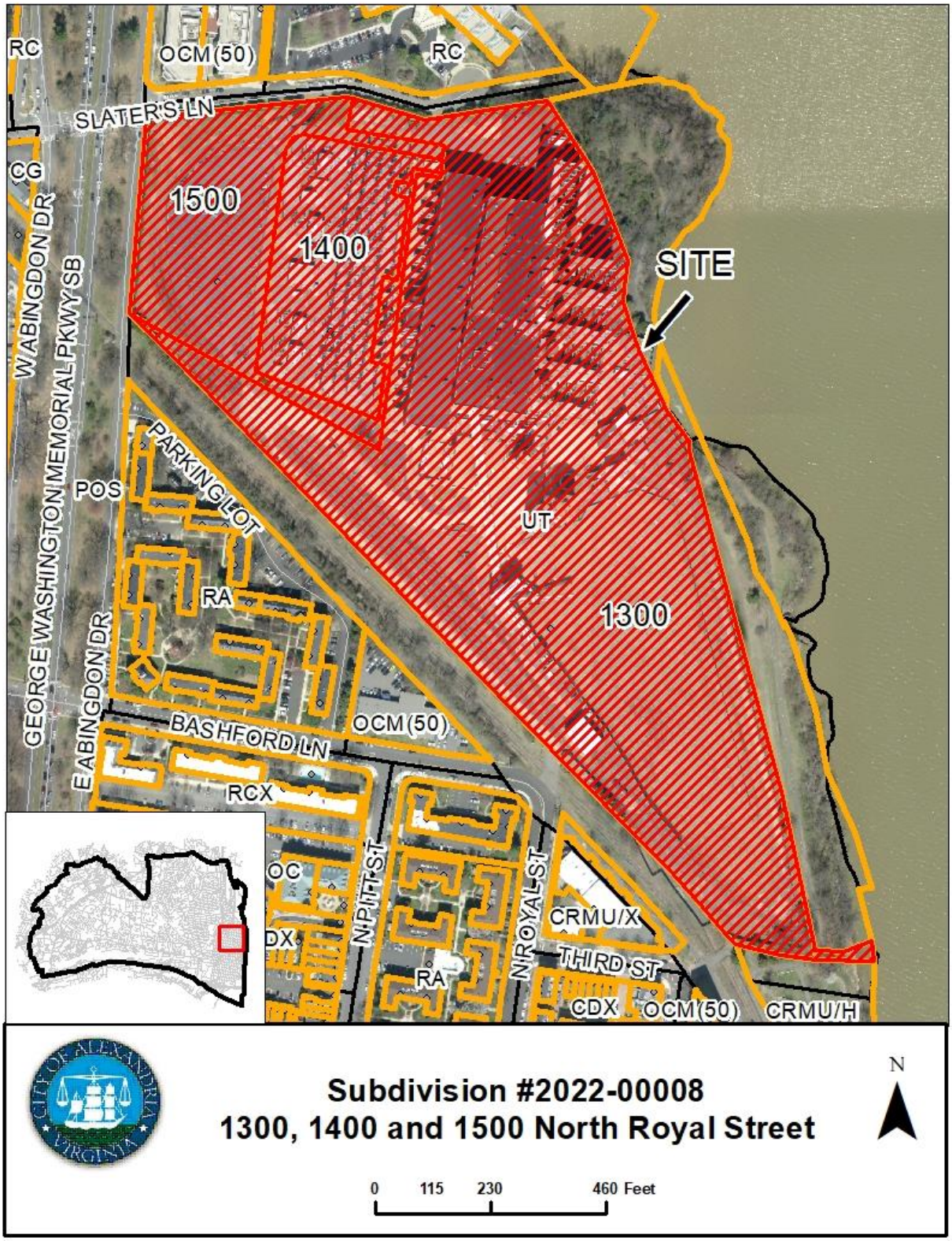
Docket Item #5
Subdivision #2022-00008
PRGS-Pepco Subdivision
1300, 1400 and 1500 North Royal Street

Application	**General Data**	
Request: Public Hearing and consideration of a request for a Subdivision to re-subdivide two existing lots for consolidation into a third lot; zoned: UT/Utilities and Transportation and CDD#30/Coordinated Development District #30.	**Planning Commission Hearing:**	March 30, 2023
	Approved Plat must be recorded by:	September 30, 2024
Address: 1300 North Royal Street (HRP Potomac, LLC) 1400 and 1500 North Royal Street (Potomac Electric Power Company)	**Zones:**	CDD #30/Coordinated Development District #30 and UT/Utilities and Transportation
Applicants: HRP Potomac, LLC, and Potomac Electric Power Company, represented by Mary Catherine Gibbs, attorney	**Small Area Plan:**	Old Town North

Staff Recommendation: APPROVAL subject to compliance with all applicable codes and ordinances.	
Staff Reviewers:	Michael Swidrak, AICP, michael.swidrak@alexandriava.gov Catherine Miliaras, AICP, catherine.miliaras@alexandriava.gov Robert M. Kerns, AICP, robert.kerns@alexandriava.gov


RC
OCM(50)
RC
SLATER'S LN
CG
1500
1400
SITE
W ABINGDON DR
GEORGE WASHINGTON MEMORIAL PKWY SB
PARKING LOT
POS
UT
RA
1300
E ABINGDON DR
BASHFORD LN
OCM(50)
RCX
OC
N PITT ST
N ROYAL ST
CRMU/X
DX
THIRD ST
RA
CDX
OCM(50)
CRMU/H
Subdivision #2022-00008
1300, 1400 and 1500 North Royal Street
N
0 115 230 460 Feet

I. DISCUSSION

The applicants, HRP Potomac, LLC (HRP), and Potomac Electric Power Company (Pepco), request approval for a subdivision of portions of Pepco's property 1400 and 1500 North Royal Street. HRP intends to purchase and consolidate these adjacent portions of property, which are included in CDD#30 and incorporated into the approved Coordinated Development District (CDD) conceptual design plan. The approval by Planning Commission of this subdivision plat is required by Condition #10 of the CDD#2021-00004 conceptual design plan prior to the approval of the Potomac River Generating Station (PRGS) infrastructure development site plan (DSP), the next step in the redevelopment of the PRGS site.

SITE DESCRIPTION AND BACKGROUND

The site includes three parcels. Lot 500 (1300 North Royal Street), is approximately 18.8 acres and is owned by HRP. This parcel is the location of the future redevelopment of the Potomac River Generating Station redevelopment and was rezoned to CDD#30 in July 2022. Lot 500 is adjacent to Slaters Lane and Marina Towers to the north, Federal property to the east, including the Mount Vernon Trail and Potomac River, and the Norfolk Southern Railway right-of-way (and future Old Town North Linear Park), The Muse and Harbor Terrace Condominiums and Foreign Car Service are located to the south, and Lot 501 and Lot 502 to the west.

Lot 501 (1400 North Royal Street) and Lot 502 (1500 North Royal Street) are owned by Pepco. Lot 501 is approximately 2.8 acres and contains a Pepco substation and a few small buildings and structures. Lot 501 has no street frontage and is bordered by Lot 500 to the east and Lot 502 on the remainder of its boundaries. Lot 502 is approximately 3.8 acres and includes the parking lot for the substation and former power plant, access roads for the site and rail infrastructure that connects to the inactive Norfolk Southern rail line via Lot 500. Lot 502 borders lots 500 and 501 to the south and east, Slaters Lane, Marina Towers and the Towngate development to the north, and the George Washington Memorial Parkway/East Abingdon Drive to the west.

The two Pepco parcels and the HRP parcel were consolidated as one parcel until the approval of SUB#2019-00022 by Planning Commission in March 2020. The site served as the location for the now-decommissioned PRGS and an active substation operated by Pepco. The approved subdivision created three parcels that separated the PRGS and substation site by use and ownership as outlined above.

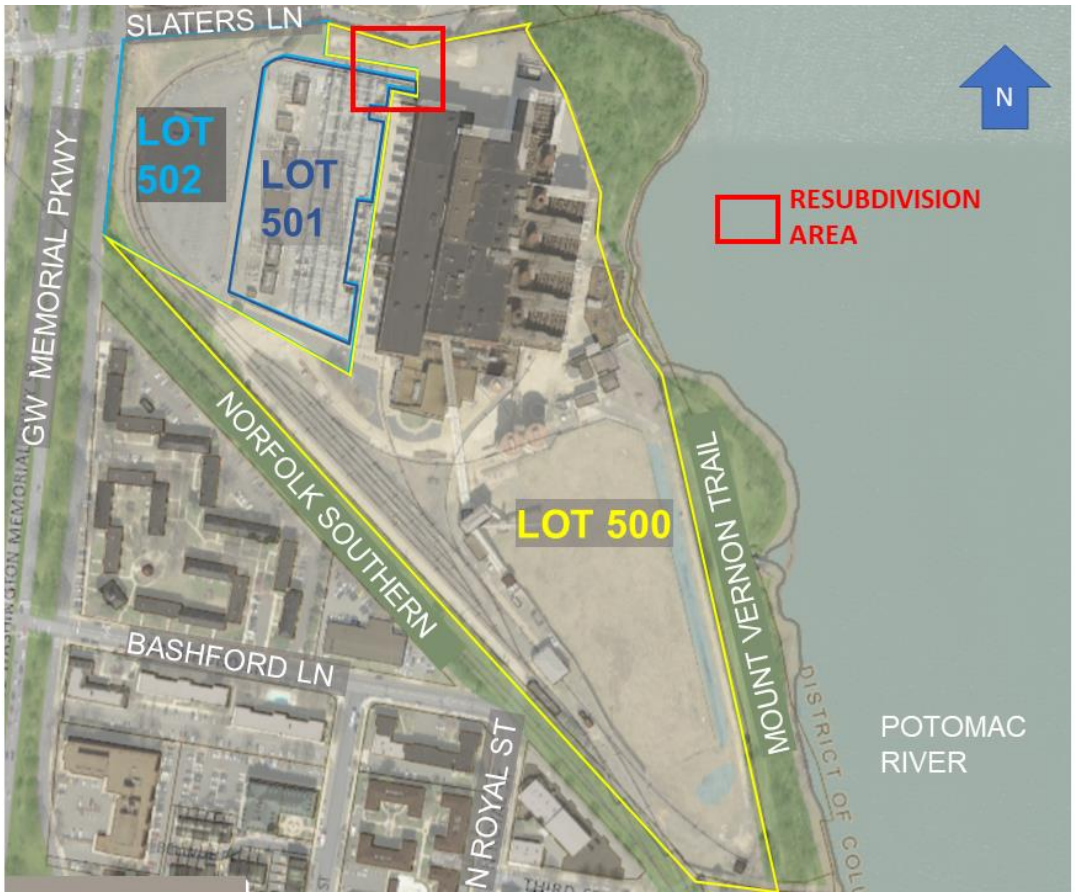


Figure 1: Lot 500 (HRP property) and lots 501 and 502 (Pepco property).

PROPOSAL

The applicants, HRP and Pepco, are proposing a resubdivision of lots 501 and 502 (Pepco) that will add a property line through the northeast corner of both parcels. The approximately 2,900 square feet of parcel area east of the new property line will be consolidated into Lot 500 (HRP) as part of the final subdivision plat.

This resubdivision straightens the western property line of Lot 500 and consolidates all of the land area included in the CDD conceptual design plan CDD#2021-00004 within HRP's property boundaries for the development of CDD#30. HRP is seeking approval of this subdivision request prior to Planning Commission approval of the PRGS infrastructure DSP (DSP#2023-00001). The 2,904 square-foot portion of lots 501 and 502 to be conveyed to Lot 500 are needed by HRP to finalize the land assemblage for the proposed "Pepco Liner" open space running along the western edge of the PRGS site and Road A, the future public street running along the southern and western portions of the site (see Figure 3 below). The land conveyance and consolidation will occur pending subdivision approval.

Table 1: Lot Areas Before and After Resubdivision

	Before Resubdivision	After Resubdivision and Conveyance/Consolidation	Change in Lot Area
Lot 500 (1300 N. Royal Street)	818,944 SF	821,848 SF	**2,904 SF increase**
	18.80 acres	*18.87 acres*	
Lot 501 (1400 N. Royal Street)	121,285 SF	120,095 SF	**1,190 SF decrease**
	2.78 acres	*2.76 acres*	
Lot 502 (1500 N. Royal Street)	164,734 SF	163,020 SF	**1,714 SF decrease**
	3.78 acres	*3.74 acres*	

Figure 2: The resubdivision proposal showing the portions of lots 501 and 502 which will be subdivided and then consolidated with HRP property pending Planning Commission approval of the subdivision application.

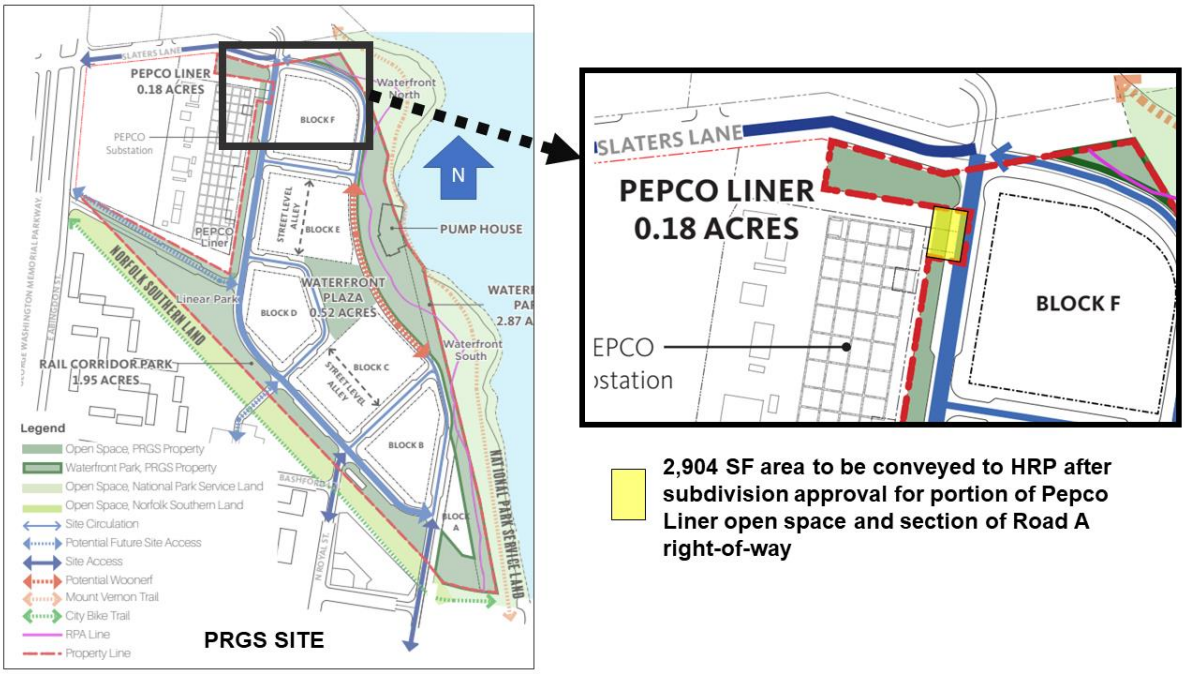


Figure 3: Portion of lots 501 and 502 to be subdivided to be consolidated into HRP property are included in HRP's plan for the PRGS site as sections of the Pepco Liner open space and Road A right-of-way.

ZONING/MASTER PLAN

The three lots are zoned both UT/Utilities and Transportation and CDD#30/Coordinated Development District #30. Neither the UT nor CDD#30 zones specify minimum lot (size, width or frontage) or setback requirements. The CDD#30 zone has minimum open space requirements for each development block and the future PRGS Waterfront and Rail Corridor parks. All three lots were zoned UT until City Council approval of CDD#30 and the CDD#2021-00004 conceptual design plan in July 2022. Lot 500 and the portions of Lot 501 and Lot 502 to be subdivided and conveyed to HRP were rezoned to CDD#30 with REZ#2022-00003, which was approved jointly with the conceptual design plan and CDD#30. Lots 501 and 502 are currently split zoned as CDD#30 and UT based on the approval of REZ#2022-00003.

The lots are located within the Old Town North Small Area Plan (OTNSAP) boundary. The OTNSAP identifies the subject property as part of "Subarea 5 – Mixed-Use/Innovation District." The OTNSAP envisions mixed-use development for the subject property with expanded waterfront public open space, in addition to the extension of the Old Town street grid to create urban-scale City blocks. The OTNSAP also recommends a CDD for properties in the subarea, consistent with the zoning for Lot 500 and the portions of lots 501 and 502 to be subdivided.

II. STAFF ANALYSIS

SUBDIVISION STANDARDS

Zoning Ordinance sections 11-1706, 11-1709 and 11-1710 establish standards for subdivision review and approval. The proposed subdivision would meet all the applicable technical criteria contained in these sections. Although the portions of lots 501 and 502 that will be subdivided do not currently have street frontage, these portions will be conveyed to and consolidated with HRP property, which plans to incorporate these portions into Lot 500 (which has street frontage), as indicated by the preliminary subdivision plat. Additionally, the subdivision facilitates consolidation of an approved and constructed development site that was developed consistent with the Master Plan (per Section 11-1710 [C] of the Zoning Ordinance).

CONCLUSION

Staff recommends **approval** of the requested subdivision case subject to compliance with all applicable codes and ordinances and the following conditions.

STAFF: Robert M. Kerns, AICP, Chief of Development, Planning and Zoning
Michael Swidrak, AICP, Urban Planner, Planning and Zoning

III. STAFF RECOMMENDATION AND CONDITIONS

Staff recommends **APPROVAL** of the subdivision subject to compliance with all applicable codes and ordinances and the following conditions:

1. The final subdivision plat shall be recorded prior to the release of the final site plan for the PRGS Infrastructure Development Site Plan (DSP#2023-00001). (P&Z)

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Planning and Zoning

C-1 The final subdivision plat(s) shall comply with the requirements of Section 11-1700 of the Zoning Ordinance. (P&Z)

Transportation & Environmental Services

F -1 D-ROW, Survey, Transportation Planning & Traffic Engineering has no further comments.

Staff Note: This plat will expire 18 months from the date of approval (September 30, 2024) unless recorded sooner.

APPLICATION

SUBDIVISION OF PROPERTY

SUB #_____

PROPERTY LOCATION: 1300, 1400 and 1500 N. Royal St., Alexandria, VA 22314

TAX MAP REFERENCE: 045.01-01-05, 045.01-01-06, 045.01-01-07 **ZONE:** CDD-30 and UT

APPLICANT:

Name: HRP Potomac, LLC and POTOMAC ELECTRIC POWER COMPANY

Address: See Attachment A - Applicants and Property Owners List with Addresses

PROPERTY OWNER:

Name: HRP Potomac, LLC and POTOMAC ELECTRIC POWER COMPANY

Address: See Attachment A - Applicants and Property Owners List with Addresses

SUBDIVISION DESCRIPTION

Request to resubdivide recently created parcels to straighten a property line.

☑ **THE UNDERSIGNED**, hereby applies for Subdivision in accordance with the provisions of Section 11-1700 of the Zoning Ordinance of the City of Alexandria, Virginia.

☑ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

☑ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☑ **THE UNDERSIGNED**,also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his/her knowledge and belief.

Mary Catherine Gibbs, Wire Gill, LLP
Print Name of Applicant or Agent

Signature

700 N. Fairfax St., Suite 600
Mailing/Street Address

703-836-5757 703-548-5443
Telephone # Fax #

Alexandria, VA 22314
City and State Zip Code

mcgibbs@wiregill.com
Email address

12/12/22
Date

ALL APPLICANTS MUST COMPLETE THIS FORM.

The applicant is: ***(check one)***

☑ the Owner ☐ Contract Purchaser ☐ Lessee or ☐ Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than three percent.

See Attachment A.

If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

☑ **Yes.** Provide proof of current City business license.

☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See Attachment A		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See Attachment A		
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, click here.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. See Attachment A		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12/12/22 Mary Catherine Gibbs

Date Printed Name Signature

Attachment A
Applicant and Property Owners List and
Financial Disclosure Information

List of Applicants/Property Owners:

1300 N. Royal St.: HRP Potomac, LLC
5 Revere Drive, Suite 206
Northbrook, IL 60062
Tax Map No. 045.01-01-05

Owners of 3% or more of HRP Potomac, LLC:
HRP Potomac Investment, LLC – 100%
5 Revere Drive, Suite 206
Northbrook, IL 60062

1400 N. Royal St.: Potomac Electric Power Company (PEPCO),
a wholly-owned subsidiary of Pepco Holding LLC
a Delaware limited liability company
701 Ninth St., NW, 10th Floor
Washington, DC 20068
Tax Map No. 045.01-01-06

Owners of 3% or more of Potomac Electric Power Company (PEPCO):
Pepco Holding LLC - 100%
a Delaware limited liability company
701 Ninth St., NW, 10th Floor
Washington, DC 20068

1500 N. Royal St.: Potomac Electric Power Company,
a wholly-owned subsidiary of Pepco Holding LLC,
a Delaware limited liability company
701 Ninth St., NW, 10th Floor
Washington, DC 20068
Tax Map No. 045.01-01-07

Owners of 3% or more of Potomac Electric Power Company (PEPCO):
Pepco Holding LLC - 100%
a Delaware limited liability company
701 Ninth St., NW, 10th Floor
Washington, DC 20068

Business or Financial Relationships:

Name of Person or Entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Members of the Approving Body (ie., City Council, Planning Commission, etc.)
HRP Potomac, LLC	None	Planning Commission
HRP Potomac Investment, LLC	None	Planning Commission
Potomac Electric Power Company (PEPCO)	None	Planning Commission
Pepco Holdings LLC	None	Planning Commission

WAIVER OF RIGHT TO AUTOMATIC APPROVAL

SUBMITTED TO
THE DEPARTMENT OF PLANNING & ZONING
CITY OF ALEXANDRIA, VIRGINIA

PROJECT NAME: Resubdivision of Parcels 1, 2 & 3 of the land assemblage of the Potomac River Generating Station

PROJECT ADDRESS: 1300, 1400 & 1500 N. Royal St., Alexandria, VA 22314

DESCRIPTION OF REQUEST:

Request to resubdivide recently created parcels to straighten a property line.

THE UNDERSIGNED, hereby waives the right to the 45 day automatic approval provision of Section 11-1708 (B)(2) of the Zoning Ordinance of the City of Alexandria, Virginia, for the application stated above. Waiver is only effective as to the date of the Planning Commission hearing on March 7, 2023.

Date: 12/12/22

☐ Applicant

☑ Agent

Signature: Mary Catherine Gibbs

Printed Name: Mary Catherine Gibbs

pepco[SM]
AN EXELON COMPANY

September 30, 2022

Karl Moritz, Director of Planning & Zoning
City of Alexandria
City Hall, Room 2100
Alexandria, VA 22314

Re: Authorization to File Subdivision Application to straighten Property Line Between the Potomac Electric Power Company ("PEPCO") property at 1400 and 1500 N. Royal Street and HRP Potomac, LLC ("HRP") property at 1300 N. Royal Street

Dear Mr. Moritz:

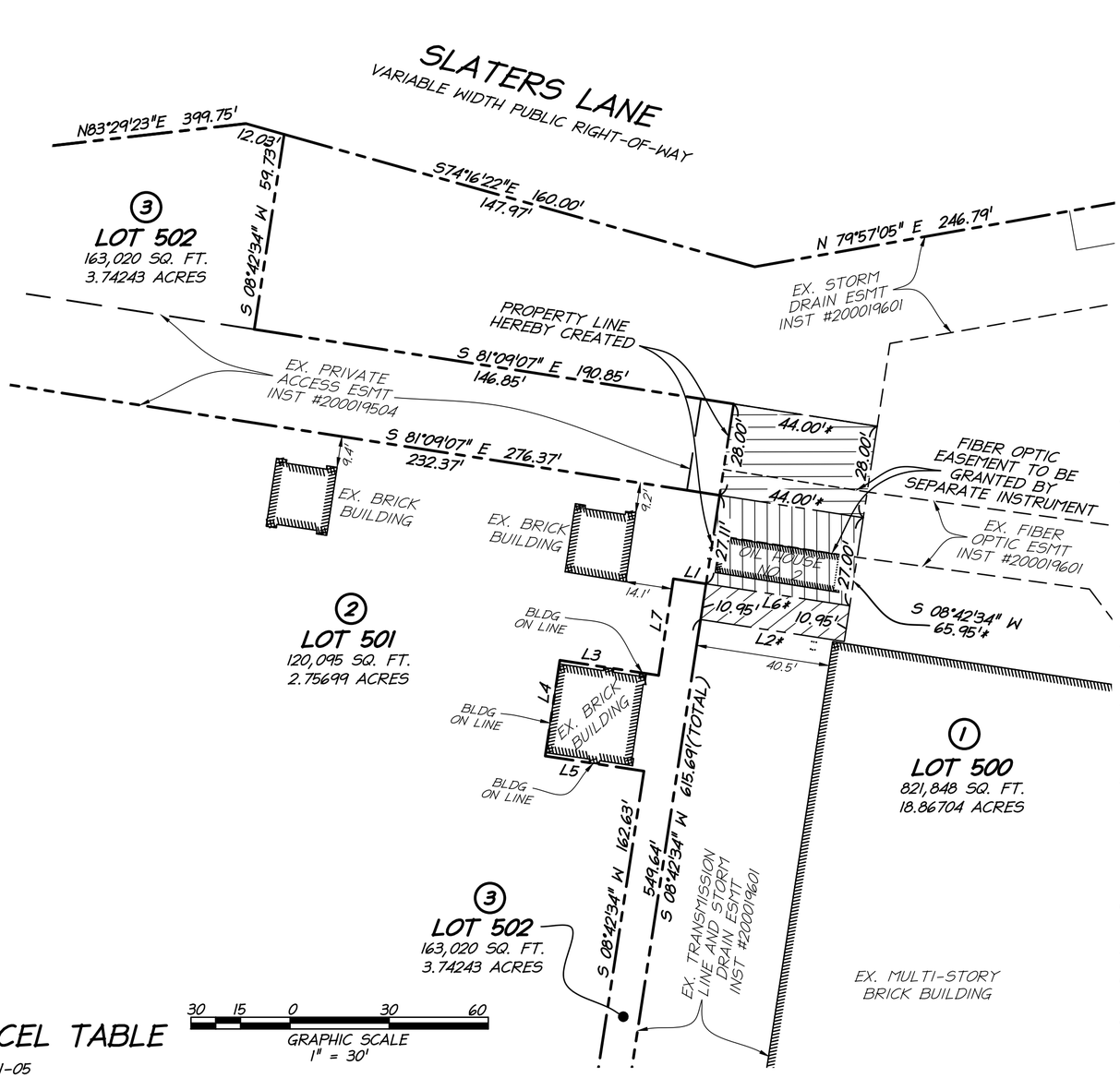
This letter is written to confirm that PEPCO hereby authorizes HRP to file the attached subdivision application, along with the accompanying preliminary subdivision plat to adjust the property line between PEPCO's property located at 1400 and 1500 N. Royal Street (Lots 2 & 3 of Land Assemblage at Potomac River Generating Station) and the land owned by HRP Potomac, LLC at 1300 N. Royal Street (Lot 1 of Land Assemblage of Potomac River Generating Station).

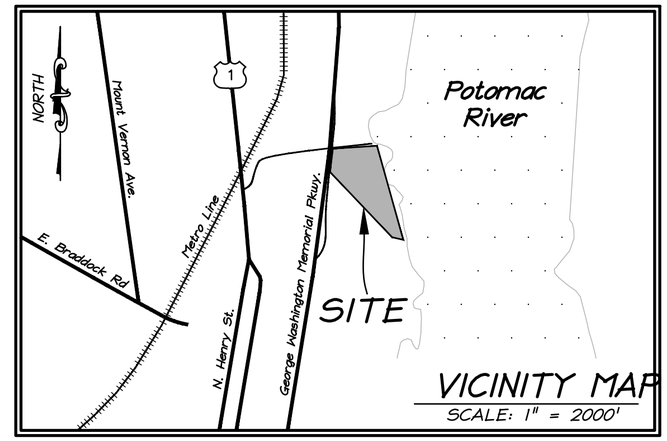
Sincerely,

Tammy D. Sanford

Tammy D. Sanford
Director, Project Management

Enclosures





GENERAL NOTES

1. THE PROPERTIES SHOWN HEREON ARE DESIGNATED AS ALEXANDRIA ASSESSMENT MAP NUMBERS 045.01-01-05, 045.01-01-06, AND 045.01-01-07 AND ARE ALL ZONED UT AND CDD 30.
2. CURRENT OWNERS AND CO-APPLICANTS:
   HRP POTOMAC, LLC - INSTRUMENT #200019599
   5 REVERE DRIVE, SUITE 206
   NORTHBROOK, IL 60062

   POTOMAC ELECTRIC POWER COMPANY
   INSTRUMENT #200023739, D.B. 188 PG. 484, D.B. 191 PG. 259, D.B. 191 PG. 334, D.B. 212 PG. 159, D.B. 227 PG. 184, D.B. 263 PG. 520, D.B. 329 PG. 158, D.B. 1044 PG. 813, ORDINANCE NO. 297 AND ORDINANCE NO. 672 701 9TH STREET, NW WASHINGTON, DC 20068
3. DURING THE PROCESS OF OUR PHYSICAL SURVEY NO INDICATIONS OF A CEMETERY WAS FOUND. NO FURTHER INSPECTION OF THIS PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.
4. THE PROPERTIES SHOWN HEREON ARE LOCATED ON THE F.E.M.A. FLOOD INSURANCE RATE MAP (FIRM), NO. 5155190033E, WITH AN EFFECTIVE DATE OF JUNE 16, 2011, DESIGNATED AS ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
5. THIS PLAT IS A SUBDIVISION OF EXISTING LOTS 1, 2, AND 3, SUBDIVISION OF THE PROPERTY OF POTOMAC ELECTRIC POWER COMPANY, AS RECORDED IN INSTRUMENT #200019504 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA, AND VACATES THOSE PORTIONS OF THE SHARED PROPERTY LINES IDENTIFIED ON THE PLAT AS "EXISTING PROPERTY LINE HEREBY VACATED", AND CREATES THE PROPERTY LINE THAT IS DESCRIBED ON THE PLAT AS "PROPERTY LINE HEREBY CREATED".
6. NO TITLE REPORT FURNISHED. ALL UNDERLYING EASEMENTS AND ENCUMBRANCES MAY NOT BE SHOWN.
7. * DENOTES EXISTING LOT LINE HEREBY VACATED.
8. TO THE BEST OF MY KNOWLEDGE, THERE ARE NO UNDERGROUND STORAGE TANKS WITHIN THE LIMITS OF THE AREA BEING CONVEYED.
9. THE PROPERTY SHALL RETAIN AN UNDISTURBED AND VEGETATED 100-FOOT-WIDE BUFFER AREA, SUBJECT TO APPROVAL OF THE DSUP FOR THE WATERFRONT PARK.
10. PERMITTED DEVELOPMENT IN THE RESOURCE PROTECTION AREA IS LIMITED TO WATER DEPENDENT FACILITIES OR REDEVELOPMENT, INCLUDING THE 100-FOOT-WIDE VEGETATED BUFFER AREA, SUBJECT TO APPROVAL OF THE DSUP FOR THE WATERFRONT PARK.

EXISTING PARCEL TABLE

(1) PARCEL ID #045.01-01-05
#1300 N ROYAL STREET
LOT 1, SUBDIVISION OF THE PROPERTY OF POTOMAC ELECTRIC POWER COMPANY
INST #200019504
HRP POTOMAC, LLC
INST #200019599
ZONING: CDD 30

(2) PARCEL ID #045.01-01-06
#1400 N ROYAL STREET
LOT 2, SUBDIVISION OF THE PROPERTY OF POTOMAC ELECTRIC POWER COMPANY
INST #200019504
POTOMAC ELECTRIC POWER COMPANY
D.B. 188 PG. 484, D.B. 191 PG. 259, D.B. 191 PG. 334, D.B. 212 PG. 159, D.B. 227 PG. 184, D.B. 263 PG. 520, D.B. 329 PG. 158, D.B. 1044 PG. 813, ORDINANCE NO. 297 AND ORDINANCE NO. 672
ZONING: UT

(3) PARCEL ID #045.01-01-07
#1500 N ROYAL STREET
LOT 3, SUBDIVISION OF THE PROPERTY OF POTOMAC ELECTRIC POWER COMPANY
INST #200019504
POTOMAC ELECTRIC POWER COMPANY
INST #200023739
ZONING: UT

CONVEYANCE LEGEND

1,232 SQ. FT. OR 0.02828 ACRES CONVEYED FROM LOT 3 TO LOT 1

482 SQ. FT. OR 0.01106 ACRES CONVEYED FROM LOT 3 TO LOT 1

1,190 SQ. FT. OR 0.02733 ACRES CONVEYED FROM LOT 2 TO LOT 1

LINE DATA

LINE	BEARING	DISTANCE
L1	N 81°17'26" W	10.00'
L2	N 81°17'26" W	44.00'
L3	N 81°17'26" W	30.23'
L4	S 08°42'34" W	29.33'
L5	S 81°17'26" E	30.23'
L6	N 81°17'26" W	44.00'
L7	S 08°42'34" W	29.59'

AREA TABULATION

LOT 1 (BEFORE SUBDIVISION)	818,944 SQ. FT. OR 18.80037 ACRES
LOT 2 (BEFORE SUBDIVISION)	121,285 SQ. FT. OR 2.78432 ACRES
LOT 3 (BEFORE SUBDIVISION)	164,734 SQ. FT. OR 3.78177 ACRES
TOTAL (BEFORE SUBDIVISION)	1,104,963 SQ. FT. OR 25.36646 ACRES
LOT 500 (AFTER SUBDIVISION)	821,848 SQ. FT. OR 18.86704 ACRES
LOT 501 (AFTER SUBDIVISION)	120,095 SQ. FT. OR 2.75699 ACRES
LOT 502 (AFTER SUBDIVISION)	163,020 SQ. FT. OR 3.74243 ACRES
TOTAL (AFTER SUBDIVISION)	1,104,963 SQ. FT. OR 25.36646 ACRES

SURVEYOR'S CERTIFICATE

I WILLIAM E. BRADFORD II, A DULY LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY PLATTED THE PROPERTY SHOWN HEREON AND THIS PLAT IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

COMMONWEALTH OF VIRGINIA
WILLIAM E. BRADFORD II
Lic. No. 003514
1/13/23
LAND SURVEYOR

APPROVED DATE _____
CHAIRMAN OF CITY PLANNING COMMISSION

APPROVED DATE _____
DIRECTOR OF PLANNING AND ZONING

APPROVED DATE _____
DIRECTOR OF TRANSPORTATION AND ENVIRONMENTAL SERVICES

Rev#	DATE	REVISION
1	07/25/2022	ATTORNEY COMMENTS
2	01/13/2023	CITY COMMENTS

christopher consultants
9301 innovation drive (suite 150) · manassas, va 20110
phone 703.393.9887 · fax 703.273.6820

PRELIMINARY PLAT
LOT 500, LOT 501, AND LOT 502, LAND ASSEMBLAGE AT POTOMAC RIVER GENERATING STATION
BEING A SUBDIVISION OF
LOT 1, LOT 2, AND LOT 3, SUBDIVISION OF THE PROPERTY OF POTOMAC ELECTRIC POWER COMPANY INST #200019504
CITY OF ALEXANDRIA, VIRGINIA

PROJ: 17005.002.00
SCALE: 1 = 30'
DATE: 2/8/22
DRAWN: MB
CHECKED: WEB
SHEET NO. 1 OF 2

P:\PW\Projects\17005\00200\SURVEYS\Plats\Record\Preliminary Plat\111500\111500.dwg, 1/13/2023 3:58:41 PM, williambradford, 1:1, christopher consultants, ltd

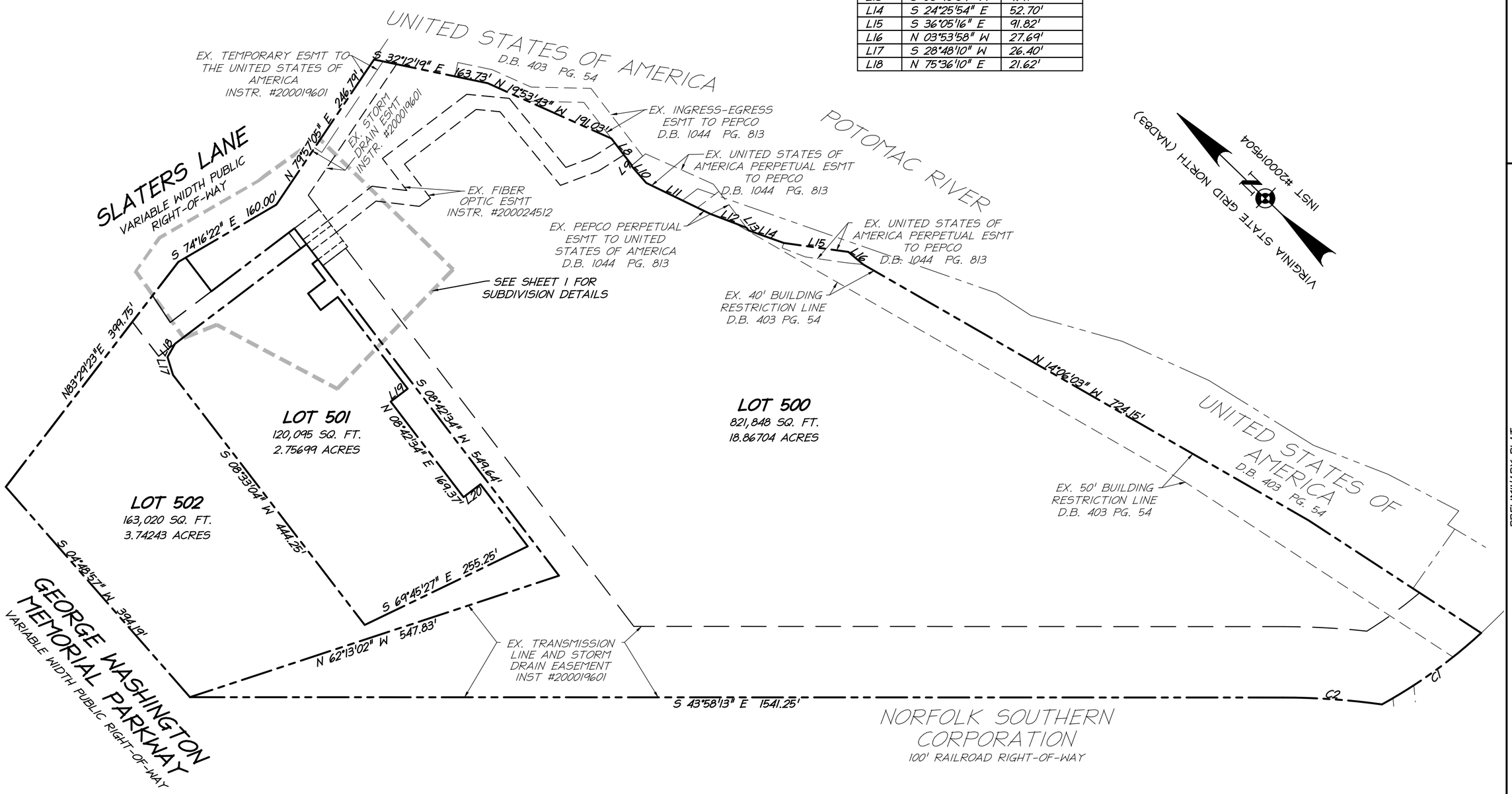
111500

CURVE DATA

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	723.28'	172.83'	13°41'28"	86.83'	S 79°45'13" E	172.42'
C2	1005.37'	139.73'	7°57'48"	69.98'	S 39°59'19" E	139.62'

LINE DATA

LINE	BEARING	DISTANCE
L8	S 08°41'55" W	47.57'
L9	S 84°16'30" E	1.02'
L10	N 04°54'52" E	32.08'
L11	N 18°11'45" W	80.09'
L12	N 23°08'10" W	54.76'
L13	S 08°45'54" W	4.97'
L14	S 24°25'54" E	52.70'
L15	S 36°05'16" E	91.82'
L16	N 03°53'58" W	27.69'
L17	S 28°48'10" W	26.40'
L18	N 75°36'10" E	21.62'



christopher consultants
9301 innovation drive (suite 150) · manassas, va 20110
phone 703.393.9887 · fax 703.273.6820

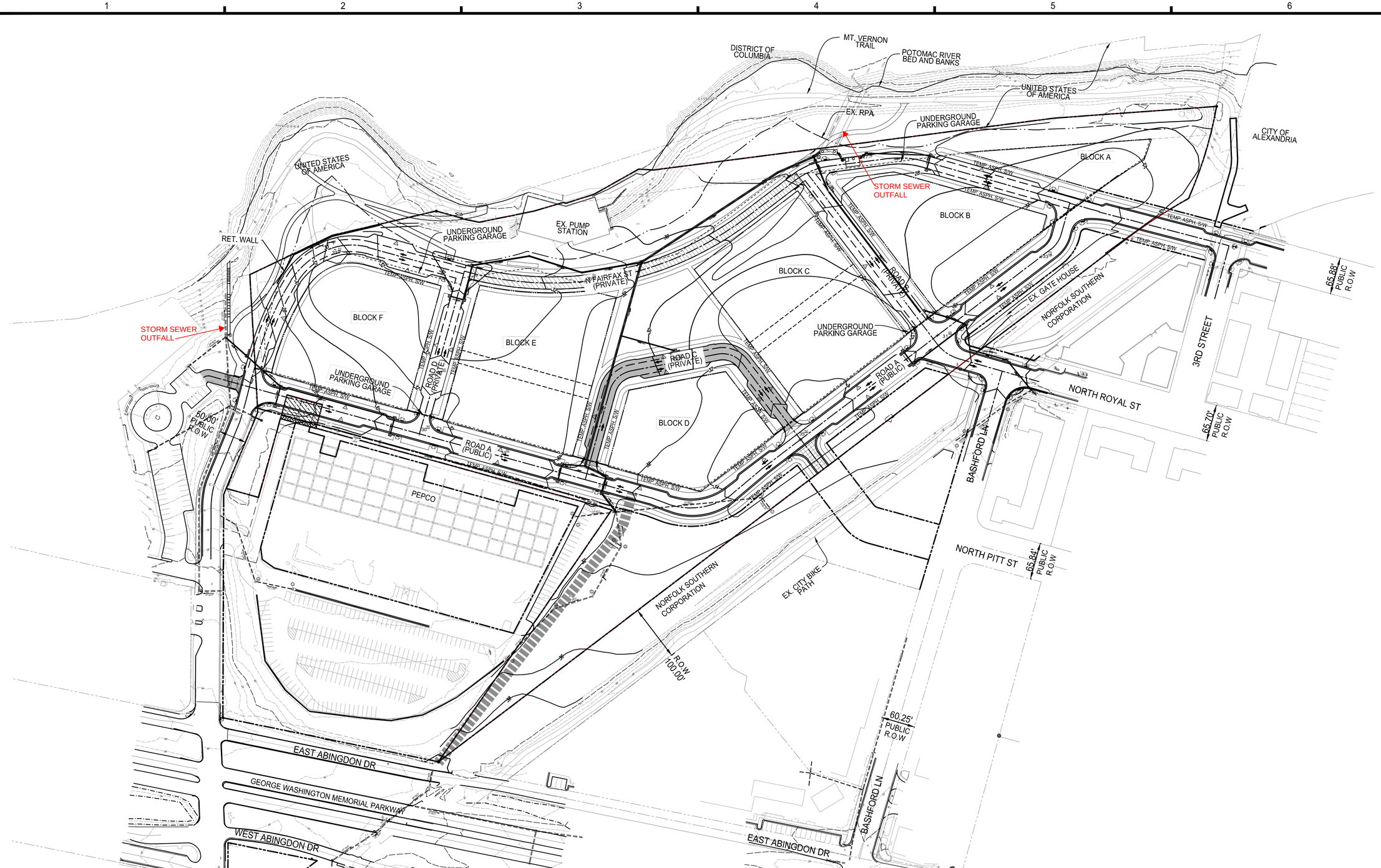
PRELIMINARY PLAT
LOT 500, LOT 501, AND LOT 502, LAND ASSEMBLAGE
AT POTOMAC RIVER GENERATING STATION
BEING A SUBDIVISION OF
LOT 1, LOT 2, AND LOT 3, SUBDIVISION OF THE PROPERTY
OF POTOMAC ELECTRIC POWER COMPANY INST #200019504
CITY OF ALEXANDRIA, VIRGINIA

COMMONWEALTH OF VIRGINIA
WILLIAM E. BRADFORD II
Lic. No. 003514
1/13/23
LAND SURVEYOR

100 50 0 100 200
GRAPHIC SCALE
1" = 100'

PROJ: 17005.002.00
SCALE: 1 = 100'
DATE: 2/8/22
DRAWN: MB
CHECKED: WEB
SHEET NO.
2 OF 2

P:\PW\Projects\17005\00200\SURVEYS\Plats\Record\Preliminary Plat\111500\111500.dwg, 1/13/2023 3:58:43 PM, williambradford, 1:1, christopher consultants, ltd



FLUSH CURB CONDITION

THE WOONERF IS AN EXTENSION OF NORTH FAIRFAX STREET. IT WILL FUNCTION AS SHARED SPACE THAT USES NON-TRADITIONAL DESIGN TO ELEVATE PEDESTRIAN PRIORITY, SLOW VEHICULAR SPEEDS, AND CREATE A SEAMLESS AND FLEXIBLE SPACE THAT ACTS TO DEVELOP A SENSE OF PLACE AND MINIMIZE THE ROADWAY AS A BARRIER TO THE WATERFRONT.

TO BE CONVEYED TO HRP POTOMAC LLC AS PART OF SEPARATE RESUBDIVISION

THIS PORTION OF THE ROADWAY THAT IS ACQUIRED FROM PEPCO IN THIS SMALL AREA IS INTENDED TO BE CONVEYED TO THE CITY AS PART OF THE DEDICATION OF ROAD A.

POTENTIAL FUTURE CONNECTION TO NORTH PITT ST IS SUBJECT TO COOPERATION OF ABUTTING PROPERTY OWNERS. THE APPLICANT DOES NOT CONTROL THESE PARCELS.

POTENTIAL FUTURE CONNECTION TO EAST ABINGDON DR IS SUBJECT TO COOPERATION OF ABUTTING PROPERTY OWNERS. THE APPLICANT DOES NOT CONTROL THESE PARCELS. POTENTIAL IMPROVEMENTS TO INTERSECTIONS OF THE GEORGE WASHINGTON MEMORIAL PARKWAY WILL BE DISCUSSED AS PART OF THE OVERALL TRAFFIC IMPACT STUDY AND WILL BE SUBJECT TO APPROVAL BY THE NATIONAL PARK SERVICE.

NOTES:

1. SEE SHEET C100 FOR LEGENDS.
2. BASHFORD LANE SUBJECT TO COORDINATION WITH NPS AND VISSIM.
3. CURB CUTS FOR LOADING DOCKS ENTRANCES AND ALLEYS WILL BE FURTHER EXPANDED WITH BLOCK DSUPs.
4. CURB CUTS ARE NOT PROPOSED FOR ROAD A OR FOR NORTH FAIRFAX STREET, EXCEPT IMMEDIATELY ADJACENT TO BLOCK A. CURB CUTS WILL BE PROVIDED WITH BLOCK DSUPs.
5. SEE SHEET C310 - C311 FOR DIMENSIONS.
6. SIDEWALK ON EAST SIDE OF THE WOONERF IS SUBJECT TO FINALIZATION OF WATERFRONT PARK.
7. ADJUSTMENT OF TRAIL IS SUBJECT TO COORDINATION WITH NORFOLK SOUTHERN.
8. SEE SHEET A900 FOR PHASING PLANS.
9. ALL GROUND LEVEL OPEN SPACE WITHIN THE CDD AREA IS PRIVATE WITH A PARK AND RECREATION EASEMENT OR PUBLIC ACCESS EASEMENT.
10. ALL CONNECTIONS TO THE MVT AND GWMP ARE SHOWN FOR REFERENCE AND ARE SUBJECT TO COORDINATION AND APPROVAL BY NPS. FINAL LOCATIONS AND DETAILS ARE SUBJECT TO FUTURE DSUPs.

christopher consultants
4035 ridge top rd
suite 601
fairfax, va 22030
p 703.273.6820
engineering • surveying • land planning

PRGS-REDEVELOPMENT

CITY OF ALEXANDRIA, VA

MARK	DATE	DESCRIPTION

PROJECT No.: 17005.004.03
DRAWING No.: 112206
DATE: 10-14-2022
DESIGN: JH
DRAWN: MG
CHECKED: KW

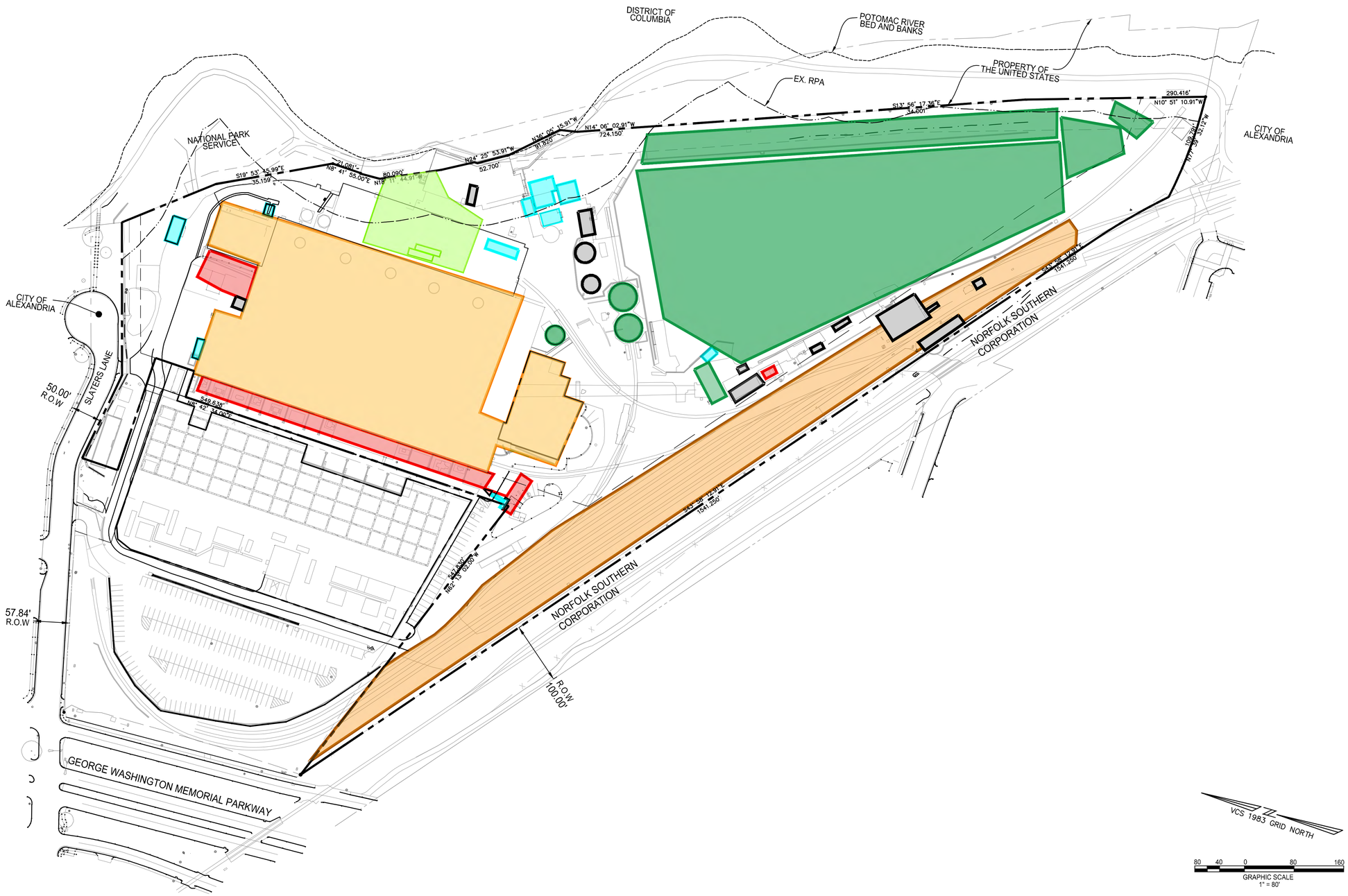
SHEET TITLE:

GRADING PLAN

SHEET No.

C300

112206



: KNOWN HEATING OIL RELEASE

: POTENTIAL HISTORICAL RELEASES FROM CHEMICAL STORAGE AREAS AND USE

: POWER PLANT AND LABORATORY BUILDING (CURRENTLY INACCESSIBLE)

: FORMER COAL AND ASH STORAGE AREAS

: TRANSFORMERS/ELECTRICAL EQUIPMENT

: RAIL YARD

: OTHER POTENTIAL AREAS OF IMPACT (BASED ON HISTORICAL USE)

christopher consultants
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suite 601
fairfax, va 22030
p 703.273.6820
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PRGS-REDEVELOPMENT

CITY OF ALEXANDRIA

MARK	DATE	DESCRIPTION

PROJECT No.:
DRAWING No.:
DATE:
DESIGN:
DRAWN:
CHECKED:

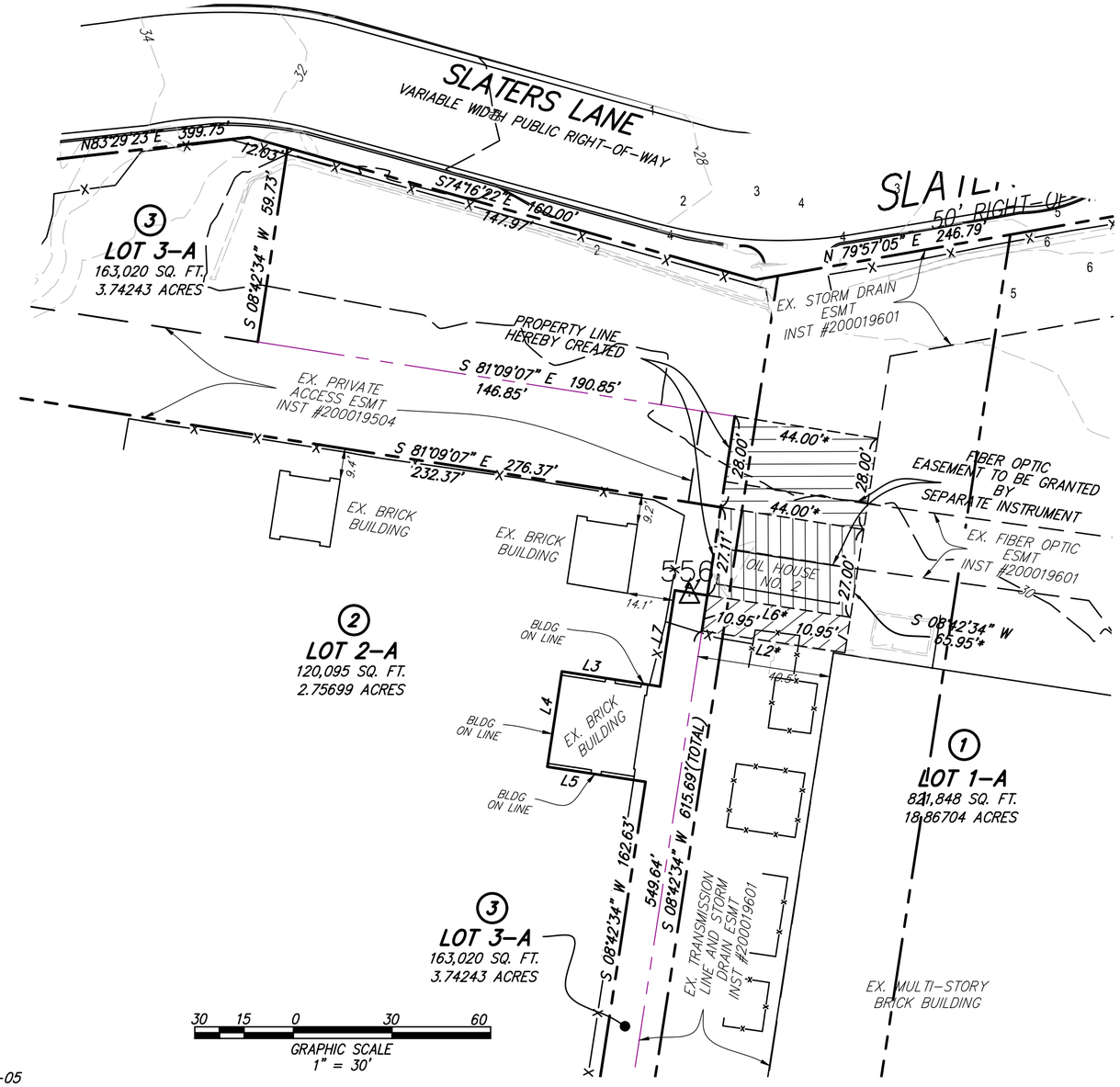
SHEET TITLE:

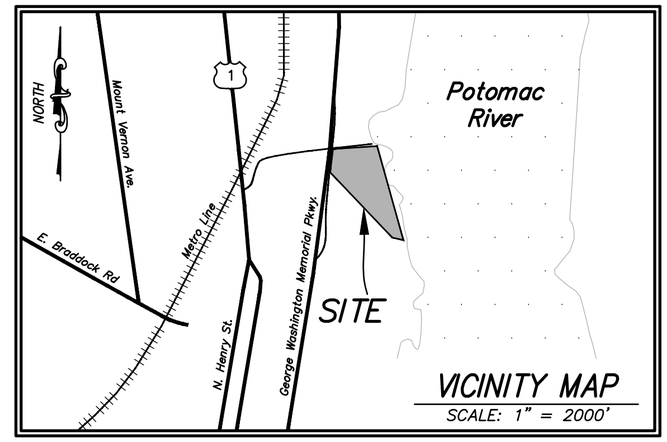
AREAS OF POTENTIAL ENVIRONMENTAL IMPACT

SHEET No.

C100

112206





GENERAL NOTES

1. THE PROPERTIES SHOWN HEREON ARE DESIGNATED AS ALEXANDRIA ASSESSMENT MAP NUMBERS 045.01-01-05, 045.01-01-06, AND 045.01-01-07 AND ARE ALL ZONED UT.
2. CURRENT OWNERS AND CO-APPLICANTS:
   HRP POTOMAC, LLC – INSTRUMENT #200019599
   5 REVERE DRIVE, SUITE 206
   NORTHBROOK, IL 60062

   POTOMAC ELECTRIC POWER COMPANY
   INSTRUMENT #200023739, D.B. 188 PG. 484, D.B. 191 PG. 259, D.B. 191 PG. 334, D.B. 212 PG. 159, D.B. 227 PG. 184, D.B. 263 PG. 520, D.B. 329 PG. 158, D.B. 1044 PG. 813, ORDINANCE NO. 297 AND ORDINANCE NO. 672
   701 9TH STREET, NW
   WASHINGTON, DC 20068
3. DURING THE PROCESS OF OUR PHYSICAL SURVEY NO INDICATIONS OF A CEMETERY WAS FOUND. NO FURTHER INSPECTION OF THIS PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.
4. THE PROPERTIES SHOWN HEREON ARE LOCATED ON THE F.E.M.A. FLOOD INSURANCE RATE MAP (FIRM), NO. 5155190033E, WITH AN EFFECTIVE DATE OF JUNE 16, 2011, DESIGNATED AS ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
5. THIS PLAT IS A SUBDIVISION OF EXISTING LOTS 1, 2, AND 3, LAND ASSEMBLAGE AT POTOMAC RIVER GENERATING STATION, AS RECORDED IN INSTRUMENT #200019504 AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA, AND VACATES THOSE PORTIONS OF THE SHARED PROPERTY LINES IDENTIFIED ON THE PLAT AS "EXISTING PROPERTY LINE HEREBY VACATED", AND CREATES THE PROPERTY LINE THAT IS DESCRIBED ON THE PLAT AS "PROPERTY LINE HEREBY CREATED".
6. NO TITLE REPORT FURNISHED. ALL UNDERLYING EASEMENTS AND ENCUMBRANCES MAY NOT BE SHOWN.
7. * DENOTES EXISTING LOT LINE HEREBY VACATED.
8. TO THE BEST OF MY KNOWLEDGE, THERE ARE NO UNDERGROUND STORAGE TANKS WITHIN THE LIMITS OF THE AREA BEING CONVEYED.

PARCEL TABLE

(1) PARCEL ID #045.01-01-05
#1300 N ROYAL STREET
LOT 1, LAND ASSEMBLAGE AT POTOMAC RIVER GENERATING STATION
INST #200019504
HRP POTOMAC, LLC
INST #200019599
ZONING: UT

(2) PARCEL ID #045.01-01-06
#1400 N ROYAL STREET
LOT 2, LAND ASSEMBLAGE AT POTOMAC RIVER GENERATING STATION
INST #200019504
POTOMAC ELECTRIC POWER COMPANY
D.B. 188 PG. 484, D.B. 191 PG. 259, D.B. 191 PG. 334, D.B. 212 PG. 159, D.B. 227 PG. 184, D.B. 263 PG. 520, D.B. 329 PG. 158, D.B. 1044 PG. 813, ORDINANCE NO. 297 AND ORDINANCE NO. 672
ZONING: UT

(3) PARCEL ID #045.01-01-07
#1500 N ROYAL STREET
LOT 3, LAND ASSEMBLAGE AT POTOMAC RIVER GENERATING STATION
INST #200019504
POTOMAC ELECTRIC POWER COMPANY
INST #200023739
ZONING: UT

CONVEYANCE LEGEND

1,232 SQ. FT. OR 0.02828 ACRES CONVEYED FROM LOT 3 TO LOT 1

482 SQ. FT. OR 0.01106 ACRES CONVEYED FROM LOT 3 TO LOT 1

1,190 SQ. FT. OR 0.02733 ACRES CONVEYED FROM LOT 2 TO LOT 1

LINE DATA

LINE	BEARING	DISTANCE
L1	N 81°17'26" W	10.00'
L2	N 81°17'26" W	44.00'
L3	N 81°17'26" W	30.23'
L4	S 08°42'34" W	29.33'
L5	S 81°17'26" E	30.23'
L6	N 81°17'26" W	44.00'
L7	S 08°42'34" W	29.59'

AREA TABULATION

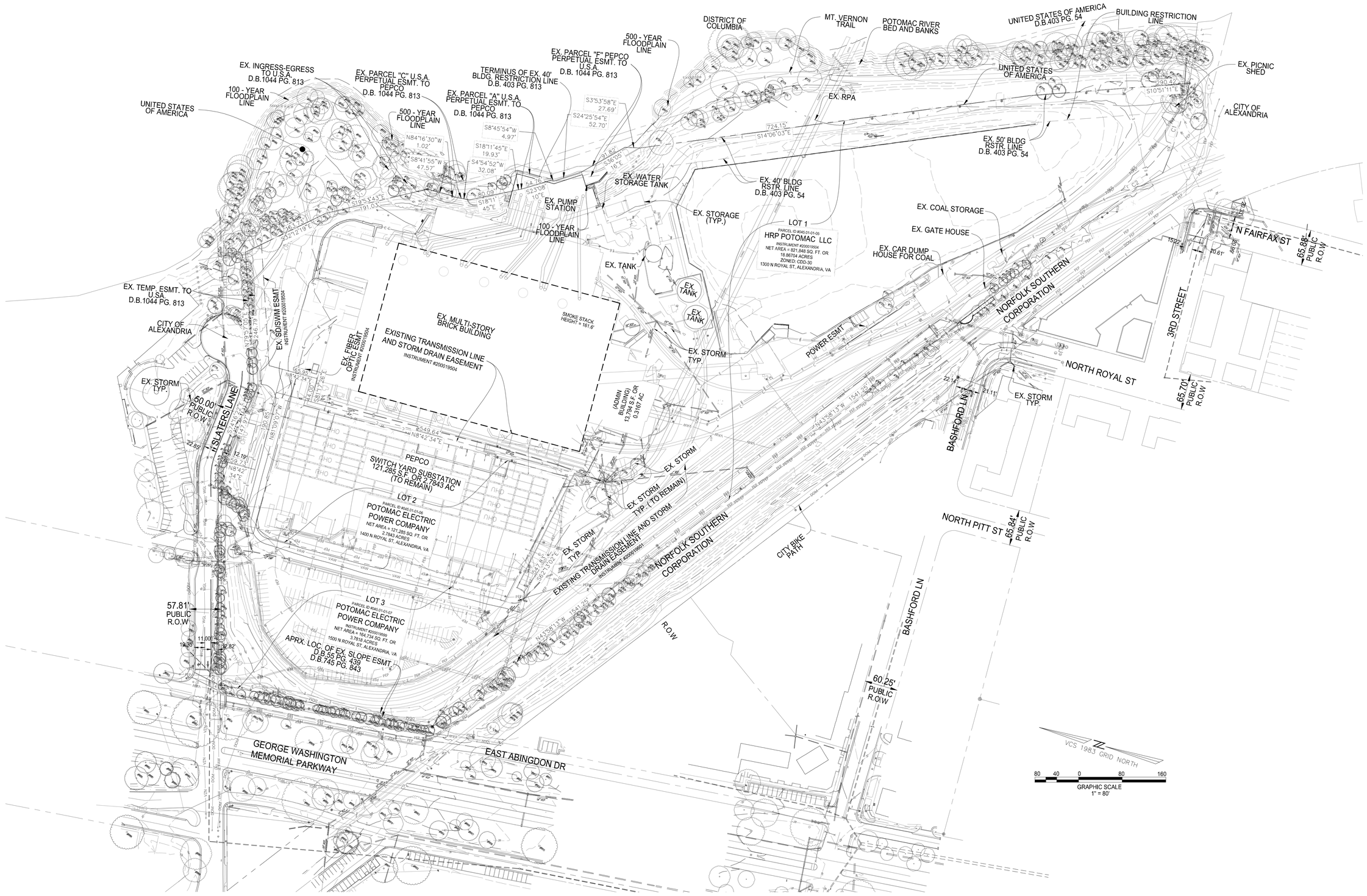
LOT 1 (BEFORE SUBDIVISION)	818,944 SQ. FT. OR 18.80037 ACRES
LOT 2 (BEFORE SUBDIVISION)	121,285 SQ. FT. OR 2.78432 ACRES
LOT 3 (BEFORE SUBDIVISION)	164,734 SQ. FT. OR 3.78177 ACRES
TOTAL (BEFORE SUBDIVISION)	1,104,963 SQ. FT. OR 25.36646 ACRES
LOT 1-A (AFTER SUBDIVISION)	821,848 SQ. FT. OR 18.86704 ACRES
LOT 2-A (AFTER SUBDIVISION)	120,095 SQ. FT. OR 2.75699 ACRES
LOT 3-A (AFTER SUBDIVISION)	163,020 SQ. FT. OR 3.74243 ACRES
TOTAL (AFTER SUBDIVISION)	1,104,963 SQ. FT. OR 25.36646 ACRES

christopher consultants
9301 innovation drive (suite 150) · manassas, va 20110
phone 703.393.9887 · fax 703.273.6820

EXHIBIT
LOT 1A, LOT 2A, AND LOT 3A, LAND ASSEMBLAGE AT POTOMAC RIVER GENERATING STATION
DBEIING-CAS\GEDEVIN\BOON\CONFERENCAY WITH EXISTING CONDOPARKS\
LOT 1, LOT 2, AND LOT 3, LAND ASSEMBLAGE AT POTOMAC RIVER GENERATING STATION
CITY OF ALEXANDRIA, VIRGINIA
INST #200019504

PROJ: 17005.002.00
SCALE: 1 = 30'
DATE: 12/12/22
DRAWN: KMW
CHECKED: KMW
SHEET NO. 1 OF 1

Rev#	DATE	REVISION



NOTES

1. SEE SHEETS C201-C204 FOR TREE LOCATIONS.
2. TO THE BEST OF OUR KNOWLEDGE THE SITE HAS NO AREAS OF MARINE CLAY.

CURVE DATA

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	723.28'	172.83'	13°41'27"	86.83'	N 79°45'12" W	172.42'
C2	1005.37'	139.73'	7°57'48"	69.98'	N 39°59'19" W	139.62'

christopher consultants
4035 ridge top rd
suite 601
fairfax, va 22030
p 703.273.6820
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PRGS - REDEVELOPMENT

CITY OF ALEXANDRIA, VA

MARK	DATE	DESCRIPTION

PROJECT No.: 17005.004.03
DRAWING No.: 112206
DATE: 10-14-2022
DESIGN: JH
DRAWN: ##
CHECKED: KW

SHEET TITLE:

OVERALL EXISTING CONDITIONS PLAN

SHEET No.

C200

112206

EXISTING TREE SCHEDULE
REVER TO SHEET C200
FOR TREE LOCATIONS

8238	DT SZ17/10	8285	DT SZ14/7	8448	DT SZ11/7	8808	CT SZ8/14	8864	CT SZ10/9
8239	DT SZ10/6	8286	DT SZ17/13	8449	DT SZ14/12	8809	CT SZ8/18 SPLIT	8865	CT SZ6/10
8240	DT SZ23/9	8287	DT SZ16/7	8450	DT SZ13/14	8810	CT SZ8/14 SPLIT	8866	CT SZ6/7
8241	DT SZ14/7	8288	DT SZ11/6	8451	DT SZ10/8	8811	CT SZ6/10	8867	CT SZ8/9
8242	DT SZ8/9	8289	DT SZ10/8	8452	DT SZ18/20	8812	CT SZ8/16 SPLIT	8868	CT SZ10/7
8243	DT SZ12/11	8290	DT SZ10/6	8453	DT SZ16/18	8813	CT SZ11/14	8869	CT SZ7/6
8244	DT SZ19/11	8291	DT SZ23/14	8454	DT SZ11/13	8814	CT SZ9/9	8870	CT SZ10/11
8245	DT SZ15/22 SPLIT	8292	DT SZ15/30 SPLIT	8455	DT SZ17/15	8815	DT SZ14/12	8871	CT SZ8/11
8246	DT SZ20/12	8293	DT SZ19/17	8456	DT SZ14/9	8816	CT SZ10/18	8872	CT SZ6/6
8247	DT SZ12/7	8294	DT SZ17/6	8457	DT SZ8/9	8817	CT SZ12/18 SPLIT	8873	CT SZ8/10
8248	DT SZ11/9	8295	DT SZ16/16	8458	DT SZ5/9	8818	CT SZ11/9	8874	CT SZ6/1
8249	DT SZ30/21	8296	DT SZ14/6	8459	DT SZ26/12	8819	CT SZ10/7	8875	CT SZ8/8
8250	DT SZ18/14	8297	DT SZ11/6	8460	DT SZ28/19	8820	CT SZ13/12	8876	CT SZ7/8
8251	DT SZ17/8	8298	DT SZ8/11	8461	DT SZ21/16	8821	CT SZ9/11	8877	CT SZ8/10
8252	DT SZ20/9	8299	DT SZ25/12	8462	DT SZ13/10	8822	CT SZ6/15	8878	CT SZ10/15
8253	DT SZ10/8	8300	DT SZ11/7	8463	DT SZ24/13	8823	DT SZ8/14	8880	DT SZ21/18
8254	DT SZ22/11	8401	DT SZ12/12	8464	DT SZ22/14 LAYING DOWN ALIVE	8824	DT SZ43/28	8881	DT SZ23/20
8255	DT SZ25/20 SLPIT	8402	DT SZ13/15	8465	DT SZ24/12 LAYING DOWN ALIVE	8825	DT SZ19/17	8882	DT SZ19/25 SPLIT
8256	DT SZ12/7	8404	DT SZ11/12	8466	DT SZ11/9	8826	DT SZ20/22	8883	CT SZ12/8
8257	DT SZ9/7	8405	DT SZ8/12	8467	DT SZ18/40 SPLIT	8827	DT SZ9/6	8884	CT SZ14/8
8258	DT SZ10/6	8406	DT SZ23/16	8468	DT SZ22/14	8828	DT SZ25/24	8885	DT SZ26/25
8259	DT SZ19/8	8407	DT SZ18/16	8469	DT SZ19/15 SPLIT	8829	DT SZ19/17	8886	DT SZ30/25
8260	DT SZ28/25 4 WAY SPLIT	8408	DT SZ20/15	8470	DT SZ19/12	8830	DT SZ16/16	8887	DT SZ28/27
8261	DT SZ12/14 SPLIT	8409	DT SZ16/19	8471	DT SZ9/9	8831	DT SZ34/24	8888	DT SZ21/18
8262	DT SZ13/16	8410	DT SZ17/11	8472	DT SZ13/8	8832	DT SZ14/11	8889	DT SZ16/21
8263	DT SZ14/16 SPLIT	8411	DT SZ24/22 TRIPLE SPLIT	8473	DT SZ23/20 SPLIT	8833	DT SZ24/15	8890	DT SZ23/14
8264	DT SZ14/11	8412	DT SZ21/19	8474	DT SZ20/18	8834	DT SZ23/27 SPLIT	8891	DT SZ16/14
8265	DT SZ8/6	8413	DT SZ20/10 TRIPLE SPLIT	8475	DT SZ15/30 SPLIT	8835	CT SZ8/23 SPLIT	8892	DT SZ40/32
8266	DT SZ23/16	8414	DT SZ14/9	8476	DT SZ24/22	8836	CT SZ8/13	8893	DT SZ24/18
8267	DT SZ11/7	8415	DT SZ13/9	8477	DT SZ21/17	8837	CT SZ9/6	8894	DT SZ20/15
8268	DT SZ23/19	8416	DT SZ18/13	8478	DT SZ30/15	8838	CT SZ10/11 SPLIT	8895	DT SZ8/7
8269	DT SZ20/12	8417	DT SZ20/12	8479	DT SZ15/14	8839	CT SZ11/8	8896	DT SZ15/15 SPLIT
8270	DT SZ17/11	8418	DT SZ12/12 SPLIT	8480	DT SZ7/16	8840	CT SZ11/10	8897	DT SZ14/12
8271	DT SZ26/14	8419	DT SZ20/14 SPLIT	8481	DT SZ24/19	8841	CT SZ10/6	8898	CT SZ20/25 SPLIT
8272	DT SZ11/7	8420	DT SZ20/12	8482	DT SZ6/12	8842	CT SZ12/10	8899	DT SZ13/14
8273	DT SZ11/7	8421	DT SZ17/11	8483	DT SZ14/13	8843	CT SZ10/9	8900	DT SZ19/14
8274	DT SZ7/9	8422	DT SZ10/7	8484	DT SZ8/10	8844	CT SZ11/9	8901	DT SZ25/23
8275	DT SZ7/7	8424	DT SZ16/10	8485	DT SZ11/9	8845	CT SZ12/10	8902	DT SZ34/29
8276	DT SZ16/15	8425	DT SZ30/22 TRIPLE SPLIT	8486	DT SZ12/12	8846	CT SZ10/10	8903	DT SZ25/20
8277	DT SZ20/8	8426	DT SZ16/26 TRIPLE SPLIT	8487	DT SZ14/13	8847	CT SZ10/6	8904	DT SZ17/21
8278	DT SZ13/8	8427	DT SZ25/26 TRIPLE SPLIT	8488	DT SZ10/15	8848	CT SZ10/10	8905	DT SZ10/12
8279	DT SZ10/8	8428	DT SZ22/16 TRIPLE SPLIT	8489	DT SZ20/18	8849	CT SZ8/10	8906	DT SZ15/15
8280	DT SZ9/8	8429	DT SZ14/8	8490	DT SZ11/12	8850	CT SZ6/8	8907	DT SZ19/18
8281	DT SZ8/6	8430	DT SZ19/11	8491	DT SZ9/14	8851	CT SZ8/8	8908	DT SZ15/18
8282	DT SZ12/10	8431	DT SZ18/30 5 SPLIT	8492	DT SZ19/18	8852	CT SZ8/8	8909	DT SZ32/24
8283	DT SZ24/16	8432	DT SZ12/8 SPLIT	8493	DT SZ19/14	8853	CT SZ8/7	8910	DT SZ32/27
8284	DT SZ11/9			8494	DT SZ14/18	8854	CT SZ8/8	8911	DT SZ11/9
				8495	DT SZ10/20	8855	CT SZ8/6	8912	DT SZ16/8
				8496	DT SZ22/21 SPLIT	8856	CT SZ10/10	8913	DT SZ14/10
				8497	DT SZ13/18	8857	CT SZ8/7	8914	DT SZ9/12
				8498	DT SZ13/12	8858	CT SZ6/9	8915	DT SZ19/21
				8499	DT SZ11/17	8859	CT SZ8/8	8916	DT SZ23/19
				8500	DT SZ16/15 SPLIT	8860	CT SZ8/10	8917	DT SZ10/7
						8861	CT SZ10/8	8918	DT SZ9/7
						8862	CT SZ10/10	8919	DT SZ18/12
						8863	CT SZ8/9	8920	DT SZ11/19 SPLIT
								8921	DT SZ11/19 MULTI SPLIT
								8922	CT SZ10/10