

From: [Linda Powell](#)
To: [PlanComm](#)
Subject: [EXTERNAL]
Date: Saturday, October 26, 2024 11:14:53 AM

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Greetings,

As a 26-year resident of Echols Avenue in Alexandria, I am writing to express my alarm about the proposed building that is planned for a lot on our block. My concerns include destroying 34 mature trees, exacerbating an already challenging parking situation, and building a warehouse-type structure that looms over the street in an older neighborhood, where dwellings are set back at least 20 feet. It is especially concerning that the above-mentioned changes are in contradiction to objectives stated by the Department of Planning and Zoning:

“Create a **balance** of diverse, accessible, and **quality** green spaces and achieve net improvement of our **environment** through buildings and infrastructure.” The tree canopy here will be greatly reduced.

“Our work is to focus on **excellence** in **design** of spaces and buildings that **improve people’s quality of life**.” This design might fit in with some neighborhoods, but not ours, where every dwelling is set back with articulation and an actual roof. The driveway to the back of the proposed townhouses will create light and noise pollution for all of the homes next to the driveway.

“We **partner** with other departments and the **community** to **create safe**, livable and well-designed neighborhoods while **protecting** cultural and environmental resources.” The additional demand for parking and the destruction of our environmental resources (trees) will make our neighborhood less livable.

“We plan with **equitable** solutions in mind by continuously seeking innovative ways to hear from all **voices** within the **community** and use that information to **balance** competing interests.” That’s why I am contacting you.

The project developers state that “The proposed development will **enhance the character of the neighborhood**...and “will be a **positive addition**.” My neighbors and I strongly disagree and feel that this is an insult to our lovely, leafy neighborhood.

We would welcome any City Council or Commission member to come to Echols and take a look. I will be happy to show you around, as will my neighbors.

Thanks for your time,

Linda S. Powell

571-344-5148

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From: lexow_grant
To: [PlanComm](#)
Subject: [EXTERNAL]5216 Seminary at Echols;taking away the neighborhood's ambiance.
Date: Sunday, October 27, 2024 12:49:46 PM

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To Whom it may concern

Echols Avenue is an attractive, leafy street, lined with houses and vaguely federalist townhouses all of which conform to a dominant esthetic pattern : two and three story homes set back behind big front yards with substantial trees that arch over the street. The third picture below is slightly inaccurate, but gives the idea of the shape and general look of the no-setback, warehouse-style building The Developer wants to shove into the beautiful corner lot that's now filled with big old trees, 34 of which are slated to be taken.

The ambiance, the pleasant look, the "trade dress," if you will, of this family oriented, peaceful neighborhood is to be taken away from us under legal pretexts of several highly questionable zoning waivers and permits, each one of which demands further adjudication.. The legality of the two special permits and five substantive construction requirement waivers granted for this eyesore of utilitarian rental units at the gateway to our lovely Echols Avenue neighborhood will be discussed by my distinguished neighbor Nandan Kenkeremath.

And what of the quality of life in the seven units, if built as planned? Where will the children play in the absence of yards? What about the hassle of having to roll your garbage carts around the cars in the tight garage, along the lengthy alley behind the building and leave them on the street for pickup and then having to retrace your steps to bring them back. The units are all rentals and that hike could get old fast. And what if the developer can't rent all the units and goes to Airbnb to do it for them?

And, finally, will this unsightly, questionably legal building hurt property values for all the hard-working neighbors? Is that not a taking?

Thank you for your time

Lexow Grant
5310 Echols Avenue.





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Nandan Kenkeremath
2707 Fairview Court
Alexandria, Virginia 22311

October 30, 2024

Chairman Macek
Planning Commission
City of Alexandria

Re: Proposed Preliminary Site Plan For 5216 Seminary Road

We are affected owners of housing near-by the proposed plan for 7 new townhouses on the current 5216 seminary road site. The list includes the Board of Directors of the Seminary Park Community Association and the Fairview Homeowners Associations.

In addition to the two associations there are 27 adults on the signature list for this letter. We will likely have more. Three signers of this letter are owners and residents of the two current townhouses, 5310 Echols Avenue and 5312 Echols in the Seminary Park Development and next to the proposed site. Several other signers are owners/residents at Seminary Park.

The Fairview Homeowners Association involves 5 large single-family homes developed in 1999 in West End Alexandria. One of those homes, 5331 Echols Avenue, is one house down and across the street from the proposed new townhouse development which would replace the current single-family home at 5216 which is at the corner of Seminary Road and Echols Avenue. Four of our houses are on Fairview Court, a private road right off Echols and very near the proposed development. These owners write as individual homeowners and residents and as the Fairview Homeowners Association.

One other signer is directly across from the proposed site development on the other side of Echols. Another is across from the site on the other side of Seminary Road.

There are also several homeowners from Seminary Heights which is just down the block off of Echols Avenue.

Additional signers are in the neighborhood close by the site.

We all oppose the preliminary proposed Special Use Plan for adding 7 townhomes to the 5216 Seminary Road site on several grounds.

Our concerns and arguments are discussed in the attachment styled Arguments Against Proposed Special Use Plan. As a summary, first, the plan violates numerous requirements of the Zoning Ordinance for the City of Alexandria. This argument includes that the plan is based on impermissible and incomplete interpretation of the Code and involves unreasonable and unsupported exercise of discretion. Second, cramming 7 townhouses into that corner lot and modifying all normal yard, set-back, lot, and open space requirements is inconsistent with the fundamental characteristics of our residential community. Third, the plan will exacerbate what is already a substantial problem in terms of traffic and safety at the corner of Seminary Road and Echols Avenue. Fourth, the proposal would cause substantial parking problems on Echols Avenue. Fifth, the plan is unworkable, unfair and unsafe, including for any for children who might live in these proposed townhouses. Generally, the plan will reduce the quality of our neighborhood and property values.

We are happy to discuss these concerns. We believe the developer and the City of Alexandria should substantially step back and develop a proposal that does not involve the numerous modifications to the traditional zoning requirements. If there are questions or further steps, please contact Nandan Kenkeremath at 703-407-9407 and nandank@comcast.net

Signatures of Concerned Entities and Citizens

Board of Directors of Seminary Park Community Association

Fairview Homeowners Association

Les Jackson, 5000 Heritage Lane

And President, Board of Directors Seminary Park Community Association

Annette Miller, 2715 Fairview Court

And President

Fairview Homeowners Association

Linda Powell, 5310 Echols Ave

Lexow Grant, 5310 Echols Ave

Jennifer Cave, 5312 Echols Ave

Hilda DeSousa, 5228 Seminary Road

John Esposito, 5331 Echols Ave

Maureen Esposito, 5331 Echols Ave

Andrew Rogers, 2703 Fairview Court

Jessica, Rogers 2703 Fairview Court

Nandan Kenkeremath, 2707 Fairview Court

And owner 2584 Nicky Lane

Stacey Kenkeremath, 2707 Fairview Court

And owner 2584 Nicky Lane

Maria Van Horn, 2711 Fairview Court

Tom Van Horn, 2711 Fairview Court

Owen Curtis, 5465 Fillmore Avenue

Lela L. Curtis, 5465 Fillmore Avenue

Manuel Hernandez, 2562 Nicky Lane

Maria De Los Rios, 2562 Nicky Lane

Richard Jones, 2455 Stevens St

Elizabeth Dahouk, 5195 Seminary Road

Abbas Dahouk, 5195 Seminary Road

Ron McNeely, 5319 Fillmore Ave

Mele Williams, 5111 Bellemeade

Don James, 5113 Woodmire Lane

Joan Dodara, 5105 Woodmire Lane

Eric Santure, 5121 Heritage Lane

Thomas L. Stefaniak, 5331 Fillmore Avenue

ARGUMENTS AGAINST PROPOSED PRELIMINARY SPECIAL USE PLAN

Background

I. The Characteristics of the West End Single Family Home Community

The corner of Seminary Road and Echols Avenue is a primary gateway to the single-family home communities south and west of that point. The Seminary Park and Seminary Heights Townhomes properly integrate with this single-family residence community and are part of our established community.

The Fairview Court/Echols Avenue development is, geographically, part of a broader community of single-family homes with significant green space and traditional single home community characteristics. Like all of the houses, our houses have a lot of green space, including substantial front and back yards.



5331 Echols Avenue

This area, zoned for single-family homes, also borders John Adams elementary school, the Dora Kelly Nature trail and areas outside Alexandria jurisdiction that are zoned for single-family homes. A community walk easily takes one to parts of the connected single-family home areas for Bailey's Crossroads, and the Lincolnia Heights area. This overall location which crosses jurisdictions is a substantial area for single-family homes with large front yards, large backyards and lots of green and open space.

Recent housing additions on Rosser and Fillmore have been large homes that preserve open space and have increased the property values in the area. We expect that trend to continue as smaller, older houses either get replaced or have substantial additions.

Currently all 4 corner lots at the intersection of Echols and Seminary have single family homes on large lots-- 5158 Echols Avenue (14, 519 SF); 5205 Seminary (15, 579 SF), 5228 Seminary Road (20, 734 SF), 5216 Seminary Road (20,739 SF). All have substantial open space and tree cover.

The next single-family home from Seminary Road on Echols Avenue is 5331 Echols (13370 SF). The first Townhouse on Echols Avenue near Seminary Road is 5310 Echols Avenue (2919 SF) (24.1 ft front yard)(Backyard walks out to substantial common space).

There are not so many areas of single-family homes with front and back yards and lots of green space in West Alexandria. West of Van Dorn street there are two such areas. These West End groupings deserve full consideration with respect to preserving traditional characteristics. We already live with the geographic, building and traffic divide that separates the West End single-family home community from Seminary Valley. West Van Dorn Street and East of Beauregard is 395, office buildings, apartments. It does not look like the City of Alexandria or developers will find new, significant areas of single-family homes. It is important that the City of Alexandria treasure these West End single-family residential areas and not take steps to diminish the character or quality of these neighborhoods.

II. The Characteristics and Current Integration of the Single-Family Home Community with Seminary Heights and Seminary Park Townhomes

Our single-family residential home area has bordered two townhouse communities for over 40 years. Part of Echols and part of Stevens border the Seminary Heights Townhome community. The City of Alexandria and developers both took

extraordinary care with respect to how Seminary Heights borders and integrates with the single-family home residential area. The buildings in Seminary Heights that front Echols or Stevens have single-family home appearance from the street view. Each Townhome on Echols and Stevens is part of triplex with a single home facing Echols and Stevens. Looking at those Seminary Heights townhomes from Echols or Stevens is like looking at a large, single-family colonial with a good size front yard. This was a very effective way of maintaining the look of a single-family home area on Echols and Stevens. There is also fair amount of commons areas and green space in Seminary Heights including space that borders Echols.



Seminary Heights Facing Echols



Seminary Heights Facing Echols



Seminary Heights at Corner of Echols and Stevens

While the 6 townhomes from Seminary Park facing Echols do not have the individual house look of the Seminary Heights Townhomes on Echols and Stevens Avenue, they do maintain the 20-foot minimum set back, the minimum 1980 SF standards for lot size, and minimum standards for lot size frontage. 5310 Echols Avenue, the townhouse closest to the proposed site has a 24.1-foot front yard. These townhomes have significant architectural detail with various pitched roof styles and fronts.



Seminary Park Facing Echols

View from 5310 Echols Avenue Facing
Commons Area in Back

Considering how large the Seminary Park Community is, having only this small row of six townhouses at the border of the single-family home area has been a respectful approach. To the south, Seminary Park borders Seminary Heights. To the east, Seminary Park borders commercial space. To the north there is a nice brick wall and a reasonable setback between Seminary Road and the Seminary Park townhouse buildings. There are large, mature trees throughout and substantial commons areas in Seminary Park.

Seminary Heights and Seminary Park have similar style townhomes in that they are brick and of the style built in the 70s or early 80s. Even though there are many townhouses among the Seminary Heights and Seminary Park, there are only the 6 townhouses that look like single-family homes from the street, a single row of 6 townhouses on Echols, and a single side of an end unit in Seminary Park.

III. Background On Certain Terms and Omissions in The Proposed Special Use Permit

By its terms the Special Use Permit would involve:

- Development of a Special Use Permit for Cluster Residential Development of 7 Townhouses pursuant to Section 11-600 of the Zoning Ordinance for the City of Alexandria.

- Special Use Permit for Bonus Density pursuant to Section 7-700
- Modification of minimum lot area pursuant to Section 11-603(G)
- Modification of Section 7-1006(D) for reduced setback from the centerline of Seminary Road
- Modification of Section 3—706(A)(1) for reduced front yard set-back for proposed lots 501-507
- Modification of Section 3-706(A)(3) for reduced side yard setback for proposed lots 501 and 507
- Modification of Section 3-708(A)(5) for reduced rear yard setback for lots proposed 501-507

More specifically, the proposal claims to go under the minimum lot area requirement of Section 3-705(B) from the 1980 square feet minimum requirement down to proposed lot areas that vary from as little as 886 SF to 1087 SF for each lot designated as proposed 501-507.

Our read is that the proposed townhome closest to Seminary Road must take the position as a corner lot and is subject to at 38-ft frontage requirement on both Echols and Seminary. If proposed outlot 500 were to be considered a corner lot, it would fail the 38-foot corner lot frontage requirements.

The proposal plan reduces the front yard set back from a 20 ft minimum to 3.6 to 5.7 feet for the proposed townhomes.

By inappropriately reducing the frontage requirements, the proposal appears to then claim the rule that if a Townhouse is less than 25 feet wide then there is no side yard requirement. However, without a modification to the minimum width requirements, the side set-back ratio is 1:3. At 44 feet high this would mean a side yard on each townhouse of about 14.67 ft. Accordingly, the proposed plan modifies what would be a 14.67 ft side yard requirement to 0 yards for the end units.

The proposal also claims to reduce the rear yard requirement which is a 1:1 set-back ratio. With a 44-foot-high townhouse the ordinary rear yard requirement is 44 feet. Accordingly, the proposal is to change from a 44-yard minimum rear yard to 3.0 to 4.8 ft. The only door to the rear yard is the garage door. The “rear yard” opens directly to the collective driveway and not green space.

The proposal involves an unusual, proposed Lot 500/Outlot A. The use and relationship of proposed Lot 500 to the other lots raises many questions.

IV. ARGUMENT & CONCERNS

We object to each special use plan and/or procedure described above, the modifications described above, and the implicit modifications not fully described by the applicant. While we are concerned about the specific proposal, we are also very concerned about inappropriate interpretations of the Zoning Ordinance of the City of Alexandria. Inappropriate interpretations will undermine important protections for established residential neighborhoods.

We have raised serious concerns over staff code interpretation regarding what we believe are mandatory requirements. It is incumbent that staff respond to the arguments with their contrary interpretations. We seek such a document and discussion about the proper interpretations of the ordinance. Otherwise, we are speaking on different ordinance frameworks. The Commission should not approve a plan unless the commission is sure both that the plan meets the actual standards and is wise where there is discretion.

According to Section 1-102 the ordinance is, among other purposes, designed to:

- “Protect the established character of existing residential neighborhood”
- “To reduce or prevent congestions in the public streets”
- “...facilitate the creation of a convenient, attractive and harmonious community”
- To protect against “overcrowding of land”

I. The Proposal Fails the Purpose, Scope and Requirements of The Cluster Regulations

Cramming a 7-unit row of small-lot townhomes into a small space and modifying all lot size, yard, and set-back requirements is not within the purpose, scope or requirements of the cluster development regulations. Here we go through a non-exclusive list of the problems. To evaluate compliance with the ordinance we compare what we call the baseline diagram which we understand to be presented on page 183 of the staff report and, in part on page 7.

We point out some features from the zoning tabulations on p. 83. First the height of the townhomes is listed at 29 feet. The cluster design proposal townhouse height is 44 feet.

Second the floor area is reflected in the following table

Lot	Lot Area (SF)	Gross Floor Area (SF)	Net Floor Area (SF)	Floor Area Ratio
1	4,387	2,168	1,971	0.499
2	2,313	1,910	1,735	0.750
3	2,316	1,910	1,735	0.749
4	2,320	1,910	1,735	0.748
5	2,324	1,910	1,735	0.747
6	2,328	1,910	1,735	0.745
7	2,632	2,168	1,971	0.749
Total	18,620	13,866	12,617	0.678

Exhibit A on page 16 and Section XI of the Staff Report is Styled Revised Sheets Corresponding to Updated Architecture in Preliminary Special Use Permit for 5216 Seminary Road Townhomes. Exhibit A has analogous information under the cluster design relative to the cluster application design.

Lot	Lot Area (SF)	Gross Floor Area (SF)	Net Floor Area (SF)
501	1,099	2,743	1,971
502	1,082.5	2,743	1,735
503	1,082.5	2,743	1,735
504	1,082.5	2,743	1,735
505	1,082.5	2,743	1,735
506	888	2,251	1,735
507	1,099	2,743	1,971
Street Dedication	988	—	—
500/Outlot A	10,218	—	—
Total	18,620	18,709	17,678

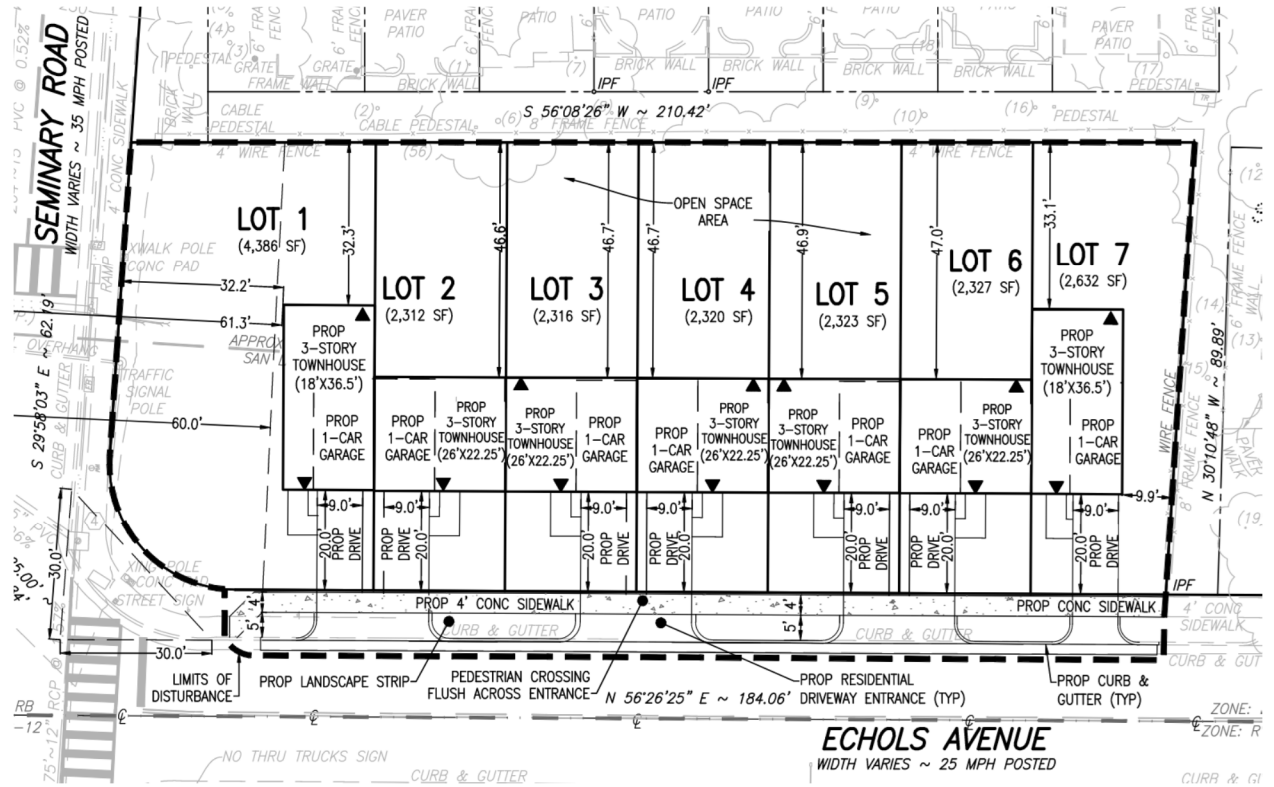
It is apparent that the floor area under the cluster design is much larger both on a lot-by-lot basis and in total.

We note we are skeptical that the applicant's diagram that the non-cluster design with the 29-foot high buildings are credibly 3-stories. If not the square feet calculations would be even smaller for the baseline proposal.

- A. Our reading of Section 11-603 (D) starts with the limitation on making floor area larger under the cluster design than the baseline
1. Section 11-603(D) specifically states: The density of the cluster development shall not exceed the floor area and number of units which could have been developed under the applicable zone regulations without cluster approval, and may, depending on the design and configuration achieved in the cluster development plan, be reduced.
 2. The applicant provided hypothetical small dimension townhouses to qualify for the 7-unit number for purposes of Section 11-603 (D). The applicant switches to large dimension townhouses for what the applicant seeks under the cluster design.
 3. The applicant has exceeded the floor area in the proposed cluster design that could have been developed based on the applicant's own townhouse dimensions they proposed in the baseline diagram. The proposal exceeds the baseline both for individual units and for the total.
- B. The proposal fails to follow the procedural requirement under Sections 11-603 (B) to show the land could have accommodated 5 or more dwelling units not considering potential application of the cluster regulations and fails the until limitations under Section 11-603 (D)

Do understand our argument, one needs to understand the proposed height of the townhouses and the yard and set back requirements.

Here is the baseline diagram on page 7 which reflects information on page 83.



1. Our reading is that the “dwelling units” for purposes of Section 11-603(B) must be the same dimensions or square footage as what the applicant seeks through the Section 11-600 series cluster design series. Otherwise, the whole exercise is a meaningless comparison. The ordinance should not be interpreted to allow for submitting a baseline analysis based on different dimensions. What is clear is that given the dimensions including depth and height, one could not fit 7 townhomes under the ordinary rules.
2. A simple analysis based on a townhouse as presented based on the cluster plan as 40 feet deep and 44 feet high would not properly fit given the ordinary yard requirements.
 - a. Ordinarily the site would require a 20-foot front yard, and 44-foot rear yard based on a 1:1 set back requirement. That is 20 feet + 40 feet + 44 feet = 104 feet when the depth of the current lot is only 90 feet in the direction proposed.

3. Instead, the developer has presented a baseline diagram with different dimensions, including that all Townhomes are 29 feet high and not the 44 feet they seek. Also, the Townhomes in the middle in the “By Right” plan have depths of 22.25 feet instead of the 40 feet they now seek.
 4. The floor limitation that the resulting floor area is not larger than baseline floor area under Section 11-603(D) supports our interpretation that one cannot simply substitute larger townhomes after showing a baseline using smaller townhomes to establish the number that could be approved under ordinary regulations.
 5. Building enlargement is also a separate construct under the ordinances than changing lot sizes, yard sizes and setbacks. See, for example, see Section 11-403(B) (new site plan approval required for building alteration); Section 11-419 (enlargement or alteration of any building structure); Section 11-712 (B) (enlargement of floor area); Section 5-4-2 (enlargement of buildings)
 6. While modification of lots and yards is specifically mentioned under cluster design code building enlargement is not.
 7. Minimum yards and set back lines are a function of the building height
 8. Under Section 2-180 open and usable space is that portion of a lot at ground level which is unoccupied by principle or accessory buildings, so open and usable space is a function of building size
- C. The proposal fails to properly address the requirement under Section 11-603(g) that the yard regulation applicable to the abutting residential properties at Seminary Park also apply under the cluster regulations to the 5216 site.
1. Under Section 2-102 Abutting property is “[a]ll property that touches the property in question and any property that directly faces (and, in the case of a corner lot, diagonally faces) the property in question.”
 2. Our interpretation is that this property abuts all of the properties on the corner lots of Seminary and Echols and Abuts the Seminary Park Townhouse both in back and 5310 Echols Avenue.

3. The proposed townhomes would not be surrounded by any other exterior developments, so the proposed townhomes are the exterior developments in this situation
 4. The developer cannot show that no benefit would be served by eliminating these yard requirements under the specific exception of that provision.
 5. Here the benefit of maintaining the current requirements is providing space, symmetry and consistency in the community
 6. Note the burden is on the developer to prove no benefit by evidence and argument
- D. The proposal fails the lot size reduction and cluster open space requirement of 11-604(A) which states:

In each zone in which cluster development is allowed, the lot size may be reduced provided that an equivalent amount of suitable land in open space or common area is preserved and maintained for its scenic or historic value, or for schools, community buildings or sites or related uses.

A couple of tables are relevant to this assessment. From the baseline table we have the following information.

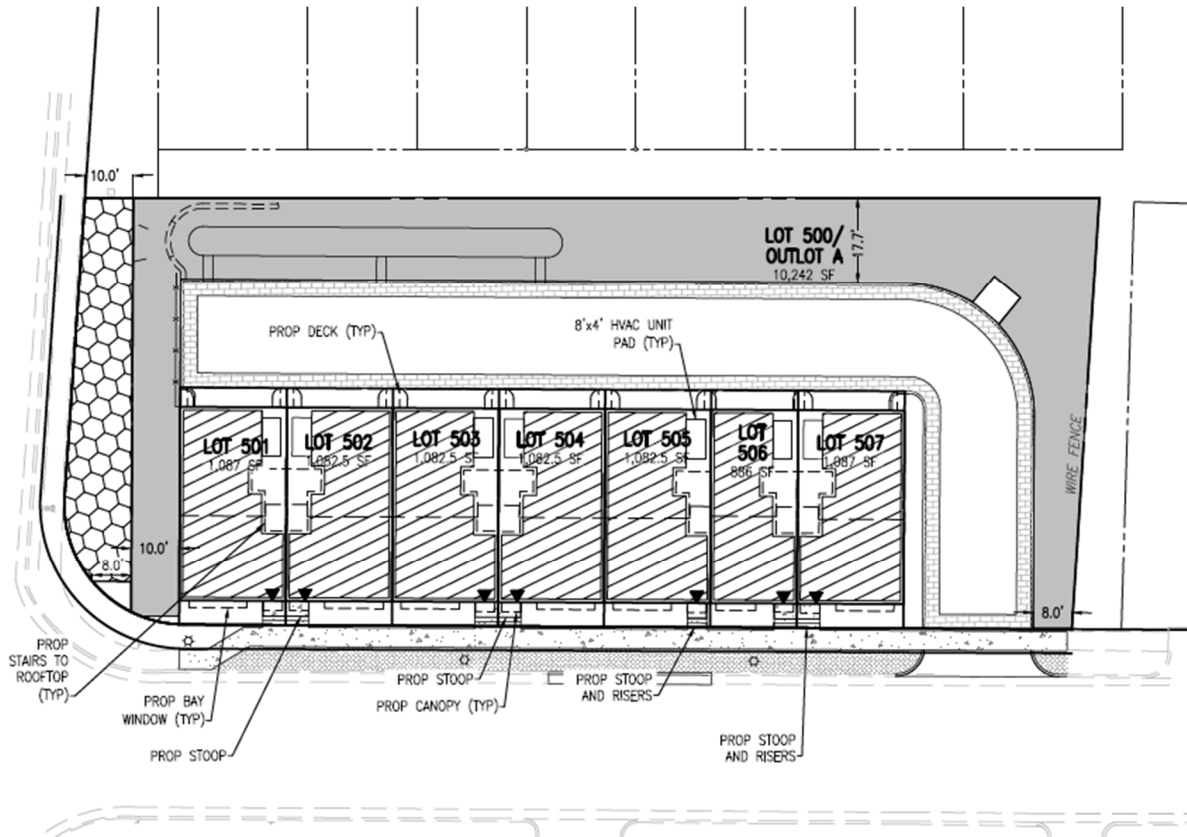
Lot (SF)	Lot Area (SF)	Required Open Space (35%)	Ground Level Open Space	Above Grade Open Space	Total Open Space Provided
	4,387	1,535 SF	3,400 SF	0 SF	3,400 SF
	2,313	810 SF	1, 200 SF	0 SF	1,200 SF
	2,316	811 SF	1, 200 SF	0 SF	1,200 SF
	2,320	812 SF	1, 200 SF	0 SF	1,200 SF
	2,324	813 SF	1, 200 SF	0 SF	1,200 SF
	2,328	815 SF	1, 200 SF	0 SF	1,200 SF
	2,632	921 SF	1, 600 SF	0 SF	1,600 SF

We calculate this table to mean 11,000 SF of ground level open space total and, from prior calculation, an 18, 620 total lot size.

The cluster design proposals subtracts 988 for street dedication and allocates 10, 218 to outlot A/500.

1. Slicing up the same lot yard and claiming the result is common space is not the reallocation required by the provision.
2. The provision requires a trade-for reduction in lot size for areas preserved for “scenic or historic value, schools, community buildings or sites, or related uses”.
3. The common open space area designated proposed lot 500, whose purpose appears to be a common driveway, common yard space, and a drainage structure does not satisfy the purpose test of the requirement
4. We do agree the “street dedication” of 988 SF is a potential advantage for the City, should the City decide to use it. However, this trade does not satisfy the language of Section 11-604(A)
5. Even if one ignores the purpose test requirement, the proposal does not provide sufficient land in the trade off, at least based on the baseline diagram.
6. The rooftop areas do not meet the terms under 11-604 (A) for “an equivalent amount of suitable land”. The rooftops are not land. The rooftops are not common space as they have divisions between. The roof tops are really decks. The rooftops are not open and usable space.
7. Under Section 2-180 open and usable space is that portion of a lot at ground level which is in part is no less than eight feet in width and length and not used in whole or in part as driveways. The purpose of open and usable space is to provide areas of trees, shrubs, lawns pathways and other natural man-made amenities which function for the use and enjoyment of residents, visitors and other persons.

8. The trade from what was previously open space in the baseline diagram to the new, larger building footprints is also a trade that goes in the wrong direction.
9. Under Section 11-604 (B) requires that cluster open space shall be protected by legal arrangements, satisfactory to the city council, sufficient to assure its maintenance and preservation for purpose for which is intended. While we understand not having the actual legal plan at this stage, we have not identified an outline of the proposed legal arrangements.
10. Direct access is not provided from each unit to the common and usable grass area for Lot 500/Outlot A and, instead, people must go out the front door, use the sidewalk, and then access from the side or a driveway
11. We should see the proposed legal arrangement described under Section 11-604 (B) to be able to comment on the mechanism to maintain cluster open space.
12. The rooftops also do not qualify for the open space ratio of 35%. Without the rooftops, the open space appears to be 27%.



E. The Proposal Violates the Height Limitation

1. The elevation on pages 119 and 120 of the staff report (A-201 and A-202) indicates the 44-foot height applies at the top of subfloor 4th floor, but there is an entire structure on top of this level.
2. This does not meet the definition under Section 2-154 (E) of a flat roof with a parapet wall which is three feet in height or left or, in any event, the roofline is higher because the structure on top has the “highest point of the building”. See also rendering on page 24 of staff report showing a door and roof on the smaller structure.
3. The structure on top is not an “appurtenance” as described in Section 2-154(H) or Section 6-403(B).
4. Accordingly, the roofline is the top of the structure sitting on top of the 4th floor is the proper height and exceeds the 45-foot limit.

F. The Proposal Violates the Corner Lot Construct of the Code

1. A corner lot is the lot at the corner of Seminary and Echols

2. It is not appropriate to fail to identify which proposed lot is the corner lot
 3. Our interpretation is proposed lot 501 is simply a non-compliant corner lot which fronts Seminary Road and Echols Avenue
 4. We do not believe a plan can simply lay a 1-foot buffer area and self-declare the disappearance of corner lot status
 5. Even if Lot 500 is the corner lot, it is non-compliant and poses substantial problems
- G. The purposes of the cluster regulations under 11.602 illustrate why the regulations do not apply to establish a row of 7-town homes with nothing more involved

1. 11-602 states:

The purpose of cluster development is to permit a procedure for development which will result in improved living environments; which will promote more economic development layout; which will encourage a variety of types of residential dwellings; which will encourage ingenuity and originality in total subdivision and individual site design; and which can preserve open and usable space to serve recreational, open space, scenic, public service, and other purposes related thereto, while retaining the densities established under the applicable zoning district.

2. There is:
 - a. no improved living environment
 - b. no additional economic development
 - c. no variety of types of residential dwellings
 - i. affordable housing is not a different type of residential dwelling
 - d. no ingenuity and originality in total subdivision and individual site design
 - e. no preservation of open and usable space to serve recreational, open space, scenic, public service, on other purposes related there to
3. The overall cluster regulations are for a larger, more diverse community plan than is possible in this area and certainly not represented by a simple row of 7 townhomes

4. Note that under Section 11-606 (M)(1) the development plan must show the arrangement and location of buildings, structures and spaces as they relate to the intent and purposes of this section
5. Section 11-606 (M)(2) and (3) assume pedestrian circulation in the cluster plan
6. Section 11-606 (M)(7) assumes other features like plazas, courts, terraces, recreational facilities
7. Section 11-606(K) requires consideration that the cluster development plan includes diversity and originality in the lot layout—clearly missing
8. Section 11-606 (L) includes consideration of features like space for recreation or public use
9. Section 11-606 (I) includes consideration that the open space include irreplaceable natural features including individual trees

II. Use of Section 7-700 Is Insufficient and Inappropriate for the Modifications

- A. Section 7-700 Provides Authority for Changes to Floor Area Ratio, Density, Height and Reductions in Required Off-Street Parking but Not to The Lot Sizes, Frontage, Set-Backs And Yard Sizes
 1. Section 7.700 refers to density but lot size is a separate requirement under Section 3-705(B)
 2. Section 7.700 does not refer to minimum yard sizes and set-backs
- B. A Special Use Permit implementing Section 7.700 is Not Appropriate for the Current Proposals Including Because the Proposed Plan Is Not Designed to Avoid, Minimize or Mitigate Any Potentially Adverse Effects on the Neighborhood as a Whole Under 11-501 And Fails the Considerations on Review of 11-504

1. The crowded brick of 7-townhomes inconsistent with the set back and yard requirements will adversely affect the character of the neighborhood, traffic conditions and parking under 11-504(10)
2. The City cannot commit that the developer will maintain low-income housing while the downside of the crowding is irreversible
3. The plan fails the general purpose and intent under 1-102(B) to protect the established character of existing residential neighborhoods
4. The crowding of townhouses fails to reduce or prevent congestion in the public streets at the critical intersection of Echols and Seminary Road
5. The specific location is the wrong place for higher density

III. The Proposal Shows No Authority or Standards for Modification To the 60-Foot Set Back Requirement from Center Line of Seminary Road Under 7-1006 (D); The Proposal Fails That Requirement

1. The cluster regulations do not override this requirement
2. Wherever the right-of-way widths or building setback lines provided in this section 7-1006 require a greater setback than the front yard or setback requirements found elsewhere in this ordinance, the requirements of these provisions shall govern

IV. The Plan Does Not Provide the Required Yard Space or Landscaping on Lot Space as Under 7-1600 Where There Is a Shared Private Driveway

Under 7-1600 (F), lots created for townhouse dwelling units may include private alleys or drive ways but such private alleys or driveways must meet the open space requirement of 7-1600 (a) and (b) and may only be approved based on satisfying those requirements:

Location of parking. *Lots* created for townhouse dwelling units may include areas used, in whole or in part, for private alleys or driveways providing shared access to parking spaces in the rear or side yard for more than one dwelling unit and less than 17 dwelling units. Such shared access will require an access easement or other legal right as part of a development approval

and may only be approved if the planning commission finds that the following factors have been met.

(a) Open space. Sufficient open space and/or landscape areas are provided to mitigate the impact of the private alley or driveway, and should include either:

i. A rear and/or side yard of sufficient depth to provide useable yard space of ten feet or more in depth; or

ii. Enhanced landscape planting areas on the *lot*, and decorative pavement and/or a permeable paving surface on all private alleys or driveways that cross the property.

(b) Compatibility. The proposed shared private alley or driveway allows for a design solution that is compatible with and reinforces the urban form and character of adjoining and nearby properties.

There are no rear or side yards under the proposed plan. The status of outlot A under the plan is ambiguous with respect to this requirement. There appears to be reduction, in usable, open space and no additional mitigating open space provided.

V. The Plan Creates Substantial Parking Problems on Echols Avenue

Currently, no parking is allowed on the side of Echols Avenue at the site. The plan would add, likely, 14 extra cars. Seven might be handled by the proposed parking garages, but the garages are not realistically able to handle 14. As it is, we do not believe the turning situation is credible. If it snows and plowing, is required it will make the ability to turn even harder. Any visitors would never be able to make specific turns into the garages. This means significant reduction in available parking on Echols Avenue.

VI. The Plan Is Unfair and Unworkable for Residents and With Very Little Green Space

We live in a residential neighborhood where children can play in substantial yards or common space. There are no outside places for dogs. The usable common space that is green in the proposal for 7 Townhomes is very small. There are no ordinary back doors to this area. To cross from a townhouse to the very limited green space of proposed lot 500 one must go out the front door and then likely cross

a driveway where cars may be coming and going and visibility around the corner may not be great. This is simply not a good situation for families or children. Our yards have substantial decorations on holidays. Seminary Park and Seminary Heights have commons areas that are substantial. The proposal is to eliminate corner lot requirements, setbacks, and yards in a place where there is great deal of traffic on Seminary Road and Echols. The yard envisioned in the proposal consists of two side alleys which are less than 10 feet-wide and then a back alley behind the common driveway and is about 17.7 feet deep. In this common yard area is a bioretention facility and a transformer. This area is supposed to serve the residents of 7 townhomes.

For the reasons described above, we has the Commission not to approve this plan and to make sure staff addresses the issues of code interpretation are addressed so that the Commission and the citizens on this letter agree or agree to disagree for the next step, if any.

Seminary West Civic Association

MEMORANDUM

October 30, 2024

TO: Chairman and Members, City of Alexandria Planning Commission

CC: SWCA Board; Jared Alves, Dept. of Planning & Zoning

FROM: Owen P. Curtis, President, Seminary West Civic Association (SWCA)

RE: Docket Item 9, 11/07/24 Meeting: Development Special Use Permit #2024-10008, 5216 Seminary Road Townhomes

This memo presents the comments of the Seminary West Civic Association (SWCA) on the referenced docket item which proposes a cluster of seven rental townhouses in the heart of our community. SWCA has been in operation since 1977, and represents some 600 townhouse and detached single family homes from N Beauregard St. to the City Line, north of Holmes Run to the NVCC Campus. Our neighborhood is a well-blended mix of townhouses and single-family detached homes, with significant tree canopy.

A number of our members are directly affected by virtue of proximity to the proposed townhouses, living on Echols Avenue, Seminary Road, Fairview Court, or in the adjacent Seminary Park and Seminary Heights townhouse developments. Many of them have written a letter of opposition to this proposal, dated October 30, 2024, with their commentary coordinated by Mr. Nandan Kenkeremath. The Seminary West Civic Association fully supports the points and arguments presented in that letter.

Our concerns with this proposal encompass a number of points, of which the following are the key ones

- This building (45' tall x 150' wide, and set about 3' back from the sidewalk) is out of scale and of a design radically different from anything in our community. Echols Avenue is a significantly tree-lined street with either SF detached homes on the west side or 40+ year-old townhouses on the east side, all of which are set back 25 or more feet, with front yards well landscaped. The proposed building (it may be 7 townhomes, but it is one building) would fit well in the inner city, but not in Seminary West. The City's Zoning Code and the charge of Planning and Zoning is to work to develop the city in concert with and out of consideration to the existing form. This structure is NOT consistent with this community, and is a threat to its future.
- Given that the adjacent buildings behind and next to the proposed townhouses are townhouses developed 40 or more years ago, it is not the townhouse nature of the proposal that troubles us. Indeed, back when Seminary Park was under development, had the then-owner of the 5216 parcel come to terms of sale with

Seminary West Civic Association

Seminary Park's developer, this lot would look today just like the rest of Seminary Park, a concept we would welcome. Nothing has changed in the nature of this neighborhood since then, so there is no valid reason to construct something so out of scale (10 - 15 feet higher) and with no front yards, from the adjacent townhouses. Staff flags pedestrian safety as a reason that these units should not have driveways across the sidewalk on Echols. I have lived in Seminary West for 50 years, and in those years, with 600+ homes, there has never been a pedestrian struck by a vehicle going in or out of a driveway. Adding 5 driveways to the 600+ we have will not create a pedestrian safety issue.

- The cluster townhouse concept has come and is coming to other portions of Seminary West, e.g., Carters Lane adjacent to St. James Plaza and the future Upland Park. But in those areas, there was/is no existing urban form or design to be insulted by the aggressively inner-city urban cluster form. So, again, while we may not like the design, our objection is not on the cluster form *per se*, but rather that it is out of place on Echols Avenue and this portion of Seminary Road. We are also troubled by the fact that, compared to what the developer shared with us in their community meeting (the so-called By-Right Plan), this cluster concept greatly increases the impermeable surface from this parcel. And it takes away any significant green space for the residents in which they and their children could garden or recreate. Seminary West is well short of true open space (and a rooftop is NOT open space, nor is it green, despite how staff interprets things), so the design forces future renters to go long distances to find public green space in which to play.
- In the previously referenced letter from Mr. Kenkeremath and many others, a number of detailed points are raised, challenging whether the staff decisions on the proposal are legal or in keeping with the City codes. The letter raises many questions, for which staff needs to provide us with answers before this proposal should come for approval. We stand by and fully support that letter, and join in wanting to understand the answers to the questions raised therein before this proposal moves forward any further.
- Of significant concern with the proposal is that, if approved, it opens the door to dramatic change to a well-established, stable, and very green neighborhood. The Zoning for Housing (ZFH) changes in the Zoning Code of last December are very likely to be targeted to our neighborhood, where relatively affordable, older, smaller houses sit on generally larger lots. For decades, when developers requested rezoning anywhere from one lot to an entire block in our neighborhood to build townhouses, the City stood with us, and rejected any such changes as incompatible with the Small Area Plan, and an illegal spot zoning. So, instead, the past 30+ years have seen a number of SF homes purchased by a developer, demolished, and replaced by much larger homes (the so-called McMansions). Under ZFH, that type of sale and redevelopment likely turns to multiple units on a former SF lot. While this proposal already has RB (townhouse) zoning, and thus ZFH really does not apply, it nonetheless would be, with the cluster concept, a significant foot in the door for change in the neighborhood. Letting this cluster concept go forward, rather than building something compatible with the adjacent townhouses and their front yards, will open the dam to more such proposals. This is known as block-busting, something which greatly changed and damaged a number of US cities in

Seminary West Civic Association

the 1950s-60s, when it was race which was used to bust blocks and line the pockets of the real estate people who led the blockbusting. In our case, the insulting change to dense urban form would lead to adjacent SF homes' owners moving out, and their homes being bought up by developers who have NO concern for neighborhood viability - just a concern for their own finances. We urge you to stand up for neighborhood protection from this type of change. You can stop the potential blockbusting by remanding this proposal back to something fitting for our neighborhood.

Finally, we are very concerned that the staff has abdicated their duty to the residents of the City and our neighborhood in both how and why they have supported this proposal. Here's the reason I state that. The developer stated in the Community Meeting that they went for the cluster concept as directed by staff. I met with Mr. Moritz and Mr. Alves to learn whether the developer was told that because it was required by code. Mr. Moritz assured me it was not. Rather, staff told them to go for the cluster concept because "all townhouses in the city for nearly 20 years have been cluster design." When asked why, he stated the pedestrian crossing the driveway concern, one curb cut being preferred over several. And when I asked him why staff has not considered the very nature of the street and adjacent development - its design, its scale, its setback, et al, as required by our Zoning Ordinance, he replied "because we do not like nor want the outdated residential designs of the latter part of the last century."¹

We find it appalling that the Director of P & Z would let his and his staff's personal viewpoints on what constitutes desired design control their decisions on development proposals which MUST be decided on the basis of code. Such an approach is an abdication of the Director's responsibility to the public and duty to follow the law. For this reason alone this proposal needs to be remanded back to staff and the developer, with instructions to work with the community and bring forth a proposal that is in keeping with the City code.

Please do not approve this proposal. Please send it back so that the developer, City, and affected neighbors can work out a plan for the right number and form of townhouses on this parcel that makes sense, fits in with existing development, and becomes an asset for the City and Seminary West.

Thank you.



Owen P. Curtis
President
Seminary West Civic Association

¹ That is not a direct quote, and I did not record the meeting. But those words capture the essence of what he said.

From: [Jared Alves](#)
To: [Mary Bennett](#)
Cc: [PlanComm](#)
Subject: RE: [EXTERNAL]Town Homes proposed at 5216 Seminary Road
Date: Friday, November 1, 2024 3:18:13 PM

Hi Mary,

Thank you for your email. I've copied my colleague who will include it in the materials that the Planning Commission receives.

The applicant is exceeding the minimum open space requirement of 35% of the site for the project. The roof decks are included in the open space, but 5,000 sq. ft. are also provided at the ground level.

Best,
Jared

Jared Alves, AICP (he/his)
Urban Planner III
City of Alexandria, Virginia
Department of Planning & Zoning/Development Division
703.746.3812
alexandriava.gov

The City of Alexandria's 275th Anniversary

-----Original Message-----

From: Mary Bennett <mjbennett4873@gmail.com>
Sent: Friday, November 1, 2024 3:05 PM
To: Jared Alves <jared.alves@alexandriava.gov>
Subject: [EXTERNAL]Town Homes proposed at 5216 Seminary Road

[You don't often get email from mjbennett4873@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Mr. Alves,

This email is one of concern regarding the above town homes.

I am new to the area and did attend a Zoom Meeting several weeks ago and discussion of these town homes came up.

At that meeting I believe learned these townhomes es were going to be very close to the sidewalk, little or no green space. That makes no sense to me. Yes, we need more affordable housing, but families and neighborhoods need green space.

Also I learned there was to be a rooftop that would be a place for children to play. Again I don't understand how a rooftop takes the place, especially for children, who really need green space.

I feel all involved with this project should consider a better and more favorable plan for these townhomes.

Thank you.

Mary Jo Bennett

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From: [Linda Powell](#)
To: [PlanComm](#)
Subject: [EXTERNAL]5216 Seminary Road, November 7, Docket #9
Date: Sunday, November 3, 2024 3:42:53 PM

You don't often get email from lindaspowell34@gmail.com. [Learn why this is important](#)

I sent a version of this letter earlier, but did not have the meeting date and docket number, which I have now included along with some additional questions.

Greetings Department of Planning and Zoning,

As a 26-year resident of Echols Avenue in Alexandria, I am writing to express my alarm about the building that is proposed for a lot on our block, at 5216 Seminary Road. This apartment building is being described by the developer as townhouses. However, townhouses are individually owned, which is not the case with what is planned for 5216 Seminary Road. I am curious to know who is targeted to rent these units, as there is no green space at all for children or pets.

My concerns include destroying 34 mature trees, exacerbating an already challenging parking situation, and building a warehouse-type structure that looms over the sidewalk in an older neighborhood, where dwellings are set back at least 20 feet. It is especially concerning that the above-mentioned changes are in contradiction to objectives stated by the Department of Planning and Zoning:

“Create a **balance** of diverse, accessible, and **quality** green spaces and achieve net improvement of our **environment** through buildings and infrastructure.” The tree canopy here will be greatly reduced.

“Our work is to focus on **excellence** in **design** of spaces and buildings that improve people’s **quality** of life.” This design might fit in with some neighborhoods, but not ours, where every dwelling is set back with articulation and an actual roof. It is my understanding that the Director of Planning and Zoning has described the homes in our neighborhood as “the outdated residential designs of the latter part of the last century.” I would argue that the architecture of our neighborhood represents timeless design that transcends its era, integrates with its surroundings, both in terms of physical geography and cultural context, and remains appealing and functional long after its creation.

“We **partner** with other departments and the **community** to **create safe**, livable and well-designed neighborhoods while **protecting** cultural and environmental resources.” The additional demand for parking, the lack of green space, and the destruction of our environmental resources (trees) will make our neighborhood less livable.

“We plan with **equitable** solutions in mind by continuously seeking innovative ways to hear from all **voices** within the **community** and use that information to **balance** competing interests.” That’s why I am contacting you.

The project developers state that “The proposed development will **enhance the character of the neighborhood**...and “will be a **positive addition**.” My neighbors and I strongly disagree and feel that this is an insult to our lovely, leafy neighborhood. In recent zoom meetings, the attorney for the developer keeps saying in response to objections to the building’s design or lack thereof, “It’s 2024!” I sincerely hope that is not code for “We no longer care about the quality of design and architectural appropriateness in Alexandria.”

We would welcome any City Council or Commission members to come to Echols and take a look. I will be happy to show you around, as will my neighbors.

Thanks for your time,

Linda S. Powell

571-344-5148

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source.**

From: [Asa Orrin-Brown](#)
To: [PlanComm](#)
Subject: [EXTERNAL]Support for docket item 9, 5216 Seminary rd townhomes
Date: Monday, November 4, 2024 8:36:23 AM

You don't often get email from asaorribrown@gmail.com. [Learn why this is important](#)

We desperately need more housing for Alexandrians. I have seen multiple neighbors forced out of the city because they couldn't find a home here to buy at a price point under a million dollars. Townhomes and other multi family housing is critical to fill the need. I urge you to support this special use permit by Silverado Alexandria PropCo to help meet the need for housing in the city.

Asa Orrin-Brown

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7 November 2024

Members of the Alexandria Planning Commission,

As the Alexandria leadership team for YIMBYS of Northern Virginia, we ask you to vote yes to recommend approval of the townhouses at 5216 Seminary Road. This development will add seven desperately needed new homes to Alexandria West, including one committed affordable family-sized home. The townhouse development will also benefit the community with sidewalk and stormwater management improvements. Townhouse developments like this one should be legal to build on every sufficiently-sized lot in our city, and we hope you will make this happen in the next phase of Zoning for Housing.

We hope Alexandria will continue to welcome new homes of all types, all price points, and in all parts of our city to address our regional housing crisis and make our city better for everyone.

Phoebe Coy, Alex Goyette, Peter Sutherland, Stephanie Elms, and Trip Hook
YIMBYS of Northern Virginia Alexandria leads

Opposition To Plan For 7 Large Townhouses For 5216 Seminary Road

Presentation of Nandan Kenkeremath Addressing Mandatory
Requirements As Also Discussed In Letter Dated October 30, 2024

nandank@comcast.net

Certain Opposition Letters

- Opposition letter dated October 30, 2024, signed by Board of Seminary Park Community Association, Fairview Homeowners Association and 27+ citizens who Are owners near the site
- Opposition Memorandum of the Seminary West Civic Association dated October 30, 2024, which makes a number of points and “fully supports the points and arguments presented” in the [Seminary Park/Fairview Homeowners] letter.

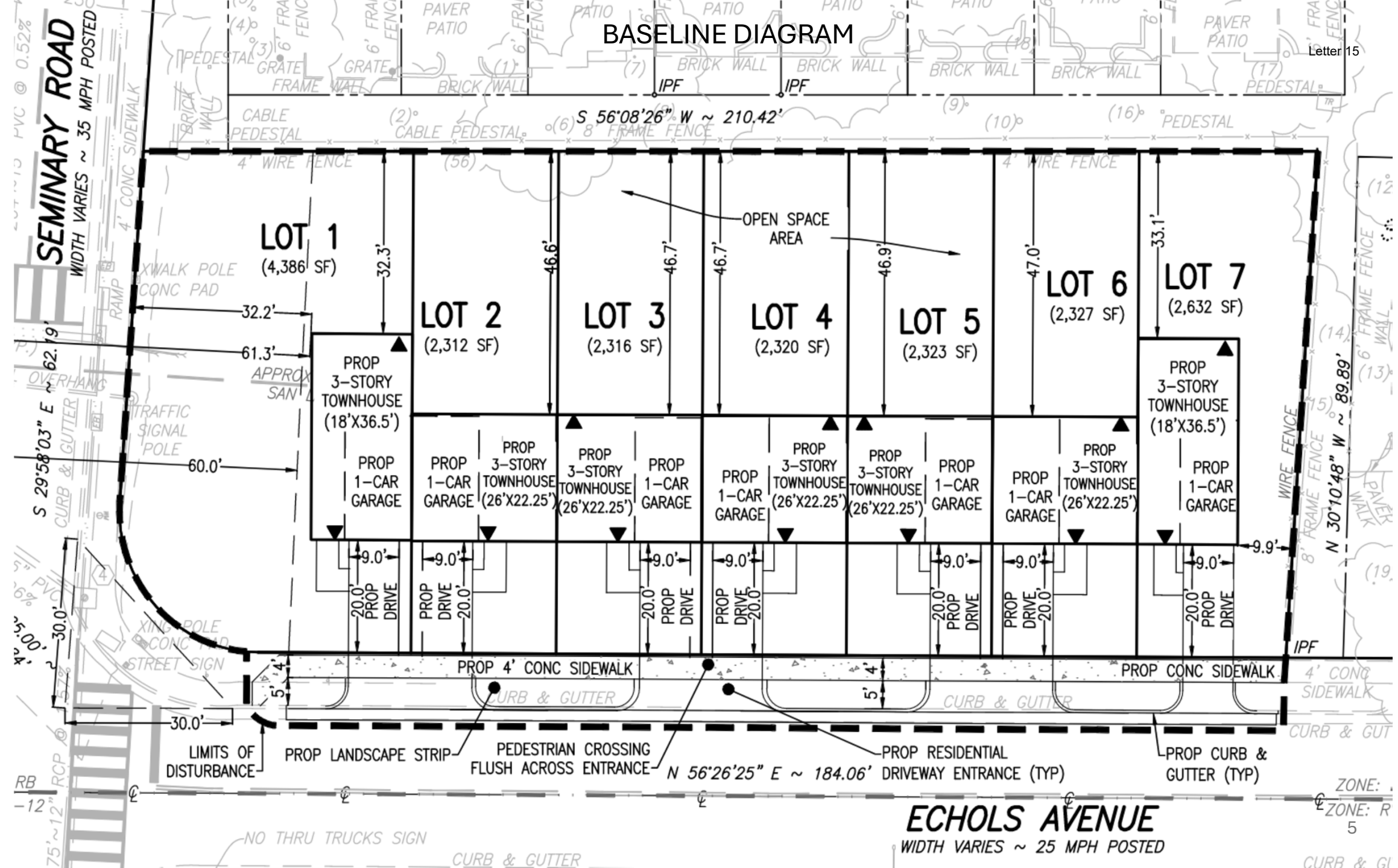
The Application Fails the Alexandria Zoning Ordinance

- The Applicant Fails to Meet the Full Requirements of the Cluster Design Ordinance Which Is the Critical Authority Under Which They Seek Modifications
- The Applicant Provided the Baseline To Evaluate the Cluster Design Requirements And We Need Not Address Other Hypotheticals
- The Application Does Not Meet These Cluster Design Requirements and Must Be Disapproved
 - The Opposition Has to Only Win One Argument Regarding the Mandatory Limits
 - The Staff Should Directly Address our Specific Code Arguments Before A Commission Decision To Approve

The Plan Fails 11-603(B) Floor Area Comparison Limits

- Under 11-605(B)(1), the applicant must present a baseline which includes “a general site layout plan depicting the density, design and development potential of the subject property under all regulations of the applicable zone without a cluster design”
- Under 11-603(B)– “The density of the cluster development shall not exceed the floor area and number of units which could have been developed under the applicable zone regulations without cluster approval....”
- The net floor area of the baseline townhouses is listed as 12, 617 SF versus 17,678 SF in the DSUP which violates 11-603(B)
- **The Staff Report misreads this requirement and appears to address floor area ratio limitations which are not the only issue under 11-603(B) and not our argument**

BASELINE DIAGRAM



ECHOLS AVENUE

WIDTH VARIES ~ 25 MPH POSTED

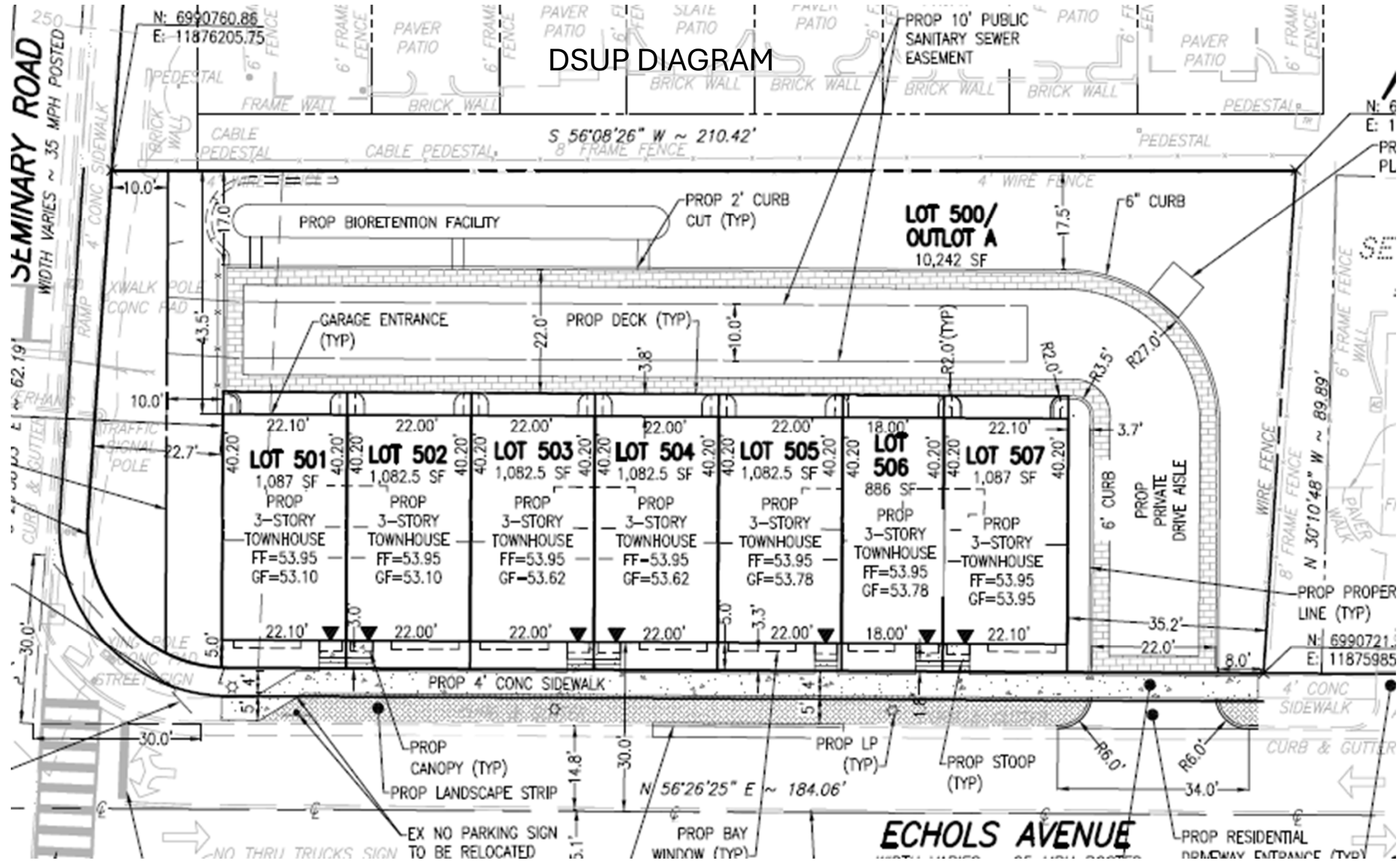
ZONE: R
5

The Applicant Fails By Using Smaller Townhouses In the Baseline Than They Intend For the DSUP (1)

- 11-605-(B)(1) requires a general layout plan depicting the density, design and development potential of the subject property under all regulations of the applicable zone without a cluster design
- The 7 larger townhouses would fail the ordinary requirements
 - The larger townhouses fail because a 20 ft front yard requirement + 40 ft townhouse + 44 ft rear yard requirement (1:1)=104 ft
 - The depth of the lot is only 90 ft
- The baseline townhouses are a lot smaller
 - As an example, the baseline townhouses are 29 feet high instead of 44 feet for the DSUP townhouses
 - The ground dimension is 26 ft x 22.25 ft for the 5 middle townhouses instead of what appears to be 22 ft x 40.2 feet for 4 of the middle in the DSUP Townhouses

The Applicant Fails By Using Smaller Townhouses Than They Intend As A Baseline (2)

- This staff approach makes a mockery of the number limitations under 11-603(B) of 5 dwelling unit minimum and the number of units limitation under since the applicant has not shown it can fit 5 large townhouses in the space and meet ordinary requirements
 - The number limitation assumes similar types of dwelling units as what is pursued for cluster development
- 11-602, 11-603, and 11-604 describe variation in lot areas and yards NOT building sizes



The Plan Fails 11-604 (A) Requirement For Equivalent Land For Specific Purposes

- 11-604(A) Lot size reduction. In each zone in which cluster development is allowed, the **lot size** may be reduced provided that an **equivalent amount of suitable land** in open space or common area is **preserved and maintained for its scenic or historic value, or for schools, community buildings, historic buildings or sites, or related uses.** Such common areas may be used as open space, recreational, or parking areas.
- “Related uses” refers to the earlier terms as does “such common areas”
- **The Staff Report at 10 and 12 misreads the requirement by ignoring the first sentence**
- The Plan fails the specific purposes test because common space is simply for a driveway and a small common land area unconnected to the purple language

Beyond the Purpose Limitations The Proposal Fails the Equivalent Land Determination

- The staff incorrectly calculates the reduction in lot size to be from zone RB minimum lot size requirements instead of from the baseline diagram which reflects the full range of issues that affect lot sizes
 - The latter include issues like corner lots, required set-backs and yard requirements
 - Staff calculates a deficit of (-6,446 SF) while we calculate (-11,230 SF) from the baseline diagram to determine the necessary “equivalent amount of suitable land.....”
- The 5,000 SF in Outlot A (that is does not include driveway) fails to meet either number
- The rooftop open space is not “suitable land”
- The driveway is not suitable land because it is not a yard replacement

Open and Usable Space Does Not Include Small Areas And Driveways

- Under 2-180 Open and usable space is that portion of a lot at ground level which is:
- (A) not less than eight feet in width and length [Front Yards in DSUP Fail this]
- (E) not used in whole or in part as roads, alleys....driveways
- Page 12 of the staff report states the RB zoning district requires 35% open and usable space, that may include landscaped roofs and other areas open to the sky, a point in conflict with 2-180
- The staff report at 12 appears to claim children or residents could play games on the driveway, even though visibility upon turning is an issue
- The thin 17.7 ft strip of green at the back is inadequate and children must access from the front doors unless they can open garage doors

The Original 18, 620 SF of Land Space Is Allocated to Several Categories

	Baseline SF	DSUP SF	Difference SF
Total Lot Sizes without Outlot & Street Dedication	18, 620	7,390	-11, 230
Total Lot Sizes only based on RB Minimum (Staff Interpretation)	13,860	7, 390	-6,446
Outlot	NA	10,218	10,218
Outlot open space	NA	5000	5000
Driveways Including Outlot	1, 260	About 5,200	3,940
Street Dedication	None	988	988
Building Footprint in Lots	4, 206	6,038	1, 832
Land Space in Lots Not Including Building Footprint, Outlot or Street Dedication	14, 414	1,376	-13,038
Open And Usable Land Space Including Outlot	14, 414	5,000	-9,414

Rear left corner



The Plan Fails 11-603 (G) Requirement To Comply With Yard Requirements For Abutting Property

- Under 11-603(G), The yard regulations applicable to any property abutting a residential cluster development shall also be applicable to the exterior boundary of the cluster development unless because of the location or other special circumstance of the cluster or abutting development, no benefit will be served by such a yard requirement
- The proposed townhouses are “exterior” because there is no “interior” surrounded by “exterior” townhouses
- Accordingly, the proposed townhouses must maintain normal yard regulations at least to the extent abutting property must

The Plan Fails The Seminary Road Set Back Requirement and Corner Lot Requirements

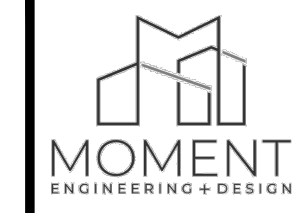
- The proposed building on proposed 501 violates the 60 ft set back from centerline of Seminary Road in 7-1006
- “Wherever the ...building set back lines provided in [7-1006] requires a greater set back ... the requirements of these provisions shall govern”
 - The cluster design modifications cannot overrule this requirement, and no authority and related procedure has been identified
- Staff identifies Lot 501 a corner lot on p 12 but disconnecting that lot via outlot A creates confusion and problems
 - Corner lot 501 must have front yards on both Seminary and Echols and frontage of the primary side of 38 feet
 - No front yard on Seminary is discussed
 - Corner lots should have ownership and control of the space between Seminary and the building
 - There is no 7-801 (clear vision triangle) on the property line of lot 501

The Plan Fails 11-606 Considerations

- 11-606(B) fails applicable regulations
- 11-606 (C) Substantial or undue adverse effects on adjacent property, the character of the neighborhood, and parking
- 11-606 (H) Cluster open space intended for recreation is not usable
- 11-606(I) 34 individual trees taken down
- 11-606(K) a row of townhouses includes no “diversity and originality in lot layout”
- 11-504(A)(1)—With no real play area and the need to go out the front door to get to the back this does not help safety for children

The Applicant Seeks At Least The Following Modifications From RB Zoning Rules

- Across the Board Modifications for Lots 501-507
 - Modify Echols front yard from 20ft to 3.6 ft to 5.7 ft
 - Modify minimum lot size from 1,980 SF to 866 SF to 1,099 SF
 - Modify requirement that 35% of a given lot area open and usable space
- Additional Modifications Corner Lot 501
 - Exception from 60 ft set back requirement from midline of Seminary Road to 51 feet (What is authority and process?)
 - Modify Seminary front yard from 20 ft to zero
 - Modify Echols front yard from 20 ft to 3.6 ft to 5.7 ft
 - Modify Side Yard (Back) facing Seminary Park from (1:3) (14.7 ft) to zero
 - Modify Echols lot width requirement from 38 to 22.33 ft
 - Modify Corner lot structure by intervening an outlot strip between Lot and Seminary Road
 - Fail Clear vision triangle on lot (Section) 7-801
- Lots 502-507
 - Modify Rear Yards from (1:1)(44 ft) to 3.0 ft to 4.8 ft
 - For 507 modify side yard from (1:3) 14.7 ft to zero



DC • VIRGINIA • MD
14101 PARKE LONG CT., ST. 205
CHANTILLY, VA 20151
Phone: 703.988.2350 • Email: info@msegllc.com
Website: www.msegllc.com

22x34 Plotted at 1/4" = 1'-0" - 11x17 Plotted at 1/8" = 1'-0"
VERITY BUILDERS LLC - 5216 SEMINARY RD
FRONT ELEVATION

DRAWN BY:	
RGI	
DATE: XX/XX/XX	
REV No.	DATE
XXX	XX-XX-XX

SHEET No.
A4.11



FRONT ELEVATION (LOT 501)
SCALE: 1/4" = 1'-0"

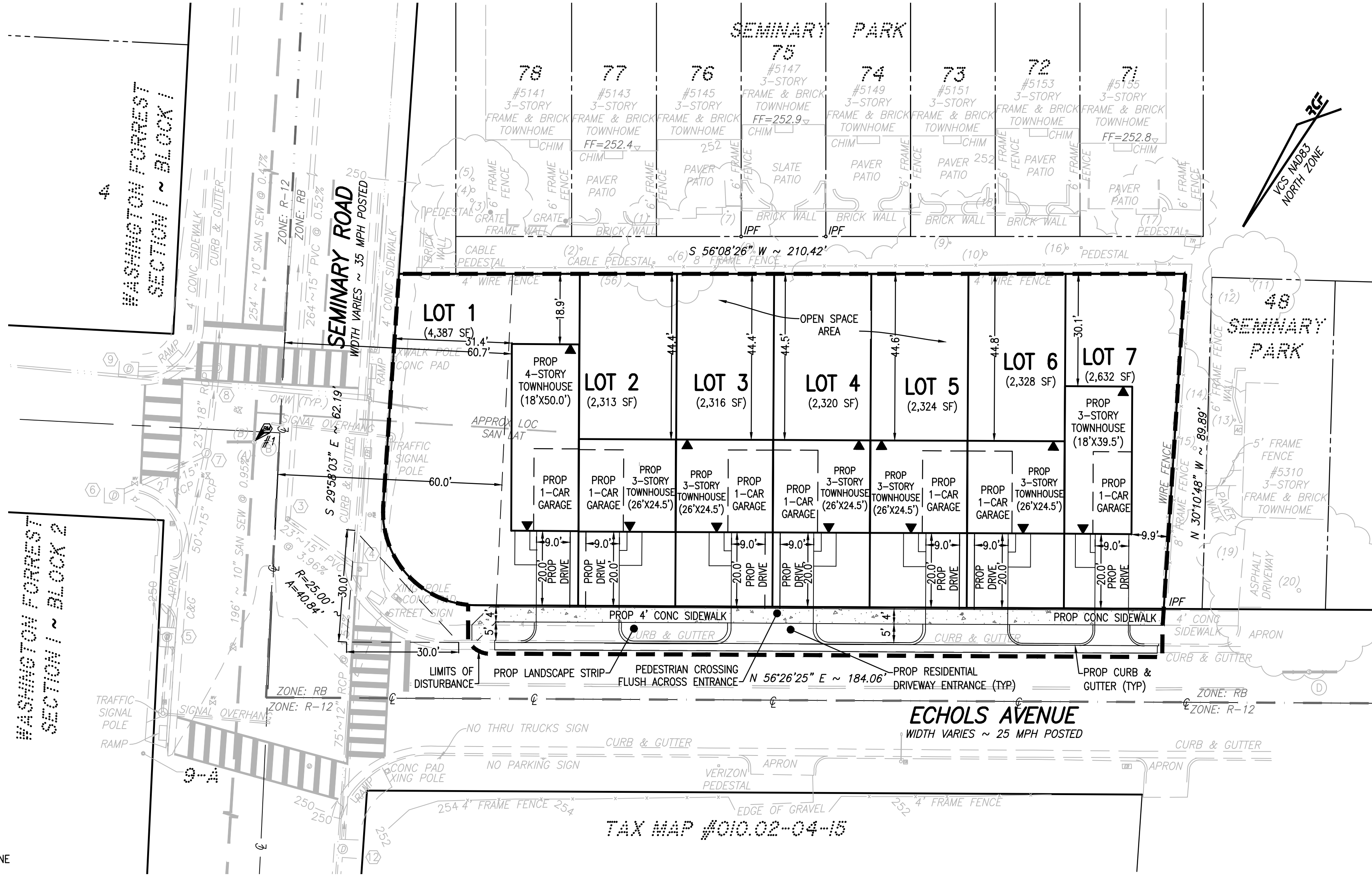
AVERAGE FINISHED GRADE
(LOT 501 - 52.45')

SYMBOLS LEGEND

Table with 3 columns: ITEM, EXISTING, PROPOSED. Lists various utility and structural symbols like fire hydrant, air conditioning unit, utility pole, etc.

TEXT LEGEND:

- List of abbreviations and their meanings: * = DEGREES, L = LUMENS, MINUTES (OR FEET), SECONDS (OR INCHES), PERCENT, etc.



ZONING TABULATIONS

- 1. TAX MAP #: #010.04-10-108
2. ZONE: EXISTING RB (TOWNHOUSE ZONE) PROPOSED RB (TOWNHOUSE ZONE)
3. USE: EXISTING RESIDENTIAL (SINGLE-FAMILY) PROPOSED RESIDENTIAL (TOWNHOUSE)
4. TOTAL SITE AREA: 18,620 SF (0.4275 AC) (COMPUTED) MINIMUM LOT AREA: 1,980 SF

Table with 5 columns: LOT, LOT AREA (SF), GROSS FLOOR AREA (SF), NET FLOOR AREA (SF), FLOOR AREA RATIO. Lists data for lots 1 through 7.

- 5. NUMBER OF DWELLINGS: 7 UNITS
6. DENSITY: PERMITTED 22 DU/ACRE (10 UNITS) PROPOSED 16.4 DU/ACRE (7 UNITS)
7. FLOOR AREA RATIO: PERMITTED 0.75 PROPOSED 0.75

Table with 5 columns: LOT, LOT AREA (SF), REQUIRED OPEN SPACE (35%), GROUND LEVEL OPEN SPACE, ABOVE GRADE OPEN SPACE, TOTAL OPEN SPACE PROVIDED. Lists data for lots 1 through 7.

- 10. HEIGHT: PERMITTED: 45 FEET PROPOSED: LOTS 1: 45 FEET LOTS 2-7: 29 FEET
11. FRONTAGE AND LOT WIDTH: REQUIRED: INTERIOR 18 FEET END 26 FEET CORNER 38 FEET

Table with 4 columns: LOT, REQUIRED, FRONTAGE, LOT WIDTH. Lists data for lots 1 through 7.

- 12. SETBACKS: REQUIRED: FRONT: 20 FEET SIDE: 8 FEET, 1:3 RATIO (END UNITS ONLY) REAR: 8 FEET, 1:1 RATIO

Table with 5 columns: LOT, FRONT, SIDE (EAST), SIDE (WEST), REAR (SOUTH). Lists setback data for lots 1 through 7.

- 13. PARKING TABULATIONS: REQUIRED 0 SPACES/TOWNHOUSE (WITHIN ENHANCED TRANSIT AREA) PROVIDED 7 (GARAGE) + 7 (SURFACE PARKING) = 14 SPACES

- 14. TRIP GENERATION: EXISTING AM PEAK 1.2 AVTE PROPOSED AM PEAK 4.7 AVTE EXISTING PM PEAK 1.4 AVTE PROPOSED PM PEAK 6.0 AVTE EXISTING VPD 9.4 AVTE PROPOSED VPD 12.1 AVTE (PER ITE STANDARDS) (PER ITE STANDARDS)



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R.C. FIELDS & ASSOCIATES, INC. ENGINEERING, LAND SURVEYING, PLANNING. 700 S. Washington Street, Suite 220 Alexandria, Virginia 22314

RB ZONE BY-RIGHT SITE PLAN EXHIBIT 5216 SEMINARY ROAD CITY OF ALEXANDRIA, VIRGINIA

Table with 2 columns: DATE, REVISION. Shows date 10/10/24 and revision ARCHITECTURAL CHANGES.

DESIGN: DJM CHECKED: VMM SCALE: AS NOTED DATE: NOV 11, 2024

RB ZONE BY-RIGHT SITE PLAN EXHIBIT

SHEET 01 OF 01 FILE: 22-146

DATE	REVISION
10/10/24	ARCHITECTURAL CHANGES

DESIGN: DJM
 CHECKED: VMM
 SCALE: 1" = 20'
 DATE: NOV 7, 2024

RB ZONE
 CLUSTER DEVELOPMENT EXHIBIT

ZONING TABULATIONS

- TAX MAP #: #010.04-10-108
- ZONE: EXISTING RB (TOWNHOUSE ZONE) PROPOSED RB (TOWNHOUSE ZONE) (CLUSTER)
- USE: EXISTING RESIDENTIAL (SINGLE-FAMILY) PROPOSED RESIDENTIAL (TOWNHOUSE)
- TOTAL SITE AREA: 18,620 SF (0.4275 AC) (COMPUTED) MINIMUM LOT AREA: *1,980 SF
 *MODIFICATION PERMITTED WITH CLUSTER DSUP
 PROPOSED LOT AREA:
 LOT 501: 1,099 SF LOT 503: 1,082.5 SF LOT 505: 1,082.5 SF LOT 507: 1,099 SF
 LOT 502: 1,082.5 SF LOT 504: 1,082.5 SF LOT 506: 886 SF LOT 500/OUTLOT A: 10,218 SF
 STREET DEDICATION: 988 SF ADJUSTED SITE AREA: 17,632 SF
- NUMBER OF DWELLINGS: 7 UNITS
- DENSITY: PERMITTED 22 DU/ACRE (10 UNITS) PROPOSED 16.4 DU/ACRE (7 UNITS)
- FLOOR AREA RATIO: PERMITTED 0.75
 PROPOSED 13,966 SF / 18,620 SF = 0.75
- FLOOR AREA:

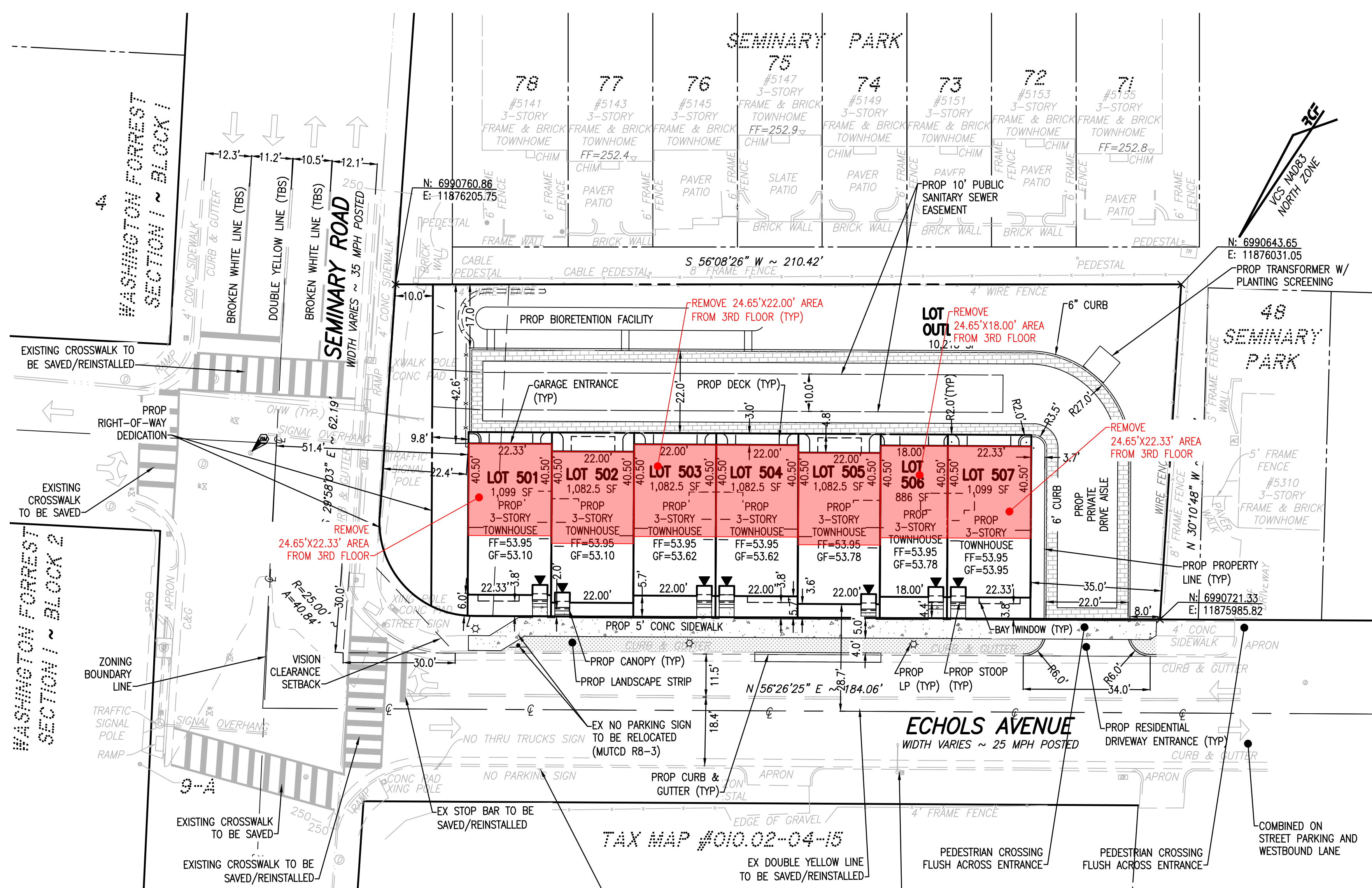
LOT	AREA (SF)	GROSS FLOOR AREA (SF)	NET FLOOR AREA (SF)
501	1,099	2,193	2,050
502	1,082.5	2,201	2,058
503	1,082.5	2,201	2,058
504	1,082.5	2,201	2,058
505	1,082.5	2,201	2,058
506	886	1,807	1,634
507	1,099	2,193	2,050
STREET DEDICATION	988	-	-
500/OUTLOT A	10,218	-	-
TOTAL	18,620	14,997	13,966
- OPEN SPACE: 35% OF TOTAL SITE AREA = 6,517 SF (15% OF OPEN SPACE SHALL BE CONTIGUOUS)
 REQUIRED: 6,517 SF
 PROPOSED: 9,400 SF (53.3% OF ADJUSTED SITE AREA) (POST-DEDICATION)
 5,000 SF GROUND LEVEL CONTIGUOUS OPEN SPACE (SEE OPEN SPACE EXHIBIT ON SHEET 02)
- AVERAGE FINISHED GRADE:
 PROPOSED:
 UNIT 501: 52.45' UNIT 503: 52.55' UNIT 505: 52.56' UNIT 507: 52.83'
 UNIT 502: 52.48' UNIT 504: 52.56' UNIT 506: 52.53'
- HEIGHT: ALLOWED: 45 FEET
 PROPOSED: 35 FEET TO MAIN ROOF + 3.5'-6.0' PARAPET, TOTAL = 38.5' - 41.0'
- FRONTAGE AND LOT WIDTH: REQUIRED: INTERIOR 18 FEET END 26 FEET CORNER 38 FEET
 PROPOSED:

LOT	REQUIRED	FRONTAGE	LOT WIDTH
501	26 FT	*22.33 FT	22.33 FT
502	18 FT	22.0 FT	22.0 FT
503	18 FT	22.0 FT	22.0 FT
504	18 FT	22.0 FT	22.0 FT
505	18 FT	22.0 FT	22.0 FT
506	18 FT	18.0 FT	18.0 FT
507	26 FT	*22.33 FT	22.33 FT

 *MODIFICATION PERMITTED WITH CLUSTER DSUP
- SETBACKS: REQUIRED: FRONT: 20 FEET
 SIDE: 8 FEET, 1:3 RATIO (END UNITS ONLY)
 REAR: 8 FEET, 1:1 RATIO
 PROPOSED:

LOT	FRONT*	SIDE (EAST)*	SIDE (WEST)	REAR*(SOUTH)
501	3.8 FT*	*0 FT	0 FT	3.0 FT*
502	3.6 FT*	0 FT	0 FT	4.8 FT*
503	5.7 FT*	0 FT	0 FT	3.0 FT*
504	3.8 FT*	0 FT	0 FT	3.0 FT*
505	3.6 FT*	0 FT	0 FT	4.8 FT*
506	5.7 FT*	0 FT	0 FT	3.0 FT*
507	3.8 FT*	0 FT	*0 FT	3.0 FT*

 *MODIFICATION PERMITTED WITH CLUSTER DSUP
- PARKING TABULATIONS: REQUIRED: NUMBER OF TOWNHOUSES: 7
 PARKING RATIO: 0 SPACES/TOWNHOUSE (WITHIN ENHANCED TRANSIT AREA)
 TOTAL MINIMUM REQUIRED PARKING SPACES: 0 SPACES
 PROVIDED: PRIVATE GARAGE PARKING SPACES: 7 STANDARD SPACES (1 STANDARD SPACE/TOWNHOUSE)
 TOTAL PARKING SPACES: 7 SPACES
- LOADING SPACES: REQUIRED: 0 PROPOSED: 0
- TRIP GENERATION: EXISTING AM PEAK 1.2 AVTE PROPOSED AM PEAK 4.7 AVTE
 EXISTING PM PEAK 1.4 AVTE PROPOSED PM PEAK 6.0 AVTE
 EXISTING VPD 9.4 AVTE PROPOSED VPD 12.1 AVTE
 (PER ITE STANDARDS) (PER ITE STANDARDS)



HATCH LEGEND:

	PROPOSED BRICK/DECORATIVE SIDEWALK OR DRIVE AISLE PAVERS
	PROPOSED CONCRETE RAMP/WALK
	PROPOSED 4' LANDSCAPE STRIP

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DATE	REVISION
10/10/24	ARCHITECTURAL CHANGES

DESIGN: DJM
 CHECKED: VMM
 SCALE: 1" = 20'
 DATE: NOV 7, 2024

RB ZONE
 CLUSTER
 DEVELOPMENT
 EXHIBIT W/
 DENSITY BONUS

SHEET **01** OF **01**
 FILE: **22-146**

ZONING TABULATIONS

- TAX MAP #: #010.04-10-108
- ZONE: EXISTING RB (TOWNHOUSE ZONE) PROPOSED RB (TOWNHOUSE ZONE) (CLUSTER)
- USE: EXISTING RESIDENTIAL (SINGLE-FAMILY) PROPOSED RESIDENTIAL (TOWNHOUSE)
- TOTAL SITE AREA: 18,620 SF (0.4275 AC) (COMPUTED) MINIMUM LOT AREA: *1,980 SF
 *MODIFICATION PERMITTED WITH CLUSTER DSUP
 PROPOSED LOT AREA:
 LOT 501: 1,099 SF LOT 503: 1,082.5 SF LOT 505: 1,082.5 SF LOT 507: 1,099 SF
 LOT 502: 1,082.5 SF LOT 504: 1,082.5 SF LOT 506: 886 SF LOT 500/OUTLOT A: 10,218 SF
 STREET DEDICATION: 988 SF ADJUSTED SITE AREA: 17,632 SF
- NUMBER OF DWELLINGS: 7 UNITS
- DENSITY: PERMITTED 22 DU/ACRE (10 UNITS) PROPOSED 16.4 DU/ACRE (7 UNITS)
- FLOOR AREA RATIO: PERMITTED 0.75 * 1.3 (30% ADU BONUS) = 0.975
 PROPOSED 0.950

LOT	AREA (SF)	GROSS FLOOR AREA (SF)	NET FLOOR AREA (SF)
501	1,099	2,743	2,600
502	1,082.5	2,743	2,600
503	1,082.5	2,743	2,600
504	1,082.5	2,743	2,600
505	1,082.5	2,743	2,600
506	886	2,251	2,078
507	1,099	2,743	2,600
STREET DEDICATION	988	-	-
500/OUTLOT A	10,218	-	-
TOTAL	18,620	18,709	17,678

- OPEN SPACE: REQUIRED 35% OF TOTAL SITE AREA = 6,517 SF (15% OF OPEN SPACE SHALL BE CONTIGUOUS)
 PROPOSED: 9,400 SF (53.3% OF ADJUSTED SITE AREA) (POST-DEDICATION)
 5,000 SF GROUND LEVEL CONTIGUOUS OPEN SPACE (SEE OPEN SPACE EXHIBIT ON SHEET 02)
- AVERAGE FINISHED GRADE: PROPOSED:
 UNIT 501: 52.45' UNIT 503: 52.55' UNIT 505: 52.56' UNIT 507: 52.83'
 UNIT 502: 52.48' UNIT 504: 52.56' UNIT 506: 52.53'
- HEIGHT: ALLOWED: 45 FEET
 PROPOSED: 35 FEET TO MAIN ROOF + 3.5'-6.0' PARAPET, TOTAL = 38.5' - 41.0'
- FRONTAGE AND LOT WIDTH: REQUIRED: INTERIOR 18 FEET END 26 FEET CORNER 38 FEET
 PROPOSED:

LOT	REQUIRED	FRONTAGE	LOT WIDTH
501	26 FT	*22.33 FT	22.33 FT
502	18 FT	22.0 FT	22.0 FT
503	18 FT	22.0 FT	22.0 FT
504	18 FT	22.0 FT	22.0 FT
505	18 FT	22.0 FT	22.0 FT
506	18 FT	18.0 FT	18.0 FT
507	26 FT	*22.33 FT	22.33 FT

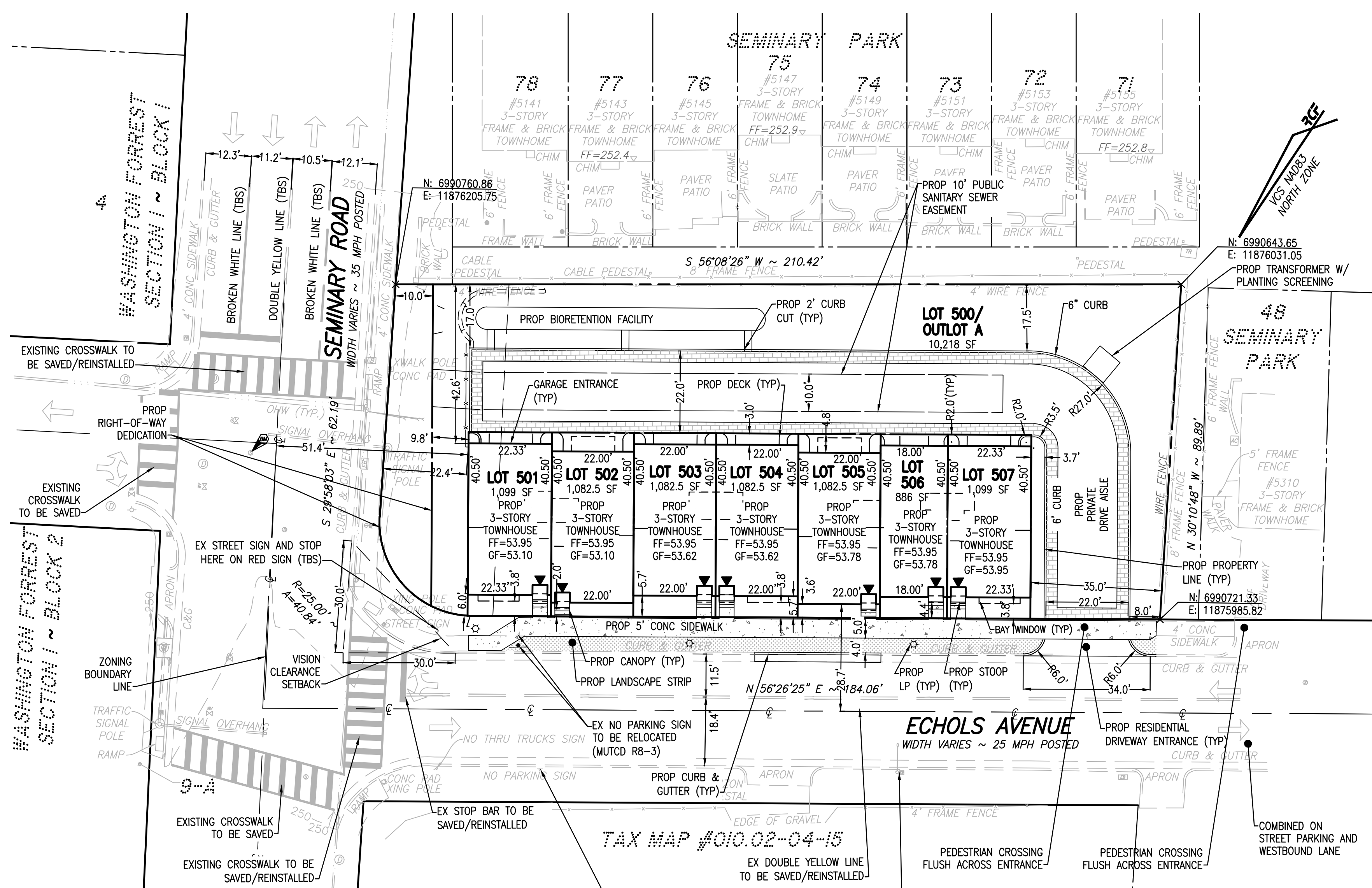
*MODIFICATION PERMITTED WITH CLUSTER DSUP

- SETBACKS: REQUIRED: FRONT: 20 FEET
 SIDE: 8 FEET, 1:3 RATIO (END UNITS ONLY)
 REAR: 8 FEET, 1:1 RATIO
 PROPOSED:

LOT	FRONT*	SIDE (EAST)*	SIDE (WEST)	REAR*(SOUTH)
501	3.8 FT*	*0 FT	0 FT	3.0 FT*
502	3.6 FT*	0 FT	0 FT	4.8 FT*
503	5.7 FT*	0 FT	0 FT	3.0 FT*
504	3.8 FT*	0 FT	0 FT	3.0 FT*
505	3.6 FT*	0 FT	0 FT	4.8 FT*
506	5.7 FT*	0 FT	0 FT	3.0 FT*
507	3.8 FT*	0 FT	*0 FT	3.0 FT*

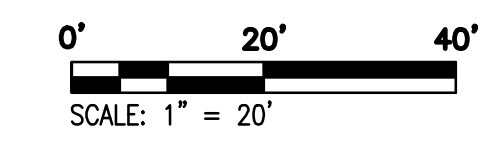
*MODIFICATION PERMITTED WITH CLUSTER DSUP

- PARKING TABULATIONS: REQUIRED: NUMBER OF TOWNHOUSES: 7
 PARKING RATIO: 0 SPACES/TOWNHOUSE (WITHIN ENHANCED TRANSIT AREA)
 TOTAL MINIMUM REQUIRED PARKING SPACES: 0 SPACES
 PROVIDED: PRIVATE GARAGE PARKING SPACES: 7 STANDARD SPACES (1 STANDARD SPACE/TOWNHOUSE)
 TOTAL PARKING SPACES: 7 SPACES
- LOADING SPACES: REQUIRED: 0 PROPOSED: 0
- TRIP GENERATION: EXISTING AM PEAK 1.2 AVTE PROPOSED AM PEAK 4.7 AVTE
 EXISTING PM PEAK 1.4 AVTE PROPOSED PM PEAK 6.0 AVTE
 EXISTING VPD 9.4 AVTE PROPOSED VPD 12.1 AVTE
 (PER ITE STANDARDS) (PER ITE STANDARDS)



HATCH LEGEND:

[Hatch Pattern]	PROPOSED BRICK/DECORATIVE SIDEWALK OR DRIVE AISLE PAVERS
[Hatch Pattern]	PROPOSED CONCRETE RAMP/WALK
[Hatch Pattern]	PROPOSED 4" LANDSCAPE STRIP



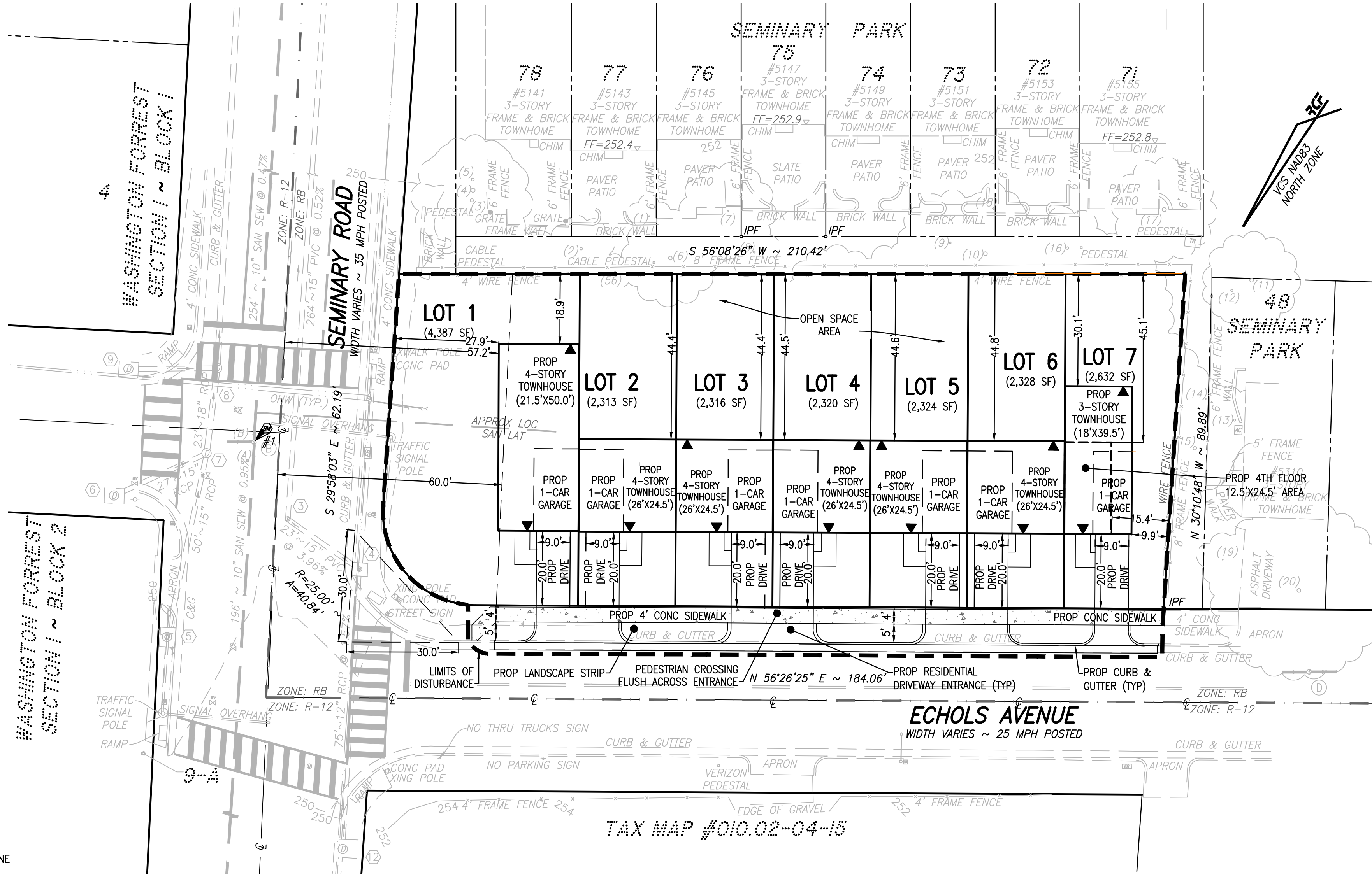
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ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
AIR CONDITIONING UNIT		
UTILITY POLE		
FIRE DEPARTMENT CONNECTION		
STORM STRUCTURE IDENTIFIER		
STORM MANHOLE		
STORM SEWER LAYOUT		
SANITARY STRUCTURE IDENTIFIER		
SANITARY MANHOLE		
SANITARY SEWER LAYOUT		
SIDEWALK		
SIGN		
SIGN (DOUBLE POST)		
GAS VALVE		
GAS LINE		
GAS METER		
IRRIGATION VALVE		
BOLLARD		
CLEANOUT		
WELL		
WATERLINE		
WATER VALVE		
WATER METER		
TRANSFORMER		
ELECTRIC MANHOLE		
ELECTRIC METER		
ELEC BOX/STRUCTURE		
ELECTRIC LINE		
TELECOMMUNICATION LINE		
CABLE LINE		
CABLE/ELECTRIC/TELECOMMUNICATION LINE		
TELECOMMUNICATION MANHOLE		
TELECOMMUNICATION STRUCTURE		
OVERHEAD STREET LIGHT		
LIGHT POLE		
LANDSCAPE LIGHT		
FENCES		
GRADING SPOT	+124.5	+24.50
GRADING CONTOUR	-124	-124
BUILDING ENTRANCE		
PAVING		
GUARDRAIL		
CURB AND GUTTER		
PROPOSED SPILL CURB		
PROPOSED TRANSITION/NOISE DOWN CURB		
LIMITS OF DISTURBANCE		

TEXT LEGEND:

• = DEGREES
 ' = MINUTES (OR FEET)
 " = SECONDS (OR INCHES)
 % = PERCENT
 # = NUMBER
 @ = AT
 lbs = POUNDS
 A = ARC
 AC = ACRE
 ADA = AMERICANS W/ DISABILITIES ACT
 APPROX = APPROXIMATE
 BC = BOTTOM OF CURB
 BF = BASEMENT FLOOR
 BFE = BASE FLOOD ELEVATION
 BLDG = BUILDING
 BM = BENCHMARK
 BSM = BASEMENT
 BOL = BOLLARD
 BW = BOTTOM OF WALL
 CATV = CABLE UTILITY
 CL = CLASS
 C/L = CENTERLINE
 CLR = CLEARANCE
 CLF = CHAIN LINK FENCE
 CMP = CORRUGATED METAL PIPE
 CI = CURB INLET
 CO = CLEAN OUT
 CONC = CONCRETE
 C&G = CURB & GUTTER
 CVR = COVER
 DB = DEED BOOK
 DHF = DRILL HOLE FOUND
 DIP = DUCTILE IRON PIPE
 DOM = DOMESTIC
 DU = DWELLING UNIT
 E = EAST
 EBOX = ELECTRICAL BOX
 ESMT = EASEMENT
 EP = EDGE OF PAVEMENT
 EVE = EMERGENCY VEHICLE EASEMENT
 EX = EXISTING
 FDC = FIRE DEPT. CONNECTION
 FF = FINISH FLOOR
 FH = FIRE HYDRANT
 FT = FEET
 GI = GRATE INLET
 G/L = GAS LINE
 GM = GAS METER
 G/S = GAS SERVICE
 GV = GAS VALVE
 HC = HEADER CURB
 HDPC = HANDICAP
 HDPE = HIGH DENSITY POLYETHYLENE
 HP = HIGH POINT
 HPS = HIGH PRESSURE SODIUM
 IPF = IRON PIPE FOUND
 INV = INVERT
 INSTR = INSTRUMENT
 INTX = INTERSECTION

IRF = IRON ROD FOUND
 L = LUMENS
 LAT = LATERAL
 LED = LIGHT EMITTING DIODE
 LL = LANDSCAPE LIGHT
 LOC = LOCATION
 LP = LIGHT POLE
 MAX = MAXIMUM
 ME = MATCH EXISTING
 MH = MANHOLE
 MIN = MINIMUM
 MON = MONUMENT
 MPH = MILES PER HOUR
 MRYL = MINIMUM REQUIRED YARD LINE
 MW = MONITORING WELL
 N = NORTH
 OHW = OVERHEAD WIRE
 PED = PEDESTRIAN
 PN = PANEL
 PG = PAGE
 PP = POWER POLE
 PROP = PROPOSED
 PVC = POLYVINYL CHLORIDE
 R = RADIUS
 RCP = REINFORCED CONCRETE PIPE
 RELOC = RELOCATED
 RET = RETAINING
 RESID = RESIDENTIAL
 REQ = REQUIRED
 ROW = RIGHT-OF-WAY
 S = SOUTH
 SAN = SANITARY
 SEW = SEWER
 SF = SQUARE FEET
 SQ FT = SQUARE FEET
 STM = STORM
 STR = STRUCTURE
 SW = SIDEWALK
 TBR = TO BE REMOVED
 TBS = TO BE SAVED
 TM = TAX MAP
 TMH = TELEPHONE MANHOLE
 TC = TOP OF CURB
 TW = TOP OF WALL
 TRAF SIG = TRAFFIC SIGNAL
 TYP = TYPICAL
 UGE = UNDERGROUND ELECTRIC
 UP = UTILITY POLE
 VCS = VIRGINIA COORDINATE SYSTEM
 VPD = VEHICLES PER DAY
 W = WEST
 W/L = WATER LINE
 WM = WATER METER
 W/S = WATER SERVICE
 WSE = WATER SURFACE ELEVATION
 WV = WATER VALVE
 WW = WINDOW WELL
 XING = CROSSING



ZONING TABULATIONS

- TAX MAP #: #10.04-10-108
- ZONE: EXISTING RB (TOWNHOUSE ZONE) PROPOSED RB (TOWNHOUSE ZONE)
- USE: EXISTING RESIDENTIAL (SINGLE-FAMILY) PROPOSED RESIDENTIAL (TOWNHOUSE)
- TOTAL SITE AREA: 18,620 SF (0.4275 AC) (COMPUTED) MINIMUM LOT AREA: 1,980 SF
- PROPOSED LOT AREA:
 LOT 1: 4,387 SF LOT 3: 2,316 SF LOT 5: 2,324 SF LOT 7: 2,632 SF
 LOT 2: 2,313 SF LOT 4: 2,320 SF LOT 6: 2,328 SF
- NUMBER OF DWELLINGS: 7 UNITS
- DENSITY: PERMITTED 22 DU/ACRE (10 UNITS) PROPOSED 16.4 DU/ACRE (7 UNITS)
- FLOOR AREA RATIO: PERMITTED 0.75 * 1.3 (30% ADU BONUS) = 0.975
 PROPOSED 17,678 SF / 18,620 SF = 0.95
- FLOOR AREA:

LOT	LOT AREA (SF)	GROSS FLOOR AREA (SF)	NET FLOOR AREA (SF)	FLOOR AREA RATIO
1	4,387	4,300	4,148	0.94
2	2,313	2,548	2,255	0.975
3	2,316	2,548	2,255	0.975
4	2,320	2,548	2,255	0.975
5	2,324	2,548	2,255	0.975
6	2,328	2,548	2,255	0.975
7	2,632	2,439	2,255	0.86
TOTAL	18,620	19,479	17,678	0.95

- OPEN SPACE: REQUIRED 35% PER LOT
 PROPOSED: SEE OPEN SPACE EXHIBIT ON THIS SHEET
- | LOT | LOT AREA (SF) | REQUIRED OPEN SPACE (35%) | GROUND LEVEL OPEN SPACE | ABOVE GRADE OPEN SPACE | TOTAL OPEN SPACE PROVIDED |
|-----|---------------|---------------------------|-------------------------|------------------------|---------------------------|
| 1 | 4,387 | 1,535 SF | 3,400 SF | 0 SF | 3,400 SF |
| 2 | 2,313 | 810 SF | 1,200 SF | 0 SF | 1,200 SF |
| 3 | 2,316 | 811 SF | 1,200 SF | 0 SF | 1,200 SF |
| 4 | 2,320 | 812 SF | 1,200 SF | 0 SF | 1,200 SF |
| 5 | 2,324 | 813 SF | 1,200 SF | 0 SF | 1,200 SF |
| 6 | 2,328 | 815 SF | 1,200 SF | 0 SF | 1,200 SF |
| 7 | 2,632 | 921 SF | 1,600 SF | 0 SF | 1,600 SF |

- HEIGHT: PERMITTED 45 FEET PROPOSED: 29 FEET TO 4TH STORY
 LOT 7: 45 FEET TO 4TH STORY, 29 FEET TO 3RD STORY
- FRONTAGE AND LOT WIDTH: REQUIRED: INTERIOR 18 FEET END 26 FEET CORNER 38 FEET

PROPOSED:

LOT	REQUIRED	FRONTAGE	LOT WIDTH
1	38 FT	128.0 FT	51.0 FT
2	18 FT	26.0 FT	26.0 FT
3	18 FT	26.0 FT	26.0 FT
4	18 FT	26.0 FT	26.0 FT
5	18 FT	26.0 FT	26.0 FT
6	18 FT	26.0 FT	26.0 FT
7	26 FT	26.7 FT	27.9 FT

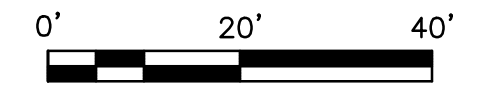
- SETBACKS: REQUIRED: FRONT: 20 FEET
 SIDE: 8 FEET, 1:3 RATIO (END UNITS ONLY)
 REAR: 8 FEET, 1:1 RATIO

PROPOSED:

LOT	FRONT	SIDE (EAST)	SIDE (WEST)	REAR (SOUTH)
1*	20 FT(N)/27.9 FT(E)	18.9 FT	0 FT	N/A
2	20 FT	0 FT	0 FT	44.4 FT
3	20 FT	0 FT	0 FT	44.4 FT
4	20 FT	0 FT	0 FT	44.5 FT
5	20 FT	0 FT	0 FT	44.6 FT
6	20 FT	0 FT	0 FT	44.8 FT
7	20 FT	0 FT	9.9 FT	30.1

* MODIFICATION OF SECTION 7-1006(D) FOR REDUCED SETBACK FROM THE CENTERLINE OF SEMINARY ROAD

- PARKING TABULATIONS: REQUIRED 0 SPACES/TOWNHOUSE (WITHIN ENHANCED TRANSIT AREA)
 PROVIDED 7 (GARAGE) + 7 (SURFACE PARKING) = 14 SPACES
- TRIP GENERATION: EXISTING AM PEAK 1.2 AVTE PROPOSED AM PEAK 4.7 AVTE
 EXISTING PM PEAK 1.4 AVTE PROPOSED PM PEAK 6.0 AVTE
 EXISTING VPD 9.4 AVTE PROPOSED VPD 12.1 AVTE
 (PER ITE STANDARDS) (PER ITE STANDARDS)



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R.C. FIELDS & ASSOCIATES, INC.
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RB ZONE
 SITE PLAN EXHIBIT WITH DENSITY BONUS
 5216 SEMINARY ROAD
 CITY OF ALEXANDRIA, VIRGINIA

DATE	REVISION
10/10/24	ARCHITECTURAL CHANGES

DESIGN: DJM
 CHECKED: VMM
 SCALE: AS NOTED
 DATE: NOV 7, 2024

RB ZONE SITE PLAN EXHIBIT WITH DENSITY BONUS