T&ES)

F - 11. Dimensions of parking spaces, aisle widths, etc. within the parking garage shall be provided on the plan. Note that dimensions shall not include column widths. (T&ES)

F - 12. Show the drainage divide areas on the grading plan or on a sheet showing reasonable information on topography along with the structures where each sub-area drains. (T&ES)

F - 13. Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. (T&ES)

F - 14. All the existing and proposed public and private utilities and easements shall be shown on the plan and a descriptive narration of various utilities shall be provided. (T&ES)

F - 15. A Maintenance of Traffic Plan shall be provided within the Construction Management Plan and shall replicate the existing vehicular and pedestrian routes as nearly as practical. Pedestrian and bike access shall be maintained adjacent to the site per Memo to Industry #04-18. These sheets are to be provided as "Information Only." (T&ES)

F - 16. The following notes shall be included on all Maintenance of Traffic Plan Sheets: (T&ES) a. The prepared drawings shall include a statement "FOR INFORMATION ONLY" on all MOT Sheets.

b. Sidewalk closures will not be permitted for the duration of the project. Temporary sidewalk closures are subject to separate approval from Transportation and Environmental Services (T&ES) at the time of permit application.
c. Contractor shall apply for all necessary permits for uses of the City Right of Way and

shall submit MOT Plans with the T&ES Application for final approval at that time. *

F - 17. Add complete streets tabulation to the cover sheet with the Final 1 submission. (T&ES)

C - 1 Per the requirements of the City of Alexandria Zoning Ordinance Article XI, the applicant shall complete a drainage study and adequate outfall analysis for the total drainage area to the receiving sewer that serves the site. If the existing storm system is determined to be inadequate, then the applicant shall design and build on-site or off-site improvements to discharge to an adequate outfall; even if the post development stormwater flow from the site is reduced from the pre-development flow. The Plan shall demonstrate to the satisfaction of the Director of T&ES that a non-erosive stormwater outfall is present. (T&ES)

C - 2 Per the requirements of the City of Alexandria Zoning Ordinance (AZO) Article XIII, Environmental Management Ordinance, the applicant shall comply with the stormwater quality and quantity requirements and provide channel protection and flood protection in accordance with these requirements. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of the Zoning Ordinance shall be met. If the project site lies within the Braddock-West watershed or known flooding area, then the applicant shall provide an additional 10 percent storage of the pre-development flows in this watershed to meet detention requirements. (T&ES)

C - 3 Per the requirements of Article 13-114 (f) of the AZO, all stormwater designs that require analysis of pressure hydraulic systems, including but not limited to the design of flow control structures and stormwater flow conveyance systems shall be signed and sealed by a professional engineer, registered in the Commonwealth of Virginia. The design of storm sewer shall include the adequate outfall, inlet, and hydraulic grade line (HGL) analyses that shall be completed to the satisfaction of the Director of T&ES. Provide appropriate reference and/or source used to complete these analyses. (T&ES)

C - 4 The proposed development shall conform to all requirements and restrictions set forth in Section 6-300 (Flood plain District) of Article VI (Special and Overlay Zones) of the City of Alexandria Zoning Ordinance. (T&ES)

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PEER REVIEW

C - 5 If it is determined that the site is not in compliance with Section 13-1-3 of the City Code, then the applicant shall make additional improvements to adjust lighting levels to the satisfaction of the Director of T&ES to comply with the Code. (T&ES)

C - 6 Location of customer utility services and installation of transmission, distribution and main lines in the public rights of way by any public service company shall be governed by franchise agreement with the City in accordance with Title 5, Chapter 3, Section 5-3-2 and Section 5-3-3, respectively. The transformers, switch gears, and boxes shall be located outside of the public right of way. (T&ES)

C - 7 (a) Per the requirements of Section 5-3-2, Article A, Chapter 3 of the City of Alexandria Code, all new customer utility services, extensions of existing customer utility services and existing overhead customer utility services supplied by any existing overhead facilities which are relocated underground shall, after October 15, 1971 be installed below the surface of the ground except otherwise exempted by the City Code and to the satisfaction of the Director, Department of Transportation and Environmental Services. (b) Per the requirements of Section 5-3-3, Article A, Chapter 3 of the City of Alexandria Code, all new installation or relocation of poles, towers, wires, lines, cables, conduits, pipes, mains, and appurtenances used or intended to be used to transmit or distribute any service such as electric current, telephone, telegraph, cable television, traffic control, fire alarm, police communication, gas, water, steam or petroleum, whether or not on the streets, alleys, or other public places of the City shall, after October 15, 1971, be installed below the surface of the ground or below the surface in the case of bridges and elevated highways except otherwise exempted by the City Code and to the satisfaction of Director, Department of Transportation and Environmental Services. (T&ES)

C - 8 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable after treating for water quality as per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). (T&ES)

C-9 In compliance with Title 5: Transportation and Environmental Services, Section 5-1-2(12b) of the City Charter and Code, the City of Alexandria shall provide solid waste collection services to the condominium townhomes portion of the development. All refuse / recycling receptacles shall be placed at the City Right-of-Way. (T&ES)

C - 10 Per the requirements of Title 4, Chapter 2, Article B, Section 4-2-21, Appendix A, Section A 106(6), Figure A 106.1 Minimum Standards for Emergency Vehicle Access: provide a total turning radius of 25 feet to the satisfaction of Directors of T&ES and Office of Building and Fire Code Administration and show turning movements of standard vehicles in the parking lot as per the latest AASHTO vehicular guidelines. (T&ES)

C - 11 The applicant shall provide required storage space for both trash and recycling materials containers as outlined in the City's "Solid Waste and Recyclable Materials Storage Space Guidelines", or to the satisfaction of the Director of Transportation & Environmental Services. The plan shall show the turning movements of the collection trucks and the trucks shall not back up to collect trash or recycling. The City's storage space guidelines are available online at: www.alexandriava.gov/solidwaste or by contacting the City's Solid Waste Division at 703-746-4410, or via email at commercialrecycling@alexandriava.gov. (T&ES)

C - 12 The applicant shall be responsible to deliver all solid waste, as defined by the City Charter and Code of the City of Alexandria, to the Covanta Energy Waste Facility located at 5301 Eisenhower Avenue. A note to that effect shall be included on the plan. The developer further agrees to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. (T&ES)

C - 13 The applicants shall submit a Recycling Implementation Plan (RIP) form to the Solid Waste Division, as outlined in Article H of Title 5 (Ordinance Number 4438), which requires all commercial properties to recycle. Instructions for how to obtain a RIP form can be found at: www.alexandriava.gov/solidwaste or by calling the Solid Waste Division at 703.746.4410 or by e-mailing CommercialRecycling@alexandriava.gov. (T&ES)

C - 14 All private streets and alleys shall comply with the City's Minimum Standards for Private Streets and Alleys. (T&ES)

C - 15 Bond for the public improvements must be posted prior to release of the site plan. (T&ES)*

C - 16 Plans and profiles of utilities and roads in public easements and/or public Right of Way must be approved prior to release of the plan. (T&ES) *

C-17 Provide a phased erosion and sediment control plan consistent with grading and construction plan. (T&ES)

C - 18 Per the Memorandum to Industry, dated July 20, 2005, the applicant is advised regarding a requirement that applicants provide as-built sewer data as part of the final as-built process. Upon consultation with engineering firms, it has been determined that initial site survey work and plans will need to be prepared using Virginia State Plane (North Zone) coordinates based on NAD 83 and NAVD 88. Control points/Benchmarks which were used to establish these coordinates should be referenced on the plans. To ensure that this requirement is achieved, the applicant is requested to prepare plans in this format including initial site survey work if necessary. (T&ES)

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EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS.

FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTÍLITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

DESIGN: VMM APPROVED CHECKED: ACS SPECIAL USE PERMIT NO. SCALE: NO SCALE DATE: JAN 2022 DEPARTMENT OF PLANNING & ZONING DATE CONDITIONS DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____ DIRECTOR DATE CHAIRMAN, PLANNING COMMISSION SHEET **05** OF **38** DATE RECORDED FILE: 19-153 DEED BOOK NO.

ALEXANDRIA DEVELOPMENT
6 SOUTH HENRY STREET
OF ALEXANDRIA, VIRGINIA

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2019\19153\DWG\DELIV\S Henry Street\02-COND|

- C 20 All pedestrian, traffic, and way finding signage shall be provided in accordance with the Manual of Uniform Traffic Control Devices (MUTCD), latest edition to the satisfaction of the Director of T&ES. (T&ES)
- C 21 No overhangs (decks, bays, columns, post or other obstructions) shall protrude into public Right of Ways, public easements, and pedestrian or vehicular travelways unless otherwise permitted by the City Code. (T&ES)
- C 22 All driveway entrances, curbing, etc. in the public ROW or abutting public ROW shall meet City design standards. (T&ES)
- C 23 All sanitary laterals and/or sewers not shown in the easements shall be owned and maintained privately. (T&ES)
- C 24 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C 25 All construction activities must comply with the Alexandria Noise Control Code Title 11, Chapter 5, Section 11-5-4(b)(15), which permits construction activities to occur between the following hours:
 - a. Monday Through Friday from 7 AM To 6 PM and
 - b. Saturdays from 9 AM to 6 PM.
 - c. No construction activities are permitted on Sundays and holidays.
 - Section 11-5-4(b)(19) further restricts the Pile Driving to the following hours:
 - d. Monday Through Friday from 9 AM To 6 PM and
 - e. Saturdays from 10 AM To 4 PM
 - f. No pile driving is permitted on Sundays and holidays.
 - Section 11-5-109 restricts work in the right of way for excavation to the following:
 - g. Monday through Saturday 7 AM to 5 pm
 - h. No excavation in the right of way is permitted on Sundays. (T&ES)
- C 26 The applicant shall comply with the Article XIII of the City of Alexandria Zoning Ordinance, which includes requirements for stormwater pollutant load reduction, treatment of the Alexandria Water Quality Volume Default and stormwater quantity management. (T&ES)
- C 27 The applicant shall comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. (T&ES)

PWS Comments

C-28 Proposed 4 feet public alley widening should be an asphalt hatch, not a concrete hatch as

AlexRenew Comments

No comments.

VAWC Comments

No comments received.

Fire Department

No comments.

Police Department

- R 2. It is recommended that the buildings have an address number which is contrasting in color to the background, at least 3 inches high, reflective, and visible from the street placed on the front and back of each home. It is strongly suggested that no brass or gold colored numbers are used. This aids in a timely response from emergency personnel should they be needed.
- R 3. It is recommended that all the ground floor level windows be equipped with a device or hardware that allows windows to be secured in a partially open position. This is to negate a "breaking and entering" when the windows are open for air.
- R 4. It is recommended that a "door-viewer" (commonly known as a peep-hole) be installed on all doors on the ground level that lead directly into an apartment. This is for the security of the occupant.

Asterisks denote the following:

- * Condition must be fulfilled prior to release of the Final Site Plan
- ** Condition must be fulfilled prior to release of the building permit
- *** Condition must be fulfilled prior to release of the certificate of occupancy
- **** Condition must be fulfilled prior to release of the bond

LETTER OF PERMISSION FOR OFFSITE DISTURBANCE

WALTON & ADAMS, P. C. ATTORNEYS AND COUNSELORS AT LAW 1925 ISAAC NEWTON SQUARE, SUITE 250 RESTON, VIRGINIA 20190

RICHARD V.W. ADAMS. III MICHAEL J. HOLLERAN JEFFREY A. HUBER SCOTT D. HELSEL* Evan M. Stepanick *ALSO ADMITTED TO D.C. BAR *ALSO ADMITTED TO MD BAR

TELEPHONE

shelsel@walton-adams.com

September 17, 2021

FACSIMILE (703) 790-8016 www.walton-adams.com Of COUNSEL ROBERT L. HOWELL EDMUND L. WALTON, JR. (RETIRED)

BY EMAIL

Mary Catherine Gibbs Wire Gill, LLP 700 N. Fairfax St., Suite 600 Alexandria, VA 22314

Re: Side Letter to Settlement Between Monica Malreoh and Galena Capital Partners,

Dear Mary Catherine

Pursuant to our settlement discussions, this letter is intended to serve as a side letter that memorializes your client's agreement to address several issues (collectively the "Rainwater Issues") during the planning, redevelopment, and construction of the Henry Street parking lot parcel that is adjacent to my client's property at 111 S. Patrick St. Because the Rainwater Issues do not specifically concern the parties' access dispute, you have asked that these issues be addressed in a side letter rather than be included in the main settlement agreement.

Specifically, you have indicated that your client is willing to do each of the following:

 Based on the meeting at the property on Friday, September 10: 2021 we identified the following related to Rainwater Issues: 1) the downspout in the front of the 111 S. Patrick St. property; 2) the drain located near the back door; and 3) the downspout at the rear of the building. All three features currently daylight at or near the common boundary with the parking lot parcel. Galena will take reasonable and appropriate steps to address these items at its cost. It is anticipated that the front downspout on the side wall of my client's property will be relocated to front wall. Galena is evaluating alternatives for how to address the drain and the downspout in my client's rear yard.

• Your client will construct the new multifamily building on S. Patrick Street so as to prevent rainwater infiltration in any small space that may exist between that building and my client's building.

Mary Catherine Gibbs September 17, 2021

• Your client will share with my client proposed site plans and other documents as necessary to keep my client informed about how your client intends to more specifically address the Rainwater Issues.

My client is willing to do each of the following:

- With reasonable advance notice, my client will permit access to the roof of the 111 S. Patrick Street by Galena and/or its agents/contractors, to ensure that the improvements contemplated in this letter can be installed appropriately and in accordance with industry standards. Only employees of licensed contractors may access my client's roof. Any person who accesses the roof shall take appropriate safety precautions, including conducting a visual inspection of the roof for any potential defects, and shall assume the risk of working while on the roof. Galena shall require any contractor whose employees access the roof to maintain worker's compensation insurance and comprehensive general liability insurance in commercially reasonable amounts and include my client as an additional insured. Galena will attempt to schedule any work requiring access to her roof so as to not materially interfere with her enjoyment of her property. Galena and its contractors will also be responsible for damage, if any, caused to my client's property during construction. This is not intended to create any easement to use my client's property but only a license
- My client will provide access to the basement of 111 S. Patrick Street to Galena and/or its agents/contractors for a pre-construction survey work to document existing conditions and adequately determine the most effective foundation system to be utilized for the construction on the adjacent Henry Street parking lot parcel.
- As part of addressing the front downspout, my client will allow Galena, at its cost, to remove the small portion of the existing trim on the front of the building at 111 S. Patrick that overhangs beyond the building's western side wall, provided that Galena shall refinish the trim that will remain in place using a style substantially the same as the trim that exists today, in a workmanlike manner that passes without objection in the construction trade, and free from any structural defects.

Your client's willingness to address the Rainwater Issues is among the reasons that my client is willing to sign the main settlement agreement to resolve the access dispute. Nothing in the main settlement agreement is intended to release any rights or claims that my client may have related to the Rainwater Issues.

The parties will reasonably cooperate with each other to address the issues contemplated in this letter.

Mary Catherine Gibbs September 17, 2021 Page 3

Please have your client countersign below indicating its agreement to this side letter.

SEEN AND AGREED:

Galena Capital Partners, LLC By: Omar Abdul-Baki Title: Manager

> APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR. SITE PLAN NO. EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR

DATE RECORDED

INSTRUMENT NO.

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DEED BOOK NO.

CONDITIONS

SHEET **06** OF **38**

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FINAL SITE PLE EXANDRIA SOUTH HENRY STATES ALEXANDRIA

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DATE | REVISION

DESIGN: VMM

CHECKED: ACS

DATE: JAN 2022

SCALE: NO SCALE

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HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY ACTION AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUATION OF SERVICE.
- THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED, IF REQUIRED.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- 4. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION WALK/SURVEY OF THE SITE WITH T&ES CONSTRUCTION MANAGEMENT AND INSPECTION STAFF TO DOCUMENT EXISTING CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 5. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR ENSURING THAT APPROPRIATE EXISTING UTILITIES ARE DISCONNECTED.
- 6. THE DEVELOPER SHALL PROVIDE OVER-LOT GRADING TO PROVIDE POSITIVE DRAINAGE AND PRECLUDE PONDING OF WATER
- . ALL AREAS, ON OR OFF—SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE AS RECOMMENDED BY THE CITY AGENT. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE CITY OF ALEXANDRIA.
- 8. EXISTING SEPTIC FIELDS, IF APPLICABLE, SHALL BE ABANDONED IN ACCORDANCE WITH VIRGINIA HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS.
- 9. ALL ABOVE GROUND UTILITIES SERVING THE SITE SHALL BE RELOCATED AS REQUIRED BY THE OWNING UTILITY COMPANIES THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
- 10. PRIOR TO BEGINNING OF CONSTRUCTION, CONTRACTOR SHALL VERIFY FROM THE ARCHITECTURAL DRAWINGS ALL DIMENSIONS, DETAILS, AND TREATMENTS FOR THE PROPOSED BUILDINGS, WALKWAYS, AND OTHER PROPOSED CONSTRUCTION WHERE INDICATED ON THE PLANS.
- 11. THE CONTRACTOR IS TO VERIFY INVERT, SIZE, AND LOCATION OF BUILDING UTILITY CONNECTIONS WITH THE MECHANICAL PLANS PRIOR TO PLACEMENT OF UNDERGROUND UTILITIES.
- 12. EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES ARE TO BE REMOVED AS REQUIRED BY THE CONSTRUCTION.
- 13. EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION OR TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES.
- 14. ALL PRIVATE BUILDING CONNECTIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE
- 15. TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. MINOR ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS, IF REQUIRED, SHALL BE MADE IN THE FIELD WITH THE APPROVAL OF SITE INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.
- 16. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER/DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY ORDINANCE ENACTED BY THE CITY OF ALEXANDRIA.
- 17. CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.
- 18. THE CONTRACTOR IS REFERRED TO STRUCTURAL, GEOTECHNICAL, MECHANICAL, AND ARCHITECTURAL PLANS FOR FOUNDATION TREATMENT INCLUDING. BUT NOT LIMITED TO. SHEETING AND SHORING FOR BUILDING EXCAVATION. WATERPROOFING FOR FILL AGAINST BUILDINGS, LOCATION OF MECHANICAL EQUIPMENT, AND CONNECTIONS AT THE FACES OF BUILDINGS.
- 19. SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED ENTRANCE AND/OR CURB & GUTTER TO PRECLUDE THE FORMING OF FALSE GUTTER AND/OR PONDING OF WATER ON THE ROADWAY.
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB AND SIDEWALKS, IF
- 21. THE CALIFORNIA BEARING RATIO (CBR) VALUES OF ON-SITE MATERIALS SHALL BE DETERMINED BY FIELD AND/OR LABORATORY TESTS FOR ACTUAL DETERMINATION OF REQUIRED THICKNESS OF SURFACE, BASE, SUB-BASE, AND SUB GRADE MATERIALS. THE PAVEMENT SECTION SHALL BE DESIGNED BY A GEOTECHNICAL/LICENSED PROFESSIONAL ENGINEER TO THE SATISFACTION OF DIRECTOR, TRANSPORTATION AND ENVIRONMENTAL SERVICES FOR ALL PAVEMENTS INCLUDING EMERGENCY VEHICLE EASEMENT (EVE) TO SUPPORT H-20 LOADING. IN THE CASE OF PAVEMENT PATCHES, PAVEMENT SECTION MUST
- 22. THE THICKNESS OF SUB-BASE, BASE, AND WEARING COURSE SHALL BE DESIGNED USING "CALIFORNIA METHOD" AS SET FORTH ON PAGE 3-76 OF THE SECOND EDITION OF A BOOK ENTITLED, "DATA BOOK FOR CIVIL ENGINEERS, VOLUME ONE. DESIGN" WRITTEN BY ELWYN E. SEELYE. AN ALTERNATE PAVEMENT SECTION DESIGNED TO THE SATISFACTION OF DIRECTOR. TRANSPORTATION AND ENVIRONMENTAL SERVICES FOR ALL PAVEMENTS INCLUDING EMERGENCY VEHICLE EASEMENT (EVE) TO SUPPORT H-20 LOADING BASED ON CBR AND VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) METHOD (VASWANI METHOD) AND STANDARD MATERIAL SPECIFICATIONS SHALL BE ACCEPTABLE.
- 23. AMERICAN WITH DISABILITY (ADA) ACCESSIBLE PARKING SPACES MUST BE DELINEATED WITH PAVEMENT MARKINGS PER THE CITY OF ALEXANDRIA STANDARD SIGNAGE AND AMERICAN WITH DISABILITIES (ADA) REQUIREMENTS.
- 24. ALL EARTHWORK OPERATIONS ARE TO BE PERFORMED UNDER THE FULL TIME, ON-SITE SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER WITH GEOTECHNICAL TESTING IN ACCORDANCE WITH CONSTRUCTION SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS.
- 25. THE CONTRACTORS SHALL NOT CAUSE OR PERMIT VEHICLES TO IDLE FOR MORE THAN 10 MINUTES WHEN PARKED. THIS INCLUDES A PROHIBITION ON IDLING FOR LONGER THAN 10 MINUTES IN THE LOADING DOCK AREA. THE APPLICANT SHALL POST A MINIMUM OF TWO NO IDLING FOR GREATER THAN 10 MINUTES SIGNS IN THE LOADING DOCK AREA IN PLAIN VIEW.
- 26. A TEMPORARY CONSTRUCTION TRAILER WILL BE PERMITTED (IF NECESSARY) AND SUBJECT TO APPROVAL OF THE DIRECTOR OF P&Z. THE TRAILER SHALL BE REMOVED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 27. PROVISIONS SHALL BE MADE TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATION ON THE PREMISES OR ADJOINING PROPERTY.
- 28. THE TEMPORARY USE OF STREETS OR PUBLIC PROPERTY FOR THE STORAGE OR HANDLING OF MATERIALS OR OF EQUIPMENT REQUIRED FOR CONSTRUCTION OR DEMOLITION, AND THE PROTECTION PROVIDED TO THE PUBLIC SHALL COMPLY WITH THE PROVISIONS OF THE APPLICABLE GOVERNING AUTHORITY AND THE BUILDING CODE.
- 29. CONSTRUCTION MATERIALS AND EQUIPMENT SHALL NOT BE PLACED OR STORED SO AS TO OBSTRUCT ACCESS TO FIRE HYDRANTS, STANDPIPES, FIRE OR POLICE ALARM BOXES, CATCH BASINS OR MANHOLES, NOR SHALL SUCH MATERIALS OR EQUIPMENT BE LOCATED WITHIN 20 FEET OF A STREET INTERSECTION. OR PLACED TO OBSTRUCT NORMAL OBSERVATIONS OF TRAFFIC SIGNALS OR TO HINDER THE USE OF PUBLIC TRANSIT LOADING PLATFORMS.
- 30. A SECURITY SURVEY IS TO BE COMPLETED FOR ANY SALES OR CONSTRUCTION TRAILERS THAT ARE PLACED ON THE SITE. THIS IS TO BE COMPLETED AS SOON AS THE TRAILERS ARE PLACED ON SITE BY CALLING THE COMMUNITY RELATIONS UNIT AT 703-746-1920.

UTILITY NOTES:

ALL NEW INSTALLATIONS AND/OR REINSTALLATIONS OF UTILITIES SUCH AS ELECTRICAL LINES, GAS PIPES, COMMUNICATION CABLES INCLUDING WATER AND SEWER LATERALS BOTH ON PRIVATE PROPERTY AND IN THE PUBLIC RIGHT OF WAY IN THE CITY OF ALEXANDRIA SHALL BE PROVIDED WITH 3" AND 6" WIDE 5 MIL OVERALL THICKNESS DETECTABLE UNDERGROUND WARNING TAPES (DUWT). THE 3" DUWT SHALL BE INSTALLED AT DEPTHS OF 12" TO 18" AND 6" WIDE AT A DEPTH OF 24" SO AS TO MAKE UNDERGROUND INSTALLATIONS EASY TO FIND USING A NON-FERROUS LOCATOR. THE DUWT SHALL BE WITH ALUMINUM BACKING OR SOLID ALUMINUM CORE LAMINATED WITH A PROTECTIVE CLEAR FILM ON BOTH SIDES, SEALING AND PROTECTING THE GRAPHICS FROM UNDERGROUND MOISTURE, ACIDS, ALKALIS, AND OTHER SOILS SUBSTANCES. ALL DUWT TAPES SHALL BE PRINTED IN BLACK INK ON AMERICAN PUBLIC WORKS ASSOCIATION (APWA) APPROVED COLORS TO MEET OR EXCEED INDUSTRY STANDARDS. THE FOLLOWING ARE THE APWA COLOR CODES:

COLOR	CODES
RED	CAUTION BURIED ELECTRIC POWER LINES, CABLES, CONDUITS AND LIGHTING CABLES.
YELLOW	CAUTION GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS.
ORANGE	CAUTION COMMUNICATIONS, ALARM OR SIGNAL LINES, CABLE OR CONDUITS.
BLUE	CAUTION POTABLE WATER.
PURPLE	CAUTION RECLAIMED WATER, IRRIGATION AND SLURRY LINES.
GREEN	CAUTION SEWER, DRAINS LINES AND FORCE MAIN.

GENERAL NOTES:

- 1. TAX MAP: #074.01-05-12
- CITY OF ALEXANDRIA OWNER: P.O. BOX 178 ALEXANDRIA, VA 22313 DB. 785, PG. 772
- TOTAL PARCEL AREA = 15,332 SF OR 0.3520 AC
- 5. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- 6. TOPOGRAPHIC SURVEY FIELD RUN BY THIS FIRM. VERTICAL DATUM = NAVD '88 PER CITY OF ALEXANDRIA MONUMENT #642, ELEVATION = 33.53 FEET. HORIZONTAL COORDINATES AND BEARINGS SHOWN HEREON ARE REFERENCED TO VIRGINIA COORDINATE SYSTEM (VCS) 1983.
- THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE KEYPORT SILT LOAM OCCURS IN THE LOW, SMOOTH TERRACES ALONG THE POTOMAC RIVER. THIS SITE DOES NOT CONTAIN AREAS PREVIOUSLY MAPPED AS MARINE CLAYS. A SOILS REPORT WILL BE PROVIDED WITH THE BUILDING PERMIT.
- 8. A PHASE I ENVIRONMENTAL SITE ASSESSMENT WAS OBTAINED. THE ASSESSMENT STATED THE PRESENCE OF HAZARDOUS SUBSTANCES OR PETROLEUM PRODUCTS, ALSO KNOWN AS A RECOGNIZED ENVIRONMENTAL CONDITION (REC), WAS POSSIBLE ONSITE; THEREFORE, A PHASE II ESA WAS CONDUCTED. PER THE PHASE II ESA, THERE WAS NO CONTAMINATION REPORTED; THEREFORE, THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
- THE SATISFACTION OF THE DIRECTOR OF T&ES.
- 10. EXISTING UTILITIES SHOWN ARE TAKEN FROM AVAILABLE RECORD AND/OR FIELD OBSERVATIONS. LOCATION AND DEPTH OF ALL EXISTING UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. FOR EXACT LOCATIONS OF EXISTING UTILITIES CONTACT "MISS UTILITY" AT 1-800-552-7001 AT LEAST 72 HOURS BEFORE THE START OF ANY RESPONSIBILITY OF RC FIELDS & ASSOCIATES, INC.
- 11. TITLE REPORT FURNISHED BY INDEPENDENCE TITLE, CLIENT/CASE# MONUMENT, EFFECTIVE DATE AUGUST 9, 2018 AND IS RELIED UPON AS ACCURATE BY THE SURVEYOR AND ENGINEER.
- 12. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA, THE VIRGINIA AMERICAN WATER COMPANY, AND THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC).
- ALL PRIVATE STREETS AND ALLEYS SHALL COMPLY WITH THE CITY'S MINIMUM STANDARDS FOR PRIVATE STREETS AND ALLEYS, IF APPLICABLE.
- APPLICANT SHALL COMPLY WITH THE CITY OF ALEXANDRIA, EROSION AND SEDIMENT CONTROL CODE, SECTION 5, CHAPTER 4.
- 16. NO UTILITIES MAY BE INSTALLED OUTSIDE THE APPROVED LIMITS OF CLEARING, OR WITHIN TREE PROTECTION ZONES. 45. THE SEWER CONNECTION FEE MUST BE PAID PRIOR TO RELEASE OF THE SITE PLAN.
- 17. A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED BY THE APPLICANT PRIOR TO ANY OCCUPANCY OF THE BUILDING 46. ANY PLATS SHALL BE RECORDED AND A COPY OF THE RECORDED PLAT. DEDICATIONS AND DEEDS SHALL BE OR PORTION THEREOF. IN ACCORDANCE WITH USBC #118.0.
- 18. ALL DOWNSPOUTS, FOUNDATION DRAINS AND SUMP PUMP DISCHARGES SHALL BE CONNECTED TO THE CLOSED CONTAMINATION NOTE: COMBINED STORM SEWER SYSTEM.
- 19. ALL IMPROVEMENTS TO THE CITY RIGHT-OF-WAY SUCH AS CURB, GUTTER, SIDEWALK, AND DRIVEWAY APRONS, ETC., MUST BE DESIGNED AND CONSTRUCTED AS PER THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
- 20. ALL PEDESTRIAN IMPROVEMENTS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 21. ALL IMPROVEMENTS TO THE CITY'S INFRASTRUCTURE SHALL BE DESIGNED AND CONSTRUCTED AS PER THE CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS.
- 22. THE APPLICANT OR SITE CONTRACTOR SHALL DESIGNATE A COMMUNITY LIAISON PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES. THE COMMUNITY LIAISON SHALL BE THE MAIN CONTACT FOR CITY STAFF AND ADJACENT OWNERS.
- 23. APPLICANT SHALL COMPLY WITH THE CITY OF ALEXANDRIA'S NOISE CONTROL CODE, TITLE 11, CHAPTER 5, WHICH SETS THE MAXIMUM PERMISSIBLE NOISE LEVEL AS MEASURED AT THE PROPERTY LINE.
- 24. A TEMPORARY INFORMATIONAL SIGN SHALL BE INSTALLED ON THE SITE PRIOR TO THE APPROVAL OF THE FINAL SITE PLAN FOR THE PROJECT AND SHALL BE DISPLAYED UNTIL CONSTRUCTION IS COMPLETE OR REPLACED WITH A MARKETING SIGN INCORPORATING THE REQUIRED INFORMATION; THE SIGN SHALL NOTIFY THE PUBLIC OF THE NATURE PROJECT.
- 25. DURING THE CONSTRUCTION PHASE OF THIS DEVELOPMENT, THE SITE DEVELOPER, THEIR CONTRACTOR, CERTIFIED LAND DISTURBER, OR OWNER'S OTHER AGENT SHALL IMPLEMENT A WASTE AND REFUSE CONTROL PROGRAM. THIS PROGRAM 5. SHALL CONTROL WASTES SUCH AS DISCARDED BUILDING MATERIALS. CONCRETE TRUCK WASHOUT. CHEMICALS. LITTER OR TRASH, TRASH GENERATED BY CONSTRUCTION WORKERS OR MOBILE FOOD VENDOR BUSINESS SERVING THEM, AND ALL SANITARY WASTE AT THE CONSTRUCTION SITE AND PREVENT OFFSITE MIGRATION THAT MAY CAUSE ADVERSE IMPACTS TO NEIGHBOR'S PROPERTIES OR TO THE ENVIRONMENT TO THE SATISFACTION OF DIRECTORS OF T&ES AND CODE ADMINISTRATION. ALL WASTE SHALL BE PROPERLY DISPOSED OFFSITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.
- THE STORMWATER COLLECTION SYSTEM IS LOCATED WITHIN A COMBINED SEWER SHED. ALL PUBLIC CURB INLETS WITHIN 50 FEET OF THE PROPERTY LINE SHALL BE DULY MARKED USING STANDARD CITY MARKS, OR TO THE COMES TO THE SITE AND RECORDS THE FINDS. SATISFACTION OF THE DIRECTOR OF T&ES. SEE DETAIL WITHIN PLAN SET.
- 27. THE APPLICANT SHALL WORK WITH THE CITY FOR RECYCLING AND/OR REUSE OF THE EXISTING BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS, INCLUDING LEFTOVER, UNUSED, AND/OR DISCARDED BUILDING MATERIALS.
- 28. THE DEVELOPMENT SITE PLAN SHALL EXPIRE AND BECOME NULL AND VOID, UNLESS SUBSTANTIAL CONSTRUCTION OF THE PROJECT IS COMMENCED WITHIN 36 MONTHS AFTER INITIAL APPROVAL AND SUCH CONSTRUCTION IS THEREAFTER PURSUED WITH DUE DILIGENCE. THE APPLICANT SHALL PROVIDE A WRITTEN STATUS REPORT TO STAFF 18 MONTHS AFTER INITIAL APPROVAL TO UPDATE THE CITY COUNCIL ON THE PROJECT STATUS.
- 29. THE SIDEWALKS SHALL REMAIN OPEN DURING CONSTRUCTION OR PEDESTRIAN ACCESS SHALL BE MAINTAINED TO THE SATISFACTION OF THE DIRECTOR OF T&ES THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
- 30. IF THE CITY'S EXISTING PUBLIC INFRASTRUCTURE IS DAMAGED DURING CONSTRUCTION, OR PATCH WORK REQUIRED

FOR UTILITY INSTALLATION THEN THE APPLICANT SHALL BE RESPONSIBLE FOR CONSTRUCTION/INSTALLATION OR REPAIR OF THE SAME AS PER CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS, AND TO THE SATISFACTION OF DIRECTOR

- I. DELIVERIES, LOADING AND UNLOADING ACTIVITIES SHALL NOT OCCUR BETWEEN THE HOURS OF 11:00 PM. AND 7:00
- 32. SUBMIT A WALL CHECK PRIOR TO THE COMMENCEMENT OF FRAMING FOR THE BUILDING(S). THE WALL CHECK SHALL INCLUDE THE BUILDING FOOTPRINT, AS DEPICTED IN THE APPROVED FINAL SITE PLAN, THE TOP-OF-SLAB ELEVATION AND THE FIRST FLOOR ELEVATION. THE WALL CHECK SHALL BE PREPARED AND SEALED BY A REGISTERED ENGINEER OR SURVEYOR, AND SHALL BE APPROVED BY THE P&Z PRIOR TO COMMENCEMENT OF FRAMING.
- 33. SUBMIT A HEIGHT CERTIFICATION AND A LOCATION SURVEY FOR ALL SITE IMPROVEMENTS TO THE DEPARTMENT OF P&Z AS PART OF THE REQUEST FOR A CERTIFICATE OF OCCUPANCY PERMIT. THE HEIGHT CERTIFICATION AND THE LOCATION SURVEY SHALL BE PREPARED AND SEALED BY A REGISTERED ARCHITECT, ENGINEER, OR SURVEYOR. THE HEIGHT CERTIFICATION SHALL STATE THAT THE HEIGHT AS CALCULATED BASED ON ALL APPLICABLE PROVISIONS OF THE ZONING ORDINANCE.
- 34. THE APPLICANT SHALL BE RESPONSIBLE TO DELIVER THE SOLID WASTE, AS DEFINED BY THE CITY CHARTER AND CODE OF THE CITY OF ALEXANDRIA, TO THE ALEXANDRIA/ARLINGTON WASTE-TO-ENERGY FACILITY AT COVANTA ENERGY WASTE FACILITY LOCATED AT 5301 EISENHOWER AVENUE. THE DEVELOPER FURTHER AGREES TO STIPULATE IN ANY FUTURE LEASE OR PROPERTY SALES AGREEMENT THAT ALL TENANTS AND/OR PROPERTY OWNERS SHALL ALSO COMPLY WITH THIS REQUIREMENT.
- 35. IF THE PLAN IS FOUND TO BE VIOLATED DURING THE COURSE OF CONSTRUCTION, A CORRECTION NOTICE WILL BE ISSUED TO THE DEVELOPER. IF THE VIOLATION IS NOT CORRECTED WITHIN FIVE (5) BUSINESS DAYS, A "STOP WORK ORDER" WILL BE ISSUED, WITH CONSTRUCTION HALTED UNTIL THE VIOLATION HAS BEEN CORRECTED
- 36. SUBMIT AN AS-BUILT DEVELOPMENT SITE PLAN SURVEY. PURSUANT TO THE REQUIREMENTS OUTLINED IN THE INITIAL AS-BUILT SUBMISSION FOR OCCUPANCY PORTION OF THE AS-BUILT DEVELOPMENT SITE PLAN SURVEY CHECKLIST TO THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES SITE PLAN COORDINATOR PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY PERMIT. THE AS-BUILT DEVELOPMENT SITE PLAN SURVEY SHALL BE PREPARED AND SEALED BY A REGISTERED ARCHITECT, ENGINEER, OR SURVEYOR. INCLUDED SHALL BE A NOTE WHICH STATES THAT THE HEIGHT WAS CALCULATED BASED ON ALL APPLICABLE PROVISIONS OF THE ZONING ORDINANCE.
- 37. IF THERE ARE OUTSTANDING PERFORMANCE, COMPLETION OR OTHER BONDS FOR THE BENEFIT OF THE CITY IN EFFECT FOR THE PROPERTY AT SUCH TIME AS IT MAY BE CONVEYED OR SOLD TO A PARTY OTHER THAN THE APPLICANT. A SUBSTITUTE BOND MUST BE PROVIDED BY THAT PARTY OR. IN THE ALTERNATIVE, AN ASSIGNMENT OR OTHER DOCUMENTATION FROM THE BONDING COMPANY INDICATING THAT THE EXISTING BOND REMAINS IN EFFECT DESPITE THE CHANGE IN OWNERSHIP MAY BE PROVIDED. THE BOND(S) SHALL BE MAINTAINED UNTIL SUCH TIME THAT ALL REQUIREMENTS ARE MET AND THE BOND(S) RELEASED BY THE CITY
- 38. BOND FOR PUBLIC IMPROVEMENTS MUST BE POSTED PRIOR TO RELEASE OF THIS SITE PLAN.
- 39. ALL REQUIRED PERMITS FROM VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY, ENVIRONMENTAL PROTECTION AGENCY, ARMY CORPS OF ENGINEERS, AND/OR VIRGINIA MARINE RESOURCES SHALL BE IN PLACE FOR ALL PROJECT CONSTRUCTION AND MITIGATION WORK PRIOR TO RELEASE OF THE FINAL SITE PLAN. THIS INCLUDES THE STATE REQUIREMENT FOR A STATE GENERAL VPDES PERMIT FOR DISCHARGES OF STORMWATER FROM CONSTRUCTION ACTIVITIES (GENERAL PERMIT) AND ASSOCIATED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR LAND DISTURBING ACTIVITIES EQUAL TO A GREATER THAN ONE (1) ACRE. SEE MEMO TO INDUSTRY 08-14 WHICH CAN BE FOUND ON-LINE HERE: HTTP://ALEXANDRIAVA.GOV/TES/INFO/DEFAULT.ASPX?ID=3522.
- STORMWATER MANAGEMENT SHALL BE PROVIDED TO COMPLY WITH ARTICLE XIII OF THE ZONING ORDINANCE AND TO 40. THE APPLICANTS SHALL SUBMIT A RECYCLING IMPLEMENTATION PLAN (RIP) FORM TO THE RESOURCE RECOVERY DIVISION, AS OUTLINED IN ARTICLE H OF TITLE 5 (ORDINANCE NUMBER 4438), WHICH REQUIRES ALL COMMERICAL PROPERTIES TO RECYCLE. INSTRUCTIONS FOR HOW TO OBTAIN A RIP FORM CAN BE FOUND AT: WWW. ALEXANDRIAVA.GOV/RESOURCERECOVERY OR BY CALLING THE RESOURCE RECOVERY DIVISION AT (703)746-4410 OR BY E-MAILING COMMERCIALRECYCLING@ALEXANDRIAVA.GOV.
- EXCAVATIONS OR CONSTRUCTION. INTERFERENCE OR DISRUPTION OF UTILITY SERVICE WILL NOT BE THE 41. PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT OR LAND DISTURBANCE PERMIT, A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE DEPARTMENT OF CODE ADMINISTRATION THAT WILL OUTLINE THE STEPS THAT WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS.
 - 42. ALL BRICK SIDEWALKS AND SPECIALTY PAVING SHALL COMPLY WITH THE CITY'S MEMOS TO INDUSTRY 05-08 AND 01-13. SIDEWALKS SHALL BE FLUSH ACROSS ALL DRIVEWAY CROSSINGS. BRICK AND CONCRETE HYBRID SIDEWALK SHALL COMPLY WITH THE CITY'S MEMO TO INDUSTRY NO. 2019-03.
- ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND. ALL BELOW GRADE UTILITIES ARE DESIGNED TO MINIMIZE VISIBLE 43. AS-BUILT DOCUMENTS FOR ALL LANDSCAPE AND IRRIGATION INSTALLATIONS ARE REQUIRED TO BE SUBMITTED WITH THE SITE AS—BUILT AND REQUEST FOR PERFORMANCE BOND RELEASE. REFER TO CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, SECTION III A & B.
 - 44. THE LANDSCAPE ELEMENTS OF THIS DEVELOPMENT SHALL BE SUBJECT TO THE PERFORMANCE AND MAINTENANCE BONDS. BASED ON CRITERIA ESTABLISHED BY THE CITY AND AVAILABLE THROUGH T&ES. RELEASE OF PERFORMANCE AND MAINTENANCE BONDS ARE SUBJECT TO INSPECTIONS BY CITY STAFF PER CITY CODE REQUIREMENTS. A FINAL INSPECTION FOR LANDSCAPING IS ALSO REQUIRED THREE YEARS AFTER COMPLETION.

 - SUBMITTED WITH THE FIRST REQUEST FOR A BUILDING PERMIT.

SHOULD ANY UNANTICIPATED CONTAMINATION, UNDERGROUND STORAGE TANKS, DRUMS OR CONTAINERS BE ENCOUNTERED AT THE SITE DURING CONSTRUCTION. THE APPLICANT MUST IMMEDIATELY NOTIFY THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES. OFFICE OF ENVIRONMENTAL QUALITY. SHOULD UNANTICIPATED CONDITIONS Warrant, construction within the impacted area shall be stopped until the appropriate environmental REPORTS IDENTIFIED IN a. THROUGH f. OF CONDITION 73 ARE SUBMITTED AND APPROVED AT THE DISCRETION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.

GRADING NOTES TO CONTRACTOR:

- SITE WORK CONTRACTOR TO FIELD CHECK FINAL GRADING TO ENSURE THE DEVELOPMENT IS GRADED IN ACCORDANCE WITH THE APPROVED SITE DEVELOPMENT/GRADING PLAN.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE ACROSS ALL SURFACES TO PRECLUDE THE PONDING OF WATER, EITHER IN YARDS OR ON PAVED SURFACES. THIS DOES NOT APPLY TO PONDING ASSOCIATED WITH STORMWATER MANAGEMENT FACILITIES.
- 3. A SMOOTH GRADE SHALL BE MAINTAINED ACROSS ALL PAVEMENT SURFACES TO PRECLUDE THE FORMING OF FALSE GUTTERS AND / OR THE PONDING OF ANY WATER IN THE ROADWAY. FINISHED PAVING SURFACES SHALL BE FLUSH WITH ABUTTING SURFACES AT THE SAME ELEVATION (i.e. GUTTERS, SIDEWALKS, APRONS, ETC.)
- OF THE UPCOMING PROJECT AND SHALL PROVIDE A PHONE NUMBER FOR PUBLIC QUESTIONS REGARDING THE 4. THE SUB-BASE OF ALL PARKING AREAS AND TRAVEL LANES ON SITE SHALL BE PROOF ROLLED PRIOR TO THE PLACEMENT OF ANY PAVING MATERIALS TO IDENTIFY ANY AREAS OF INADEQUATE OR STRUCTURALLY UNSATISFACTORY MATERIAL THAT MUST BE UNDERCUT.
 - ANY PROPOSED STRUCTURAL FILL MATERIALS MUST HAVE APPROVAL OF THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT AND COMPACTION. FILL MATERIALS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS SPECIFICATIONS AND UNDER HIS/HER GUIDANCE.

ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY. UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

FOR FXACT LOCATIONS OF FXISTING UNDERGROUND UTILITIES. NOTIFY "MISS UTÍLITY" AT 1-800-552-7001. 7

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

DEMOLITION NOTES:

- A SEPARATE PERMIT IS REQUIRED FOR DEMOLITION; HOWEVER, NO DEMOLITION SHALL BEGIN UNTIL ALL EROSION AND SEDIMENT AND TREE PROTECTION CONTROLS ARE IN PLACE AND ARE APPROVED BY AN EROSION AND SEDIMENT CONTROL INSPECTOR OF THE DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.
- 2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MOST CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS, INCLUDING BUT NOT LIMITED, TO ENVIRONMENTAL PROTECTION AGENCY (EPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), VIRGINIA OCCUPATIONAL AND SAFETY HEALTH COMPLIANCE PROGRAM (VOSH ENFORCEMENT), VIRGINIA OVERHEAD HIGH VOLTAGE LINE SAFETY ACT, NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAPS), AND NATIONAL INSTITUTE OF OCCUPATIONAL SAFETY AND HEATH (NIOSH).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK WITH REPRESENTATIVE UTILITY COMPANIES AND FOR THE IMPLEMENTATION OF REQUIRED UTILITY-RELATED WORK.
- 4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY HAZARDOUS MATERIALS DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- DISCONNECTION OF SERVICES AND SYSTEMS SUPPLYING UTILITIES TO BE ABANDONED OR DEMOLISHED BUILDINGS SHALL BE DISCONTINUED AND CAPPED PER APPROVED RULES AND USBC 3303.6. DISCONNECTIONS SHALL BE COMPLETED PRIOR TO OTHER SITE DEMOLITION IN FULL COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND THE REQUIREMENTS OF UTILITY PURVEYORS HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE UTILITY PURVEYORS, PAYMENT OF ASSOCIATED FEES AND PROCUREMENT OF ALL NECESSARY PERMITS.
- PRIOR TO REMOVAL OF MATERIALS OVER EXISTING UTILITY SYSTEMS, THE CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS AND, IF AT VARIANCE WITH CONDITIONS AS REPRESENTED ON THE PLANS, NOTIFY THE OWNER'S REPRESENTATIVE AND OBTAIN DIRECTIONS AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- WHERE A STRUCTURE HAS BEEN DEMOLISHED OR REMOVED. IF LEFT VACANT THE LOT SHALL BE FILLED AND MAINTAINED TO THE EXISTING GRADE (USBC 3303.4). THE CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH APPROVED MATERIALS/CLEAN FILL AS PER THE REQUIREMENTS OF VIRGINIA DEPARTMENT OF TRANSPORTATION
- THE CONTRACTOR SHALL PROTECT AND PREVENT DAMAGE TO EXISTING ON-SITE UTILITY DISTRIBUTION FACILITIES THAT ARE TO REMAIN. ACTIVE UTILITY DISTRIBUTION FACILITIES ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES SHALL BE SHUT OFF AT THE SERVICE MAIN WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- 9. DURING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE UPON ENCOUNTERING ANY EXISTING UTILITIES AND/OR UTILITY SYSTEM STRUCTURES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DOCUMENT THE SAME AND FORWARD THE INFORMATION TO THE RESIDENT ENGINEER / OWNER'S REPRESENTATIVE, AND OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
- THE CONTRACTOR OR APPLICANT SHALL WORK WITH THE CITY STAFF TO REUSE THE EXISTING, LEFTOVER, UNUSED, AND/OR DISCARDED BUILDING MATERIALS AS PART OF THE DEMOLITION PROCESS OR THE CONSTRUCTION DEBRIS MUST BE REMOVED TO AN APPROVED LANDFILL WITH ADEQUATE FREQUENCY IN ACCORDANCE WITH THE VIRGINIA STATE LITTER CONTROL ACT.
- 11. ALL STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NO LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH THE BUILDING CODE.
- 12. OPENINGS IN EXTERIOR WALLS ARE NOT ALLOWED WHEN LESS THAN 3 FEET FROM PROPERTY LINE.

ENVIRONMENTAL SITE ASSESSMENT STATEMENTS

THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS. HIGHLY ERODIBLE/PERMEABLE SOILS, OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THE SITE, FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, A PHASE I ENVIRONMENTAL SITE ASSESSMENT WAS OBTAINED. THE ASSESSMENT STATED THE PRESENCE OF HAZARDOUS SUBSTANCES OR PETROLEUM PRODUCTS, ALSO KNOWN AS A RECOGNIZED ENVIRONMENTAL CONDITION (REC), WAS POSSIBLE ONSITE; THEREFORE, A PHASE II ESA WAS CONDUCTED. PER THE PHASE II ESA, THERE WAS NO CONTAMINATION REPORTED; THEREFORE, THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE. CONTAMINATED SOILS, CONTAMINATED MATERIALS, UNDERGROUND STORAGE TANKS, COMBUSTIBLE GASES, LANDFILLS, DUMPS OR DISPOSAL AREAS ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED OR TREATED IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL EPA STANDARDS.

THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY MUST BE NOTIFIED IF UNUSUAL OR UNANTICIPATED CONTAMINATION OR UNDERGROUND STORAGE TANKS, DRUMS, AND CONTAINERS ARE ENCOUNTERED AT THE SITE, IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT. THE ALEXANDRIA FIRE DEPARTMENT MUST BE CONTACTED IMMEDIATELY BY CALLING 911. THE TANK OR CONTAINER'S REMOVAL, ITS CONTENTS, ANY SOIL CONTAMINATION, AN RELEASES TO THE ENVIRONMENT WILL BE HANDLED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY REGULATIONS.

ALL WELLS TO BE DEMOLISHED ON THIS PROJECT. INCLUDING MONITORING WELLS. MUST BE CLOSED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD (VSWCB) REQUIREMENTS. CONTACT ENVIRONMENTAL HEALTH SPECIALIST AND COORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4400 EXT 267/255.

- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE 11. CHAPTER 5. WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS: • MONDAY THROUGH FRIDAY 7 AM TO 6 PM AND
- SATURDAYS FROM 9 AM TO 6 PM. • NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAYS AND HOLIDAYS.
- PILE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS:
- MONDAY THROUGH FRIDAY FROM 9 AM TO 6 PM AND • SATURDAYS FROM 10 TO 4 PM.

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- NO PILE DRIVING ACTIVITIES ARE PERMITTED ON SUNDAYS AND HOLIDAYS.
- EXCAVATION IN THE RIGHT OF WAY IS FURTHER RESTRICTED TO THE FOLLOWING HOURS: • MONDAY THROUGH SATURDAY FROM 7 AM TO 5 PM. • NO EXCAVATION ACTIVITIES ARE PERMITTED ON SUNDAYS.

2025-10005 SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONIN THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR SITE PLAN NO. ____ EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS.

CHAIRMAN, PLANNING COMMISSION DATE RECORDED INSTRUMENT NO. DEED BOOK NO.

DIRECTOR

DESIGN: VMM

CHECKED: ACS

DATE: JAN 2022

SCALE: NO SCALE

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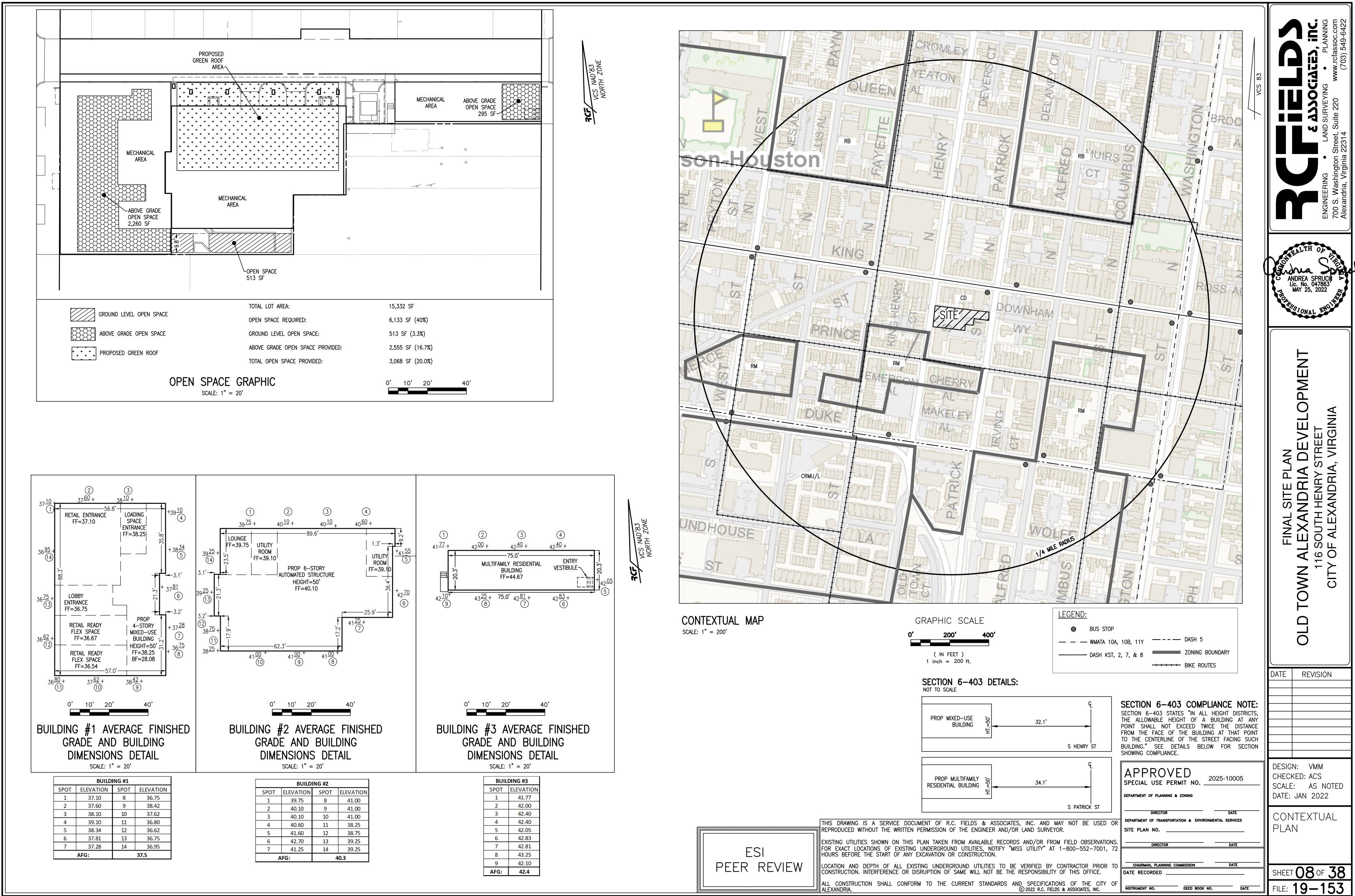
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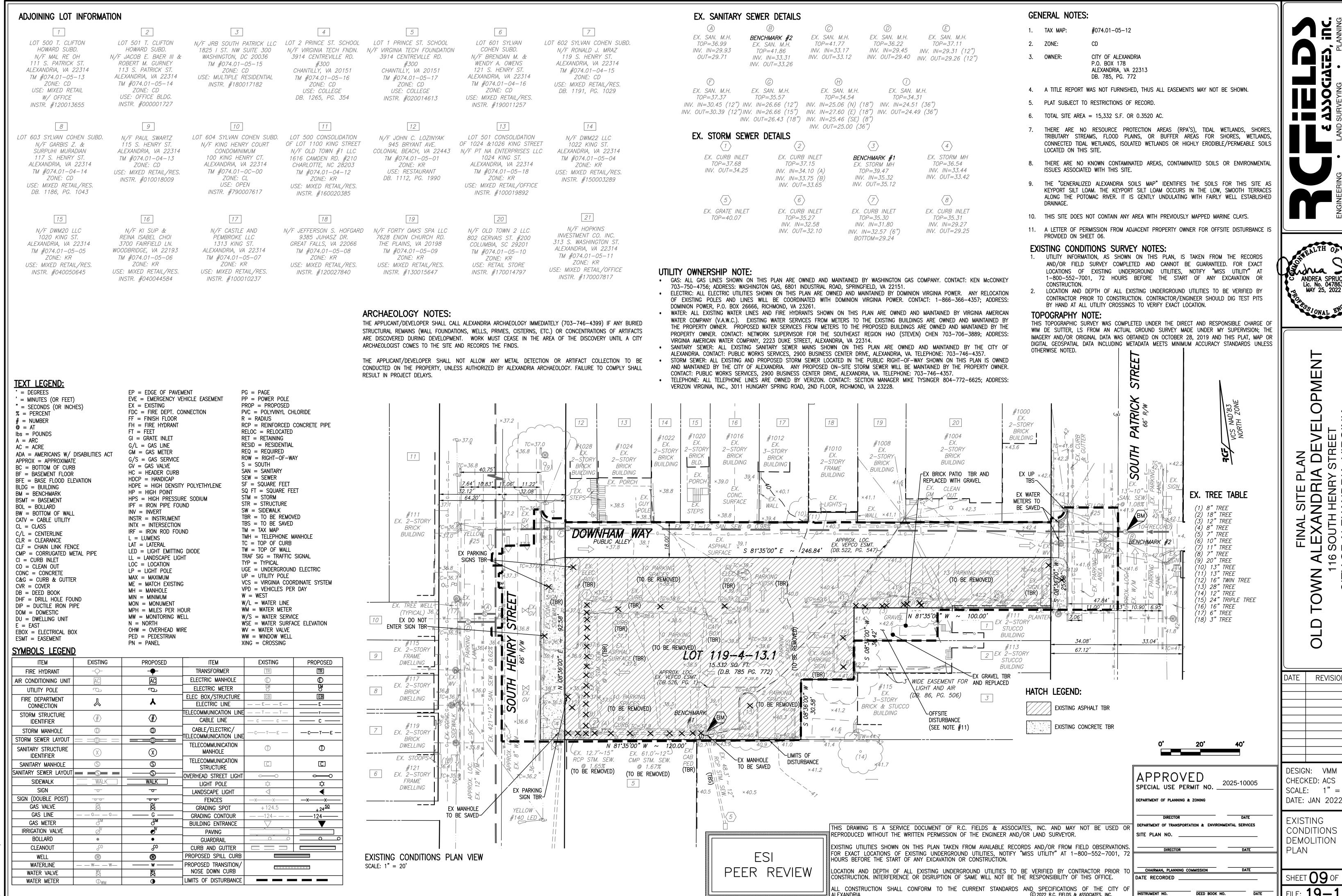
APPLICABLE.

MFFT OR EXCEED EXISTING SECTION.



I:\2019\19153\DWG\DELIV\S Henry Street\07-CONTEXTUAL PLAN.dwG

58



ANDREA SPRUCE

TRE SITE PL NDRIA HENRY & ЩÖĀ 90 CH

REVISION

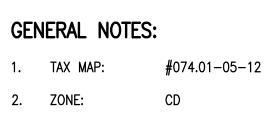
SCALE: 1" = 20'

CONDITIONS AND

SHEET $09\,$ OF $38\,$ FILE: 19-153

FINAL SITE PLAN

FILE: 19-153



OWNER: CITY OF ALEXANDRIA P.O. BOX 178

> ALEXANDRIA, VA 22313 DB. 785, PG. 772

- 4. TOPOGRAPHIC SURVEY WAS RUN BY THIS FIRM. VERTICAL DATUM USED = NAVD '88 PER CITY OF ALEXANDRIA MONUMENT #642 ELEVATION 33.53'.
- 5. TITLE REPORT WAS FURNISHED BY INDEPENDENCE TITLE, CLIENT/CASE# MONUMENT, EFFECTIVE DATE 8/9/2018 AND IS RELIED UPON AS ACCURATE BY THE SURVEYOR.
- 6. PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- 7. TOTAL SITE AREA = 15,332 S.F. OR 0.3520 AC.
- 8. THERE ARE NO RESOURCE PROTECTION AREAS (RPA'S), TIDAL WETLANDS, SHORES, TRIBUTARY STREAMS, FLOOD PLAINS, OR BUFFER AREAS FOR SHORES, WETLANDS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS OR HIGHLY ERODIBLE/PERMEABLE SOILS LOCATED ON THIS SITE.
- 9. THERE ARE NO KNOWN CONTAMINATED AREAS, CONTAMINATED SOILS OR ENVIRONMENTAL ISSUES ASSOCIATED WITH THIS SITE.
- 10. THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE KEYPORT SILT LOAM OCCURS IN THE LOW, SMOOTH TERRACES ALONG THE POTOMAC RIVER. IT IS GENTLY UNDULATING WITH FAIRLY WELL ESTABLISHED DRAINAGE.
- 11. THIS SITE DOES NOT CONTAIN ANY AREAS WITH PREVIOUSLY MAPPED MARINE CLAYS.
- 12. THIS PROJECT IS LOCATED WITHIN THE COMBINED SEWER SHED.
- 13. A LETTER OF PERMISSION FROM ADJACENT PROPERTY OWNER FOR OFFSITE DISTURBANCE IS PROVIDED ON SHEET 06.

REFUSE TRUCK NOTE:

TRASH WILL BE COLLECTED WITHIN EACH BUILDING AND STORED ONSITE. TRASH WILL BE WHEELED OUT TO THE CURB SIDE WITHIN THE PUBLIC ALLEY FOR PICKUP. SEE REFUSE TRUCK TURNING MOVEMENTS ON SHEETS 31 &

ALEXRENEW NOTES:

CONTRACTOR SHALL ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER6, ARTICLE B.

DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. CONTRACTOR IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-721-3500 x2020.

ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

SUMP PUMP NOTE:

BUILDING SUMP PUMPS ARE TO DRAIN TO THE STORM SEWER SYSTEM.

PAVEMENT MARKING NOTE:

EXISTING PAVEMENT STRIPING ALONG S HENRY STREET AND S PATRICK STREET IN FRONT OF THE SITE SHALL BE MAINTAINED AND RESTORED IN KIND AFTER THE PROPOSED UTILITIES ALONG THE RIGHTS-OF-WAY ARE INSTALLED.

MOCK-UP PANEL NOTE:

THE MOCK-UP PANEL FOR THIS PROJECT WILL BE LOCATED ALONG THE EXISTING PARKING LOT AT 916 KING STREET AND IT IS INCLUDED IN PLAN DSP2019-0032. SEE THE EXISTING CONDITIONS SHEET FOR DSP2019-0032 FOR REFERENCE TO THE LOCATION.

PROP CITY STD PUBLIC ALLEY ENTRANCE (CSER-1) (FLUSH CROSSING) PROP NYLOPLAST DRAIN BASIN PROP PROP CITY STD MANHOLE (CSMH-1) W/ DOGHOUSE BASE PROP FREE STANDING FDC SERVICING AUTOMATED	PROP MILL AND OVERLAY ON PUBLIC ALLEY PROP SCORED CONCRETE PAVING- PROP 6" FIRE LINE- PROP 1" DOMESTIC SERVICE LINE & 3/4" WM- PROP BARRACUDA HYDRODYNAMIC BMP- PROP 6" CURB PROP 6" CURB EX. PORC (CSCG-1) (TYP)- PROP 4' PUBLIC ACCESS EASEMENT PROP GAS SERVICE (DESIGN BY OTHERS)- EX. SAN SERVICE (DESIGN	17 18 19	-PROP UNDERGROUND ELEC CONDUIT (DESIGN BY OTHERS) -PROP CITY STD ENTRANCE (CSER-1) (FLUSH CROSSING) -PROP 4' COLORED CITY STD BRICK PAVEMENT (TO BE PRIVATELY MAINTAINED) -PROP GAS SERVICE (DESIGN BY OTHERS) PROP CITY STD ENTRANCE (CSER-1) -PROP BOLLARD (TYP) -PROP SECOND STORY CANTILEVERED GARAGE OVERHANG -PROP CITY STD ENTRANCE (CSER-1) (FLUSH CROSSING) EX. CLEAN-PROP GAS SERVICE OUT (DESIGN BY OTHERS) PROP DOWNSPOUT CONNECTION (TYP)	PROP 6" SAN LAT (TYP) PROP TRASH AND RECYCLING RECEPTACLES PROP MILL AND OVERLAY TO CENTERLINE OF ROAD AND AND AND AND AND AND AND AND AND
PROP FIRE HYDRANT (CSFH—1) PROP FDC SERVICING PROP 2" DOMESTIC SERVICE LINE & 1½" WM PROP PUBLIC BIKE RACK (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP) PROP 6" SAN LAT (TYP)	SIDEWALK (CSSW-1) FF=38.25 LOUNGE UTILITY	STM	PROP 5' PRIVATE MULTIFAMILY STORM RESIDENTIAL PROP DECK 4280 4280 4280 4280 4280 4280 4280 4280 637 638 638 638 638 638 638 638	PROP CITY STD PUBLIC ALLEY ENTRANCE (CSER-1) (FLUSH CROSSING) PROP FDC SERVING MULTIFAMILY BUILDING CITY BLUE "P" PUBLIC PARKING SIGN 8' PROP CONCRETE SIDEWALK (CSSW-1) PROP FIRE HYDRANT (CSFH-1) PROP 1½" DOMESTIC SERVICE LINE & 1" WM 34.08' 33.04' 67.12'
PROP MILL AND OVERLAY TO CENTERLINE OF ROAD EX. STOOPS TREE WELL (TYP) PROP SITE LIGHT (TYP) PROP STREET LIGHT (TYP) PROP CURB & GUTTER (CSCG-1) (TYP) PLAN VIEW	RETAIL READY FLEX SPACE FF=36.54 PROP PRIVATE STORM SEWER CONNECTION TO INTERNAL BUILDING SYSTEM (DESIGN BY OTHERS) PROP PRIVATE STORM SEWER DISCHARGE CONNECTION TO EX MANHOLE (DESIGN BY OTHERS) PROP 2 (QTY) 4" CONDUITS WITH PULL WIRES PROP JUNCTION BOX (TYP)	PROP 12"X12" STD GRATE INLET PROP RET WALL MAX HT=3.75' EX MANHOLE TO REMAIN EX GRATE INLET	F DISTURBANCE SEE GRADE DETAIL "B" ON SHEET 11	PROP PUBLIC BIKE RACK (TYP)
SCALE: 1" = 20' LEGEND	<u>TEXT LEGEND:</u> • = DEGREES	FP = FDGF OF PAVEMENT PG = PAGE		

SYMBOLS LEGEND EXISTING PROPOSED EXISTING ITEM PROPOSED TRANSFORMER TR FIRE HYDRANT -Q-**—** ELECTRIC MANHOLE AIR CONDITIONING UNIT ELECTRIC METER UTILITY POLE 0 ф LEC BOX/STRUCTURE FIRE DEPARTMENT ELECTRIC LINE - - E-- - E--— Е — CONNECTION LECOMMUNICATION LINE $-\mathsf{T}--\mathsf{T}-$ —_т— STORM STRUCTURE $\langle \# \rangle$ CABLE LINE – c —— c — — с — IDENTIFIER CABLE/ELECTRIC/ STORM MANHOLE \bigcirc —c—т—е ECOMMUNICATION LINE STORM SEWER LAYOUT TELECOMMUNICATION \bigcirc SANITARY STRUCTURE (X)MANHOLE IDENTIFIER **TELECOMMUNICATION** C (S)S SANITARY MANHOLE STRUCTURE SANITARY SEWER LAYOUT — S— — OVERHEAD STREET LIGH \sim \bigcirc SIDEWALK WALK LIGHT POLE α SIGN 0 0 LANDSCAPE LIGHT € SIGN (DOUBLE POST 00 00 FENCES —x——x— —X———X— GAS VALVE GRADING SPOT GAS LINE — G— — G— —— G —— GRADING CONTOUR -----124---GAS METER BUILDING ENTRANCE IRRIGATION VALVE PAVING _____ BOLLARD GUARDRAIL CLEANOUT CURB AND GUTTER CVR = COVERPROPOSED SPILL CURB DB = DEED BOOKWELL DHF = DRILL HOLE FOUND PROPOSED TRANSITION/ WATERLINE __ W___ W___ ____ w _ DIP = DUCTILE IRON PIPE NOSE DOWN CURB WATER VALVE DOM = DOMESTIC

LIMITS OF DISTURBANCE

• = DEGREES EP = EDGE OF PAVEMENT EVE = EMERGENCY VEHICLE EASEMENT ' = MINUTES (OR FEET) EX = EXISTING" = SECONDS (OR INCHES) FDC = FIRE DEPT. CONNECTION % = PERCENTFF = FINISH FLOOR# = NUMBERFH = FIRE HYDRANT $\mathbf{O} = \mathsf{AT}$ FT = FEETlbs = POUNDSGI = GRATE INLETA = ARCG/L = GAS LINEAC = ACREGM = GAS METERADA = AMERICANS W/ DISABILITIES ACT G/S = GAS SERVICEAPPROX = APPROXIMATE $\overrightarrow{GV} = GAS VALVE$ BC = BOTTOM OF CURBHC = HEADER CURBBF = BASEMENT FLOORHDCP = HANDICAPBFE = BASE FLOOD ELEVATION HDPE = HIGH DENSITY POLYETHYLENE BLDG = BUILDINGHP = HIGH POINTBM = BENCHMARKHPS = HIGH PRESSURE SODIUM BSMT = BASEMENTIPF = IRON PIPE FOUND BOL = BOLLARDINV = INVERTBW = BOTTOM OF WALLINSTR = INSTRUMENT CATV = CABLE UTILITYINTX = INTERSECTION CL = CLASSIRF = IRON ROD FOUND C/L = CENTERLINEL = LUMENSCLR = CLEARANCELAT = LATERALCLF = CHAIN LINK FENCELED = LIGHT EMITTING DIODE CMP = CORRUGATED METAL PIPE LL = LANDSCAPE LIGHT CI = CURB INLETLOC = LOCATIONCO = CLEAN OUTLP = LIGHT POLE CONC = CONCRETEMAX = MAXIMUMC&G = CURB & GUTTERME = MATCH EXISTING

DU = DWELLING UNIT

ESMT = EASEMENT

EBOX = ELECTRICAL BOX

E = EAST

MH = MANHOLE

MIN = MINIMUM

N = NORTH

PN = PANEL

MON = MONUMENT

PED = PEDESTRIAN

MPH = MILES PER HOUR

MW = MONITORING WELL

OHW = OVERHEAD WIRE

D0 D105
PG = PAGE
PP = POWER POLE PROP = PROPOSED
PVC = POLYVINYL CHLORIDE
R = RADIUS
RCP = REINFORCED CONCRETE PIPE
RELOC = RELOCATED
RET = RETAINING
RESID = RESIDENTIAL
REQ = REQUIRED
ROW = RIGHT-OF-WAY
S = SOUTH
SAN = SANITARY
SEW = SEWER
SF = SQUARE FEET
SQ FT = SQUARE FEET
STM = STORM
STR = STRUCTURE SW = SIDEWALK
TBR = TO BE REMOVED
TBS = TO BE SAVED
TM = TAX MAP
TMH = TELEPHONE MANHOLE
TC = TOP OF CURB
TW = TOP OF WALL
TRAF SIG = TRAFFIC SIGNAL
TYP = TYPICAL
UGE = UNDERGROUND ELECTRIC
UP = UTILITY POLE
VCS = VIRGINIA COORDINATE SYSTEM

VPD = VEHICLES PER DAY

W = WEST

W/L = WATER LINE

WM = WATER METER

WV = WATER VALVE

WW = WINDOW WELL

XING = CROSSING

W/S = WATER SERVICE

WSE = WATER SURFACE ELEVATION

HATCH LEGEND SCORED CONCRETE CITY STANDARD BRICK **PAVING** CONCRETE PAVING UNIT PAVERS ASPHALT MILL AND OVERLAY

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LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

SITE PLAN NO. _____ DIRECTOR CHAIRMAN, PLANNING COMMISSION DATE RECORDED ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

DEED BOOK NO.

2025-10005

APPROVED

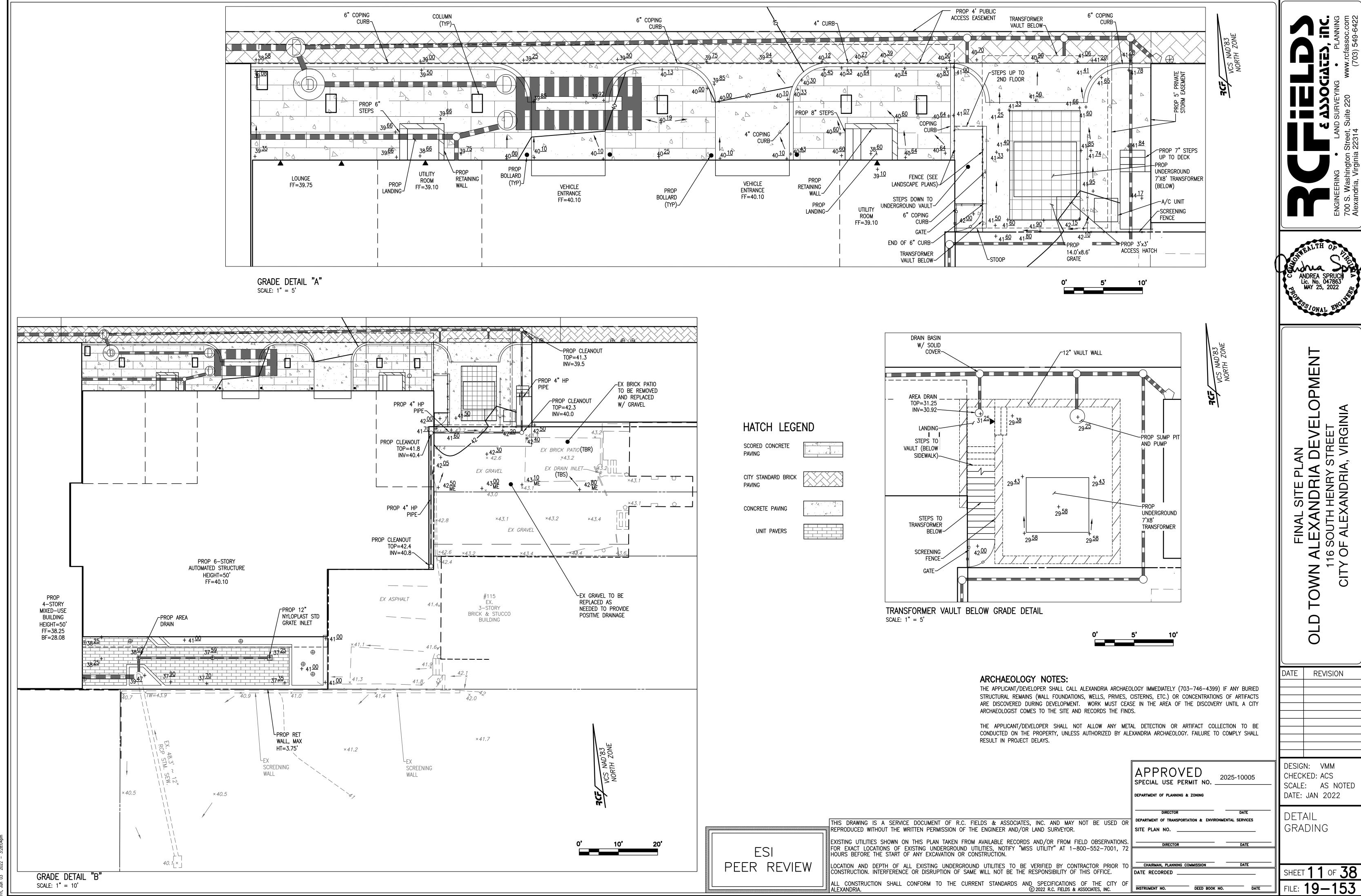
DEPARTMENT OF PLANNING & ZONING

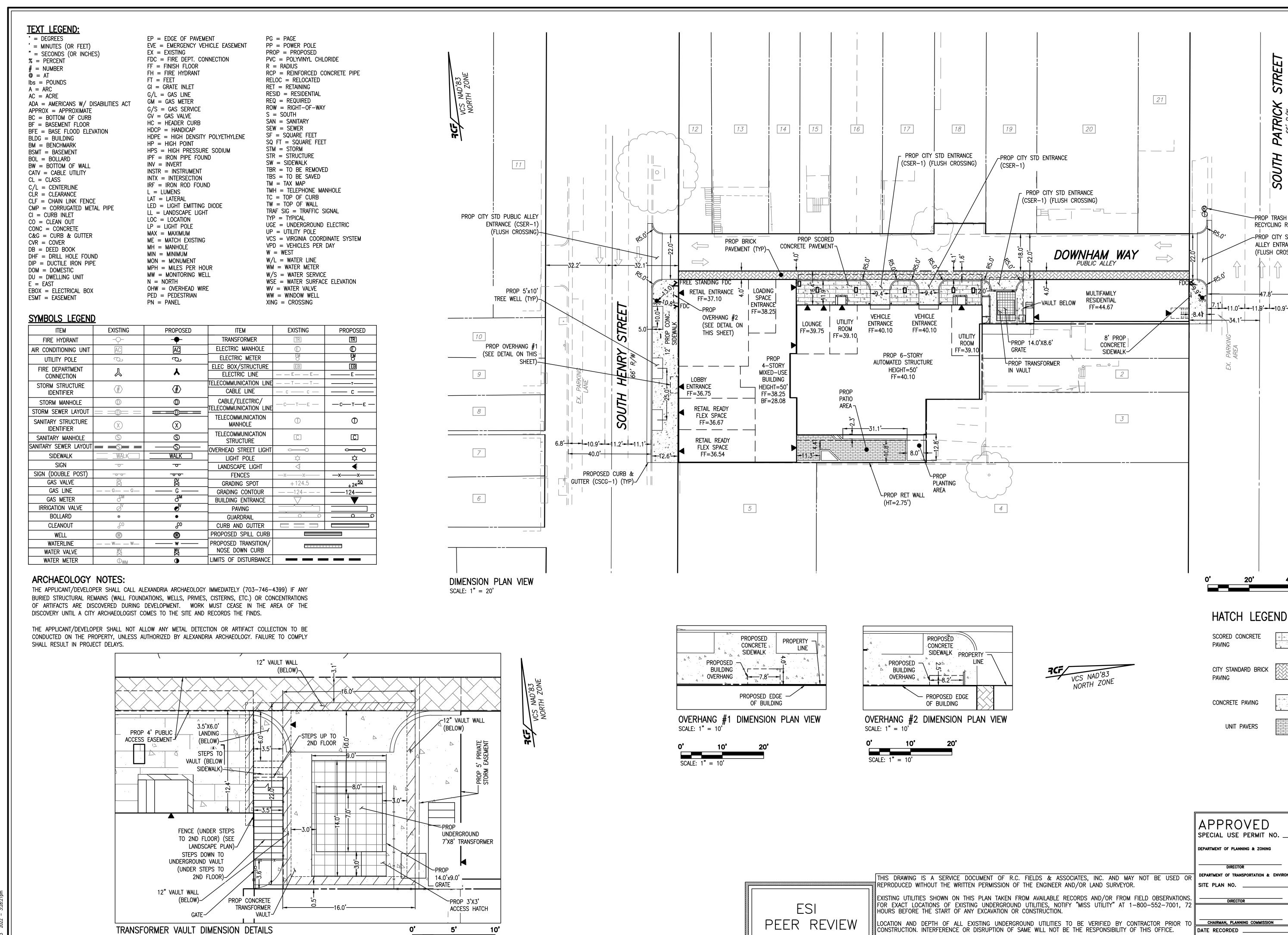
INSTRUMENT NO.

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SPECIAL USE PERMIT NO.

WATER METER





S

PATRICK 66' R/W

Sou

-PROP TRASH AND

(FLUSH CROSSING)

RECYCLING RECEPTACLES

-PROP CITY STD PUBLIC

ALLEY ENTRANCE (CSER-1)

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SITE PL NDRIA HENRY (XANDRIA

9

REVISION

DESIGN: VMM

CHECKED: ACS

DATE: JAN 2022

DIMENSIONS

SITE

DEED BOOK NO.

SCALE: AS NOTED

SCALE: 1" = 5'

SCALE: 1" = 5

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

© 2022 R.C. FIELDS & ASSOCIATES, INC.

TEXT LEGEND:

• = DEGREES ' = MINUTES (OR FEET) " = SECONDS (OR INCHES) % = PERCENT # = NUMBER"

O = AT

lbs = POUNDS A = ARCAC = ACREADA = AMERICANS W/ DISABILITIES ACT

APPROX = APPROXIMATEBC = BOTTOM OF CURB BF = BASEMENT FLOORBFE = BASE FLOOD ELEVATION BLDG = BUILDING

BM = BENCHMARKBSMT = BASEMENT BOL = BOLLARDBW = BOTTOM OF WALLCATV = CABLE UTILITY CL = CLASSC/L = CENTERLINE

CLR = CLEARANCECLF = CHAIN LINK FENCE CMP = CORRUGATED METAL PIPE CI = CURB INLETCO = CLEAN OUTCONC = CONCRETEC&G = CURB & GUTTER CVR = COVERDB = DEED BOOK

DHF = DRILL HOLE FOUND DIP = DUCTILE IRON PIPE DOM = DOMESTICDU = DWELLING UNIT E = EAST

MIN = MINIMUMMON = MONUMENTMPH = MILES PER HOUR MW = MONITORING WELL N = NORTHOHW = OVERHEAD WIRE EBOX = ELECTRICAL BOXPED = PEDESTRIANESMT = EASEMENTPN = PANEL

PG = PAGEEP = EDGE OF PAVEMENTEVE = EMERGENCY VEHICLE EASEMENT PP = POWER POLE PROP = PROPOSEDEX = EXISTINGPVC = POLYVINYL CHLORIDE FDC = FIRE DEPT. CONNECTION FF = FINISH FLOORR = RADIUSRCP = REINFORCED CONCRETE PIPE FH = FIRE HYDRANTFT = FEETRELOC = RELOCATEDRET = RETAININGGI = GRATE INLETRESID = RESIDENTIALG/L = GAS LINEREQ = REQUIREDGM = GAS METERROW = RIGHT-OF-WAYG/S = GAS SERVICES = SOUTH $\dot{GV} = GAS VALVE$ SAN = SANITARYHC = HEADER CURB SEW = SEWERHDCP = HANDICAPSF = SQUARE FEETHDPE = HIGH DENSITY POLYETHYLENE HP = HIGH POINT

HPS = HIGH PRESSURE SODIUM

IPF = IRON PIPE FOUND

INSTR = INSTRUMENT

INTX = INTERSECTION

IRF = IRON ROD FOUND

LL = LANDSCAPE LIGHT

ME = MATCH EXISTING

LED = LIGHT EMITTING DIODE

INV = INVERT

L = LUMENS

LAT = LATERAL

LOC = LOCATION

LP = LIGHT POLE

MAX = MAXIMUM

MH = MANHOLE

SQ FT = SQUARE FEETSTM = STORMSTR = STRUCTURE SW = SIDEWALKTBR = TO BE REMOVEDTBS = TO BE SAVED

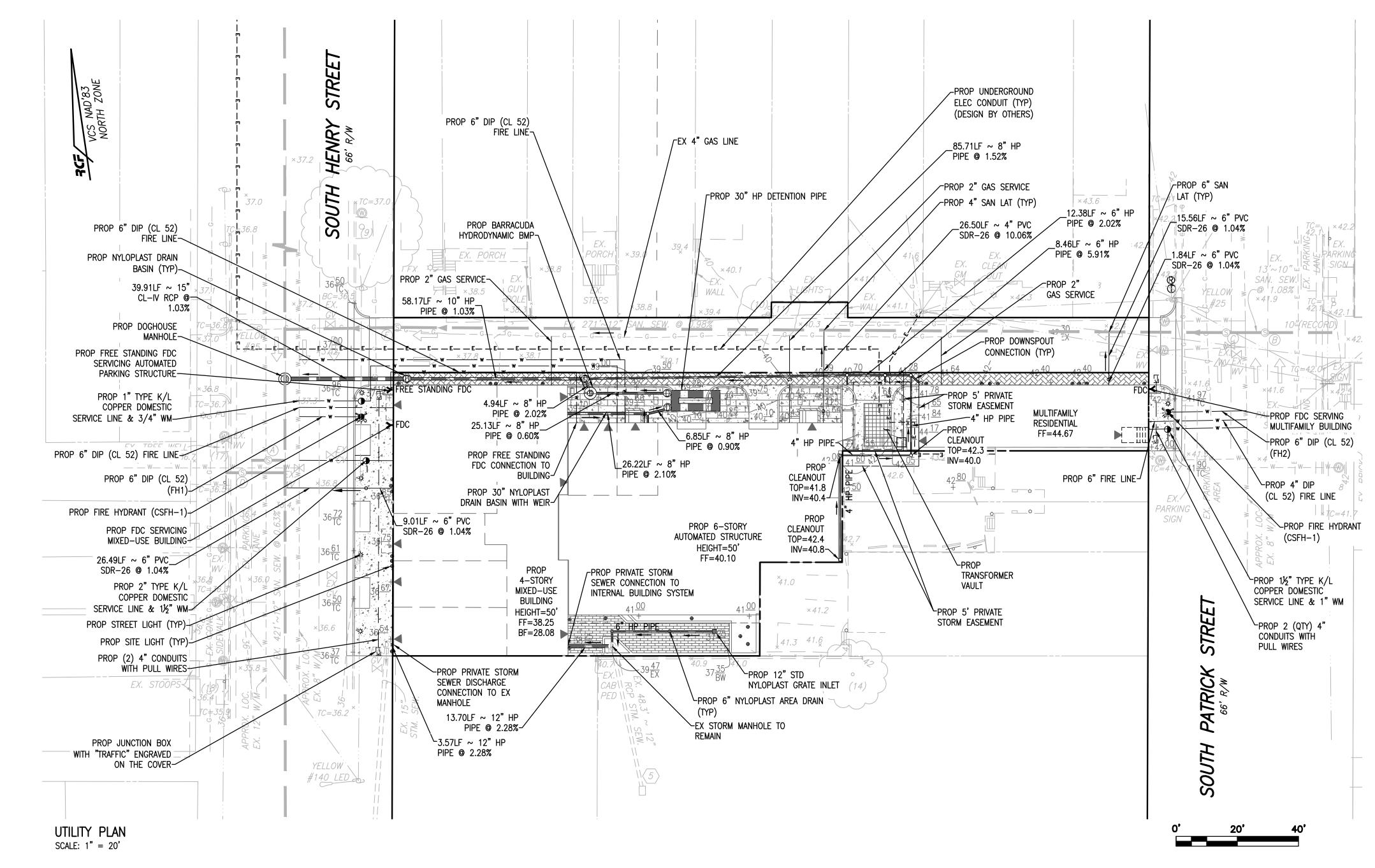
TM = TAX MAPTMH = TELEPHONE MANHOLE TC = TOP OF CURB TW = TOP OF WALLTRAF SIG = TRAFFIC SIGNALTYP = TYPICALUGE = UNDERGROUND ELECTRIC UP = UTILITY POLE

VCS = VIRGINIA COORDINATE SYSTEM VPD = VEHICLES PER DAY W = WESTW/L = WATER LINEWM = WATER METERW/S = WATER SERVICEWSE = WATER SURFACE ELEVATION

WV = WATER VALVEWW = WINDOW WELL XING = CROSSING

SYMBOLS LEGEND

ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
FIRE HYDRANT	- \range -	-	TRANSFORMER	TR	TR
AIR CONDITIONING UNIT	AC	AC	ELECTRIC MANHOLE	(E)	Ð
UTILITY POLE	9	ll θ	ELECTRIC METER	EM	EM
FIRE DEPARTMENT	П	1	ELEC BOX/STRUCTURE	EB	EB
CONNECTION		*	ELECTRIC LINE	— E— E—	——Е——
STORM STRUCTURE		/11\	TELECOMMUNICATION LINE	TT_	——т——
IDENTIFIER	#	#	CABLE LINE	— c — c —	c
STORM MANHOLE			CABLE/ELECTRIC/	— C— T— E —	— c— т— E —
STORM SEWER LAYOUT			TELECOMMUNICATION LINE		
SANITARY STRUCTURE	(>	_	TELECOMMUNICATION MANHOLE	\bigcirc	Ф
IDENTIFIER	(X)	\otimes			
SANITARY MANHOLE	S	0	TELECOMMUNICATION STRUCTURE	C	C
SANITARY SEWER LAYOUT	_ _ S _ _	S	OVERHEAD STREET LIGHT	·	
SIDEWALK	<u>WA</u> LK	WALK	LIGHT POLE	\$	\$
SIGN	0	 	LANDSCAPE LIGHT	4	€
SIGN (DOUBLE POST)	00	00	FENCES	—X——X——	xx
GAS VALVE	G₹	eX	GRADING SPOT	+124.5	+ 24 ⁵⁰
GAS LINE	— G— G—	—— G ——	GRADING CONTOUR	<u> </u>	124
GAS METER	GM O	GM ON	BUILDING ENTRANCE	∇	lacktriangledown
IRRIGATION VALVE	\otimes^{IV}	€ ^V	PAVING		
BOLLARD	•	•	GUARDRAIL	00	
CLEANOUT	°C0	ço	CURB AND GUTTER		
WELL			PROPOSED SPILL CURB		
WATERLINE	W W	w	PROPOSED TRANSITION/		* * * * *
WATER VALVE	X	¥X	NOSE DOWN CURB		
WATER METER	\bigcirc_{WM}	•	LIMITS OF DISTURBANCE		



ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT/DEVELOPER SHALL NOT ALLOW ANY METAL DETECTION OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAYS.

> APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR. SITE PLAN NO. ____ EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTÍLITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. CHAIRMAN, PLANNING COMMISSION LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. DATE RECORDED ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DEED BOOK NO. © 2022 R.C. FIELDS & ASSOCIATES, INC.

PEER REVIEW

CHECKED: ACS SCALE: 1" = 20'DATE: JAN 2022 UTILITY PLAN

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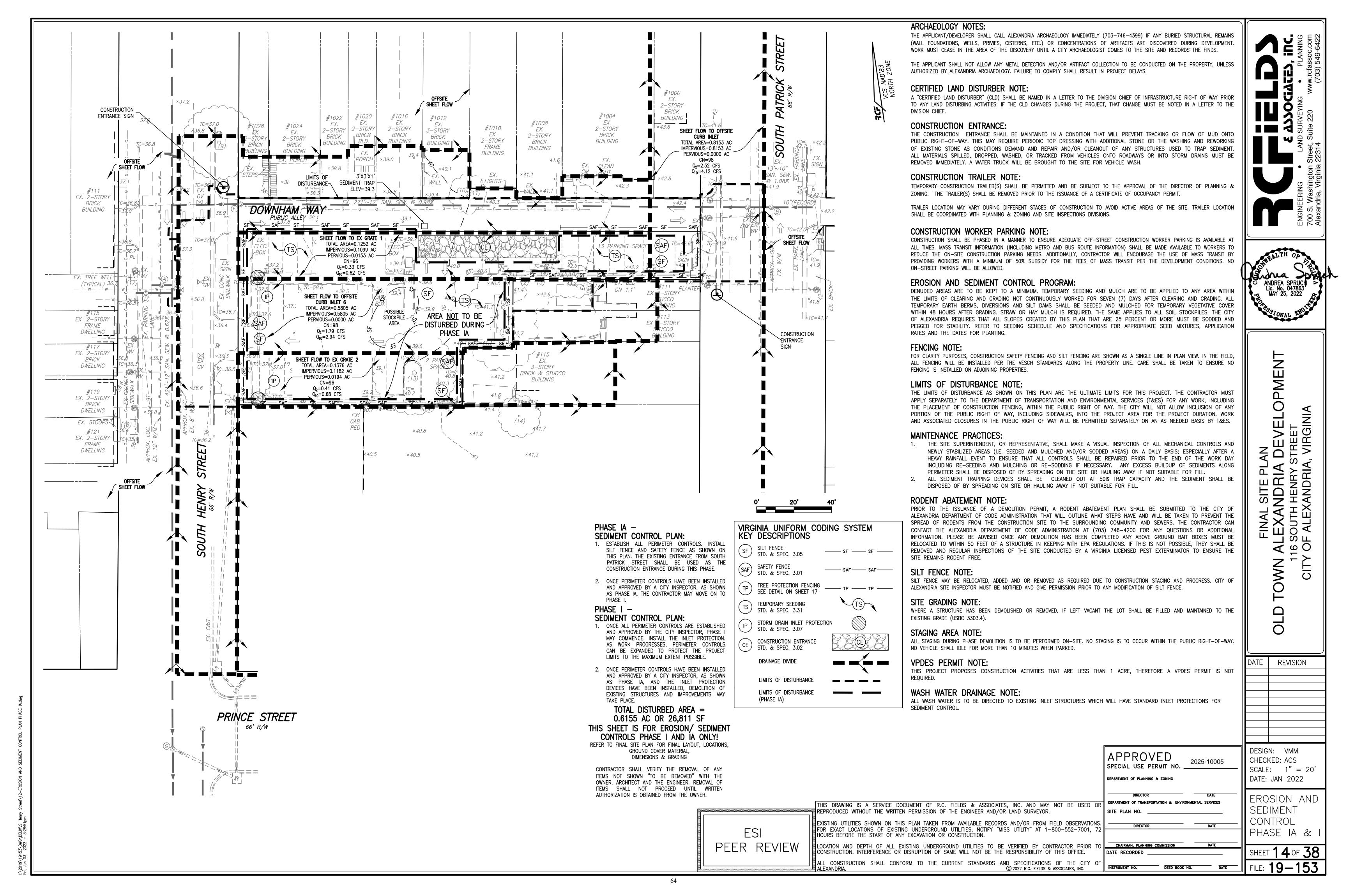
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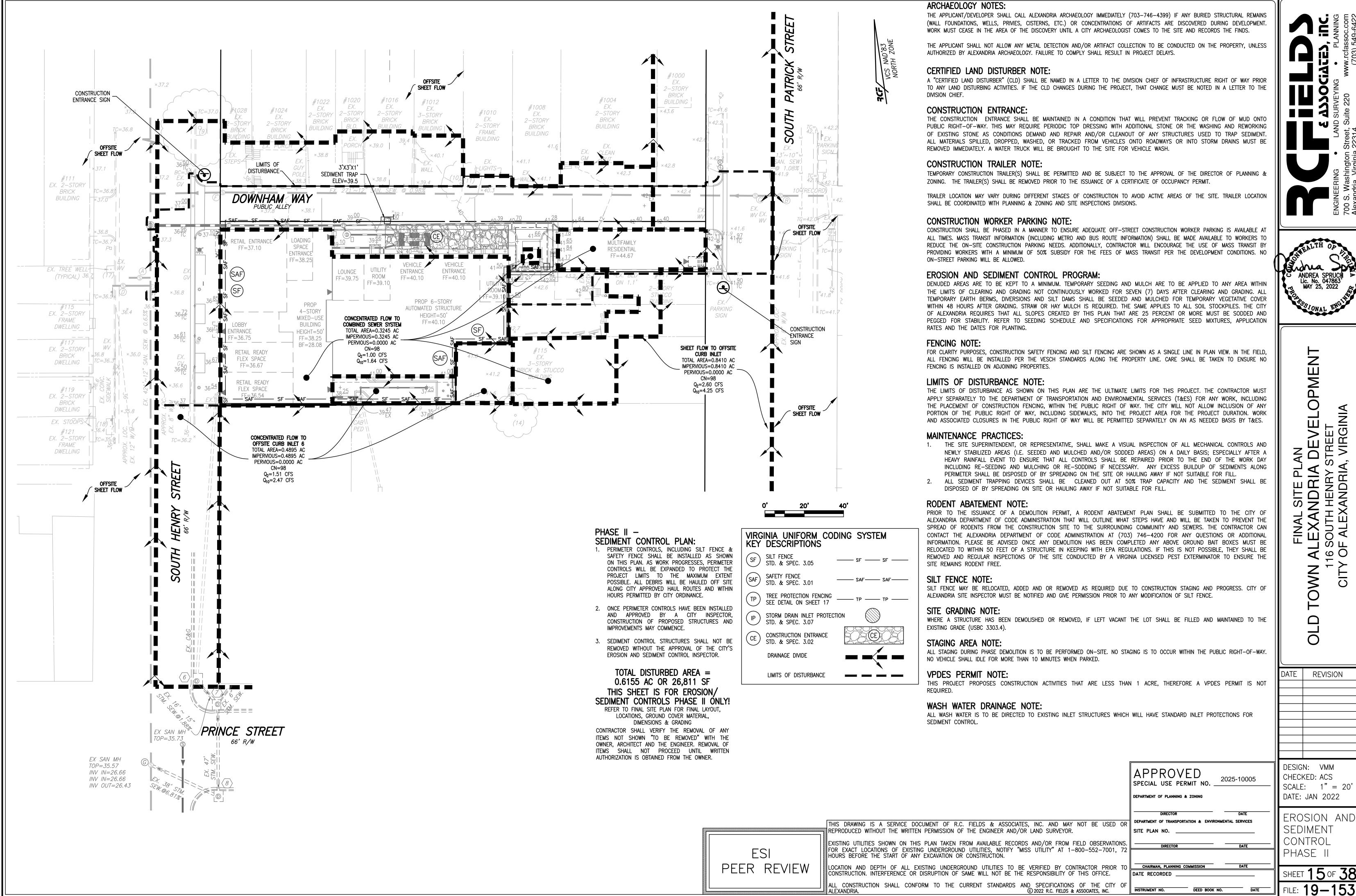
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- 2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS \$4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
- 3. T&ES MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENTS OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- 4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND BEFORE ANY CLEARING OR GRADING CAN BEGIN.
- 5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- 6. PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING. BUT NOT LIMITED TO. OFF-SITE BORROW OR WASTE AREAS). THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE CITY OF ALEXANDRIA.
- 7. ALL DISTURBED AREAS OF THE SITE THAT ARE NOT TO BE WORKED FOR SEVEN OR MORE CALENDAR DAYS MUST BE STABILIZED.
- 8. ALL TEMPORARY EARTH BERMS. DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED AS SOON AS POSSIBLE BUT NO LATER THAN 48 HOURS AFTER
- 9. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- 10. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED THROUGH AN APPROVED FILTERING DEVICE.
- 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- 12. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL NOT BE WORKED FOR SEVEN OR MORE CALENDAR DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- 13. ANY STOCKPILED MATERIAL WHICH WILL REMAIN IN PLACE LONGER THAN 10 DAYS IS TO BE SEEDED FOR TEMPORARY VEGETATION AND MULCHED WITH STRAW MULCH OR OTHERWISE STABILIZED. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES MUST BE EMPLOYED FOR STOCKPILE AREAS. NO CONTAMINATED MATERIALS WILL BE STOCKPILED FOR THIS SITE.
- 14. ANY DENUDED SLOPES, EITHER DISTURBED OR CREATED BY THIS PLAN THAT EXCEED 25% ARE TO BE SODDED AND PEGGED FOR STABILITY AND EROSION CONTROL.
- 15. TO THE EXTENT POSSIBLE ALL TREE PROTECTION SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE(S).
- 16. AT THE COMPLETION OF THE PROJECT AND PRIOR TO THE RELEASE OF THE BOND ALL DISTURBED AREAS SHALL BE STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE REMOVED.
- 17. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
- 18. ALL EXCAVATED MATERIAL TO BE REPLACED INTO THE TRENCH SHALL BE STOCKPILED ON THE HIGH SIDE OF
- 19. IF ANY TRENCH WORK WILL REMAIN OPEN AFTER THE END OF THE WORKDAY ALL NEEDED EROSION AND SEDIMENT CONTROLS SHALL BE EMPLOYED.
- 20. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- 21. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AND AS DETERMINED BY THE CITY OF

PERIMETER SILT FENCE NOTE:

MAXIMUM ALLOWABLE DRAINAGE AREA UPSTREAM OF THE SILT FENCE IS 0.25 ACRES PER 100 L.F. OF FENCE.

DRAINAGE AREA TO SILT FENCE = 0.46 AC. TOTAL. LINEAR FEET OF PERIMETER SILT FENCE = 600 FEET

MAXIMUM ALLOWABLE AREA FOR 600 FT. OF SILT FENCE= (600/100) X 0.25 = 1.50 ACRES

ACTUAL DRAIN AREA OF 0.46 ACRES IS LESS THAN 1.50 ACRES ALLOWABLE. SILT FENCE IS ADEQUATE FOR THIS APPLICATION

LAND DISTURBANCE NOTE:

ALL PROTECTION AND PRESERVATION MEASURES FOR EXISTING VEGETATION INCLUDING MAINTENANCE SHALL BE APPROVED BY THE CITY ARBORIST IN-FIELD PRIOR TO COMMENCEMENT OF ANY SITE DISTURBING ACTIVITY.

CERTIFIED LAND DISTURBER NOTE:

A "CERTIFIED LAND DISTURBER" (CLD) SHALL BE NAMED IN A LETTER TO THE DIVISION CHIEF OF INFRASTRUCTURE RIGHT OF WAY PRIOR TO ANY LAND DISTURBING ACTIVITIES. IF THE CLD CHANGES DURING THE PROJECT, THAT CHANGE MUST BE NOTED IN A LETTER TO THE DIVISION CHIEF.

VPDES PERMIT NOTE:

IS NOT REQUIRED.

THIS PROJECT PROPOSES CONSTRUCTION ACTIVITIES THAT ARE LESS THAN 1 ACRE, THEREFORE A VPDES PERMIT

ADDITIONAL E&S MEASURES NOTE:

ADDITIONAL EROSION & SEDIMENT CONTROLS SHALL BE INSTALLED IF DIRECTED BY THE T&ES INSPECTOR.

ALEXRENEW NOTES:

ARTICLE B.

- A. ENSURE ALL DISCHARGES ARE IN ACCORDANCE WITH CITY OF ALEXANDRIA CODE TITLE 5, CHAPTER 6,
- B. DEWATERING AND OTHER CONSTRUCTION RELATED DISCHARGE LIMITS TO THE SEWER SYSTEM ARE REGULATED BY ALEXRENEW PRETREATMENT. ENGINEER/OWNER IS REQUIRED TO CONTACT ALEXRENEW'S PRETREATMENT COORDINATOR AT 703-549-3381 EXT. 202.

EROSION & SEDIMENT CONTROL NARRATIVE:

PROJECT DESCRIPTION: THIS PROJECT PROPOSES A MIXED-USE RETAIL/RESIDENTIAL BUILDING, AUTOMATED PARKING STRUCTURE, MULTIFAMILY RESIDENTIAL BUILDING, AND ASSOCIATED SITE IMPROVEMENTS.

THIS SITE IS CURRENTLY OCCUPIED BY A CITY OF ALEXANDRIA OWNED PARKING LOT. EXISTING IMPROVEMENTS, AS INDICATED ON THE EROSION & SEDIMENT CONTROL PLAN AND DEMOLITION PLAN, ARE TO BE REMOVED.

ADJACENT PROPERTIES:

THIS PROPERTY IS BOUNDED TO THE NORTH BY DOWNHAM WAY, A PUBLIC ALLEY, TO THE EAST BY SOUTH PATRICK STREET. A 66' RIGHT-OF-WAY. TO THE SOUTH BY COMMERCIAL AND RESIDENTIAL LOTS. AND TO THE WEST BY SOUTH HENRY STREET, A 66' RIGHT-OF-WAY.

CRITICAL AREAS INCLUDE AREAS AROUND THE LIMITS OF DISTURBANCE. SPECIAL CARE SHALL BE TAKEN TO ENSURE NO DISTURBANCE OCCURS OUTSIDE THE SPECIFIED LIMITS OF DISTURBANCE.

THE "GENERALIZED ALEXANDRIA SOILS MAP" IDENTIFIES THE SOILS FOR THIS SITE AS KEYPORT SILT LOAM. THE KEYPORT SILT LOAM OCCURS IN THE LOW, SMOOTH TERRACES ALONG THE POTOMAC RIVER. IT IS GENTLY UNDULATING WITH FAIRLY WELL ESTABLISHED DRAINAGE.

STORMWATER RUNOFF CONSIDERATIONS: (BMP STRATEGIES)

PERIMETER BMP STRATEGIES WILL INCLUDE INLET PROTECTION, SILT FENCE, SAFETY FENCE, AND A CONSTRUCTION ENTRANCE. THE PROPOSED DEVELOPMENT WILL HONOR ALL NATURAL DRAINAGE DIVIDES. SURFACE RUNOFF FROM THE SITE WILL SHEETFLOW THE EXISTING CITY OF ALEXANDRIA STORM SEWER SYSTEM OR BE COLLECTED BY ONSITE AREA DRAINS. ULTIMATELY. ALL RUNOFF FROM THE SITE WILL BE DIRECTED TO THE CITY MAINTAINED COMBINED STORM SEWER

- 1. THE SITE SUPERINTENDENT, OR REPRESENTATIVE, SHALL MAKE A VISUAL INSPECTION OF ALL MECHANICAL CONTROLS AND NEWLY STABILIZED AREAS (I.E. SEEDED AND MULCHED AND/OR SODDED AREAS) ON A DAILY BASIS; ESPECIALLY AFTER A HEAVY RAINFALL EVENT TO ENSURE THAT ALL CONTROLS SHALL BE REPAIRED PRIOR TO THE END OF THE WORK DAY INCLUDING RE-SEEDING AND MULCHING OR RE-SODDING IF NECESSARY. ANY EXCESS BUILDUP OF SEDIMENTS ALONG THE PERIMETER SHALL BE DISPOSED OF BY SPREADING ON THE SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL.
- 2. ALL SEDIMENT TRAPPING DEVICES SHALL BE CLEANED OUT AT 50% TRAP CAPACITY AND THE SEDIMENT SHALL BE DISPOSED OF BY SPREADING ON SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL. MAJORITY OF MATERIAL WILL BE HAULED FROM SITE.

THIS PROJECT WILL FOLLOW A SIMPLE, TWO-PHASE EROSION AND SEDIMENT CONTROL PLAN. THE EROSION & SEDIMENT CONTROLS SHALL BE PHASED ACCORDING TO THE PHASE IA, PHASE I, AND II EROSION AND SEDIMENT CONTROL SHEETS AND NARRATIVES INCLUDED IN THIS PLAN. PERIMETER CONTROLS SHALL BE INSTALLED AS REQUIRED PER PHASE IA. PHASE I CONTROLS ARE TO BE INSTALLED ONCE ALL PHASE IA PERIMETER CONTROLS HAVE BEEN INSTALLED. PHASE II CONTROLS ARE TO BE INSTALLED AS THE SITE WORK PROGRESSES AND AREAS BECOME NEAR FINISHED CONDITION BUT PRIOR TO SITE STABILIZATION.

ANY EXCAVATED MATERIAL THAT IS NOT TO BE REUSED AS BACKFILL AND CANNOT BE STORED ON-SITE MUST BE HAULED OFF ALONG CITY APPROVED HAUL ROUTES. ANY ADDITIONAL MATERIAL REQUIRED WILL BE BROUGHT TO THE SITE UTILIZING THE SAME HAUL ROUTES.

CONTAMINATED SOILS:

THIS SITE IS NOT KNOWN TO CONTAIN CONTAMINATED AREAS, CONTAMINATED SOILS, AND ENVIRONMENTAL ISSUES SHOULD ANY UNANTICIPATED CONTAMINATION, UNDERGROUND STORAGE TANKS, DRUMS OR CONTAINERS BE ENCOUNTERED AT THE SITE DURING CONSTRUCTION, THE APPLICANT MUST IMMEDIATELY NOTIFY THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, OFFICE OF ENVIRONMENTAL QUALITY. SHOULD UNANTICIPATED CONDITIONS WARRANT, CONSTRUCTION WITHIN THE IMPACTED AREA SHALL BE STOPPED UNTIL THE APPROPRIATE ENVIRONMENTAL REPORTS ARE SUBMITTED AND APPROVED AT THE DISCRETION OF THE DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.

OFF-SITE WORK FOR THIS SITE INCLUDES THE GRADING AROUND ADJACENT PROPERTIES THAT IS TO BE ALLOWED BY EACH AFFECTED PROPERTY OWNER; THE CONNECTION OF PROPOSED UTILITIES, INSTALLATION OF SITE ENTRANCES, AND IMPROVEMENTS ALONG THE SOUTH PATRICK AND SOUTH HENRY STREET RIGHT-OF-WAYS.

EROSION & SEDIMENT CONTROL MEASURES:

DENUDED AREAS ARE TO BE KEPT TO A MINIMUM. TEMPORARY SEEDING AND MULCHING ARE TO BE APPLIED TO ANY AREAS NOT CONTINUOUSLY WORKED FOR 7 DAYS AFTER CLEARING AND ROUGH GRADING. ALL E/S MEASURES AND CONTROLS ARE TO CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK AND THE CITY OF ALEXANDRIA. AN INSPECTION BY THE CITY OF ALEXANDRIA IS REQUIRED AFTER INITIAL INSTALLATION OF EROSION/SEDIMENT CONTROL MEASURES. REFER TO INDIVIDUAL EROSION AND SEDIMENT CONTROL SHEETS FOR DETAIL ON CONTROL MEASURES. THE DEMOLITION SHALL UTILIZE THE EXISTING ENTRANCE AS A CONSTRUCTION ENTRANCE. ONCE THE ASPHALT SURFACE IS REMOVED A STANDARD CONSTRUCTION ENTRANCE (WITH WASH RACKS IF NECESSARY) SHALL BE INSTALLED.

PERMANENT STABILIZATION:

THE AREAS OF THIS SITE NOT COVERED BY THE PROPOSED HOUSES, WALKS, DRIVEWAYS, OR EXTENSION OF GOODWIN LANE WILL BE STABILIZED WITH GRASS. GRASS AREAS WILL BE TREATED WITH SOD OR OTHER FORMS OF STABILIZATION. PLANTING AREAS SHALL BE MULCHED OR PLANTED WITH GROUNDCOVER AS PER THE LANDSCAPING DESIGN PLANS. NO AREAS AFFECTED BY THIS PLAN SHALL BE LEFT IN A DENUDED CONDITION AT THE COMPLETION OF CONSTRUCTION

PUBLICLY OWNED TREATMENT WORKS (POTW) NOTE:

SANITARY FLOW FROM THE PROPOSED DEVELOPMENT WILL DRÁIN TO THE EXISTING PUBLIC SANITARY SEWER MAIN, THEREFORE A POTW PERMIT IS NOT REQUIRED.

> TOTAL DISTURBED AREA = 0.62 AC OR 26.811 SF

SEQUENCE OF CONSTRUCTION NOTES:

- PRE-CONSTRUCTION: OBTAIN ALL REQUIRED DEMOLITION, BUILDING AND CONSTRUCTION PERMITS.
- DEVELOP SITE UTILIZATION PLAN. OBTAIN APPROVAL OF TRAFFIC CONTROL PLAN, TEMPORARY
- STRUCTURES/TRAILERS AND TEMPORARY UTILITIES.
- 3. OBTAIN APPROVAL OF RODENT ABATEMENT PLAN.
- 4. OBTAIN APPROVAL OF CONSTRUCTION PARKING PLAN. OBTAIN APPROVAL OF HAULING PERMIT (IF APPLICABLE).
- ESTABLISH PROJECT CONTACT PERSON FOR COORDINATION WITH COMMUNITY. DESIGNATE PARKING AREA FOR CONSTRUCTION WORKERS, SEE CONSTRUCTION MANAGEMENT PLAN.

- MOBILIZATION/DEMOLITION (4 WEEKS) OBTAIN PERMITS TO CLOSE SIDEWALKS IN PUBLIC RIGHT-OF-WAY, IF REQUIRED.
- ESTABLISH PERIMETER CONTROLS AS SHOWN ON PLAN. AS WORK PROGRESSES, PERIMETER CONTROLS TO BE ADJUSTED TO PROTECT THE LIMITS OF THE PROJECT. ACCESS SITE VIA THE CONSTRUCTION ENTRANCE ALONG THE SOUTH PATRICK STREET RIGHT-OF-WAY ON THE
- EAST SIDE OF THE SITE. VEHICLES TO BE CLEANED PRIOR TO LEAVING THE CONSTRUCTION AREA. WASH WATER TO BE OBTAINED FROM A PORTABLE WATER SOURCE PROVIDED BY THE CONTRACTOR COMMENCE CLEARING ACTIVITIES.
- 5. ALL DEBRIS TO BE HAULED OFF SITE ALONG CITY APPROVED HAUL ROUTES AND WITHIN HOURS PERMITTED BY
- 6. CONSTRUCTION TRAILERS (IF NECESSARY) TO BE PLACED ON-SITE AND SHALL NOT IMPEDE THE RIGHT-OF-WAY.

MOBILIZATION/DEMOLITION (10 WEEKS)

- PERIMETER CONTROLS SHALL REMAIN IN PLACE ALONG THE LIMITS OF DISTURBANCE OF THE SITE.
- COMMENCE CLEARING ACTIVITIES TO ALLOW FOR INSTALLATION OF PHASE I PRACTICES
- COMMENCE WITH REMAINING CLEARING ACTIVITIES. 4. ALL DEBRIS TO BE HAULED OFF SITE ALONG CITY APPROVED HAUL ROUTES AND WITHIN HOURS PERMITTED BY
- CITY ORDINANCE.

- BUILDING CONSTRUCTION (60 WEEKS) PERIMETER CONTROLS SHALL REMAIN IN PLACE ALONG THE LIMITS OF DISTURBANCE OF THE SITE.
- BEGIN ROUGH GRADING OF SITE AND CONSTRUCTION OF PROPOSED BUILDINGS AND GARAGES. INSTALL UNDERGROUND UTILITIES (STORM SEWER/SANITARY/WATER/GAS/ELECTRIC)
- FINISH ROUGH GRADING. BUILDING WALLS SHALL BE AT OR NEAR FINAL GRADE AT THIS STAGE.
- COMPLETE CONSTRUCTION OF PROPOSED BUILDINGS. PROPOSED UTILITIES. COMPLETE FINE GRADING REQUIRED FOR THE SITE.
- ALL DEBRIS WILL BE HAULED OFF SITE ALONG CITY APPROVED HAUL ROUTES AND WITHIN HOURS PERMITTED BY CITY ORDINANCE.

CONSTRUCTION ENTRANCE & WASH WATER NOTE:

WASH WATER FOR THE CONSTRUCTION ENTRANCE WILL BE OBTAINED FROM A PORTABLE WATER SOURCE PROVIDED BY THE CONTRACTOR. THE CONSTRUCTION ENTRANCE SHALL BE GRADED SO THAT ALL RUNOFF IS DIRECTED TO THE SILT FENCE TO PREVENT SEDIMENT FROM LEAVING THE SITE.

CONSTRUCTION DUST NOTE:

DURING DEMOLITION AND CONSTRUCTION OF THE PROPOSED SITE, FUGITIVE DUST IS TO BE CONTROLLED TO LIMIT SPREAD, SETTLEMENT AND IMPACT ON ADJACENT PROPERTIES. FUGITIVE DUST WILL BE CONTROLLED BY THE WETTING OF THE SITE DURING DEMOLITION AND CONSTRUCTION SHOULD CONDITIONS WARRANT. CONTRACTOR IS TO WET THE SITE AS NECESSARY AND UPON DIRECTION FROM CITY SITE INSPECTOR.

CONSTRUCTION WASTE AND REFUSE CONTROL PROGRAM:

DURING THE CONSTRUCTION PHASE OF THIS DEVELOPMENT, THE SITE DEVELOPER, ITS CONTRACTOR, CERTIFIED LAND DISTURBER. OR OWNER'S OTHER AGENTS SHALL IMPLEMENT A WASTE AND REFUSE CONTROL PROGRAM. THIS PROGRAM SHALL CONTROL WASTES SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT. CHEMICALS, LITTER OR TRASH, TRASH GENERATED BY CONSTRUCTION WORKERS OR MOBILE FOOD VENDOR BUSINESSES SERVING THEM AND SANITARY WASTE AT THE CONSTRUCTION SITE AND PREVENT ITS OFF SITE MIGRATION THAT MAY CAUSE ADVERSE IMPACTS TO THE NEIGHBORING PROPERTIES OR THE ENVIRONMENT TO THE SATISFACTION OF DIRECTORS OF TRANSPORTATION AND ENVIRONMENTAL SERVICES AND CODE ENFORCEMENT. ALL WASTES SHALL BE DISPOSED OFF SITE PROPERLY IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS.

RODENT ABATEMENT NOTE:

PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT. A RODENT ABATEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION THAT WILL OUTLINE WHAT STEPS HAVE AND WILL BE TAKEN TO PREVENT THE SPREAD OF RODENTS FROM THE CONSTRUCTION SITE TO THE SURROUNDING COMMUNITY AND SEWERS. THE CONTRACTOR CAN CONTACT THE ALEXANDRIA DEPARTMENT OF CODE ADMINISTRATION AT (703) 746-4200 FOR ANY QUESTIONS OR ADDITIONAL INFORMATION. PLEASE BE ADVISED ONCE ANY DEMOLITION HAS BEEN COMPLETED ANY ABOVE GROUND BAIT BOXES MUST BE RELOCATED TO WITHIN 50 FEET OF A STRUCTURE IN KEEPING WITH EPA REGULATIONS. IF THIS IS NOT POSSIBLE. THEY SHALL BE REMOVED AND REGULAR INSPECTIONS OF THE SITE CONDUCTED BY A VIRGINIA LICENSED PEST EXTERMINATOR TO ENSURE THE SITE REMAINS RODENT

ARCHAEOLOGY NOTES:

THE APPLICANT/DEVELOPER SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703-746-4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.

THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY ALEXANDRIA ARCHAEOLOGY, FAILURE TO COMPLY SHALL RESULT IN PROJECT

PRE-CONSTRUCTION TRAFFIC CONTROL PLAN NOTE:

PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL MEET WITH THE CONSTRUCTION PERMITTING & INSPECTIONS (PHONE 703-746-4035) TO WORK OUT CONSTRUCTION DETAILING, PROPOSED CONTROLS TO TRAFFIC MOVEMENTS. LANE CLOSURES, CONSTRUCTION ENTRANCES, HAUL ROUTES AND STORAGE AND STAGING FOR THE PROJECT. THIS INFORMATION SHALL BE MADE AVAILABLE TO ALL ADJOINING PROPERTY OWNERS AND CIVIC ASSOCIATIONS. ANY TRAFFIC CONTROL DESIGN PLANS, WORK ZONE TRAFFIC CONTROL PLANS AND TRAFFIC STUDIES THAT ARE REQUIRED SHALL BE SEALED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE COMMONWEALTH OF VIRGINIA. ANY PERMITS FOR CLOSING PORTIONS OF THE RIGHT-OF-WAYS ADJACENT TO SITE TO BE OBTAINED PRIOR TO CONSTRUCTION. ALL WORK WILL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT VERSION OF THE VIRGINIA WORK AREA PROTECTION MANUAL, AND IT'S LATEST REVISIONS, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

PRE-CONSTRUCTION MEETING WITH NEIGHBORHOOD NOTE:

PRIOR TO COMMENCING CLEARING AND GRADING OF THE SITE. THE DEVELOPER SHALL HOLD A MEETING WITH NOTICE TO ALL ADJOINING PROPERTY OWNERS AND CIVIC ASSOCIATIONS TO REVIEW THE LOCATION OF CONSTRUCTION WORKER PARKING, PLAN FOR TEMPORARY PEDESTRIAN AND VEHICULAR CIRCULATION, AND HOURS AND OVERALL SCHEDULF FOR CONSTRUCTION. THE DEPARTMENTS OF P&Z AND T&ES SHALL BE NOTIFIED OF THE DATE OF THE MEETING AT LEAST 14 CALENDAR DAYS BEFORE THE MEETING DATE AND BEFORE THE PERMIT IS ISSUED.

PROJECT PLANNER MEETING NOTE:

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PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATIONS, THE DEVELOPER SHALL SCHEDULE A PRE-INSTALLATION/CONSTRUCTION MEETING WITH THE PROJECT PLANNER IN THE DEPARTMENT OF PLANNING & ZONING TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES.

PROTECTION AND PRESERVATION OF EXISTING VEGETATION:

- A. METHODS AND PROCEDURES
- 1. VEGETATION PROTECTION ZONES SHALL BE DEPICTED AND DOCUMENTED ON ALL DEVELOPMENT RELATED DRAWING THAT DEPICT WORK AFFECTING THE PROTECTION AND PRESERVATION OF EXISTING VEGETATION. DRAWING AND DOCUMENTS SHALL INCLUDE:
- a. SITE/BUILDING DEMOTION.
- b. SEDIMENT AND EROSION CONTROL. c. SITE UTILITIES AND ARCHITECTURAL FEATURES.
- 2. VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL BE ENCLOSED IN A PROTECTION ZONE THAT ESTABLISHES LIMITS OF CONSTRUCTION DISTURBANCE TO THE ROOT AREA OF DESIGNATED PLANT
- 3. FENCING SHALL BE INSTALLED AT THE PERIMETER OF ALL PROTECTION ZONES. FENCING SHALL BE INSTALLED IN ACCORDANCE WITH FIGURE I-B PER CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.

4. APPROVED FENCING MATERIAL SHALL BE IN ACCORDANCE WITH THE FOLLOWING MINIMUM DIMENSIONAL REQUIREMENTS:

- a. LESS THAN FIFTEEN (15) FEET FROM VEGETATION TO BE PROTECTED, PROVIDE CHAIN LINK OR WOOD
- b. GREATER THAN FIFTEEN (15) FEET FROM VEGETATION TO BE PROTECTED, PROVIDE PLASTIC OR WOOD
- SNOW FENCE. c. SILT, EROSION CONTROL OR GEOTECHNICAL FABRIC MATERIALS ARE NOT ACCEPTABLE FOR USE AS FENCE.
- d. FOR SPECIALLY DESIGNATED, SPECIMEN QUALITY, HISTORIC, OR CULTURALLY SIGNIFICANT VEGETATION PROVIDE EXTRAORDINARY MEASURES AS DIRECTED BY THE CITY ARBORIST.
- 5. TYPE OF VEGETATION PROTECTION AND OR PRESERVATION MATERIAL MAY VARY DUE TO SITE DISTURBANCE LIMITS AND PROXIMITY TO DESIGNATION VEGETATION, SPECIAL OR PAVED AREAS.
- 6. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND AT ANY CHANGE OF PROJECT PHASING, THE FOLLOWING
- PROTECTION ITEMS SHALL BE VERIFIED AND APPROVED IN FIELD BY THE CITY ARBORIST: a. LOCATION AND ESTABLISHMENT.
- b. INSTALLATION PROCEDURES AND METHODS.
- c. ANTICIPATED PHASING AND TIMING OF CONSTRUCTION. d. MAINTENANCE PROCEDURES, METHODS AND MEASURES.
- 7. PRIOR TO ANY ALTERATION OF SITE CONDITIONS, THE FOLLOWING ITEMS SHALL BE VERIFIED AND APPROVED
- IN-FIELD BY THE CITY ARBORIST: a. CHANGES, ALTERATION OR MODIFICATIONS TO PROTECTION ZONES.
- b. REMOVAL OF PROTECTION FENCING. c. SITE DISTURBING ACTIVITIES WITHIN DESIGNATED PROTECTION ZONES INCLUDING ROOT PRUNING, MODIFICATION OR RESTORATION OF GRADE CONDITIONS.
- 8. AREAS WHICH ENCOMPASS GROUPING, OR INDIVIDUAL SPECIMEN VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL NOT BE VIOLATED (APPROVED MAINTENANCE PROCEDURES AND WATERING EXCEPTED) THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. PROHIBITED ITEMS/ACTIVITIES INCLUDE, BUT ARE
- NOT LIMITED TO: a. MODIFYING SITE TOPOGRAPHY IN A MANNER THAT DIRECTLY OR INDIRECTLY ALTERS EXISTING SITE DRAINAGE WITHIN PROTECTION ZONE INCLUDING TRENCHING OR GRADING OPERATIONS AND PLACING, STORING OR STOCKPILING SOIL OR CONSTRUCTION RELATED SUPPLIES.
- b. FELLING AND STORING VEGETATION.
- c. INCINERATING MATERIALS WITHIN OR IN CLOSE PROXIMITY.
- d. OPERATING MACHINERY OR EQUIPMENT, INCLUDING VEHICLE/ EQUIPMENT PARKING OR STORAGE e. TEMPORARY OF PERMANENT UTILITY CONSTRUCTION, PAVING OR IMPERVIOUS SURFACE INSTALLATION.
- f. DISPOSAL OF DEBRIS OR CHEMICALS. g. TEMPORARY FACILITIES OR OCCUPATION BY WORK FORCE.
- 9. WHEN PROPOSED DEVELOPMENT IMPACT EXISTING VEGETATION ON NEIGHBORING PROPERTIES, PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE THE FOLLOWING:
- a. DOCUMENTATION THAT INCLUDES; NOTIFICATION OF CONSTRUCTION IMPACT, TIMING/SCHEDULE/PHASING, POTENTIAL FOR LOSS OR DAMAGE, AND AGREED UPON REMEDIAL MEASURES SHOULD LOSS OR DAMAGE
- b. CERTIFIED COMMUNICATION WITH THE SUBJECT OWNER(S) AND JOINTLY APPROVED BINDING AGREEMENT
- 10. WHEN PROPOSED DEVELOPMENT IMPACTS EXISTING VEGETATION WITHIN A RESOURCE PROTECTION AREA (RPA)
- PROVIDE THE FOLLOWING: a. WATER QUALITY ASSESSMENT AS APPROVED BY THE CITY.

3. MAINTENANCE SHALL BE PREFORMED TO THE SATISFACTION OF THE CITY ARBORIST.

WHERE FULL OR PARTIAL REPLACEMENT IS NOT PRACTICAL.

b. EVIDENCE OF QUALITY AND QUANTITY MITIGATION CONSISTENT WITH RIPARIAN BUFFER MODIFICATION AND MITIGATION PRACTICES AS AVAILABLE THROUGH THE COMMONWEALTH OF VIRGINIA, DEPARTMENT OF CONSERVATION AND RECREATION. REFERENCE http://www.state.va.us/dnh/

B. MAINTENANCE

- VEGETATION DESIGNATED FOR PROTECTION AND/OR PRESERVATION SHALL CONTINUOUSLY RECEIVE ENHANCED LEVEL OF MAINTENANCE THROUGH OUT THE ENTIRE CONSTRUCTION PERIOD.
- 1. MAINTENANCE SHALL BE PRO-ACTIVE. 2. MAINTENANCE OPERATION SHALL AGGRESSIVELY MONITOR THE HEALTH, GROWTH AND VIGOR OF VEGETATION PRESCRIBE APPROVED SELECTIVE PRUNING, REMOVAL OF VOLUNTEER AND/OR INVASIVE SPECIES, WATER, FERTILIZATION AND INSTALLATION OF MULCH/TOPDRESSING.
- C. REPLACEMENT OF DAMAGED VEGETATION IN—KIND* REPLACEMENT OF DAMAGED EXISTING VEGETATION SHALL BE LOCATED ON PRIVATE OR PUBLIC LANDS TO THE SATISFACTION OF THE CITY ARBORIST.
- 1. AT THE DETERMINATION OF THE CITY ARBORIST, EGREGIOUS OR SEVERE DAMAGE TO VEGETATION SHALL REQUIRE AN ADDITIONAL REVIEW OF THE PROJECT'S SITE PLAN AND/OR SPECIAL USE PERMIT APPROVAL. AMENDMENT PROCEDURE MAY BE REQUIRED.
- 2. IN-KIND* REPLACEMENT OF DAMAGED VEGETATION SHALL AT A MINIMUM BE PREFORMED IN ACCORDANCE WITH THE FOLLOWING: a. ONE (1) TREE (IN ACCORDANCE WITH SECTION II AND III) PER CALIPER INCH OF THE SUM TOTAL CALIPER INCH MEASUREMENT OF TREE(S) DEEMED SEVERELY TERMINALLY DAMAGED.

b. Grouping of Vegetation such as shrubs or other woody plants at an installation size and

- QUANTITY TO SATISFACTION OF THE CITY ARBORIST AND DIRECTORS OF PLANNING & ZONING, RECREATION, PARKS & CULTURAL ACTIVITIES AND TRANSPIRATION & ENVIRONMENTAL SERVICES 3. MONETARY REMUNERATION (BASED ON VALUE EQUAL TO IN-KIND* REPLACEMENT) MAY BE REQUIRED ON SITE
- a. MONETARY VALUE SHALL BE BASED ON THE CURRENT MARKET RATE FOR SPECIFICATION. PROCUREMENT. INSTALLATION AND WARRANTY FOR TREES (IN ACCORDANCE WITH SECTION II AND III) AND AS REFERENCED IN THE CITY'S REQUIREMENTS FOR BONDING OF LANDSCAPE MATERIALS.
- b. CONTRIBUTIONS, PENALTIES AND REMUNERATION SHALL BE DEDICATED TO THE CITY TO THE SATISFACTION OF THE DIRECTOR OF RECREATION, PARKS & CULTURAL ACTIVATES. 4. APPLICANT, OWNER OR SUCCESSOR LIABILITY FOR REPLACEMENT OF DAMAGED VEGETATION SHALL EXTEND FOR A PERIOD OF CALENDAR YEARS FROM DATE OF THE LAST AND FINAL PROJECT CERTIFICATION OF OCCUPANCY.
- * "IN-KIND" REFERS TO THE SPECIES. CHARACTER AND PROJECTED MATURE SIZE OF THE SUBJECT VEGETATION. REMEDY REQUIREMENTS SHALL BE DETERMINED AND UNDERTAKEN TO THE SATISFACTION OF THE CITY

APPROVED 2025-10005 SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. ____ DIRECTOR FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES. NOTIFY "MISS UTILITY" AT 1-800-552-7001. 72 CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED

THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR. EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2022 R.C. FIELDS & ASSOCIATES, INC.

HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

INSTRUMENT NO. DEED BOOK NO. 

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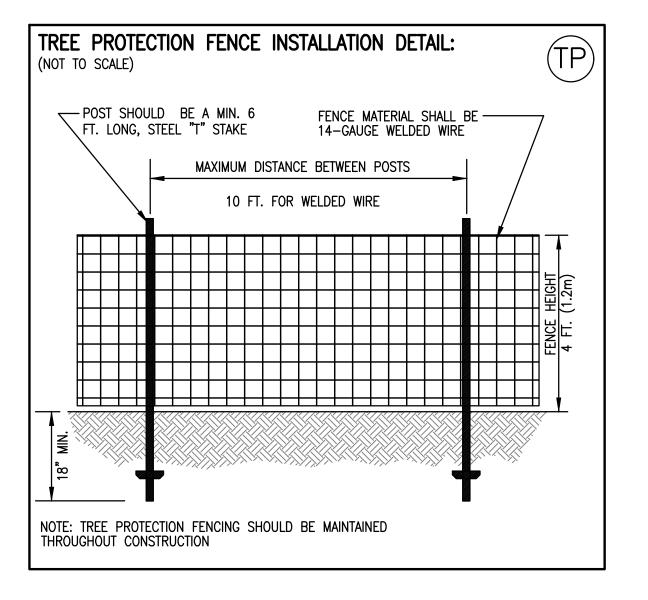
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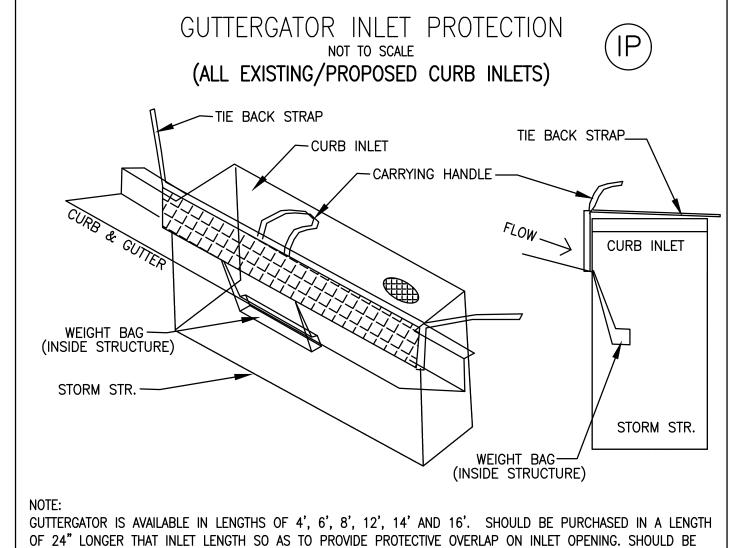
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CONTROL NARRATIVE SHEET 16 OF 38

SEDIMENT

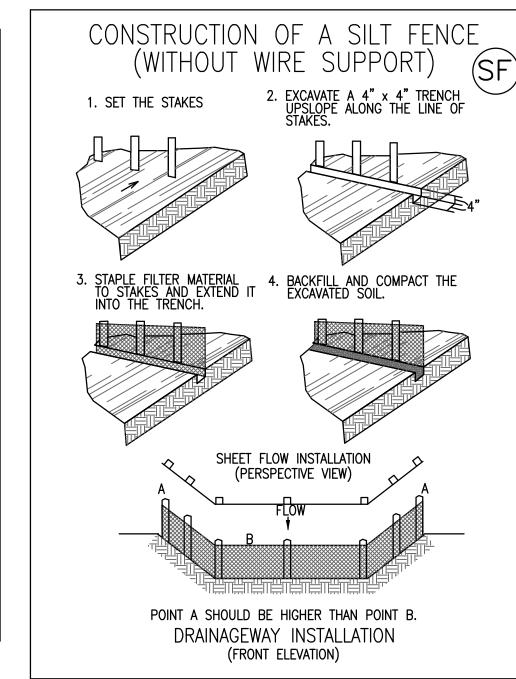
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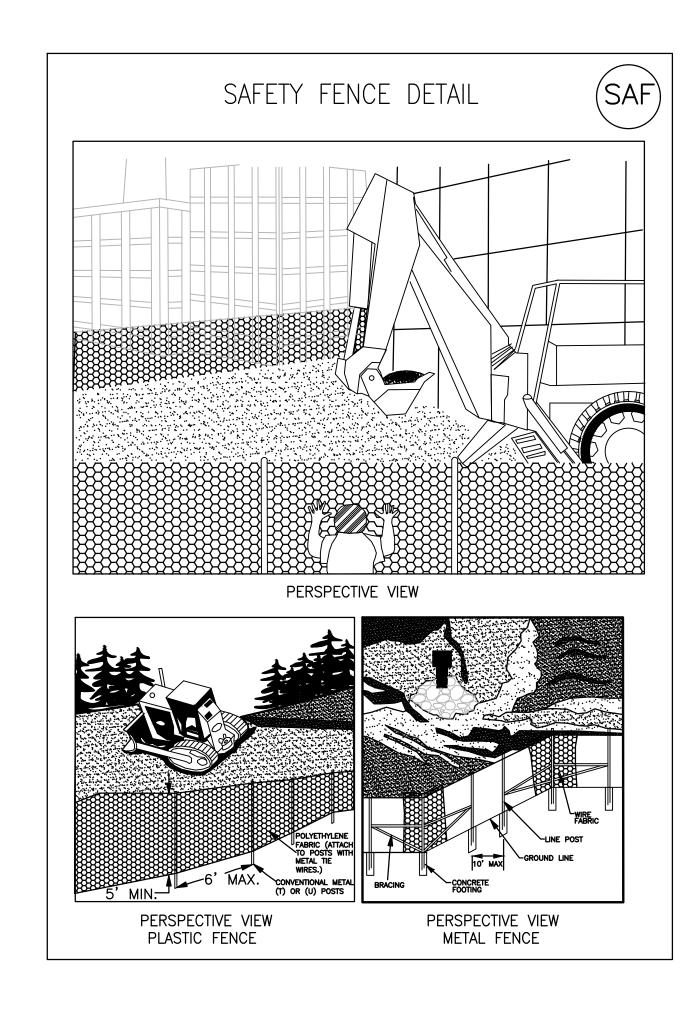


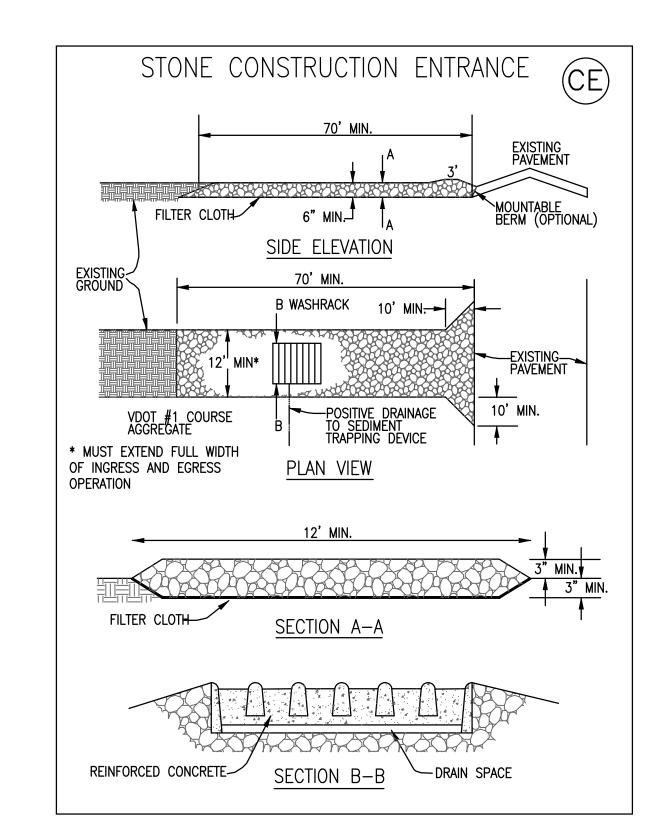


CLEANED IF THERE IS A VISUAL BUILD UP OF DEBRIS AROUND THE GUTTERBUDDY. FOR ADDITIONAL INFORMATION

CONTACT: ACF ENVIRONMENTAL, INC., 1801-A WILLIS ROAD, RICHMOND, VA 23237, (1-800-644-9223)







VIRGINIA UNIFORM CODING SYSTEM **KEY DESCRIPTIONS:**

- CE CONSTRUCTION ENTRANCE WITH WASHRACK STANDARD AND SPECIFICATION #3.02
- (SF) SILT FENCE STANDARD AND SPECIFICATION #3.05
- IP STORM DRAIN INLET PROTECTION STANDARD AND SPECIFICATION #3.07
- (PS) PERMANENT SEEDING STANDARD AND SPECIFICATION #3.32

 \geq

ALEXANDRIA
16 SOUTH HENRY S
7 OF ALEXANDRIA

DATE | REVISION

DESIGN: VMM

CHECKED: ACS

DATE: JAN 2022

SEDIMENT

CONTROL

DETAILS

SCALE: NO SCALE

EROSION AND

FILE: 19-153

- (TS) TEMPORARY SEEDING STANDARD AND SPECIFICATION #3.31
- SAF SAFTEY FENCE STANDARD AND SPECIFICATION #3.01
- (TP) TREE PROTECTION SEE DETAIL THIS SHEET

TOTAL DISTURBED AREA = 0.62 AC OR 26,811 SF

ADDITIONAL E&S MEASURES NOTE: ADDITIONAL EROSION & SEDIMENT CONTROLS SHALL BE INSTALLED IF DIRECTED BY THE T&ES INSPECTOR.

SEEDING SCHEDULE: (COASTAL PLAIN REGION)

Carlotte Car							
PRACTICE	SPECIES	RATE	APPLICATION DATES				
TEMPORARY	OATS (AVENA SATIVA)	50-100 lbs./acre	FEB. 15 to APRIL 30				
SEEDING	RYE (SECALE CEREALE)	50-110 lbs./acre (4.5 - 5.5 lbs.)	FEB.15 to APRIL 30, SEPT. 1 to NOV. 15				
(TS)	50/50 MIX OF ANNUAL RYEGRASS AND CEREAL (WINTER) RYE	(4.5 - 5.5 lbs.) 50-100 lbs./acre	SEPT. 1 to FEB. 15 (WINTER SEED)				
PERMANENT SEEDING PS	KENTUCKY 31 TALL FESCUE KENTUCKY BLUEGRASS TALL FESCUES (IMPROVED)	200-250 lbs./acre per 1,000 sq. ft.	APPLY IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS FOR TIME OF YEAR APPLICABILITY. UTILIZE TEMPORARY SEEDING UNTIL APPROPRIATE TIME TO APPLY PERMANENT SEEDING.				

NOTE: REFER TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK FOR OTHER SEED VARIETIES THAT MAY BE APPLICABLE. OTHER SEED VARIETIES AND MIXES MAY BE UTILIZED IF THERE IS A PROBLEM WITH PRODUCT AVAILABILITY. CONTACT THE DESIGN ENGINEER AND/OR THE CITY INSPECTOR FOR THE APPLICABILITY OF OTHER SEED MIXTURES.

APPROVED 2025-10005 SPECIAL USE PERMIT NO. . DEPARTMENT OF PLANNING & ZONING SITE PLAN NO. CHAIRMAN, PLANNING COMMISSION DATE RECORDED INSTRUMENT NO. DEED BOOK NO.

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PEER REVIEW

THE AREA AND RUNOFF CALCULATIONS PROVIDED INCLUDES THE IMPERVIOUS AREA BEING TREATED BY JUST THE HYDRODYNAMIC BMP AND BOTH THE VEGETATED ROOF AND THE HYDRODYNAMIC BMP.

WQIF REQUEST LETTER:

ENGINEERING • LAND SURVEYING • PLANNING February 28, 2020 Jesse E. Maines, MPA, CPESC Watershed Management Planner Transportation & Environmental Services Stormwater and Sanitary Infrastructure 301 King Street, Room 3000 Alexandria, VA 22314

SCEIFIDS & 977OCIQUE?

116 S. Henry Street

Dear Mr. Maines:

Re: DSUP#2019-0033

On behalf of our client, Galena Capital Partners, we are requesting to provide a monetary contribution to the Alexandria Water Quality Improvement Fund for the portion of the project's Water Quality Volume not being treated on-site.

The majority of the Water Quality Volume will be treated by green roof and a hydrodynamic BMP facility. We are providing the following method (provided to us by OEQ) for the required contribution to the Alexandria Water Quality Improvement Fund for your approval:

Determine water quality improvement fund fee: 15,332 sq. ft. impervious – 11,699 sq. ft. treated = 3,633 sq. ft. impervious untreated 3,633 square feet x 2.00 / square foot = \$7,266.00

The resulting contribution for this project is \$7,266.00.

Once approved, this request letter, along with the City's approval letter will be included as part of the final site plan submitted to the City of Alexandria for review and approval.

Thank you for your attention to this matter.

R.C. FIELDS & ASSOCIATES, INC.

Vince McHale Project Manager

WQIF APPROVAL LETTER:

700 S. WASHINGTON ST

ALEXANDRIA, VA 22314 (703) 549-6422

www.rcfassoc.com

SUITE 220



DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES Infrastructure and Environmental Quality 2900B Business Center Drive Alexandria, Virginia 22314

www.alexandriava.gov

10/21/2021

RC Fields & Associates Inc Attn: Vince McHale 730 S. Washington St. Alexandria, Virginia 22314

RE: 116 S Henry St DSUP2019-00033

Dear Vince McHale

This is in regard to your letter dated February 28, 2020 requesting to meet the Alexandria Water Quality Volume Default (WQVD) in a Resource Management Area per Article XIII, Section 13-109(E)(6) by treating 76 percent of the WQVD in the project area(s) through stormwater quality controls (structural BMPs) and by participating in the City's Water Quality Improvement Fund (WQIF). You have requested to pay a fee in lieu of providing an onsite BMP as outlined in Article XIII, Section 13-110(A)(2). You have agreed to provide a monetary contribution of \$7266.00 (3633 square feet impervious surface x \$2/square foot) to the Alexandria WQIF. This represents 100 percent of the overall WQVD left untreated.

Your request has been approved. The procedure now is to scan your request letter onto your final plan on a sheet that is labeled Stormwater Facility BMP Details or something similar. Your final plan will be eligible for approval when you have paid the fee (\$7266.00). The approval of the plan (with your request therein) will act as the approval of your request.

Melanie Mason Principal Planner TES Stormwater Management

STORMWATER RUNOFF COMPUTATIONS:

VIRGINIA RUNOFF REDUCTION METHOD (PER TR-20, TYPE II, 24-HOUR STORM COMPUTER USING HYDROCAD SOFTWARE) (1-YR, 24-HR DEPTH=2.70 IN, 2-YR, 24-HR DEPTH=3.20 IN, 10-YR, 24-HR DEPTH=5.20 IN, 100 YR, 24-HR DEPTH=7.70).

I. PARCEL AREA (ONSITE AREA) = 15,332 SQ. FT. OR 0.3520 ACRES

EXISTING IMPERVIOUS AREA = 13,137 SQ. FT. OR 0.3016 ACRES PROPOSED IMPERVIOUS AREA = 15,332 SQ. FT. OR 0.3520 ACRES

II. WEIGHTED "CN" FACTOR CALCULATION

PRE-DEVELOPMENT "CN" = $(80 \times 0.0573 + 98 \times 0.3016) = 95$

POST-DEVELOPMENT "CN" = $(80 \times 0.0000 + 98 \times 0.3520) = 98$ 0.3520

POST-DEVELOPMENT "CN" = **97** (CONTROLLED, VRRM ADJUSTED)

III. PEAK DISCHARGE FOR DESIGN STORMS (Tc = 5 MIN)

PRE-DEVELOPMENT $Q_1 PRE = 0.85 CFS$ $Q_2 \text{ PRE} = 1.03 \text{ CFS}$ Q_{10} PRE = **1.74** CFS

POST-DEVELOPMENT O₁ POST = **0.90 CFS** $Q_2 \text{ POST} = 1.07 \text{ CFS}$ Q_{10} POST = **1.77 CFS**

POST-DEVELOPMENT (W/ DETENTION) $Q_1 POST = 0.84 CFS$ Q_2 POST = **0.99 CFS** Q_{10} POST = **1.71 CFS**

IV. POST-DEVELOPMENT DECREASES

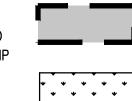
Q₁ DECREASE = 0.01 CFS Q_2 DECREASE = **0.04** CFS Q_{10} DECREASE = **0.03** CFS

V. DETENTION VOLUME THE ONSITE DETENTION PIPE PROVIDES ADEQUATE DETENTION TO ACHIEVE AN OVERALL DECREASE IN ONSITE RUNOFF, THEREFORE NO FURTHER DETENTION IS REQUIRED.

HATCH LEGEND

DRAINAGE AREA TO HYDRODYNAMIC BMP

VEGETATED ROOF



WATER QUALITY/QUANTITY COMPLIANCE NARRATIVE:

THE 0.35 ACRE SITE IS LOCATED IN THE POTOMAC RIVER WATERSHED. IN EXISTING CONDITIONS, THE SITE CONSISTS OF A CITY OWNED PUBLIC PARKING LOT. THE MAJORITY OF THE SITE DRAINS WEST AND IS COLLECTED ONSITE BY THE EXISTING CITY OF ALEXANDRIA MAINTAINED STORM SEWER SYSTEM THAT WILL BE REMOVED DURING CONSTRUCTION. THE FLOW IS CONVEYED IN THE EXISTING COMBINED SEWER IN A SOUTHWESTERLY DIRECTION UNTIL IT OUTFALLS TO THE

THE REDEVELOPMENT OF THE PROJECT PROPOSES A NEW MIXED USE MULTIFAMILY RESIDENTIAL/ RETAIL BUILDING, AUTOMATED PARKING STRUCTURE, MULTIFAMILY RESIDENTIAL BUILDING, AND IMPROVED STREETSCAPE/OPEN SPACE, IN PROPOSED CONDITIONS, THE MAJORITY OF THE SITE WILL BE COLLECTED ONSITE AND PIPED TO THE EXISTING COMBINED SEWER SYSTEM IN SOUTH HENRY STREET. AS IN EXISTING CONDITIONS.

OVERALL IMPERVIOUS AREA WILL BE INCREASED WITH THE PROPOSED DEVELOPMENT (SEE STORMWATER RUNOFF COMPUTATIONS ON THIS SHEET) WHICH GENERATES AN INCREASE IN RUNOFF. HOWEVER, THE PROPOSED DETENTION PIPE SYSTEM WILL PROVIDED ADEQUATE DETENTION TO CREATE A NET DECREASE IN ON-SITE RUNOFF.

TWO BEST MANAGEMENT PRACTICE (BMP) FACILITIES ARE PROPOSED TO TREAT THE MAJORITY OF THE RUNOFF FROM THE PROPOSED IMPERVIOUS AREAS OF THE SITE (A HYDRODYNAMIC BMP AND VEGETATED ROOF). THESE BMP FACILITIES PROVIDE ADEQUATE WATER QUALITY TREATMENT FOR THIS SITE. COMPLIANCE NARRATIVES AND COMPUTATIONS PER CITY CODE SECTION 13-109E ARE PROVIDED ON SHEET 20.

PROJECT DESCRIPTION:

REDEVELOPMENT			
DRAINAGE AREA	IMPERVIOUS	PERVIOUS	TOTAL
PROJECT AREA	0.3520	0.0000	0.3520
ON-SITE TREATED	0.2686	0.0000	0.2686
OFF-SITE TREATED	0.0000	0.0000	0.0000
TOTAL TREATED	0.2686	0.0000	0.2686
ON-SITE IMPERVIOUS AREAS	N/A		
DISCONNECTED BY A VEGETATIVE BUFFER	19/7		
TOTAL TREATED OR DISCONNECTED			0.2686

WATER QUALITY VOLUME DEFAULT:

PROPOSED IMPERVIOUS: 0.35 AC TREATMENT OF FIRST HALF INCH OF RUNOFF: 1,815 X 0.35 = 635 CU. FT. WQV REQUIRED

WATER TREATMENT ON-SITE							
BMP TYPE	AREA TREATED BY BMP (ACRES)	IMPERVIOUS AREA TREATED BY BMP (ACRES)	BMP EFFICIENCY (%)				
HYDRODYNAMIC	0.18	0.18	20%				
VEGETATED ROOF	0.09	0.09	0%				

TOTAL WQV TREATED: NO WATER QUALITY VOLUME REQUIRED = 635 CU. FT. WATER QUALITY VOLUME TREATED = 1,815 X 0.27 = 490 CU. FT. PERCENT OF WATER QUALITY VOLUME TREATED = 77.1% DETENTION ON SITE: YES PROJECT IS WITHIN WHICH WATERSHED? POTOMAC RIVER PROJECT DISCHARGES TO WHICH BODY OF WATER? POTOMAC RIVER

BMP FACILITY	AREA TREATED	IMPERVIOUS AREA	PERVIOUS AREA	TP REMOVAL	PHOSPHORUS	GEOGRAPHIC (COORDINATES
DIVIF TACILITY	(ACRES)	TREATED (ACRES)	TREATED (ACRES)	EFFICIENCY	REMOVAL (LBS)	LONGITUDE	LATITUDE
VEGETATED ROOF	0.09	0.09	0.00	0%	0.11	38.805125	-77.051165
HYDRODYNAMIC	0.27	0.27	0.00	20%	0.09	38.805181	-77.051172

STORMWATER MANAGEMENT NOTE:

THE STORMWATER BEST MANAGEMENT PRACTICES (BMP) REQUIRED FOR THIS PROJECT SHALL BE CONSTRUCTED AND INSTALLED UNDER THE DIRECT SUPERVISION OF THE DESIGN ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE DESIGN ENGINEER SHALL MAKE A WRITTEN CERTIFICATION TO THE CITY THAT THE BMPs ARE CONSTRUCTED AND INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE APPROVED SITE PLAN. AND ARE CLEAN AND FREE OF DEBRIS. SOIL, AND LITTER BY HAVING BEEN INSTALLED OR BROUGHT INTO SERVICE AFTER THE SITE WAS STABILIZED. IN ADDITION, AGGREGATE LAYERS AND COLLECTOR PIPES MAY NOT BE INSTALLED UNLESS THE DESIGN ENGINEER OR HIS REPRESENTATIVE IS PRESENT.

THE APPLICANT SHALL ENTER A BMP MAINTENANCE AGREEMENT WITH THE CITY THAT SHALL BE RECORDED BEFORE RELEASE OF THE FINAL SITE PLAN. THE CONTRACTOR SHALL FURNISH THE CITY WITH AN OPERATION AND MAINTENANCE MANUAL FOR ALL BMPs ON THE PROJECT. THE MANUAL SHALL INCLUDE AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF EACH BMP AND ANY SUPPORTING UTILITIES, CATALOG CUTS ON ANY MECHANICAL OR ELECTRICAL EQUIPMENT AND A SCHEDULE OF ROUTINE MAINTENANCE FOR THE BMPs AND SUPPORTING EQUIPMENT.

PRIOR TO RELEASE OF THE PERFORMANCE BOND, THE APPLICANT IS REQUIRED TO SUBMIT A CERTIFICATION BY A QUALIFIED PROFESSIONAL TO THE SATISFACTION OF THE DIRECTOR OF T&ES THAT ANY EXISTING STORM WATER MANAGEMENT FACILITIES ADJACENT TO THE PROJECT AND ASSOCIATED CONVEYANCE SYSTEMS WERE NOT ADVERSELY AFFECTED BY CONSTRUCTION OPERATIONS. IF MAINTENANCE OF THE FACILITY OR SYSTEMS WERE REQUIRED IN ORDER TO MAKE THIS CERTIFICATION. PROVIDE A DESCRIPTION OF THE MAINTENANCE MEASURES PERFORMED.

THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING STORMWATER BEST MANAGEMENT PRACTICES (BMPS). THE APPLICANT/OWNER SHALL EXECUTE A MAINTENANCE SERVICE CONTRACT WITH A QUALIFIED PRIVATE CONTRACTOR FOR A MINIMUM OF THREE YEARS AND DEVELOP AN OWNER'S OPERATION AND MAINTENANCE MANUAL FOR ALL BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT. THE MANUAL SHALL INCLUDE AT A MINIMUM: AN EXPLANATION OF THE FUNCTIONS AND OPERATIONS OF THE BMP(S); DRAWINGS AND DIAGRAMS OF THE BMP(S) AND ANY SUPPORTING UTILITIES; CATALOG CUTS ON MAINTENANCE REQUIREMENTS INCLUDING MECHANICAL OR ELECTRICAL EQUIPMENT; MANUFACTURER CONTACT NAMES AND PHONE NUMBÉRS: A COPY OF THE EXECUTED MAINTENANCE SERVICE CONTRACT: AND A COPY OF THE MAINTENANCE AGREEMENT WITH THE CITY. A COPY OF THE CONTRACT SHALL ALSO BE PLACED IN THE BMP OPERATION AND MAINTENANCE MANUAL, A COPY OF THE MAINTENANCE CONTRACT SHALL BE SUBMITTED TO THE CITY PRIOR TO RELEASE OF THE PERFORMANCE BOND.

PRIOR TO RELEASE OF THE PERFORMANCE BOND, THE APPLICANT IS REQUIRED TO SUBMIT A CERTIFICATION BY A QUALIFIED PROFESSIONAL TO THE SATISFACTION OF THE DIRECTOR OF T&ES THAT ANY EXISTING STORMWATER MANAGEMENT FACILITIES ADJACENT TO THE PROJECT AND ASSOCIATED CONVEYANCE SYSTEMS WERE NOT ADVERSELY AFFECTED BY CONSTRUCTION OPERATIONS. IF MAINTENANCE OF THE FACILITY OR SYSTEMS WERE REQUIRED IN ORDER TO MAKE THIS CERTIFICATION, PROVIDE A DESCRIPTION OF THE MAINTENANCE MEASURES PERFORMED.

APPROVED 2025-10005 SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES THIS DRAWING IS A SERVICE DOCUMENT OF R.C. FIELDS & ASSOCIATES, INC. AND MAY NOT BE USED OR SITE PLAN NO. ____

DEED BOOK NO.

INSTRUMENT NO.

CHAIRMAN, PLANNING COMMISSION DATE RECORDED

ES PEER REVIEW

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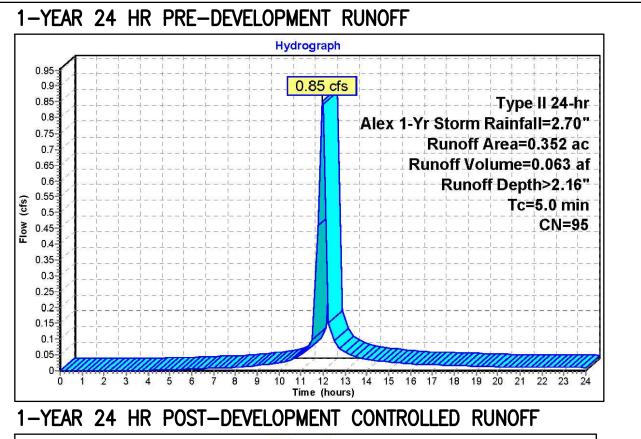
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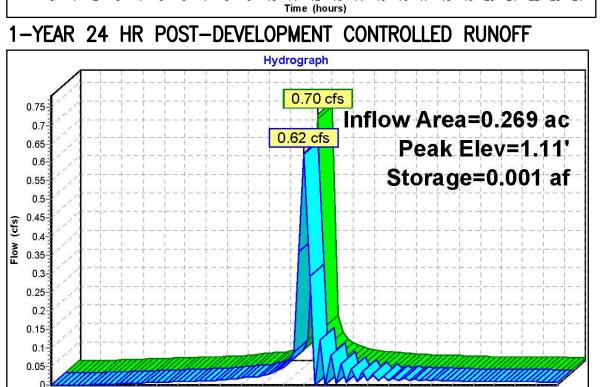
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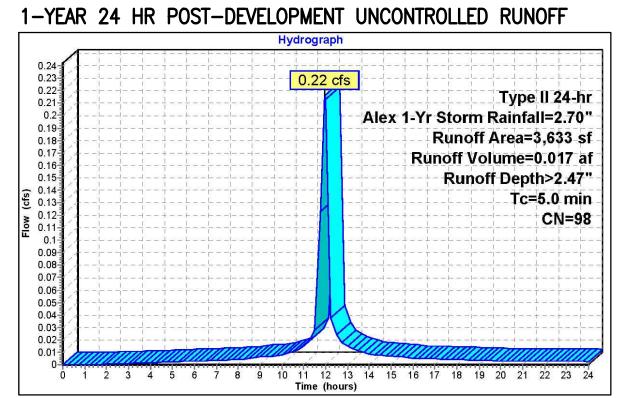
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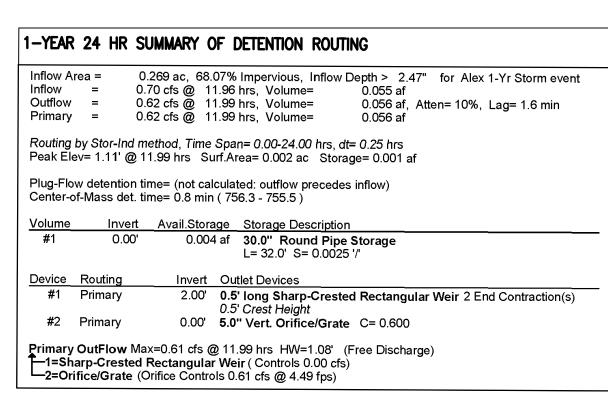
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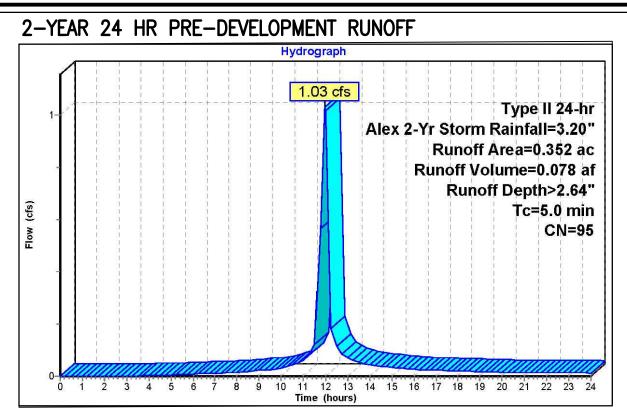
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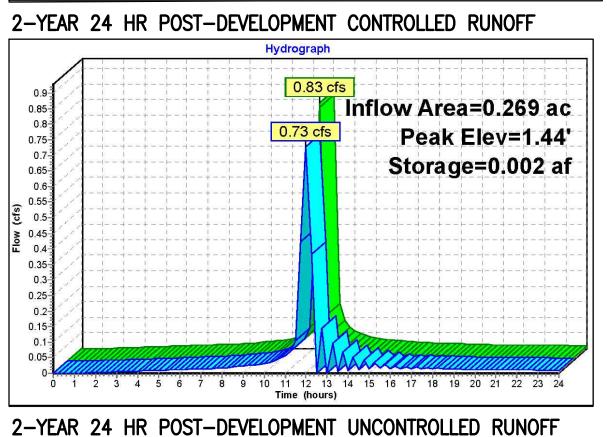


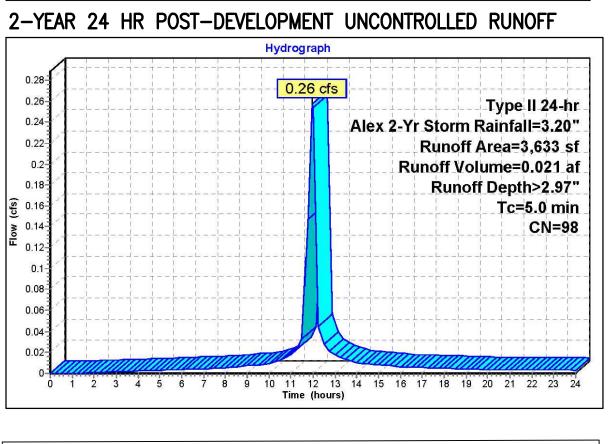


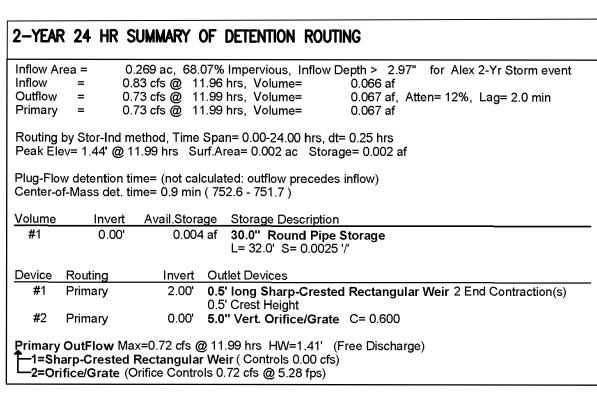


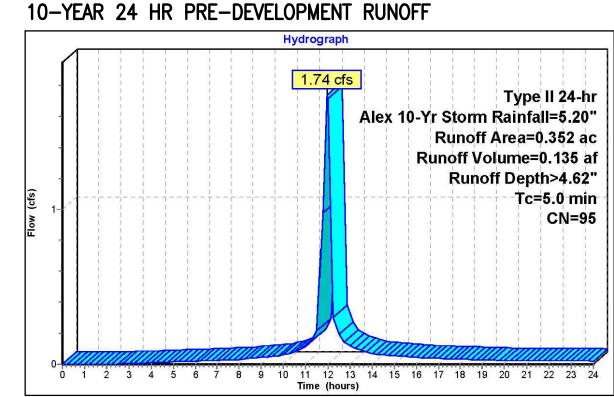


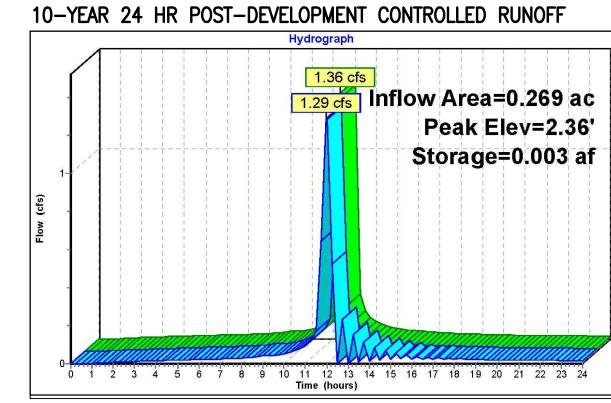


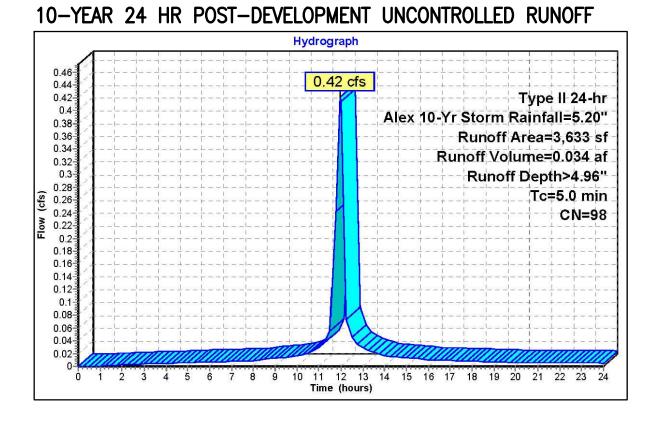


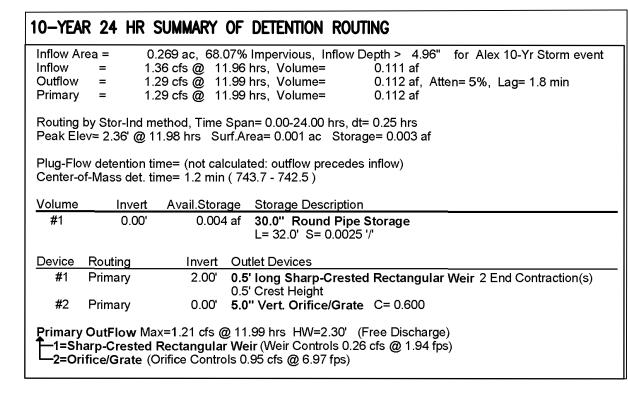












1-YR 24 HR DETENTION HYDROGRAPH TABLE

	Time	Inflow	Storage	Elevation	Primary	
	(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	
	0	0	0	30.86	0	
	1	0	0	30.86	0	
	2	0	0	30.88	0	
	3	0	0	30.89	0	
	4	0.01	0	30.9	0.01	
	5	0.01	0	30.91	0.01	
	6	0.01	0	30.92	0.01	
	7	0.01	0	30.92	0.01	
	8	0.01	0	30.93	0.01	
	9	0.02	0	30.94	0.02	
	10	0.03	0	30.96	0.03	
	11	0.05	0	30.99	0.05	•
PEAK	11.96	0.70	0.001	31.97	0.62	PE/
	12	0.69	0.001	31.97	0.62	
	13	0.05	0	30.86	0	
	14	0.03	0	30.91	0.01	
	15	0.02	0	30.93	0.01	
	16	0.02	0	30.93	0.01	
	17	0.02	0	30.92	0.01	
	18	0.01	0	30.92	0.01	
	19	0.01	0	30.92	0.01	
	20	0.01	0	30.92	0.01	
	21	0.01	0	30.91	0.01	
	22	0.01	0	30.91	0.01	
	23	0.01	0	30.91	0.01	
	24	0.01	0	30.91	0.01	

2-YR 24 HR DETENTION HYDROGRAPH TABLE

			Storage			
	Time	Inflow	(acre-	Elevation	Primary	
	(hours)	(cfs)	feet)	(feet)	(cfs)	
	0	0	0	30.86	0	
	1	0	0	30.86	0	
	2	0	0	30.89	0	
	3	0	0	30.9	0	
	4	0.01	0	30.91	0.01	
	5	0.01	0	30.92	0.01	
	6	0.01	0	30.92	0.01	
	7	0.01	0	30.93	0.01	
	8	0.02	0	30.94	0.02	
	9	0.02	0	30.95	0.02	
	10	0.03	0	30.97	0.03	
	11	0.06	0	31.01	0.06	
PEAK	11.96	0.83	0.002	32.3	0.73	PEAk
	12	0.82	0.002	32.3	0.73	
	13	0.06	0	30.86	0	
	14	0.03	0	30.91	0.01	
	15	0.03	0	30.93	0.01	
	16	0.02	0	30.93	0.02	
	17	0.02	0	30.93	0.02	
	18	0.02	0	30.93	0.01	
	19	0.01	0	30.93	0.01	
	20	0.01	0	30.92	0.01	
	21	0.01	0	30.92	0.01	
	22	0.01	0	30.92	0.01	
	23	0.01	0	30.92	0.01	
	24	0.01	0	30.91	0.01	

10-YR 24 HR DETENTION HYDROGRAPH TARIE

10-	YR 24 F	HR DEII	ENTION	HYDRO	GRAPH
	Time	Inflow	Storage (acre-	Elevation	Primary
	(hours)	(cfs)	feet)	(feet)	(cfs)
	0	0	0	30.86	0
	1	0	0	30.88	0
	2	0.01	0	30.91	0.01
	3	0.01	0	30.92	0.01
	4	0.01	0	30.93	0.01
	5	0.02	0	30.94	0.02
	6	0.02	0	30.95	0.02
	7	0.03	0	30.96	0.03
	8	0.03	0	30.96	0.03
	9	0.04	0	30.98	0.04
	10	0.05	0	31	0.05
	11	0.1	0	31.06	0.09
ιK	11.96	1.36	0.003	33.22	1.29
	12	1.34	0.003	33.22	1.29
	13	0.09	0	30.86	0
	14	0.05	0	30.93	0.01
	15	0.04	0	30.95	0.02
	16	0.03	0	30.96	0.03
	17	0.03	0	30.96	0.03
	18	0.03	0	30.95	0.02
	19	0.02	0	30.95	0.02
	20	0.02	0	30.94	0.02
	21	0.02	0	30.94	0.02
	22	0.02	0	30.94	0.02
	23	0.02	0	30.94	0.02

24 0.01

STORMWATER RUNOFF SUMMARY

(NRCS METHODOLOGY USED TO CALCULATE THE 24-HOUR STORM)

PRE-DEVELOPMENT PEAK FLOW:

 Q_1 PRE-DEVELOPMENT = 0.85 cfs

POST-DEVELOPMENT PEAK FLOW: Q₁ POST-DEVELOPMENT, DRAINAGE AREA (CONTROLLED) = 0.62 CFS Q₁ POST-DEVELOPMENT, DRAINAGE AREA (UNCONTROLLED) = 0.22 CFS

Q₁ POST-DEVELOPMENT TOTAL = 0.84 CFS

POST-DEVELOPMENT DECREASES

 Q_1 DECREASE = 0.85 CFS - 0.84 CFS = 0.01 CFS

THE PROPOSED UNDERGROUND DETENTION FACILITY WAS DESIGNED TO PROVIDE DETENTION OF THE ONSITE POST DEVELOPMENT RUNOFF WITHIN THEIR DRAINAGE AREAS. THE RESULTING DETENTION PROVIDES A 0.01 CFS DECREASE IN THE 1-YR, 24-HR PEAK FLOW RATES. THUS, THE POST DEVELOPMENT RUNOFF FLOWS ARE ATTENUATED DOWN TO THE PRE DEVELOPMENT LEVELS AND TH DETENTION REQUIREMENT FOR THIS SITE HAS BEEN MET.

STORMWATER RUNOFF SUMMARY

(NRCS METHODOLOGY USED TO CALCULATE THE 24-HOUR STORM)

PRE-DEVELOPMENT PEAK FLOW:

POST-DEVELOPMENT PEAK FLOW:

 Q_2 PRE-DEVELOPMENT = 1.03 cfs

Q₂ POST-DEVELOPMENT, DRAINAGE AREA (CONTROLLED) = 0.73 CFS Q2 POST-DEVELOPMENT, DRAINAGE AREA (UNCONTROLLED) = 0.26 CFS

Q₂ POST-DEVELOPMENT TOTAL = 0.99 CFS

POST-DEVELOPMENT DECREASES

 Q_2 DECREASE = 1.03 CFS - 0.99 CFS = 0.04 CFS

THE PROPOSED BIORETENTION FACILITIES WERE DESIGNED TO PROVIDE DETENTION OF THE ONSITE POST DEVELOPMENT RUNOFF WITHIN THEIR DRAINAGE AREAS. THE RESULTING DETENTION PROVIDES A 0.04 CFS DECREASE IN THE 2-YR, 24-HR PEAK FLOW RATES. THUS, THE POST DEVELOPMENT RUNOFF FLOWS ARE ATTENUATED DOWN TO THE PRE DEVELOPMENT LEVELS AND THE DETENTION REQUIREMENT FOR THIS SITE HAS BEEN MET.

STORMWATER RUNOFF SUMMARY

(NRCS METHODOLOGY USED TO CALCULATE THE 24-HOUR STORM)

PRE-DEVELOPMENT PEAK FLOW:

 Q_{10} PRE-DEVELOPMENT = 1.74 CFS

POST-DEVELOPMENT PEAK FLOW: Q_{10} POST-DEVELOPMENT, DRAINAGE AREA (CONTROLLED) = 1.29 CFS Q_{10} POST-DEVELOPMENT, DRAINAGE AREA (UNCONTROLLED) = 0.42 CFS

 Q_{10} POST-DEVELOPMENT TOTAL = 1.71 CFS

POST-DEVELOPMENT DECREASES

 Q_{10} DECREASE = 1.74 CFS - 1.71 CFS = 0.03 CFS

THE PROPOSED UNDERGROUND DETENTION FACILITY WAS DESIGNED TO PROVIDE DETENTION OF THE ONSITE POST DEVELOPMENT RUNOFF WITHIN THEIR DRAINAGE AREAS. THE RESULTING DETENTION PROVIDES A 0.03 CFS DECREASE IN THE 10-YR, 24-HR PEAK FLOW RATES. THUS, THE POST DEVELOPMENT RUNOFF FLOWS ARE ATTENUATED DOWN TO THE PRE DEVELOPMENT LEVELS AND THE DETENTION REQUIREMENT FOR THIS SITE HAS BEEN MET.

APPROVED

DATE RECORDED

INSTRUMENT NO.

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FINAL SITE PLE EXANDRIA SOUTH HENRY STATES ALEXANDRIA 9 0 Z S

 \geq

DATE | REVISION

DESIGN: VMM CHECKED: ACS SCALE: 1" = 20'DATE: JAN 2022

STORMWATER MANAGEMENT **CALCULATIONS**

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS.

 $^{
m f M}$ for exact locations of existing underground utilities. Notify "Miss utility" at 1-800-552-7001, 72 ₩HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION. LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

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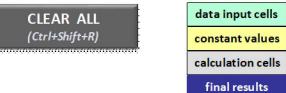
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SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. _____ DIRECTOR DATE

DEED BOOK NO.

2025-10005

CHAIRMAN, PLANNING COMMISSION DATE



Site Information

Annual Rainfall (inches) Target Rainfall Event (inches) Total Phosphorus (TP) EMC (mg/L) Total Nitrogen (TN) EMC (mg/L) Target TP Load (lb/acre/yr) Pi (unitless correction factor)

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → 0.62 Maximum reduction required: 10% The site's net increase in impervious cover (acres) is: Post-Development TP Load Reduction for Site (lb/yr):

BMP Design Specifications List: 2013 Draft Stds & Specs Linear project? No Land cover areas entered correctly? Total disturbed area entered?

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) undisturbed,					0.00
protected forest/open space or reforested					0.00
Managed Turf (acres) disturbed, graded					0.05
for yards or other turf to be				0.05	0.05
Impervious Cover (acres)				0.30	0.30
·		•	•		0.35

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) undisturbed,					0.00
protected forest/open space or reforested					0.00
Managed Turf (acres) disturbed, graded					0.00
for yards or other turf to be				0.00	0.00
Impervious Cover (acres)				0.35	0.35
Area Check	OK.	OK.	OK.	OK.	0.35

 Runoff Coefficients (Rv)								
43		A Soils	B Soils	C Soils	D Soils			
1.00	Forest/Open Space	0.02	0.03	0.04	0.05			
0.26	Managed Turf	0.15	0.20	0.22	0.25			
1.86	Impervious Cover	0.95	0.95	0.95	0.95			

Final Post Dev Site Rv

LAND COVER SUMMARY -- PRE-REDEVELOPMENT Pre-ReDevelopment Listed Adjusted¹ 0.00 0.00 Forest/Open Space Cover (acres) 0.00 Weighted Rv(forest) 0% 0% % Forest 0.05 Managed Turf Cover (acres) 0.00 0.25 0.00 Weighted Rv(turf) 14% 0% % Managed Turf 0.30 0.30 Impervious Cover (acres) 0.95 100% % Impervious 86%

0.35

0.85

0.30

0.95

Total Site Area (acres)

Treatment Volume an	Treatment Volume and Nutrient Load					
Pre-ReDevelopment Treatment Volume (acre-ft)	0.0250	0.0239				
Pre-ReDevelopment Treatment Volume (cubic feet)	1,087	1,042				
Pre-ReDevelopment TP Load (lb/yr)	0.68	0.65				
Pre-ReDevelopment TP Load per acre (Ib/acre/yr)	1.94	2.17				
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment pervious land proposed for new impervious		0.12				

Adjusted Land Cover Summary: Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.

Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).

Column I shows load reduction requriement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).

	Post-Development Requirement for Site Area				
	TP Load Reduction Required (lb/yr)	0.15			
	Nitrogen Loads (Informational Pur	poses Only)			
Pre-ReDevelopment TN Load (lb/yr)	4.89	Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (Ib/yr)	5.46		

LAND COVER SUMMARY -- POST DEVELOPMENT Land Cover Summary-Post (Final) Land Cover Summary-Post Land Cover Summary-Post Post ReDev. & New Impervious Post-ReDevelopment **Post-Development New Impervious** Forest/Open Space orest/Open Space 0.00 0.00 Cover (acres) Cover (acres) Weighted Rv(forest) Weighted Rv(forest) 0% % Forest % Forest Managed Turf Cover Managed Turf Cover 0.00 (acres) Weighted Rv (turf) Weighted Rv (turf) % Managed Turf 0% % Managed Turf Impervious Cover ReDev. Impervious Cover (acres) 100% 100% % Impervious % Impervious Total ReDev. Site Area Final Site Area (acres)

		Treatment Volume an	d Nutrient Lo	pad	
Final Post- Development Treatment Volume (acre-ft)	0.0279	Post-ReDevelopment Treatment Volume (acre-ft)	0.0239	Post-Development Treatment Volume (acre-ft)	0.0040
Final Post- Development Treatment Volume (cubic feet)	1,214	Post-ReDevelopment Treatment Volume (cubic feet)	1,042	Post-Development Treatment Volume (cubic feet)	172
Final Post- Development TP Load (lb/yr)	0.76	Post-ReDevelopment Load (TP) (lb/yr)*	0.65	Post-Development TP Load (lb/yr)	0.11
Final Post-Development TP Load per acre (lb/acre/yr)	2.17	Post-ReDevelopment TP Load per acre (lb/acre/yr)	2.17		

ReDev Site Rv

(Below Pre-

The second secon			
TP Load Reduction Required for Redeveloped Area (lb/yr)	0.07	TP Load Reduction Required for New Impervious Area (lb/yr)	0.09
		100 100 100	

Drainage Area A

Drainage Area A Land Cover (acres)

,						
	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)				0.00	0.00	0.00
Impervious Cover (acres)				0.35	0.35	0.95
				Total	0.35	

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (Ib)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
1. Vegetated Roof (RR)													
1.b. Vegetated Roof #2 (Spec #5)	60		0.09		177	118	296	0		0.19	0.11	0.07	14.a. MTD - Hydrodynamic
14. Manufactured Treatment Devices (14. Manufactured Treatment Devices (no RR)												
14.a. Manufactured Treatment Device- Hydrodynamic	0		0.18	118	0	733	733	20	0.07	0.39	0.09	0.37	

CLEAR BMP AREAS

Total Phosphorus Available for Removal in D.A. A (lb/yr)

Post Development Treatment Volume in D.A. A (ft³)

Site Results (Water Quality Compliance)

Area Checks	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.00	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER (ac)	0.35	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED (ac)	0.26	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA (ac)	0.00	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA TREATED (ac)	0.00	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Site Treatment Volume (ft³)

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	177	0	0	0	0	177
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	0.76	0.00	0.00	0.00	0.00	0.76
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.20	0.00	0.00	0.00	0.00	0.20
TP LOAD REMAINING (lb/yr)	0.56	0.00	0.00	0.00	0.00	0.56
•						

0.80 0.00 NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)

Total Phosphorus

FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	0.76	
TP LOAD REDUCTION REQUIRED (lb/yr)	0.15	
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.20	
TP LOAD REMAINING (lb/yr):	0.56	
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr):	0.00	*

** TARGET TP REDUCTION EXCEEDED BY 0.05 LB/YEAR **

Total Nitrogen (For Information Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	5.46
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	4.66

Enter design storm rainfall depths (in):

1-year storm 2-year storm 10-year storm 2 70 3 20 5 20

		2.70	3.20	3.20		
Drainage Area A		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 0.35
Forest/Open Space undisturbed, protected	Area (acres)	0.00	0.00	0.00	0.00	Runoff Reduction
forest/open space or reforested land	CN	30	55	70	77	Volume (ft ³): 177
Managed Turf disturbed, graded for yards or other	Area (acres)	0.00	0.00	0.00	0.00	-
turf to be mowed/managed	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.00	0.00	0.00	0.35	
Impervious Cover	CN	98	98	98	98	
					CN _(D.A. A)	
					98	
		1-year storm	2-year storm	10-year storm		
RV ₂ (watershed-inch) with no Ru	noff Reduction*	2.47	2 97	4.96		

	1-year storm	2-year storm	10-year storm
RV _{Developed} (watershed-inch) with no Runoff Reduction*	2.47	2.97	4.96
RV _{Developed} (watershed-inch) with Runoff Reduction*	2.33	2.83	4.82
Adjusted CN*	97	97	97

STORM WATER QUALITY NARRATIVE (CITY CODE SECTION 13-109E COMPLIANCE):

THIS 0.3520 SITE GENERATES A NET INCREASE OF IMPERVIOUS AREA FROM PRE-DEVELOPMENT CONDITIONS. PER CITY CODE SECTION 13-109E-(5)(c), DEVELOPMENT OF PRIOR DEVELOPED LANDS RESULTING IN A NET INCREASE IN IMPERVIOUS AREA AND DISTURBING LESS THAN 1 ACRE MUST RESULT IN A 10% DECREASE IN PHOSPHORÙŚ LOADING FROM THE PRE-DEVELOPMENT TOTAL PHOSPHORUS LOAD.

THE VIRGINIA RUNOFF REDUCTION METHOD WAS UTILIZED TO DETERMINE THE STORM WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THIS PROJECT. THE REQUIRED REDUCTION IN TOTAL PHOSPHOROUS IS 0.15 LB. A HYDRODYNAMIC BMP & VEGETATED ROOF ARE PROPOSED FOR THIS SITE. THE REDUCTION ACHIEVED (0.20 LB) MEETS THE REQUIRED 10% REDUCTION (SEE SPREADSHEET ON THIS SHEET). THEREFORE, THE WATER QUALITY MANAGEMENT PERFORMANCE REQUIREMENTS FOR THE PROPOSED DEVELOPMENT PER CITY CODE SECTION 13-109E-(5)(c) HAVE BEEN MET.

A HYDRODYNAMIC BMP & VEGETATED ROOF IS PROPOSED WITH THIS DEVELOPMENT TO TREAT THE MAJORITY OF THE PROPOSED ONSITE IMPERVIOUS AREA. A CONTRIBUTION TO THE ALEXANDRIA WATER QUALITY IMPROVEMENT FUND WILL BE MADE FOR THAT PORTION OF THE WATER QUALITY VOLUME NOT TREATED IN COMPLIANCE WITH CITY CODE SECTION 13-109E-(9) AND SECTION 13-110.

MEMO TO INDUSTRY 01-18 REQUIRES 65% OF THE TOTAL PHOSPHORUS REMOVAL REQUIRED BY THE VIRGINIA STORMWATER MANAGEMENT PROGRAM MUST BE ACHIEVED USING NON PROPRIETARY SURFACE BMPS APPROVED BY THE VIRGINIA STORMWATER BMP CLEARINGHOUSE. 73% [(0.15/0.20)*100 = 73.3%)] OF THE REQUIRED PHOSPHORUS REMOVAL HAS BEEN ACHIEVED THROUGH THE PROJECT'S PROPOSED NON PROPRIETARY BMPs.

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APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. ____ CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED DEED BOOK NO.



M FINAL SITE PL LEXANDRIA SOUTH HENRY S F ALEXANDRIA

DESIGN: VMM CHECKED: ACS SCALE: NO SCALE DATE: JAN 2022

DATE | REVISION

STORMWATER QUALITY COMPUTATIONS



116 SOUTH HENRY STREET

ALEXANDRIA, VA

BAYSAVER BARRACUDA SPECIFICATIONS

GASKETS SHALL BE MADE OF MATERIAL MEETING THE REQUIREMENTS OF ASTM F477.

CONCRETE STRUCTURES: DESIGNED FOR H-20 TRAFFIC LOADING AND APPLICABLE SOIL LOADS OR AS OTHERWISE DETERMINED BY A LICENSED

PROFESSIONAL ENGINEER. THE MATERIALS AND STRUCTURAL DESIGN OF THE DEVICES SHALL BE PER ASTM C857 AND ASTM C858 48" HP MANHOLE STRUCTURES: MADE FROM AN IMPACT MODIFIED COPOLYMER POLYPROPYLENE MEETING THE MATERIAL REQUIREMENTS OF ASTM F2764. THE ECCENTRIC CONE REDUCER SHALL BE MANUFACTURED FROM POLYETHYLENE MATERIAL MEETING ASTM D3350 CELL CLASS 213320C.

SEPARATOR INTERNALS SHALL BE SUBSTANTIALLY CONSTRUCTED OF STAINLESS STEEL, POLYETHYLENE, OR OTHER THERMOPLASTIC MATERIAL APPROVED BY THE MANUFACTURER.

THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE. THE UNIT SHALL BE INSTALLED OFFLINE.

THE STORMWATER TREATMENT UNIT INTERNALS SHALL CONSIST OF(1)SEPARATOR CONE ASSEMBLY, AND (1)SUMP ASSEMBLY WHICH INCLUDES(4) LEGS

THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS, SAID REMOVAL SHALL BE BASED ON FULL-SCALE THIRD PARTY TESTING USING OK-110 MEDIA GRADATION OR EQUIVALENT AND 300 mg/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE

THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH d_{50} =75 MICRON AND 200 MG/L INFLUENT CONCENTRATION.

THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER CURRENT NJDEP/NJCAT HDS PROTOCOL

STORMWATER TREATMENT UNIT

EACH STORMWATER TREATMENT SYSTEM SHALL BE A BARRACUDA SYSTEM AS MANUFACTURED BY BAYSAVER, LLC, 1030 DEER HOLLOW DR., MOUNT AIRY, MD 21771, PHONE (301) 829-6470, FAX (301) 829-3747, TOLL FREE 1-800-229-7283 (1-800-BAYSAVER), EMAIL INFO@BAYSAVER.CC

BARRACUDA SYSTEMS MUST BE INSPECTED AND MAINTAINED PERIODICALLY. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EXCEEDS 20 INCHES. MINIMUM INSPECTION IS RECOMMENDED TWICE A YEAR TO MAINTAIN OPERATION AND FUNCTION OF THE UNIT.

MAINTENANCE INSTRUCTIONS 1. REMOVE THE MANHOLE COVER TO PROVIDE ACCESS TO THE POLLUTANT STORAGE. POLLUTANTS ARE STORED IN THE SUMP, BELOW THE BOWL ASSEMBLY VISIBLE FROM THE SURFACE. YOU'LL ACCESS THIS AREA THROUGH THE 10" DIAMETER ACCESS CYLINDER.

- USE A VACUUM TRUCK OR OTHER SIMILAR EQUIPMENT TO REMOVE ALL WATER. DEBRIS, OILS AND SEDIMENT USE A HIGH PRESSURE HOSE TO CLEAN THE MANHOLE OF ALL THE REMAINING SEDIMENT AND DEBRIS. THEN, USE THE VACUUM
- TRUCK TO REMOVE THE WATER
- 4. FILL THE CLEANED MANHOLE WITH WATER UNTIL THE LEVEL REACHES THE INVERT OF THE OUTLET PIPE
- 5. REPLACE THE MANHOLE COVER DISPOSE OF THE POLLUTED WATER, OILS, SEDIMENT AND TRASH AT AN APPROVED FACILITY.
- LOCAL REGULATIONS PROHIBIT THE DISCHARGE OF SOLID MATERIAL INTO THE SANITARY SYSTEM. CHECK WITH THE LOCAL SEWER AUTHORITY FOR AUTHORITY TO DISCHARGE THE LIQUID.
- SOME LOCALITIES TREAT THE POLLUTANTS AS LEACHATE, CHECK WITH LOCAL REGULATORS ABOUT DISPOSAL REQUIREMENTS. ADDITIONAL LOCAL REGULATIONS MAY APPLY TO THE MAINTENANCE PROCEDURE.

INSTALLATION OF THE STORMWATER TREATMENT UNIT(S) SHALL BE PERFORMED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. SUCH INSTRUCTIONS CAN BE OBTAINED BY CALLING ADVANCED DRAINAGE SYSTEMS AT (800) 821-6710 OR BY LOGGING ON TO WWW.ADS-PIPE.COM OR WWW.BAYSAVER.COM.

VEGETATED ROOF MAINTENANCE TASKS:

Maintaining your Columbia Green Technologies Green Roof

Maintenance Summary: See Columbia Green's Green Roof Maintenance Manual for detailed

Green Roof Plant Establishment Period

The establishment period for your Columbia Green Technologies green roof is the first full growing season following planting. Careful watering and attention to the green roof system is key to maintaining a healthy roof and heading-off maintenance difficulties down the road.

Installation Season Establishment Period

Fall or Winter Spring and Summer of the following year Until onset of cool fall weather Spring Through summer of the following year Summer

Watering during Establishment:

Required watering during the establishment period depends on the planting technique, region, and current weather conditions. Water may be applied using an automatic irrigation system (recommended), or by hand-watering. Columbia Green recommends irrigation as a management tool during the establishment period and prolonged hot dry weather.

During establishment period, check green roof frequently to ensure that the automatic irrigation system (if installed) is functioning properly, to hand-water (if necessary), and to weed out any invasive plants. Document all maintenance activities.

Recommended Green Roof Watering Schedule

Sedum Cuttings

- Overhead watering twice daily for the first two (2) weeks
- Once a day for the third week Once a week for the next four (4) weeks
- For the duration of the establishment period: As-needed, check at least weekly.

Sedum Plugs, Tiles, and Pre-Grown Green Roof Trays Once a week for the first four (4) weeks

For the duration of the establishment period: As-needed, check at least weekly.

Ongoing Maintenance Activities

A green roof should be inspected by a qualified professional at least once per month during the growing season to assess vegetative cover and to look for leaks, drainage problems, and any rooftop structural concerns. Document all maintenance activities.

Remove Debris:

Remove trash, pebbles, sticks or fallen leaves from the green roof, drains, and ballasted. They can block drainage and smother green roof plants.

Deadhead:

Check for weeds during monthly inspections. Hand weed, do not dig or use pointed tools where there is potential to harm the root barrier or waterproof membrane. Once the green roof grows into a dense cover, weed germination will become less significant. Inspect roof drains, drainage paths, scuppers, and gutters to ensure they are not overgrown and have not accumulated organic matter deposits.

Spent sedum flower stalks may remain throughout the fall and winter. You may choose trim off spent

flowers as necessary.

Growing Media or Plant Replacement:

Inspect the green roof for dead, dying, or invasive vegetation. Plant replacement vegetation as needed. Growing media should be leveled or added to repair bare areas if necessary.

Check Growing Media Moisture Levels:

The green roof should be irrigated or hand-watered during periods of prolonged hot dry weather. Exact irrigation schedule will depend on project region. Because growing media drains quickly, short frequent watering are more impactful then long soaks. Green roofs need water typically during periods of 75 degree weather, with less than 1 inch of rainfall per month. Lack of water can dry out the soil and cause the plants to go dormant, or in extreme cases, to dry up and die. But do not overwater- it is better to use the minimum amount of irrigation. Dry conditions help develop tougher green roof plants.

Check Irrigation System:

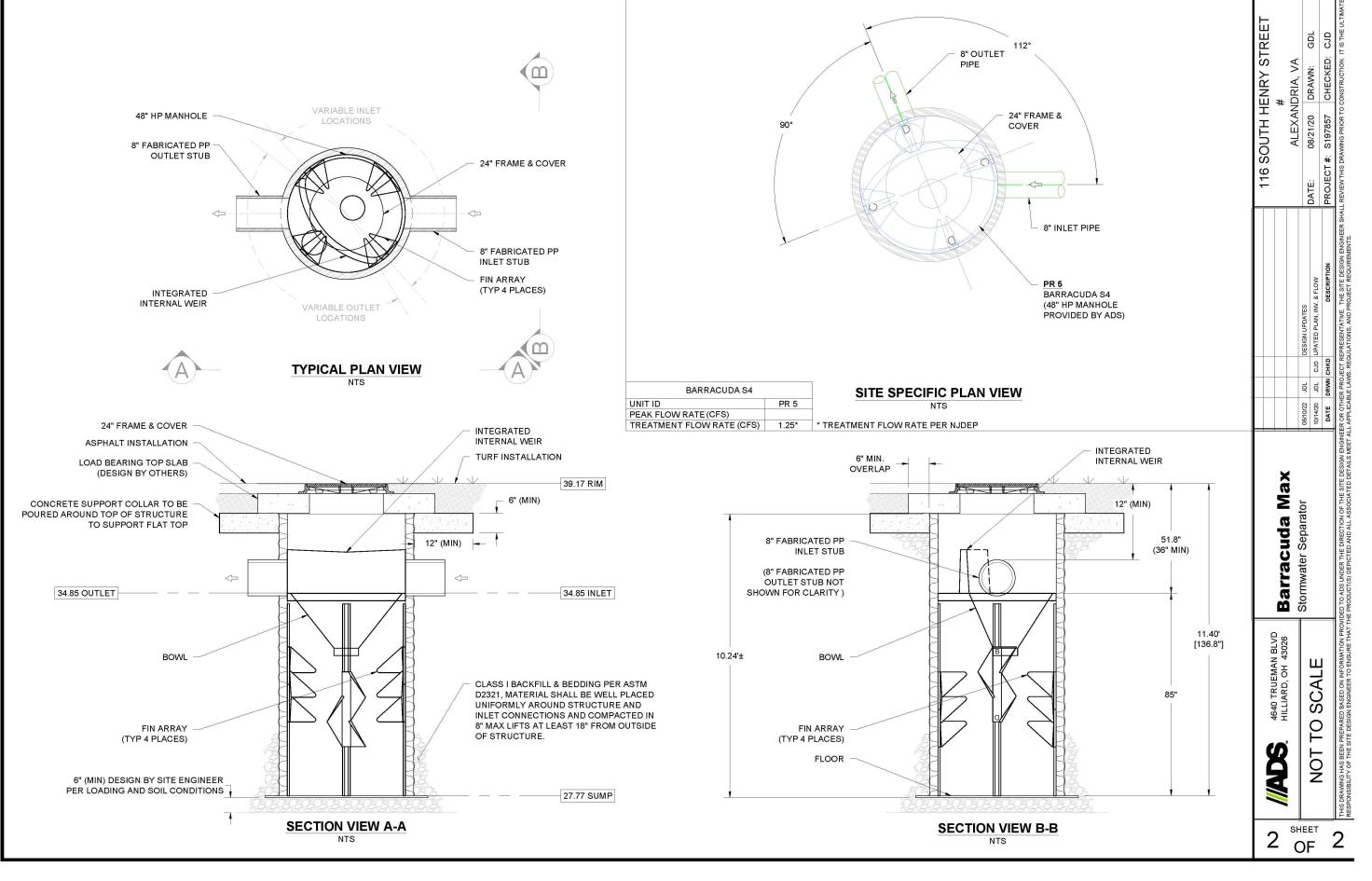
Visually inspect system at each visit to ensure proper functioning. Check valve locations and joints for signs of leaks or breaks in the piping. Visually inspect spray nozzles and drip emitters to ensure they have not become clogged. Check moisture levels on the roof and adjust run times accordingly.

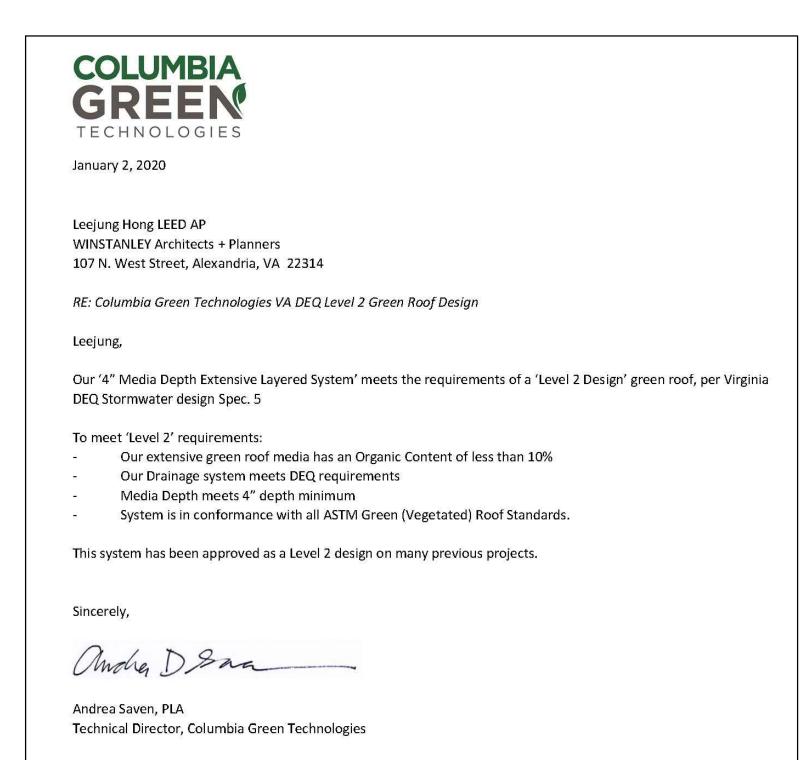
Winterize automatic irrigation system yearly, prior to first frost in your region. Consult irrigation manufacturer for recommendations. Start-up automatic irrigation system in the spring after danger of frost has past.

Fertilizing

Fertilization is generally not recommended due to the potential for leaching of nutrients from the green roof. Supplemental fertilization may be required following the first growing season, but only if plants show signs of nutrient deficiencies and a media test indicates a specific deficiency. Sedums do not require high levels of fertility to do well. Maintaining a green roof in a state of low fertility discourages weed growth.

Avoid the use of herbicides, insecticides, and fungicides, since their presence could hasten degradation of some waterproofing membranes. Check with the membrane manufacturer for approval and warranty information. Also avoid power washing and other exterior maintenance operations so that cleaning agents and other chemicals do not harm the green roof plants.





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ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

DESIGN: VMM APPROVED CHECKED: ACS SPECIAL USE PERMIT NO. . SCALE: AS NOTED DATE: JAN 2022 DEPARTMENT OF PLANNING & ZONING BMP DETAILS DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES (SHEET 1 OF SITE PLAN NO. _____ DIRECTOR CHAIRMAN, PLANNING COMMISSION DATE

DEED BOOK NO.

INSTRUMENT NO.

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FINAL SITE PLA EXANDRIA SOUTH HENRY S F ALEXANDRIA

DATE | REVISION

9

PEER REVIEW

Pregrown Sedum Mat Product Number: PL4601

Description:

Pregrown sedum mats are a pre-vegetated option for instant coverage on green roofs. They are field-grown on a thin substrate and are compatible with both the Planted-In-Place and Layered Green Roof systems. The mats can be trimmed to fit any shape, including curves and angles.

Benefits:

- Quick and easy installation Immediate vegetative cover
- Minimal maintenance requirements once established
- Media base assures effective plant rooting into the underlying growth media.
- Grown for a minimum of 9months in outdoor field conditions regional to the project site
- Can be shipped year- round

Technical Data:

Vegetation	Minimum 80% coverage
Substrate: Biodegradable Coconut Coir Fiber/ Soil base-	Approximately 1/2 - 3/4" thick
Measurements-	47" width x 77" length, 25 sf per roll.
Square footage per pallet	15-16 rolls (375-400 sf) per pallet
Saturated Weight	4.5- 5 lbs/sf

Install sedum mats directly over a minimum 2-inch depth freshly wetted and leveled growing media. Maintain good overall contact with the media avoiding gaps between and beneath the mats. Water thoroughly after installation. Overhead irrigation is recommended twice weekly for 3-4 weeks. Plantings installed during very cool fall weather may only need the initial irrigation. Storage/Precautions:

- If temperatures exceed 75°F [20°C], it is best to unroll and install sedum mats within 2 hours of arrival.
- If necessary, rolled sedum mats may be stored in a cool location for a maximum of 24 hours. Do not leave plants in hot storage areas.
- Do not leave plants in hot, closed storage areas.

LEED Compliance:

500 mile or less Component Source Location- We partner with growers throughout North America. Contact Columbia Green Technologies for project-specific source location.

Plant List: Plant list is subject to change based on availability of plants/cuttings

This mix provides Winter interest and seasonal color changes for year-round beauty. It flowers throughout the growing season. This is a hardy, general-purpose mix that can handle sun and shade conditions. Each pregrown mat includes 12-16 sedum varieties.

Sedum spurium 'Fuldaglut'

TECHNOLOGIE

Filtration Layer

Description:

Sedum acre 'Aureum' Sedum acre 'Gold Moss' Sedum spurium 'John Creech' Sedum spurium 'Red Carpet' Sedum album 'Coral Carpet' Sedum kamtschaticum Sedum album 'Murale' Sedum kamtsch. 'Variegatum'

Sedum stefco

Sedum takesimensis 'Golden Carpet' Sedum florif. 'Weihenstephaner Gold'

Product NUMBER: ML2104, or typically adhered to drainage layer

The Filtration Layer is typically adhered directly to the drainage layer for ease of installation. The Filtration Layer, when installed

engineered permeable/flux membrane between the vegetative

with the other layered green roof components, creates an

and drainage layers. Fabricated from 50% recycled durable spunbonded polyester, the non-directional weave design

prevents gravitational erosion of the growing media. The

filtration fabric will not unravel, fray or wrinkle.

COLUMBIA

TECHNICAL INFORMATION SHEET

Layered System for Extensive Green Roofs

Description:

The Extensive Layered System is a lightweight, cost effective built-up vegetative roof system consisting of a drainage layer, filter layer, and water retention layer. Columbia Green Extensive growing media, engineered to maximize stormwater retention and plant health, is used in this system. Able to fit nearly any design, this system can be used on any roof layout since the layers can be easily cut on-site to fit curves and angles. These layers provide a viable foundation for the growing media and plant

The extensive layered system is designed for stormwater management. It detains and retain rain and irrigation water, to reduce or eliminate roof runoff. The system supports healthy root systems by allowing airflow under and up through the multilayered system. This high level of air permittivity throughout the individual layers also aids in de-energizing air flow under the system thus reducing the chance of system uplift. The underlying waterproof membrane is protected with the use of a root barrier or protection layer if needed per the membrane requirements.

Growing media depths should be based on root space requirements for plant material selected, structural requirements, and stormwater retention goals. Extensive layered system are typically planted with low growing sedum or other regional groundcover adapted the rooftop environment. Growing media depths typically range from a minimum of 3-inches to 6-inches.

System Components:

- 1. 0.375" Drainage Layer
- Designed to mitigate excess moisture through ventilation and promote efficient drainage of the growing media
- Description: .375" thick highly permeable three dimensional entangled polypropylene matrix
- Installation: Do not overlap material. Install parallel to slope.

2. Filtration layer

- Adhered to the Drainage Layer, prevents erosion of the growing media
- Description: Durable spun-bonded polyester with non-directional weave
- Installation: Overlap using provided 3" seams

3. 1.0" Water Retention Layer:

- Provides supplemental moisture retention for green roof plants, and anchorage for plant roots
- Description: High loft nonwoven polyester blanket with anchorage points for promoting solid root structures
- Installation: Do not overlap material. Install perpendicular to slope.
- 4. Growing Media: Columbia Green Extensive Growing Media, Regionally Sourced
- See Columbia Green Growing Media Technical Information Sheet
- 5. Plants: Low profile, typically pregrown sedum or sedum plugs and cuttings. Selected by Designer

- Store components in a dry area.
- Store away from sources of ignition and extremely high
- temperatures.

Precautions:

- Avoid prolonged exposure to sunlight, heat, sparks and open
- Wash exposed skin prior to eating, drinking or smoking and at

LEED Information:

- Post-Consumer Recycled Content and Manufacturing Locations: 40%; Euclid, Ohio 44117 Drainage Layer Filtration Layer 0%; Euclid, Ohio 44117
- Michigan City, IN 46360 Water Retention Layer

System Weight*:

Packaging/Component Size:

.375" Drainage Layer, 1" Water Retention Layer, includes 2 lbs/s.f. plant material weight (plugs or cuttings)

System Depth	Dry Weight	Saturated Weight
3" Media Depth	11-14 lbs./ft ²	20-24 lbs./ft ²
4" Media Depth	14-18 lbs./ft ²	26-30 lbs./ft ²
6" Media Depth	20-26 lbs./ft ²	37-43 lbs./ft ²

* System weights vary by region due to variances in growing media weight contact your local representative for more information.

The Filtration Layer does not support mold. Installation is simple and straight forward involving only heavy duty scissors to cut to

the required shape including curves and angles.



- As a separate: Install Filtration Layer perpendicular to Drainage Layer. Provide 6" overlap at seams.

Storage:

- Store components in a dry area.
- Store away from sources of ignition and extremely high temperatures. Precautions:

Avoid prolonged exposure to sunlight, heat, sparks and open flames.

Wash exposed skin prior to eating, drinking or smoking and at the end of each shift.

LEED Information: Manufacturing Location: Euclid, Ohio 44117

Post-Consumer Recycled Content: 0%

Technical Data:		
Physical Property	Test Method	Value
Material		Polyester
Weight	ASTM D5261	2.1 oz. / yd²
Roll Width		6 ft.
Roll Length		300 ft.
Roll Diameter (When Shipped)		12"± dia. roll
Roll Coverage		1800 ft ²
Roll Weight		32 lbs.
Thickness	ASTM D1777	14 mls
Grab Tensile	ASTM D4632	80 lbs.
Trapezoid Tear	ASTM D4533	80 lbs.
Flow Rate	ASTM D4491	250 gpm. / ft ²

→ RETENTION LAYER → FILTRATION LAYER ➤ ■ DRAINAGE LAYER

→ VEGETATION

GROWING MEDIA

Sedum reflexum 'Blue Spruce'

Sedum rupestre 'Angelina'

Sedum x Immergrunchen

Sedum sexangulare

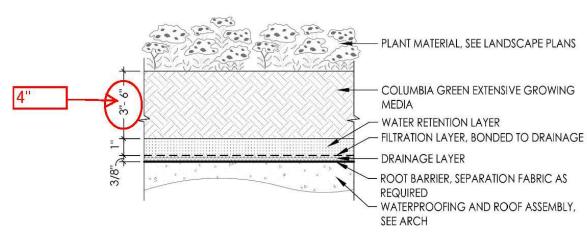
TECHNICAL INFORMATION SHEET

1.0" Water Retention Layer, ML2001 Thickness: 1.0" +/- 0.1" Dimension: 90"W x 54'L Color: White 400 ft² Coverage: 5.1 oz./yd² Packaging: 30"± dia. roll

Filter Layer: Pre-attached to Drainage Layer 3 oz./yd² (0.33 oz./ft²)

0.375" Drainage Layer, ML2007		
Thickness:	0.40"	
Dimension:	48"W. x 100'L.	
Coverage:	400 ft ²	
Weight:	17 oz./yd² (1.88 oz./ft²)	
Packaging:	24"± dia. roll	





COLUMBIA

TECHNICAL INFORMATION SHEET

Extensive Growing Media

Description:

The following technical information sheet covers the production and materials for use in lightweight growing media blends on extensive vegetative roof assemblies.

Product NUMBER: GM3100 Bulk, GM3103 2 CY Super Sacks

Our extensive vegetative roof growing media is regionally blended and formulated to meet the rigorous standards of the FLL Guidelines for particle size gradation, fines content, dry and saturated bulk density, total porosity, air filled porosity, water retention, hydraulic conductivity, pH balance, soluble salt content and organic matter content.

The growing media is created using only high quality and local sourced product to the greatest extent possible. Per FLL Guidelines this growing media is derived from industry proven materials consisting inorganic and organic materials.

Physical Characteristics:

- 1. Expanded Media Component:
- a. Description: Inorganic expanded Media that is consistent with Pumice, Perlite, Volcanic Cinder Rock, or lightweight expanded clay aggregate.
- 2. Compost Component: a. Description: Nutrient grade compost that is manufactured from recycled material and is mixed with the
 - other three components by a composter that is enrolled in the United States Compost Council's (USCC) Seal of Testing Assurance (STA) Program b. Only compost products the meet all applicable state and federal regulations,
 - Section 07 33 63 www.federalgreenspec.wbdg.org pertaining to its production and distribution are used in this application. c. All approved compost products meet all applicable state and federal regulations for chemical contaminants
- (e.g. heavy metals, pesticides, etc.) and pathogen limits pertaining to the source materials in which it was 3. Organic Component:
- a. Description: Fiber or organic material that is a clean cellulose product that adds friability to media, filtration, and agronomic horticultural attributes.

Storage: • Store in a dry area free of potential contaminants which may adversely affect the engineered blend including

• Store away from sources of ignition and extremely high temperatures, when media is shipped in bags or totes.

Precautions:

- When media is placed in bags or totes, avoid prolonged exposure to sunlight, heat, sparks and open flames.
- When media is delivered in bulk, cover media piles as needed to reduce effects of potential weather conditions
- including heavy rains and winds. • Wash exposed skin prior to eating, drinking or smoking and at the end of each shift.

LEED Information:

Manufacturing Location and Post-Consumer Recycled Content:

Varies; contact Columbia Green for project-specific information.

Physical Properties*:

Proportion of silting components < 0.063 mm	Mass %	≤ 15
Proportion of particles < 0.25 mm 60 mesh	Mass %	5 - 30
Proportion of particles < 1.00 mm 18 mesh	Mass %	10 - 50
Proportion of particles < 2.00 mm 10 mesh	Mass %	30 - 70
Proportion of particles < 3.20 mm 1/8 inch	Mass %	40 - 80
Proportion of particles < 6.30 mm 1/4 inch	Mass %	65 - 95
Proportion of particles < 9.50 mm 3/8 inch	Mass %	100
Density Measurements		
Bulk Density (dry weight basis)	lb/ft³	30 - 55
Bulk Density (at max. water-holding capacity)	lb/ft³	55 – 75
Water/Air Measurements		
otal Pore Volume	Vol. %	≥ 50
Maximum water-holding capacity	Vol. %	35 – 65
Air-filled porosity at max water-holding capacity	Vol. %	≥ 10
Nater permeability (saturated hydraulic conductivity)	in/min	0.024 - 2.83
oH and Salt Content		
oH (in CaCl ₂)		6.0 - 8.0
* * * * * * * * * * * * * * * * * * * *	g (KCl)/L	< 3.5
Soluble salts (water, 1:10, m:v)	8 (NCI)/ L	
	g (Neil) E	
Organic Measurements Organic matter content		25 - 65
Organic Measurements	g/L	25 - 65
Organic Measurements Organic matter content		25 - 65
Organic Measurements Organic matter content Nutrients		25 - 65 ≤ 200
Organic Measurements Organic matter content Nutrients Phosphorus, P205 (CAL)	g/L	
	g/L mg/L	≤ 200

* Volume measures are guaranteed at the time of production and packing. Settling of materials may occur during transportation and handling. Minor deviations from test data may occur due to the natural variability of the bulk materials used to produce the media blend

Approx. Delivery Weight

1,250 lbs.

1,850 lbs.

2,500 lbs.

HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

Packaging/Component Size: 1.5 cf bags. (palletized in 1 cy increments) 1.5 cf. Bags

1.5 cy

2.0 cy

1.5 cy Tote

2.0 cy Tote

Bulk	40-60 cy. / truck (weight dependent)	48,000 lbs. (more with tanden
* Recommended 10%-15% addit	ional growing media (by volume) be ordered to acco	ount for long term settling of product

PEER REVIEW

COLUMBIA

TECHNICAL INFORMATION SHEET

----- VEGETATION

— GROWING MEDIA

RETENTION LAYER

→ FILTRATION LAYER

- DRAINAGE LAYER

Drainage Layer

Product NUMBER: ML2107 - 0.375" thickness ML2105 - 0.75" thickness

thicknesses, a 0.375 inch and 0.75 inch.

The Drainage Layer is designed to mitigate moisture and moisture vapors through ventilation and evaporation and promote proper drainage of the growing media. Critical for preventing ponding and moving excess water across the roof surface to the nearest drain, this layer also allows airflow up through the growing media which helps aerate the vegetative root system. The Drainage Layer is a rolled product developed by drainage engineering experts. The Drainage Layer is available in two

The three dimensional Drainage Layer is composed of extruded polymer woven into an entangled cuspate geometric patterned matrix with heat-welded junctions. This forms a resilient structure specifically designed to provide superior drainage of growing media in vegetative roof assemblies. The Drainage Layer, when installed with the other green roof system components, creates extensive air space and moisture drainage between the waterproof roofing membrane and the green roof vegetation.

The high permeability (94%) of the Drainage Layer geomatrix allows for the efficient removal of excess rain or irrigation water while enabling the growing media to retain its natural stability of moisture. The Drainage Layer does not support mold. Installation is simple and straight forward, involving only heavy duty scissors to

cut to shape. The rolls are placed on top of the root barrier or protective sheet and abutted together.

 Do not overlap material. Unroll parallel to slope. Install below Filtration and Retention Layers. When installing with optional attached Filtration Layer; overlap the provided 3" seams.

Storage:

Precautions:

Store components in a dry area.

• Store away from sources of ignition and extremely high temperatures.

Avoid prolonged exposure to sunlight, heat, sparks and open flames. Wash exposed skin prior to eating, drinking or smoking and at the end of each shift.

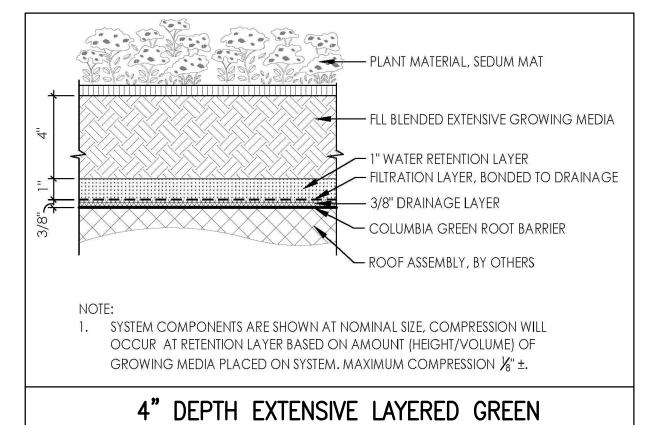
- **LEED Information:**
- Manufacturing Location: Euclid, Ohio 44117 Pre-Consumer Recycled Content: 40%

Technical Data – ML2107 – 0.375" Thickness:

Physical Property	Test Method	Value
Polymer		Polypropylene
Thickness		0.40 in
Weight		17 oz. / yd²
Roll Width		4 ft.
Roll Length		100 ft.
Roll Diameter (When Shipped)		24"± dia. roll
Roll Coverage		400 ft ²
Roll Weight		48 ± lbs.
Flow Rate		≥ 10 gpm

Technical Data – ML2105 – 0.75" Thickness:

Physical Property	Test Method	Value
Polymer		Polypropylene
Thickness		0.75 in
Weight		16.7 oz. / yd²
Roll Width		4 ft.
Roll Length		50 ft.
Roll Diameter (When Shipped)		24"± dia. roll
Roll Coverage		200 ft ²
Roll Weight		48 ± lbs.
Permeability	ASTM E283	50 CFM
Flow Rate		≥ 10 gpm



ROOF DETAIL NO SCALE

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SITE PLAN NO. ____ EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES. NOTIFY "MISS UTÍLITY" AT 1-800-552-7001. 72 LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

APPROVED

DEPARTMENT OF PLANNING & ZONING

SPECIAL USE PERMIT NO.

BMP DETAILS (SHEET 2 OF DEED BOOK NO.

DATE | REVISION

DESIGN: VMM

CHECKED: ACS

SCALE: AS NOTED

DATE: JAN 2022

Particle Cize Distributio

VEGETATED ROOF AS-BUILT CHECKLIST:

Construction Inspection Checklist: Vegetated Roof

Project Name:	Address:	
DSP/DSUP/GRD #:	Construction Start Date:	
Contractor:	Telephone:	
Certifying Professional:	Telephone:	

- BMP ID and General Location: • The certifying professional must be a Virginia licensed Professional Engineer, Landscape Architect or Land
- A certification is required pursuant to 9VAC25-870-55 of the Virginia Stormwater Management Regulations for all stormwater BMP facilities.
- Inspectors should review the plans carefully and adjust these items and the timing of inspection verification as needed to ensure the intent of the design is met. The standard for design of this practice is based on the Virginia Stormwater BMP Clearinghouse.

Instructions:

- Mark each item as complete or write in "N/A" for those items that are not applicable.
- Fill in the blanks for requested information on dimensions, materials, etc.
- Provide one or more labeled photos for applicable items; check boxes indicate items that require photos. Photos requiring measurements (indicated with a dimension to be populated) must include visual verification (ruler, measuring tape, etc.).

Preconstru	7.5		
Complete	Photo	Description	Date
		The tentative schedule for construction has been identified and the requirements and schedule for interim inspections verified.	
		A pre-construction meeting with the contractor designated to install the vegetated roof, the City SWM/ESC inspector, and the person completing this checklist has been conducted.	
		The SWPPP has been reviewed and requirements verified by the contractor, the person conducting inspections, and the City SWM/ESC inspector (projects over one acre of disturbance)	

Complete	Photo	Description	Date
		The roof is constructed with the proper slope and material.	
		Roof dimensions meet required dimensions per the approved plan. Vegetated roof dimensions and surface area: ———————————————————————————————————	
		Waterproofing has been installed per the manufacturer's specifications and is watertight.	
		A flood test has been performed to ensure the system is watertight. A flood test consists of placing at least 2" of water over the membrane for 48 hours to confirm the integrity of the waterproofing system.	

Complete	Photo	Description	Date
		Verify the type of vegetated roof system installed: Tray System Built in Place System	
		Root barrier, insulation, filter fabric and drainage layers are installed per the approved plan/design specifications.	
		Growing media meets the approved plan/design specifications and is applied to correct depth. Growing Media Depth: inches	
		Conveyance/overflow structures are installed per the approved plan/design specifications. Type: Dimensions: Locations:	
		Plant installation conforms to the approved plan/design specifications and all plants are healthy.	
		Safe access for maintenance has been constructed per the approved plan.	
		Provide a photo of the completed BMP after completion of construction.	

Complete	Photo	Verify installed per approved plans/specifications	Material	Depth	Inspection Date
		Roof deck layer			
		Water proofing layer			
		Root barrier			
		Protection layer			
		Leak detection system			
		Thermal insulation barrier			
		Gravel drainage layer			
		Filter fabric			
		Growth media			

Comments Documenting Field Changes and Other Notable Items	Date

All items checked above have been ins	spected by me (or by an individual under my responsible charge) and
	n and conform to the approved plans and specifications (or deviations as not
above).	11

HYDRODYNAMIC BMP AS-BUILT CHECKLIST:

Construction Inspection Checklist: Hydrodynamic

	CONT	
Project Name:	Address:	
DSP/DSUP/GRD #:	Construction Start Date:	
Contractor:	Telephone:	-2
Certifying Professional:	Telephone:	=
BMP ID and General Location:		

- The certifying professional must be a Virginia licensed Professional Engineer, Landscape Architect or Land
- A certification is required pursuant to 9VAC25-870-55 of the Virginia Stormwater Management Regulations for all stormwater BMP facilities.
- Inspectors should review the plans carefully and adjust these items and the timing of inspection verification as needed to ensure the intent of the design is met. The standard for design of this practice is based on the Virginia Stormwater BMP Clearinghouse.

Instructions:

- Mark each item as complete or write in "N/A" for those items that are not applicable. • Fill in the blanks for requested information on dimensions, materials, etc.
- Provide one or more labeled photos for applicable items; check boxes indicate items that require photos. Photos
 requiring measurements (indicated with a dimension to be populated) must include visual verification (ruler, measuring tape, etc.).

Preconstru	ction Me	eting	
Complete	Photo	Description	Date
		The tentative schedule for construction has been identified and the requirements and schedule for interim inspections verified.	
		A pre-construction meeting with the contractor designated to install the hydrodynamic device, the City SWM/ESC inspector, and the person completing this checklist has been conducted.	
		The SWPPP has been reviewed and requirements verified by the contractor, the person conducting inspections, and the City SWM/ESC inspector (projects over one acre of disturbance)	

Hydrodyna	ımic Dev	rice Construction	
Complete	Photo	Description	Date
		Verify the type of hydrodynamic device installed: MTD Manufacturer: MTD Name / Model:	
		Inflow pipe: Material: Diameter: in. Invert-in elev. (if accessible) Connection to the BMP structure is in accordance with manufacturer's specification. Type of connection:	
		Outflow pipe: Material: Diameter: in. Invert-out elev. (if accessible) Connection to the BMP structure is in accordance with manufacturer's specification, Type of connection:	

	Conveyance/overflow structures are installed per the approved plan/design specifications. Type: Dimensions:	
	All sediment, debris, greases and oils removed from the device after final stabilization.	
	Provide a photo of the completed BMP after completion of construction.	

Comments	Da

	(or by an individual under my responsible charge) and approved plans and specification (or deviations as noted above).
Signature:	Date:
Certifying Professional's License Number (or Seal):	

APPROVED SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING

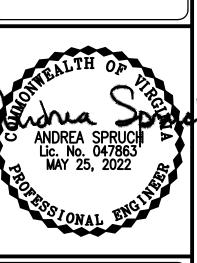
DIRECTOR	DATE
DEPARTMENT OF TRANSPORTATION & SITE PLAN NO.	ENVIRONMENTAL SERVICES
DIRECTOR	DATE

DMMISSION [DATE	SHEET 23 OF 38
DEED BOOK NO.	DATE	FILE: 19-15.

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LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CHAIRMAN, PLANNING CO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF © 2022 R.C. FIELDS & ASSOCIATES, INC.

PEER REVIEW

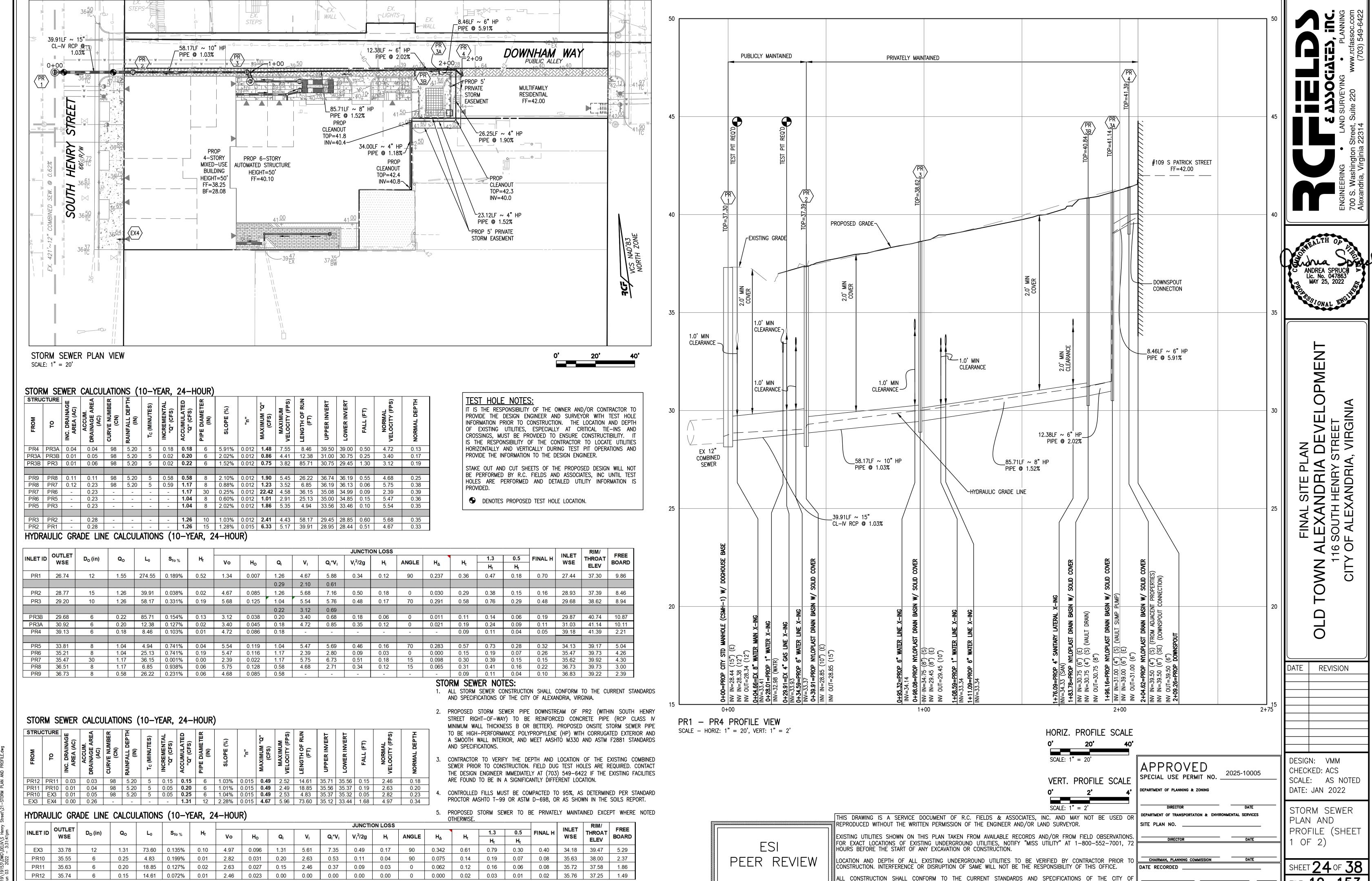


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DATE REVISION

DESIGN: VMM CHECKED: ACS SCALE: AS NOTED DATE: JAN 2022

AS-BUILT CHECKLISTS

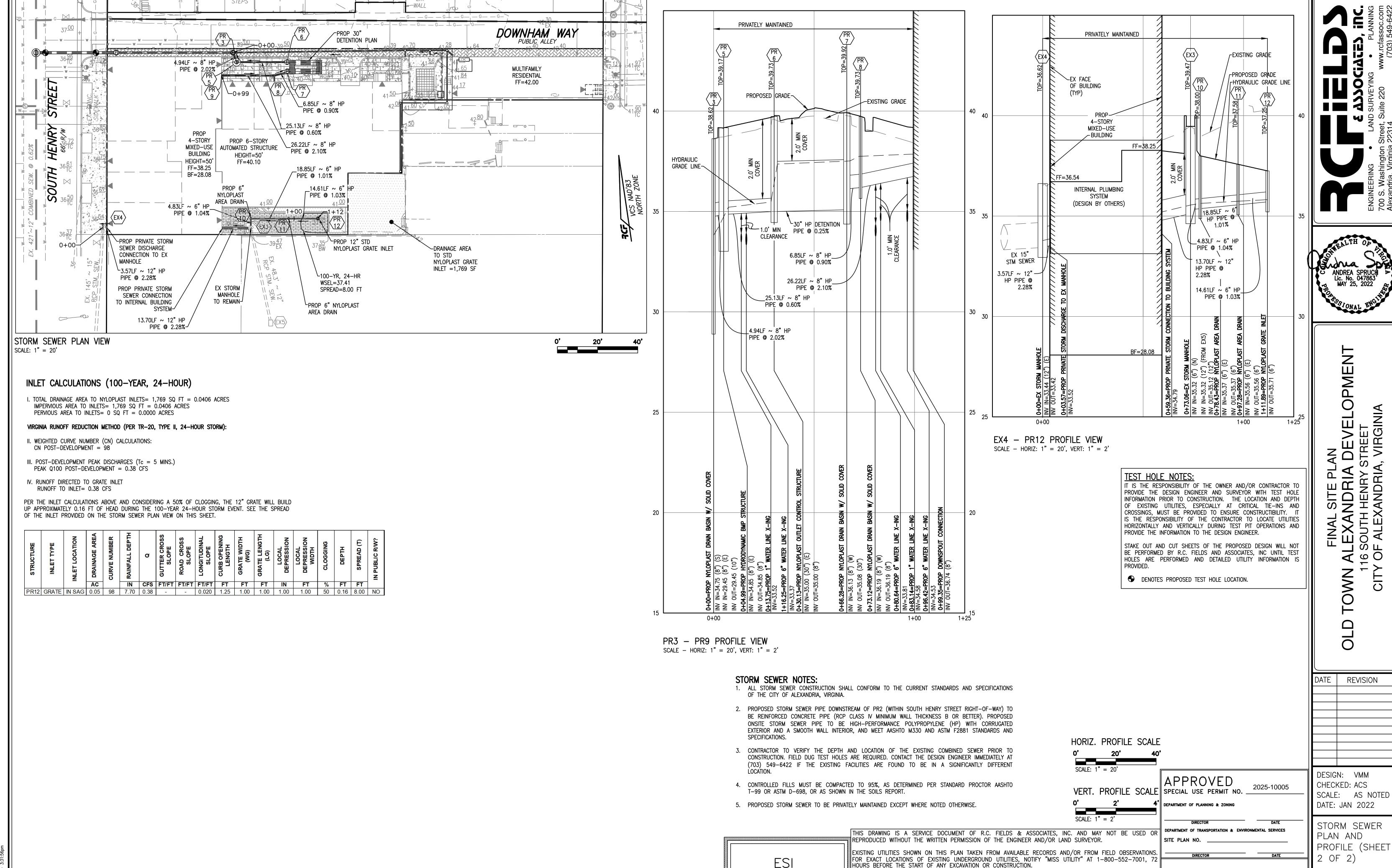


INSTRUMENT NO.

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DEED BOOK NO.

:\2019\19153\DWG\DELIV\S Henry Street\21-STORM PLAN AND PROFILE.dwg



CHAIRMAN, PLANNING COMMISSION DATE

DEED BOOK NO.

DATE RECORDED

INSTRUMENT NO.

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LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

PRIVATELY MAINTAINED EXISTING GRADE - PROP GRADE FF=37.10 HYDRAULIC GRADE LINE-EX. 12" COMBINED _9.01LF ~ 6" PVC SEWER-__SDR-26 @ 1.04% 26.49LF ~ 6" PVC SDR-26 @ 1.04%

0+00 SANITARY LATERAL 1 PROFILE VIEW SCALE - HORIZ: 1" = 20', VERT: 1" = 2'

TO FINAL INSTALLATION.

PROVIDED.

TEST HOLE NOTES:

LATERAL CONNECTION CONSTRUCTABILTY NOTE:

CONTRACTOR TO CONFIRM DEPTH, SIZE, AND INVERT OF EXISTING

SANITARY SEWER AT PROPOSED LATERAL CONNECTION TIE-IN POINT PRIOR

IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO

PROVIDE THE DESIGN ENGINEER AND SURVEYOR WITH TEST HOLE INFORMATION PRIOR TO CONSTRUCTION. THE LOCATION AND DEPTH OF EXISTING UTILITIES, ESPECIALLY AT CRITICAL TIE-INS AND

CROSSINGS, MUST BE PROVIDED TO ENSURE CONSTRUCTIBILITY. IT

IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE UTILITIES HORIZONTALLY AND VERTICALLY DURING TEST PIT OPERATIONS AND

STAKE OUT AND CUT SHEETS OF THE PROPOSED DESIGN WILL NOT

BE PERFORMED BY R.C. FIELDS AND ASSOCIATES, INC UNTIL TEST HOLES ARE PERFORMED AND DETAILED UTILITY INFORMATION IS

PROVIDE THE INFORMATION TO THE DESIGN ENGINEER.

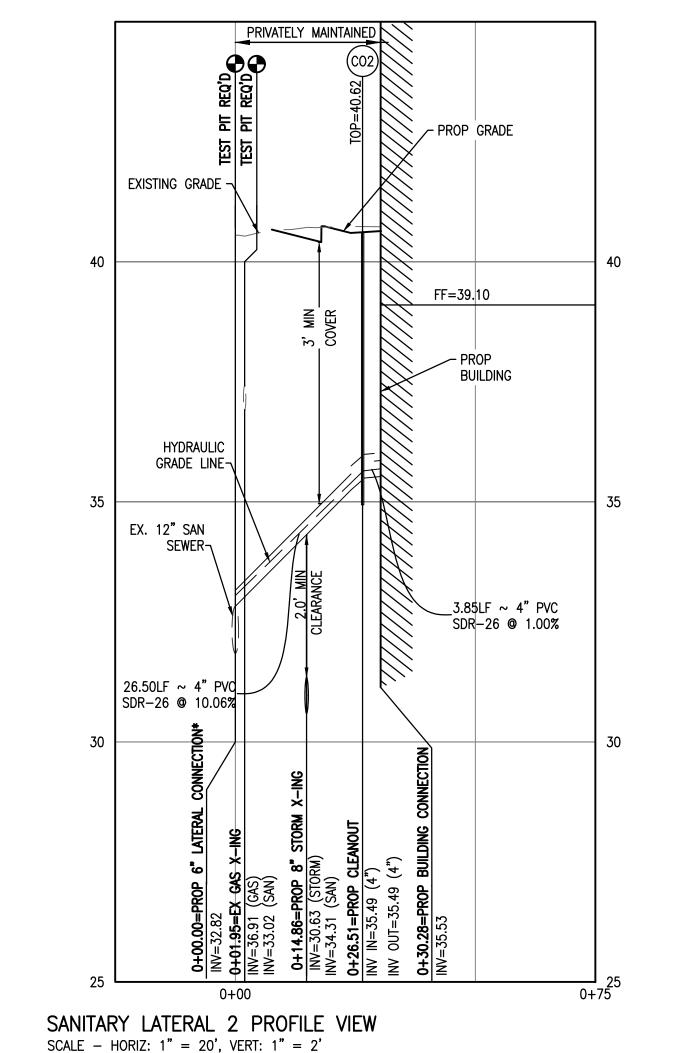
DENOTES PROPOSED TEST HOLE LOCATION.

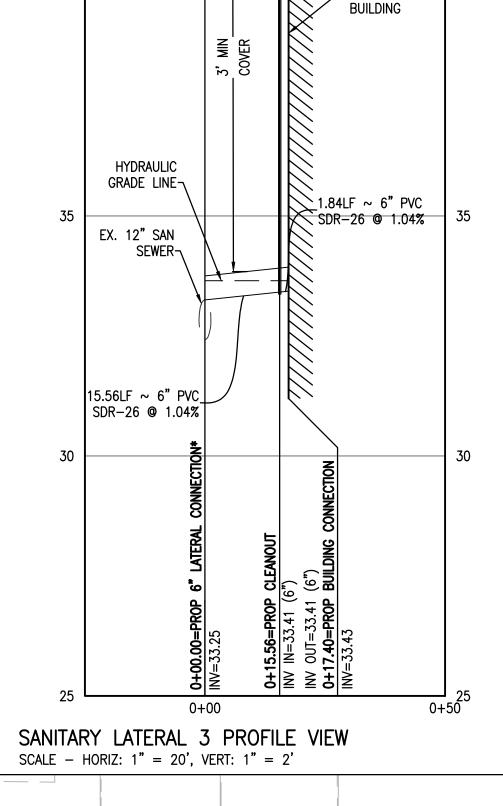
SANITARY LATERAL COMPUTATIONS

STRUCTU	JRE	6	S)						(S)					S)	
FROM	10	INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	MATERIAL	" u"	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)	NORMAL VELOCITY (FPS)	NORMAL DEPTH (FT)
BUILDING1	CO.1	0.0019	0.0019	6	1.04%	PVC	0.010	0.76	3.72	9.01	29.53	29.44	0.09	0.76	0.02
CO.1	S1	0.0000	0.0019	6	1.04%	PVC	0.010	0.78	3.83	26.49	29.44	29.16	0.28	0.76	0.02
BUILDING2	CO.2	0.0001	0.0001	4	1.04%	PVC	0.010	0.27	2.96	3.70	35.53	35.49	0.04	0.38	0.01
CO.2	S2	0.0000	0.0001	4	10.02%	PVC	0.010	0.82	9.00	26.65	35.49	32.82	2.67	0.38	0.00
BUILDING3	CO.3	0.0353	0.0353	6	1.04%	PVC	0.010	0.76	3.72	1.84	33.43	33.41	0.02	1.96	0.07
CO.3	S3	0.0000	0.0353	6	1.04%	PVC	0.010	0.76	3.73	15.56	33.41	33.25	0.16	1.96	0.07

SANITARY LATERAL HYDRAULIC GRADE LINE COMPUTATIONS

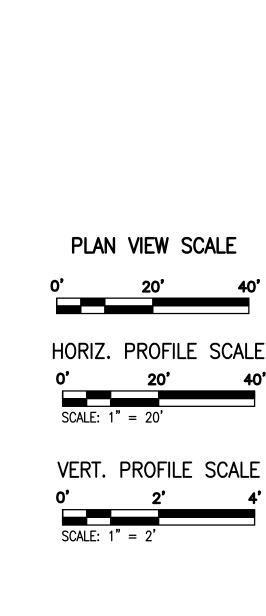
				l I		JUNCTION LOSS						FINAL H INLET		RIM	FREE						
UTLET NSE	D _O (in)	Q_0	L ₀	S _{fo}	H_f	V	и	0	V	O*\/	Vi^2	u.	ANCLE	п.	H _t	1.3	0.5	1			BOARD
N SE						v ₀	п0	Q _i	Vį	Q _i v _i	2g	Πį	ANGLE	ПΔ		Ht	H _t	(1-1)	WSE		BOARD
29.56	6	0.002	26.49	0.0000	0.00	0.02	0.000	0.002	0.02	0.00	0.00	0.000	0	0.000	0.000		0.00	0.00	29.56	36.84	7.28
29.56	6	0.002	9.01	0.0000	0.00	0.02	0.000	-	-	•	-	-	-	-	0.000		0.00	0.00	29.56	37.10	7.54
33.09	4	0.000	26.65	0.0000	0.00	0.00	0.000	0.000	0.01	0.00	0.00	0.000	0	0.000	0.000		0.00	0.00	33.09	40.62	7.53
35.50	4	0.000	3.70	0.0000	0.00	0.01	0.000		-	-	-	-		-	0.000		0.00	0.00	35.50	39.10	3.60
33.65	6	0.035	15.56	0.0000	0.00	0.07	0.000	0.035	0.07	0.00	0.00	0.000	0	0.000	0.000		0.00	0.00	33.65	42.35	8.70
33.65	6	0.035	1.84	0.0000	0.00	0.07	0.000	121	12	12	-	-	-	=	0.000		0.00	0.00	33.65	42.00	8.35
29 29 33 35	0.56 0.56 3.09 5.50	9.56 6 9.56 6 8.09 4 6.50 4	3.56 6 0.002 0.56 6 0.002 0.00 4 0.000 0.50 4 0.000 0.65 6 0.035	0.56 6 0.002 26.49 0.56 6 0.002 9.01 0.09 4 0.000 26.65 0.50 4 0.000 3.70 0.65 6 0.035 15.56	0.56 6 0.002 26.49 0.0000 0.56 6 0.002 9.01 0.0000 0.09 4 0.000 26.65 0.0000 0.50 4 0.000 3.70 0.0000 0.65 6 0.035 15.56 0.0000	0.56 6 0.002 26.49 0.0000 0.00 0.56 6 0.002 9.01 0.0000 0.00 0.09 4 0.000 26.65 0.0000 0.00 0.50 4 0.000 3.70 0.0000 0.00 0.65 6 0.035 15.56 0.0000 0.00	3E V ₀ 0.56 6 0.002 26.49 0.0000 0.00 0.02 0.56 6 0.002 9.01 0.0000 0.00 0.02 3.09 4 0.000 26.65 0.0000 0.00 0.00 5.50 4 0.000 3.70 0.0000 0.00 0.01 3.65 6 0.035 15.56 0.0000 0.00 0.07	V ₀	V ₀	V ₀ H ₀ Q _i V _i	V ₀ H ₀ Q _i V _i Q _i V _i	V ₀ H ₀ Q _i V _i Q _i V _i 2g 0.56 6 0.002 26.49 0.0000 0.00 0.02 0.000 0.002 0.02 0.00 0.00 0.56 6 0.002 9.01 0.0000 0.00 0.02 0.000 - - - - 0.09 4 0.000 26.65 0.0000 0.00 0.00 0.000 0.000 0.01 0.00 0.00 0.50 4 0.000 3.70 0.0000 0.00 0.01 0.000 - - - - 0.65 6 0.035 15.56 0.0000 0.00 0.07 0.000 0.035 0.07 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.0	No. No.	No. No.	No. No.	No. No.	No. No.	Se	No. No.	No. No.	No. No.

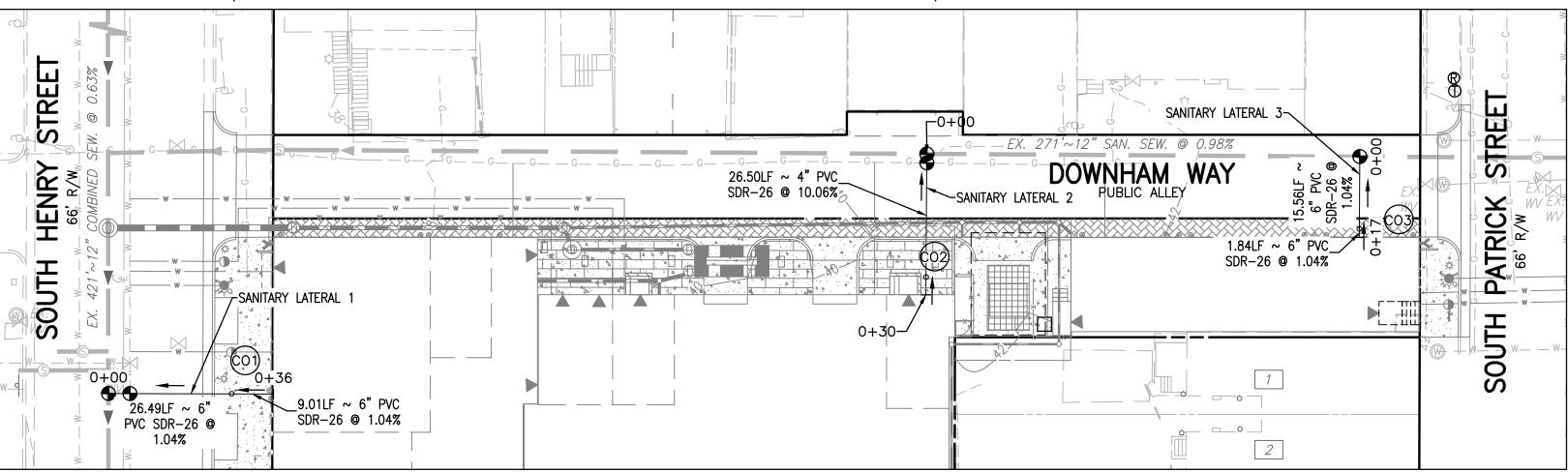




PRIVATELY MAINTAINED (CO

FF=42.00





SANITARY LATERAL PLAN VIEW SCALE: 1" = 20'

> ESI PEER REVIEW ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA.

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APPROVED 2025-10005 SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING SITE PLAN NO.

DEED BOOK NO.

INSTRUMENT NO.

SHEET **26** OF **38** FILE: 19-153

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ALEXANDRIA
16 SOUTH HENRY S
7 OF ALEXANDRIA

DATE REVISION

DESIGN: VMM

CHECKED: ACS

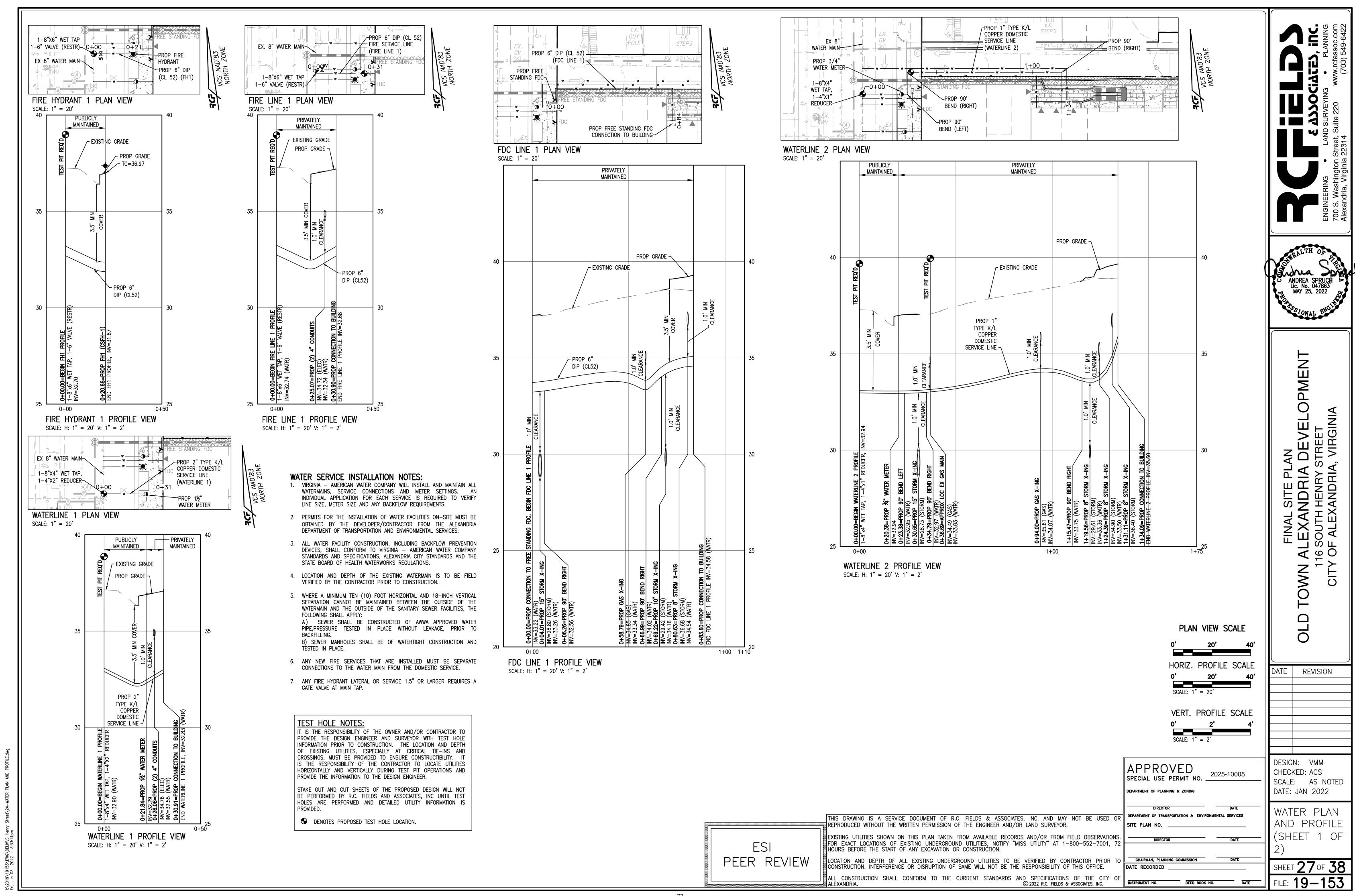
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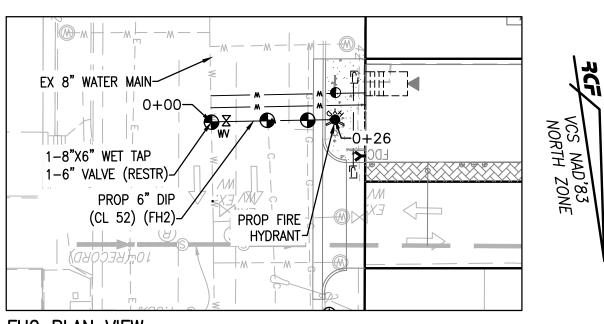
SANITARY

SCALE: AS NOTED

LATERAL PLAN

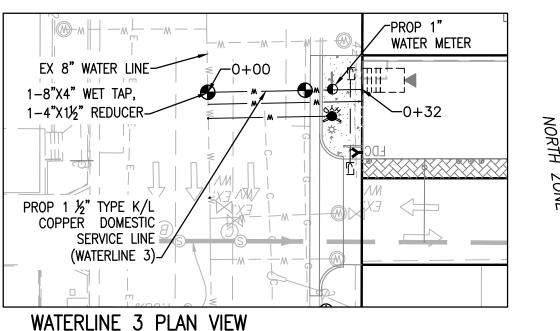
AND PROFILE





MAINTAINED

FH2 PLAN VIEW SCALE: 1" = 20'

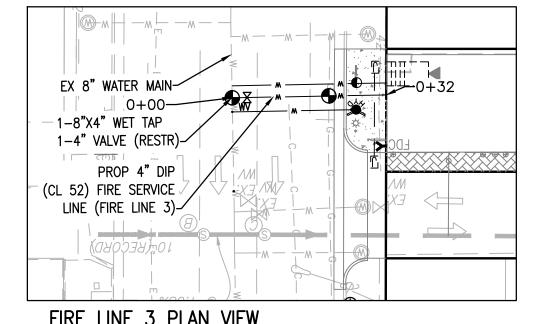


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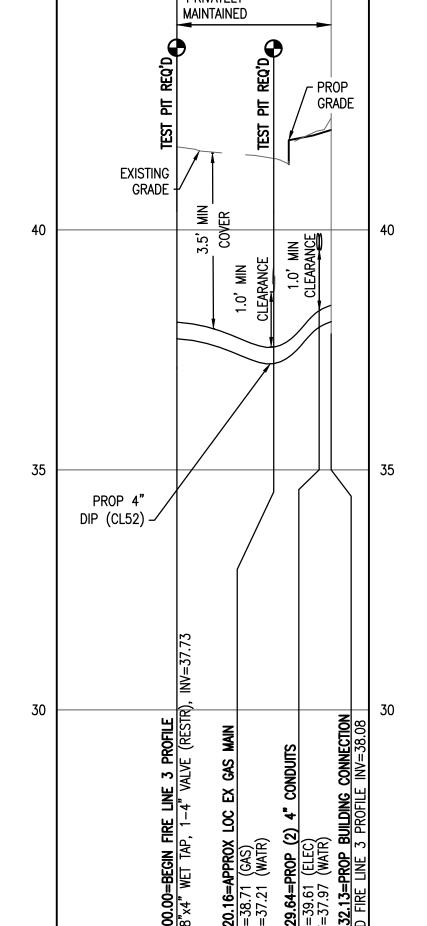
EXISTING GRADE

WATERLINE 3 PLAN VIEW SCALE: 1" = 20'

MAINTAINED

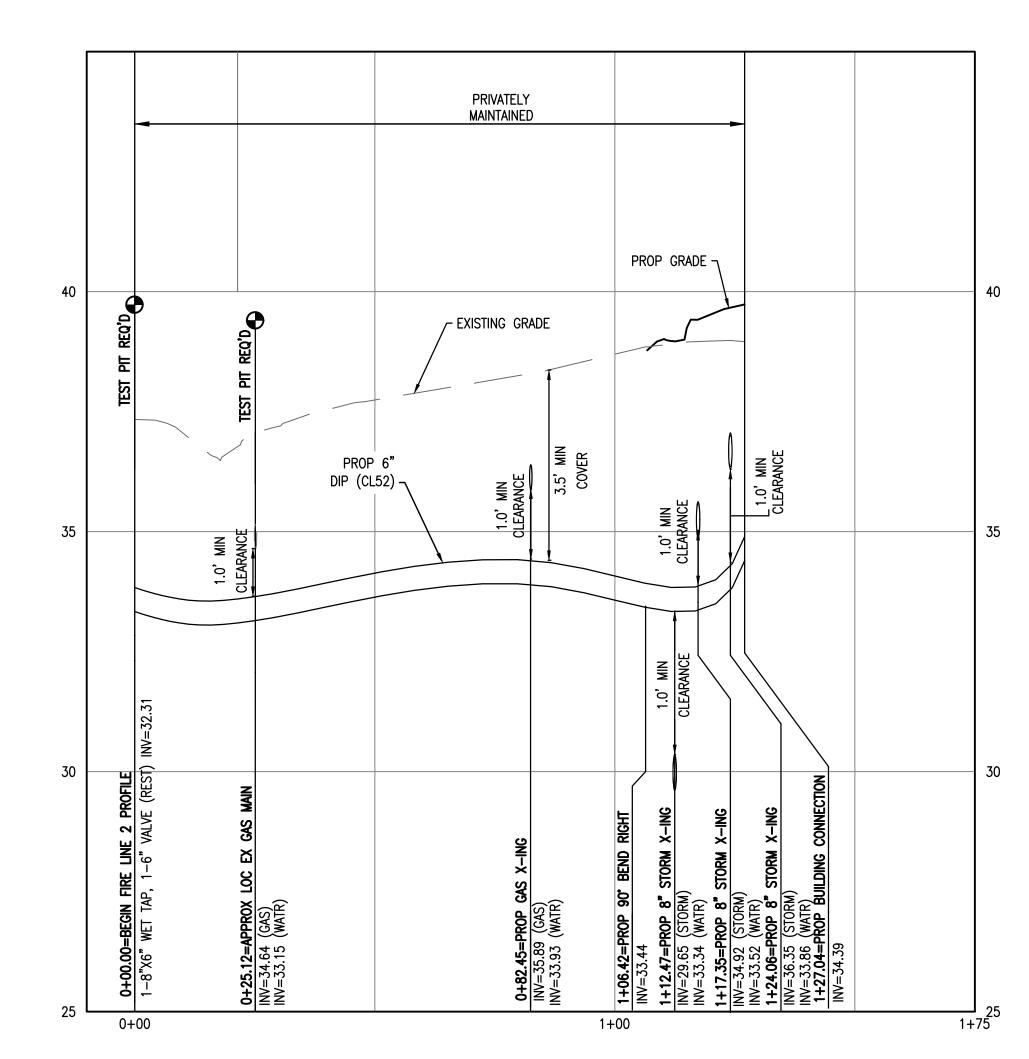


FIRE LINE 3 PLAN VIEW SCALE: 1" = 20



FIRE LINE 3 PROFILE VIEW SCALE: H: 1" = 20' V: 1" = 2'

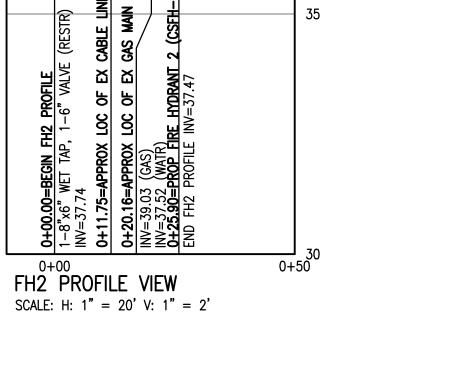
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FIRE LINE 2 PROFILE VIEW SCALE: H: 1" = 20' V: 1" = 2'

FIRE LINE 2 PLAN VIEW

SCALE: 1" = 20



- PROP GRADE

- PROP 6" DIP (CL52)

- EXISTING GRADE

L PROP GRADE PROP 11/2" TYPE K/L COPPER DOMESTIC SERVICE LINE -0+00 WATERLINE 3 PROFILE VIEW

WATER SERVICE INSTALLATION NOTES:

- 1. VIRGINIA AMERICAN WATER COMPANY WILL INSTALL AND MAINTAIN ALL WATERMAINS, SERVICE CONNECTIONS AND METER SETTINGS. AN INDIVIDUAL APPLICATION FOR EACH SERVICE IS REQUIRED TO VERIFY LINE SIZE, METER SIZE AND ANY BACKFLOW REQUIREMENTS.
- 2. PERMITS FOR THE INSTALLATION OF WATER FACILITIES ON-SITE MUST BE OBTAINED BY THE DEVELOPER/CONTRACTOR FROM THE ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.

SCALE: H: 1" = 20' V: 1" = 2'

- 3. ALL WATER FACILITY CONSTRUCTION, INCLUDING BACKFLOW PREVENTION DEVICES, SHALL CONFORM TO VIRGINIA -AMERICAN WATER COMPANY STANDARDS AND SPECIFICATIONS, ALEXANDRIA CITY STANDARDS AND THE STATE BOARD OF HEALTH WATERWORKS REGULATIONS.
- 4. LOCATION AND DEPTH OF THE EXISTING WATERMAIN IS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO
- 5. WHERE A MINIMUM TEN (10) FOOT HORIZONTAL AND 18-INCH VERTICAL SEPARATION CANNOT BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF THE SANITARY SEWER FACILITIES, THE FOLLOWING A) SEWER SHALL BE CONSTRUCTED OF AWWA APPROVED WATER PIPE, PRESSURE TESTED IN PLACE WITHOUT LÉAKAGE, PRIOR TO BACKFILLING. B) SEWER MANHOLES SHALL BE OF WATERTIGHT CONSTRUCTION AND TESTED IN PLACE.
- 6. ANY NEW FIRE SERVICES THAT ARE INSTALLED MUST BE SEPARATE CONNECTIONS TO THE WATER MAIN FROM THE DOMESTIC SERVICE.
- 7. ANY FIRE HYDRANT LATERAL OR SERVICE 1.5" OR LARGER REQUIRES A GATE VALVE AT MAIN TAP.

TEST HOLE NOTES:

IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO PROVIDE THE DESIGN ENGINEER AND SURVEYOR WITH TEST HOLE INFORMATION PRIOR TO CONSTRUCTION. THE LOCATION AND DEPTH OF EXISTING UTILITIES, ESPECIALLY AT CRITICAL TIE-INS AND CROSSINGS, MUST BE PROVIDED TO ENSURE CONSTRUCTIBILITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE UTILITIES HORIZONTALLY AND VERTICALLY DURING TEST PIT OPERATIONS AND PROVIDE THE INFORMATION TO THE DESIGN ENGINEER.

STAKE OUT AND CUT SHEETS OF THE PROPOSED DESIGN WILL NOT BE PERFORMED BY R.C. FIELDS AND ASSOCIATES, INC UNTIL TEST HOLES ARE PERFORMED AND DETAILED UTILITY INFORMATION IS PROVIDED.

DENOTES PROPOSED TEST HOLE LOCATION.

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SCALE: 1" = 20

PLAN VIEW SCALE

HORIZ. PROFILE SCALE

VERT. PROFILE SCALE

APPROVED SPECIAL USE PERMIT NO. 2025-10005 DEPARTMENT OF PLANNING & ZONING	DESIGN: VMM CHECKED: ACS SCALE: AS NOTED DATE: JAN 2022
DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO	WATER PLAN AND PROFILE
DIRECTOR DATE	(SHEET 2 OF 2)
DATE RECORDED	SHEET 28 OF 38
INSTRUMENT NO.	

REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND/OR LAND SURVEYOR.

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M

FINAL SITE PL EXANDRIA SOUTH HENRY S = ALEXANDRIA

DATE REVISION

ALI 6 SC OF

STORMWATER OUTFALL (CITY CODE SECTION 13-109F COMPLIANCE) NARRATIVE:

PRE-DEVELOPMENT CONDITIONS:

THE 0.35 ACRE SITE IS LOCATED IN THE POTOMAC RIVER WATERSHED. IN EXISTING CONDITIONS, THE SITE CONSISTS OF A CITY OF ALEXANDRIA OWNED PARKING LOT. RUNOFF FROM THE SITE SHEET FLOWS TO THE EXISTING ONSITE CURB INLET WHERE IT ENTERS THE CITY MAINTAINED STORM SEWER SYSTEM. IT IS THEN CONVEYED SOUTHERLY VIA A 12" PIPE WHERE IT CONNECTS TO THE COMBINED SEWER SYSTEM LOCATED WITHIN THE SOUTH HENRY STREET RIGHT-OF-WAY (EX.3). RUNOFF IS THEN CONVEYED FURTHER SOUTHEAST VIA AN EXISTING COMBINED SEWER SYSTEM, EVENTUALLY OUTFALLING TO THE POTOMAC RIVER.

PROPOSED CONDITIONS:

THE PROPOSED DEVELOPMENT INCLUDES A MIXED-USE MULTIFAMILY RESIDENTIAL/RETAIL BUILDING, AUTOMATED STRUCTURE, MULTIFAMILY RESIDENTIAL UNITS. AND ASSOCIATED SITE IMPROVEMENTS WHICH WILL RESULT IN A INCREASE IN TOTAL ON-SITE IMPERVIOUS AREA. A PORTION OF THE AUTOMATED STRUCTURE IS FIRST TREATED VIA VEGETATED GREEN ROOF. THE MAJORITY OF THE RUNOFF FROM THE PROPOSED MIXED USE BUILDINGS & AUTOMATED STRUCTURE WILL BE COLLECTED VIA ROOF DRAINS AND PIPED TO THE 30" PIPE DETENTION SYSTEM. ONCE DETAINED, THE RUNOFF IS DIRECTED TO A HYDRODYNAMIC BMP FOR FURTHER TREATMENT. ONCE TREATED RUNOFF IS THEN DIRECTED WEST TO A PROPOSED MANHOLE (PR2) LOCATED IN THE SOUTH HENRY STREET PUBLIC RIGHT-OF-WAY. RUNOFF IS THEN FURTHER CONVEYED TO PROPOSED MANHOLE (PR1) INTO THE EXISTING 12' COMBINED SEWER IN SOUTH HENRY STREET AND OUTFALLS SOUTHEASTERLY AS IN EXISTING CONDITIONS. THE REMAINDER OF THE RUNOFF FROM THE SITE IS COLLECTED BY AREAS DRAINS AND IS THEN DIRECTED WEST TO AN EXISTING MANHOLE (EX.3) LOCATED IN THE SOUTH HENRY STREET RIGHT OF WAY AND OUTFALLS SOUTHEASTERLY AS IN EXISTING CONDITIONS.

THE TOTAL DRAINAGE AREA AT THE PROPOSED STORM MANHOLE (PR2) (POINT OF OUTFALL #1) IS 0.33 ACRES. THE RUNOFF CONTINUES WEST UNTIL REACHING THE POINT OF CONFLUENCE #1 AT STRUCTURE PR1. AT THIS POINT THE RECEIVING PIPE IS JOINED BY ANOTHER THAT HAS A DRAINAGE AREA THAT IS AT LEAST 90 PERCENT THE SIZE OF THE FIRST DRAINAGE AREA (6.36 ACRES). THE ANALYSIS CONCLUDES AT STRUCTURE EX. 2. WHICH IS AN ADDITIONAL 150 FEET DOWNSTREAM OF THE POINT OF CONFLÚENCE. IT WILL THEN CONTINUE UNTIL IT OUTFALLS INTO THE POTOMAC RIVER.

THE TOTAL DRAINAGE AREA TO THE EXISTING STORM MANHOLE (EX.3) (POINT OF OUTFALL #2) IS 0.23 ACRES. THE RUNOFF CONTINUES SOUTH UNTIL REACHING THE POINT OF CONFLUENCE #2 AT STRUCTURE EX.4. AT THIS POINT THE RECEIVING PIPE IS JOINED BY ANOTHER THAT HAS A DRAINAGE AREA THAT IS AT LEAST 90 PERCENT THE SIZE OF THE FIRST DRAINAGE AREA (0.29 ACRES). THE ANALYSIS CONCLUDES AT STRUCTURE EX. 7, WHICH IS AN ADDITIONAL 150 FEET DOWNSTREAM OF THE POINT OF CONFLÚENCE. IT WILL THEN CONTINUE UNTIL IT OUTFALL INTO THE POTOMAC RIVER.

CONCLUSIONS:

THERE IS NO RUNOFF VOLUME INCREASE IN THE FORM OF SHEET FLOW RESULTING FROM PERVIOUS AREAS, DISCONNECTED IMPERVIOUS AREAS OR FROM PHYSICAL SPREADING OF CONCENTRATED FLOW ASSOCIATED WITH THE REDEVELOPMENT OF THIS SITE. THEREFORE, THE SMALL PORTION OF THE RUNOFF THAT EXITS THE SITE IN THE FORM OF SHEET FLOW WILL HAVE NO ADVERSE IMPACTS ON DOWNSTREAM PROPERTIES OR RESOURCES.

SINCE THIS SYSTEM EXPERIENCES LOCALIZED FLOODING IN EXISTING CONDITIONS AND THE PEAK FLOW RATE IS NOT BEING INCREASED WITH THE PROPOSED DEVELOPMENT, THE FLOOD PROTECTION FOR THIS SITE IS IN COMPLIANCE WITH SECTION 13-109F(2)(b)(ii). DUE TO SITE DRAINAGE OUTFALLING TO AN EXISTING UNDERSIZED STORM SEWER SYSTEM, NO OFFSITE IMPROVEMENTS TO THE SYSTEM ARE REQUIRED. THEREFORE, PER THE LIMITS OF ANALYSIS PER CITY CODE SECTION 13-109F(2)(d)(i) AND REDUCED POST-DEVELOPMENT RUNOFF RATE FOR THE 10-YEAR, 24-HOUR STORM, THE PROJECT POST-DEVELOPMENT RUNOFF WILL NOT EXACERBATE ANY EXISTING DOWNSTREAM CAPACITY CONDITIONS.

STRU	CTURE	l	< −	œ	I			_	œ					7	w	_	
FROM	ОТ	INC. DRAINAGE AREA (AC)	ACCUM. DRAINAGE ARE. (AC)	CURVE NUMBEI	RAINFALL DEPTH (IN)	T _c (MINUTES)	INCREMENTAL "Q" (CFS)	ACCUMULATED "Q" (CFS)	PIPE DIAMETEF (IN)	SLOPE (%)	"u"	MAXIMUM "Q" (CFS)	MAXIMUM VELOCITY (FPS)	LENGTH OF RUN (FT)	UPPER INVERT	LOWER INVERT	FALL (FT)
PR2	PR1	0.33	0.33	98	5.20	5	1.64	1.64	12	0.63%	0.015	2.57	3.14	145	29.26	28.34	0.92
PR1	EX.1	6.36	6.69	95	5.20	5	31.40	33.04	12	0.64%	0.015	2.58	3.15	36	28.34	28.11	0.23
EX.1	EX.2	0.00	6.69	-	5.20	5	0.00	33.04	12	0.59%	0.015	2.47	3.02	247	28.11	26.66	1.45
EX.3	EX.4	0.23	0.23	95	5.20	5	1.14	1.14	15	0.58%	0.015	4.45	3.48	145	33.42	32.58	0.84
EX.4	EX.5	0.29	0.52	95	5.20	5	1.43	2.57	15	1.88%	0.015	8.00	6.26	16	32.10	31.80	0.30
EX.5	EX.6	0.57	1.09	95	5.20	5	2.81	5.38	15	5.17%	0.015	13.28	10.40	47	31.70	29.27	2.43
EX.6	EX.2	0.42	1.51	95	5.20	5	2.07	7.45	15	6.82%	0.015	15.25	11.94	38	29.25	26.66	2.59
EX.2	EX.7	0.00	8.20	ı	5.20	5	0.00	40.49	18	1.14%	0.015	10.15	5.52	120	26.43	25.06	1.37

COMBINED SEWER SYSTEM NOTE:

THIS SITE DISCHARGES TO THE COMBINED SEWER SYSTEM. PER MEMO TO INDUSTRY 07-14, THE APPLICANT WILL PROVIDE A CONTRIBUTION FOR STORMWATER AND SANITARY RUNOFF GENERATED ONSITE IN LIEU OF OFFSITE SEPARATION AS THERE IS NO OPPORTUNITY FOR SEPARATION WITHIN THE VICINITY OF THIS SITE.

FINAL SITE PL LEXANDRIA SOUTH HENRY S F ALEXANDRIA

DATE | REVISION

DESIGN: VMM APPROVED CHECKED: ACS SPECIAL USE PERMIT NO. SCALE: 1" = 100'

DEED BOOK NO.

DATE: JAN 2022 OUTFALL

SCALE: 1" = 100'

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DEPARTMENT OF PLANNING & ZONING

SITE PLAN NO.

DATE RECORDED

INSTRUMENT NO.

CHAIRMAN, PLANNING COMMISSION

ADEQUATE ANALYSIS

SANITARY SEWER OUTFALL MAP

SCALE: 1" = 100'

TOTAL:

SANITARY SEWER OUTFALL CALCULATIONS:

THE EXISTING USE (CITY PARKING LOT) DOES NOT PRODUCE A SANITARY FLOW AS NO STRUCTURE IS LOCATED ON SITE. THE AVERAGE DAY AND PEAK HOUR WASTEWATER DISCHARGE FLOW CALCULATIONS WERE COMPUTED USING THE METHOD PROVIDED BY THE CITY OF ALEXANDRIA IN MEMORANDUM TO INDUSTRY NO. 06-14. THE PROPOSED USE FOR THIS PROJECT IS A COMBINATION OF MULTIFAMILY (19 UNITS) AND RETAIL (1,517 SF). THE AVERAGE DAILY FLOW IS DESCRIBED BELOW:

MULTIFAMILY: 300 GPD/UNIT = 19 UNITS X 300 GPD/UNIT = 5,700 GPD OR 0.0088 CFS 200 GPD/1000 SF = 200 GPD/1000 SF X 1,517 SF = 303 GPD OR 0.0004 CFS 6,003 GPD OR 0.0093 CFS

TO ACCOUNT FOR THE DAILY PEAK PERIOD. THE ABOVE FLOW IS MULTIPLIED BY A FACTOR OF 4:

6,003 GPD X 4 = 24,014 GPD0.0093 CFS X 4 = 0.0372 CFSTOTAL PEAK FLOW = 24,014 GPD OR 0.0372 CFS

SANITARY SEWER OUTFALL NOTE:

THIS PROJECT IS ANTICIPATED TO GENERATE AN INCREASE IN EXCESS OF 10,000 GPD IN SANITARY WASTE OUTFLOW. A FLOW OF APPROXIMATELY 6,003 GPD IS EXPECTED FOR THIS DEVELOPMENT RESULTING IN A PEAK FLOW OF 24,014 GPD. THEREFORE, THE PROJECT IS SUBJECT TO A SANITARY SEWER OUTFALL ANALYSIS. THIS SANITARY SEWER OUTFALL ANALYSIS SHOWS ADEQUACY OF SANITARY SEWER OUTFALL IN ACCORDANCE WITH MEMO TO INDUSTRY 06-14. THE GENERAL AREA IS NOT KNOWN TO HAVE SANITARY SEWER CAPACITY PROBLEMS.

THIS PROJECT WILL CONNECT TO AN EXISTING 12" SANITARY SEWER WITH A PROPOSED SANITARY LATERAL CONNECTION, IN BETWEEN STRUCTURE E & G, WHICH WILL BE MAINTAINED BY CITY OF ALEXANDRIA LOCATED ADJACENT TO THE PROPOSED SITE WITHIN SOUTH HENRY STREET. SANITARY FLOW IS THEN CONVEYED SOUTH THROUGH PROPOSED 12" SANITARY SEWER UNTIL IT ENTERS AN EXISTING 36" SANITARY SEWER AT STRUCTURE I. PER MEMORANDUM TO INDUSTRY NO. 06-14, THE LIMITS OF ANALYSIS FOR THE SANITARY SEWER ADEQUATE OUTFALL IS AT A POINT WHERE THE DOWNSTREAM SEWER HAS A MINIMUM DIAMETER OF 24". THEREFORE, THE SANITARY SEWER ANALYSIS CONCLUDES AT STRUCTURE H.

COMBINED SEWER SYSTEM NOTE:

THIS SITE DISCHARGES TO THE COMBINED SEWER SYSTEM. PER MEMO TO INDUSTRY 07-14, THE APPLICANT WILL PROVIDE A CONTRIBUTION FOR STORMWATER AND SANITARY RUNOFF GENERATED ONSITE IN LIEU OF OFFSITE SEPARATION AS THERE IS NO OPPORTUNITY FOR SEPARATION WITHIN THE VICINITY OF THIS SITE.

- a. THE SANITARY FLOW FROM THE SITE WILL BE DISCHARGED TO THE COMBINED SEWER SYSTEM. THE PROJECT IS TO MEET CSS MANAGEMENT POLICY SANITARY REQUIREMENTS BY MAKING A SANITARY CONTRIBUTION.
- b. THE STORMWATER FROM THE SITE WILL BE DISCHARGED TO THE COMBINED SEWER SYSTEM. THE PROJECT IS TO MEET CSS MANAGEMENT POLICY STORMWATER REQUIREMENTS BY INSTALLING A VEGETATED ROOF (OPTION B REQUIREMENT PARTIALLY MET) AND MAKING A STORMWATER CONTRIBUTION.

SANITARY SEWER FLOW CALCULATIONS:

BLD#	USE	DESIGN FLOW	UNIT	SIZE	GAL/DAY	GAL/HR	CFS	PEAK CFS (x4)	FLOWS TO
SITE	MUTLI FAMILY	300	EA.	19	5,700	238	0.0088	0.0353	Е
SITE	RETAIL	200	SF	1,517	303	13	0.0005	0.0019	E
1-9	RETAIL	200	SF	26,289	5,258	219	0.0081	0.0325	E
10-23	SINGLE FAMILY	350	EA.	14	4,900	204	0.0076	0.0303	E
24	RETAIL	200	SF	6,566	1,313	55	0.0020	0.0081	E
25-35	RETAIL	200	SF	41,369	8,274	345	0.0128	0.0512	Е
36-50	MIXED RETAIL	200	SF	56,600	11,320	472	0.0175	0.0701	E
51-54	RETAIL	200	SF	28,148	5,630	235	0.0087	0.0348	G
55-58	SINGLE FAMILY	350	EA.	4	1,400	58	0.0022	0.0087	G
59-65	RETAIL	200	SF	40,367	8,073	336	0.0125	0.0500	Н
66-74	SINGLE FAMILY	350	EA.	9	3,150	131	0.0049	0.0195	Н
75	RETAIL	200	SF	10,816	2,163	90	0.0033	0.0134	Н
76	RETAIL	200	SF	3,200	640	27	0.0010	0.0040	Н
77-78	SINGLE FAMILY	350	EA.	2	700	29	0.0011	0.0043	Н
79-104	MULTIFAMILY	300	EA.	26	7,800	325	0.0121	0.0483	Н
105	SINGLE FAMILY	350	EA.	1	350	15	0.0005	0.0022	Н
* DSP2019-00032	MULTIFAMILY	300	EA.	30	9,000	375	0.0139	0.0557	Е
* DSP2019-00032	RETAIL	200	EA.	3,615	723	30	0.0011	0.0045	E
				TOTAL	76,697	3,196	0.1187	0.4747	

SANITARY SEWER OUTFALL CALCULATIONS:

S	TRUC	TURE	FACILITY ID		E.	ğ	2				S)	≥	E				>			띪	S
	FROM	Ъ	FROM	01	INCREMENTAL "Q" (CFS)	ACCUMULATED "C (CFS)	PIPE DIAMETER (IN)	SLOPE (%)	MATERIAL	"u"	MAXIMUM "Q" (CF	MAXIMUM VELOCII (FPS)	LENGTH OF RUN (F	UPPER INVERT	LOWER INVERT	FALL (FT)	NORMAL VELOCIT (FPS)	NORMAL DEPTH	FLOW AREA (SF)	WETTED PERIMETE (FT)	HYDRAULIC RADIUS
	Е	G	005232SSMH	005237SSMH	0.2896	0.290	12	0.62%	RCP	0.015	2.53	3.10	421.00	29.26	26.66	2.60	2.10	0.23	0.14	1.00	0.14
	G	Н	005237SSMH	005210SSMH	0.0435	0.333	18	1.14%	VCP	0.013	11.72	6.37	119.86	26.43	25.06	1.37	2.82	0.18	0.12	1.05	0.11
	Н		005210SSMH	N/A	0.1416	0.475	36	1.17%	RCP	0.015	65.16	8.86	42.00	25.00	24.51	0.49	2.61	0.19	0.18	1.51	0.12

SANITARY SEWER HYDRAULIC GRADE LINE CALCULATIONS:

INII ET	INI ET OUT ET										JUNG	CTION LO	OSS					FINIAL	INII ET	DIM	FDFF
INLET	OUTLET	D _O (in)	Q_{o}	Lo	S _{fo} %	$H_{\rm f}$	V-	11	0	V	0*1/	H.	ANCLE		11	1.3	0.5	FINAL	INLEI	RIM	FREE
ID	WSE						Vo	Ho	Q _i	Vi	Q _i *V _i	Пį	ANGLE	H_{Δ}	п _t	H_t	H _t	п	WSE	ELEV	BOARD
Н	24.70	36	0.475	42.00	1.2083	0.51	2.61	0.026	0.333	2.82	0.94	0.043	0	0.000	0.070	-	0.03	0.54	25.24	34.54	9.30
G	25.24	18	0.333	119.86	1.0637	1.27	2.82	0.031	0.290	2.10	0.61	0.024	0	0.000	0.055	-	0.03	1.30	26.54	35.57	9.03
Е	26.54	12	0.290	421.00	0.6000	2.53	2.10	0.017	=		-	Ξ	-	-	0.017	10	0.01	2.53	29.08	37.11	8.03

* DSP2019-00032 SANITARY FLOW NOTE: DUE TO DSP2019-00032 BEING UNDER CONCURRENT REVIEW, THE PROPOSED SANITARY

FLOW FROM DSP2019-00032 HAS BEEN INCLUDED IN THIS SANITARY OUTFALL ANALYSIS.

EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

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APPROVED CHECKED: ACS SPECIAL USE PERMIT NO. SCALE: 1" = 100'DATE: JAN 2022 DEPARTMENT OF PLANNING & ZONING SANITARY SEWER

DEED BOOK NO.

SITE PLAN NO.

INSTRUMENT NO.

OUTFALL ANALYSIS

DATE | REVISION

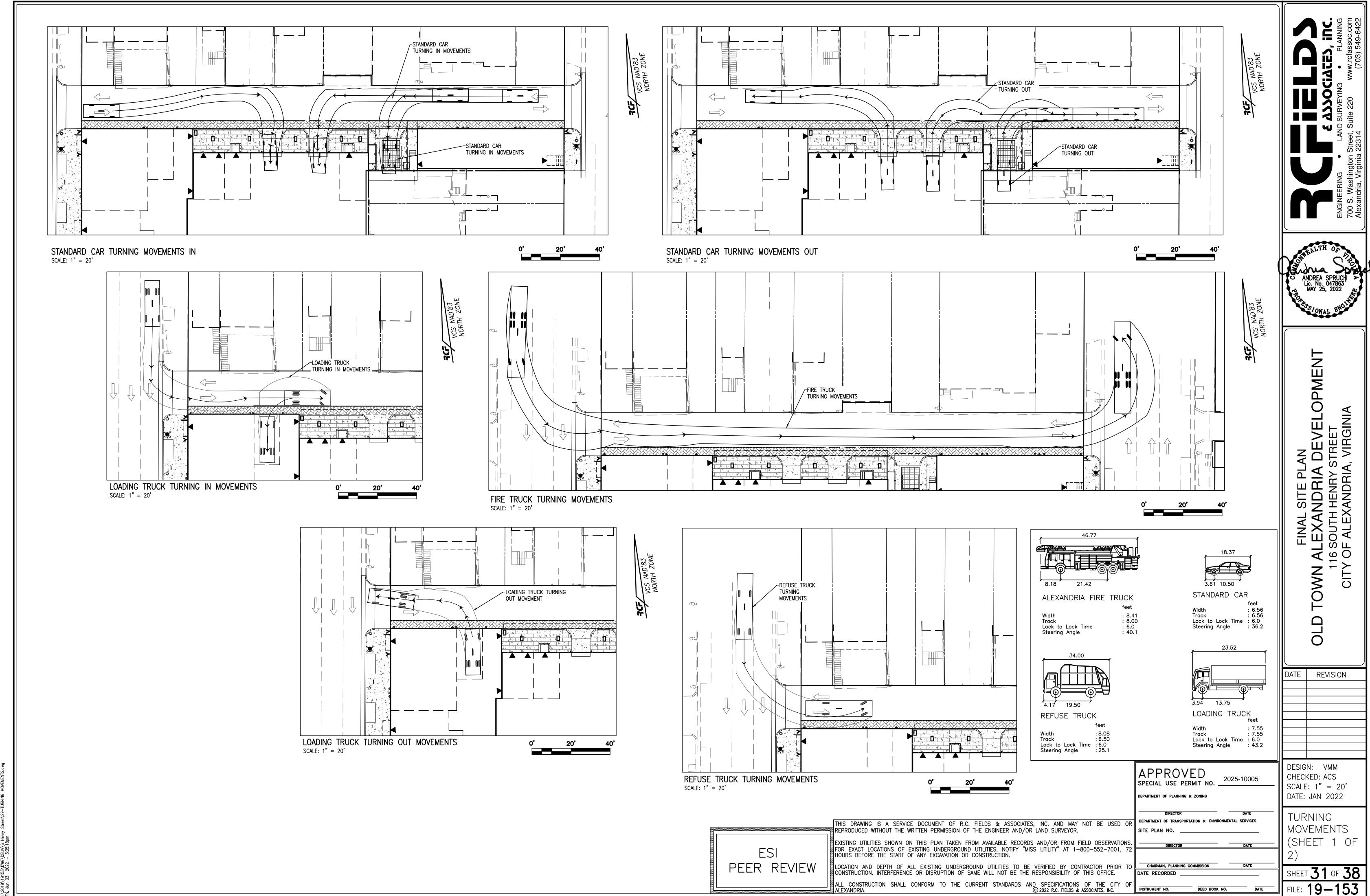
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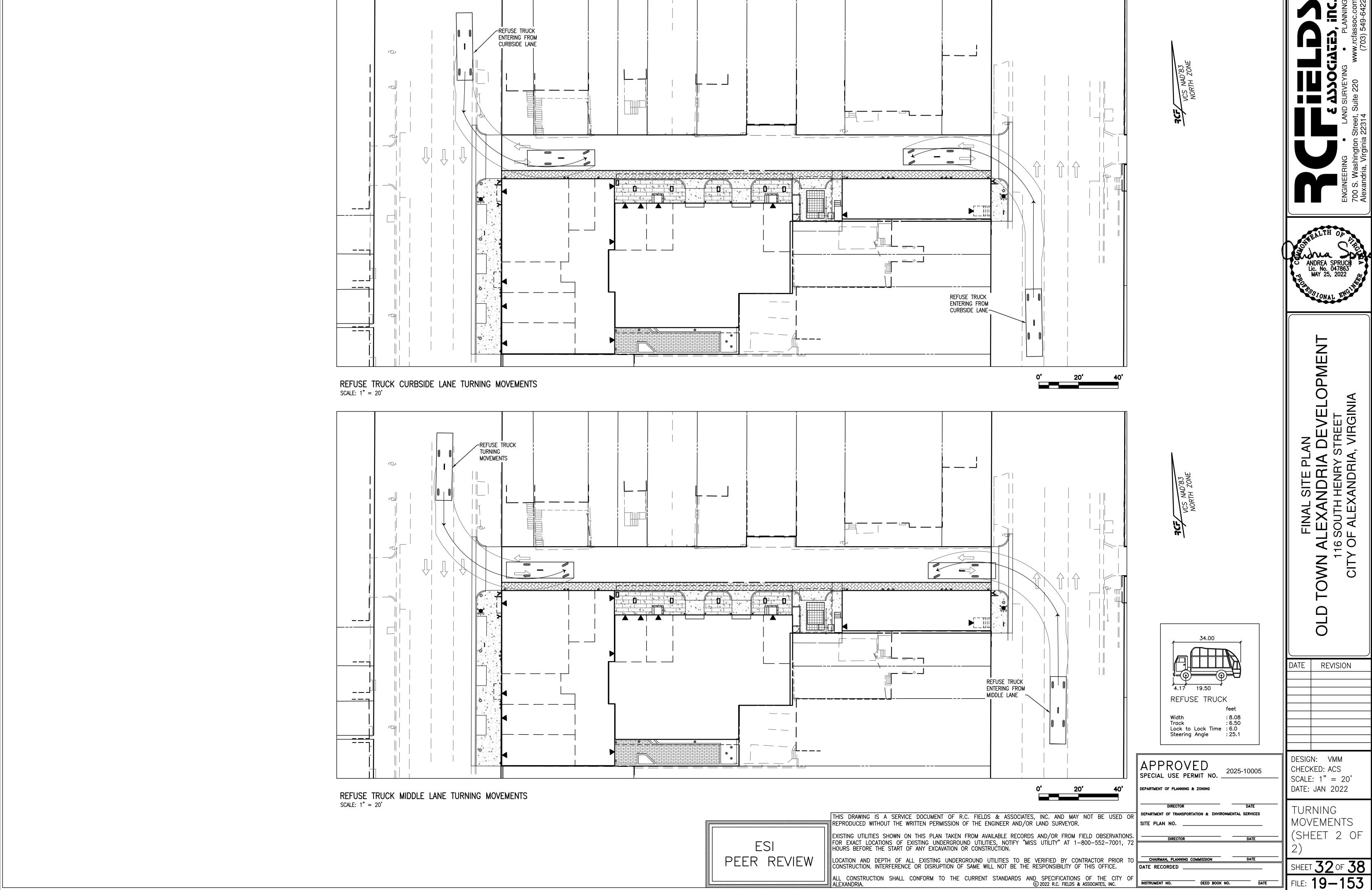
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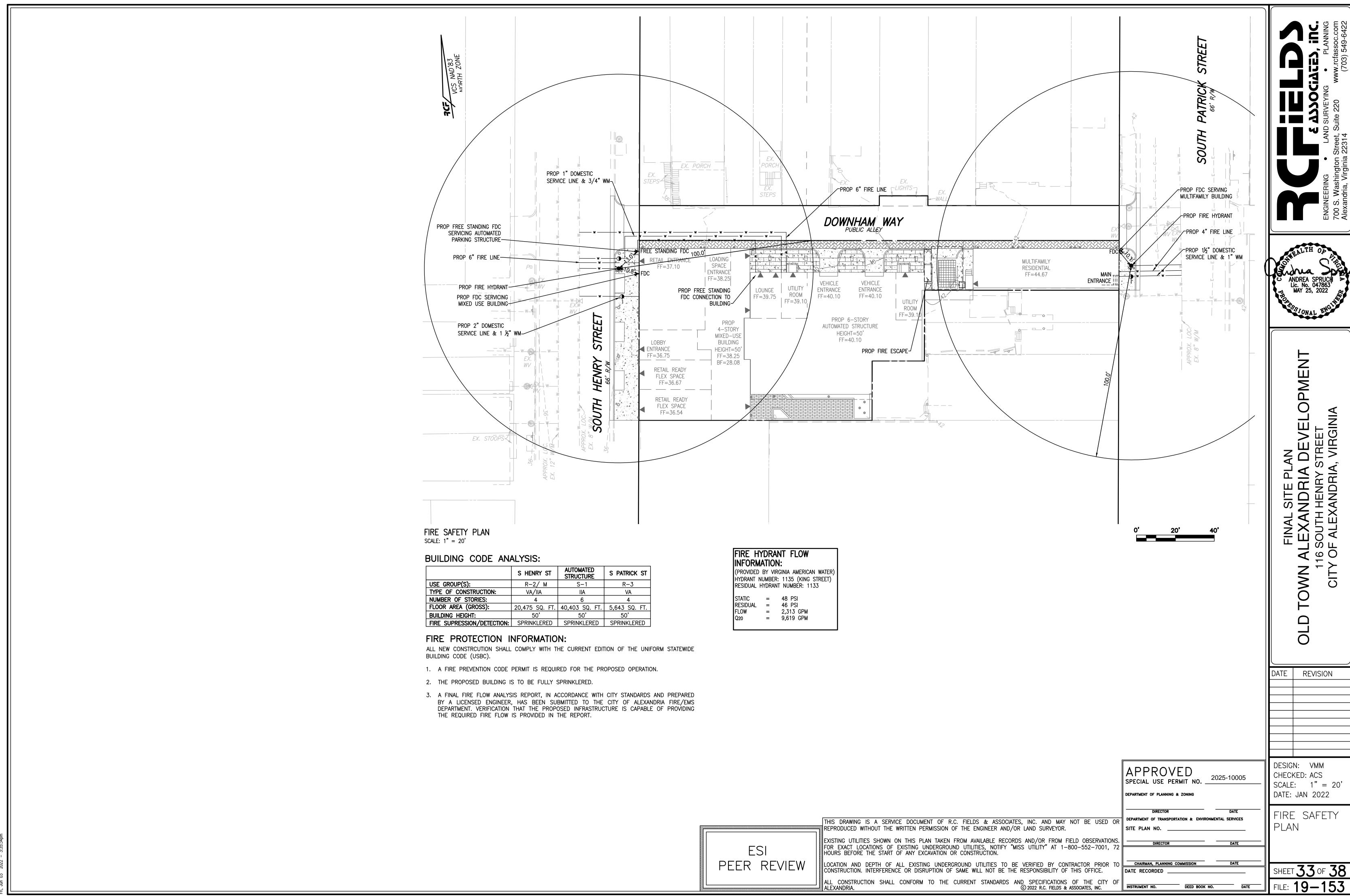
PEER REVIEW

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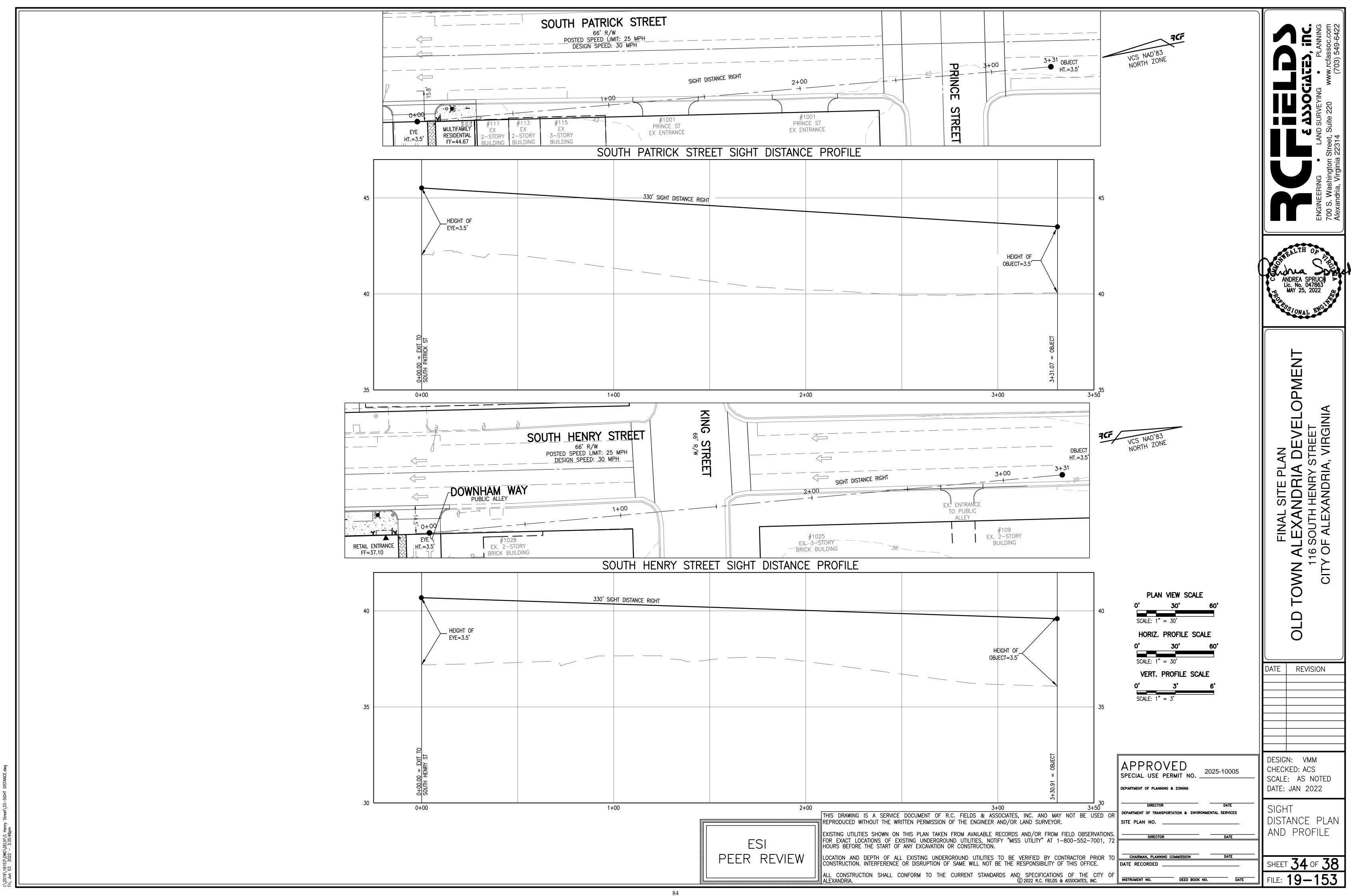
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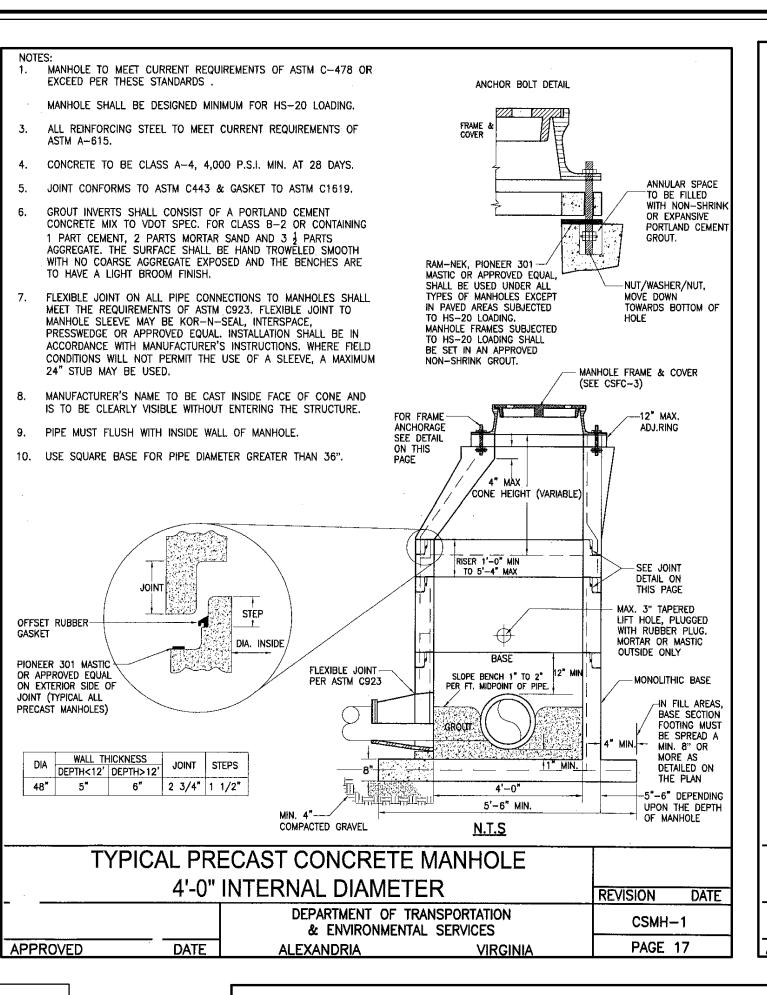




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1. Concrete to be Class A-4.

2. All reinforcing steel to meet the

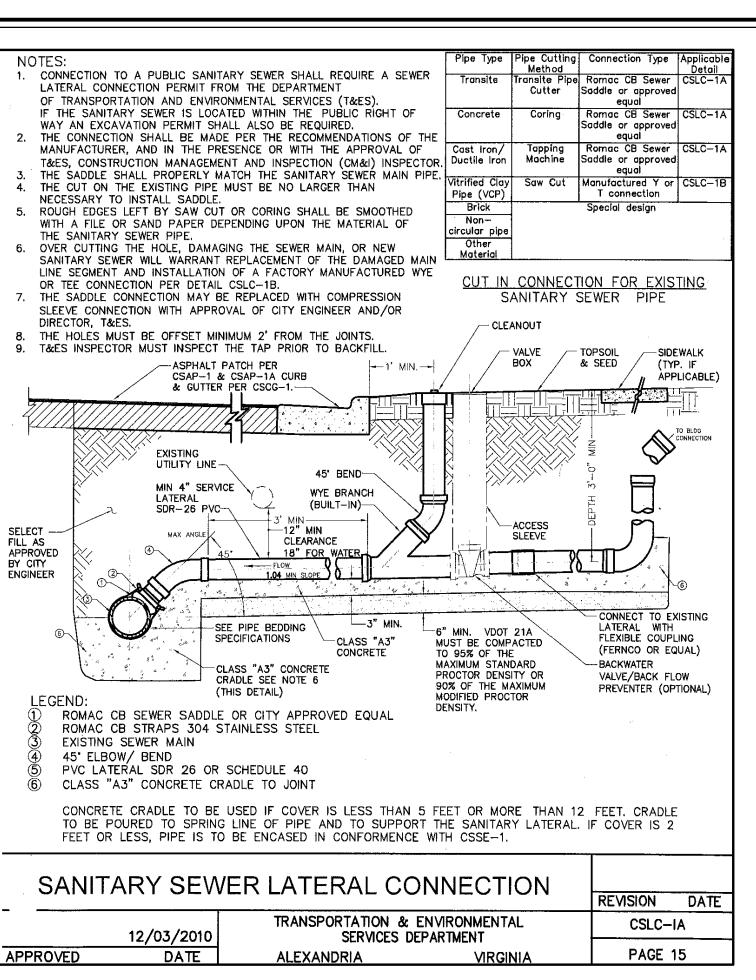
3. Manhole sections to meet the

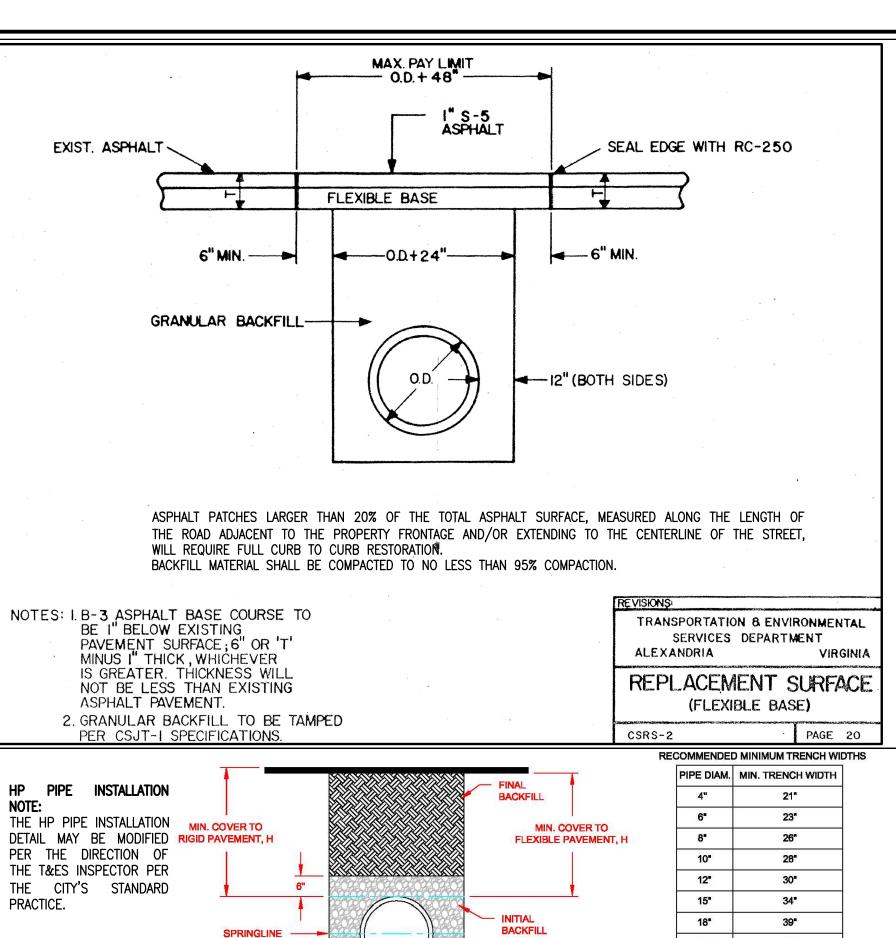
current requirements of ASTM Spec. A-615.

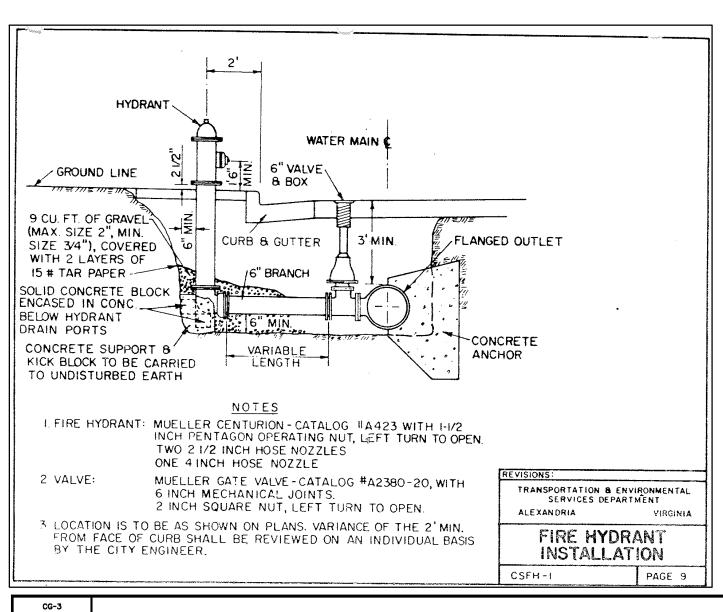
current requirements of ASTM Spec. C-478.

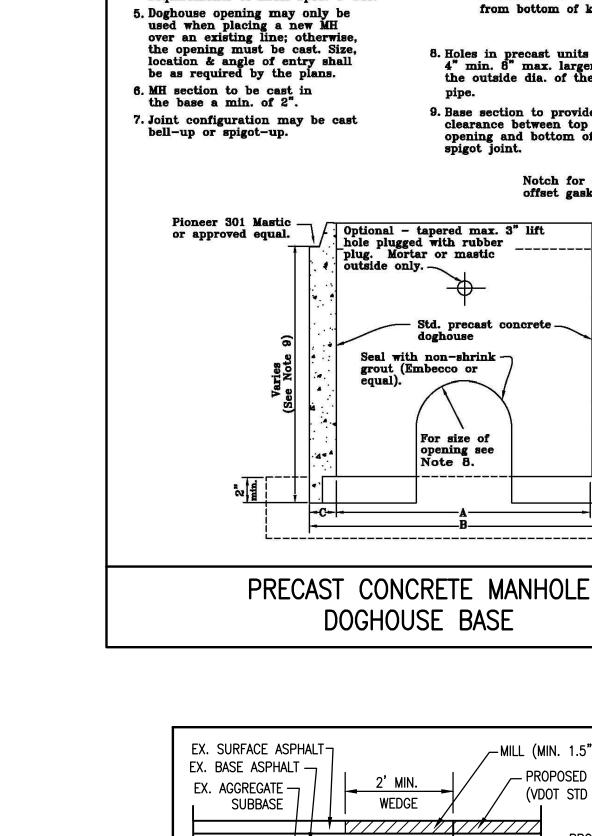
4. Tapered joint with O-Ring Gasket, or single

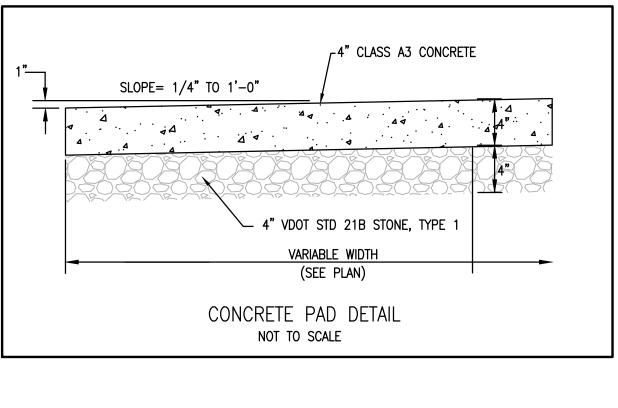
offset joint with rubber gasket, to meet current requirements of ASTM Spec. C-443.

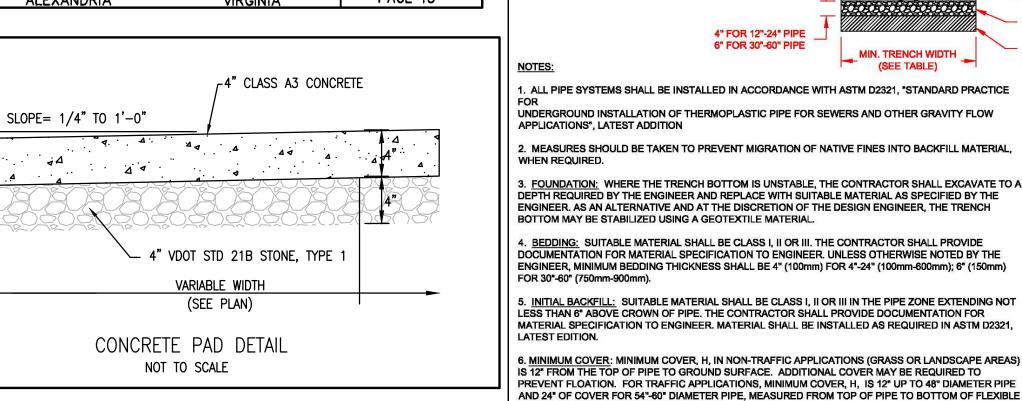




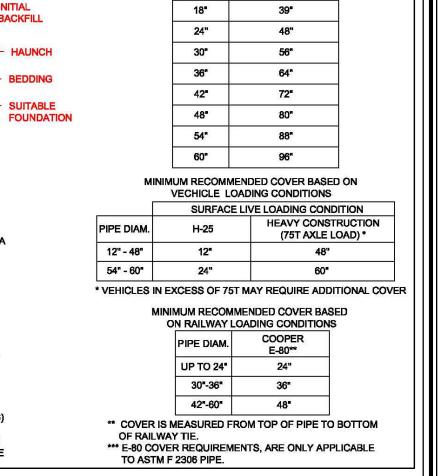








PAVEMENT OR TO TOP OF RIGID PAVEMENT.



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CLASS "A3" CONCRETE

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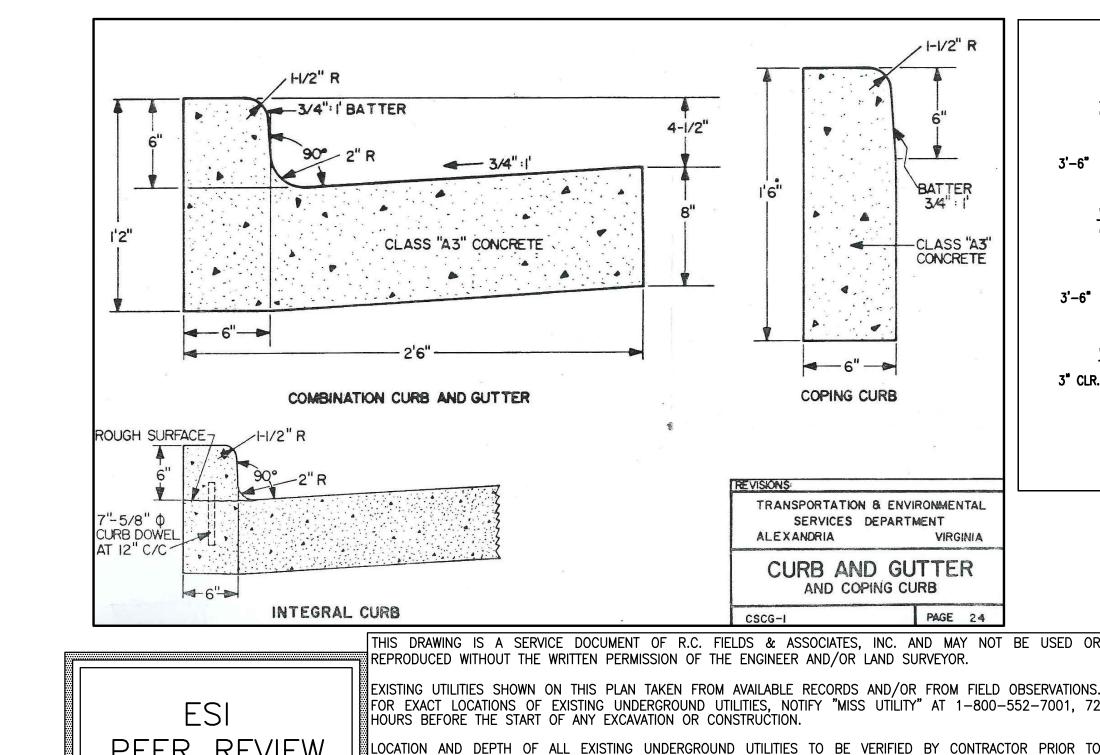
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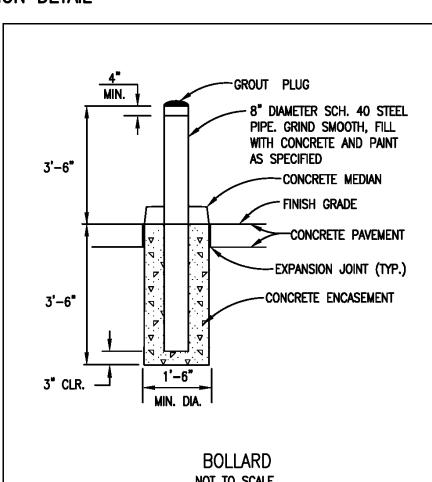
SERVICES DEPARTMENT

AND COPING CURB

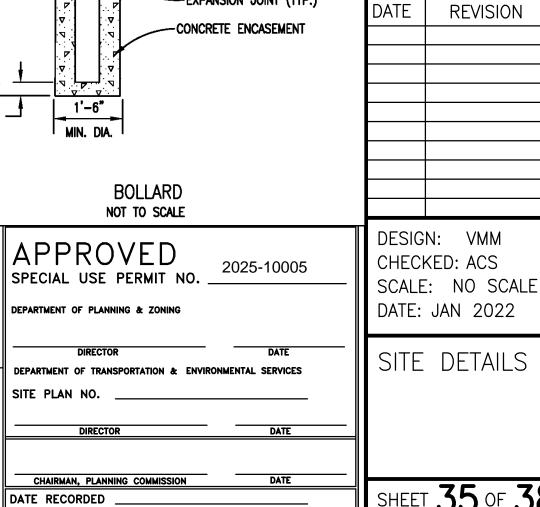
CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

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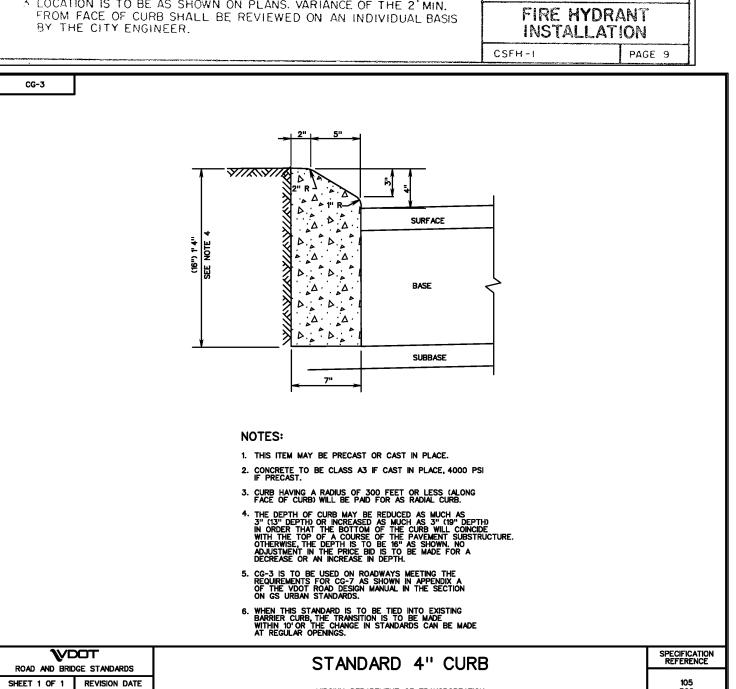




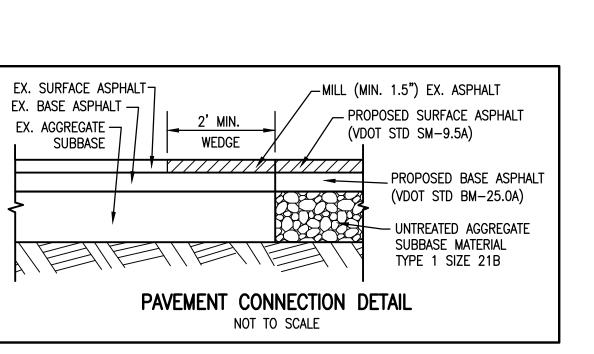
INSTRUMENT NO.



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VIRGINIA DEPARTMENT OF TRANSPORTATION



Dimensions of D shall be taken

8. Holes in precast units are to be 4" min. 8" max. larger than the outside dia. of the proposed

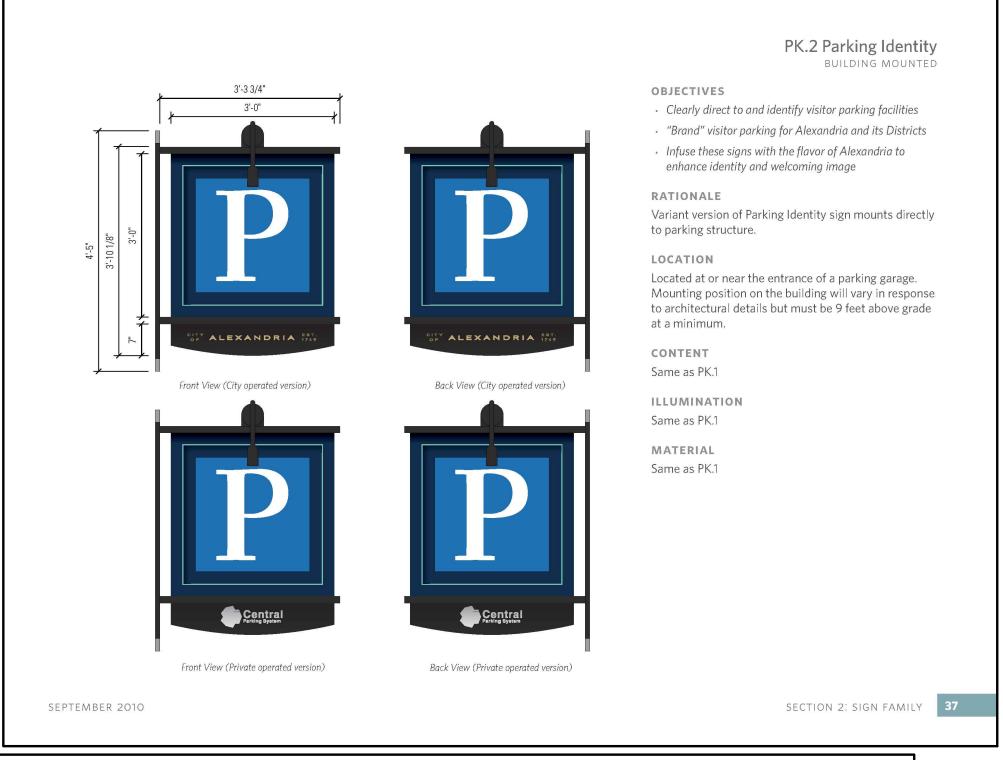
9. Base section to provide min. 6"

clearance between top of pipe opening and bottom of bell and

bottom of key (see drawing below)

Notch for 0-Ring or single offset gasket, ASTM C-4437

201.02



MANUFACTURER:
VICTOR STANLEY INC.
P.O. BOX DRAWER 330
DUNKIRK, MARYLAND 20754
PH: (301) 855-8300
PH: (800) 368-2573

MODEL:

IRONSITES MODEL NUMBER SD-42 (36 GAL.)
LID: STANDARD TAPERED FORMED LID
FRAME COLOR: BLACK OR BLUE

NOTES:

I. RECEPTACLE TO BE MOUNTED PER MANUFACTURERS INSTRUCTIONS.

2. USE TAMPER RESISTANT HARDWARE.

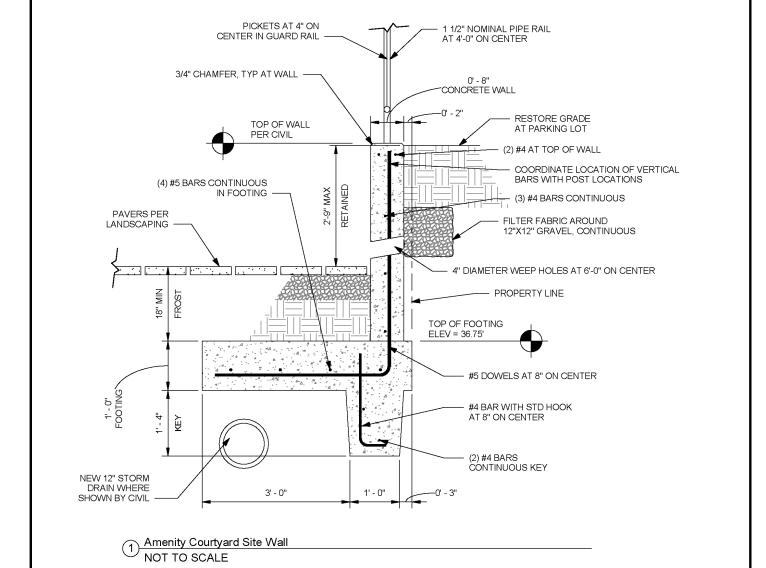
3. RECEPTACLE SHALL INCLUDE DOMED LID.

TRASH/RECYCLING RECEPTACLE NOTE:

A PAYMENT OF \$1,402 PER RECEPTACLE SHALL BE MADE TO THE DIRECTOR OF T&ES FOR THE PURCHASE AND INSTALLATION OF ONE (1) TRASH RECEPTACLES (VICTOR STANLEY IRONSITES SERIES MODEL SD-42 BLACK RECEPTACLE WITH DOME LID). THE RECEPTACLES SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY ON TO SERVE OPEN SPACE AND SHALL GENERALLY LOCATED ALONG THE PROPERTY FRONTAGE AND AT STRATEGIC LOCATION IN THE VICINITY OF THE SITE. CONTRACTOR SHALL COORDINATE WITH THE DIRECTOR TO DETERMINE THE EXACT LOCATION.

A PAYMENT OF \$1,626 PER RECEPTACLE SHALL BE MADE TO THE DIRECTOR OF T&ES FOR THE PURCHASE AND INSTALLATION OF ONE (1) RECYCLING RECEPTACLES (VICTOR STANLEY IRONSITES SERIES MODEL SD-42 BLUE RECEPTACLE WITH DOME LID). THE RECEPTACLES SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY ON TO SERVE OPEN SPACE AND SHALL GENERALLY LOCATED ALONG THE PROPERTY FRONTAGE AND AT STRATEGIC LOCATION IN THE VICINITY OF THE SITE. CONTRACTOR SHALL COORDINATE WITH THE DIRECTOR TO DETERMINE THE EXACT LOCATION.



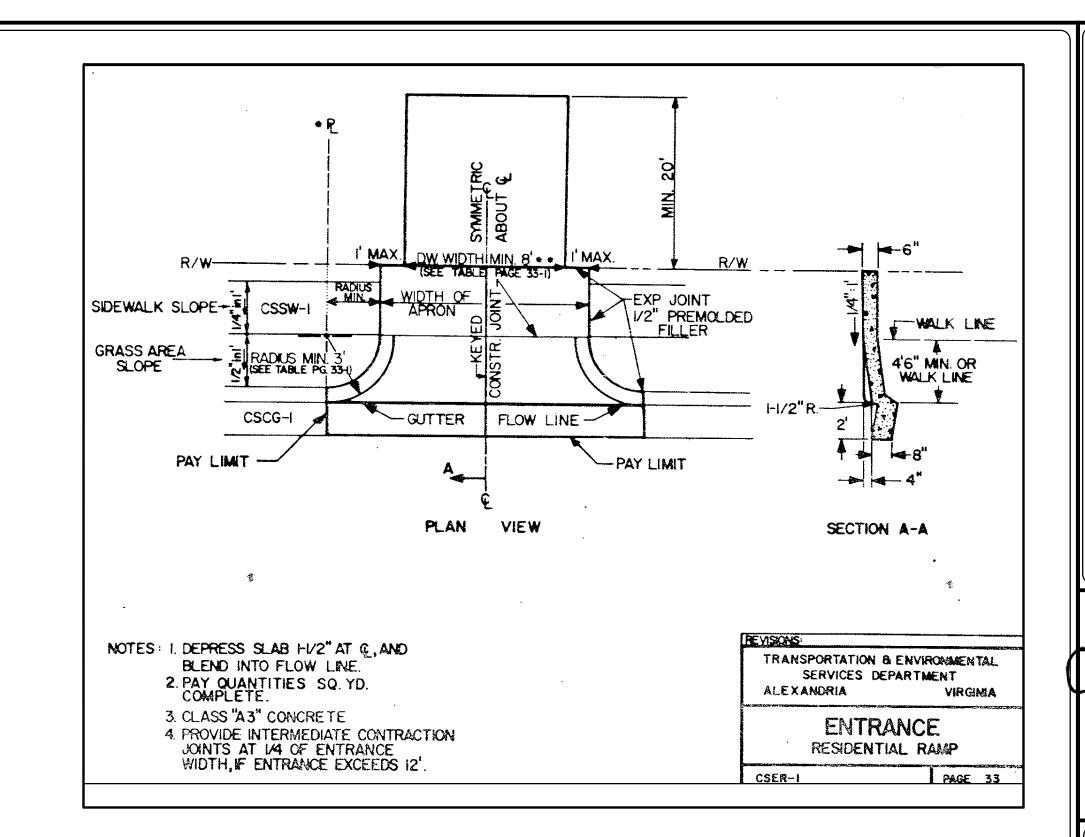


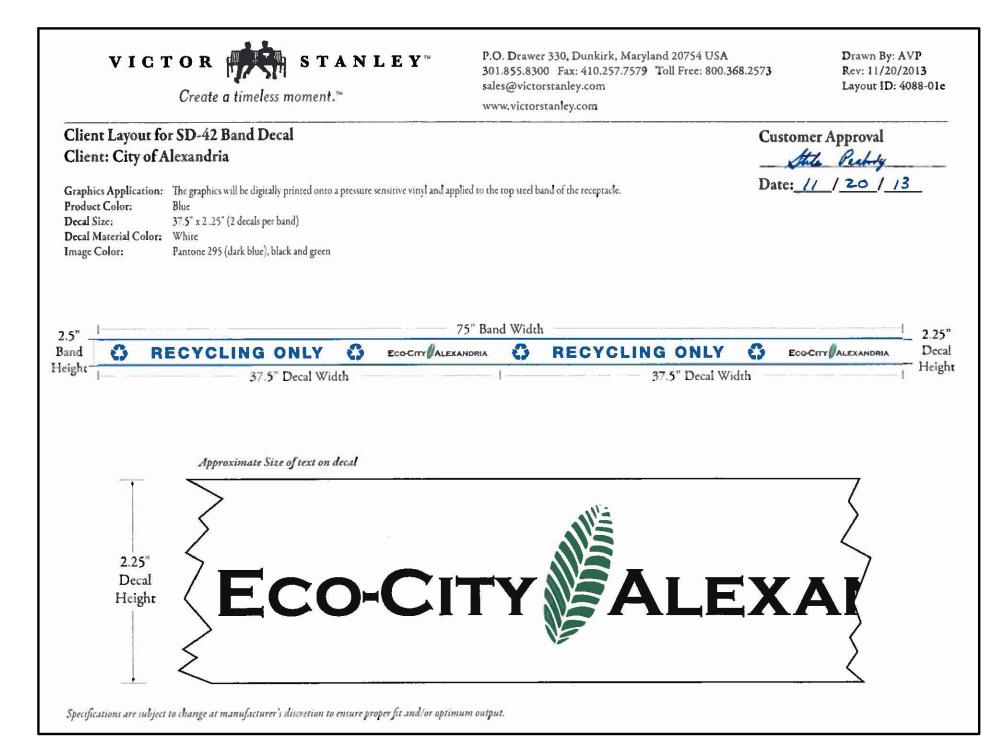
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SPECIAL USE PERMIT NO. 2025-10005

DEPARTMENT OF PLANNING & ZONING

DIRECTOR
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN NO. _____

DIRECTOR
DATE

CHAIRMAN, PLANNING COMMISSION

DATE

SHEET 36 OF 38

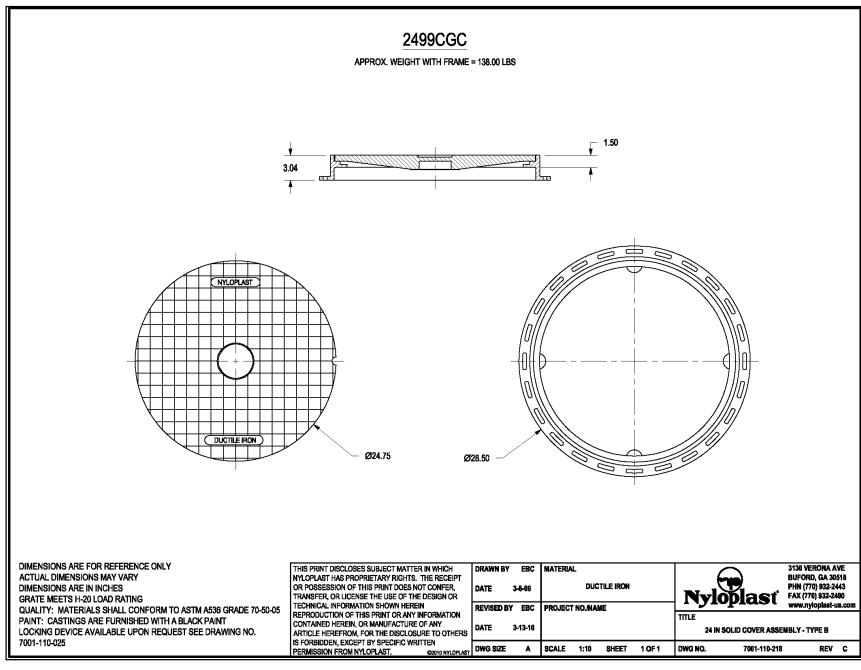
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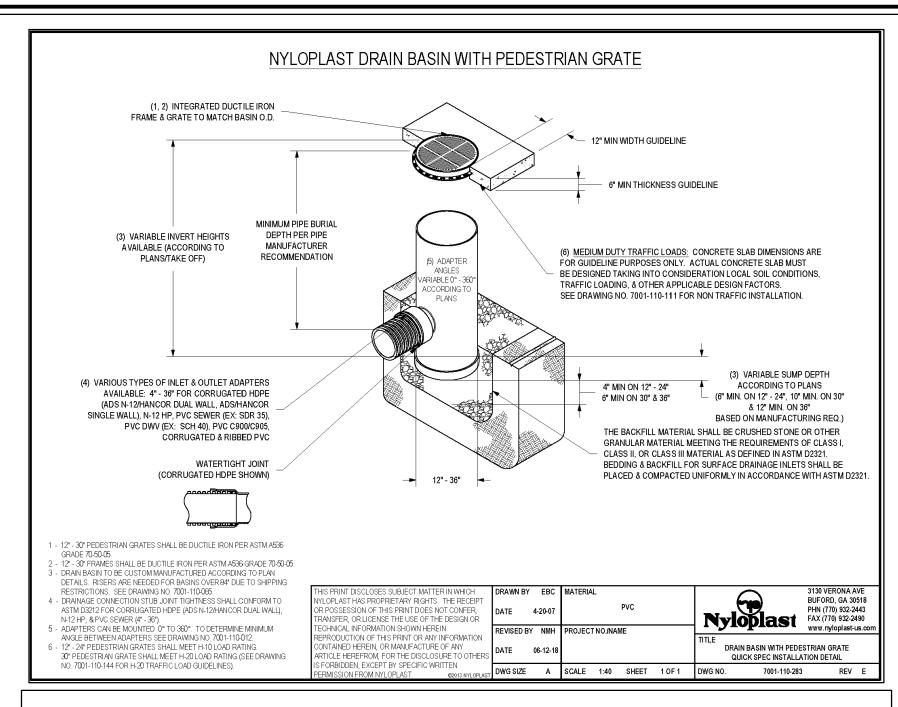
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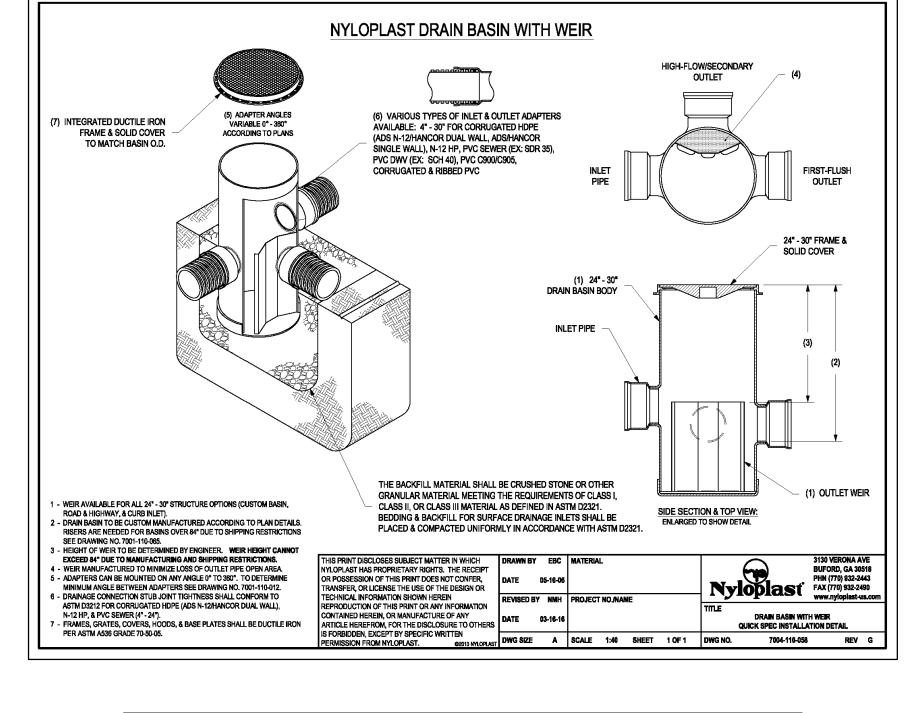
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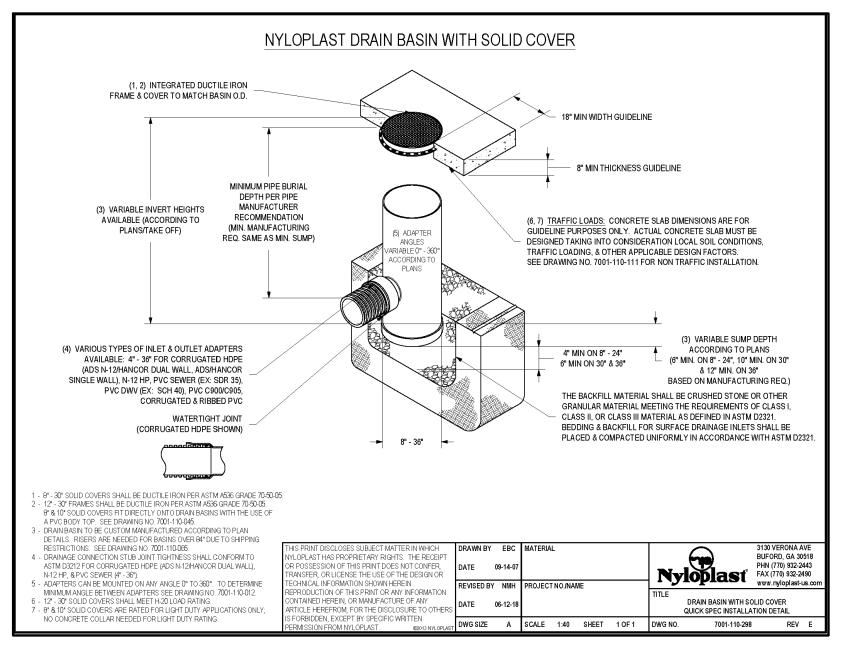
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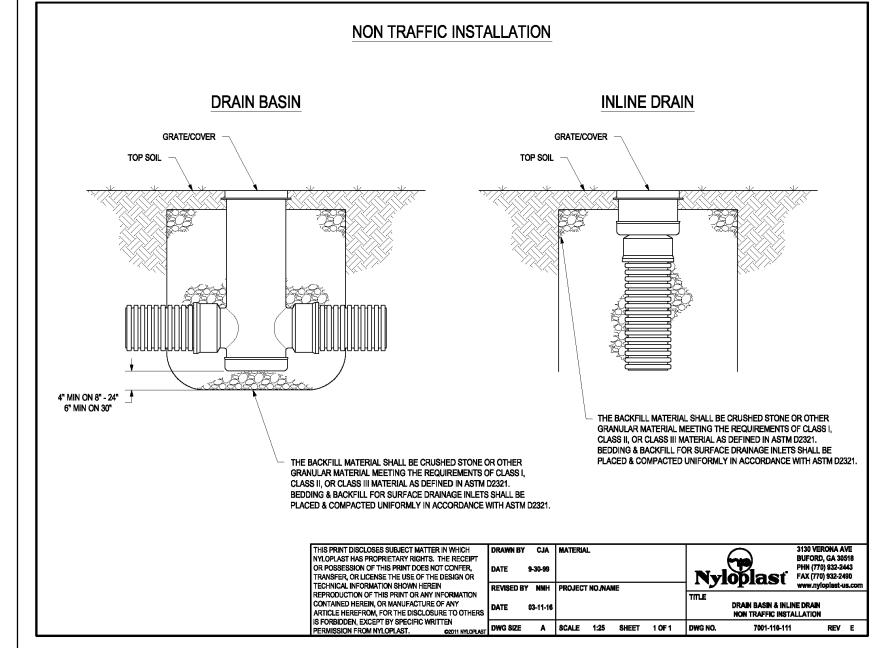
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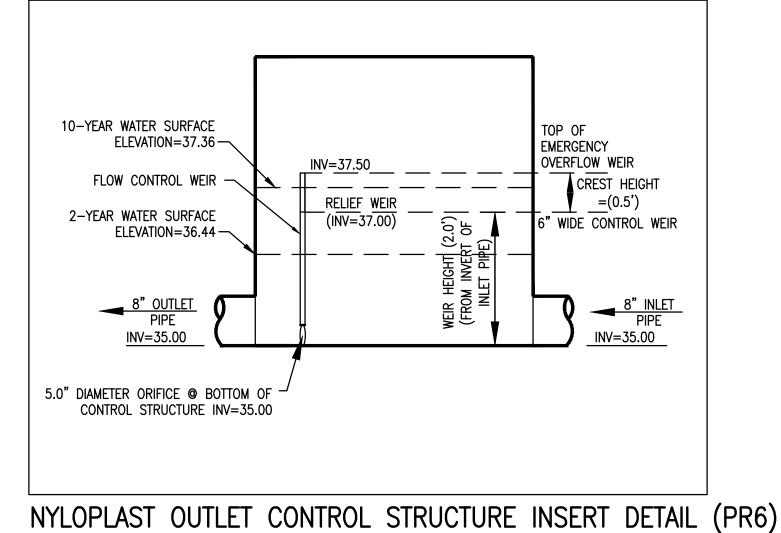


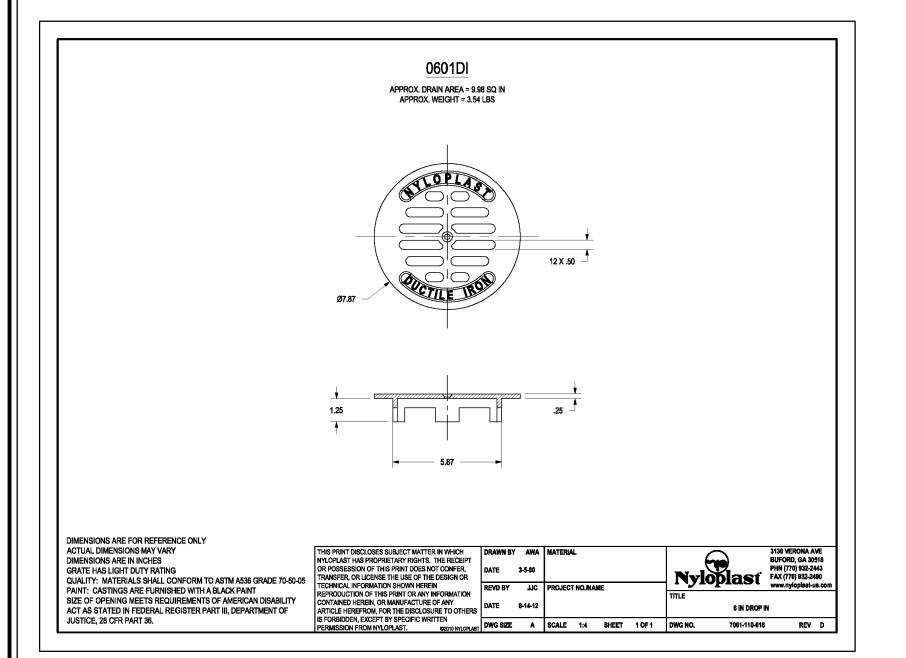


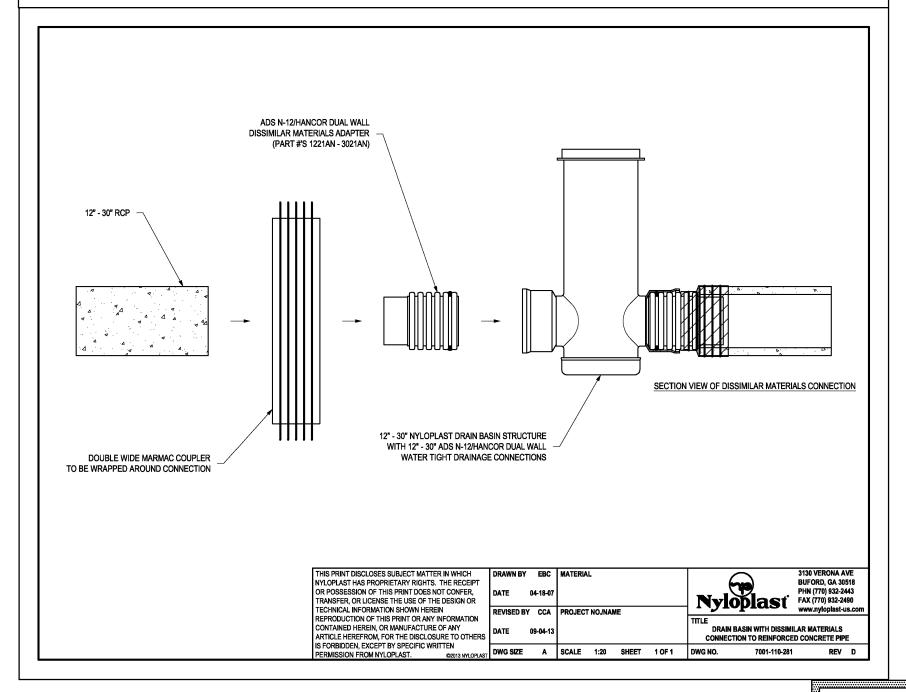


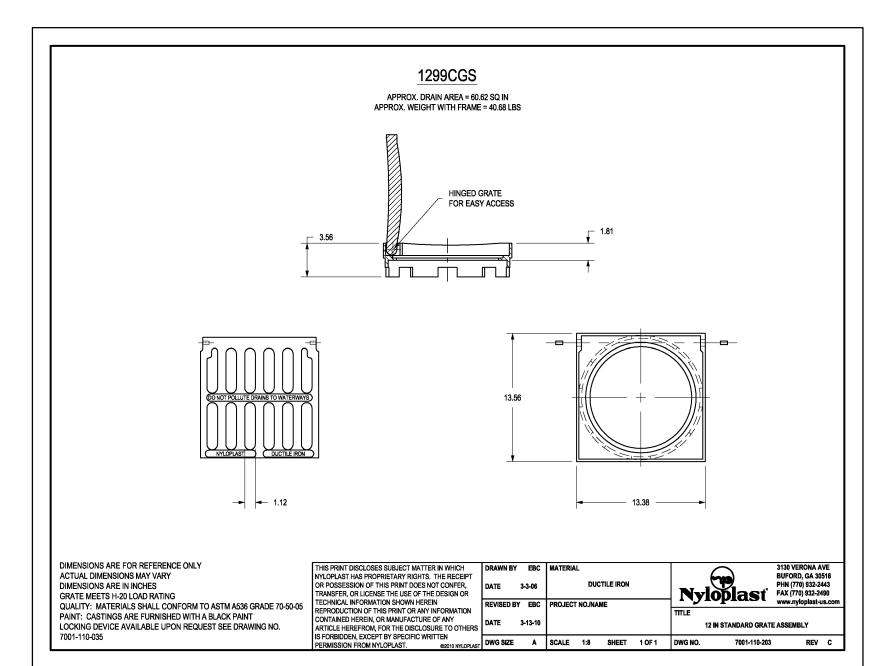












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	APPROVED 2025-10005
	DEPARTMENT OF PLANNING & ZONING
	DIRECTOR DATE
R	DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
	SITE PLAN NO
S. '2	DIRECTOR DATE
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ol	CHAIRMAN, PLANNING COMMISSION DATE
	DATE RECORDED
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	INSTRUMENT NO. DEED BOOK NO. DATE

(NOT TO SCALE)

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DESIGN: VMM CHECKED: ACS SCALE: NO SCALE DATE: JAN 2022 SITE DETAILS

DATE | REVISION

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FINAL SITE PL EXANDRIA SOUTH HENRY S = ALEXANDRIA



116 SOUTH HENRY STREET

ALEXANDRIA, VA

ADS HP RETENTION/DETENTION PIPE SYSTEM SPECIFICATION

THIS SPECIFICATION DESCRIBES ADS HP RETENTION/DETENTION PIPE SYSTEMS FOR USE IN NON-PRESSURE, GRAVITY-FLOW STORM WATER COLLECTION SYSTEMS UTILIZING ADS HP PIPE PRODUCTS AND A CONTINUOUS OUT FALL STRUCTURE.

PIPE REQUIREMENTS

ADS RETENTION/DETENTION SYSTEMS MAY UTILIZE ANY OF THE VARIOUS PIPE PRODUCTS BELOW:

HP STORM PIPE SHALL MEET ASTM F2881
 SANITITE HP PIPE SHALL MEET ASTM F2764

ALL PRODUCTS SHALL HAVE A SMOOTH INTERIOR AND EITHER ANNULAR EXTERIOR CORRUGATIONS OR SMOOTH EXTERIOR WITH ANNULAR INNER CORRUGATIONS. PRODUCT-SPECIFIC PIPE SPECIFICATIONS ARE AVAILABLE IN THE DRAINAGE HANDBOOK SECTION 1 "SPECIFICATIONS".

OINT PERFORMANCE

HP PIPE PRODUCTS PIPE SHALL BE JOINED USING A BELL AND SPIGOT JOINT. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. SPIGOTS SHALL HAVE GASKETS MEETING THE REQUIREMENTS OF ASTM F477. 12-60 INCH (300-1500 mm) DIAMETERS SHALL HAVE A BELL REINFORCED WITH A POLYMER COMPOSITE BAND. THE BELL TOLERANCE DEVICE SHALL BE INSTALLED BY THE MANUFACTURER.

PIPE AND FITTING CONNECTIONS SHALL UTILIZE A SPUN-ON, WELDED OR INTEGRAL BELL AND SPIGOT. DETENTION SYSTEMS ARE SUBJECT TO GREATER LEAKAGE THAN TYPICAL STORM SEWER APPLICATIONS AND THEREFORE ARE NOT APPROPRIATE FOR APPLICATIONS REQUIRING LONG-TERM FLUID

FITTINGS SHALL CONFORM TO ASTM F2881 OR F2764 FOR APPLICABLE PIPE TYPE AND DIAMETERS. CUSTOM FITTINGS ARE AVAILABLE AND MAY REQUIRE

CONTAINMENT OR HYDROSTATIC PRESSURE. FOR ADDITIONAL DETAILS REFER TO TECHNICAL NOTE 7.01 "RAINWATER HARVESTING".

SPECIAL INSTALLATION CRITERION.

INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 AND ADS RECOMMENDED INSTALLATION GUIDELINES, WITH THE EXCEPTION THAT MINIMUM COVER IN NON-TRAFFIC AREAS FOR 12-60 INCH (300-1500 mm) DIAMETERS SHALL BE 1 FT (0.3 m). MINIMUM COVER IN TRAFFICKED AREAS FOR 12-36 INCH (300-900 mm) DIAMETERS SHALL BE 1 FT (0.3 m) AND FOR 42-60 INCH (1050-1500 mm) DIAMETERS, THE MINIMUM COVER SHALL BE 2 FT (0.6 m). BACKFILL SHALL CONSIST OF CLASS I (COMPACTED), OR CLASS II (MINIMUM 90% SPD) MATERIAL, WITH THE EXCEPTION THAT 60 INCH (1500 mm) SYSTEMS SHALL USE CLASS I MATERIAL ONLY. MINIMUM COVER HEIGHTS DO NOT ACCOUNT FOR PIPE BUOYANCY. REFER TO ADS TECHNICAL NOTE 5.05 "PIPE FLOTATION" FOR BUOYANCY DESIGN CONSIDERATIONS. MAXIMUM COVER OVER SYSTEM USING STANDARD BACK FILL IS 8 FT (2.4 m); CONTACT A REPRESENTATIVE WHEN MAXIMUM FILL HEIGHT MAY BE EXCEEDED.

ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES:

- ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS, INLETS AND OUTLETS, SHALL BE
 VERIFIED BY THE ENGINEER PRIOR TO RELEASING FOR FABRICATION.
- 2) IN SITUATIONS WHERE A FINE-GRAINED BACKFILL MATERIAL IS USED ADJACENT TO THE PIPE SYSTEM, AND ESPECIALLY INVOLVING GROUND WATER CONDITIONS, CONSIDERATION SHOULD BE GIVEN TO THE USE OF GASKETED PIPE JOINTS. AT THE VERY LEAST THE PIPE JOINTS SHOULD BE WRAPPED IN A SUITABLE, NON-WOVEN GEOTEXTILE FABRIC TO PREVENT INFILTRATION OF FINES INTO THE PIPE SYSTEM.
- 3) CONSIDERATION FOR CONSTRUCTION EQUIPMENT LOADS MUST BE TAKEN INTO ACCOUNT.
- 4) ALL PIPE DIMENSIONS ARE SUBJECT TO MANUFACTURERS TOLERANCES.
- 5) ALL BIASED TO BE SISLED SYTEMBED OF TRUMES TO SINAL ORANGE

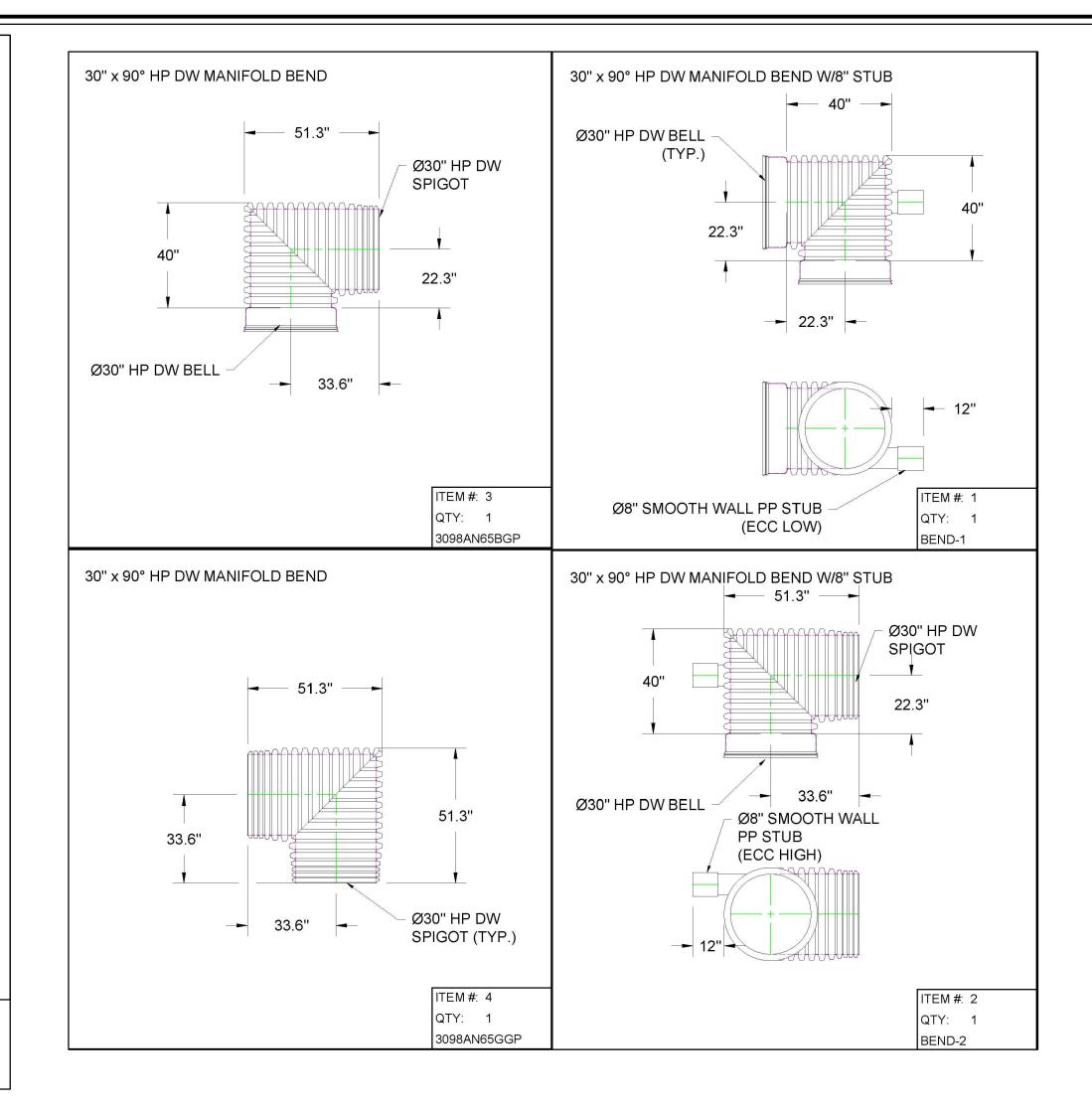
5) ALL RISERS TO BE FIELD EXTENDED OR TRIMMED TO FINAL GRADE.

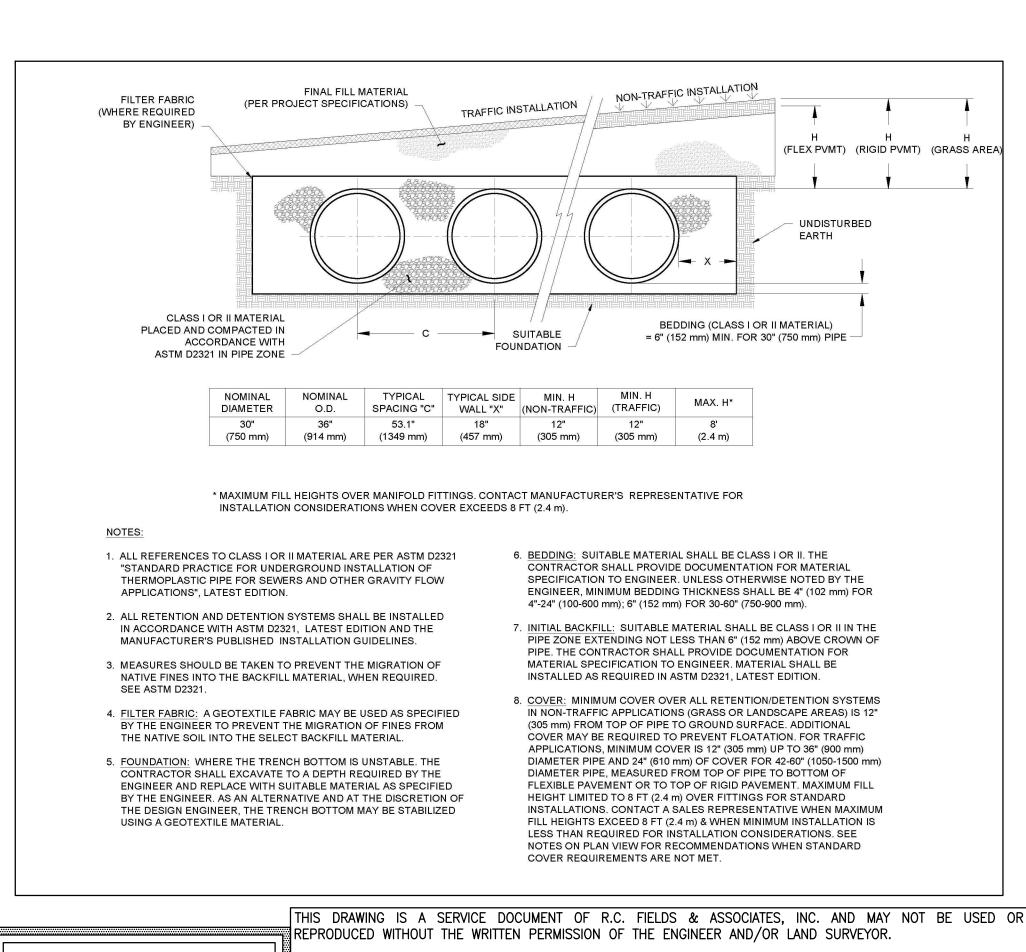
THE UNDERSIGNED HERBY APPROVES THE ATTACHED PAGES.

			BILL OF MATERI	ALS		
			S AND QUANTITIES LISTED HEREIN ARE NOT INTE 'S, NOT LISTED HEREIN, MAY BE NECESSARY TO (
ITEM	QTY.	PART#	DESCRIPTION	MATERIAL	VENDOR	NOTE
1	1	BEND-1	30" X 90° HP DW MANIFOLD BEND	PP	ADS	SEE DETAIL
2	1	BEND-2	30" X 90° HP DW MANIFOLD BEND	PP	ADS	SEE DETAIL
3	1	3098AN65BGP	30" X 90° HP DW MANIFOLD BEND	PP	ADS	SEE DETAIL
4	1	3098AN65GGP	30" X 90° HP DW MANIFOLD BEND	PP	ADS	SEE DETAIL
5	2	STICK-1	30" HP DW PIPE STICK : SOLID	PP	ADS	WTIB
	1	2430AG	30" NYLOPLAST BASIN	VARIES	ADS	SEE DETAIL
	1	TBD BY ENGINEER	ADS GEOTEXTILE FABRIC	AS SPECIFIED	ADS	AS REQUIRED

ADS GEOTEXTILE FARMS (F BEQUIRED BY ATT DESIGN ENGINETE)

STOMM AS ST INLOCAL STORM
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HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

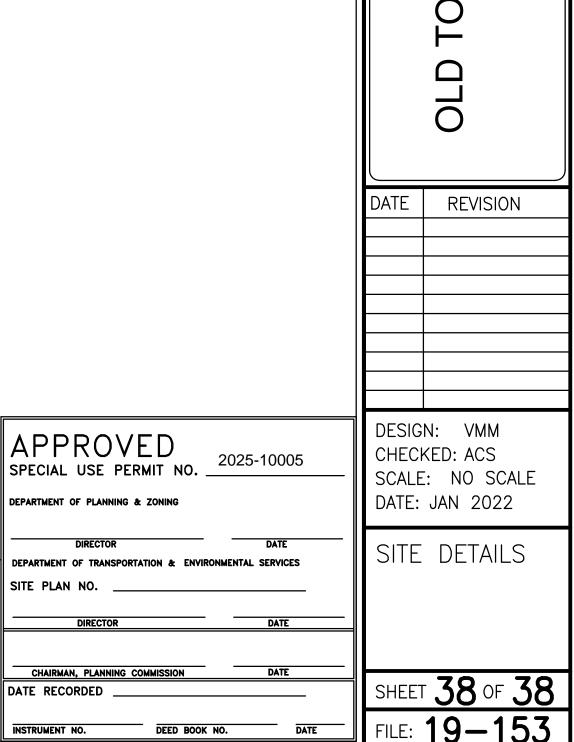
EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF

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FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001,



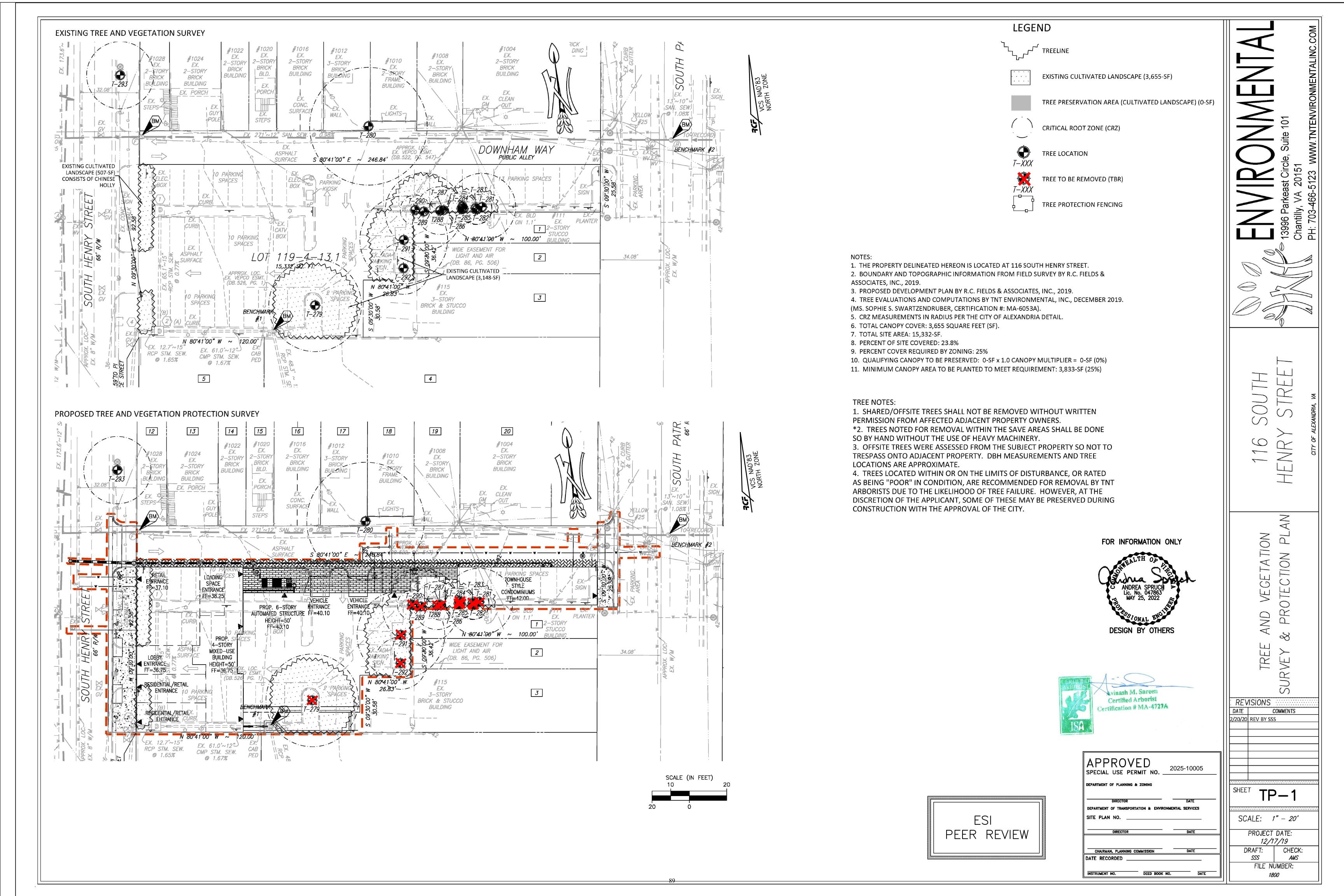
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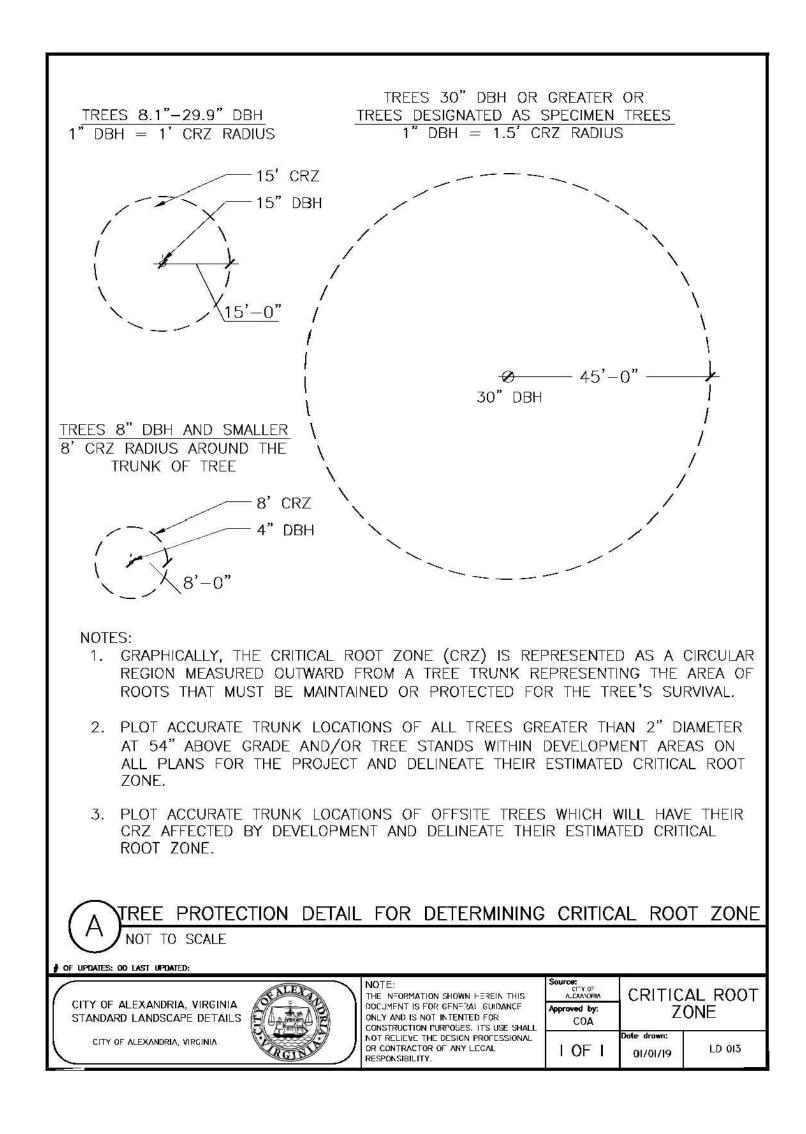
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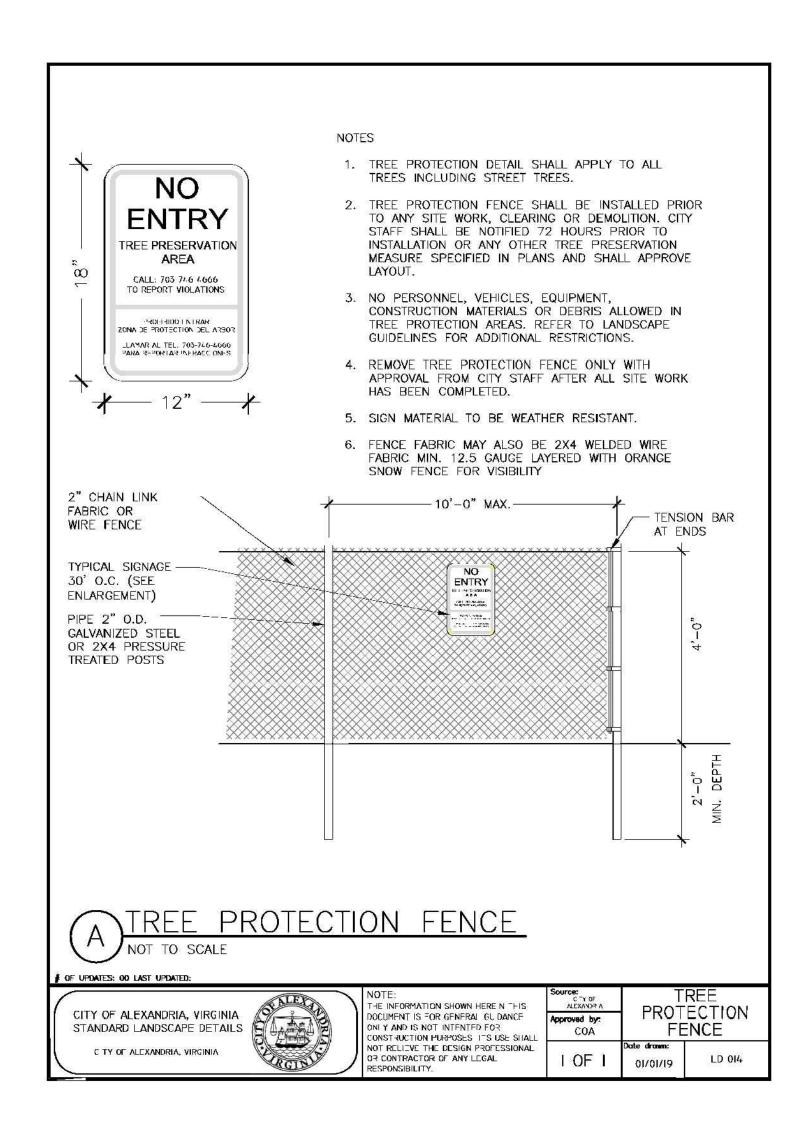
ENGINEERING • LAND SURVEYING • F
700 S. Washington Street, Suite 220 www.rcfa
Alexandria, Virginia 22314 (703)

ANDREA SPRUCH
Lic. No. 047863
MAY 25, 2022

FINAL SITE PLAN
TOWN ALEXANDRIA DEVELOP
116 SOUTH HENRY STREET
CITY OF ALEXANDRIA VIRGINIA



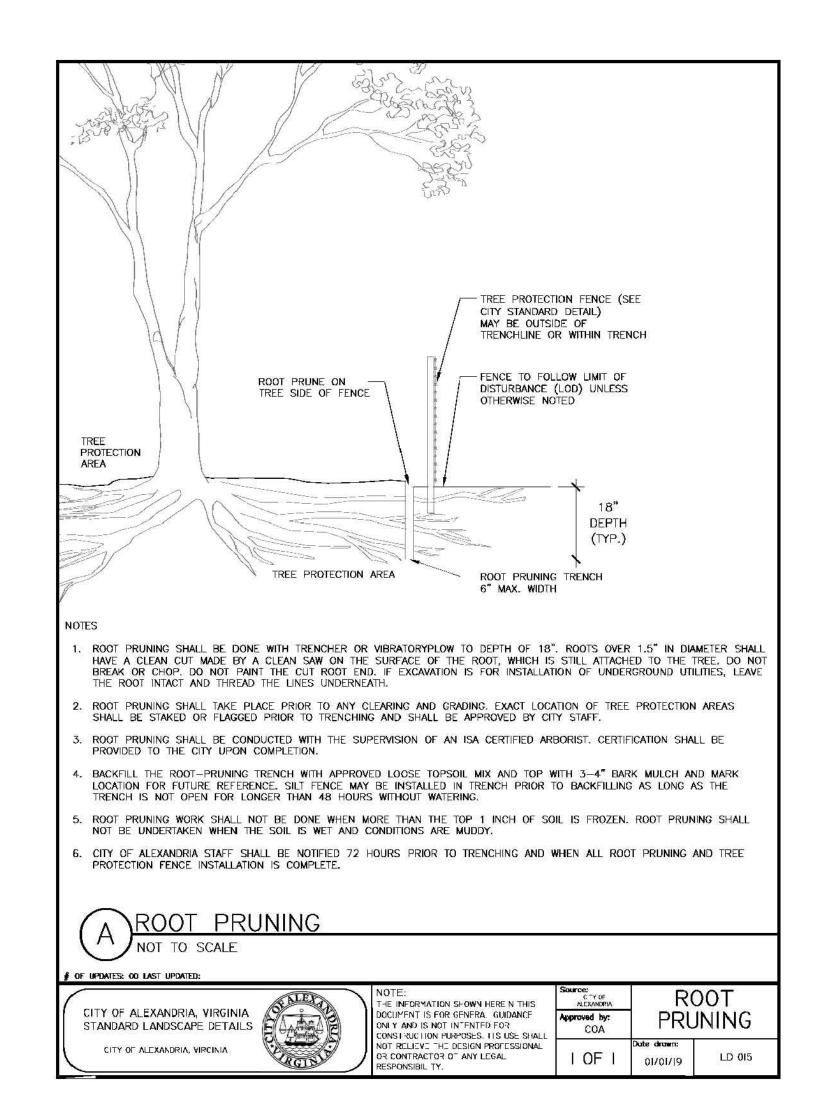




Tree Number	Common Name	Scientific Name	Size (dia. @ 54-in. above grade)	Critical Root Zone (feet)	Condition Rating %	Likelihood of Survival of Construction	Remove?	Offsite or Shared	Notes & Recommendations
279	Catalpa	Catalpa	24.8	24.8	44%	None, within LOD	TBR		Cavities at base, gall, broken limbs/dead limbs.
280	Tree of Heaven	Ailanthus altissima	31.5	31.5	50%	Fair	SAVE	Offsite	Vines up trunk, double trunk, dead limbs/broken limbs, one-sided.
281	Tree of Heaven	Ailanthus altissima	18.0	18.0	63%	None, within LOD	TBR	. II	Double trunk, English ivy up trunk, previously topped, stunted growth, dead limbs.
282	Tree of Heaven	Ailanthus altissima	5.2	8.0	50%	None, within LOD	TBR		Mostly dead, topped, debris at base.
283	Japanese Pagoda	Styphnolobium japonicum	8.8	8.8	50%	None, within LOD	TBR	: :	Previously topped, English ivy up trunk, broken limbs/dead limbs, debris at base.
284	Tree of Heaven	Ailanthus altissima	6.2	8.0	50%	None, within LOD	TBR		Previously topped.
285	Tree of Heaven	Ailanthus altissima	4.3	8.0	50%	None, within LOD	TBR	11	Previously topped.
286	Tree of Heaven	Ailanthus altissima	4.2	8.0	50%	None, within LOD	TBR		Previously topped.
287	Golden Rain Tree	Koelreuteria paniculata	7.9	8.0	56%	None, within LOD	TBR		One-sided, covered in English ivy, dead limbs/broken limbs, debris at base.
288	Golden Rain Tree	Koelreuteria paniculata	12.8	12.8	56%	None, within LOD	TBR		One-sided, covered in English ivy, dead limbs/broken limbs, debris at base.
289	Catalpa	Catalpa	20.7	20.7	63%	None, within LOD	TBR		Base covered in black beetles, covered in English ivy, dead limbs.
290	Catalpa	Catalpa	7.4	8.0	50%	None, within LOD	TBR		Covered in English ivy, dead limbs/broken limbs.
291	Golden Rain Tree	Koelreuteria paniculata	23.5	23.5	75%	None, within LOD	TBR		Multi-trunk, covered in English ivy, some dead limbs/broken limbs.
292	Golden Rain Tree	Koelreuteria paniculata	14.0	14.0	50%	None, within LOD	TBR		Leaning, covered in English ivy, one-sided, dead limbs.
293	London Planetree	Platanus x acerifolia	18.0	18.0	91%	High	SAVE	Offsite	Some dead limbs.

TREE NOTES:

- 1. SHARED/OFFSITE TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.
- *2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.
- 3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS AND TREE LOCATIONS ARE APPROXIMATE.
- 4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF THE CITY.



INVASIVE SPECIES CONTROL NARRATIVE:

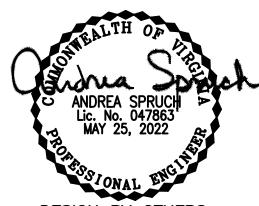
1. ANY APPLICATION OF ENVIRONMENTALLY SENSITIVE APPROVED HERBICIDES SHALL BE APPLIED BY A VIRGINIA CERTIFIED APPLICATOR OR REGISTERED TECHNICIAN.

2. ENGLISH IVY/PACHYSANDRA: REMOVE FROM TREES AND LANDSCAPE BY CUTTING ALL VINES AT GROUND LEVEL. VINES SHOULD BE CUT AGAIN SEVERAL FEET UP THE TRUNK. PEAL THE CUT SECTIONS OFF BUT CARE SHOULD BE TAKEN NOT TO STRIP THE BARK OFF THE TREE. PULL GROUND COVER BACK A FEW FEET FROM THE BASE OF THE TREE TO SLOW REGROWTH UP THE TREE TRUNK. REMOVE GROUND COVER BY HAND PULLING, CUTTING AND MULCHING OVER TOP, AND/OR APPLYING A GLYPHOSATE HERBICIDE AS A 4-PERCENT SOLUTION (1 PINT PER 3-GALLON MIX) TO LEAVES OR FRESHLY CUT LARGE STEMS, BY THOROUGHLY WETTING THEM. USE A STRING TRIMMER TO REDUCE GROWTH LAYERS AND TO INJURE LEAVES FOR IMPROVED HERBICIDE UPTAKE. RETREATMENT MAY BE NECESSARY FOR COMPLETE ERADICATION. THE REMNANTS SHALL BE BAGGED AND REMOVED FROM THE PROJECT SITE.

3. ORNAMENTAL BITTERSWEET: VINES SHALL BE REMOVED BY HAND, INCLUDING THE ROOTS, WHERE POSSIBLE TO MINIMIZE DISTURBANCE. FOR VINES TOO LARGE TO PULL, CUT AT GROUND LEVEL OR GRUB. CUT VINE STEMS MAY ALSO BE TREATED WITH A SYSTEMIC HERBICIDE BY A CERTIFIED APPLICATOR. FOR LARGE INFESTATIONS, A FOLIAR APPLICATION OF A SYSTEMIC HERBICIDE SUCH AS GLYPHOSATE OR TRICLOPYR MAY BE APPLIED FROM LATE SUMMER TO FALL BY A CERTIFIED APPLICATOR.

4. INVASIVE SPECIES CONTROL SHALL COMMENCE WITH E&S PHASE I AND BE CONDUCTED UNTIL THE PLANTS NOTED ABOVE ARE NO LONGER IN ABUNDANCE OR UNTIL BOND RELEASE, WHICHEVER IS LATER.

FOR INFORMATION ONLY



Avinash M. Sareen Certified Arborist Certification # MA-4727A

DESIGN BY OTHERS

PEER REVIEW

TATION GE AND TREE

COMMENTS

TP-2

CHECK:

AMS

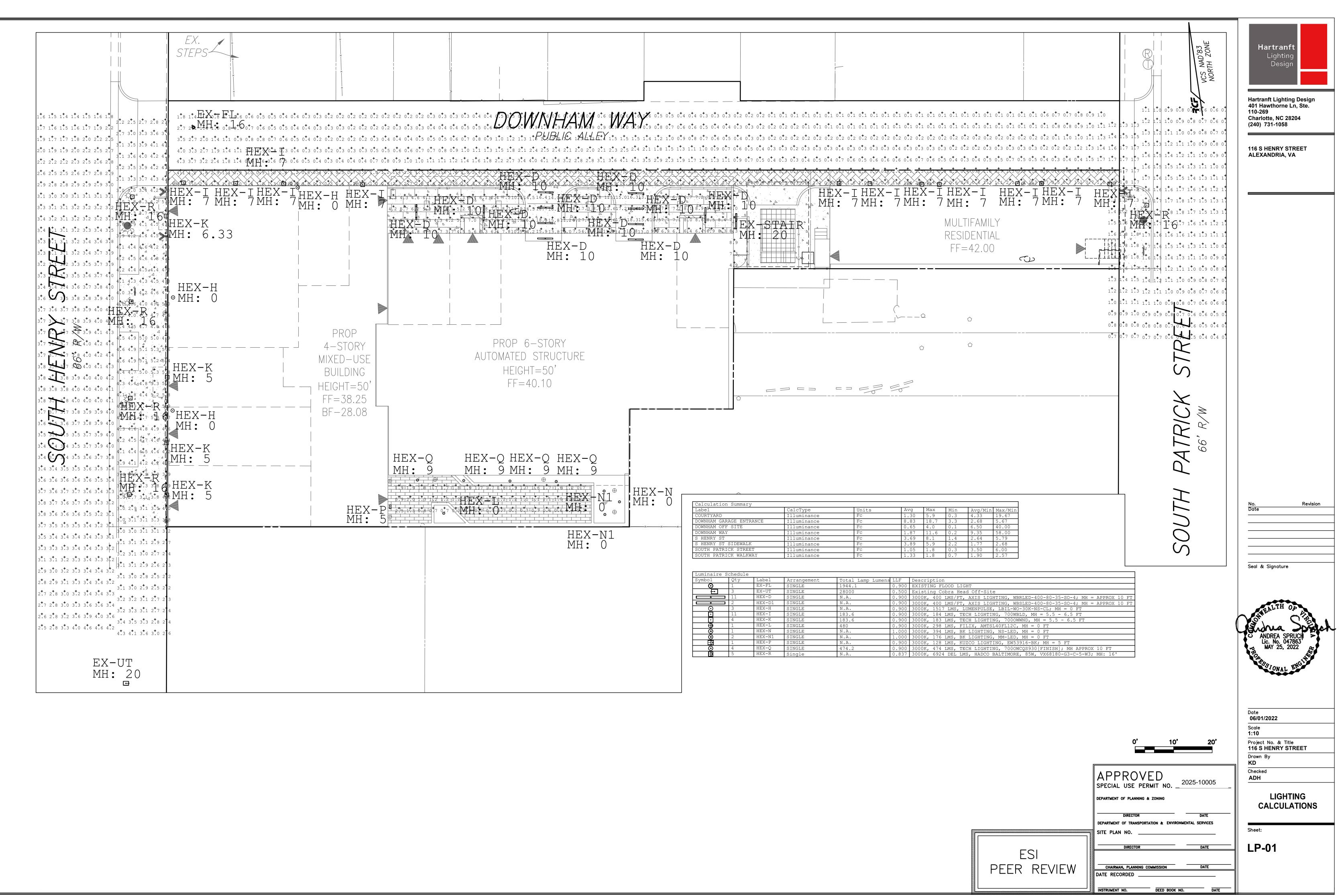
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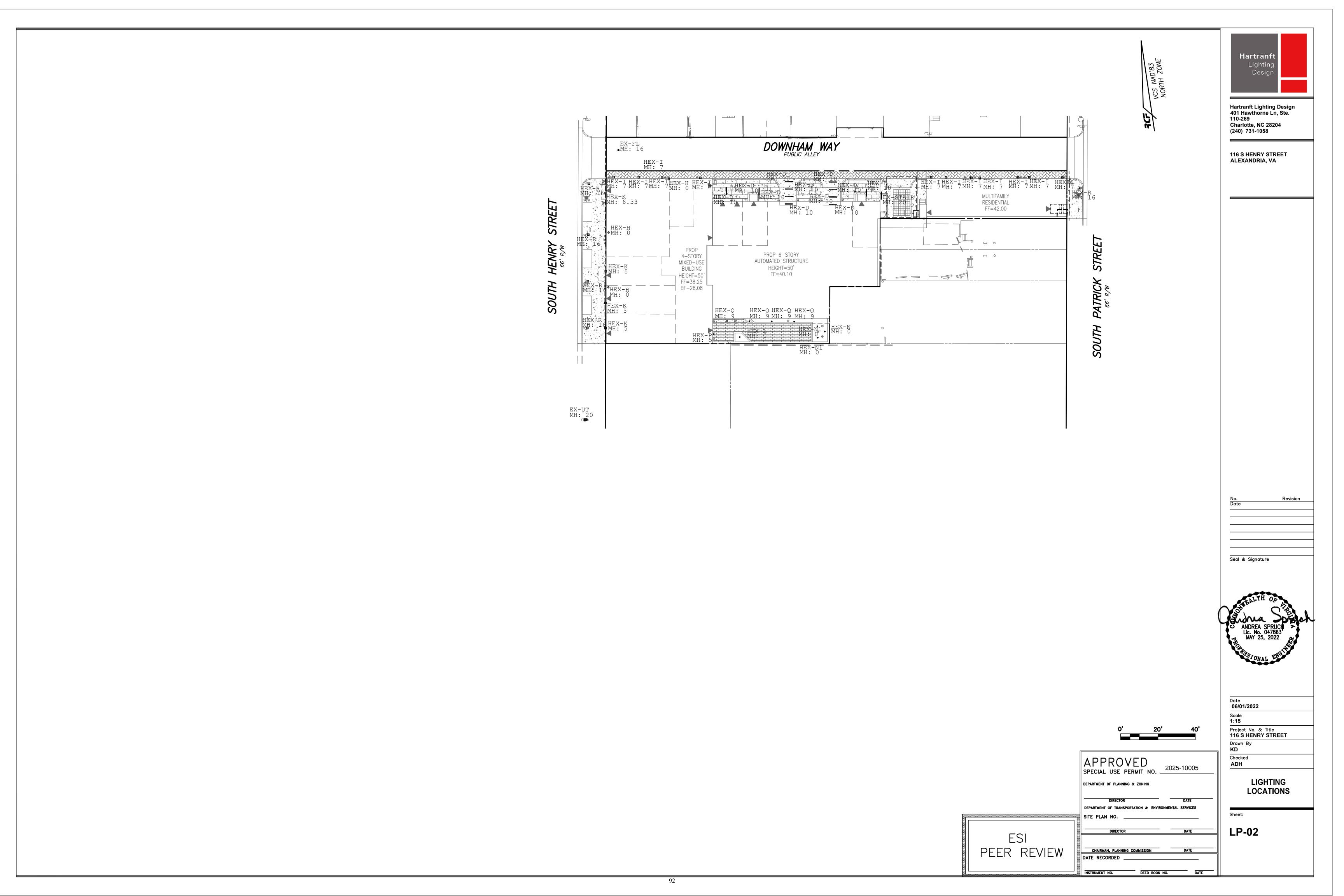
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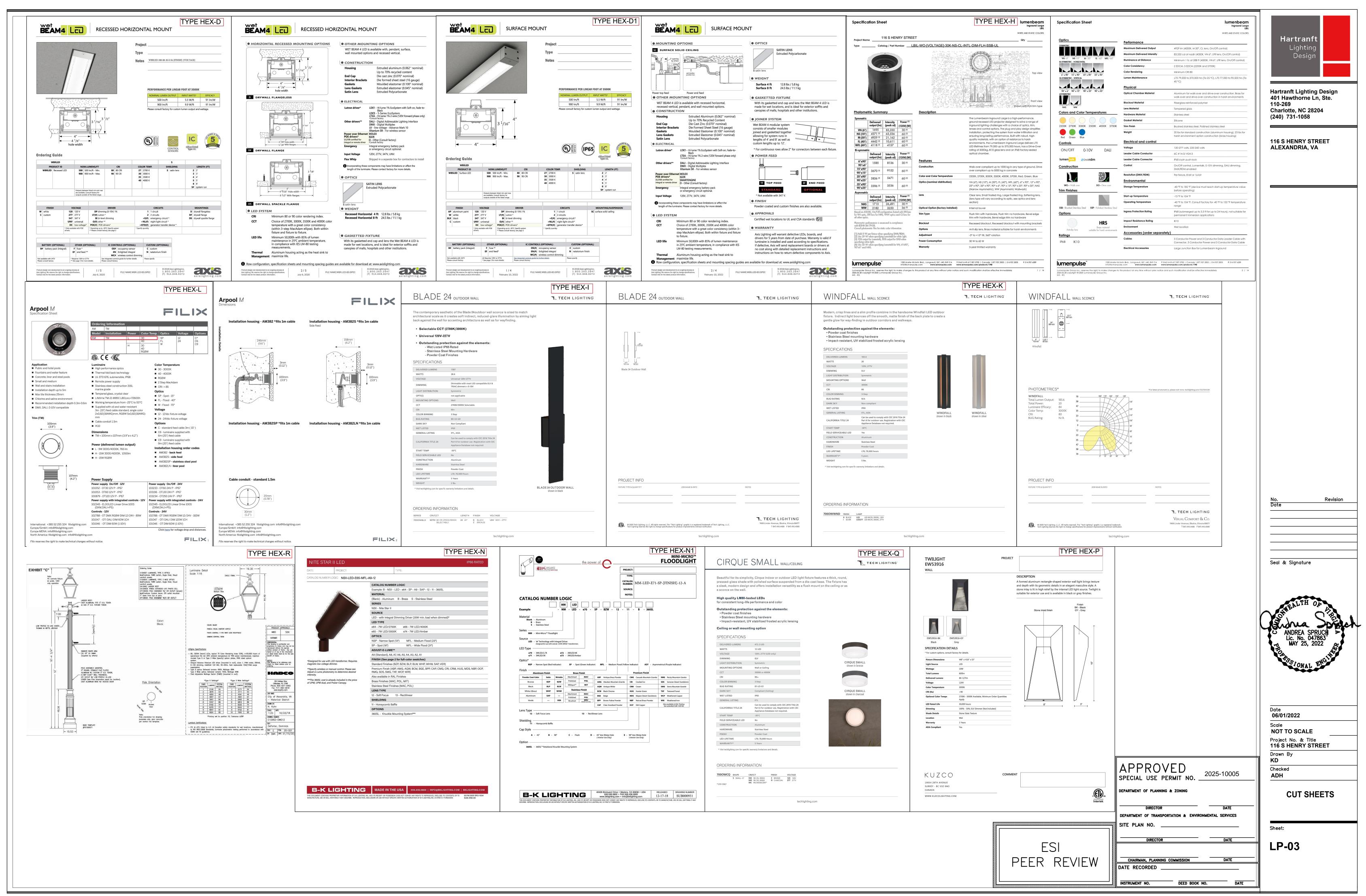
PROJECT DATE: 12/17/19

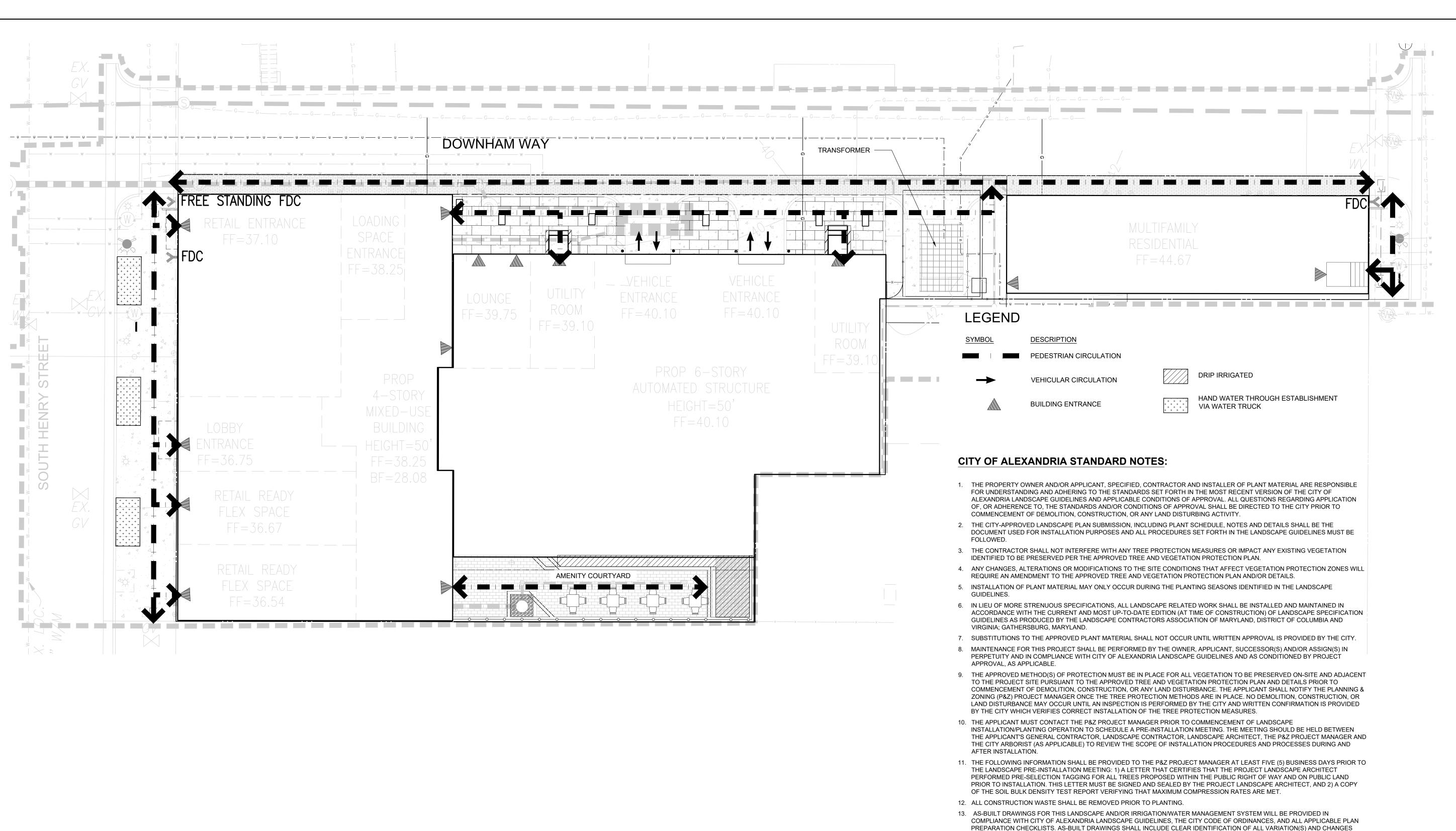
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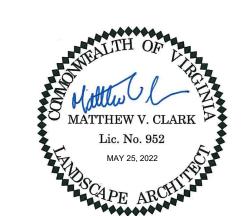






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116 S. HENRY ST.

GALENA CAPITAL PARTNERS 920 KING ST + 116 SOUTH HENRY ALEXANDRIA, VIRGINIA

2019086 REVISION / ISSUANCE DESCRIPTION DATE CONCEPT II 12.20.19 SUBMISSION PRELIMINARY I 02.28.2020 SUBMISSION PRELIMINARY I 05.01.2020 SUBMISSION PRELIMINARY I 06.12.2020 SUBMISSION **FSP SUBMISSION** 09.03.2021 FSP2 SUBMISSION 01.07.2022 SIGNATURE 05.25.2022 SUBMISSION

DESIGNED BY: MC/WT DRAWN BY: WT CHECKED BY: MC

CIRCULATION + IRRIGATION

FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

OF THE PROJECT BY THE CITY.

14. AREAS OF BARE SOIL WILL NOT BE ACCEPTED. MULCHED AREAS AND PLANTING AREAS SHALL BE WEED FREE UPON ACCEPTANCE

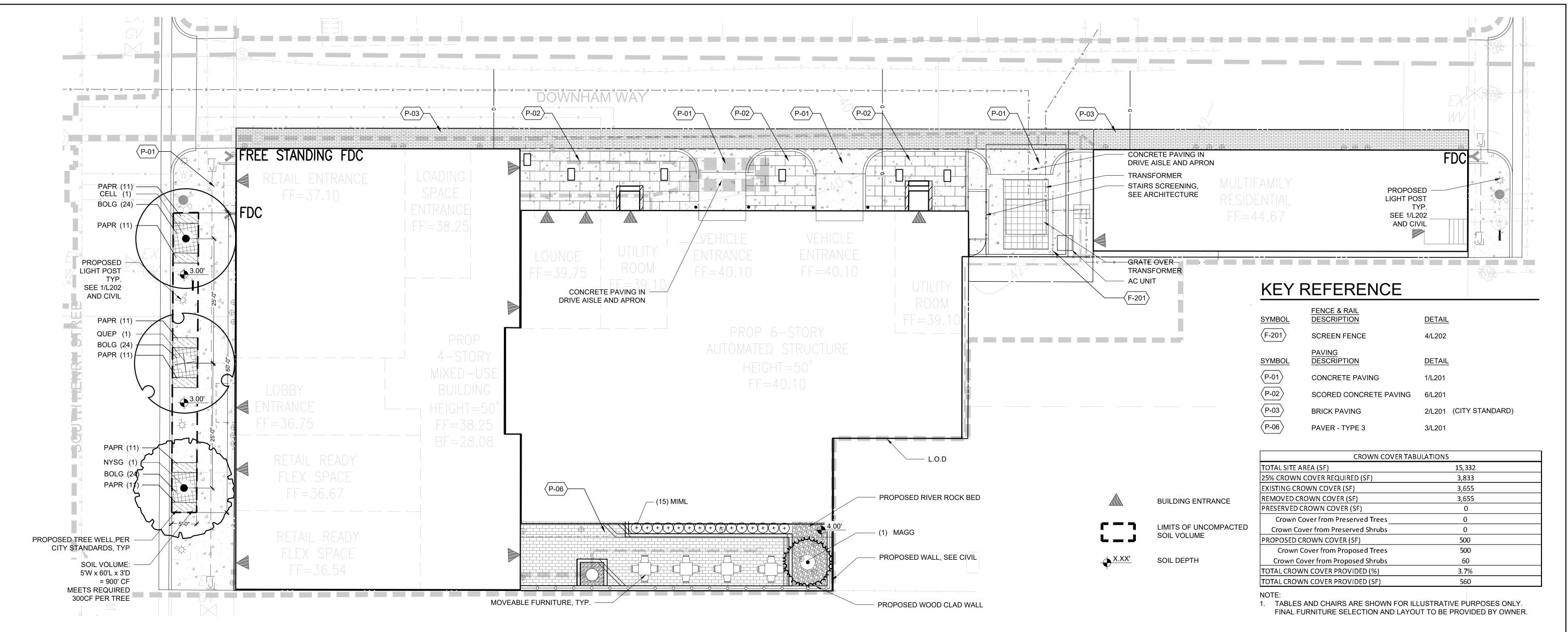
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APPROVED

DEPARTMENT OF PLANNING & ZONING

SPECIAL USE PERMIT NO.

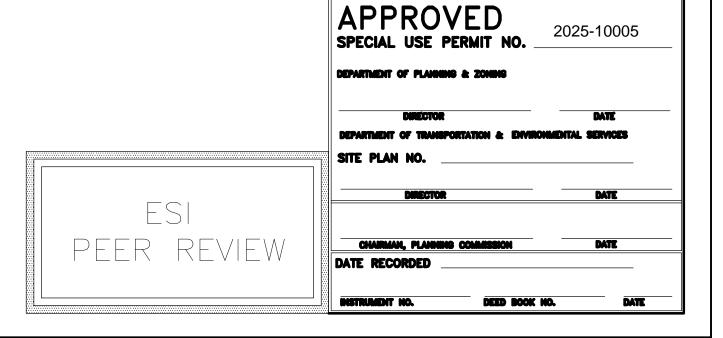


PLANT SCHEDULE S HENRY

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT.		REMARKS
$\overline{\bullet}$	CELL	1	CELTIS LAEVIGATA SUGAR HACKBERRY	B & B	3" - 3.5"			NATIVE
	NYSG	1	NYSSA SYLVATICA `GREEN GABLE` TM BLACK GUM	B & B	3" - 3.5"			NATIVE
+	QUEP	1	QUERCUS PHELLOS WILLOW OAK	B & B	3" - 3.5"			NATIVE
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT.		REMARKS
A CONTRACTOR OF THE CONTRACTOR	MAGG	1	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA ALTA	B & B		6` - 8`		
LARGE ORNAMENTAL GRASSES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE	<u>HEIGHT</u>	SPREAD		REMARKS
+	MIML	15	MISCANTHUS SINENSIS `MORNING LIGHT` MORNING LIGHT GRASS	1 GAL		18" - 24"		OCCAS. INVASIVE IN VA
GROUND COVERS	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE	COLOR	BLOOMS	SPACING	REMARKS
	PAPR	66	PACHYSANDRA PROCUMBENS ALLEGHENY SPURGE	1 QUART			12" o.c.	
SMALL ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	COLOR	BLOOMS	SPACING	REMARKS
	BOLG	72	BOUTELOUA GRACILIS BLUE GRAMA	1 GAL		JUNE - SEPTEMBER	12" o.c.	GROWS 12" - 16" HT.

CITY OF ALEXANDRIA STANDARD NOTES:

- 1. THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIED, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.
- 2. THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.
- THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN.
 ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.
- 5. INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.
- 6. IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION)
 OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GATHERSBURG, MARYLAND.
- 7. SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.
- 8. MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.
- 9. THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.
- 10. THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.
- 11. THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.
- 12. ALL CONSTRUCTION WASTE SHALL BE REMOVED PRIOR TO PLANTING.
- 13. AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.
- 14. AREAS OF BARE SOIL WILL NOT BE ACCEPTED. MULCHED AREAS AND PLANTING AREAS SHALL BE WEED FREE UPON ACCEPTANCE OF THE PROJECT BY THE CITY.



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ALEXANDRIA, VIRGINIA

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	NO.	DESCRIPTION	DATE
	1	CONCEPT II SUBMISSION	12.20.19
	2	PRELIMINARY I SUBMISSION	02.28.2020
	3	PRELIMINARY I SUBMISSION	05.01.2020
	4	PRELIMINARY I SUBMISSION	06.12.2020
	5	FSP SUBMISSION	09.03.2021
	6	FSP2 SUBMISSION	01.07.2022
	7	SIGNATURE SUBMISSION	05.25.2022
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	DE	SIGNED BY:	

DESIGNED BY:
DRAWN BY:
CHECKED BY:

SCALE

NORTH

VERT: N/A
HORZ: 1"=10'

0 5' 10' 2

SHEET TITLE

MATERIALS AND PLANTING

L102

PLANT TYPE	PLAN INF	ORMATION			BOTANIC/COMMON NAME		SIZE	NOTES	CROWN COVER ALI	OWANCE (CCA)	NATIVE	PLANTS PRO	OVIDED
	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	CALIPER	DOD comments de la circula la cir	CCA PER TREE (SF)	TOTAL CROWN COVER (SF)	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	CELL NYSG	1	CELTIS NYSSA	LAEVIGATA SYLVATICA	`GREEN GABLE` TM	SUGARBERRY BLACK GUM	3"-3.5" cal. 3"-3.5" cal.	B&B symmetrical, single leader (ROW tree) B&B symmetrical, single leader (ROW tree)	1,250 750	1,250 750	1	1	1
URBAN TREES	QUEP	1	QUERCUS	PHELLOS	GREEN GABLE TIVI	WILLOW OAK	3"-3.5" cal.	B&B symmetrical, single leader (ROW tree)	1,250	1,250	1	1	1
	QOL!	-	QUENCOS	1112203		WILLS W S/ III	3 3.3 car.		0	0	0	0	0
	TOTALS					1			LIDDAN TOFF COA	2.250	3	3	3
	TOTALS	3							URBAN TREE CCA:	3,250	100.0%	100.0%	100.0%
	PLAN KEY	QUANTITY	GENUS	SPECIES		COMMON NAME	HEIGHT		CCA PER TREE (SF)	TOTAL CROWN COVER (SF)	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
STANDARD TREES	MAGG	1	MAGNOLIA	GRANDIFLORA		SOUTHERN MAGNOLIA ALTA	6-8ft. ht.	B&B	500	500	0	1	1
											0	0	0
	TOTALS	1							STANDARD TREE CCA	: 0	0	1 100.00/	1 100 000
											0.0%	100.0%	100.0%
	PLAN KEY	QUANTITY	GENUS	SPECIES	•	COMMON NAME	SIZE		CCA PER SHRUB (SF)	TOTAL CROWN COVER (SF)	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
EVERGREEN SHRUBS	ABGS	6	ABELIA X	GRANDIFLORA	SUNRISE'	SUNRISE ABELIA	#3 CONTAINER		10	60	0	0	0
									EVERGREEN SHRUB		0	0	0
	TOTALS								CCA:	60	0.0%	0 0.0 %	0.0%
	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.				REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	MUCP8	10	MUHLENBERGIA	CAPILLARIS		PINK MUHLY GRASS	1 GAL	24" O.C.			10	10	10
GROUNDCOVERS	PAPR	66	PACHYSANDRA	PROCUMBENS		ALLEGHENY SPURGE	1 QUART	12" O.C.	N/A	1		66	66
	OPJN	14	OPHIOPOGON	JAPONICUS	NANA	DWARF MONDO GRASS	1 QUART	12" O.C.			0	0	0
	TOTALS	90									10	76	76
											11.0%		84.4%
							<u>.</u>				REGIONAL		TOTAL
		QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID	COMMON NAME	SIZE/CONT.	46" 5 5			(#)	U.S. (#)	
DEDENINHALO FERNO	BOLG	72	BOUTELOUA	GRACILIS		BLUE GRAMA	1 GAL	12" O.C.	N/A	١	72	72	72
	.	_	CALABAACDOCTIC	A CLITICI OB A	LADI EODECTED						_	^	
PERENNIALS, FERNS, RNAMENTAL GRASSES	CAKF	8	CALAMAGROSTIS	ACUTIFLORA	KARL FORESTER	KARL FORESTER'S FEATHER REED GRASS	1 GAL	18" O. C.	-		80	8	<u>8</u> 80

		URBAN	TREE TABULATIO	NS	
			PROJECTED 20	IMPERVIOUS AREA	IMPERVIOUS AREA
PLAN KEY	QUANTITY	PLAN LOCATION	YR. CANOPY*	UNDER CANOPY	GREATER THAN 50%
FLANKLI		FLAN LOCATION			OF PROJECTED 20 YR.
			(PER TREE)	(PER TREE)	CANOPY? (Y/N)
CELL	1	STREET TREE	1,250 SF	1,250 SF	Υ
NYSG	1	STREET TREE	750	680	Υ
QUEP	1	STREET TREE	1,250 SF	1,250 SF	Υ
MAGG	1	COURTYARD	500 SF	0 SF	N
		TOTA	AL URBAN TREES		
			3		

			BIODIVERSITY	TABULATIONS			
TREES (URBAN A	ND STANDARD)					
TOTAL NUMBER	OF TREES PROP	OSED: 4					
GENUS	QTY.	PERCENT OF TOTAL	MAXIMUM PERCENT	SPECIES	QTY.	PERCENT OF TOTAL	MAXIMUM PERCEN
GENUS	QII.	PROPOSED	ALLOWED		QII.	PROPOSED	ALLOWED
Celtis	1	25.0%	33%	Laevigata	1	25.0%	10%
Nyssa	1	25.0%	33%	Sylvatica	1	25.0%	10%
Quercus	1	25.0%	33%	Phellos	1	25.0%	10%
Magnolia	1	25.0%	33%	Grandiflora	1	25.0%	10%
SHRUBS							
TOTAL NUMBER	OF SHRUBS PRO	OPOSED: 6					
CENTIC	OTV	PERCENT OF TOTAL	MAXIMUM PERCENT	CDECIEC	OT/	PERCENT OF TOTAL	MAXIMUM PERCEN
GENUS	QTY.	PROPOSED	ALLOWED	SPECIES	QTY.	PROPOSED	ALLOWED
Abelia		6	33%		1	6	10%

				NATIVE PLA	NT TABULA	TIONS					
			MARCH 2, 2019 -	-JANUARY 1,	2020	JANUARY 2, 2020	-JANUARY	1, 2024	BEGINNING JAN	IUARY 2, 2	024
PLANT TYPE	QUANTITY	NATIVE TYPE	REQUIRED	PRO	VIDED	REQUIRED	PRO\	√IDED	REQUIRED	PROV	'IDED
PLANTITPE	QUANTITY	NATIVETTPE	%	QTY.	%	%	QTY.	%	%	QTY.	%
Urban Trees	3	Regional/Local	10%			15%	3	100%	20%		
Orban frees	3	Total Natives	25%			25%	3	100%	50%		
Standard Trees	1	Regional/Local	15%			25%	1	100%	40%		
Standard Trees 1		Total Natives	40%			60%	1	100%	80%		
Evergreen	6	Regional/Local	5%			8%	6	100%	10%		
Shrubs	U	Total Natives	20%			30%	6	100%	40%		
Deciduous	0	Regional/Local	10%			15%	0	0%	20%		
Shrubs	U	Total Natives	40%			60%	0	0%	80%		
Groundcovers	90	Regional/Local	5%			10%	10	11%	10%		
Groundcovers	50	Total Natives	10%			20%	76	84%	20%		
Perennials, Ferns, Ornamental	80	Regional/Local	10%			15%	80	100%	25% (perennials) 30% (ferns & grasses)		
Grasses	00	Total Natives	25%			40%	80	100%	60% (perennials) 80% (ferns & grasses)		
Vines	0	Total Natives	80%			100%	0	0%	100%		
				T	OTALS						
TOTAL PLANT	S SPECIFIED	TOTAL SUM O	F REGIONAL/LOCAL I	NATIVE PLAN	TS		TOTA	L SUM OF	NATIVE PLANTS		
2.4	C		166					23	32		
24	р		67.5%					94.	.3%		

1) Percentages apply to the total quantity of each plant type specifed on Completeness/Preliminary Plans and Final #1 Grading Plans submitted during the listed time frames.

2) Total Natives is the sum of Eastern U.S. Native, Regionally Native, and Locally Native vegetation specifed on the plans for each plant type.

3) Non-native vegetation for the purposes of providing edible fruits, seeds, or nuts may be planted and shall not be calculated in the above-stated requirements for native species regardless of plant type.

DEPARTMENT OF PLANNING & ZOUNG

DEPARTMENT OF PLANNING & ZOUNG

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO.

DIRECTOR

DIRECTOR

DATE

CHARMAN, PLANNING COLAMISSION

DATE

DATE

DATE

DATE

HISTRUMENT NO.

DEED BOOK NO.

DATE

LandDesign.

200 S. PEYTON STREET ALEXANDRIA, VA 22314 703.549.7784 WWW.LANDDESIGN.COM

MATTHEW V. CLARK
Lic. No. 952
MAY 25, 2022

116 S. HENRY ST.

GALENA CAPITAL PARTNERS

920 KING ST + 116 SOUTH HENRY

ALEXANDRIA, VIRGINIA

THE DEC	IGN PROJ.# 2019086	
F	REVISION / ISSU	ANCE
NO.	DESCRIPTION	DATE
1	CONCEPT II SUBMISSION	12.20.19
2	PRELIMINARY I SUBMISSION	02.28.2020
3	PRELIMINARY I SUBMISSION	05.01.2020
4	PRELIMINARY I SUBMISSION	06.12.2020
5	FSP SUBMISSION	09.03.2021
6	FSP2 SUBMISSION	01.07.2022
7	SIGNATURE SUBMISSION	05.25.2022
	SIGNED BY: MC/WT	
	AWN BY: WT ECKED BY: MC	

CHECKED BY: MC

SCALE

NORTH

VERT: N/A
HORZ: 1"=10'

0 5' 10' 20'

SHEET TITLE

LANDSCAPE SCHEDULE + TABULATIONS

L103

5/31/2022 10:26 PM DAPHNE BRICE Z:\TEMPLATES\SHEETS\LA\SHEET-24X36.DWT

PLANTING NOTES:

- . ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER.
- REPORTED TO THE OWNER.

 2. ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z60.1 -2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED APRIL 14, 2014.
- CALIPER SIZE OF CANOPY TREES ARE TO BE MEASURED PER LOCAL CITY LANDSCAPE ORDINANCE.
 ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE
- NURSERY GROWN UNLESS SPECIFIED OTHERWISE.
- 5. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDDESIGN PRIOR TO PURCHASE.
- 6. SIZES LISTED ARE MIN. AND REFER TO HEIGHT, UNLESS OTHERWISE SPECIFIED.
- LANDSCAPE CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED FOR REVIEW BY LANDDESIGN PRIOR TO INSTALLING. LANDDESIGN RESERVES THE RIGHT TO ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY.
- 8. SHRUB/GROUNDCOVER BEDS SHALL BE STAKED FOR REVIEW BY LANDDESIGN/OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND OR BED PREPARATION.
- 9. IF APPLICABLE LANDSCAPE CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN PLANTING BEDS AND LAWNS, OR AS SHOWN IN DETAILS.
- 10. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES. PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- 11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE LANDDESIGN OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THE DRAWINGS.
- 12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- 13. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT OF SAME VARIETY AND SIZE IF
- DAMAGED, DESTROYED, DEAD AND /OR REMOVED.
- 14. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- 15. FINAL FINISHED GRADING SHALL BE REVIEWED BY LANDDESIGN. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION SUITABLE FOR PLANTING.
- 16. TREES OVERHANGING INTO THE PUBLIC R.O.W. SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN(14) FEET OVER STREETS, DRIVE AISLES, ALLEYS AND FIRE LANES. TREES OVERHANGING PRIVATE STREETS, WALKS, AND /OR PARKING LOTS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET.
- 17. LANDSCAPE CONTRACTOR IS REQUIRED TO PERFORM A TREE PIT PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF TREE PIT DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC AND STAND PIPE. ALL TREE PIT SUMPS SHALL BE INCLUDED IN IN THE CONTRACTOR'S BASE BID AS A UNIT PRICE AND PROVIDE AS A DEDUCT ALTERNATE PER TREE PIT SUMPS NOT REQUIRED TO BE INSTALLED.
- 18. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (I.E., SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF LANDDESIGN AND/OR OWNER, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. LANDDESIGN TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTIVE. SHOULD PLANT MATERIAL DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE, THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL INSTALLED.
- 19. ALL NEW PLANTING AREAS SHALL BE BACKFILLED WITH PLANTING SOIL THAT IS A MIXTURE OF 40-50% IMPORTED UNSCREENED TOPSOIL, 40-45% COARSE SAND, AND 10% COMPOST. FINAL TESTED ORGANIC MATTER SHALL BE BETWEEN 2.75 AND 4% (BY DRY WEIGHT). BACKFILL SHALL BE TO A DEPTH OF 18" FOR SHRUB AND GROUNDCOVER ZONES AND 36" FOR TREE PITS.
- 20. AFTER PLANTING SOIL MIXES ARE INSTALLED IN NEW PLANTING BED AREAS AND JUST PRIOR TO THE INSTALLATION OF SHRUB OR GROUNDCOVER PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN.
- 21. IN ALL EXISTING PLANTING AREAS DESIGNATED TO RECEIVE NEW PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE THE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN. IN NO CASE WILL THIS BE PERFORMED WHERE IT MAY NEGATIVELY IMPACT THE HEALTH OF ADJACENT, EXISTING PLANT MATERIALS WHICH ARE DESIGNATED TO REMAIN.
- 22. LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS, AND THAT THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR THAT PLANTS ARE DEFECTIVE. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER, AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD. THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY.
- 23. MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION, AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, THE INTERNATIONAL SOCIETY OF ARBORICULTURE, AND THE AMERICAN NATIONAL STANDARDS INSTITUTE.

PLANTERS/POTS/SEASONAL PLANTING NOTES:

- 2. SOIL SHOULD BE NUTRIENT-RICH, MOISTURE CONTAINING PLANTING MEDIUM AND BE A MINIMUM 18" DEPTH FOR SEASONALS, PERENNIALS AND SMALL SHRUBS; MINIMUM 36" DEPTH FOR ALL TREES.
- 3. A LAYER OF RIVER ROCK SHALL BE PLACED IN THE BASE OF EACH PLANTER POT TO A MINIMUM 6" DEPTH OR AS ALLOWABLE BY REQUIRED SOIL DEPTH. PLACE FILTER FABRIC BETWEEN SOIL MEDIUM AND RIVER ROCK AND SOIL MEDIUM AND PLANTER EDGES. OVERLAP FABRIC 6" MINIMUM TO MINIMIZE SOIL WASH.
- 4. PLANTERS POTS WHICH DO NOT RECEIVE IRRIGATION SHALL BE HAND-WATERED. HAND WATERING SHOULD OCCUR MINIMUM 2 TIMES PER WEEK DURING COOLER AND RAINY SEASONS AND INCREASED TO EVERY 2-3 DAYS DURING HOT/DRY WEATHER. ALWAYS CHECK SOIL 6" BELOW SURFACE FOR SATURATION PRIOR TO WATERING TO PREVENT OVERWATERING/DROWNING OF PLANT MATERIAL.
- 5. WHEN APPLICABLE, PLANTS TO REMAIN IN CONTAINERS FOR DURATION OF SEASON ARE SHOWN IN THE "PERMANENT" LAYOUT. EACH SEASON WILL HAVE ITS OWN PLANT MATERIAL, SOME OF WHICH MAY LAST ALL YEAR. ROTATE IN THE PLANTS NOTED FOR EACH SEASON.
- 6. IF PLANT MATERIAL DIES DURING A SEASON AND IS EXPECTED TO REMAIN FOR AN ADDITIONAL SEASON, CONTRACTOR IS TO REPLACE AT TIME OF NEXT
- SEASONAL ROTATION.

 7. CONTACT LANDDESIGN FOR ANY REQUIRED SUBSTITUTIONS.
- 8. ALL PLANTS SHOULD BE FULL AT TIME OF INSTALLATION AND COVER 75% OF POT SURFACE AREA.
- 9. AVOID PLANTING IN THE ROOT ZONE OF ANY PERMANENT TREES, SHRUBS, OR PERENNIALS.
- 10. SEASONAL PLANTS SHOULD BE REMOVED FOLLOWING THE FIRST MAJOR FROST DIEBACK AND REPLACED WITH EVERGREEN BOUGHS OR OTHER OWNER APPROVED WINTER DECOR. TREES, SHRUBS AND PERENNIALS SHOULD REMAIN IN THE CONTAINERS YEAR ROUND AND REPLACED ONLY AS NECESSARY.

IRRIGATION NOTES:

- 1. A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
- 2. ALL PLANTING BEDS/ SHRUB AND GROUNDCOVER AREAS TO BE IRRIGATED WITH EITHER 12" SPRAY POP-UPS AND/OR A LANDSCAPE DRIP-LINE SYSTEM, UNLESS NOTED OTHERWISE.
- 3. ALL PLANTER POTS AND RAISED PLANTERS TO BE IRRIGATED WITH MICRO SPRAY SPRINKLER HEADS.
- 4. IRRIGATION SYSTEM IS DESIGN/BUILD. CONTRACTOR TO PROVIDE DRAWINGS AND CUT SHEETS OF ALL COMPONENTS.
- 5. PROVIDE AS-BUILT DRAWINGS OF IRRIGATION AFTER INSTALLATION.

MATERIALS + PAVING NOTES:

- 1. ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT SERVICES AND TESTING FOR ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- 2. SUBGRADE PREPARATION, PAVEMENT STRENGTH AND THICKNESS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
- 2.1. PROOF-ROLL SUBGRADE: PRIOR TO PREPARATION OF THE SUBBASE, THE SUBGRADE SHALL BE PROOF-ROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED TO FIRM SUBGRADE AND BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- 2.2. PAVEMENT SUBGRADE SHALL BE GRADED TO PREVENT PONDING AND INFILTRATION OF EXCESSIVE MOISTURE ON OR ADJACENT TO THE PAVEMENT SUBGRADE.
- 3. THE USE OF "LEVEL UP" SAND UNDER PAVEMENT WILL NOT BE ACCEPTED, UNLESS NOTED OTHERWISE.
- 4. CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AND FALLING, BUT MAY BE PLACED WHEN THE TEMPERATURE IS ABOVE 35 DEGREES FAHRENHEIT AND RISING. THE TEMPERATURE READING SHALL BE TAKEN IN THE SHADE AWAY FROM ARTIFICIAL HEAT
- 4.1. DO NOT PLACE CONCRETE WHILE IT IS RAINING OR WHEN RAIN IS IMMINENT.
- 5. CAST IN PLACE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:
- 5.1. MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE
- 5.2. AGGREGATES: ASTM C33 MAX 3/4" IN SIZE, UNLESS NOTED OTHERWISE5.3. SLUMP: 3 TO 5 INCHES
- 5.4. AIR CONTENT: 4 TO 6 PERCENT BY VOLUME
- 6. CONCRETE THICKNESS:
- 6.1. PEDESTRIAN AREA: 4" THICK, UNLESS NOTED OTHERWISE.
- 6.2. ALL OTHER CONCRETE COMPONENTS INSTALL PER SIZE SPECIFIED IN DRAWINGS
- 7. CONCRETE REINFORCING:7.1. 4" THICK PAVING: #3's AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
- 7.2. 6" THICK PAVING: #4s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
- 7.3. 8" THICK PAVING: #5's AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
 7.4. ALL PAVEMENT REINFORCING BARS SHALL BE GRADE 60 KSI DEFORMED BILLET STEEL BARS, UNCOATED FINISH. SIZE AND SPACING SHALL BE IN
- ACCORDANCE WITH THE PAVING PLAN AND DETAILS.
- 7.5. ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS.
- 8. CONTROL JOINTS (TROWEL OR SAW CUT)
- 8.1. TO BE PLACED AS INDICATED ON PLANS AND DETAILS TO A MINIMUM DEPTH OF 1/8 OF CONCRETE THICKNESS.
- 8.2. SAW CUT JOINTS TO BE EXECUTED WITHIN 12 HOURS OF CONCRETE PLACEMENT.
- 8.3. SAWN JOINTS ARE TO BE TRUE IN ALIGNMENT AND SHALL CONTINUE THROUGH ADJACENT CURBS. RADIAL JOINTS SHALL BE NO SHORTER THAN 18".
 8.4. SAWN JOINTS TO BE CLEANED OF DEBRIS, DIRT, DUST, SCALE, CURING COMPOUND AND CONCRETE, BLOWN DRY AND IMMEDIATELY SEALED.
 SEALANT MATERIAL SHALL BE SONNEBORN SONOLASTIC SL2 MULTI-COMPONENT, SELF-LEVELING, ELASTOMERIC POLYURETHANE OR EQUIVALENT.
 SEALANT COLOR SHALL MATCH PAVEMENT.
- 9. EXPANSION JOINTS
- 9.1. PLACE AT A MAXIMUM SPACING OF 30' O.C. AND COORDINATE WITH OVERALL PAVING PATTERN AND COLOR.
- 9.2. PROVIDE DOWELS AS SPECIFIED IN DRAWING DETAILS.
- 9.3. CONTRACTOR SHALL PREPARE A JOINT LAYOUT AND PROVIDE IT TO THE ENGINEER FOR REVIEW. THE JOINT LAYOUT SHALL BE PROVIDED A MINIMUM OF ONE WEEK PRIOR TO PLACING CONCRETE. PATTERN SHALL BE CAREFULLY DESIGNED BY THE CONTRACTOR TO AVOID IRREGULAR SHAPES. EXPANSION JOINTS SHALL NOT BE LOCATED ALONG VALLEYS IN PAVEMENT.
- 10. ALL CONSTRUCTION JOINTS SHALL BE SAWN, CONCRETE FINISHES TO BE PER DRAWING DETAILS AND SPECIFICATIONS.
- 11. CONCRETE SHALL BE BROOM FINISHED AND CURED FOR A MINIMUM OF 72 HOURS UNLESS NOTED OTHERWISE.
- 12. BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY FULL DEPTH SAW CUT WHEN ADJACENT TO PROPOSED PAVEMENT
- AND/OR CURBS.
- 13. PROPOSED PAVEMENT AND/OR CURBS INTENDED TO TIE INTO EXISTING SHALL MATCH THE ELEVATION OF EXISTING PAVEMENT AND/OR CURBS.14. PAVEMENT MARKINGS
- 14.1. FIRE LANES SHALL BE STRIPED AND/OR SIGNED IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' REGULATIONS.
- 14.2. ALL ACCESSIBLE PAVEMENT MARKINGS SHALL COMPLY WITH ADAAG STANDARDS AND STATE AND LOCAL CODES.
- 14.3. PARKING SPACE STRIPES, ACCESSIBLE SPACES, PEDESTRIAN STRIPING, DIRECTIONAL ARROWS AND LETTERING SHALL BE SOLID WHITE, UNLESS A SPECIFIC COLOR IS REQUIRED BY LOCAL CODE. TWO (2) COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDILUTED, SOLVENT BASED OR LATEX TRAFFIC PAINT SHALL BE APPLIED. USE MANUFACTURER'S RECOMMENDED APPLICATION RATE, WITHOUT ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED. PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7 MILS DRY FILM THICKNESS PER COAT WITH A MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF THE LINE FOR A MINIMUM TOTAL DRY FILM THICKNESS OF 15 MILS.
- 15. CONTRACTOR SHALL REFER TO THE SITE CIVIL, MEP AND IRRIGATION PLANS FOR CONDUIT TO BE INSTALLED UNDER PAVEMENT PRIOR TO COMMENCING PAVEMENT SUBGRADE PREPARATION.

ACCESSIBILITY NOTES:

- 1. MAX CROSS SLOPE ON PAVED SURFACES SHALL BE 2% MAXIMUM, UNLESS NOTED OTHERWISE
- 2. MAX RUNNING SLOPE ON PAVED SURFACES SHALL BE 5% MAXIMUM, UNLESS NOTED OTHERWISE.
- 3. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- 4. ALL CURB RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE.
- 5. ALL CURB RAMPS SHALL HAVE A 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL, 2% MAX CROSS SLOPE.
- 6. IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO COMPLY WITH ALL APPROPRIATE FAIR HOUSING ACCESSIBILITY GUIDELINES AND GENERAL NOTES FOR PUBLIC AND COMMON USE FACILITIES. REPORT ANY DISCREPANCIES TO LANDDESIGN.

GENERAL NOTES:

- 1. BASE INFORMATION, INCLUDING EXISTING CONDITIONS, TOPOGRAPHY, EXISTING UTILITIES, AND BOUNDARY INFORMATION IS FROM PLANS BY: OWNER ARCHITECTURAL INFORMATION IS FROM PLANS BY: OWNER
- 2. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDDESIGN OF ANY DISCREPANCIES.
- 3. DIMENSIONS ARE TO FACE OF OBJECT, UNLESS NOTED OTHERWISE.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING UTILITIES ARE TO BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER. LANDDESIGN ASSUMES NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS.
- 5. ALL PROPOSED FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO LANDDESIGN IMMEDIATELY.
- 6. PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN THE FIELD FOR REVIEW BY LANDDESIGN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.
- 7. CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ITEMS PER DRAWINGS AND SPECIFICATION. NOTIFY LANDDESIGN OF ANY MAJOR DISCREPANCIES BETWEEN CONTRACTOR'S VERIFIED QUANTITIES, BID BOOK, AND INTENT OF DRAWING.
- 8. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS ANY QUANTITIES PROVIDE BY LANDDESIGN ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDDESIGN SHOULD BE NOTIFIED OF ANY GRADING DISCREPANCIES.
- 9. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED, SHALL BE VERIFIED WITH THE OWNER OR LANDDESIGN PRIOR TO RIDDING.
- 10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- 11. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & LANDDESIGN SHALL BE NOTIFIED IMMEDIATELY.
- 12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY LANDDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 13. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.14. CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES AND NOTIFY OWNER & LANDDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 15. THE CONTRACTOR SHALL EMPLOY, AS REQUIRED BY GOVERNING AUTHORITIES, AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FROM CONCRETE, SOIL COMPACTION AND WELDING TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES. COST SHALL BE INCLUDED AS INCIDENTAL TO
- 16. ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR(S) SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR ANY DAMAGE TO EXISTING CONDITIONS, OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATION, ADDITIONS OR REMOVAL.

LAYOUT NOTES:

- 1. ALL MATERIALS AND CONSTRUCTION WITHIN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS.
- 2. EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- 4. ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
- 5. BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE BOUNDARY SURVEY PREPARED BY CAPP SURVEY. REFER TO THE BOUNDARY SURVEY AND PLAT TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
- 6. BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
- LAY PAVERS IN PATTERN(S) SHOWN ON DRAWINGS. PLACE UNITS HAND TIGHT WITHOUT USING HAMMERS. MAKE HORIZONTAL ADJUSTMENTS TO PLACEMENT OF LAID PAVERS WITH RUBBER HAMMERS AS REQUIRED.
 PROVIDE JOINTS BETWEEN PAVERS BETWEEN 1/16 IN. AND 3/16 IN. (2 AND 5 MM) WIDE. NO MORE THAN 5% OF THE JOINTS SHALL EXCEED 1/4" WIDE TO
- ACHIEVE STRAIGHT BOND LINES.
- 9. JOINT (BOND) LINES SHALL NOT DEVIATE MORE THAN ±1/2 IN. (±15 MM) OVER 50 FT. (15 M) FROM STRING LINES.
- 10. FILL GAPS AT THE EDGES OF THE PAVED AREA WITH CUT PAVERS OR EDGE UNITS.11. CUT PAVERS TO BE PLACED ALONG THE EDGE WITH A MASONRY SAW.
- 12. ADJUST BOND PATTERN AT PAVEMENT EDGES SUCH THAT CUTTING OF EDGE PAVERS IS MINIMIZED.
- 13. IN NO CASE SHALL A CUT PAVER BE LESS THAN 1/3 FULL PAVER SIZE.
- 14. PAVER DIMENSIONS ARE NOMINAL. PRIOR TO POURING SLABS, BANDING, OR OTHERWISE SETTING PAVER FIELDS, VERIFY ACTUAL PAVER SIZES AND LAYOUT OF THE PAVER FIELDS. MAKE MINOR ADJUSTMENTS TO EDGE CONSTRAINTS AS REQUIRED TO ACCOMMODATE ACTUAL PAVER SIZES. NOTIFY LANDDESIGN IMMEDIATELY OF DISCREPANCIES AND/OR ADJUSTMENTS.

GRADING NOTES:

- 1. STAKE PER SPOT ELEVATIONS AND NOTED SLOPES. CONTOURS ARE PROVIDED FOR MASS GRADING/INTENT ONLY.
- STAKE PER SPOT ELEVATIONS AND NOTED SLOPES. CONTOURS ARE PROVIDED FOR MASS GRADING/INTENT ONLY.
 WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDDESIGN OF ANY DISCREPANCIES.
- 3. ALL SPOT ELEVATIONS SHOWN ON GRADING PLAN ARE TO BOTTOM OF CURB/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE TO EDGE OF PAVEMENT.
- 4. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- 5. IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF .5% SLOPE ON THE CURB.
- 6. ALL PLANTING ISLANDS SHALL BE GRADED TO MOUND TO PROVIDE POSITIVE DRAINAGE, UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO VERIFY 2% MAX. CROSS-SLOPE ON ALL SIDEWALKS.
 CONTRACTOR TO VERIFY THAT ALL SIDEWALK SLOPES, HANDICAP RAMPS, AND HANDICAP PARKING SPACES MEET ADA REQUIREMENTS.

TIMELY COMPLETION OF THIS PROJECT.

- 9. CONCRETE SIDEWALKS ADJACENT TO TREE SAVE LOCATIONS SHOULD BE POURED ON TOP OF EXISTING GRADE.
- 10. REFER TO LANDSCAPE PLAN FOR ALL TREE PROTECTION FENCE LOCATIONS AND INSTALLATION PROCEDURES. BEFORE GRADING/CONSTRUCTION BEGINS, CALL FOR INSPECTION OF TREE PROTECTION BARRICADES. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS,
- TRENCHING, OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.

 11. DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.
- 12. GRADING CONTRACTORS SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.

13. GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND



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MATTHEW V. CLARK

Lic. No. 952

MAY 25, 2022

CAPE AROUND

116 S. HENRY ST.

GALENA CAPITAL PARTNERS

920 KING ST + 116 SOUTH HENRY
ALEXANDRIA. VIRGINIA

2019086 **REVISION / ISSUANCE** NO. DESCRIPTION DATE CONCEPT II 12.20.19 SUBMISSION PRELIMINARY I 02.28.2020 SUBMISSION PRELIMINARY I 05.01.2020 SUBMISSION PRELIMINARY I 06.12.2020 SUBMISSION 09.03.2021 FSP SUBMISSION **FSP2 SUBMISSION** 01.07.2022 SIGNATURE 05.25.2022 SUBMISSION

CHECKED BY: MC

SCALE

VERT: N/A
HORZ: 1"=10'

0 5' 10'

DESIGNED BY: MC/WT

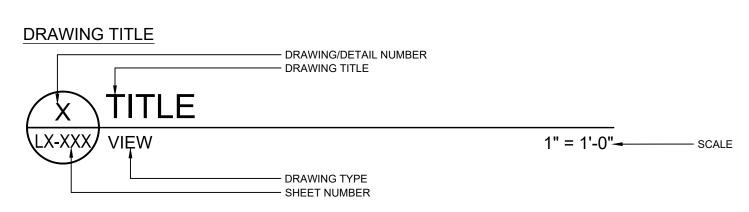
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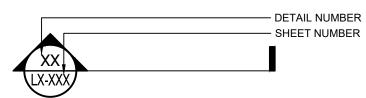
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5/31/2022 10:26 PM DAPHNE BRICE Z:\TEMPLATES\SHEETS\CD SHEETS\LA\SHEET-24X36.DWT

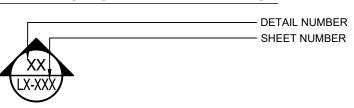
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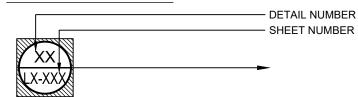
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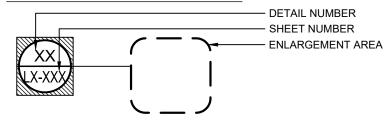
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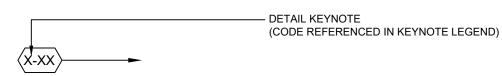
DETAIL REFERENCE



ENLARGEMENT REFERENCE



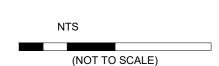
DETAIL KEYNOTE INDICATOR



NORTH ARROW

GRAPHIC SCALE





REVISION



_XXX.XX

SPOT ELEVATION

REQUEST FOR INTERPRETATION:

- 1. A REQUEST FOR INTERPRETATION (RFI) WILL BE INITIATED BY THE CONTRACTOR AND DISTRIBUTED TO THE TO PRIME CONSULTANT FOR DISTRIBUTION TO THE APPROPRIATE PARTY.
- 2. THE OWNER RESERVES THE RIGHT TO ASSESS THE CONTRACTOR FOR THE COST (BASED ON TIME AND MATERIALS) OF AN RFI RESPONSE PERFORMED BY THE LANDSCAPE ARCHITECT, AND ANY OF IT'S CONSULTANTS, WHICH IS DEEMED BY THE OWNER AND THE LANDSCAPE ARCHITECT AS BEING FRIVOLOUS OR UNNECESSARY (FOR EXAMPLE, THE SUBJECT OF THE RFI IS ADDRESSED IN THE CONTRACT DOCUMENTS). SUCH RFI'S SHALL BE REMOVED FROM THE
- 3. EACH RFI SHALL BE SUBMITTED WITH SUCH PROMPTNESS AS TO CAUSE NO DELAY IN THE CONTRACTOR'S OWN WORK AND IN THAT OF ANY SUBCONTRACTOR. NO ADJUSTMENTS OF CONTRACT TIME OR CONTRACT SUM WILL BE GRANTED BECAUSE OF FAILURE TO HAVE AN RFI SUBMITTED WITH
- 4. AN RFI WHICH FAILS TO CONFORM TO THE REQUIREMENTS STATED HEREIN, (FOR EXAMPLE, IS INCOMPLETE OR CONTAINS NUMEROUS ERRORS) SHALL BE RETURNED TO THE CONTRACTOR FOR ITS COMPLETION/RECTIFICATION WITHOUT BENEFIT OF THE LANDSCAPE ARCHITECT'S RESPONSE, IN ADDITION, NO ADJUSTMENTS FOR CONTRACT TIME OR CONTRACT SUM SHALL BE GRANTED FOR AN RFI THAT IS INCOMPLETE
- 5. RFI'S SHALL NOT BE USED TO SOLICIT CONSIDERATION BY THE LANDSCAPE ARCHITECT OF A "SUBSTITUTION".

SUFFICIENT TIME TO ALLOW FOR THE ORDERLY PROCESSING OF A RESPONSE BY THE LANDSCAPE ARCHITECT.

- 6. RFI'S SHALL NOT BE USED TO REQUEST AN ADJUSTMENT OF THE CONTRACT TIME. IF THE CONTRACTOR BELIEVES THAT THE RESPONSE RECEIVED FROM THE LANDSCAPE ARCHITECT TO ANY RFI WARRANTS ADJUSTMENT TO THE CONTRACT TIME IT SHALL IMMEDIATELY ADVISE THE LANDSCAPE ARCHITECT, IN WRITING, UPON RECEIPT OF THE LANDSCAPE ARCHITECT'S RESPONSE.
- 7. RFI'S SHALL NOT BE USED TO REQUEST AN ADJUSTMENT OF THE CONTRACT SUM. IF THE CONTRACTOR BELIEVES THAT THE RESPONSE RECEIVED FROM THE LANDSCAPE ARCHITECT TO ANY RFI WARRANTS ADJUSTMENT OF THE CONTRACT SUM IT SHALL IMMEDIATELY ADVISE THE LANDSCAPE ARCHITECT, IN
- WRITING, UPON RECEIPT OF THE LANDSCAPE ARCHITECT'S RESPONSE.

 8. RFI'S SHALL NOT BE USED TO SOLICIT COMMENT CLARIFICATION(S) OF ANY REQUIRED SUBMITTAL OR SHOP DRAWING REVIEW THAT WAS TRANSMITTED BY
- THE LANDSCAPE ARCHITECT TO THE CONTRACTOR.

 9. RFI'S SHALL NOT BE USED TO TRANSFER COORDINATION RESPONSIBILITY FROM THE CONTRACTOR TO THE OWNER OR THE LANDSCAPE ARCHITECT
- 10. EACH RFI SHALL CONTAIN SPECIFIC REFERENCE TO THE DRAWING NUMBER(S), DETAIL NUMBER(S), SCHEDULE TYPE(S), BULLETIN NUMBER(S), SPECIFICATION SECTION(S) AND PARAGRAPH NUMBER(S), OR OTHER RELATED DOCUMENT(S) WHICH IS (ARE) PERTINENT TO THE CONTRACTOR'S QUESTION. THE DATE OF EACH REFERENCED DRAWING NUMBER, BULLETIN, SPECIFICATION SECTION OR OTHER RELATED DOCUMENT SHALL BE IDENTIFIED. IN PREPARING EACH RFI VERIFY THE APPLICABLE DIMENSION(S), FIELD CONDITIONS, DRAWING REQUIREMENTS (SMALL THROUGH LARGE SCALE DETAILS), AND/OR SPECIFICATION SECTION REQUIREMENTS PERTAINING THERETO. PRIOR TO SUBMISSION OF THE RFI COORDINATE THE NATURE

OF THE INQUIRY WITH THE REQUIREMENTS OF OTHER SECTIONS OR TRADES AS RELATED THERETO AND RESPONSES TO PREVIOUS RFI'S. WHERE

- SUPPLEMENTARY SKETCHES ARE REQUIRED TO CLARIFY AN INQUIRY THE CONTRACTOR SHALL ATTACH SUPPLEMENTARY SKETCHES, AT LARGE SCALE, ILLUSTRATIVE OF THE INQUIRY. SKETCHES SHALL INCLUDE SUFFICIENT DETAIL, MATERIALS, DIMENSIONS, THICKNESSES, ASSEMBLY, ATTACHMENTS, RELATION TO ADJOINING WORK, STRUCTURAL GRID REFERENCES, AND ALL OTHER PERTINENT DATA AND INFORMATION FOR THE LANDSCAPE ARCHITECT TO MAKE AN INFORMED RESPONSE.
- 11. CONTRACTOR SHALL HAVE SOLUTION(S) TO ITS INQUIRIES, IF APPLICABLE. SHOULD THE CONTRACTOR'S SOLUTION(S) HAVE AN IMPACT ON CONTRACT SUM OR CONTRACT TIME IT SHALL BE SO STATED WITHIN THE RFI.

INSIDE DIAMETER

- 12. EACH RFI SHALL BE DATED AND SEQUENTIALLY NUMBERED. EACH RFI SHALL BE REVIEWED, AND SIGNED, BY THE CONTRACTOR PRIOR TO TRANSMITTING TO THE ARCHITECT.
- 13. DURATION OF RFI RESPONSE UPON RECEIPT: 5 BUSINESS DAYS UNLESS OTHERWISE NOTED IN CONTRACT

ABBREVIATIONS

AREA DRAIN

NOTE: ABBREVIATIONS APPLY TO LANDDESIGN NOTATIONS ONLY. SURVEY, ARCHITECTURAL AND OTHER ABBREVIATIONS MAY VARY.

 A ad

	ADJ AFG ALT ALUM APPROX ARCH	AREA DRAIN ADJACENT ABOVE FINISHED GRADE ALTERNATE ALUMINUM APPROXIMATE ARCHITECT(URAL)	J	INCL INSUL INT INV	INSIDE DIAMETER INCLUDE INSULATION INTERIOR INVERT	Т	TBD TC THK TR TS TW TYP	TO BE DETERMINED TOP OF CURB THICK(NESS) TOP OF RAMP TOP OF STAIR TOP OF WALL TYPICAL
В	BC BLDG BLKG BOC BOT	BOTTOM OF CURB BUILDING BLOCKING BACK OF CURB BOTTOM	K	JT КО	JOINT KNOCK OUT	U	UE U.N.O	UTILITY EASEMENT UNLESS NOTED OTHERWISE
	BR BS BW	BOTTOM OF RAMP BOTTOM OF STAIR BOTTOM OF WALL	L	L LT LP	LENGTH LIGHT LOW POINT	V	VERT VIF	VERTICAL VERIFY IN FIELD
С	CEM CIP CJ CMU CO COL CONT CONC CU FT	CEMENT CAST IN PLACE CONTROL JOINT CONCRETE MASONRY UNIT CLEANOUT COLUMN CONTINUOUS CONCRETE CUBIC FEET	M	MAS MATL MAX MECH MED MFR MIN MISC MTL	MASONRY MATERIAL MAXIMUM MECHANICAL MEDIUM MANUFACTURER MINIMUM MISCELLANEOUS METAL	W	W W/ W/O WD WL WM WT	WEST, WIDE, WIDTH WITH WITHOUT WOOD WATER LINE WATER METER WEIGHT WELDED WIRE MESH
D	DD DE DI DIA DIAG DIM DN	DECK DRAIN DRAINAGE EASEMENT DRAIN INLET DIAMETER DIAGONAL DIMENSION DOWN	N	N NIC NO NOM NTS	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE			
	DS DWG(S)	DOWN SPOUT DRAWING(S)	0	OC OD OPNG OPP	ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE			
E	E EA EJ EL ELEC EOP EQ EQUIP ESMT EW EXP EXIST EXT	EAST EACH EXPANSION JOINT ELEVATION ELECTRIC(AL) EDGE OF PAVEMENT EQUAL EQUIPMENT EASEMENT EACH WAY EXPANSION EXISTING EXTERIOR	Р	PB PERF PNL PNT PSI PT POB POC PROP	PLANT BED PERFORATED PANEL PAINT(ED) POUNDS/SQUARE INCH PRESSURE TREATED POINT OF BEGINNING POINT OF CURVATURE PROPOSED			
			Q	QTY	QUANTITY			
F	FAB FDC FH FIN FOC FT FTG	FABRIC FIRE DEPT. CONNECTION FIRE HYDRANT FINISH FACE OF CURB FOOT, FEET FOOTING	R	RAD REINF REQD REV R.O.W	RADIUS REINFORC(E), (ING) REQUIRED REVISION RIGHT OF WAY			
G	GA GAL GALV GC GV	GAUGE GALLON GALVANIZED GENERAL CONTRACTOR GATE VALVE	S	S SB SCHED SD SF SIM SQ	SOUTH SETBACK SCHEDUL(E), (ED) STORM DRAIN SQUARE FOOT, FEET SIMILAR SQUARE			
Н	HDW HDWD HORZ HP HT	HARDWARE HARDWOOD HORIZONTAL HIGH POINT HEIGHT		SSMH STL SSTL STD SUSP SW SYM	SANITARY SEWER MANHOL STEEL STAINLESS STEEL STANDARD SUSPENDED SIDEWALK SYMBOL	LE		

|| SUBMITTALS:

- . ACTION STAMP: THE LANDSCAPE ARCHITECT WILL STAMP EACH SUBMITTAL WITH A UNIFORM, ACTION STAMP. THE LANDSCAPE ARCHITECT WILL MARK THE STAMP APPROPRIATELY TO INDICATE THE APPROPRIATE ACTION TAKEN, AS FOLLOWS:
- a. "NO EXCEPTIONS TAKEN": MEANS THAT NO FURTHER REVIEW OF THE SUBMITTAL IS REQUIRED. MANUFACTURER OR CONSTRUCTION MAY PROCEED PROVIDING THAT WORK COMPLIES WITH THE CONTRACT DOCUMENTS AND THE REVIEWED SUBMITTAL.
- b. "EXCEPTIONS AS NOTED": MEANS THAT FABRICATION, MANUFACTURER OR CONSTRUCTION MAY PROCEED PROVIDING SUBMITTAL COMPLIES WITH THE LANDSCAPE ARCHITECT'S NOTATIONS AND THE CONTRACT DOCUMENTS. IF, FOR ANY REASON, THE CONTRACTOR CANNOT COMPLY WITH THE NOTATIONS, THE CONTRACTOR SHALL MAKE REVISIONS AND RESUBMIT AS DESCRIBED FOR SUBMITTALS STAMPED "REVISE AND RESUBMIT".
- c. "REVISE AND RESUBMIT": MEANS THAT FABRICATION, MANUFACTURER OR CONSTRUCTION MAY NOT PROCEED UNTIL THE CONTRACTOR
 DEMONSTRATES COMPLIANCE WITH THE LANDSCAPE ARCHITECT'S NOTATIONS AND THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SITED.
 REVISE OR PREPARE A NEW SUBMITTAL ACCORDING TO THE NOTATIONS; RESUBMIT WITHOUT DELAY. REPEAT, IF NECESSARY, TO OBTAIN
 COMPLIANCE WITH THE CONTRACT DOCUMENTS. IF, FOR ANY REASON, THE CONTRACTOR CANNOT COMPLY WITH THE NOTATIONS OF THE LANDSCAPE
 ARCHITECT OR THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF
 THE REASON THAT COMPLIANCE CANNOT BE ACHIEVED AND MAKE RECOMMENDATIONS THAT WOULD ALLOW THE CONTRACTOR'S COMPLIANCE.
- d. "RESUBMIT PROPERLY": MEANS THAT THE SUBMITTAL DOES NOT COMPLY WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENT, OR DOES NOT CONTAIN THE CONTRACTOR'S SIGNATURE INDICATING THAT IT HAS BEEN REVIEW AND APPROVED BY THE CONTRACTOR. SUBMITTALS STAMPED "RESUBMIT PROPERLY" ARE NOT TO BE USED. CONTRACTOR SHALL MAKE REVISIONS TO COMPLY WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND RESUBMIT.
- e. THE LANDSCAPE ARCHITECT WILL RETURN UNSOLICITED SUBMITTALS TO THE SENDER WITHOUT ACTION, OR INDICATED WITH FOR REFERENCE ONLY.
- CONTRACTOR SHALL PREPARE AND SUBMIT THE SUBMITTAL SCHEDULE TO THE LANDSCAPE ARCHITECT AT THE PRECONSTRUCTION MEETING.
 SHOP DRAWINGS, PRODUCT DATA AND SAMPLES SHALL BEAR CONTRACTOR'S STAMP CERTIFYING THEY HAVE BEEN COORDINATED AND REVIEWED BY CONTRACTOR FOR COMPLETENESS AND COMPLIANCE WITH THE CONTRACT DOCUMENTS. SUBMISSIONS WITHOUT THIS STAMP AND SUBMISSIONS WHICH,
- IN THE LANDSCAPE ARCHITECT'S OPINION, ARE INCOMPLETE, CONTAIN NUMEROUS ERRORS, HAVE NOT BEEN CHECKED, OR HAVE ONLY BEEN CHECKED SUPERFICIALLY WILL BE RETURNED FOR RESUBMISSION. PROPOSED DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE CLEARLY NOTED ON THE SUBMITTALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY QUANTITIES AND DIMENSIONS WHICH MAY BE SHOWN ON THE SUBMITTALS.

 4. SHOP DRAWINGS: CONTRACTOR TO SUBMIT NEWLY PREPARED INFORMATION DRAWN ACCURATELY TO SCALE. HIGHLIGHT, ENCIRCLE, OR OTHERWISE INDICATE DEVIATIONS FROM THE CONTRACT DOCUMENTS. STANDARD INFORMATION PREPARED WITHOUT SPECIFIC REFERENCE TO THE PROJECT IS NOT A
- SHOP DRAWING. DO NOT REPRODUCE CONTRACT DOCUMENTS OR COPY STANDARD INFORMATION AS THE BASIS OF SHOP DRAWINGS, EXCEPT WHERE THE LANDSCAPE ARCHITECT HAS GRANTED PERMISSION TO THE CONTRACTOR TO UTILIZE PORTIONS OF THE ELECTRONIC VERSION OF THE CONTRACT DOCUMENTS AS THE BASIS FOR THE PREPARATION OF SHOP DRAWINGS.

 SHOP DRAWINGS INCLUDE COMPOSITE FABRICATION AND INSTALLATION DRAWINGS, SETTING DIAGRAMS, SCHEDULES, PATTERNS, TEMPLATES AND
- SIMILAR DRAWINGS. INCLUDE THE FOLLOWING INFORMATION:

 a. DIMENSIONS.
- b. IDENTIFICATION OF PRODUCTS AND MATERIALS INCLUDED BY SHEET AND DETAIL NUMBER.
- c. COMPLIANCE WITH SPECIFIED STANDARDS.
- d. NOTATION OF COORDINATION REQUIREMENTS.
- e. NOTATION OF DIMENSIONS ESTABLISHED BY FIELD MEASUREMENT.
- f. SHEET SIZE: EXCEPT FOR TEMPLATES, PATTERNS AND SIMILAR FULL-SIZE DRAWINGS, SUBMIT SHOP DRAWINGS ON SHEETS AT LEAST 8-1/2 BY 11 INCHES BUT NO LARGER THAN 36 BY 48 INCHES.
- g. SUBMITTALS: SUBMIT ONE CORRECTABLE, TRANSLUCENT, REPRODUCIBLE PRINT AND FOUR (4) ADDITIONAL PRINTS FOR THE LANDSCAPE ARCHITECT'S REVIEW. THE LANDSCAPE ARCHITECT WILL RETURN THE REPRODUCIBLE PRINT.
- h. DO NOT USE SHOP DRAWINGS WITHOUT AN APPROPRIATE FINAL STAMP INDICATING ACTION TAKEN.
- 6. CONTRACTOR TO SUBMIT TO LANDSCAPE ARCHITECT FULL-SIZE, FULLY FABRICATED SAMPLES CURED AND FINISHED AS SPECIFIED AND PHYSICALLY IDENTICAL WITH THE MATERIAL OR PRODUCT PROPOSED. SAMPLES INCLUDE PARTIAL SECTIONS OF MANUFACTURED OR FABRICATED COMPONENTS, CUTS OR CONTAINERS OF MATERIALS, COLOR RANGE SETS, AND SWATCHES SHOWING COLOR, TEXTURE, AND PATTERN.
- a. MOUNT OR DISPLAY SAMPLES IN THE MANNER TO FACILITATE REVIEW OF QUALITIES INDICATED. PREPARE SAMPLES TO MATCH THE LANDSCAPE ARCHITECT'S SAMPLE. INCLUDE THE FOLLOWING:
- SPECIFICATION SECTION NUMBER AND REFERENCE.
- GENERIC DESCRIPTION OF THE SAMPLE.
- SAMPLE SOURCE.
- PRODUCT NAME OR NAME OF THE MANUFACTURER.
- COMPLIANCE WITH RECOGNIZED STANDARDS.
- AVAILABILITY AND DELIVERY TIME.
- 7. THE LANDSCAPE ARCHITECT'S REVIEW SHALL NOT BE CONSTRUED AS A COMPLETE CHECK NOR SHALL IT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN SHOP DRAWINGS OR SCHEDULES, OR FROM THE NECESSITY OF FURNISHING ANY WORK REQUIRED BY THE CONTRACT DOCUMENTS WHICH MAY HAVE BEEN OMITTED ON THE SHOP DRAWINGS.
- 8. CONTRACTOR, NOT LANDSCAPE ARCHITECT, IS RESPONSIBLE FOR: CHECKING FOR ANY DEVIATIONS BETWEEN A GIVEN SUBMITTAL AND DIFFERING INFORMATION OR CONDITIONS IN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS; FOR DETERMINING OR SUBSTANTIATING THE ACCURACY AND COMPLETENESS OF OTHER DETAILS SUCH AS CONFIRMING DIMENSIONS OR SYSTEMS DESIGNED BY CONTRACTOR; FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES PROCEDURES AND FABRICATION PROCESSES; FOR ERRORS AND OMISSIONS IN SUBMITTALS; FOR COORDINATION OF THE WORK OF THE TRADES AND FOR SAFETY PRECAUTIONS AND PERFORMING THE WORK IN A SAFE AND SATISFACTORY MANNER AND IN CONFORMANCE WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- 9. A SUBMITTAL SHALL BE USED AS A SUBSTITUTE FOR REQUESTS OR APPROVALS OF CHANGES OR SUBSTITUTIONS, OR OF OTHER PROCEDURES REQUIRED BY THE CONTRACT DOCUMENTS.
- 10. THE LANDSCAPE ARCHITECT WILL REVIEW SHOP DRAWINGS, PRODUCT DATA AND SAMPLES WITH REASONABLE PROMPTNESS AND WILL RETURN THEM TO THE CONTRACTOR WITH THE ARCHITECT'S STAMP APPLIED THERETO. NOTATIONS BY THE ARCHITECT WHICH INCREASE THE CONTRACT COST OR TIME OF COMPLETION SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
- 11. IF MORE THAN ONE SUBMITTAL REVIEW STAMP APPEARS ON A SUBMITTAL, THE MOST STRINGENT ACTION AND NOTATIONS THEREON SHALL APPLY.
 SIGNATURE ON A SUBMITTAL REVIEW STAMP BY THE LANDSCAPE ARCHITECT OR A CONSULTANT DOES NOT IMPLY THAT THE SUBMITTAL HAS BEEN REVIEWED FOR WORK THAT IS NOT WITHIN THE INDIVIDUAL REVIEWER'S PROFESSIONAL DISCIPLINE OR SCOPE OF SERVICES.
- 12. UNSOLICITED SUBMITTALS: THE LANDSCAPE ARCHITECT WILL RETURN UNSOLICITED SUBMITTALS TO THE SENDER WITHOUT ACTION.
- 13. CONTRACTOR REQUESTS FOR SUBSTITUTION OF PRODUCTS, MATERIALS, OR PROCESSES OTHER THAN THOSE SPECIFIED WILL BE ACCOMPANIED BY EVIDENCE, WHETHER OR NOT THE PROPOSED SUBSTITUTION IS THROUGH A SUBMITTAL:
 - IS EQUAL IN QUALITY AND SERVICEABILITY TO THE SPECIFIED ITEM.
 - WILL NOT ENTAIL CHANGES IN DETAILS AND CONSTRUCTION OF RELATED WORK.
- WILL BE ACCEPTED IN CONSIDERATION OF THE REQUIRED DESIGN AND ARTISTIC EFFECT.
- WILL NOT PROVIDE A COST DISADVANTAGE TO THE OWNER.

FURNISH WITH THE REQUEST SUCH DRAWINGS, SPECIFICATIONS, SAMPLES, PERFORMANCE DATA AND OTHER INFORMATION AS MAY BE REQUIRED TO ASSIST THE ARCHITECT IN DETERMINING WHETHER THE PROPOSED SUBSTITUTION IS ACCEPTABLE. THE BURDEN OF PROOF OF THE FACTS ABOVE STATED SHALL BE UPON THE CONTRACTOR AND RESPECTIVE SUBCONTRACTOR, OR SUPPLIER, PLACING THE REQUEST. IF ANY SUBSTITUTION WILL AFFECT A CORRELATED FUNCTION, ADJACENT CONSTRUCTION OR WORK OF OTHER TRADES OR CONTRACTORS, THE NECESSARY CHANGES AND MODIFICATIONS TO THE AFFECTED WORK SHALL BE CONSIDERED AS AN ESSENTIAL PART OF THE PROPOSED SUBSTITUTION, TO BE ACCOMPLISHED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER, IN AND WHEN ACCEPTED. SUBSTITUTION REQUESTS WILL NOT BE SUBJECT TO THE REVIEW TIME LIMITS CONTAINED IN SUBMITTAL PROCEDURES. NO SUBSTITUTION WILL BE PERMITTED WITHOUT THE PRIOR REVIEW AND APPROVAL BY THE OWNER AND THE ARCHITECT.

LandDesign

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116 S. HENRY ST.

GALENA CAPITAL PARTNERS

920 KING ST + 116 SOUTH HENRY

ALEXANDRIA, VIRGINIA

2019086 REVISION / ISSUANCE DESCRIPTION DATE CONCEPT II 12.20.19 SUBMISSION PRELIMINARY I 02.28.2020 SUBMISSION PRELIMINARY I 05.01.2020 SUBMISSION PRELIMINARY I 06.12.2020 SUBMISSION 09.03.2021 FSP SUBMISSION FSP2 SUBMISSION 01.07.2022 SIGNATURE 05.25.2022 SUBMISSION

DRAWN BY: WT
CHECKED BY: MC

SCALE

NORTH

VERT: N/A
HORZ: 1"=10'

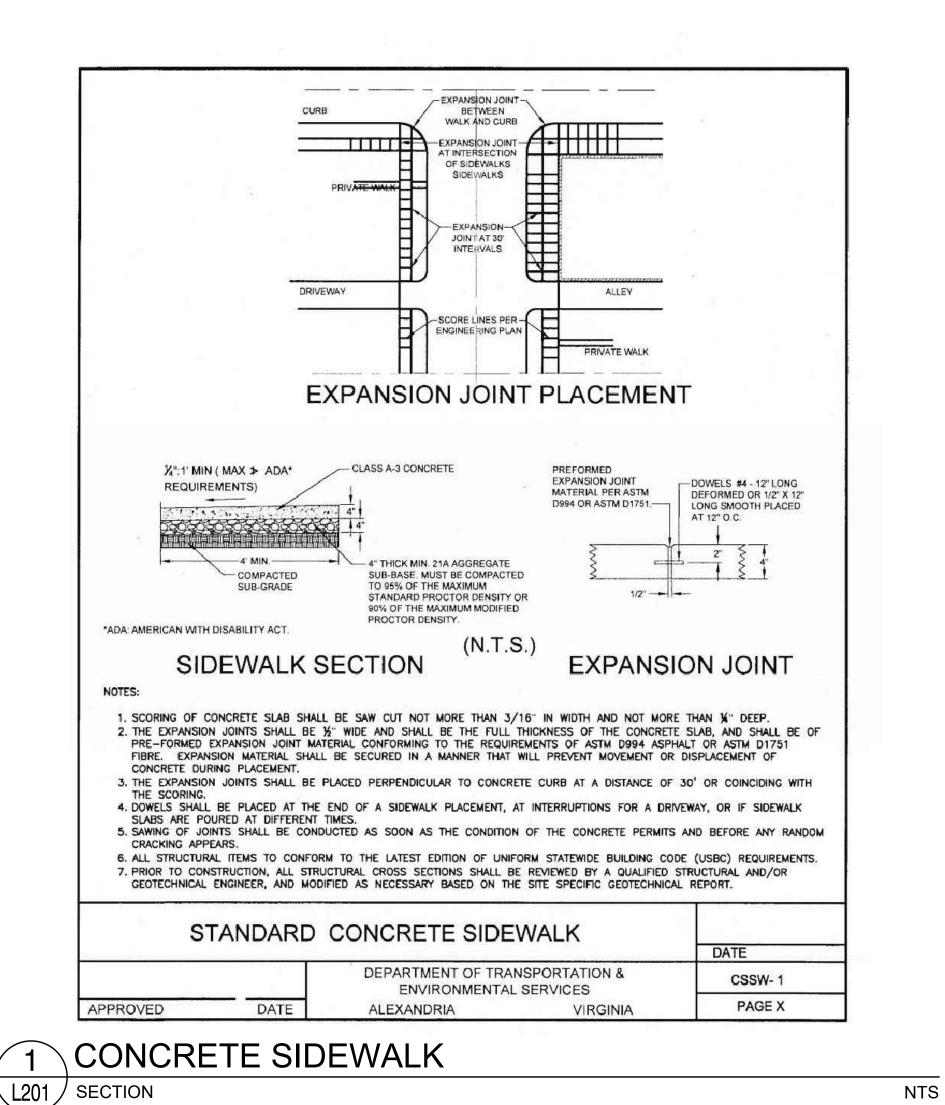
0 5' 10' 20'

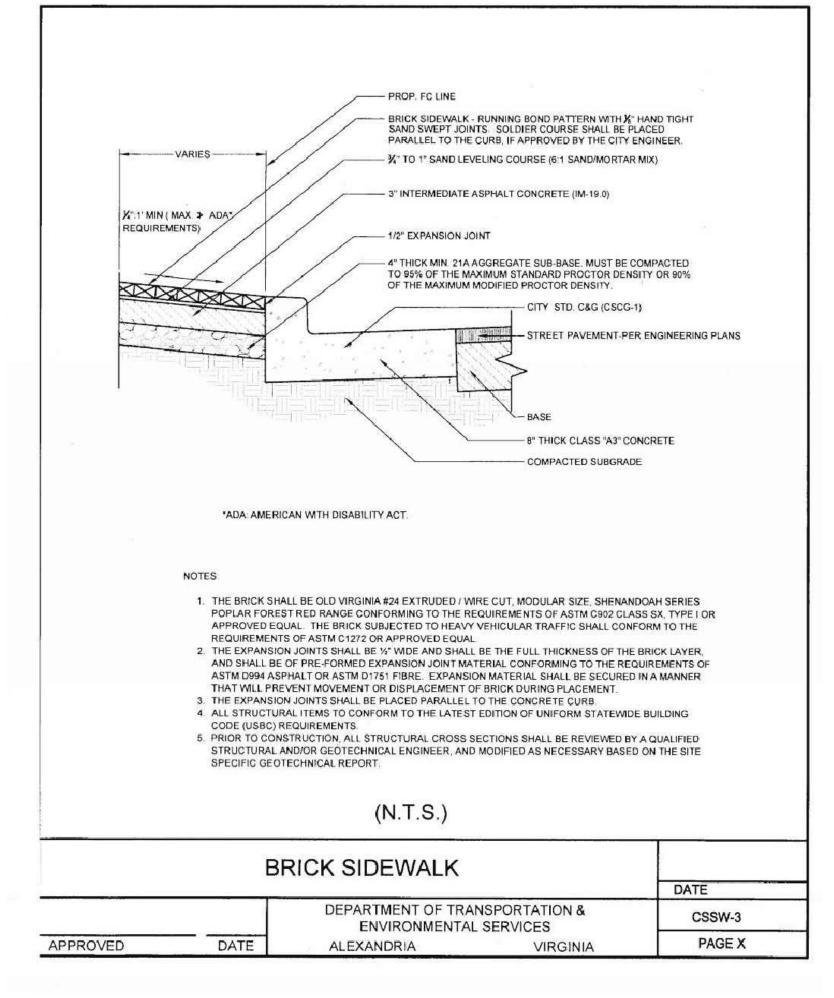
DESIGNED BY: MC/WT

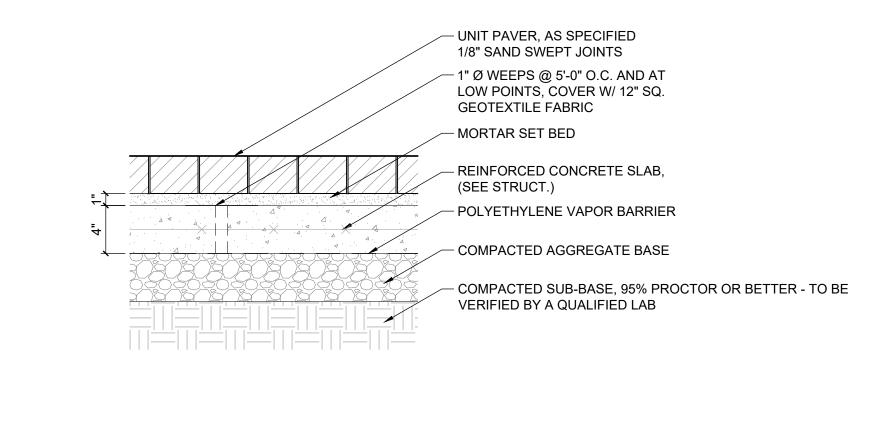
GENERAL NOTES

SHEET NUMBER

5/31/2022 10:26 PM DAPHNE BRICE Z:\TEMPLATES\SHEETS\LA\SHEET-24X36.DWT







116 S. HENRY

GALENA CAPITAL PARTNERS

920 KING ST + 116 SOUTH HENRY

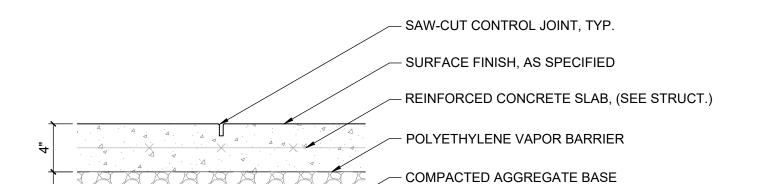
ALEXANDRIA, VIRGINIA

1-1/2" = 1'-0"

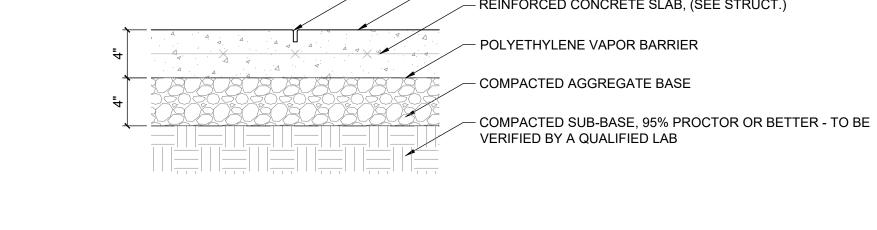
ALEXANDRIA, VA 22314 703.549.7784 WWW.LANDDESIGN.COM

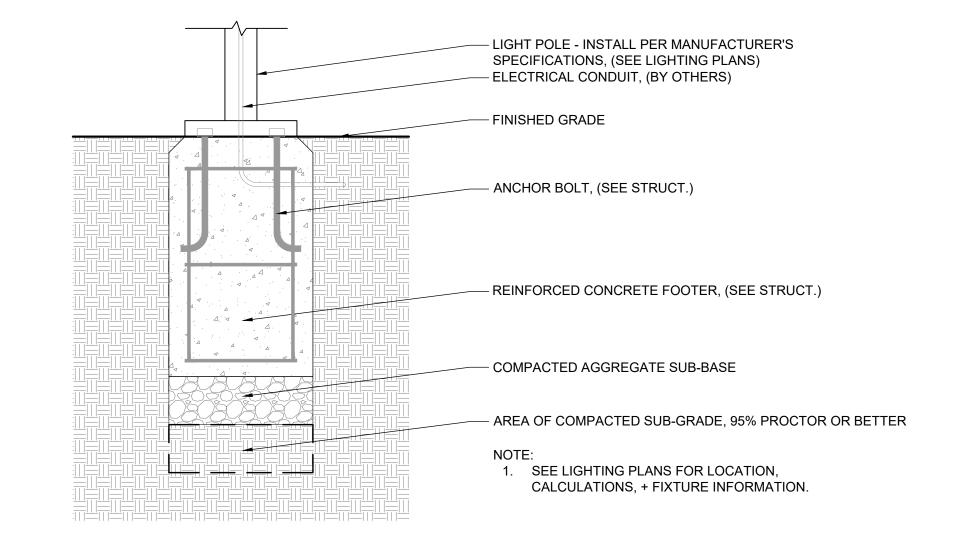
BRICK PAVING

NTS



COMPACTED SUB-BASE, 95% PROCTOR OR BETTER - TO BE VERIFIED BY A QUALIFIED LAB







UNIT PAVERS ON GRADE

	APPROVED SPECIAL USE PERMIT NO.	2025-10005
	DEPARTMENT OF PLANNING & ZONING	
	DIRECTOR	DATE
	DEPARTMENT OF TRANSPORTATION & ENVIRONM	IENTAL SERVICES
	SITE PLAN NO.	
	DIRECTOR	DATE
ESI II		
l peer review l	CHARMAN, PLANNING COMMISSION	DATE
	DATE RECORDED	
	INSTRUMENT NO. DEED BOOK NO	. DATE

BIKE RACK

5/31/2022 10:27 PM WILL TALERO G:\2019\2019086\CAD\DOCUMENTATION\CD\9086-CITY-DTLS 2.DWG

LIGHT POST

1" = 1' - 0"

2019086 REVISION / ISSUANCE DESCRIPTION DATE CONCEPT II 12.20.19 SUBMISSION PRELIMINARY I 02.28.2020 SUBMISSION PRELIMINARY I 05.01.2020 PRELIMINARY I 06.12.2020 SUBMISSION **FSP SUBMISSION** 09.03.2021 FSP2 SUBMISSION 01.07.2022 05.25.2022 SUBMISSION DESIGNED BY: DRAWN BY: CHECKED BY:

VERT: N/A HORZ: N/A

HARDSCAPE DETAILS

L201

PRODUCT: CYCLE SENTRY

MODEL: BRWS - 101

FINISH: POWDER COAT

MOUNTING: IN GROUND

COLOR: BLACK

VICTOR STANLEY

P.O. DRAWER 330

301.855.2873

- BIKE RACK

DUNKIRK, MD 20754

VICTORSTANLEY.COM

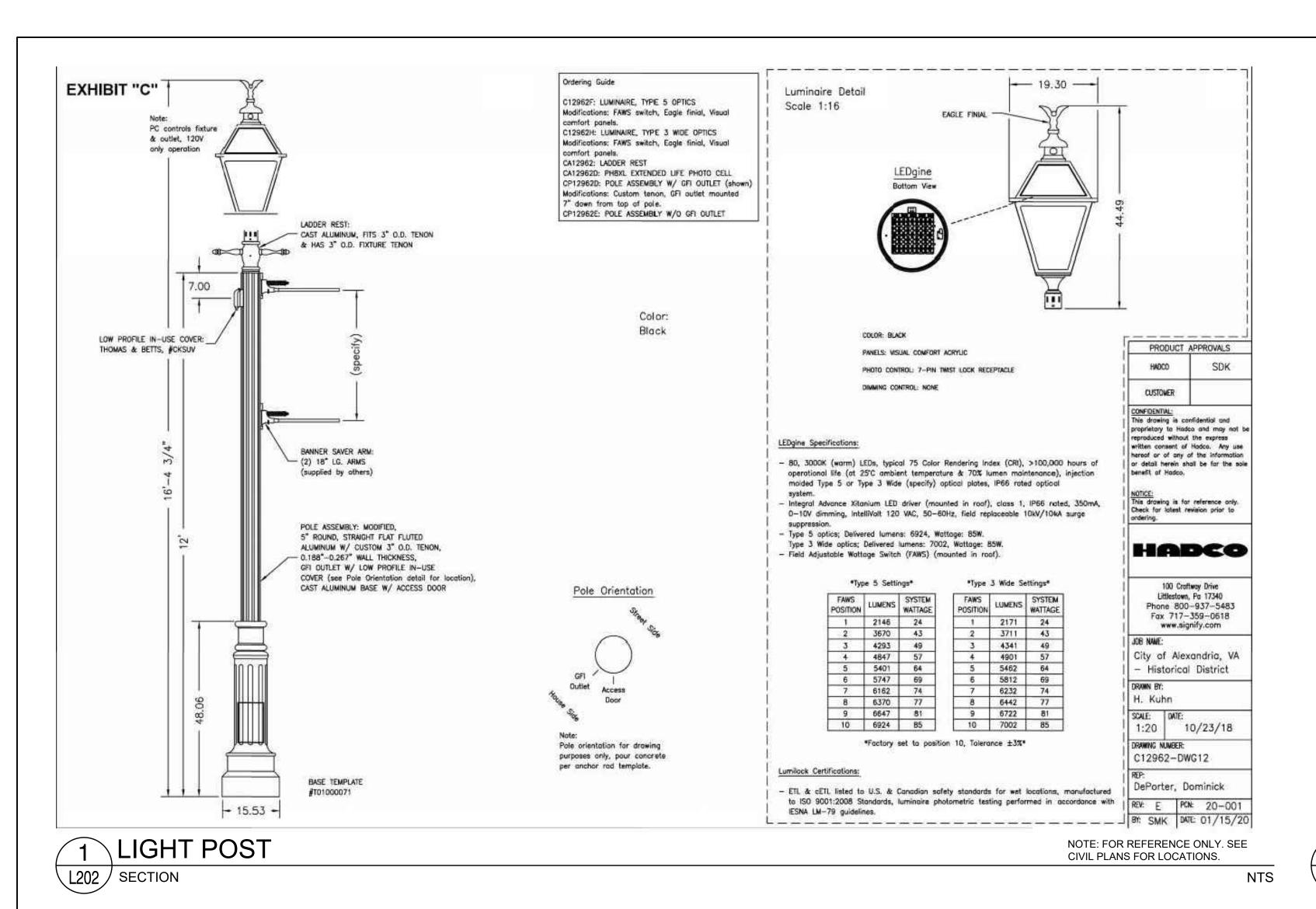
BIKE RACK SLEEVE

PAVERS TO BE CUT TO ACCEPT

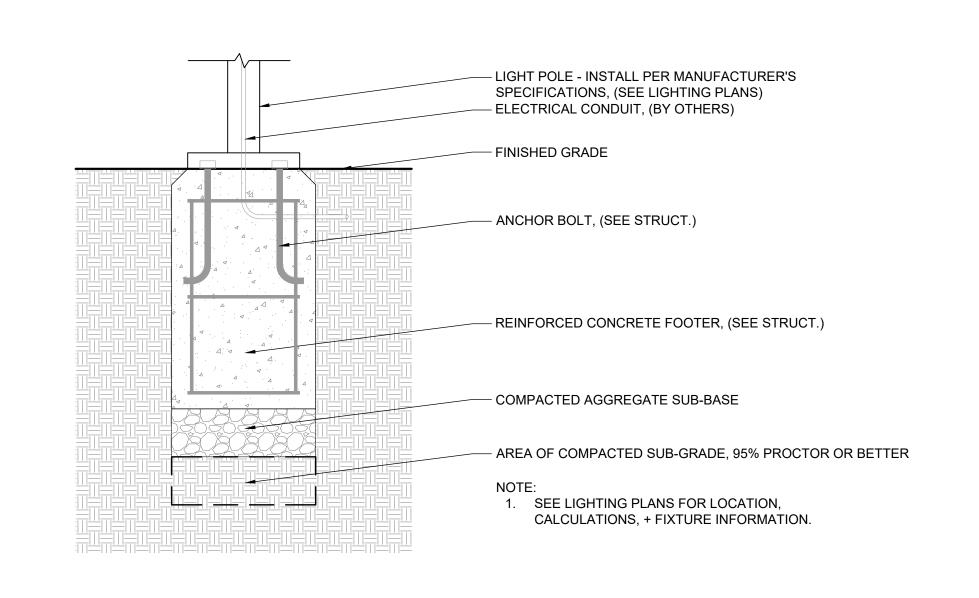
- CONCRETE FOOTER, (SEE STRUCT.)

ORIGINAL SHEET SIZE: 24" X 36"

1 1/2" = 1'-0"

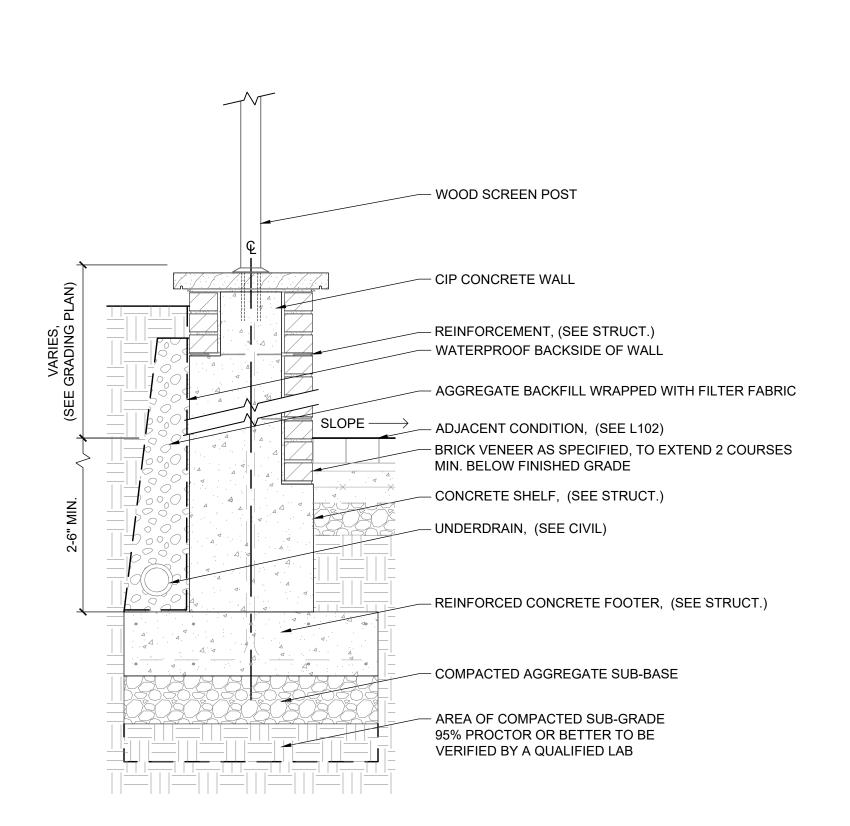


1" = 1' - 0"



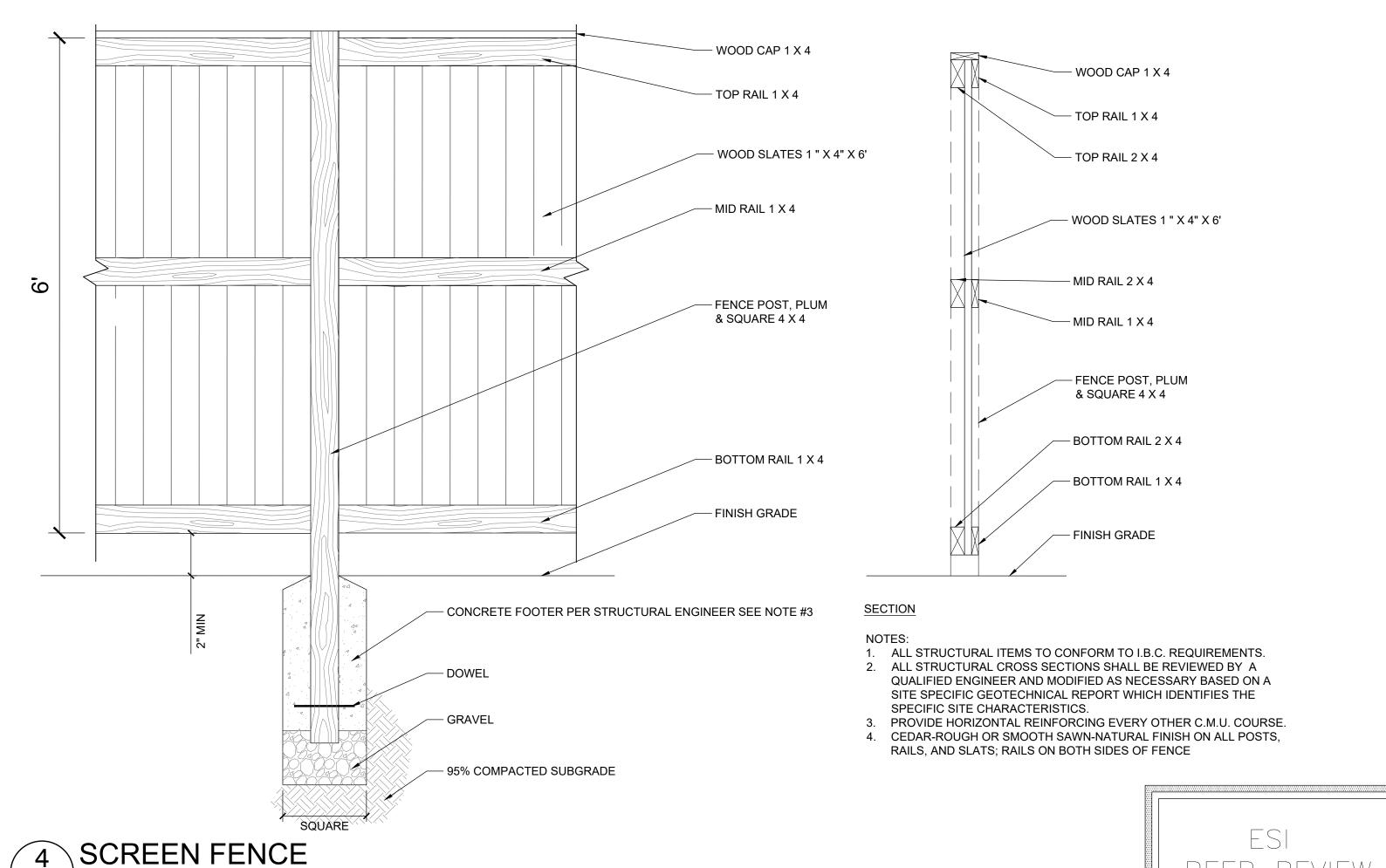
2 LIGHT POST L202 SECTION

1" = 1' - 0"



3 CIP CONCRETE WALL TYP.

L202 SECTION



ALEXANDRIA, VIRGINIA 2019086 CONCEPT II SUBMISSION PRELIMINARY I SUBMISSION SUBMISSION SIGNATURE SUBMISSION DESIGNED BY: DRAWN BY: CHECKED BY: VERT: N/A

APPROVED

DEPARTMENT OF PLANNING & ZONING

DATE RECORDED

1"'=' 1"-'0'"

SPECIAL USE PERMIT NO.

ORIGINAL SHEET SIZE: 24" X 36" 5/31/2022 10:27 PM WILL TALERO G:\2019\2019086\CAD\DOCUMENTATION\CD\9086-CITY-DTLS 2.DWG

200 S. PEYTON STREET ALEXANDRIA, VA 22314

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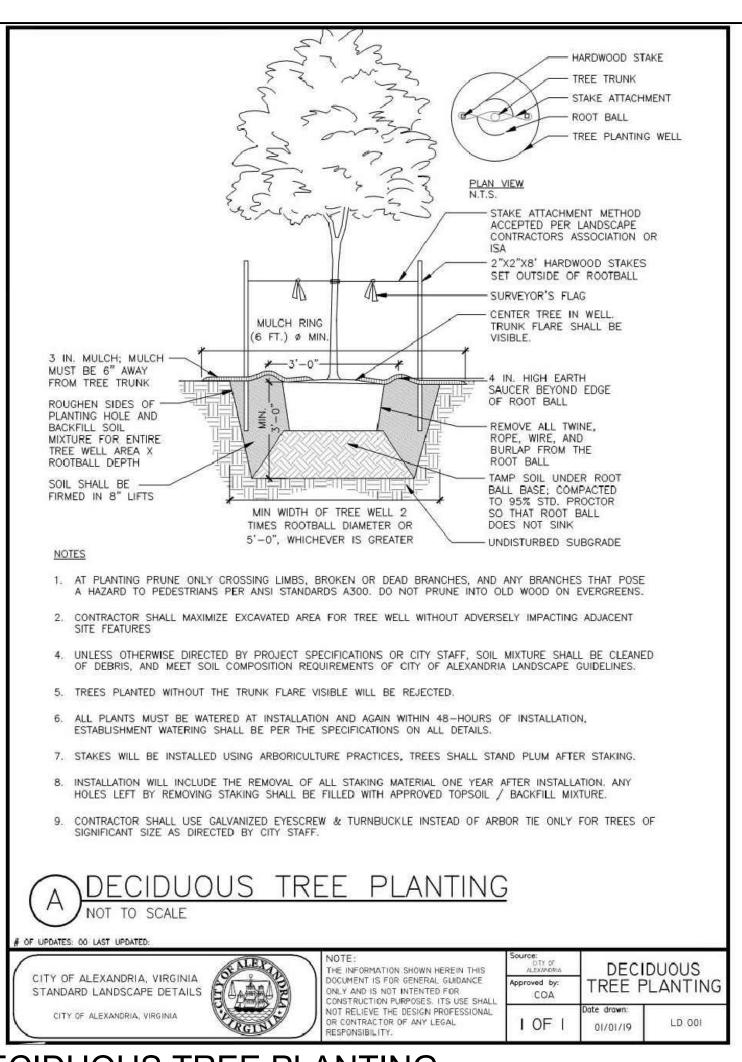
116 S. HENRY

GALENA CAPITAL PARTNERS 920 KING ST + 116 SOUTH HENRY

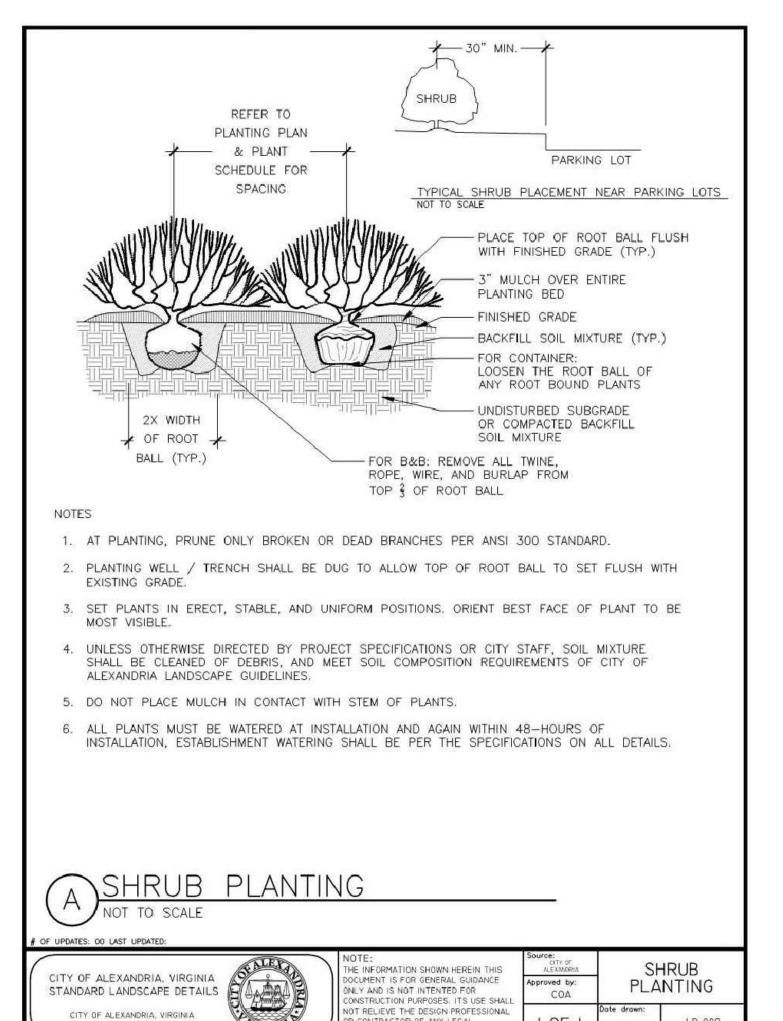
REVISION / ISSUANCE DESCRIPTION 12.20.19 02.28.2020 PRELIMINARY I 05.01.2020 PRELIMINARY I 06.12.2020 **FSP SUBMISSION** 09.03.2021 FSP2 SUBMISSION 01.07.2022 05.25.2022

HARDSCAPE DETAILS

L202



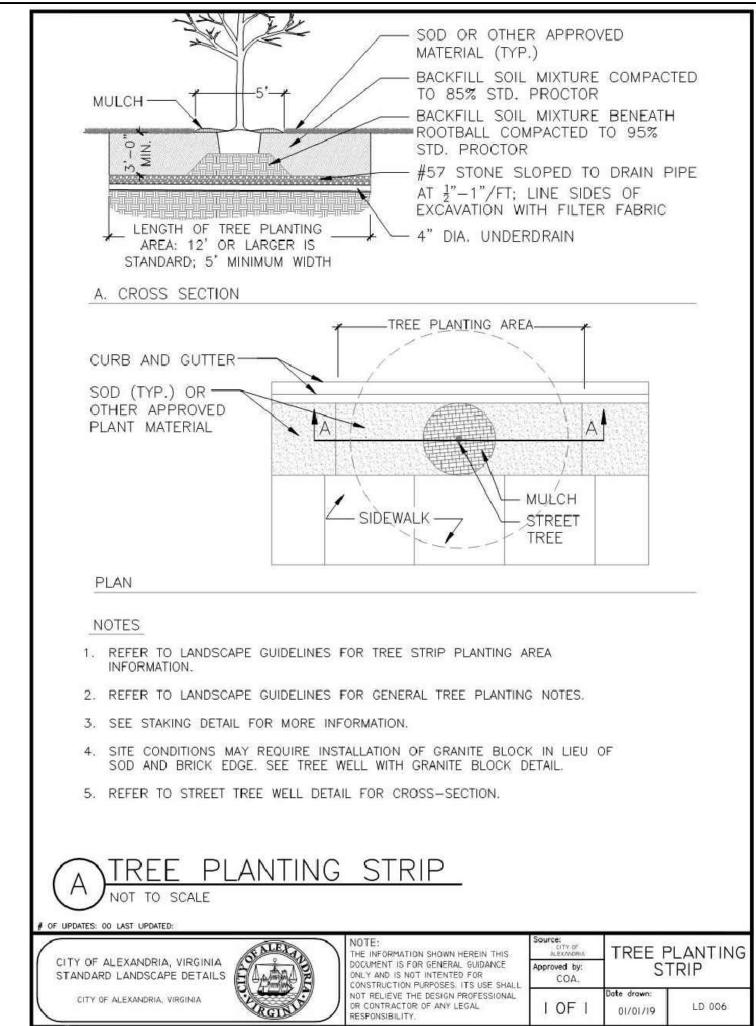




OR CONTRACTOR OF ANY LEGAL

SHRUB PLANTING

SECTION



TREE PLANTING STRIP L202S SECTION

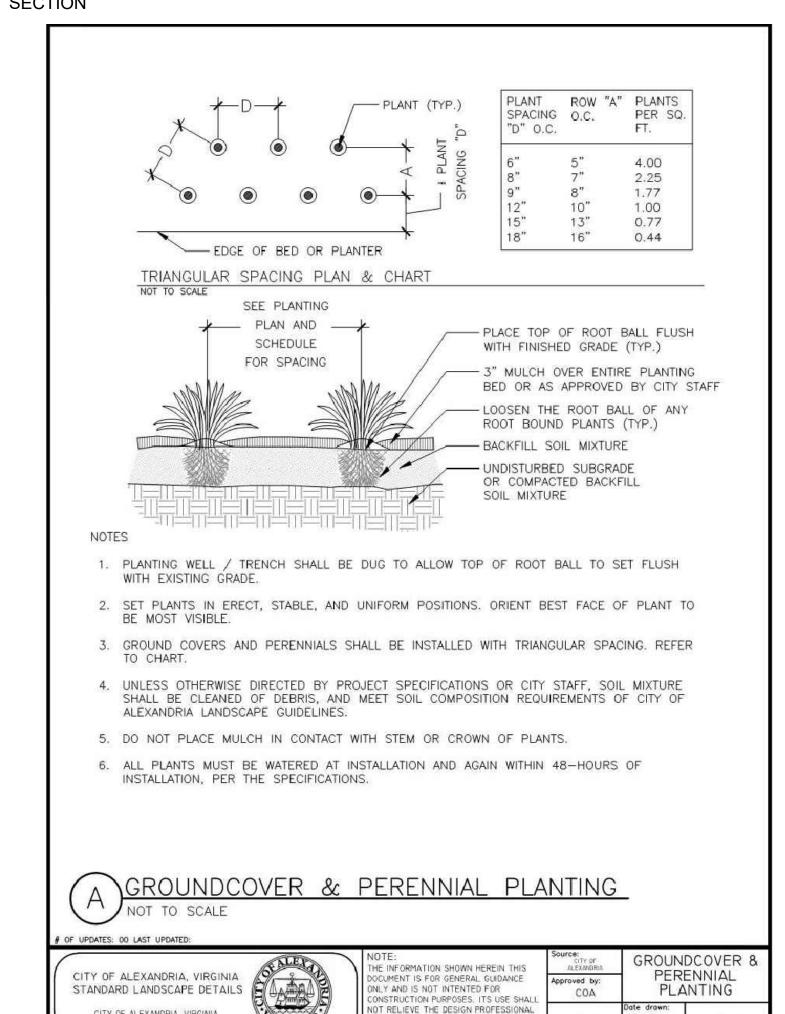
CITY OF ALEXANDRIA, VIRGINIA

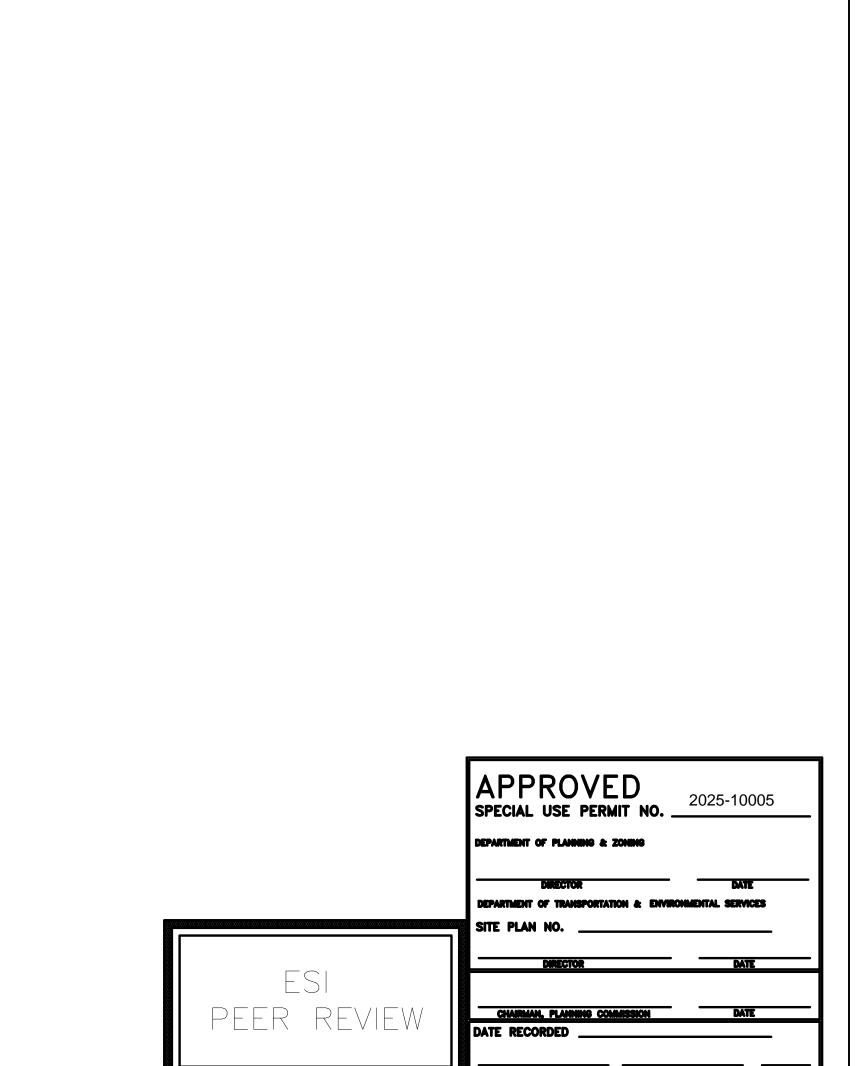
NTS

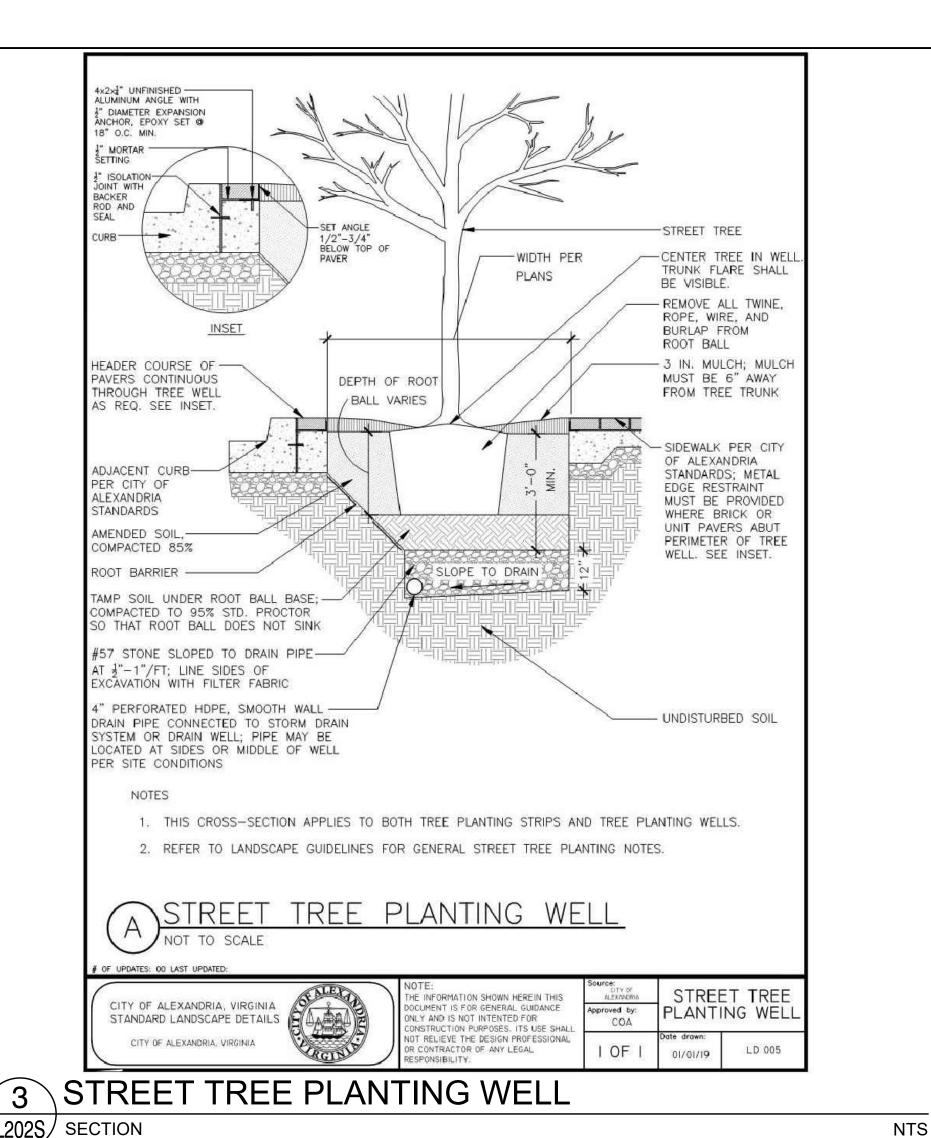
LD 009

NTS

01/01/19







MAY 25, 2022

ALEXANDRIA, VA 22314

703.549.7784

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116 S. HENRY

GALENA CAPITAL PARTNERS 920 KING ST + 116 SOUTH HENRY ALEXANDRIA, VIRGINIA

2019086 REVISION / ISSUANCE DESCRIPTION DATE CONCEPT II 12.20.19 SUBMISSION PRELIMINARY I 02.28.2020 SUBMISSION PRELIMINARY I 05.01.2020 SUBMISSION PRELIMINARY I 06.12.2020 SUBMISSION 09.03.2021 FSP SUBMISSION FSP2 SUBMISSION 01.07.2022 05.25.2022 SUBMISSION DESIGNED BY: DRAWN BY: CHECKED BY:

VERT: N/A

HORZ: N/A

PLANTING DETAILS

L501

GROUNDCOVER AND PERENNIAL PLANTING

ORIGINAL SHEET SIZE: 24" X 36" 5/31/2022 10:28 PM WILL TALERO G:\2019\2019086\CAD\DOCUMENTATION\CD\9086-PLNT-DTLS 2.DWG

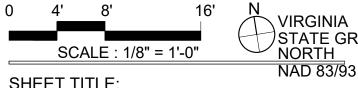
CONTRACTOR OF ANY LEGAL

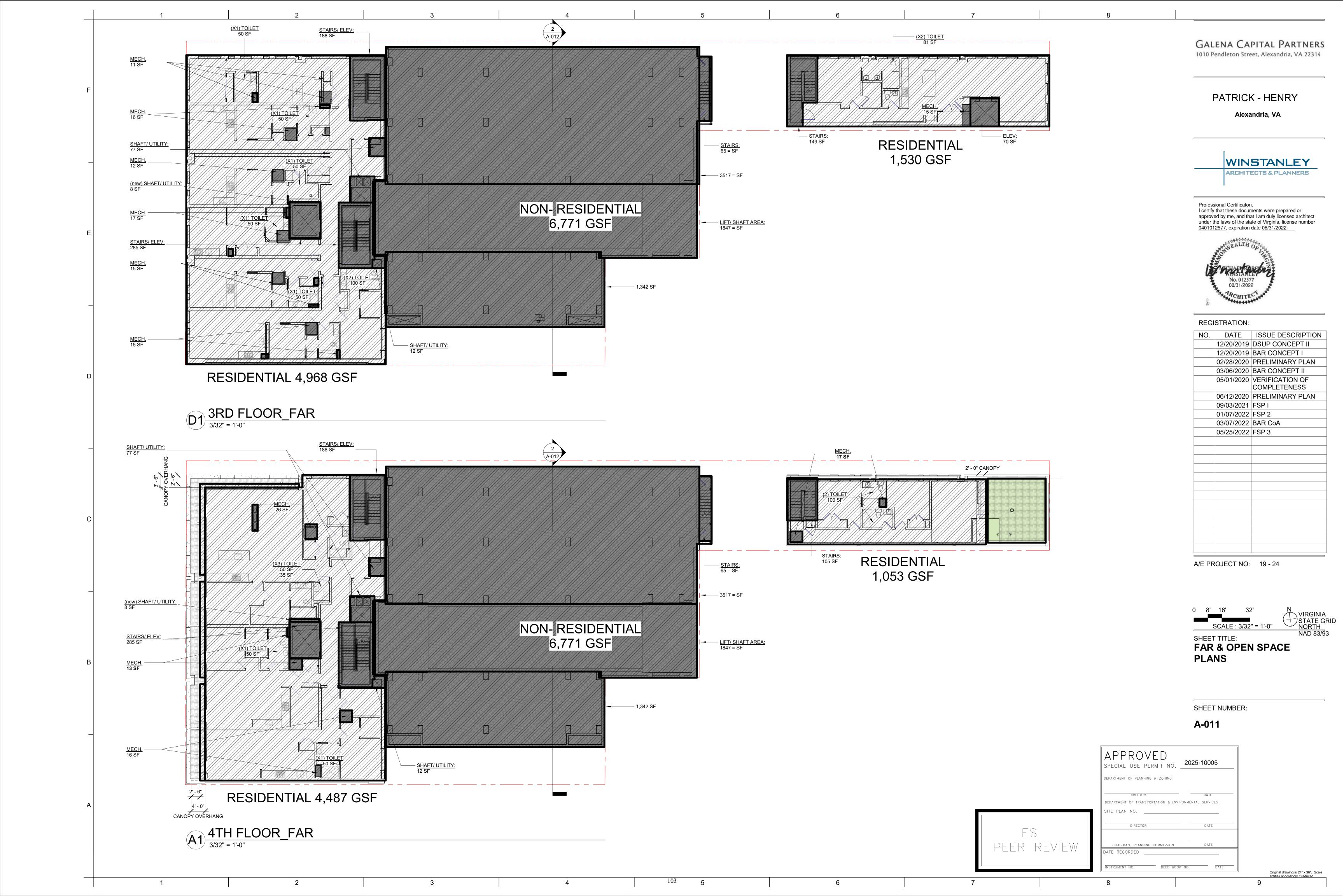
01/01/19

NTS



NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
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	03/07/2022	BAR CoA
	05/25/2022	FSP 3







NO.	DATE	ISSUE DESCRIPTION
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	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

Original drawing is 24" x 36". Scale

RESIDENTIAL FAR TABULATION

116 S.HEN	116 S.HENRY STREET - RESIDENTIAL					
LVL	HEIGHTS	FLOOR	GSF FLOOR OPENSPACE		FAR SF	
1st*	17'-2 3/4"	3,996	513	1,193	2,803	
2nd	10'-8"	4,968	0	1,011	3,957	
3rd	11'-4"	4,968	0	994	3,974	
4th	11'-6 1/4"	4,487	0	860	3,627	
Roof	VARIES	539	2,260	475	64	
Total		18958	2,773	4,533	14,425	

% Deductions

* Includes Mezzanine area with the units

MAX. HEIGHT 50'-0" ABOVE AFG - SEE ELEVATION

		FAR DE			
LVL	STAIRS/ ELEV.	LOADING/MISC	SHAFTS/ UTILITY	TOILETS	TOTAL
1st*	549	359	85	200	1,193
2nd	473	0	188	350	1,011
3rd	473	0	171	350	994
4th	473	0	152	235	860
Roof	475	0	0	0	475
Total	2443	359	596	1135	4,533
* Includes Me	* Includes Mezzanine area with the units				

109 S.P	.09 S.PATRICK STREET - RESIDENTIAL						
LVL	HEIGHTS	G FLOOR	SF OPENSPACE	FAR DEDUCTIONS	FAR SF		
1st	10'-8"	1,530	0	347	1,183		
2nd	10'-8"	1,530	0	374	1,156		
3rd	11'-2"	1,530	0	315	1,215		
4th	11'-1"	1,053	330	222	832		
Total		5643	330	1,258	4,385		

* Not counted towards FAR MAX. HEIGHT 50'-0" ABOVE AFG - SEE ELEVATION

		FAR D	EDUCTIONS		
LVL	STAIRS/ ELEV.	LOADING/MISC.	SHAFTS/ UTILITY	TOILETS	TOTAL
1st	295	0	2	50	347
2nd	250	0	24	100	374
3rd	219	0	15	81	315
4th	105	0	17	100	222
Total	869	0	58	331	1,258
	* Not counted towards FAR				

RESIDENTIAL		
SITE		15,332.0
ALLOWABLE FAR	1.25	19,165.0
PROPOSED FAR	1.23	18,810.0
REMAINING SF		355.0
# OF UNITS ALLOWED (35 PER ACRE)		1
PROPOSED # OF UNITS		1
REQUIRED OPEN SPACE	40%	6,132.8
PROPOSED OPENSPACE	20%	3,103.0
ALLOWABLE HEIGHT ABOVE AFG		50'-0
PROPOSED HEIGHT ABOVE AFG		50'-0

% Deductions

NON-RESIDENTIAL FAR TABULATION

			GSF	FAR	FAR
LVL	HEIGHTS	FLOOR	OPENSPACE	DEDUCTIONS	SF
1st	17'-2 3/4"	1,517	C	50	1,467.0
2nd	10'-8"	0	C	0	0.0
3rd	11'-4"	0	C	0	0.0
4th	11'-6 1/4"	0	C	0	0.0
Roof	VARIES	0	C	0	0.00
Total	0.00	1517.00	C	50	1,467.00
t count	ed towards FAR			% Deductions	0.0

* Not counted towards FAR MAX. HEIGHT 50'-0" ABOVE AFG - SEE ELEVATION

LVL				TOTAL
	STAIRS/ ELEV.	SHAFTS/ UTILITY	MISC	
1st	0	0	50	50
2nd	0	0	0	0
3rd	0	0	0	0
4th	0	0	0	0
Roof	0	0	0	0
Total	0	0	50	50

* Not counted towards FAR

AUTOMATED STRUCTURE - NON RESIDENTIAL						
LVL	HEIGHTS	GSF		FAR DEDUCTIONS	FAR	
LVL	пеіопіз	FLOOR	OPENSPACE	PAR DEDUCTIONS	SF	
1st	8'-6"	6,548	0	3,056	3,492.00	
2nd	8'-4"	6,771	0	6,562	209.00	
3rd	8'-1"	6,771	0	6,771	0.00	
4th	8'-1"	6,771	0	6,771	0.00	
5th	8'-1"	6,771	0	6,771	0.00	
6th	8'-9 3/4"	6,771	0	6,771	0.00	
Roof	0'	0	0	0	0.00	
Total	0.00	40403.00	0	36,702	3,701.00	
* Not coun	ted towards FAR	v.		% Deductions	0.91	

MAX. HEIGHT 50'-0" ABOVE AFG - SEE ELEVATION

LVL	STAIRS/ ELEV.	SHAFTS/ UTILITY	MISC	TOTAL
1st	1901	0	1,155	3,056
2nd	1912	0	4,650	6,562
3rd	1912	0	4,859	6,771
4th	1912	0	4,859	6,771
5th	1912	0	4,859	6,771
6th	1912	0	4,859	6,771
Roof	0	0	-	0
Total	11461	0	25241	36,702

NON RESIDENTIAL		
SITE		15,332.0
ALLOWABLE FAR	2.5	38,330.0
PROPOSED FAR	0.3	5,168.0
REMAINING FAR		33,162.0
UNITS		0.0
REQUIRED OPEN SPACE		0.0
PROPOSED OPENSPACE		0.0
ALLOWABLE HEIGHT ABOVE AFG		50'-
PROPOSED HEIGHT ABOVE AFG		50'-

GALENA CAPITAL PARTNERS

1010 Pendleton Street, Alexandria, VA 22314

PATRICK - HENRY

Alexandria, VA



Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



REGISTRATION:

NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24

SHEET TITLE:
FAR & OPEN SPACE **TABULATIONS**

SHEET NUMBER:

A-013



PATRICK - HENRY

Alexandria, VA

WINSTANLEY

ARCHITECTS & PLANNERS

Professional Certificaton.
I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



| NO. | DATE | ISSUE DESCRIPTION | 12/20/2019 | DSUP CONCEPT II | 12/20/2019 | BAR CONCEPT I | 02/28/2020 | PRELIMINARY PLAN | 03/06/2020 | BAR CONCEPT II | 05/01/2020 | VERIFICATION OF COMPLETENESS | 06/12/2020 | PRELIMINARY PLAN | 09/03/2021 | FSP I | 01/07/2022 | FSP 2 | 03/07/2022 | BAR COA | 05/25/2022 | FSP 3 |

A/E PROJECT NO: 19 - 24

2 (A-A200)

0 4' 8' 16' N VIRGINIA STATE GR NORTH

SHEET TITLE:

CONSTRUCTION PLANS

Original drawing is 24" x 36". Scale

CONCINCOTION LA

SHEET NUMBER:

A-A111



26' - 3 1/2"

88' - 11 1/4"

62' - 4"

FIRE SERVICE/

VERTICAL LIFT AREA

MAINTENANCE STAIRS

__FIRE SERVICE/ ______ MAINTENANCE WALKWAY -

EDGE OF BUILDING

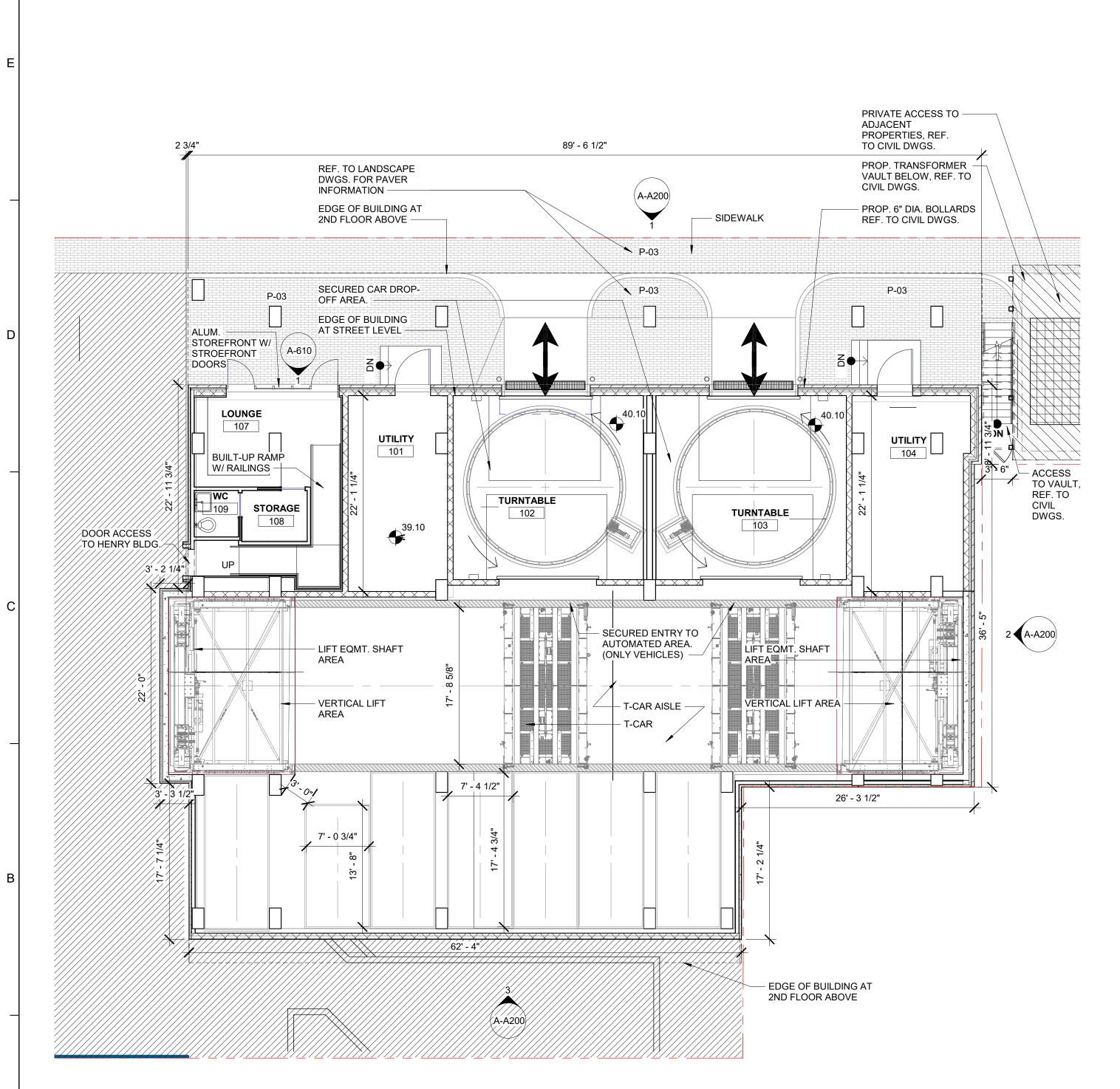
AT 3RD FLOOR

ABOVE -

3' - 0" WALK AISLE

> - LIFT EQMT. SHAFT AREA | |

- VERTICAL LIFT



AUTOMATED STRUCTURE 1ST FLOOR PLAN

1/8" = 1'-0"

GALENA CAPITAL PARTNERS 1010 Pendleton Street, Alexandria, VA 22314

Alexandria, VA

PATRICK - HENRY

WINSTANLEY ARCHITECTS & PLANNERS

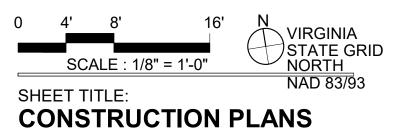
Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



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	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24



A-A112

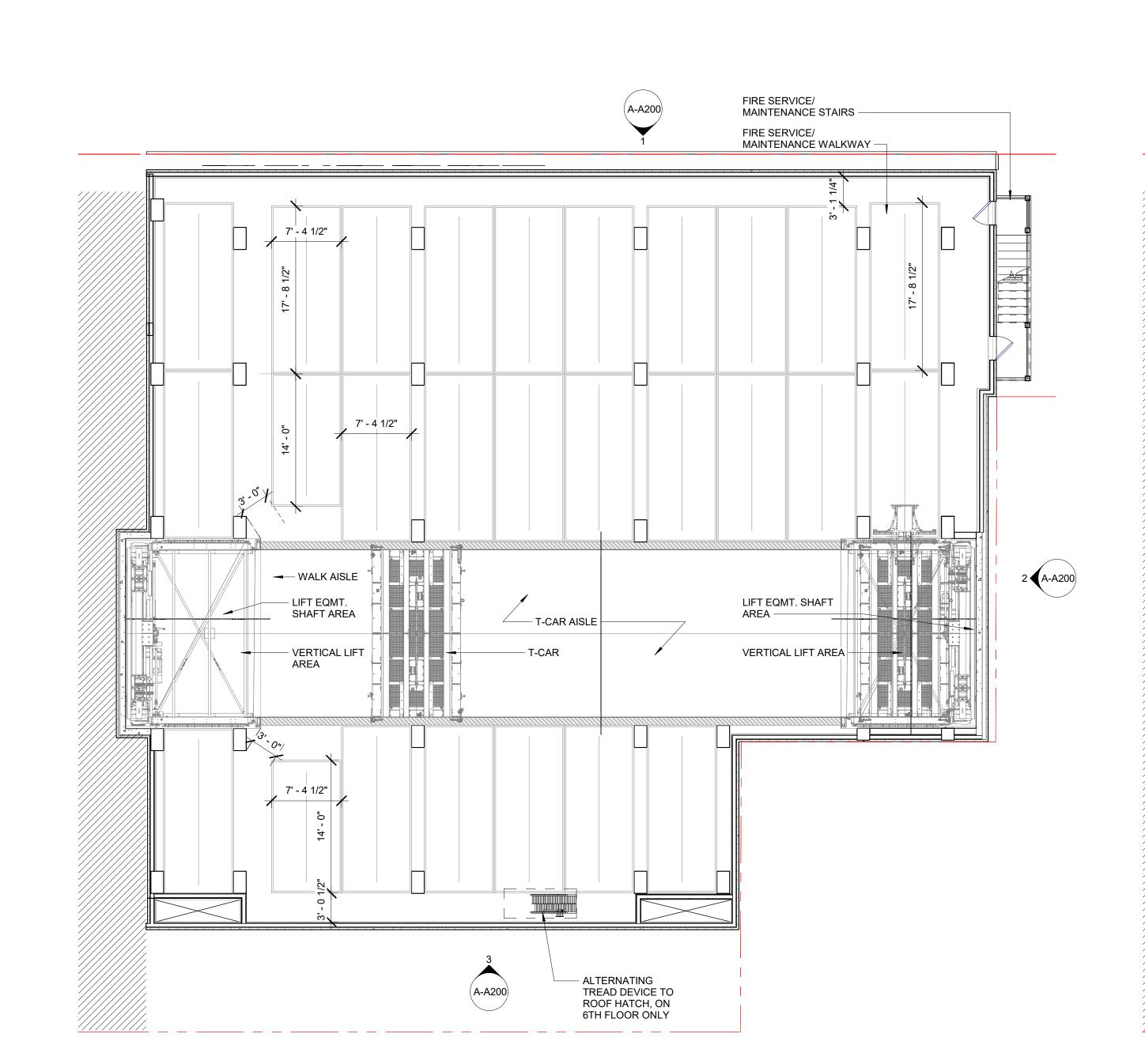
SHEET NUMBER:



A5 AUTOMATED STRUCTURE ROOF PLAN

1/8" = 1'-0" PEER REVIEW

0



A1 AUTOMATED STRUCTURE 3RD - 6TH FLOOR PLANS

EIFS MECHANICAL SCREEN -TO MATCH BUILDING EXTERIOR FINISH

— 30" x 78" ROOF ACCESS HATCH AND ALTERNATING TREAD DEVICE TO COMPLY WITH OSHA REQUIREMENTS

0 0

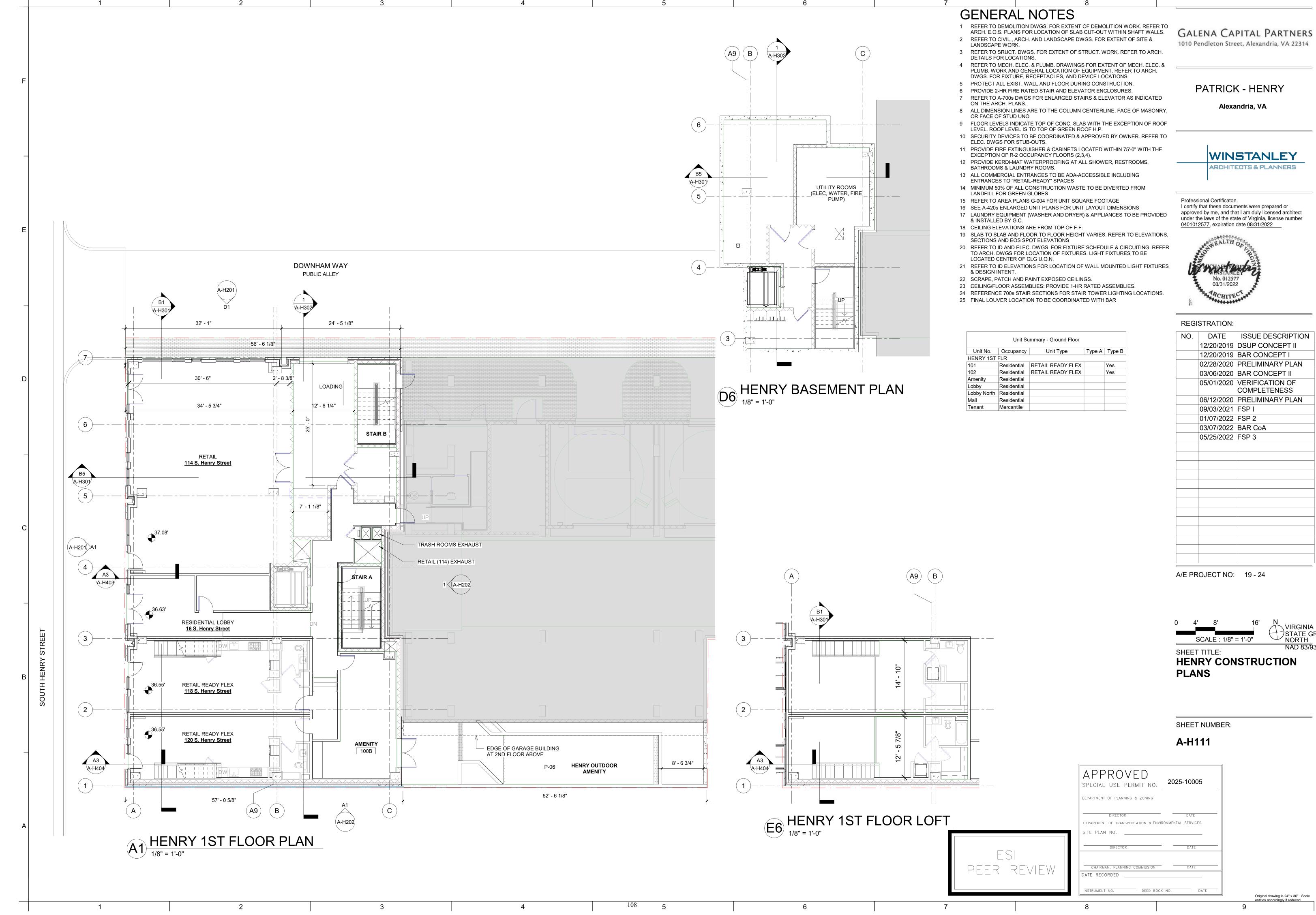
GREEN ROOF

MECHANICAL EQUIPMENT TO BE LOCATED TO MINIMIZE VISIBILITY FROM STREET.

MECHANICAL SCREEN (IF NEEDED) TO BE DETERMINED PER SELECTION/ DEVELOPMENT OF EQUIPMENT.

MEP EQUIPMENT SCREEN

0 0





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	05/25/2022	FSP 3



HENRY 4TH FLOOR PLAN

1/8" = 1'-0"

HENRY 2ND & 3RD FLOOR PLANS

1/8" = 1'-0"

GENERAL NOTES

- 1 REFER TO DEMOLITION DWGS. FOR EXTENT OF DEMOLITION WORK. REFER TO ARCH. E.O.S. PLANS FOR LOCATION OF SLAB CUT-OUT WITHIN SHAFT WALLS.
- 2 REFER TO CIVIL,, ARCH. AND LANDSCAPE DWGS. FOR EXTENT OF SITE & LANDSCAPE WORK.
- 3 REFER TO SRUCT. DWGS. FOR EXTENT OF STRUCT. WORK. REFER TO ARCH. DETAILS FOR LOCATIONS.
- 4 REFER TO MECH. ELEC. & PLUMB. DRAWINGS FOR EXTENT OF MECH. ELEC. & PLUMB. WORK AND GENERAL LOCATION OF EQUIPMENT. REFER TO ARCH.
- DWGS. FOR FIXTURE, RECEPTACLES, AND DEVICE LOCATIONS.
- 5 PROTECT ALL EXIST. WALL AND FLOOR DURING CONSTRUCTION. 6 PROVIDE 2-HR FIRE RATED STAIR AND ELEVATOR ENCLOSURES.
- REFER TO A-700s DWGS FOR ENLARGED STAIRS & ELEVATOR AS INDICATED ON THE ARCH. PLANS. 8 ALL DIMENSION LINES ARE TO THE COLUMN CENTERLINE, FACE OF MASONRY,
- OR FACE OF STUD UNO 9 FLOOR LEVELS INDICATE TOP OF CONC. SLAB WITH THE EXCEPTION OF ROOF
- LEVEL. ROOF LEVEL IS TO TOP OF GREEN ROOF H.P.
- 10 SECURITY DEVICES TO BE COORDINATED & APPROVED BY OWNER. REFER TO ELEC. DWGS FOR STUB-OUTS.
- 11 PROVIDE FIRE EXTINGUISHER & CABINETS LOCATED WITHIN 75'-0" WITH THE EXCEPTION OF R-2 OCCUPANCY FLOORS (2,3,4).
- 12 PROVIDE KERDI-MAT WATERPROOFING AT ALL SHOWER, RESTROOMS, BATHROOMS & LAUNDRY ROOMS. 13 ALL COMMERCIAL ENTRANCES TO BE ADA-ACCESSIBLE INCLUDING
- ENTRANCES TO "RETAIL-READY" SPACES 14 MINIMUM 50% OF ALL CONSTRUCTION WASTE TO BE DIVERTED FROM
- LANDFILL FOR GREEN GLOBES
- 15 REFER TO AREA PLANS G-004 FOR UNIT SQUARE FOOTAGE 16 SEE A-420s ENLARGED UNIT PLANS FOR UNIT LAYOUT DIMENSIONS
- 17 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE PROVIDED
- & INSTALLED BY G.C. 18 CEILING ELEVATIONS ARE FROM TOP OF F.F.
- 19 SLAB TO SLAB AND FLOOR TO FLOOR HEIGHT VARIES. REFER TO ELEVATIONS,
- SECTIONS AND EOS SPOT ELEVATIONS 20 REFER TO ID AND ELEC. DWGS. FOR FIXTURE SCHEDULE & CIRCUITING. REFER TO ARCH. DWGS FOR LOCATION OF FIXTURES. LIGHT FIXTURES TO BE
- LOCATED CENTER OF CLG U.O.N. 21 REFER TO ID ELEVATIONS FOR LOCATION OF WALL MOUNTED LIGHT FIXTURES
- & DESIGN INTENT. 22 SCRAPE, PATCH AND PAINT EXPOSED CEILINGS.
- 23 CEILING/FLOOR ASSEMBLIES: PROVIDE 1-HR RATED ASSEMBLIES. 24 REFERENCE 700s STAIR SECTIONS FOR STAIR TOWER LIGHTING LOCATIONS.
- 25 FINAL LOUVER LOCATION TO BE COORDINATED WITH BAR

Unit No.	Occupancy	Unit Type	Type A	Type B
HENRY 2	ND FLR	1	,	
201	Residential	1 BR/1 BA		Yes
202	Residential	1 BR/1 BA		Yes
203	Residential	1 BR/1 BA		Yes
204	Residential	STUDIO		Yes
205	Residential	1 BR/1 BA		Yes
206	Residential	2 BR/2 BA		Yes
HENRY 3	RD FLR		'	
301	Residential	1 BR/1 BA		Yes
302	Residential	1 BR/1 BA		Yes
303	Residential	1 BR/1 BA		Yes
304	Residential	STUDIO		Yes
305	Residential	1 BR/1 BA		Yes
306	Residential	2 BR/2 BA		Yes
HENRY 4	TH FLR			
401	Residential	3 BR/2.5 BA		Yes
402	Residential	1 BR+DEN/1B		Yes
403	Residential	1 BR+DEN/1B		Yes

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PATRICK - HENRY

Alexandria, VA

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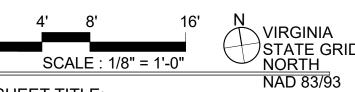
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	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24



Original drawing is 24" x 36". Scale

SHEET TITLE:
HENRY CONSTRUCTION **PLANS**

SHEET NUMBER:

A-H112



	DEPARTMENT OF PLANNING & ZONING	
	DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL	DATE . SERVICES
	SITE PLAN NO.	
	DIRECTOR	DATE
\checkmark	CHAIRMAN, PLANNING COMMISSION DATE RECORDED	DATE
	INSTRUMENT NO. DEED BOOK NO.	DATE

CORNICE/ ROOF BELOW STL. PIPE **GUARD RAILS** 25' - 7 1/4" MECHANICAL SCREENED AREA ROOF DECK A-H201 A1 TRASH ROOMS EXHAUST RETAIL (114) EXHAUST STAIR A 1 (A-H202) ELEV. | Prestibule MECH. SCREEN 2 HENRY ROOF AMENITY PLAN

1/8" = 1'-0"

GENERAL NOTES

- 1 REFER TO DEMOLITION DWGS. FOR EXTENT OF DEMOLITION WORK. REFER TO ARCH. E.O.S. PLANS FOR LOCATION OF SLAB CUT-OUT WITHIN SHAFT WALLS.
- 2 REFER TO CIVIL,, ARCH. AND LANDSCAPE DWGS. FOR EXTENT OF SITE & LANDSCAPE WORK.
- 3 REFER TO SRUCT. DWGS. FOR EXTENT OF STRUCT. WORK. REFER TO ARCH. DETAILS FOR LOCATIONS.
- 4 REFER TO MECH. ELEC. & PLUMB. DRAWINGS FOR EXTENT OF MECH. ELEC. & PLUMB. WORK AND GENERAL LOCATION OF EQUIPMENT. REFER TO ARCH. DWGS. FOR FIXTURE, RECEPTACLES, AND DEVICE LOCATIONS.
- 5 PROTECT ALL EXIST. WALL AND FLOOR DURING CONSTRUCTION. 6 PROVIDE 2-HR FIRE RATED STAIR AND ELEVATOR ENCLOSURES.
- REFER TO A-700s DWGS FOR ENLARGED STAIRS & ELEVATOR AS INDICATED ON THE ARCH. PLANS.
- 8 ALL DIMENSION LINES ARE TO THE COLUMN CENTERLINE, FACE OF MASONRY, OR FACE OF STUD UNO 9 FLOOR LEVELS INDICATE TOP OF CONC. SLAB WITH THE EXCEPTION OF ROOF
- LEVEL. ROOF LEVEL IS TO TOP OF GREEN ROOF H.P. 10 SECURITY DEVICES TO BE COORDINATED & APPROVED BY OWNER. REFER TO
- ELEC. DWGS FOR STUB-OUTS. 11 PROVIDE FIRE EXTINGUISHER & CABINETS LOCATED WITHIN 75'-0" WITH THE
- EXCEPTION OF R-2 OCCUPANCY FLOORS (2,3,4). 12 PROVIDE KERDI-MAT WATERPROOFING AT ALL SHOWER, RESTROOMS,
- BATHROOMS & LAUNDRY ROOMS.
- 13 ALL COMMERCIAL ENTRANCES TO BE ADA-ACCESSIBLE INCLUDING ENTRANCES TO "RETAIL-READY" SPACES
- 14 MINIMUM 50% OF ALL CONSTRUCTION WASTE TO BE DIVERTED FROM LANDFILL FOR GREEN GLOBES
- 15 REFER TO AREA PLANS G-004 FOR UNIT SQUARE FOOTAGE
- 16 SEE A-420s ENLARGED UNIT PLANS FOR UNIT LAYOUT DIMENSIONS
- 17 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE PROVIDED
- & INSTALLED BY G.C.
- 18 CEILING ELEVATIONS ARE FROM TOP OF F.F.
- 19 SLAB TO SLAB AND FLOOR TO FLOOR HEIGHT VARIES. REFER TO ELEVATIONS, SECTIONS AND EOS SPOT ELEVATIONS
- 20 REFER TO ID AND ELEC. DWGS. FOR FIXTURE SCHEDULE & CIRCUITING. REFER TO ARCH. DWGS FOR LOCATION OF FIXTURES. LIGHT FIXTURES TO BE LOCATED CENTER OF CLG U.O.N.
- 21 REFER TO ID ELEVATIONS FOR LOCATION OF WALL MOUNTED LIGHT FIXTURES & DESIGN INTENT.
- 22 SCRAPE, PATCH AND PAINT EXPOSED CEILINGS.
- 23 CEILING/FLOOR ASSEMBLIES: PROVIDE 1-HR RATED ASSEMBLIES.
- 24 REFERENCE 700s STAIR SECTIONS FOR STAIR TOWER LIGHTING LOCATIONS.
- 25 FINAL LOUVER LOCATION TO BE COORDINATED WITH BAR

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Alexandria, VA

PATRICK - HENRY



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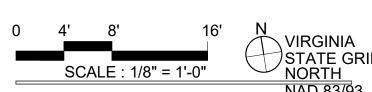
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	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24



SHEET TITLE:
HENRY CONSTRUCTION **PLANS**

SHEET NUMBER:

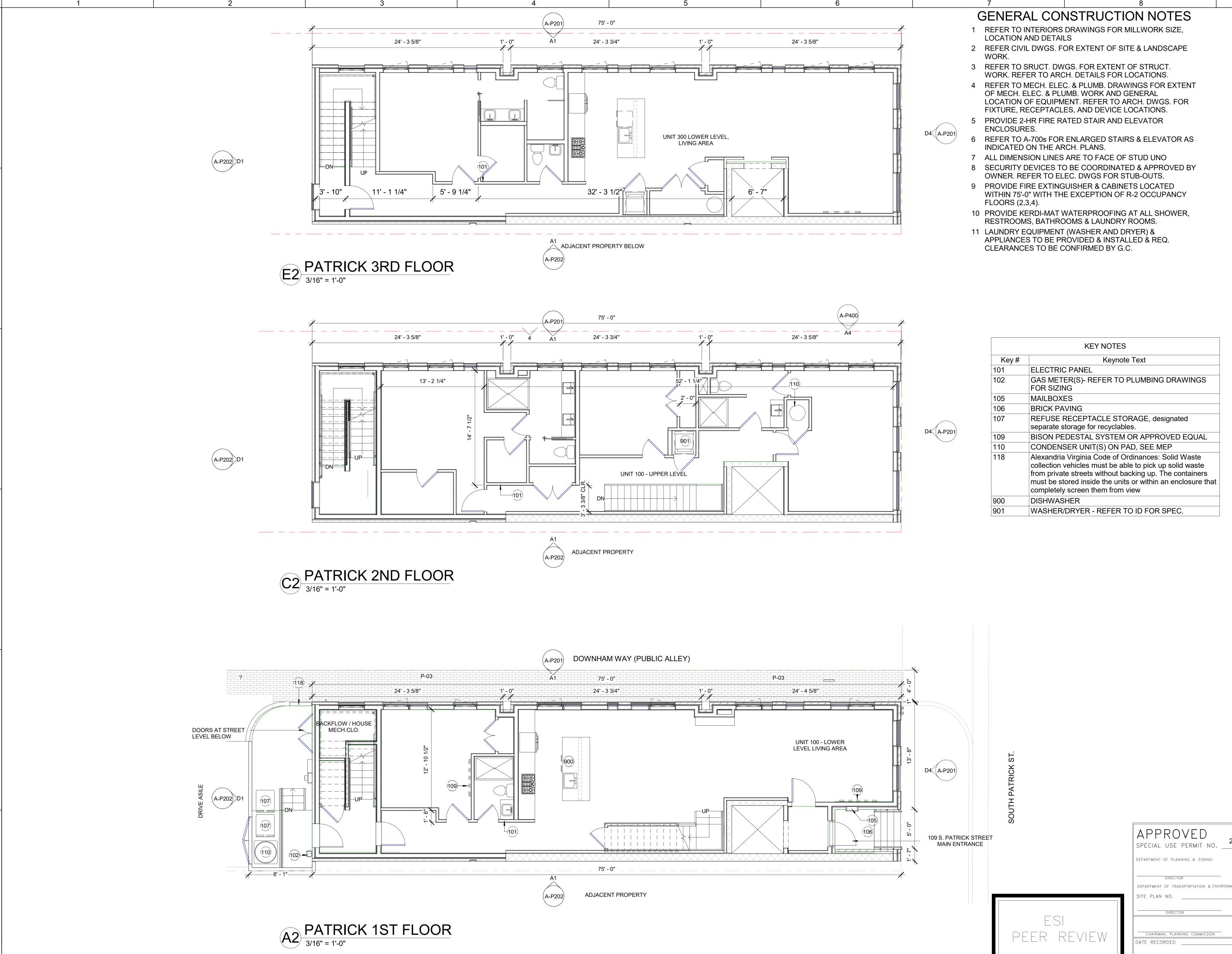
A-H113

SPECIAL USE PERMIT NO. ______2025-10005 DEPARTMENT OF PLANNING & ZONING DATE RECORDED

INSTRUMENT NO. DEED BOOK NO.

APPROVED

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	06/12/2020	PRELIMINARY PLAN				
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	05/25/2022	FSP 3				

A/E PROJECT NO: 19 - 24

SHEET TITLE:
PATRICK FLOOR PLANS

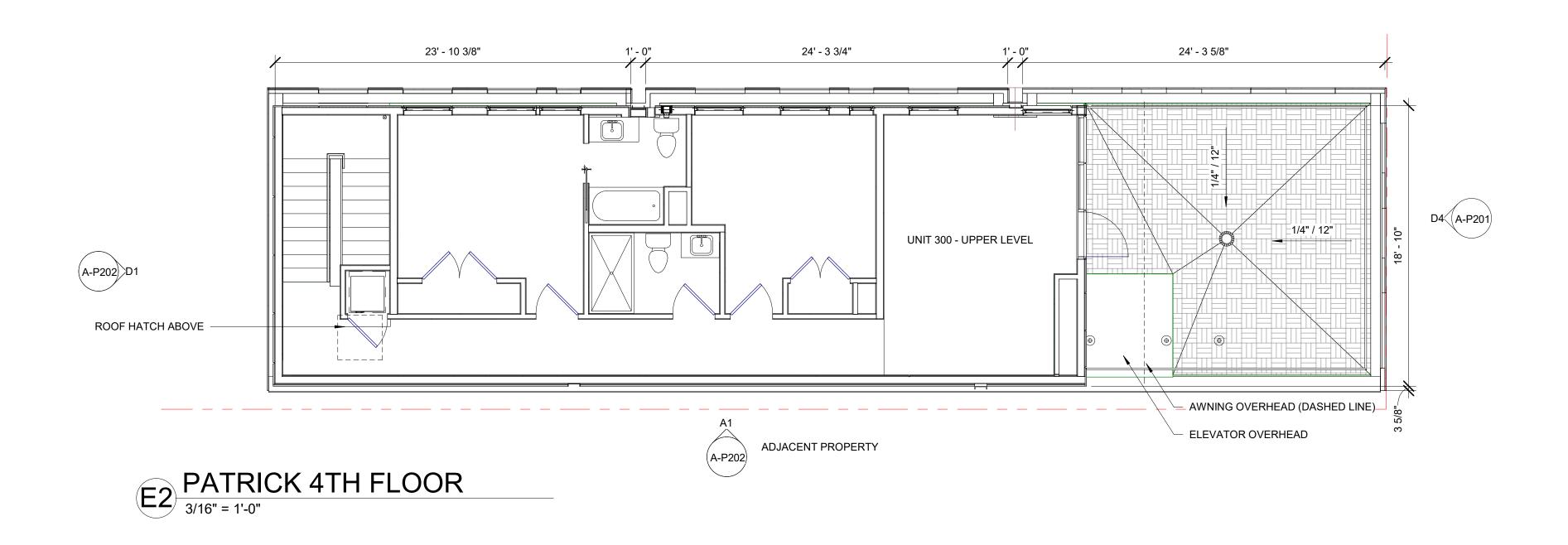
Original drawing is 24" x 36". Scale

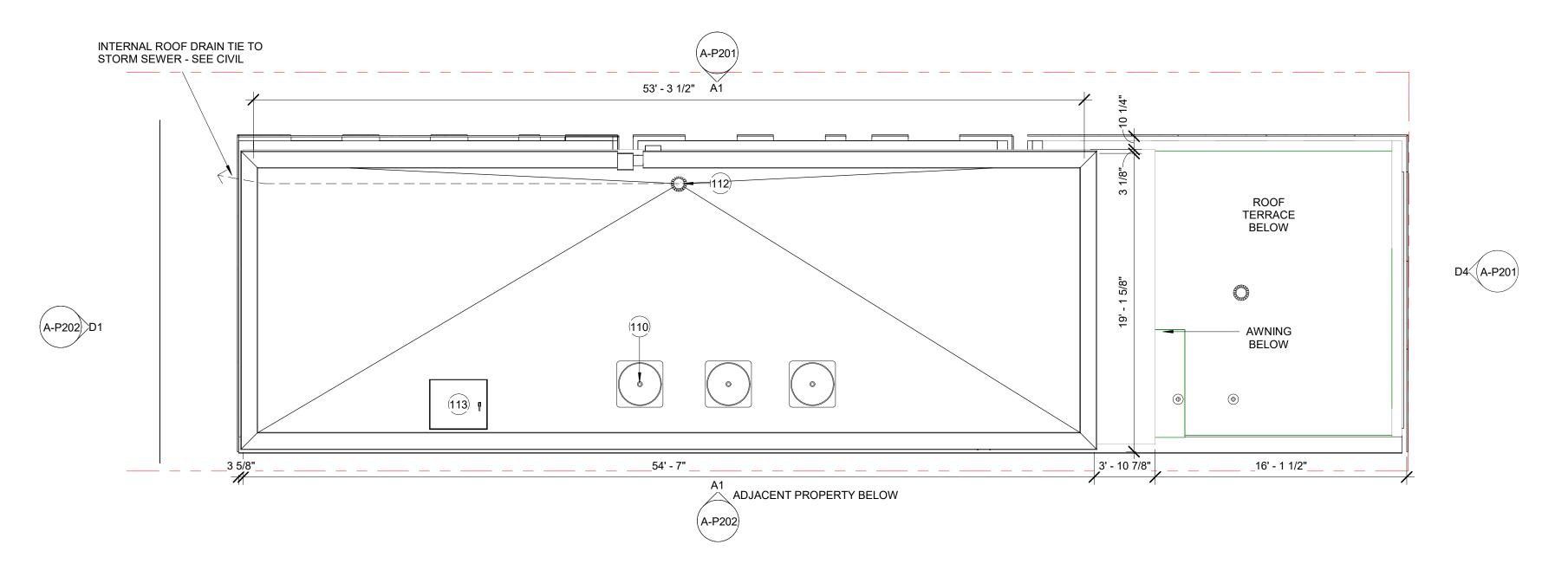
SHEET NUMBER:

A-P111

SPECIAL USE PERMIT NO. ______2025-10005

DEED BOOK NO.





B2 PATRICK ROOF
3/16" = 1'-0"

GENERAL CONSTRUCTION NOTES

- 1 REFER TO INTERIORS DRAWINGS FOR MILLWORK SIZE, LOCATION AND DETAILS
- 2 REFER CIVIL DWGS. FOR EXTENT OF SITE & LANDSCAPE
- 3 REFER TO SRUCT. DWGS. FOR EXTENT OF STRUCT. WORK. REFER TO ARCH. DETAILS FOR LOCATIONS.
- 4 REFER TO MECH. ELEC. & PLUMB. DRAWINGS FOR EXTENT OF MECH. ELEC. & PLUMB. WORK AND GENERAL LOCATION OF EQUIPMENT. REFER TO ARCH. DWGS. FOR FIXTURE, RECEPTACLES, AND DEVICE LOCATIONS.
- 5 PROVIDE 2-HR FIRE RATED STAIR AND ELEVATOR ENCLOSURES.
- 6 REFER TO A-700s FOR ENLARGED STAIRS & ELEVATOR AS INDICATED ON THE ARCH. PLANS.
- 7 ALL DIMENSION LINES ARE TO FACE OF STUD UNO
- 8 SECURITY DEVICES TO BE COORDINATED & APPROVED BY OWNER. REFER TO ELEC. DWGS FOR STUB-OUTS.
- 9 PROVIDE FIRE EXTINGUISHER & CABINETS LOCATED WITHIN 75'-0" WITH THE EXCEPTION OF R-2 OCCUPANCY FLOORS (2,3,4).
- 10 PROVIDE KERDI-MAT WATERPROOFING AT ALL SHOWER, RESTROOMS, BATHROOMS & LAUNDRY ROOMS.

KEY NOTES

CONDENSER UNIT(S) ON PAD, SEE MEP

Keynote Text

11 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE PROVIDED & INSTALLED & REQ. CLEARANCES TO BE CONFIRMED BY G.C.

Key#

ROOF DRAIN

ROOF HATCH

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Alexandria, VA



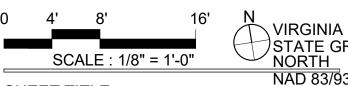
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		COMPLETENESS
	1	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24



SHEET TITLE: PATRICK FLOOR PLANS

Original drawing is 24" x 36". Scale

SHEET NUMBER:

A-P112

APPROVED SPECIAL USE PERMIT NO. _______2025-10005 DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES DATE RECORDED INSTRUMENT NO. DEED BOOK NO. DATE



WEST ELEVATION (116 S. HENRY ST. BUILDING)



BAR COA APRIL 6TH - NORTH ELEVATION (109 S. PATRICK ST + AUTOMATED STRUCTURE + 116 S. HENRY ST BUILDINGS AT DOWNHAM ALLEY)



EAST ELEVATION (109 S. PATRICK ST. BUILDING)

MARK	DESCRIPTION	MODEL	MFR.	COMMENTS
AG-1	Glazing System - Storefront	Trifab 451, black finish	KAWNEER	
BRK-1 T	BRK-1 THUR BRK-2 (NOT USED)			THROUGH-BODY
BRK-3	Black Brick	BLACK PEARL SM	Glen-Gery	BRICK. FOR PATTERN SEE
BRK-3M	Mortar	Graphite WR-2070	Workrite	ELEVATIONS
BRK-4	Tan Brick	Golden Dawn S27-28	Belden	
BRK-4M	Mortar	Sand WR-2443	Workrite	
BRK-5	Red Brick	DK RED WIRE CUT	Palmetto	
BRK-5M	Mortar	Canyon WR-2031	Workrite	
BRK-6	MERLOT	IRONSPOT VLR	Glen-Gery	
BRK-6M	Mortar	Redwood WR-2492	Workrite	
BRK-7	DARK GRAY	BLK DIMOND VLR	Belden	
BRK-7M	Mortar	Smoke WR-2062	Workrite	
P-03	City Standard Paver	Belcrest 760	Belden	
EF-1	EIFS - Grey	Dover Sky #104ST	Dryvit	Lymestone PMR Finish
EF-2	EIFS - Dk Grey Custom: Ben Moore Jet Black 2120-10 Dryvit Lymestone PMR Fin			
FCP-1	Fiber Cement reveal system, smooth		@ Roof PH, no ground level	t visible from
GL-1	1" Fully Tempered. Insulated Glass Unit (IGU) with Low-E Coated vision glass.			Groud Floor Storefront System (AG-1)
GL-2	Fire-rated glass, insulated with Low-E coated vision glass			Groud Floor Storefront System (AG-1)
GRL-1	Galvanized pnt'd. guard rail at roof terrace	PNT-1		
GRL-4	Galvanized pnt. exterior rail			
MP-1	Fiber Cement	Raven	Nichiha	Infill on Pat/Hen.
MP-2	Metal Panel Empe	ernay Champagne Meta	allic, Alucobond	4th floor Henry
MP-3	Metal Panel	JLR Champagne Meta	llic Alucobond	4th floor Patrick
MP-4	Metal Panel		4th floor King (T	BD)
P-03	City Stnd. Paver	Belcrest 760	Belden	Standard pattern
PNT-1	Exterior Paint	Jet Black 2120-10	Ben Moore	Trim, fences, railings
PNT-2	Exterior Paint	Medium Grey, TBD		PH structures
PNT-3	Exterior Paint	Cloud White 967		mtl. coping, garage stair, person doors
PNT-4	Exterior Paint	TBD	Ben Moore	On ST-1
ST-1	PNT-4Fiber Cement Poly-Ash	TRIM	TruExterior	Headers, sills, coping trim face

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PATRICK - HENRY

Alexandria, VA

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	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24

0 8' 16' 32 SCALE : 1/16" = 1'-0"

SHEET TITLE:

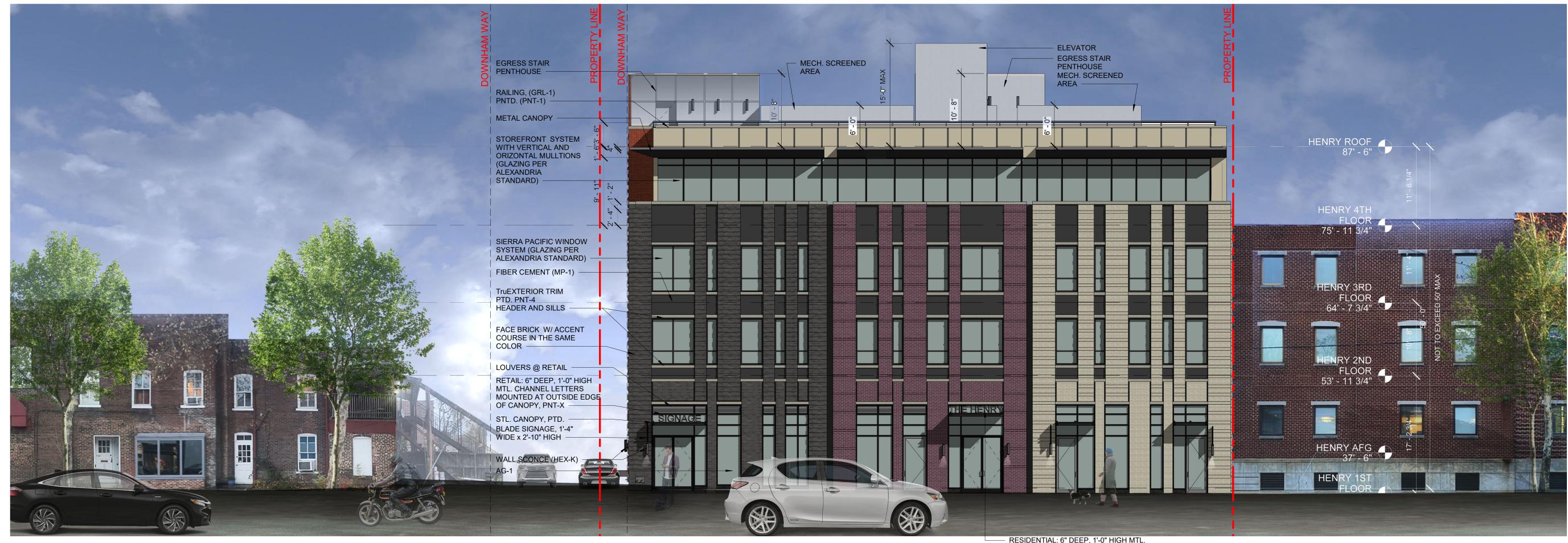
DSUP ELEVATIONS

SHEET NUMBER:

A- 200

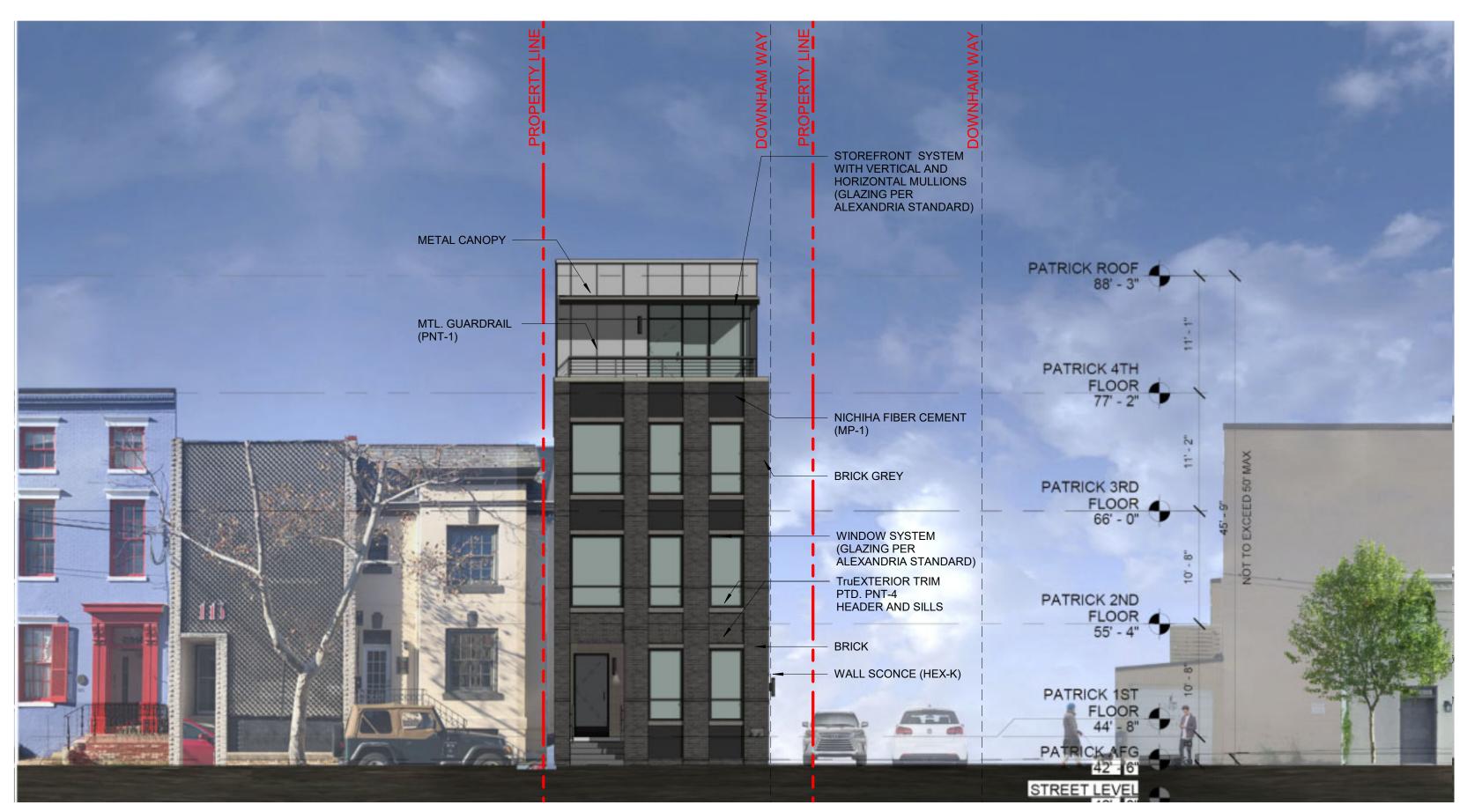


Original drawing is 24" x 36". So



WEST ELEVATION (116 S. HENRY ST. BUILDING)

- RESIDENTIAL: 6" DEEP, 1'-0" HIGH MTL. CHANNEL LETTERS MOUNTED AT OUTSIDE EDGE OF CANOPY, PNT-X



EAST ELEVATION (109 S. PATRICK ST. BUILDING)

•	iull material list o			
MARK	DESCRIPTION	MODEL	MFR.	COMMENTS
AG-1	Glazing System - Storefront	Trifab 451, black finish	KAWNEER	
BRK-1 T	HUR BRK-2 (NOT US	SED)		THROUGH-BODY
BRK-3	Black Brick	BLACK PEARL SM	Glen-Gery	BRICK. FOR PATTERN SEE
BRK-3M	Mortar	Graphite WR-2070	Workrite	ELEVATIONS
BRK-4	Tan Brick	Golden Dawn S27-28	Belden	
BRK-4M	Mortar	Sand WR-2443	Workrite	
BRK-5	Red Brick	DK RED WIRE CUT	Palmetto	
BRK-5M	Mortar	Canyon WR-2031	Workrite	
BRK-6	MERLOT	IRONSPOT VLR	Glen-Gery	
BRK-6M	Mortar	Redwood WR-2492	Workrite	
BRK-7	DARK GRAY	BLK DIMOND VLR	Belden	
BRK-7M	Mortar	Smoke WR-2062	Workrite	
P-03	City Standard Paver	Belcrest 760	Belden	
EF-1	EIFS - Grey	Dover Sky #104ST	Dryvit	Lymestone PMR Finish
EF-2	EIFS - Dk Grey Custom: Ben Moore Jet Black 2120-10 Dryvit Lymestone Pl			Dryvit Lymestone PMR I
FCP-1	Fiber Cement reveal system, smooth		@ Roof PH, no ground level	t visible from
GL-1	1" Fully Tempered. In (IGU) with Low-E Co			Groud Floor Storefront System (AG-1)
GL-2	Fire-rated glass, insucoated vision glass	llated with Low-E		Groud Floor Storefront System (AG-1)
GRL-1	Galvanized pnt'd. guard rail at roof terrace	PNT-1		
GRL-4	Galvanized pnt. exterior rail			
MP-1	Fiber Cement	Raven	Nichiha	Infill on Pat/Hen.
MP-2	Metal Panel Empe	ernay Champagne Meta	allic, Alucobond	4th floor Henry
MP-3	Metal Panel	JLR Champagne Meta	llic Alucobond	4th floor Patrick
MP-4	Metal Panel		4th floor King (T	BD)
P-03	City Stnd. Paver	Belcrest 760	Belden	Standard pattern
PNT-1	Exterior Paint	Jet Black 2120-10	Ben Moore	Trim, fences, railings
PNT-2	Exterior Paint	Medium Grey, TBD		PH structures
PNT-3	Exterior Paint	Cloud White 967		mtl. coping, garage stair, person doors
PNT-4	Exterior Paint	TBD	Ben Moore	On ST-1
ST-1	PNT-4Fiber Cement	TRIM	TruExterior	Headers, sills,

GALENA CAPITAL PARTNERS

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PATRICK - HENRY

Alexandria, VA

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	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24



SHEET TITLE:

DSUP ELEVATIONS

SHEET NUMBER:

A- 201



ESI





MARK	DESCRIPTION	MODEL	MFR.	COMMENTS
AG-1	Glazing System - Storefront	Trifab 451, black finish	KAWNEER	
BRK-1 T	HUR BRK-2 (NOT US	THROUGH-BODY		
BRK-3	Black Brick	BLACK PEARL SM	Glen-Gery	BRICK. FOR PATTERN SEE
BRK-3M	Mortar	Graphite WR-2070	Workrite	ELEVATIONS
BRK-4	Tan Brick	Golden Dawn S27-28	Belden	
BRK-4M	Mortar	Sand WR-2443	Workrite	
BRK-5	Red Brick	DK RED WIRE CUT	Palmetto	
BRK-5M	Mortar	Canyon WR-2031	Workrite	
BRK-6	MERLOT	IRONSPOT VLR	Glen-Gery	
BRK-6M	Mortar	Redwood WR-2492	Workrite	
BRK-7	DARK GRAY	BLK DIMOND VLR	Belden	
BRK-7M	Mortar	Smoke WR-2062	Workrite	
P-03	City Standard Paver	Belcrest 760	Belden	
EF-1	EIFS - Grey	Dover Sky #104ST	Dryvit	Lymestone PMR Finish
EF-2	EIFS - Dk Grey Custom: Ben Moore Jet Black 2120-10 Dryvit Lymestone PMR Fini			
FCP-1	Fiber Cement reveal system, smooth		@ Roof PH, no ground level	t visible from
GL-1	1" Fully Tempered. Insulated Glass Unit (IGU) with Low-E Coated vision glass.			Groud Floor Storefront System (AG-1)
GL-2	Fire-rated glass, insucoated vision glass	lated with Low-E		Groud Floor Storefront System (AG-1)
GRL-1	Galvanized pnt'd. guard rail at roof terrace	PNT-1		
GRL-4	Galvanized pnt. exterior rail			
MP-1	Fiber Cement	Raven	Nichiha	Infill on Pat/Hen.
MP-2	Metal Panel Empe	ernay Champagne Meta	allic, Alucobond	4th floor Henry
MP-3	Metal Panel	JLR Champagne Meta	llic Alucobond	4th floor Patrick
MP-4	Metal Panel		4th floor King (T	BD)
P-03	City Stnd. Paver	Belcrest 760	Belden	Standard pattern
PNT-1	Exterior Paint	Jet Black 2120-10	Ben Moore	Trim, fences, railings
PNT-2	Exterior Paint	Medium Grey, TBD		PH structures
PNT-3	Exterior Paint	Cloud White 967		mtl. coping, garage stair, person doors
PNT-4	Exterior Paint	TBD	Ben Moore	On ST-1
ST-1	PNT-4Fiber Cement Poly-Ash	TRIM	TruExterior	Headers, sills, coping trim face

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PATRICK - HENRY

Alexandria, VA



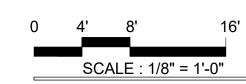
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	09/03/2021	FSP I
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	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24



SHEET TITLE: **DSUP ELEVATIONS**

SHEET NUMBER:

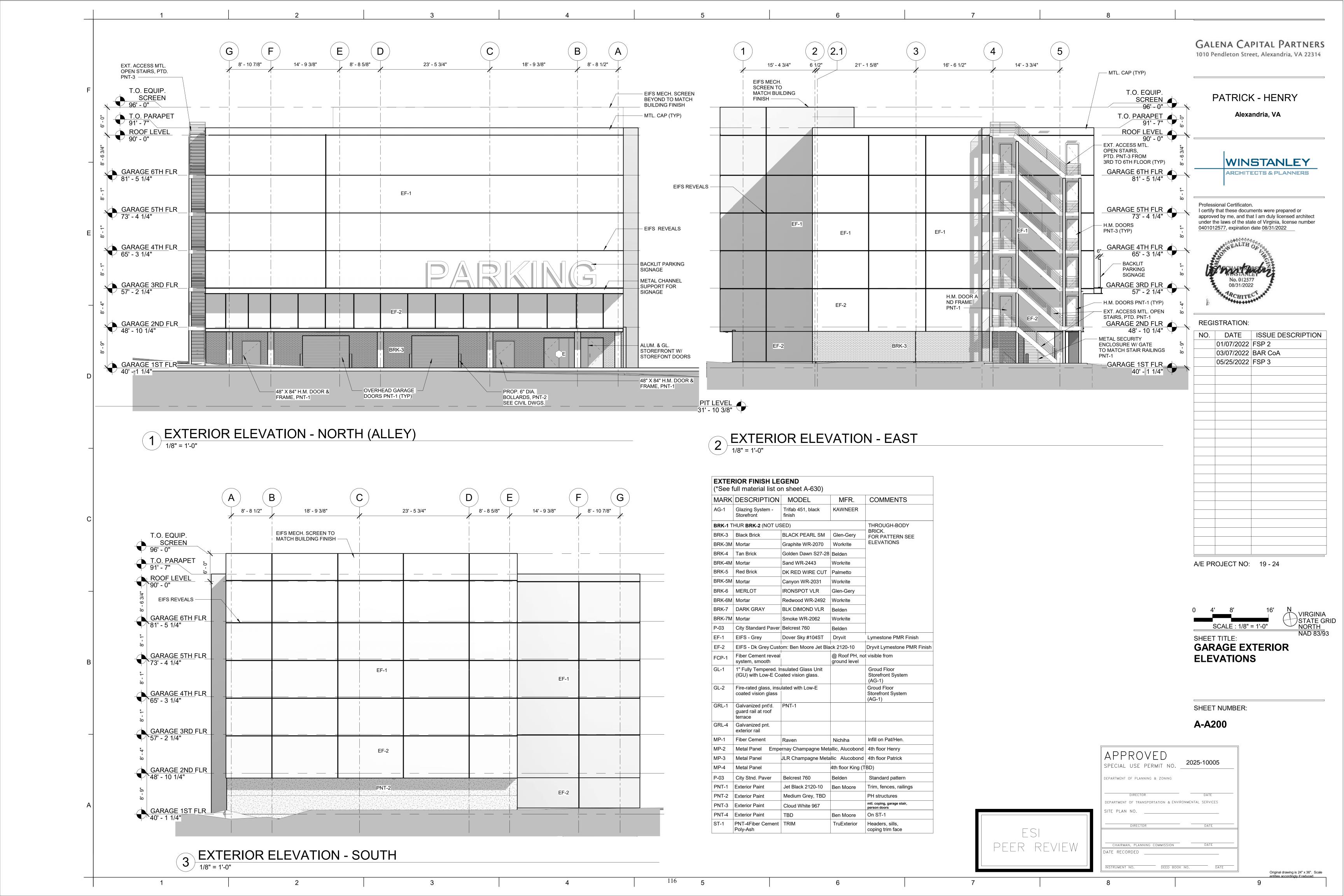
A- 202



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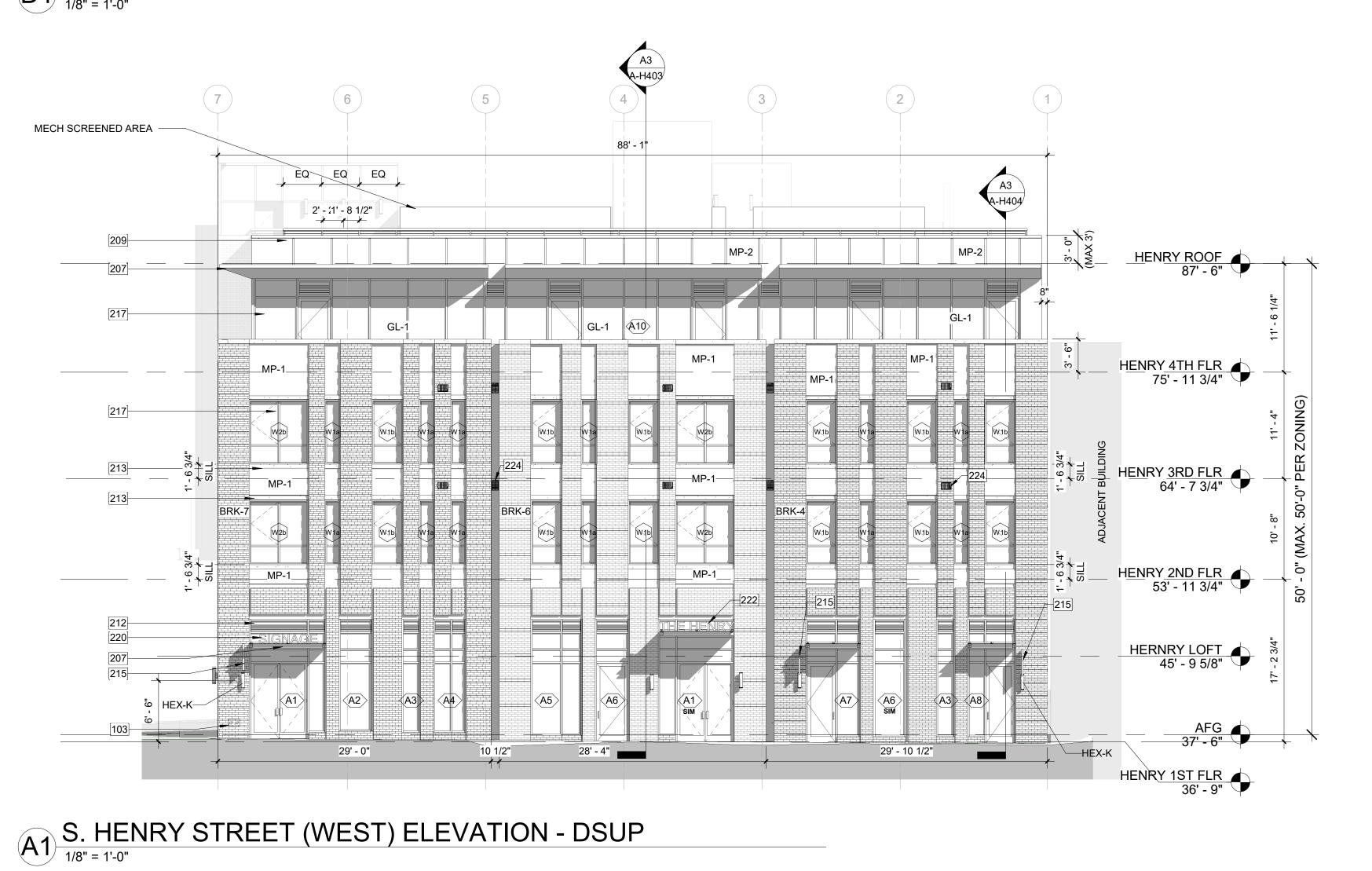
PEER REVIEW

Original drawing is 24" x 36". Scale





D1 DOWNHAM WAY ALLEY (NORTH) ELEVATION - DSUP



7			8			
	RIOR FINISH LE full material list o	_				
MARK	DESCRIPTION	MODEL	MFR.	COMMENTS		
AG-1	Glazing System - Storefront	Trifab 451, black finish	KAWNEER			
BRK-1 T	HUR BRK-2 (NOT US	SED)	,	THROUGH-BODY		
BRK-3	Black Brick	BLACK PEARL SM	Glen-Gery	BRICK. FOR PATTERN SI		
BRK-3M	Mortar	Graphite WR-2070	Workrite	ELEVATIONS		
BRK-4	Tan Brick	Golden Dawn S27-28	Belden			
BRK-4M	Mortar	Sand WR-2443	Workrite			
BRK-5	Red Brick	Dk Red Wire Cut	Palmetto			
BRK-5M	Mortar	Canyon WR-2031	Workrite			
BRK-6	Merlot Brick	Ironspot VLR	Glen-Gery			
BRK-6M	Mortar	Redwood WR-2492	Workrite			
BRK-7	Dark Grey Brick	Black Diamond VLR	Belden			
BRK-7M	Mortar	Smoke WR-2062	Workrite			
EF-1	EIFS - GREY	DOVER SKY #104ST	Dryvit Ly	mestone PMR Finis		
EF-2	EIFS - Dk Grey Cust	om: Ben Moore Jet Bla	ck 2120-10 Dr	yvit Lymestone PMR		
EF-3	EIFS - Tan	Dover Sky 104ST	Dryvit	Sandblast Finish		
FCP-1	Fiber Cement reveal system, smooth		@ Roof PH, no ground level	t visible from		
GL-1	1" Fully Tempered. In (IGU) with Low-E Co			L1, 4 Floor Storefro System (AG-1)		
GL-2	Fire-rated glass, insucoated vision glass	ulated with Low-E		L1 Floor Storefront System (AG-1)		
GRL-1	Galvanized pnt'd. guard rail at roof terrace	PNT-1				
GRL-4	Galvanized pnt. exterior rail	PNT-1				
MP-1	Fiber Cement	Raven	Nichiha	Infill on Pat/Hen.		
MP-2	Metal Panel Empe	ernay Champagne Meta	allic, Alucobond	4th floor Henry		
MP-3	Metal Panel	JLR Champagne Meta	llic Alucobond	4th floor Patrick		
MP-4	Metal Panel		4th floor King (T	BD)		
P-03	City Stnd. Paver	Belcrest 760	Belden	Standard pattern		
P-06	Henry Patio Paver	Landmark Grey Vel.	Belden			
PNT-1	Exterior Paint	Jet Black 2120-10	Ben Moore	Trim, fences, railing		

	KEYNOTES				
Key#	Keynote Text				
103	FDC or HOSE BIBB AS SHOWN				
207	MTL. CANOPY, DELEGATED DESIGN. PROVIDE SHOP DRAWINGS				
209	EXT. MTL. GUARDRAIL, MIN. 42" HIGH, PNT-1				
212	MECHANICAL LOUVRE/GRILLE				
213	PRECAST-LOOKING FIBER CEMENT HEADER/SILL OR COPING CAP. SEE SECTION DETAILS				
215	BLADE SIGNAGE, 1'-4" WIDE x 2'-10" HIGH				
216	STOREFRONT (AG-1). Kawneer: Trifab 451UT Framing System/ 250T Insulpour Thermal Entrances (10 in. high min. kick plate) or approved equal				
217	WINDOW SYSTEM WITH EXT. APPLIED MUNTINS (AG-2) (GLAZING PER ALEXANDRIA STANDARD)				
220	RETAIL: 6" DEEP, 1'-0" HIGH MTL. CHANNEL LETTERS MOUNTED AT OUTSIDE EDGE OF CANOPY, PNT-X				
222	RESIDENTIAL: 6" DEEP, 1'-0" HIGH MTL. CHANNEL LETTERS MOUNTED AT OUTSIDE EDGE OF CANOPY, PNT-X				
224	LOUVER ASSEMBLY. SEE EXTERIOR PLAN DETAIL				

Medium Grey, TBD

Muskoka Trail 974 Ben Moore

mtl. coping, garage stair person doors

On ST-1

Headers, sills and coping trim

PNT-2 Exterior Paint

PNT-3 Exterior Paint PNT-4 Exterior Paint

GALENA CAPITAL PARTNERS

1010 Pendleton Street, Alexandria, VA 22314

PATRICK - HENRY

Alexandria, VA



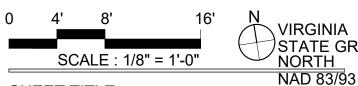
Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



REGISTRATION:

NO.	DATE	ISSUE DESCRIPTION
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24



SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A-H201



APPROVED



EXTERIOR FINISH LEGEND (*See full material list on sheet A-630) MARK DESCRIPTION MODEL MFR. COMMENTS AG-1 Glazing System - Trifab 451, black KAWNEER BRK-1 THUR BRK-2 (NOT USED) THROUGH-BODY BRK-3 Black Brick BLACK PEARL SM Glen-Gery FOR PATTERN SEE **ELEVATIONS** BRK-3M Mortar Graphite WR-2070 Workrite BRK-4 Tan Brick Golden Dawn S27-28 Belden BRK-4M Mortar Sand WR-2443 BRK-5 Red Brick Dk Red Wire Cut Palmetto BRK-5M Mortar Canyon WR-2031 Ironspot VLR BRK-6 Merlot Brick BRK-6M Mortar Redwood WR-2492 Workrite BRK-7 Dark Grey Brick Black Diamond VLR Belden BRK-7M Mortar Smoke WR-2062 Workrite DOVER SKY #104ST Dryvit Lymestone PMR Finish EIFS - Dk Grey Custom: Ben Moore Jet Black 2120-10 Dryvit Lymestone PMR Finish EF-3 EIFS - Tan Dover Sky 104ST FCP-1 | Fiber Cement reveal @ Roof PH, not visible from system, smooth ground level 1" Fully Tempered. Insulated Glass Unit L1, 4 Floor Storefront (IGU) with Low-E Coated vision glass. System (AG-1) GL-2 Fire-rated glass, insulated with Low-E L1 Floor Storefront coated vision glass System (AG-1) GRL-1 Galvanized pnt'd. PNT-1 guard rail at roof terrace GRL-4 Galvanized pnt. exterior rail Infill on Pat/Hen. Fiber Cement Nichiha MP-2 | Metal Panel | Empernay Champagne Metallic, Alucobond | 4th floor Henry JLR Champagne Metallic Alucobond 4th floor Patrick MP-3 Metal Panel MP-4 Metal Panel 4th floor King (TBD) P-03 City Stnd. Paver Belcrest 760 Belden Standard pattern P-06 Henry Patio Paver Landmark Grey Vel. Belden PNT-1 Exterior Paint Jet Black 2120-10 Ben Moore Trim, fences, railings PNT-2 Exterior Paint Medium Grey, TBD PH structures mtl. coping, garage stair person doors PNT-3 Exterior Paint Cloud White 967

	KEYNOTES
Key#	Keynote Text
207	MTL. CANOPY, DELEGATED DESIGN. PROVIDE SHOP DRAWINGS
209	EXT. MTL. GUARDRAIL, MIN. 42" HIGH, PNT-1
215	BLADE SIGNAGE, 1'-4" WIDE x 2'-10" HIGH

Muskoka Trail 974 Ben Moore

TruExterior

PNT-4

PEER REVIEW

Poly-ash

On ST-1

Headers, sills

and coping trim

GALENA CAPITAL PARTNERS

1010 Pendleton Street, Alexandria, VA 22314

PATRICK - HENRY

Alexandria, VA

WINSTANLEY

ARCHITECTS & PLANNERS

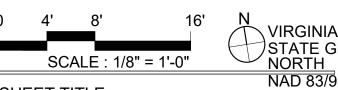
Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



REGISTRATION:

NO.	DATE	ISSUE DESCRIPTION
	03/07/2022	BAR CoA
	05/25/2022	FSP 3
/E DD	O IFOT NO	40.04

A/E PROJECT NO: 19 - 24



SHEET TITLE:

EXTERIOR ELEVATIONS

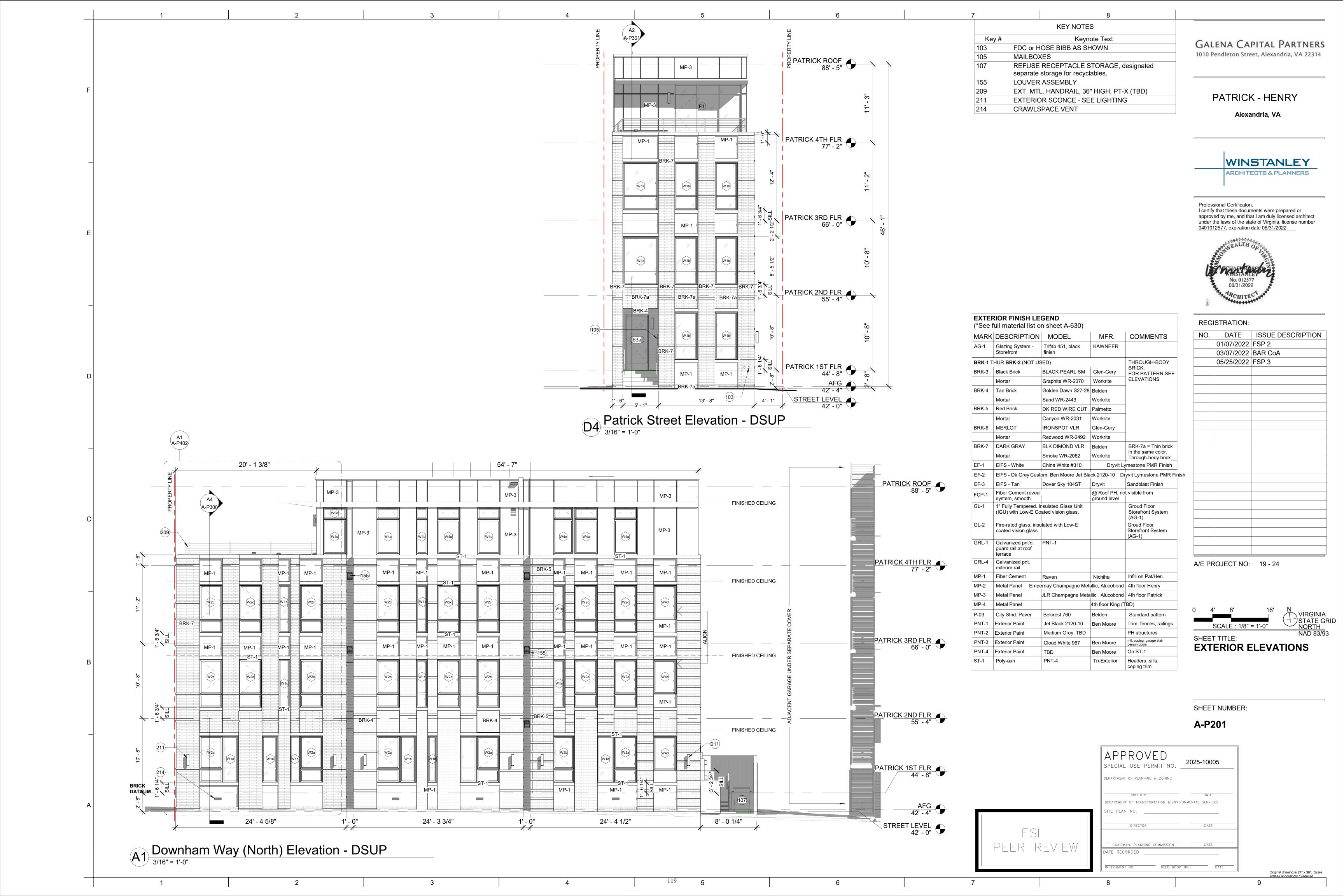
SHEET NUMBER:

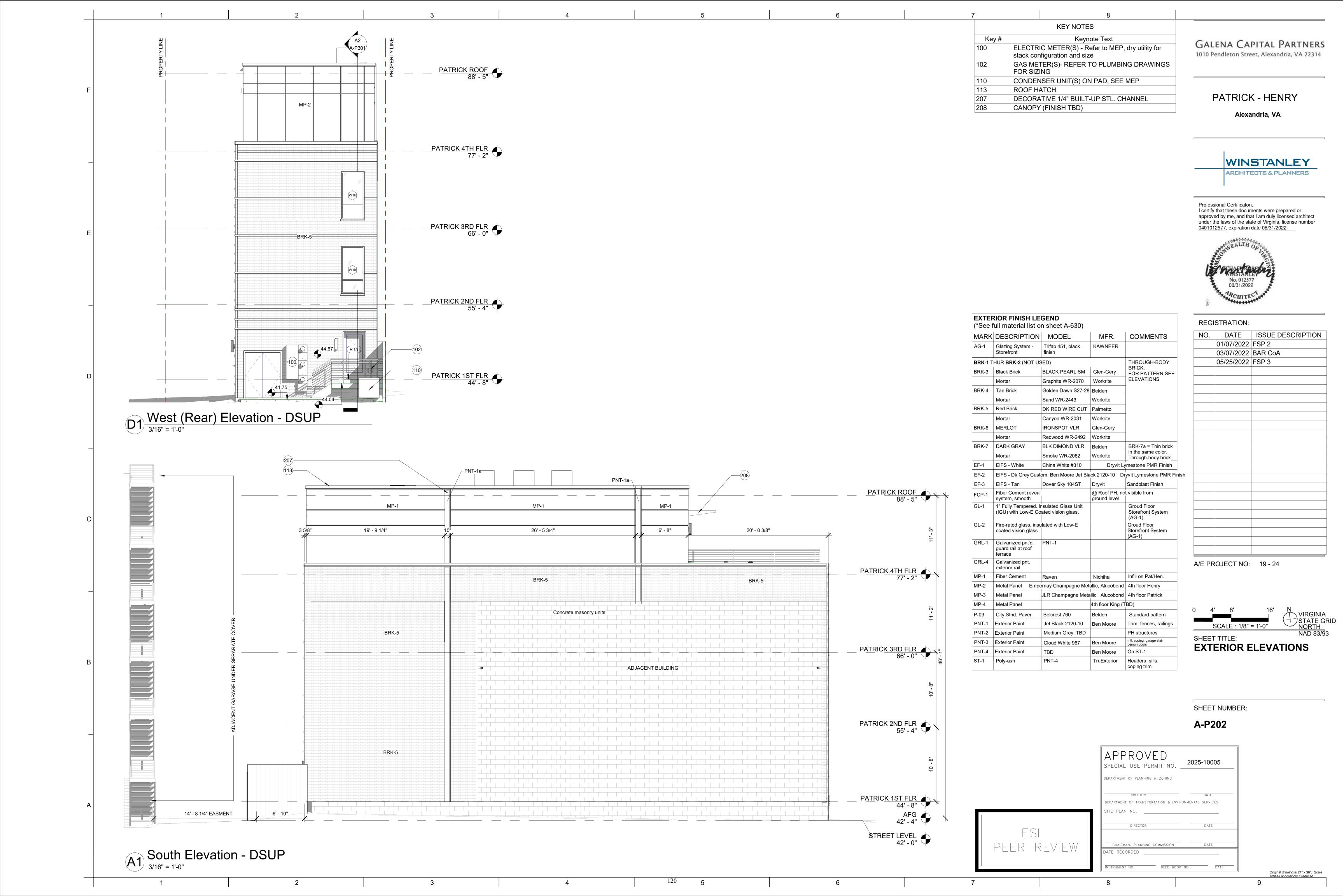
A-H202

APPROVED SPECIAL USE PERMIT NO. ____2025-10005 DEPARTMENT OF PLANNING & ZONING

CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED INSTRUMENT NO. DEED BOOK NO. DATE

Original drawing is 24" x 36". Scale





2 REFER TO CIVIL,, ARCH. AND LANDSCAPE DWGS. FOR EXTENT OF SITE & 1010 Pendleton Street, Alexandria, VA 22314 LANDSCAPE WORK. 3 REFER TO SRUCT. DWGS. FOR EXTENT OF STRUCT. WORK. REFER TO ARCH. DETAILS FOR LOCATIONS. 4 REFER TO MECH. ELEC. & PLUMB. DRAWINGS FOR EXTENT OF MECH. ELEC. & PLUMB. WORK AND GENERAL LOCATION OF EQUIPMENT. REFER TO ARCH. DWGS. FOR FIXTURE, RECEPTACLES, AND DEVICE LOCATIONS. 5 PROTECT ALL EXIST. WALL AND FLOOR DURING CONSTRUCTION. PATRICK - HENRY 6 PROVIDE 2-HR FIRE RATED STAIR AND ELEVATOR ENCLOSURES. REFER TO A-700s DWGS FOR ENLARGED STAIRS & ELEVATOR AS INDICATED ON THE ARCH. PLANS. Alexandria, VA 8 ALL DIMENSION LINES ARE TO THE COLUMN CENTERLINE, FACE OF MASONRY, OR FACE OF STUD UNO 9 FLOOR LEVELS INDICATE TOP OF CONC. SLAB WITH THE EXCEPTION OF ROOF LEVEL. ROOF LEVEL IS TO TOP OF GREEN ROOF H.P. 10 SECURITY DEVICES TO BE COORDINATED & APPROVED BY OWNER. REFER TO ELEC. DWGS FOR STUB-OUTS. 11 PROVIDE FIRE EXTINGUISHER & CABINETS LOCATED WITHIN 75'-0" WITH THE WINSTANLEY EXCEPTION OF R-2 OCCUPANCY FLOORS (2,3,4). 12 PROVIDE KERDI-MAT WATERPROOFING AT ALL SHOWER, RESTROOMS, ARCHITECTS & PLANNERS BATHROOMS & LAUNDRY ROOMS. 13 ALL COMMERCIAL ENTRANCES TO BE ADA-ACCESSIBLE INCLUDING ENTRANCES TO "RETAIL-READY" SPACES 14 MINIMUM 50% OF ALL CONSTRUCTION WASTE TO BE DIVERTED FROM LANDFILL FOR GREEN GLOBES Professional Certificaton. 15 REFER TO AREA PLANS G-004 FOR UNIT SQUARE FOOTAGE I certify that these documents were prepared or 16 SEE A-420s ENLARGED UNIT PLANS FOR UNIT LAYOUT DIMENSIONS approved by me, and that I am duly licensed architect 17 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE PROVIDED under the laws of the state of Virginia, license number **& INSTALLED BY G.C.** 0401012577, expiration date 08/31/2022 18 CEILING ELEVATIONS ARE FRIGHT IN THE ST. 19 SLAB TO SLAB AND FLOOR TO FLOOR HEIGHT VARIES. REFER TO ELEVATIONS, SEKTERONES AND EOS SPOT ELEVATION Synote Text EALTHO 20 REFER TO ID AND ELEC. DWGS. FOR FIXTURE SCHEDULE & CIRCUITING. REFER TO ARCH. DWGS FOR LOCATION OF FIXTURES. LIGHT FIXTURES TO BE LOCATED CENTER OF CLG U.O.N. 21 REFER TO ID ELEVATIONS FOR LOCATION OF WALL MOUNTED LIGHT FIXTURES & DESIGN INTENT. 22 SCRAPE, PATCH AND PAINT EXPOSED CEILINGS. No. 012577 08/31/2022 23 CEILING/FLOOR ASSEMBLIES: PROVIDE 1-HR RATED ASSEMBLIES. 24 REFERENCE 700s STAIR SECTIONS FOR STAIR TOWER LIGHTING LOCATIONS. 25 FINAL LOUVER LOCATION TO BE COORDINATED WITH BAR REGISTRATION: (A9) B NO. DATE ISSUE DESCRIPTION 09/03/2021 FSP I EGRES\$ STAIR PENTHOUSE_ 01/07/2022 FSP 2 03/07/2022 BAR CoA 05/25/2022 FSP 3 ROOF DECK MECH. AREA HENRY ROOFNEY ROOF 87' - 6" 87' - 6" RESIDENTIAL UNIT RESIDENTIAL UNIT HENRY 4TH FLOORIY 1TH FLR RESIDENTIAL UNIT HENRY 4TH FLR 75' - 11 3/4" 75' - 11 3/4"75' 11 3/4" RESIDENTIAL UNITE RESIDENTIAL UNIT HENRY 3RD RESIDENTIAL UNIT FLOORY 3RD FLR 64' - 7 3/4" 64' - 7 3/4" HENRY 3RD FLR 64' - 7 3/4" RESIDENTIAL UNIT RESIDENTIAL UNIT HENRY 2ND RESIDENTIAL UNIT FLOORY ?ND FLR 53' - 11 3/4"53' 11 3/4" HENRY 2ND FLR 53' - 11 3/4" A/E PROJECT NO: 19 - 24 RETAIL READY RETAIL READY RETAIL HERNRY 1ST FLOOR LOFTN'RY LOFT 45' - 9 5/8" 45 - 9 5/8" <u>RETAIL</u> LOADING DOCK <u>TRASH</u> AFG 37' - 6" VIRGINIA STATE GRID NORTH NAD 83/93 SHEET TITLE: HENRY 1ST FLR 36' - 9" **BUILDING SECTIONS** ELEC. ROOM HENRY BASEMENT 28' - 3" HENRY BASEMENT 28' - 5" SHEET NUMBER: B5 BUILDING SECTION - WEST - EAST B1 BUILDING SECTION - NORTH SOUTH A-H301 APPROVED SPECIAL USE PERMIT NO. 2025-10005 DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES ESI PEER REVIEW CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED

GENERAL NOTES

1 REFER TO DEMOLITION DWGS. FOR EXTENT OF DEMOLITION WORK. REFER TO ARCH. E.O.S. PLANS FOR LOCATION OF SLAB CUT-OUT WITHIN SHAFT WALLS.

INSTRUMENT NO. DEED BOOK NO. DATE

Original drawing is 24" x 36". Scale

GALENA CAPITAL PARTNERS

HENRY ROOF **RESIDENTIAL UNIT** RESIDENTIAL UNIT HENRY 4TH FLR 75' - 11 3/4" RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT LOADING DOCK CLEAR HEIGHT MIN. 11'-6" RETAIL READY RETAIL READY

1 BUILDING SECTION NORTH-SOUTH 2

1/8" = 1'-0"

GENERAL NOTES

- 1 REFER TO DEMOLITION DWGS. FOR EXTENT OF DEMOLITION WORK. REFER TO ARCH. E.O.S. PLANS FOR LOCATION OF SLAB CUT-OUT WITHIN SHAFT WALLS.
- 2 REFER TO CIVIL,, ARCH. AND LANDSCAPE DWGS. FOR EXTENT OF SITE & LANDSCAPE WORK.
- 3 REFER TO SRUCT. DWGS. FOR EXTENT OF STRUCT. WORK. REFER TO ARCH. DETAILS FOR LOCATIONS.
- 4 REFER TO MECH. ELEC. & PLUMB. DRAWINGS FOR EXTENT OF MECH. ELEC. & PLUMB. WORK AND GENERAL LOCATION OF EQUIPMENT. REFER TO ARCH.
- DWGS. FOR FIXTURE, RECEPTACLES, AND DEVICE LOCATIONS.
- 5 PROTECT ALL EXIST. WALL AND FLOOR DURING CONSTRUCTION.
- 6 PROVIDE 2-HR FIRE RATED STAIR AND ELEVATOR ENCLOSURES. 7 REFER TO A-700s DWGS FOR ENLARGED STAIRS & ELEVATOR AS INDICATED
- ON THE ARCH. PLANS. 8 ALL DIMENSION LINES ARE TO THE COLUMN CENTERLINE, FACE OF MASONRY,
- OR FACE OF STUD UNO 9 FLOOR LEVELS INDICATE TOP OF CONC. SLAB WITH THE EXCEPTION OF ROOF
- LEVEL. ROOF LEVEL IS TO TOP OF GREEN ROOF H.P. 10 SECURITY DEVICES TO BE COORDINATED & APPROVED BY OWNER. REFER TO
- 11 PROVIDE FIRE EXTINGUISHER & CABINETS LOCATED WITHIN 75'-0" WITH THE EXCEPTION OF R-2 OCCUPANCY FLOORS (2,3,4).
- 12 PROVIDE KERDI-MAT WATERPROOFING AT ALL SHOWER, RESTROOMS, BATHROOMS & LAUNDRY ROOMS.
- 13 ALL COMMERCIAL ENTRANCES TO BE ADA-ACCESSIBLE INCLUDING
- ENTRANCES TO "RETAIL-READY" SPACES 14 MINIMUM 50% OF ALL CONSTRUCTION WASTE TO BE DIVERTED FROM
- LANDFILL FOR GREEN GLOBES 15 REFER TO AREA PLANS G-004 FOR UNIT SQUARE FOOTAGE
- 16 SEE A-420s ENLARGED UNIT PLANS FOR UNIT LAYOUT DIMENSIONS
- 17 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE PROVIDED & INSTALLED BY G.C.
- 18 CEILING ELEVATIONS ARE FROM TOP OF F.F.

ELEC. DWGS FOR STUB-OUTS.

- 19 SLAB TO SLAB AND FLOOR TO FLOOR HEIGHT VARIES. REFER TO ELEVATIONS, SECTIONS AND EOS SPOT ELEVATIONS
- 20 REFER TO ID AND ELEC. DWGS. FOR FIXTURE SCHEDULE & CIRCUITING. REFER TO ARCH. DWGS FOR LOCATION OF FIXTURES. LIGHT FIXTURES TO BE LOCATED CENTER OF CLG U.O.N.
- 21 REFER TO ID ELEVATIONS FOR LOCATION OF WALL MOUNTED LIGHT FIXTURES & DESIGN INTENT.
- 22 SCRAPE, PATCH AND PAINT EXPOSED CEILINGS.
- 23 CEILING/FLOOR ASSEMBLIES: PROVIDE 1-HR RATED ASSEMBLIES.
- 24 REFERENCE 700s STAIR SECTIONS FOR STAIR TOWER LIGHTING LOCATIONS.
- 25 FINAL LOUVER LOCATION TO BE COORDINATED WITH BAR

GALENA CAPITAL PARTNERS

1010 Pendleton Street, Alexandria, VA 22314

PATRICK - HENRY

Alexandria, VA



Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number



REGISTRATION:

NO.	DATE	ISSUE DESCRIPTION
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3

A/E PROJECT NO: 19 - 24

Original drawing is 24" x 36". Scale

SHEET TITLE:
BUILDING SECTIONS

SHEET NUMBER:

A-H302

APPROVED SPECIAL USE PERMIT NO. ______2025-10005 DEPARTMENT OF PLANNING & ZONING DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. DATE

PATRICK ROOF 88' - 5" Key# 202 **EXISTING ENCROACHMENT -**PATRICK 4TH FLR 77' - 2" SEE CIVIL **202** PATRICK 2ND FLR 55' - 4"

BUILDING SECTION TRANSVERSE

1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

- 1 REFER TO INTERIORS DRAWINGS FOR MILLWORK SIZE, LOCATION AND DETAILS
- 2 REFER CIVIL DWGS. FOR EXTENT OF SITE & LANDSCAPE
- 3 REFER TO SRUCT. DWGS. FOR EXTENT OF STRUCT. WORK. REFER TO ARCH. DETAILS FOR LOCATIONS.
- 4 REFER TO MECH. ELEC. & PLUMB. DRAWINGS FOR EXTENT OF MECH. ELEC. & PLUMB. WORK AND GENERAL LOCATION OF EQUIPMENT. REFER TO ARCH. DWGS. FOR FIXTURE, RECEPTACLES, AND DEVICE LOCATIONS.
- 5 PROVIDE 2-HR FIRE RATED STAIR AND ELEVATOR ENCLOSURES.
- 6 REFER TO A-700s FOR ENLARGED STAIRS & ELEVATOR AS INDICATED ON THE ARCH. PLANS.
- 7 ALL DIMENSION LINES ARE TO FACE OF STUD UNO
- 8 SECURITY DEVICES TO BE COORDINATED & APPROVED BY OWNER. REFER TO ELEC. DWGS FOR STUB-OUTS.
- 9 PROVIDE FIRE EXTINGUISHER & CABINETS LOCATED WITHIN 75'-0" WITH THE EXCEPTION OF R-2 OCCUPANCY FLOORS (2,3,4).
- 10 PROVIDE KERDI-MAT WATERPROOFING AT ALL SHOWER, RESTROOMS, BATHROOMS & LAUNDRY ROOMS.

KEY NOTES

EXT. GUARDRAIL, 42" AFF, MTL (PT-X) OR GLASS AS

CONDENSER UNIT(S) ON PAD, SEE MEP

PRECAST CONCRETE HEADER/SILL

CANOPY (FINISH TBD)

SHOWN

Keynote Text

11 LAUNDRY EQUIPMENT (WASHER AND DRYER) & APPLIANCES TO BE PROVIDED & INSTALLED & REQ. CLEARANCES TO BE CONFIRMED BY G.C.

C	C	D
	(APITAL	PARTNERS
OVERIVY	CALLIAL	I MILLIA ETTS

1010 Pendleton Street, Alexandria, VA 22314

PATRICK - HENRY

Alexandria, VA

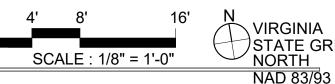


Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



REGISTRATION: NO. DATE ISSUE DESCRIPTION 09/03/2021 FSP I 01/07/2022 FSP 2 03/07/2022 BAR CoA 05/25/2022 FSP 3

A/E PROJECT NO: 19 - 24



SHEET TITLE:
PATRICK BUILDING **SECTION**

SHEET NUMBER:

A-P300



APPROVED

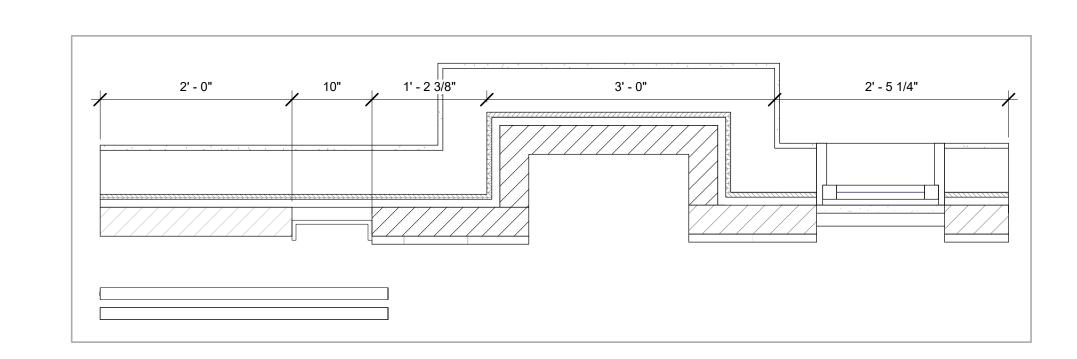
PEER REVIEW

INSTRUMENT NO. DEED BOOK NO. DATE

GENERAL CONSTRUCTION NOTES **KEY NOTES** 1 REFER TO INTERIORS DRAWINGS FOR MILLWORK SIZE, Key# Keynote Text GALENA CAPITAL PARTNERS LOCATION AND DETAILS ELECTRIC METER(S) - Refer to MEP, dry utility for stack 1010 Pendleton Street, Alexandria, VA 22314 configuration and size 2 REFER CIVIL DWGS. FOR EXTENT OF SITE & LANDSCAPE **ROOF HATCH** 3 REFER TO SRUCT. DWGS. FOR EXTENT OF STRUCT. CANOPY (FINISH TBD) WORK. REFER TO ARCH. DETAILS FOR LOCATIONS. EXT. MTL. HANDRAIL, 36" HIGH, PT-X (TBD) 4 REFER TO MECH. ELEC. & PLUMB. DRAWINGS FOR EXTENT PATRICK - HENRY OF MECH. ELEC. & PLUMB. WORK AND GENERAL LOCATION OF EQUIPMENT. REFER TO ARCH. DWGS. FOR FIXTURE, RECEPTACLES, AND DEVICE LOCATIONS. Alexandria, VA 5 PROVIDE 2-HR FIRE RATED STAIR AND ELEVATOR ENCLOSURES. 6 REFER TO A-700s FOR ENLARGED STAIRS & ELEVATOR AS INDICATED ON THE ARCH. PLANS. 7 ALL DIMENSION LINES ARE TO FACE OF STUD UNO WINSTANLEY 8 SECURITY DEVICES TO BE COORDINATED & APPROVED BY OWNER. REFER TO ELEC. DWGS FOR STUB-OUTS. ARCHITECTS & PLANNERS 9 PROVIDE FIRE EXTINGUISHER & CABINETS LOCATED WITHIN 75'-0" WITH THE EXCEPTION OF R-2 OCCUPANCY FLOORS (2,3,4). 10 PROVIDE KERDI-MAT WATERPROOFING AT ALL SHOWER, Professional Certificaton. RESTROOMS, BATHROOMS & LAUNDRY ROOMS. I certify that these documents were prepared or approved by me, and that I am duly licensed architect 11 LAUNDRY EQUIPMENT (WASHER AND DRYER) & under the laws of the state of Virginia, license number APPLIANCES TO BE PROVIDED & INSTALLED & REQ. 0401012577, expiration date 08/31/2022 CLEARANCES TO BE CONFIRMED BY G.C. (113)-PATRICK ROOF No. 012577 08/31/2022 **REGISTRATION:** NO. DATE ISSUE DESCRIPTION 09/03/2021 FSP I 01/07/2022 FSP 2 03/07/2022 BAR CoA 05/25/2022 FSP 3 PATRICK 4TH FLR 77' - 2" PATRICK 3RD FLR 66' - 0" A/E PROJECT NO: 19 - 24 PATRICK 2ND FLR 55' - 4" (100)-SHEET TITLE:
PATRICK BUILDING **SECTION** SHEET NUMBER: A-P301 8' - 0 1/4" 74' - 11 7/8" UNDERGROUND TRANSFORMER AND NEIGHBORING PROPERTY EASMENT - ELEVATOR PIT, DEPTH TBD BASE ON ELEVATOR MODEL APPROVED SPECIAL USE PERMIT NO. __2025-10005 DEPARTMENT OF PLANNING & ZONING BUILDING SECTION LONGITUDINAL

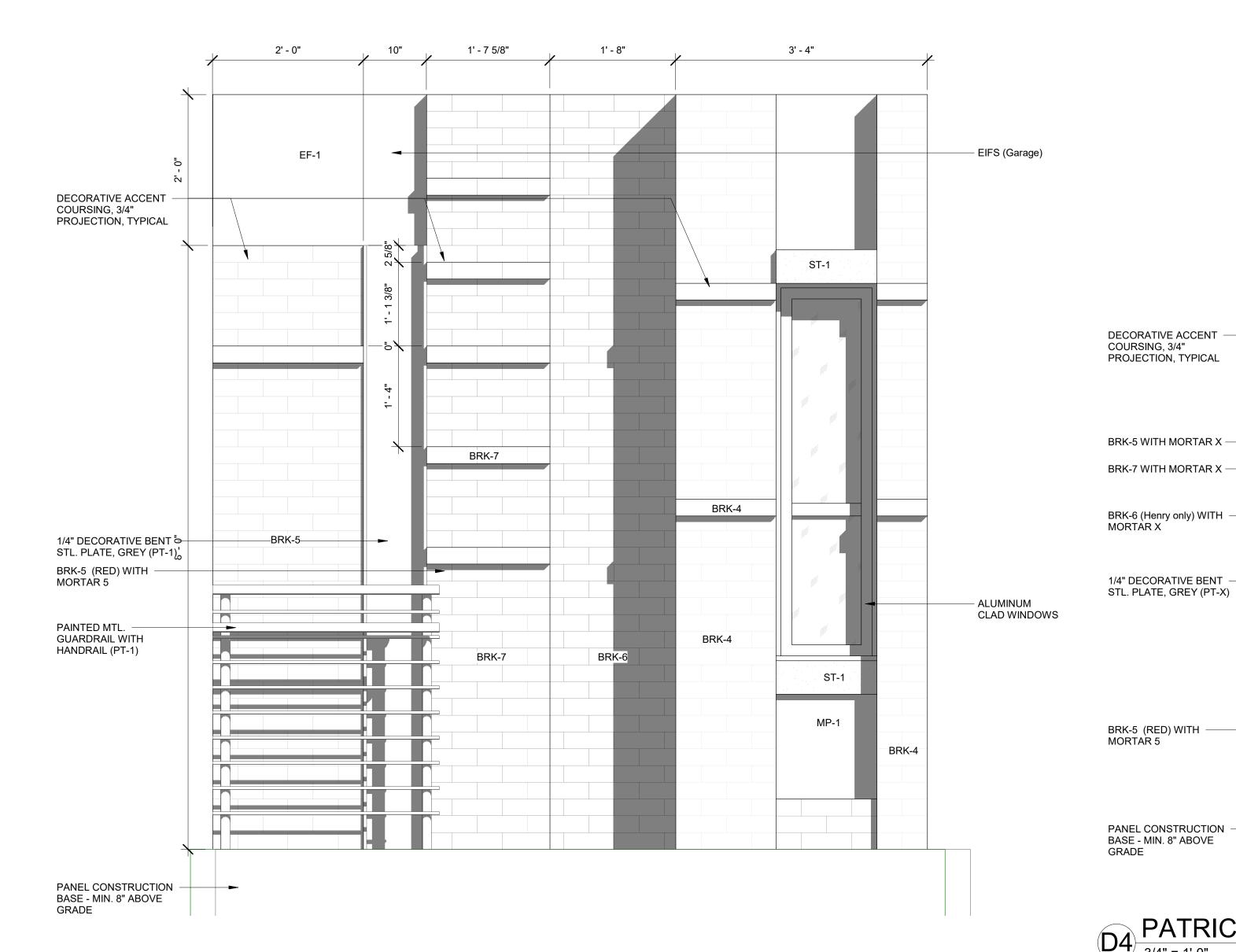
1/4" = 1'-0" PEER REVIEW DEED BOOK NO. DATE

* SEE CIVIL FOR MOCK-UP PANEL LOCATION ON THIS SITE OR THE 912-920 KING STREET SITE. MOCK-UP PANEL TO FACE EAST OR SOUTH ONLY.



A6 MOCK UP PLAN

1" = 1'-0"



PATRICK-HENRY MOCK-UP PANEL

1" = 1'-0"

EXTERIOR FINISH LEGEND (*See full material list on sheet A-630) COMMENTS MARK DESCRIPTION MODEL MFR. AG-1 Glazing System -Trifab 451, black KAWNEER Storefront THROUGH-BODY BRK-1 THUR BRK-2 (NOT USED) BLACK PEARL SM Glen-Gery BRK-3 Black Brick FOR PATTERN SEE **ELEVATIONS** Graphite WR-2070 Workrite BRK-4 Tan Brick Golden Dawn S27-28 Belden Mortar Sand WR-2443 BRK-5 Red Brick DK RED WIRE CUT | Palmetto Canyon WR-2031 BRK-6 | MERLOT IRONSPOT VLR Mortar Redwood WR-2492 Workrite BLK DIMOND VLR Belden BRK-7a = Thin brick BRK-7 DARK GRAY in the same color. Smoke WR-2062 Through-body brick China White #310 Dryvit Lymestone PMR Finish EIFS - Dk Grey Custom: Ben Moore Jet Black 2120-10 Dryvit Lymestone PMR Finish EF-3 EIFS - Tan Dover Sky 104ST Dryvit Sandblast Finish @ Roof PH, not visible from Fiber Cement reveal FCP-1 system, smooth ground level 1" Fully Tempered. Insulated Glass Unit Groud Floor (IGU) with Low-E Coated vision glass. Storefront System (AG-1) GL-2 Fire-rated glass, insulated with Low-E Groud Floor coated vision glass Storefront System GRL-1 Galvanized pnt'd. PNT-1 guard rail at roof terrace GRL-4 Galvanized pnt. exterior rail Infill on Pat/Hen. Fiber Cement | Metal Panel | Empernay Champagne Metallic, Alucobond | 4th floor Henry MP-3 Metal Panel JLR Champagne Metallic Alucobond 4th floor Patrick MP-4 Metal Panel 4th floor King (TBD) City Stnd. Paver Belcrest 760 Belden Standard pattern PNT-1 Exterior Paint Jet Black 2120-10 Trim, fences, railings Ben Moore PNT-2 Exterior Paint Medium Grey, TBD PH structures PNT-3 Exterior Paint Cloud White 967 Ben Moore PNT-4 Exterior Paint On ST-1 Ben Moore ST-1 TruExterior Poly-ash Headers, sills, coping trim

A/E PROJECT NO: 19 - 24 SHEET TITLE: PATRICK-HENRY-GARAGE **MOCK UP PANEL**

SHEET NUMBER:

A-P400

GALENA CAPITAL PARTNERS

1010 Pendleton Street, Alexandria, VA 22314

PATRICK - HENRY

Alexandria, VA

WINSTANLEY

ARCHITECTS & PLANNERS

I certify that these documents were prepared or

0401012577, expiration date 08/31/2022

No. 012577

08/31/2022

09/03/2021 FSP I

01/07/2022 FSP 2

05/25/2022 FSP 3

03/07/2022 BAR CoA

REGISTRATION:

approved by me, and that I am duly licensed architect

under the laws of the state of Virginia, license number

NO. DATE ISSUE DESCRIPTION

Professional Certificaton.

PATRICK-HENRY MOCK-UP PANEL COLOR
3/4" = 1'-0"

DECORATIVE ACCENT

BRK-5 WITH MORTAR X -

BRK-7 WITH MORTAR X -

BRK-6 (Henry only) WITH

1/4" DECORATIVE BENT — STL. PLATE, GREY (PT-X)

BRK-5 (RED) WITH MORTAR 5

MORTÀR X

PEER REVIEW

FCP-1 OR MP-1

- PRECAST CONC HEAD

BRK-2 (GREY) WITH

ALUMINUM CLAD

- BRK-4 (CREAM) WITH

- ST-2 PRECAST CONC SILL

MORTAR 2

WINDOWS

MORTAR 4

DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR DATE CHAIRMAN, PLANNING COMMISSION DATE DATE DATE	APPROVED SPECIAL USE PERMIT NO	2025-10005
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. DIRECTOR DATE CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED		
SITE PLAN NO. DIRECTOR DATE CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED	DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED	DEPARTMENT OF TRANSPORTATION & ENVIRO	NMENTAL SERVICES
CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED	SITE PLAN NO.	
CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED		
DATE RECORDED	DIRECTOR	DATE
DATE RECORDED	CHAIRMAN, PLANNING COMMISSION	DATE
INSTRUMENT NO. DEED BOOK NO. DATI		
INSTRUMENT NO. DEED BOOK NO. DATE		
	INSTRUMENT NO. DEED BOOK I	NO. DATE

Original drawing is 24" x 36". Scale

VIRGINIA STATE GRID NORTH NAD 83/93

	1			2 3			4		
	E ₂			kterior Finish & Materials So		Schedule			
	NOTE	SPEC	Description	Manufacturer	Style	Finish	Size	Notes	
	Fretarian Finish								
		07 2726	AIR AND VAPOR BARRIER (WRB)					GENERAL BUILDING AB OR WRB	
			WATER RESISTIVE BARRIER STORE FRONTGLAZING SYSTEM	KAWNEER	Trifab 451UT	BLACK		AS R'QD BY CODE BACKING SOME MATERIALS 250T Insulpour Thermal Entrances	
F	BKR BRK-1		BIKE RACK EXTERIOR BRICK (King only)	TBD BELDEN		PAINT PNT-1 ALASKA WHITE VELOUR	MODULAR	THROUGH-BODY BRICK	
	BRK-2	04 2000	EXTERIOR BRICK (King only) EXTERIOR BRICK	GLEN-GERY GLEN-GERY	WA11-9003	CHARCOAL BLACK PEARL SMOOTH	MODULAR MODULAR	THROUGH-BODY BRICK THROUGH-BODY BRICK	
	BRK-4	04 2000	EXTERIOR BRICK (Patrick, Henry)	BELDEN	WATT-9003	GOLDEN DAWN	MODULAR	THROUGH-BODY BRICK, ACCENT COPING	
			EXTERIOR BRICK (Patrick, Henry) EXTERIOR BRICK (Henry only)	PALMETTO GLEN-GERY		DARK RED WIRE CUT MERLOT IRONSPOT VELOUR	MODULAR MODULAR	THROUGH-BODY BRICK	
			EXTERIOR BRICK (Patrick, Henry, Garage)	BELDEN		BLACK DIAMOND VELOUR	MODULAR	See Alexandria requirements	
	CJ-1	04 2000	MASONARY CTRL JT(VERTICAL)						
			3/8" HORIZ EXT MASONRY CTRL JT CONCRETE MASONRY UNITS, COMMON						
	CN-1		POURED IN PLACE CONCRETE						
			CONCRETE WATER STOP PRECAST CONCRETE CAP						
			CONCRETE VAPOR BARRIER HOT FLUID APPLIED RUBBERIZED ASPHAULT						
	CONC WP-2	07 5556	SELF ADHESIVE TRANSITION MEMBRANE						
	CONC/WP	03 3000	CONCRETE W/INTEGRAL WATER PROOFING						
		07 9500	DEFLECTION JOINT						
	EF-1		EIFS - WHITE	DRYVIT		CHINA WHITE #310		GARAGE ONLY	
	EF-2 EF-3		EIFS - GREY EIFS - TAN	DRYVIT DRYVIT	SANDBLAST	CUSTOM COLOR JET BLACK DOVER SKY 104ST		GARAGE	
	EJ-1 EJ-#		SEISMIC EXPANSION JOINT EXPANSION JOINT	EMSEAL	COLORSEAL				
				TDUEVTEDIOD FIRES OF TEXT	DNT 0	MEDIUM OREV			
	FCP-1 FEC	10 4400	FIBER CEMENT REVEAL SYSTEM FIRE EXTINGUISHER CABINET(FULLY RECESSED)	TRUEXTERIOR FIBER CEMENT	PNT-2	MEDIUM GREY			
			THROUGH WALL FLASHING SILL FLASHING	HYLOAD					
	FL-3	07 6200	STAINLESS STEEL FLASHING						
			SPRAY FIRE PROOFING FIRESTOPPING						
	GL-1	08 8000	1" FULLY TEMPERED.ISULATED GLASS UNIT(IGU) WITH						
	GL-2		LOW-E COATED VISION GLASS FIRE-RATED GLASS, INSULATED W/ LOW-E COATED						
			VISION GLASS						
		05 5213	GALVANIZED PTD. GUARD RAIL, ROOF TERRACE INTERIOR EGRESS STAIR RAIL	N/A	PNT-1				
			GALV PTD EXTERIOR RAIL GYPSUM WALL BOARD - 5/8" TYP X UNO	USG OR EQUAL	PNT-1				
ט	GWB-2	09 2116	GYPSUM WALL BOARD - 1/2" GYPSUM EXTERIOR SHEATHING	USG OR EQUAL					
	GWB-4	09 2116	GYPSUM LINER PANEL(DENSGLAS, B.O.D)						
			GYPSUM BOARD ABUSE RESISTANT MOLD, MILDEW RESISTANT GYPSUM WALL BOARD						
	GWB-7	07 5423	ROOF COVER BOARD(DENSDECK = BOD)						
	HM-1	08 1113	HOLLOW METAL FRAMED GLAZING SYSTEM						
	INS-1	07 2100	BATT INSULATION						
_			MINERAL FIBER INSULATION SYSTEM BELOW GRADE RIGID INSULATION						
			ROOF RIGID INSULATION (TAPERED)						
	MML	05 1223	MISC. METALS - LOOSE LENTEL FOR MASONRY						
			METAL PANEL METAL PANEL						
			METAL PANEL						
	P-0X		PRIVATE ALLEY PAVER (Downham)						
С	P-03 P-06		CITY STANDARD PAVER HENRY AMENITY PAVER	BELDEN BELDEN		BELCREST 760 VELOUR			
	PED-1		ROOF PEDESTAL SYSTEM (SEE PV-1)	BISON		IPE	24" X 24"	ROOF DECK WOOD FLOOR PANELING	
	PLY-2	06 1000	PLYWOOD - BLOCKING & BACKUP EXT GRADE PLYWOOD						
	PNT-1 PNT-2		EXTERIOR PAINT, DARK GREY EXTERIOR PAINT, MEDIUM GREY	BENJAMIN MOORE BENJAMIN MOORE	REFER TO SPECS REFER TO SPECS	JET BLACK		MECH SCREEN	
	PNT-3		EXTERIOR PAINT, WHITE	BENJAMIN MOORE	5. 200	CLOUD WHITE			
	PNT-4 PV-1	09 6300	CONCRETE LOOK ON ST-1 NON-TRAFFIC RATED CONCRETE PAVERS	BENJAMIN MOORE (NOT USED COULD BE UTLIZED IN					
				PLACE OF PED-1)					
			WHITE TPO ROOF ASSEMBLY 2"(MIN) PREFARICATED ROOF CURB 2/ LINER						
			ROOF ACCESS LADDER						
			ROOF SAFETY TIE-BACK ANCHOR						
			PREFABRICATED SKYLIGHT STAINLESS STEEL PLATE	NOT USED					
	SSR	07 920	SILL SEALER	TDI IEVTEDIOD FIDED OF VEVT		DNT 4			
			EXTERIOR PRECAST-LOOK STRUCTURAL WOOD FRAMING	TRUEXTERIOR FIBER CEMENT		PNT-4			
В	TCH	14 9182	TRASH CHUTE						
	TD	22 1426	TRENCH DRAIN	NOTHEED					
	TR-1		EXTERIOR TRIM	NOT USED					
			WOOD BLOCKING TREATED WOOD BLOCKING						
	WD-4		WOOD SIDING	NOT USED					

Mark	Image	Manufacturer	Model	Description
HEX-I	-	TECH LIGHTING BLADE 24	SEE LP-03	Wall luminaires with two-sided light output
HEX-K		TECH LIGHTING, WINDFALL	SEE LP-03	Wall luminaires with two-sided light output
HEX-P		KUZCO TWILIGHT	SEE LP-03	Wall luminaires with two-sided light output

GALENA CAPITAL PARTNERS

1010 Pendleton Street, Alexandria, VA 22314

PATRICK - HENRY

Alexandria, VA

WINSTANLEY

ARCHITECTS & PLANNERS

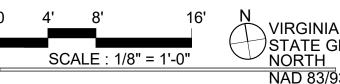
Professional Certificaton. I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



REGISTRATION.

REGISTRATION:					
NO.	DATE	ISSUE DESCRIPTION			
	09/03/2021	FSP I			
	01/07/2022	FSP 2			
	03/07/2022	BAR CoA			
	<u> </u>	1			

A/E PROJECT NO: 19 - 24



SHEET TITLE:
FINISH & MATERIAL
SCHEDULE & GROUPS

SHEET NUMBER:

A-A-P-H630

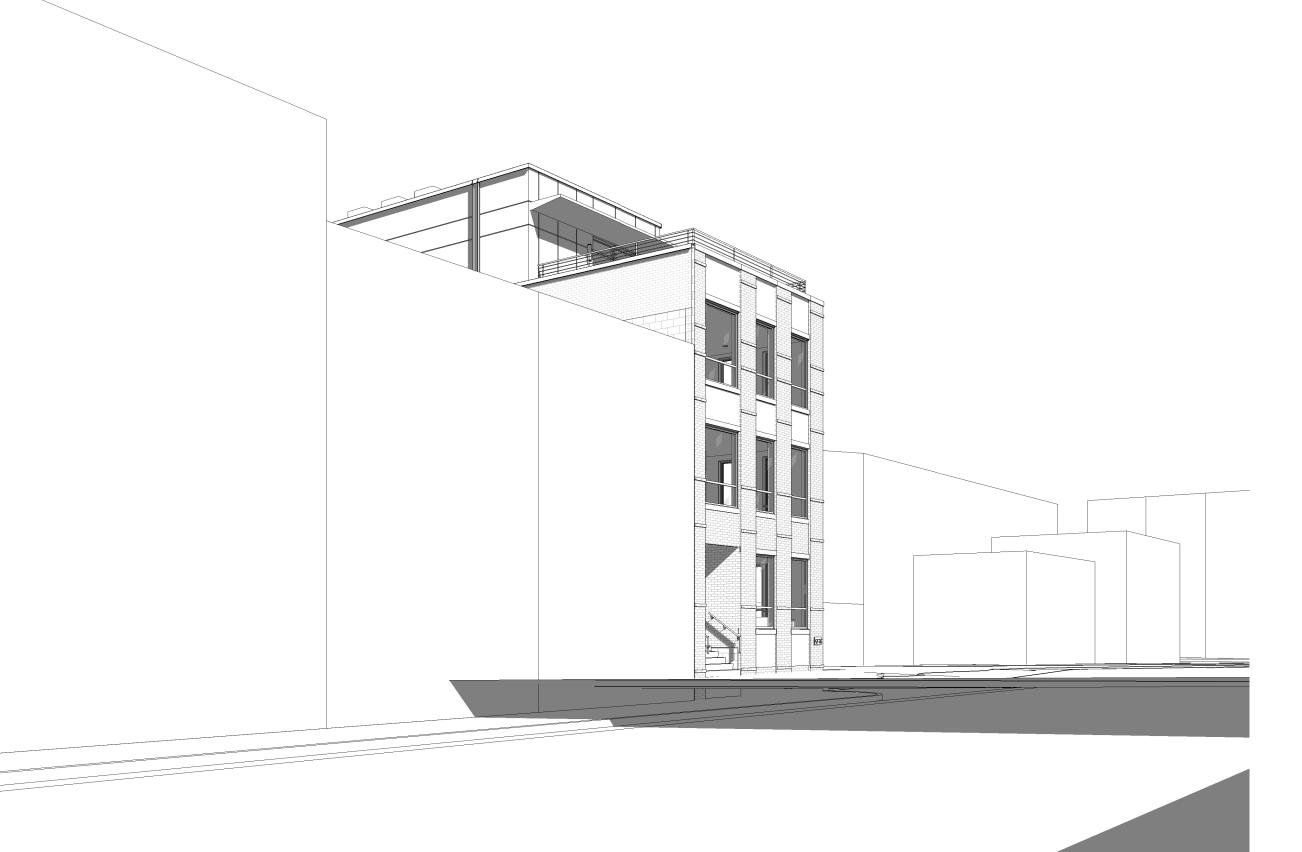


	DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL	DATE L SERVICES
	SITE PLAN NO.	
	DIRECTOR	DATE
ESI III		
-	CHAIRMAN, PLANNING COMMISSION	DATE
	DATE RECORDED	
	INSTRUMENT NO. DEED BOOK NO.	DATE

STREET VIEW - FROM S. PATRICK ST. FACING WEST

STREET VIEW - FROM S. PATRICK ST. FACING WEST

STREET VIEW - FROM NE CORNER OF KING ST. & N. PATRICK ST. FACING SOUTH



STREET VIEW - FROM CORNER OF S. PATRICK ST & PRINCE ST
FACING NORTH

ESI
PEER REVIEW

GALENA CAPITAL PARTNERS
1010 Pendleton Street, Alexandria, VA 22314

Alexandria, VA

PATRICK - HENRY

WINSTANLEY

ARCHITECTS & PLANNERS

Professional Certificaton.
I certify that these documents were prepared or approved by me, and that I am duly licensed architect under the laws of the state of Virginia, license number 0401012577, expiration date 08/31/2022



REGISTRATION:

	ISTRATION:	
NO.	DATE	ISSUE DESCRIPTION
	12/20/2019	DSUP CONCEPT II
	12/20/2019	BAR CONCEPT I
	02/28/2020	PRELIMINARY PLAN
	03/06/2020	BAR CONCEPT II
	05/01/2020	VERIFICATION OF COMPLETENESS
	06/12/2020	PRELIMINARY PLAN
	09/03/2021	FSP I
	01/07/2022	FSP 2
	03/07/2022	BAR CoA
	05/25/2022	FSP 3
	1	

A/E PROJECT NO: 19 - 24

SHEET TITLE:
MASSING STUDIES PATRICK

SHEET NUMBER:

A- 801

APPROVED SPECIAL USE PERMIT NO.	2025-10005
DEPARTMENT OF PLANNING & ZONING	
DIRECTOR DEPARTMENT OF TRANSPORTATION & ENVIRO	DATE DNMENTAL SERVICES
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
DATE RECORDED	
INSTRUMENT NO. DEED BOOK	NO. DATE



STREET VIEW - FROM S. HENRY ST. FACING EAST

STREET VIEW - FROM DOWNHAM ALLEY FACING EAST



STREET VIEW - FROM NW CORNER OF KING ST. & N. HENRY STREET 1 FACING EAST



STREET VIEW - FROM SW CORNER OF KING ST. & S. HENRY ST.

A5 FACING EAST

PEER REVIEW

GALENA CAPITAL PARTNERS
1010 Pendleton Street, Alexandria, VA 22314

PATRICK - HENRY

Alexandria, VA

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REGISTRATION:

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SP I SP 2 AR CoA
P 2 R CoA
AR CoA
SP 3

A/E PROJECT NO: 19 - 24

SHEET TITLE:
MASSING STUDIES -**HENRY**

SHEET NUMBER:

A- 802

APPROVED SPECIAL USE PERMIT NO.	2025-10005
DEPARTMENT OF PLANNING & ZONING	
DIRFCTOR	DATE
DEPARTMENT OF TRANSPORTATION & ENVIR	RONMENTAL SERVICES
DIRECTOR	DATE
CHAIRMAN, PLANNING COMMISSION	DATE
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INSTRUMENT NO. DEED BOOK	NO. DATE
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