

# City of Alexandria, Virginia

## MEMORANDUM

**DATE:** MARCH 20, 2013

**TO:** CHAIRMAN AND MEMBERS OF THE OLD AND HISTORIC  
ALEXANDRIA DISTRICT BOARD OF ARCHITECTURAL REVIEW

**FROM:** HISTORIC PRESERVATION STAFF

**SUBJECT:** CONCEPT REVIEW OF 333 NORTH ROYAL STREET AND 316 PRINCESS  
STREET / THE MIDDLETON  
BAR CASE #2012-0407

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### **I. SUMMARY**

#### *Concept Review*

The material now before the Board is part of a BAR *Concept Review* for four townhouses proposed at 333 North Royal Street and 316 Princess Street, the site of the current Royal Market and former dry cleaner. The Concept Review Policy was adopted by the two Boards of Architectural review in May 2000 (attached). Concept Review is an informal process at the beginning of a Development Special Use Permit (DSUP) application whereby the BAR provides the applicant, staff, the Planning Commission and the City Council with comments relating to the overall appropriateness of a project's height, scale, mass and general architectural character. The Board takes no formal action at the Concept Review stage. However, if, for instance, the Board believes that a building height or mass, or area proposed for demolition, is not appropriate and would not be supported in the future, the applicant and staff should be advised as soon as possible. This early step in the development review process is intended to minimize future architectural design conflicts between what is shown to the community and City Council during the DSUP approval and what the Board later finds architecturally appropriate under the criteria in Chapter 10 of the Zoning Ordinance and the BAR's adopted *Design Guidelines*.

The drawings in the applicant's package have significantly more detail than is typical for a Concept Review and this amount of detail is more commonly what is provided for the BAR's initial review of a Certificate of Appropriateness application. Therefore, it is important for the Board to express any concerns and to provide general design comments now but the applicant must remember that the design details, materials, textures, colors, and the like are subject to further architectural refinements when the Board formally reviews the Certificate of Appropriateness following City Council approval of the DSUP. Therefore, not commenting on a design detail or material should not necessarily be interpreted as support by the Board.

Although the applicant has not submitted an application for a Permit to Demolish, the Board should comment and advise upon the proposed demolition of the existing Royal Street Market building and dry cleaner building with respect to the criteria for a Permit to Demolish outlined in the Zoning Ordinance. Again, these comments are for advice only and are not intended to bind the Board during the Permit to Demolish and Certificate of Appropriateness approval phase, should additional information be presented in the future.

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

**III. STAFF ANALYSIS**

Initial Proposal and Site Context

The applicant first contacted Planning & Zoning staff in the fall of 2012 regarding the redevelopment of this site.

333 North Royal Street is located at the northern boundary of the Old and Historic Alexandria District. While there is a block face of historic townhouses immediately to the south, there is also substantial non-historic construction to the east, west and north where there is a mix of garden-style public housing and recent townhouses. In addition, the subject property is located in a noticeable valley with the site sloping downward from southeast to northwest.

Staff found the initial proposal to be over-scaled, overwhelming the adjacent historic buildings and to be in need of refinement of architectural styling and details.



1 ROYAL STREET ELEVATION  
A4 SCALE: 1/8" = 1'-0"

Figure 1. First submission, Royal Street elevation.



1 PRINCESS STREET ELEVATION  
A5 SCALE: 1/8" = 1'-0"

Figure 2. First submission, Princess Street elevation.

Permit to Demolish and Site History

The applicant has not submitted any information regarding the history of the site and existing buildings however BAR staff has done some preliminary research. 333 North Royal is occupied by a one-story brick structure and paved asphalt parking lot owned by Royal Marketplace. The building that Royal Market occupies was constructed between 1941 and 1958 according to Sanborn Fire Insurance Maps. The detached structure at 316 Princess Street is a rectilinear building and consists of three main blocks. The first block, which faces Princess Street, is a one-story frame and cinderblock structure. The second block is two-stories and faced in stucco. The last block, at the southernmost end, is one-story and faced in stucco. According to Sanborn Fire Insurance Maps, the building was constructed for H.T. Beach and Brothers between 1913 and 1921. The simple and utilitarian building has been used at one time or another as a storage shed, poultry house, church and dry cleaner.

While both buildings are over fifty years old, they have both been significantly altered and modified over the years. Furthermore, neither building relates to the nearby townhouses of historic merit. At this time, based on preliminary information, Staff does not find a reason to oppose demolition of the two buildings, though this site may possess important cultural history that Staff is not aware of. Therefore, at this time and, again, based on information at hand, Staff believes that the criteria for demolition are not met. However, if the Board has any hesitation regarding demolition of either building or has additional information that would support its preservation, members should let the applicant and Staff know at this time.

Alexandria Archaeology also notes that the subject property may be the original location of St. Mary's Catholic Church beginning in the 1770s when it was described as "a small log cabin on the corner of Royal and Princess streets." Which corner of the intersection is open to question. By 1795 the church moved to south Old Town. The church's cemetery may have been located nearby, although like the church itself, an exact location for the cemetery remains unknown.

Current Proposal

The current submission is for four townhouses featuring varied heights and setbacks in a range of architectural styles. The corner building is the most visually and architecturally prominent with a three-story tower element anchoring the corner and a Richardsonian Romanesque architectural style. The brick townhouse will feature a coarse stone base, an arched front entry and arched windows on the first story. The secondary elevation is on Princess Street and echoes the forms seen on the front elevation as the tower element wraps the corner. There is a prominent mansard roof at the third story and a balanced fenestration. At the rear is a one-story addition with a second floor balcony.

The two interior townhouse units are a matching set of two and one-half story brick townhouses with a projecting two-story bay. The roof has an intersecting front-facing gable. The first floor bay has a tripartite window with transoms above. At the attic level there is a small arched French door with a balcony. The architectural style of these two townhouses has both Italianate and Craftsman detailing.

The southernmost townhouse, adjacent to the historic townhouses, is the smallest of the four townhouses. It is a two and one-half story townhouse with a stone foundation with a Colonial

Revival architectural style. The first floor features a tripartite window with transoms. The attic story has two dormers. Due to the side yard setback, the south side elevation has a typical side fenestration pattern and the gable roof outline is visible.

The rear elevations of the four townhouses are plain with contemporary townhouse fenestration and fiber cement siding.

The proposed materials at this time include: brick, stone veneer at some foundations, aluminum-clad windows, synthetic slate shingles and iron stairs and handrails.

### Analysis of Plans

The BAR's *Design Guidelines* only require that new buildings be compatible with nearby buildings of historic merit and do not mandate the use of historic styles for new construction but do state that where new buildings recall historic buildings, that the architectural details used throughout the building should be consistent with that same style and that the building should not be a slavish replica of any particular building in the district. The historic district features a range of architectural styles from which to consider when constructing new townhouses.

Staff finds that the proposed new construction is in keeping with the scale and character of this particular section of the historic district. There are contemporary townhouses on three sides of the project that are all three and four stories in height. The southernmost townhouse of this project steps down in size and sets back from the adjacent historic townhouses to the south, respecting the historic character and allowing the historic townhouses to remain prominent. The site placement allows for full use of the rear alley and will sufficiently screen the required parking. In addition, the varied setbacks and variety of stoop configurations promote a desirable streetscape variety.

Staff has met several times with the applicant as part of the initial development review process and in preparation for the BAR concept review. Staff has reviewed a few iterations of the plans and it is important to note that the applicant has addressed some of staff's initial concerns with the current submission. What follows is a review and analysis of recommendations as the design evolves:

### Define a clear architectural style to be applied consistently at each building

Staff supports the use of different architectural styles for the project and finds that a range of styles contributes to the project's visual interest. Staff finds that the corner unit in the Richardsonian Romanesque style is the most successful townhouse. The two interior townhouses need a more clearly defined architectural style and the Colonial Revival end townhouse needs further refinement. In particular, the oversized casement windows on the interior townhouses should be reconsidered. While the use of transoms at the first story windows helps add visual height and creates a façade hierarchy, staff would prefer that larger windows be used in place of the proposed window plus transom.

### Refine detailing for dormers, window trim and door surrounds

Trim and door surrounds generally are a design detail that gets refined during a Certificate of Appropriateness review. However, in this case, staff believes that further refinement should be considered now, as the architectural styles are being more clearly defined.

Consider use of an enclosed porch vocabulary (one or two stories) on the rear of the corner building

The one-story rear addition at the corner building is similar in material and architecture to the main block of the townhouse. However, in many instances rear additions are differentiated by a change in material or different architectural vocabulary. Often, such additions are designed as enclosed porches. Staff recommends that this be studied for this element and notes that it could be either one or two stories. Using a different architectural vocabulary will also help to break up the massing along this secondary front.

Continue to revise rear elevations and carry materials around to rear elevation

The applicant is proposing high-quality materials on the front elevations of all four townhouses however the rear elevations all have fiber cement siding and all have the same window type and configuration. At a minimum, the brick should continue to the rear at the more visible corner unit and the applicant should study how to improve the relationship between the corresponding front and rear elevations.

Next Steps

At this time, the project is currently under review for the Preliminary Site Plan pursuant to the Development Special Use Permit (DSUP2012-0029). Planning & Zoning development staff are completing a final review to ensure zoning ordinance compliance. It is anticipated that the proposal will be reviewed by Planning Commission and City Council in May 2013 and that the applicant will return to the BAR with a formal application for a Permit to Demolish and Certificate of Appropriateness, which may include any necessary waivers, such as for the rooftop HVAC screening requirement, in June or July 2013. The applicant should continue to work with Staff as plans are refined to ensure continued conformance with BAR requirements and to work out final design details.

**IV. STAFF RECOMMENDATION**

Staff recommends that the Board find that none of the Criteria for a Permit to Demolish as described in the Zoning Ordinance are met at this time and that the Board find that the concept design for the proposed development to be appropriate with respect to the scale, mass and general architectural character of the Old and Historic Alexandria District with the following considerations when the applicant returns for approval of a Permit to Demolish and Certificate of Appropriateness:

1. That the design team will work with BAR Staff to define a clear architectural style for each townhouse and refine the materials and architectural details on the buildings prior to submission for Certificate of Appropriateness, as discussed above.
2. That the applicant consider a one or two story enclosed porch character for the rear addition on the corner unit.
3. That the rear elevations be further refined and designed so that materials and details coordinate with the corresponding front elevation.

## **V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

### **Planning and Zoning: Development Section**

#### **Building Design** (DSUP2012-0029)

1. The design of the townhouses continues to evolve in a positive way. Staff recommends that the applicant continue to work with staff on design refinements. In particular, the following items should be considered:
  - a. Lower the stone veneer on the corner townhouse to the height of the front door threshold similar to the most southern townhouse.
  - b. Setback the one story rear room a few inches from the face of the main part of the townhouse so this element reads as an addition
  - c. Wrap the brick around to the entire rear façade of the corner unit. If siding is desired it may be appropriate to use it on the one story rear projection.

#### **Findings**

2. The project is currently under review for the Preliminary Site Plan with city comments due to the applicant on or about March 21.

### **Archaeology**

*If and when this project moves forward, the Archaeology comments and findings below are what shall apply to this project.*

- R-1 Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)
- R-2 The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological fieldwork has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. \* (Archaeology)
- R-3 If the Documentary Study requested in the above comment discovers archaeological resources, Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.\*\*\* (Archaeology)

- R-4 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- R-5 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- F-1 The subject property may be the original location of St. Mary's Catholic Church beginning in the 1770s when it was described as "a small log cabin on the corner of Royal and Princess streets." Which corner of the intersection is open to question. By 1795 the church moved to south Old Town. The church's cemetery may have been located nearby, although like the church itself, an exact location for the cemetery remains unknown. In 1810 tax assessors did not assess the south side of Princess St. between Royal and Fairfax streets, a possible indication that it was church-owned at that time, and therefore not taxable. By 1820 the John West estate owned one of the corner lots at Royal and Princess—which one is not clear—and rented the house valued at \$500 to Isaac Riggs. Henry Dangerfield owned the corner lot in 1850 which was vacant at this time and worth \$200. In 1877 an ell shaped structure fronted on both Royal and Princess streets. The building still stood in 1885 and appears to be labeled on a map as "Liquors." The same building is depicted on the lot in 1907, but a 1927 aerial photograph shows the corner lot as vacant and a single row house on the 316 Princess Street parcel. By 1941 the current building—now the Royal Market—had been built.
- F-2 Given the fact that the west half of the lot is paved, and this may have preserved subsurface archaeological deposits, including evidence of the original St. Mary's Catholic Church and possibly an associated cemetery, it is possible that archaeological resources relating to eighteenth-century religious activities could be present.
- F-3 If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.
- C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

### **Code Administration**

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If

there are any questions, the applicant may contact Ken Granata, Plan Review Services Division Chief, at ken.granata@alexandriava.gov or 703.746.4193.

- C-1 A building and trade permits are required for this project. Five sets of *construction documents* that fully detail the construction as well as framing schematics shall accompany the permit application(s). If a Virginia licensed design professional prepares drawings, the plans shall bear the signature and seal of the Virginia licensed design professional in accordance with the Code of Virginia Section 54.1-410B.
- C-2 Wall bracing system to adequately transfer lateral loads (wind governing) to the foundation is required for building permit. Provide one of the three following methods: 1) a prescriptive wall bracing method; 2) a proprietary performance system tested and approved by a nationally recognized testing agency; or 3) a signed and sealed lateral resistance system designed by a licensed design professional (Structural Engineer) in the Commonwealth of Virginia (provide original document)
- C-3 A one-hour fire-resistance-rated exterior wall assembly (exposure from both sides) for all exterior walls within 5ft from the property-line is required for building permit. Provide one of the following: 1) a performance system tested approved by a nationally recognized testing agency, i.e. UL assembly or ICC Evaluation Report; or 2) provide an assembly description based on the Virginia Construction Code "Prescriptive Fire Resistance".

#### **Transportation and Environmental Services (T&ES)**

- R-1 Comply with all requirements of DSP2012-00029, which currently under review by staff as a Concept #2 submission. (T&ES)
- R-2 The Final Site Plan must be approved and released and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the Final Site Plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

#### **ATTACHMENTS**

- 1 – Supporting Materials*
- 2 – BAR Conceptual Review Policy, 5/3/00*



# DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address THE MIDDLETON - Lot 604 Zone RM  
 A2. 1,985 x 1.5 = 2,977  
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
<b>Total Gross *</b>			

B1. Existing Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
 \_\_\_\_\_ Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	979.5	Basement**	979.5
First Floor	979.5	Stairways**	234
Second Floor	979.5	Mechanical**	15
Third Floor	979.5	Other**	_____
Porches/ Other	_____	Total Exclusions	1,228.5
<b>Total Gross *</b>	<b>3,918</b>		

C1. Proposed Gross Floor Area \*  
3,918 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
1,228.5 Sq. Ft.  
 C3. Proposed Floor Area minus  
 Exclusions 2,689.5 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2,689.5 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 2,977 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	_____
Required Open Space	695
Proposed Open Space	780

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_ Date: 2-14-13



# DEPARTMENT OF PLANNING AND ZONING

## FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address THE MIDDLETON - LOT 603 Zone RM

A2. 1,865 x 1.5 = 2,797  
Total Lot Area                      Floor Area Ratio Allowed by Zone                      Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	/	Basement**	/
First Floor	/	Stairways**	/
Second Floor	/	Mechanical**	/
Third Floor	/	Other**	/
Porches/ Other	/	Total Exclusions	/
<b>Total Gross *</b>			

B1. Existing Gross Floor Area \*  
                     Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
                     Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
                     Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	1,132.5	Basement**	1,132.5
First Floor	1,132.5	Stairways**	225
Second Floor	977.5	Mechanical**	15
Third Floor	946.4	Other** ELEVATOR	86.4
Porches/ Other	—	Total Exclusions	1,458.9
<b>Total Gross *</b>	4,188.9		

C1. Proposed Gross Floor Area \*  
4,188.9 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
1,458.9 Sq. Ft.  
 C3. Proposed Floor Area minus Exclusions  
2,730 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2,730 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 2,797 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	—
Required Open Space	653
Proposed Open Space	661

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:  Date: 2.14.13



# DEPARTMENT OF PLANNING AND ZONING

## FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address THE MIDDLETOWN - LOT 602 Zone RM

A2. 1,864 x 1.5 = 2,796

Total Lot Area                      Floor Area Ratio Allowed by Zone                      Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
<b>Total Gross *</b>			

B1. Existing Gross Floor Area \*  
           Sq. Ft.

B2. Allowable Floor Exclusions\*\*  
           Sq. Ft.

B3. Existing Floor Area minus Exclusions  
           Sq. Ft.  
(subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	1,132.5	Basement**	1,132.5
First Floor	1,132.5	Stairways**	225
Second Floor	977.5	Mechanical**	15
Third Floor	946.4	Other** ELEVATOR	86.4
Porches/ Other	—	Total Exclusions	1,458.9
<b>Total Gross *</b>	4,188.9		

C1. Proposed Gross Floor Area \*  
4,188.9 Sq. Ft.

C2. Allowable Floor Exclusions\*\*  
1,458.9 Sq. Ft.

C3. Proposed Floor Area minus Exclusions  
2,730 Sq. Ft.  
(subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2,730 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 2,796 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	—
Required Open Space	652
Proposed Open Space	661

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:  Date: 2-14-13



## DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address THE MIDDLETON - LOT 601 Zone RM  
 A2. 2048 x 1.5 = 3072  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
<b>Total Gross *</b>			

B1. Existing Gross Floor Area \*  
 \_\_\_\_\_ Sq. Ft.  
 B2. Allowable Floor Exclusions\*\*  
 \_\_\_\_\_ Sq. Ft.  
 B3. Existing Floor Area minus Exclusions  
 \_\_\_\_\_ Sq. Ft.  
 (subtract B2 from B1)

### C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	1156.7	Basement**	1156.7
First Floor	1156.7	Stairways**	246
Second Floor	996.7	Mechanical**	—
Third Floor	996.7	Other** ELEVATOR	86.4
Porches/ Other	—	Total Exclusions	1489.1
<b>Total Gross *</b>	<b>4306.8</b>		

C1. Proposed Gross Floor Area \*  
4306.8 Sq. Ft.  
 C2. Allowable Floor Exclusions\*\*  
1489.1 Sq. Ft.  
 C3. Proposed Floor Area minus  
 Exclusions 2817.7 Sq. Ft.  
 (subtract C2 from C1)

### D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2817.7 Sq. Ft.  
 D2. Total Floor Area Allowed by Zone (A2) 3072 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	—
Required Open Space	717
Proposed Open Space	739

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

Date: 3/4/13

CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT  
 PLAN SUBMITTAL



**1** BASEMENT PLANS  
 A1 SCALE: 1/4" = 1'-0"



THE MIDDLETON  
 333 N ROYAL STREET ALEXANDRIA, VIRGINIA 22314  
 BASEMENT PLANS

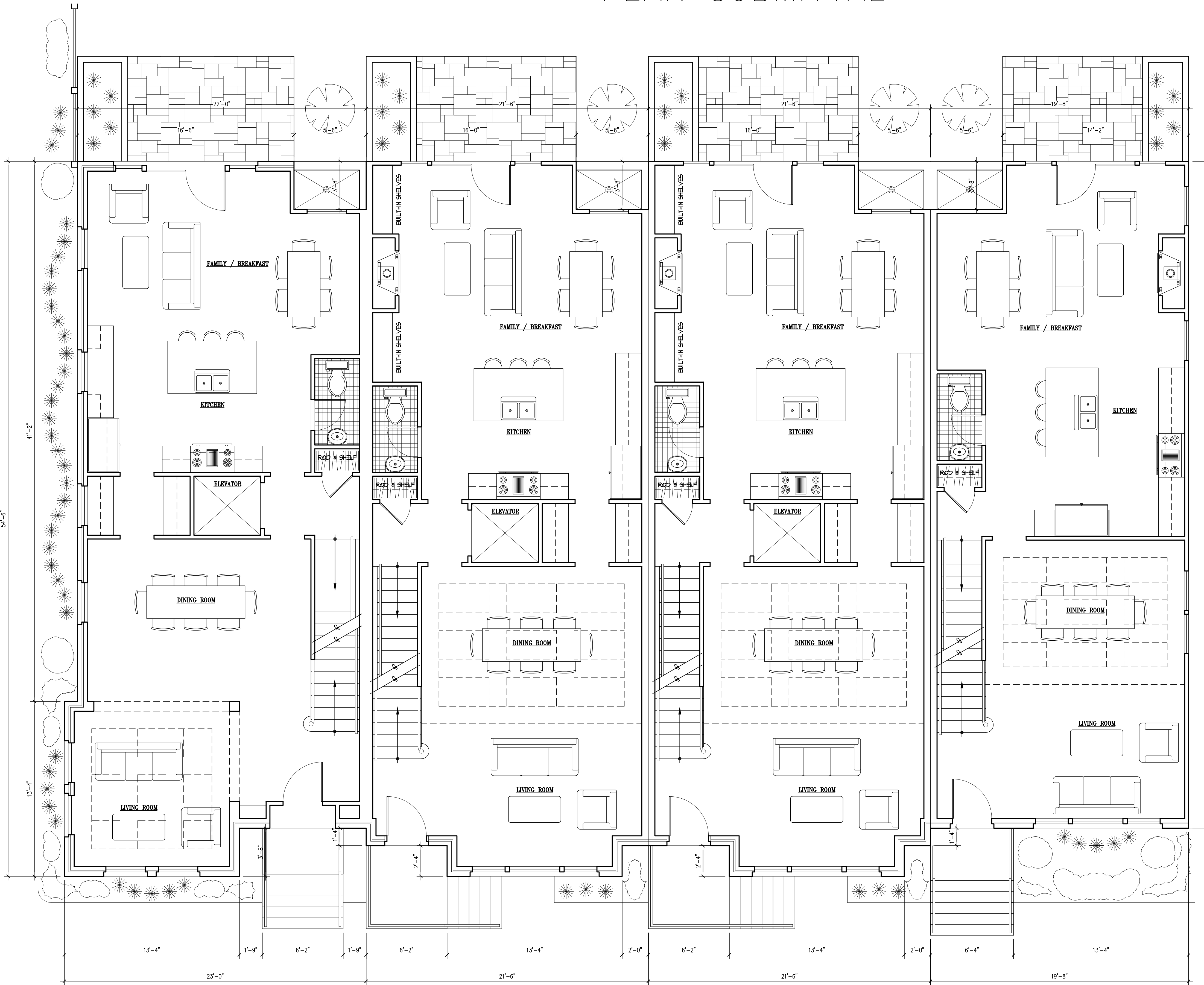
REVISIONS

PROJECT NUMBER	1248
DATE	3/4/13
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	SWK
APPROVED	

SHEET NUMBER  
**A1**  
 SHEET 1 OF 10

2013 © KULINSKI GROUP ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF KULINSKI GROUP ARCHITECTS

CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT  
 PLAN SUBMITTAL



**1** FIRST FLOOR PLANS  
 A2 SCALE: 1/4" = 1'-0"



**THE MIDDLETON**  
 333 N ROYAL STREET ALEXANDRIA, VIRGINIA 22314

**FIRST FLOOR PLANS**

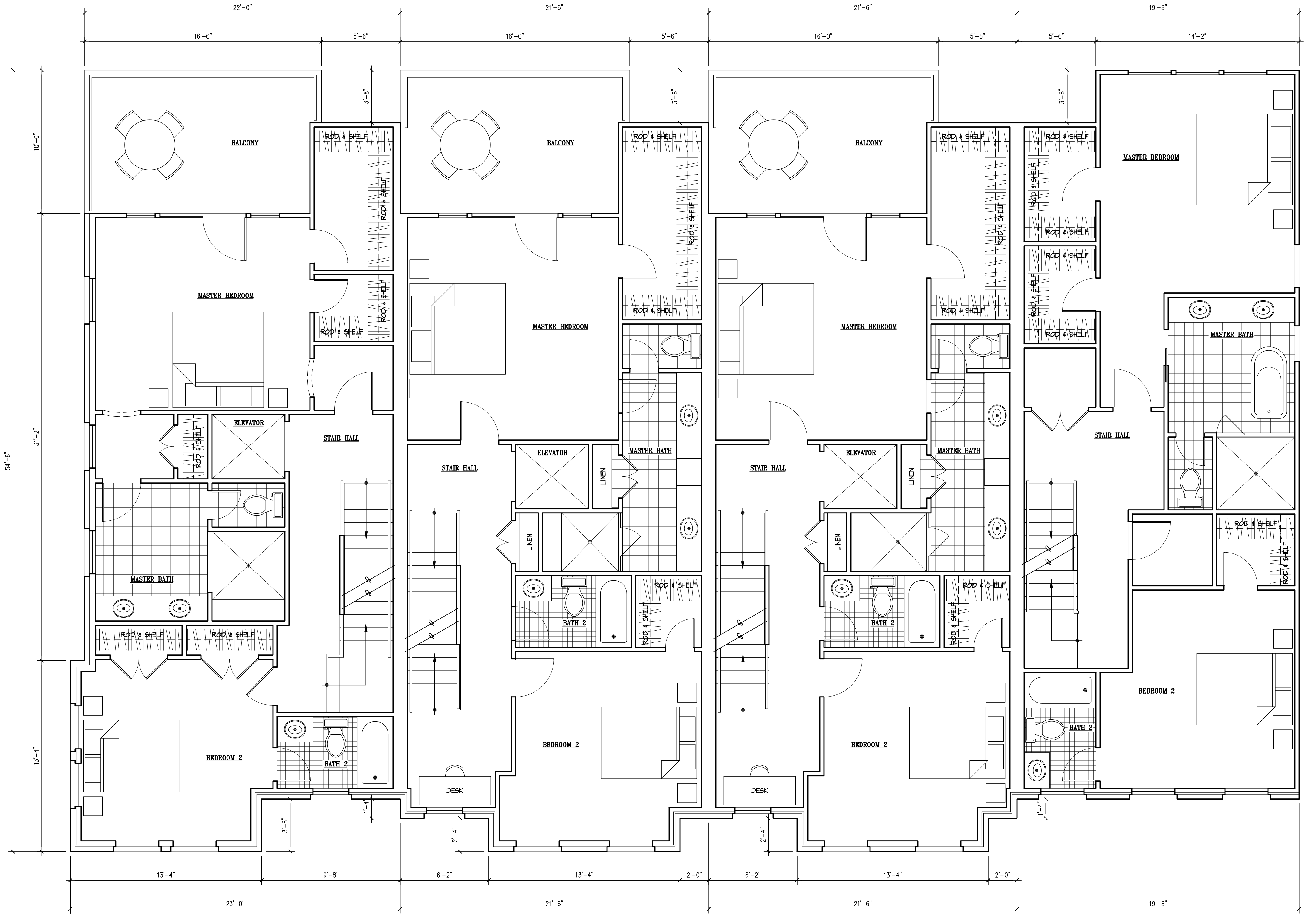
REVISIONS

PROJECT NUMBER	1248
DATE	3/4/13
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	SNK
APPROVED	

SHEET NUMBER	A2
SHEET 2 OF 12	

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CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT  
 PLAN SUBMITTAL



**1** SECOND FLOOR PLANS  
 A3 SCALE: 1/4" = 1'-0"

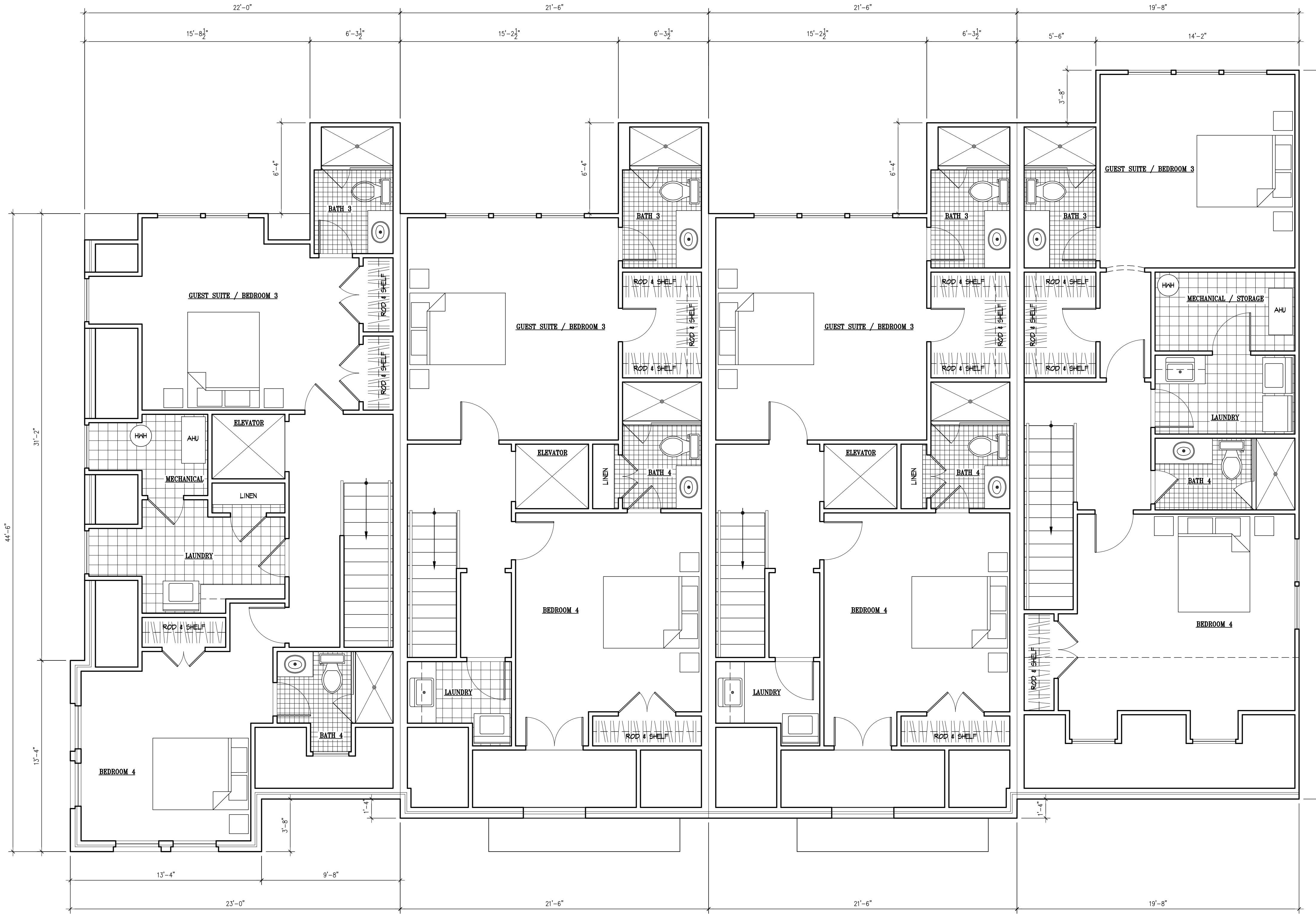


THE MIDDLETON  
 333 N ROYAL STREET ALEXANDRIA, VIRGINIA 22314  
 SECOND FLOOR PLANS

REVISIONS		
PROJECT NUMBER	1248	
DATE	3/4/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
JMB	SNK	
SHEET NUMBER		
A3		
SHEET 3 OF 10		

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**1** THIRD FLOOR PLANS  
 A4 SCALE: 1/4" = 1'-0"



**THE MIDDLETON**  
 333 N ROYAL STREET ALEXANDRIA, VIRGINIA 22314

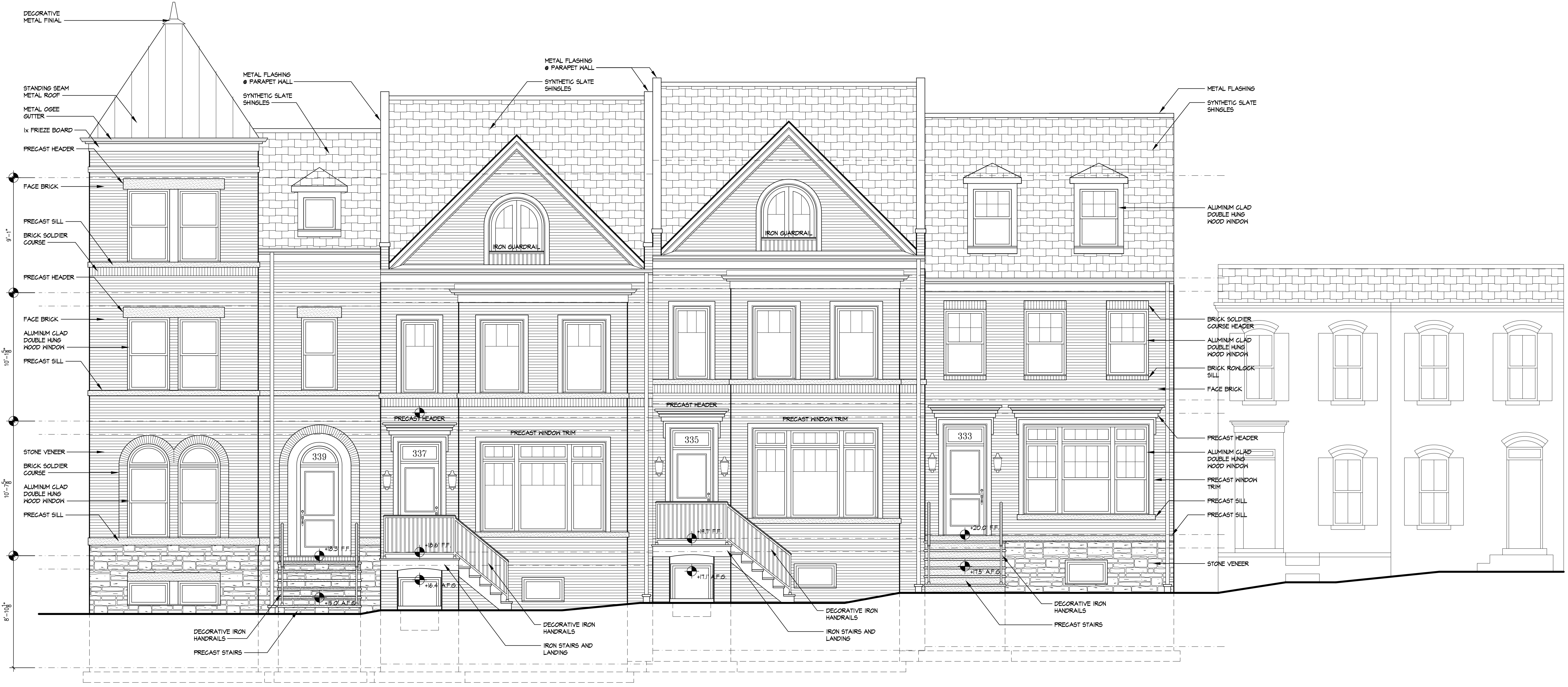
**THIRD FLOOR PLANS**

REVISIONS

PROJECT NUMBER	1248
DATE	3/4/13
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	SNK
APPROVED	

SHEET NUMBER  
**A4**  
 SHEET 4 OF 10

CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT  
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**1** ROYAL STREET ELEVATION  
 A5 SCALE: 1/4" = 1'-0"

THE MIDDLETON  
 333 N ROYAL STREET ALEXANDRIA, VIRGINIA 22314  
 ROYAL STREET ELEVATION

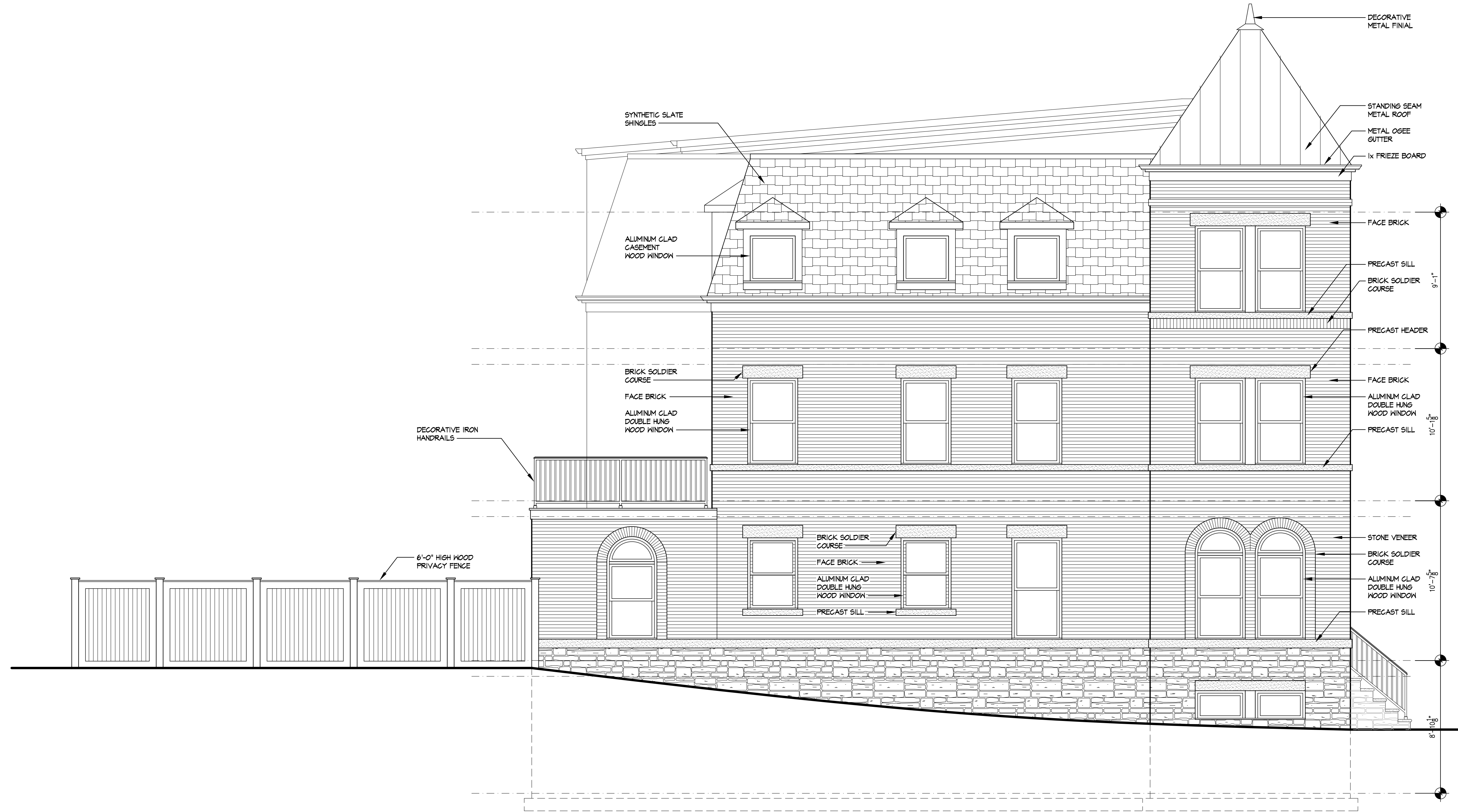
REVISIONS

PROJECT NUMBER	1248
DATE	3/4/13
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	SKK
APPROVED	

SHEET NUMBER  
**A5**  
 SHEET 5 OF 10

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**1** PRINCESS STREET ELEVATION  
 A6 SCALE: 1/4" = 1'-0"

THE MIDDLETON  
 333 N ROYAL STREET ALEXANDRIA, VIRGINIA 22314  
 PRINCESS STREET ELEVATION

REVISIONS

PROJECT NUMBER	1248
DATE	3/4/13
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	SWK
APPROVED	

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**1 SOUTH ELEVATION**  
 A7 SCALE: 3/16" = 1'-0"



**2 EAST ELEVATION**  
 A7 SCALE: 3/16" = 1'-0"



**THE MIDDLETON**  
 333 N ROYAL STREET ALEXANDRIA, VIRGINIA 22314  
**EAST / SOUTH ELEVATIONS**

REVISIONS

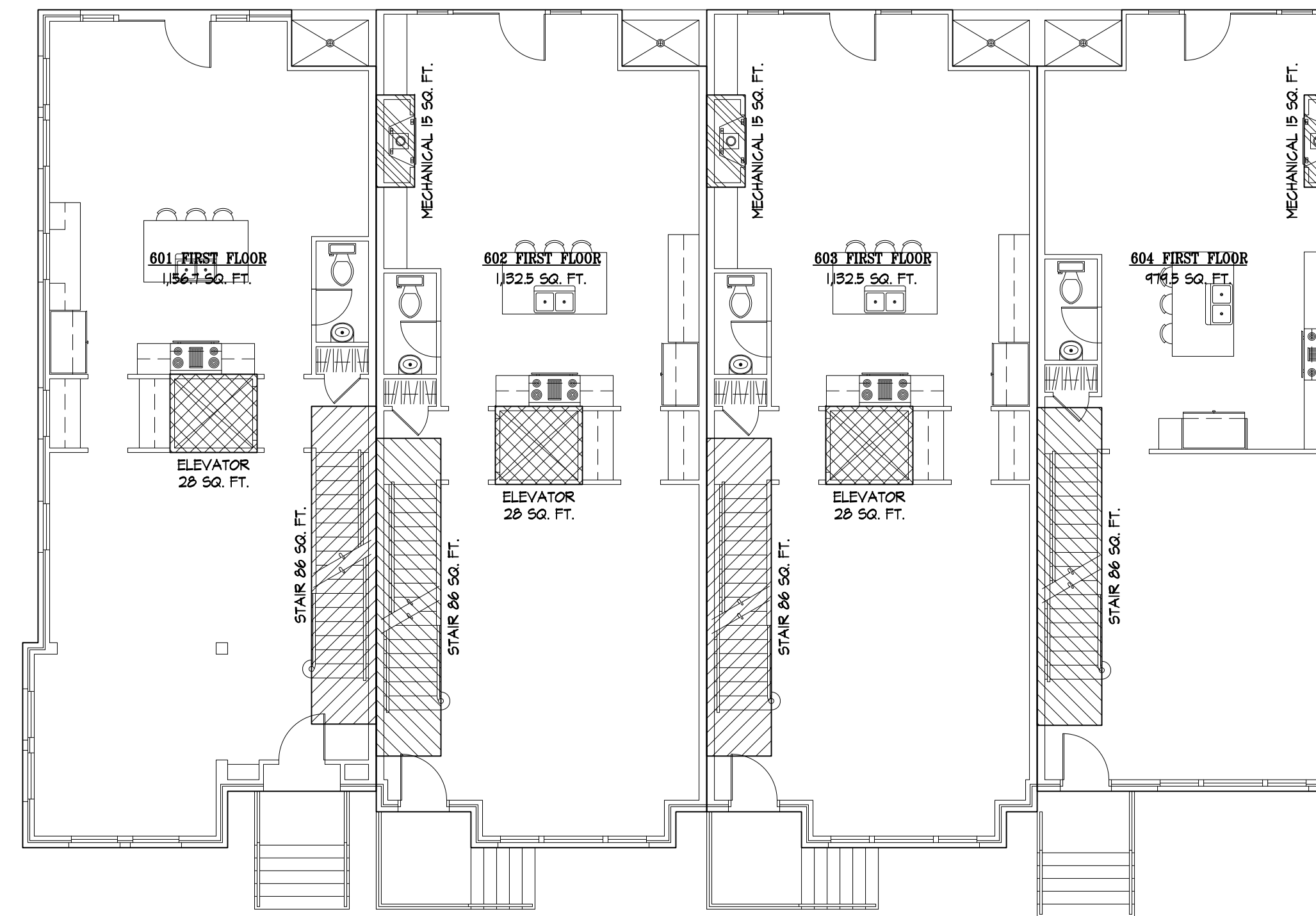
PROJECT NUMBER	1248
DATE	3/4/13
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	SWK
APPROVED	

SHEET NUMBER  
**A7**  
 SHEET 1 OF 10

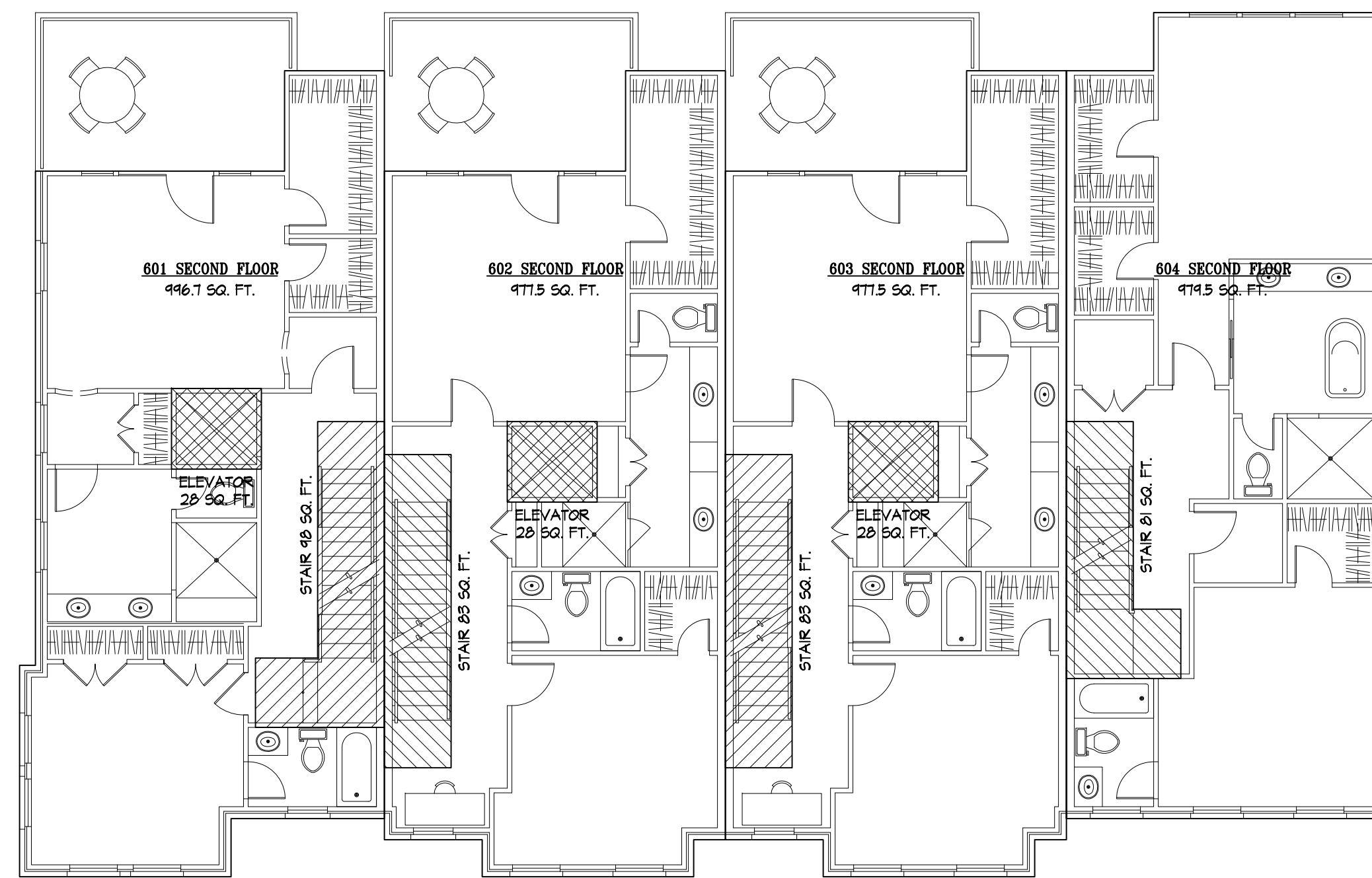
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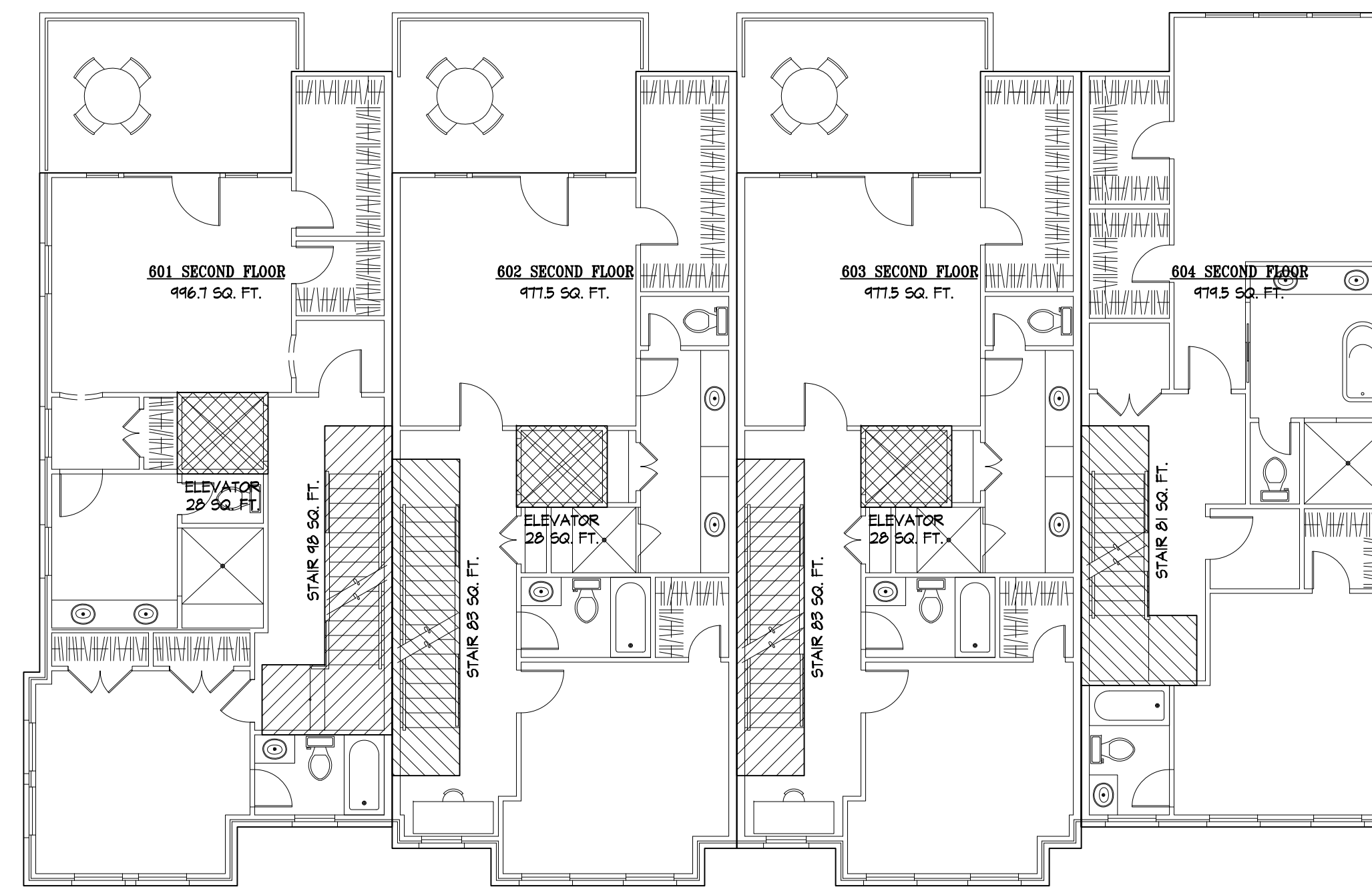
**1** BASEMENT F.A.R. DIAGRAM  
 A8 SCALE: 1/8" = 1'-0"



**2** FIRST FLOOR F.A.R. DIAGRAM  
 A8 SCALE: 1/8" = 1'-0"



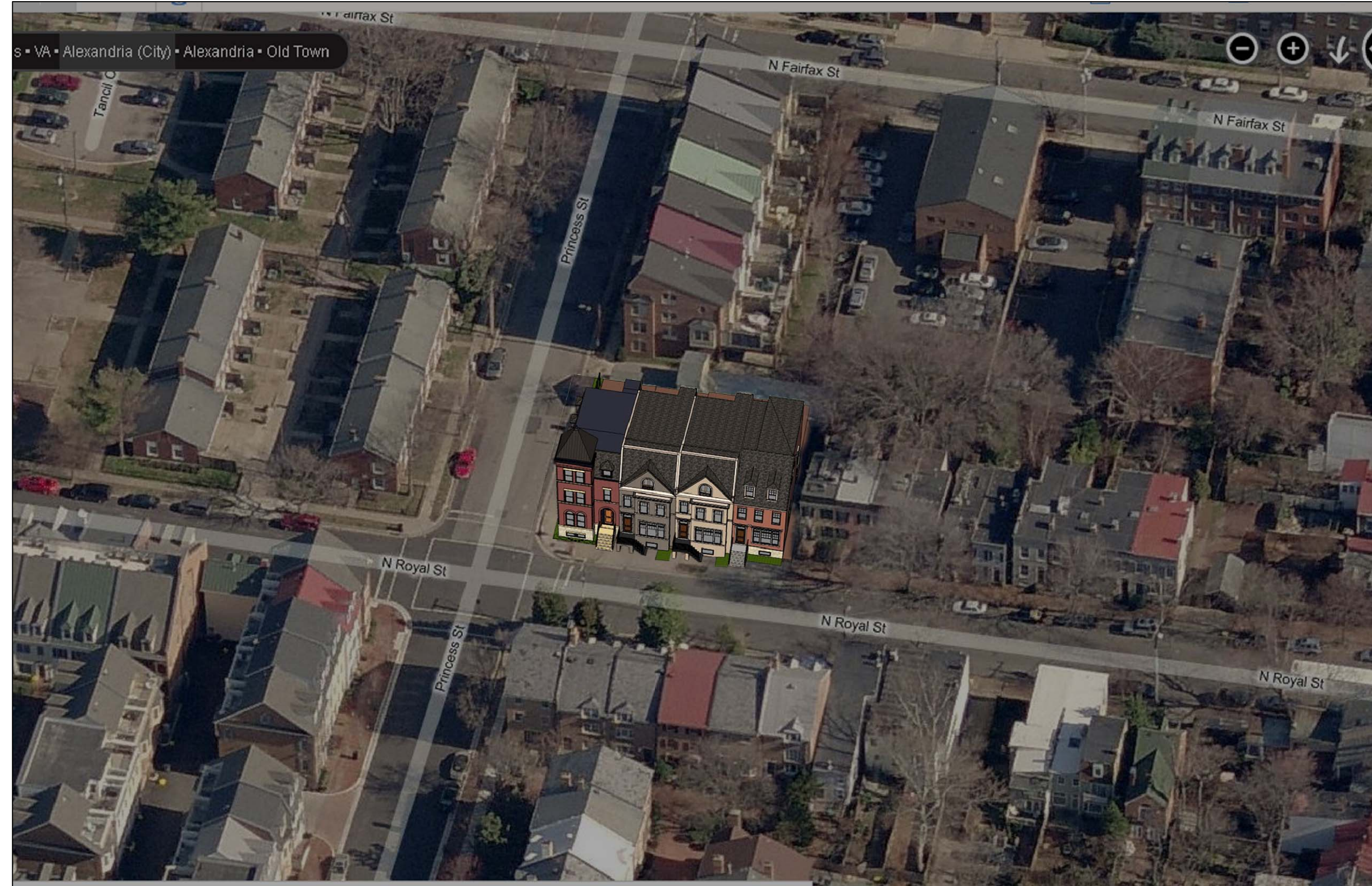
**3** SECOND FLOOR F.A.R. DIAGRAM  
 A8 SCALE: 1/8" = 1'-0"



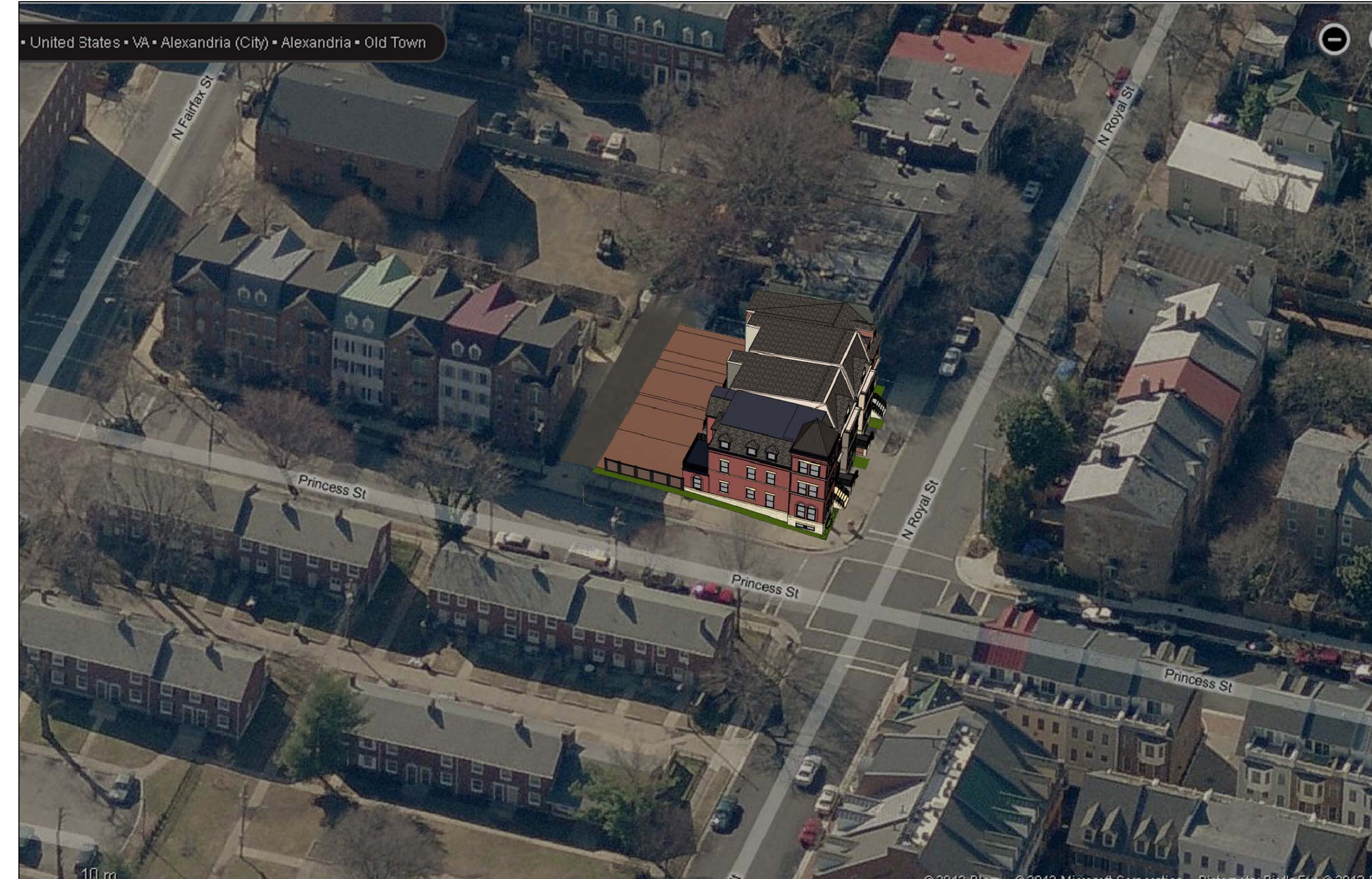
**4** THIRD FLOOR F.A.R. DIAGRAM  
 A8 SCALE: 1/8" = 1'-0"

REVISIONS		
PROJECT NUMBER	1248	
DATE	3/4/13	
SCALE	AS NOTED	
DRAWN	DESIGNED	APPROVED
JMB	SWK	
SHEET NUMBER		
A8		
SHEET 2 OF 12		

CITY OF ALEXANDRIA  
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT  
 PLAN SUBMITTAL



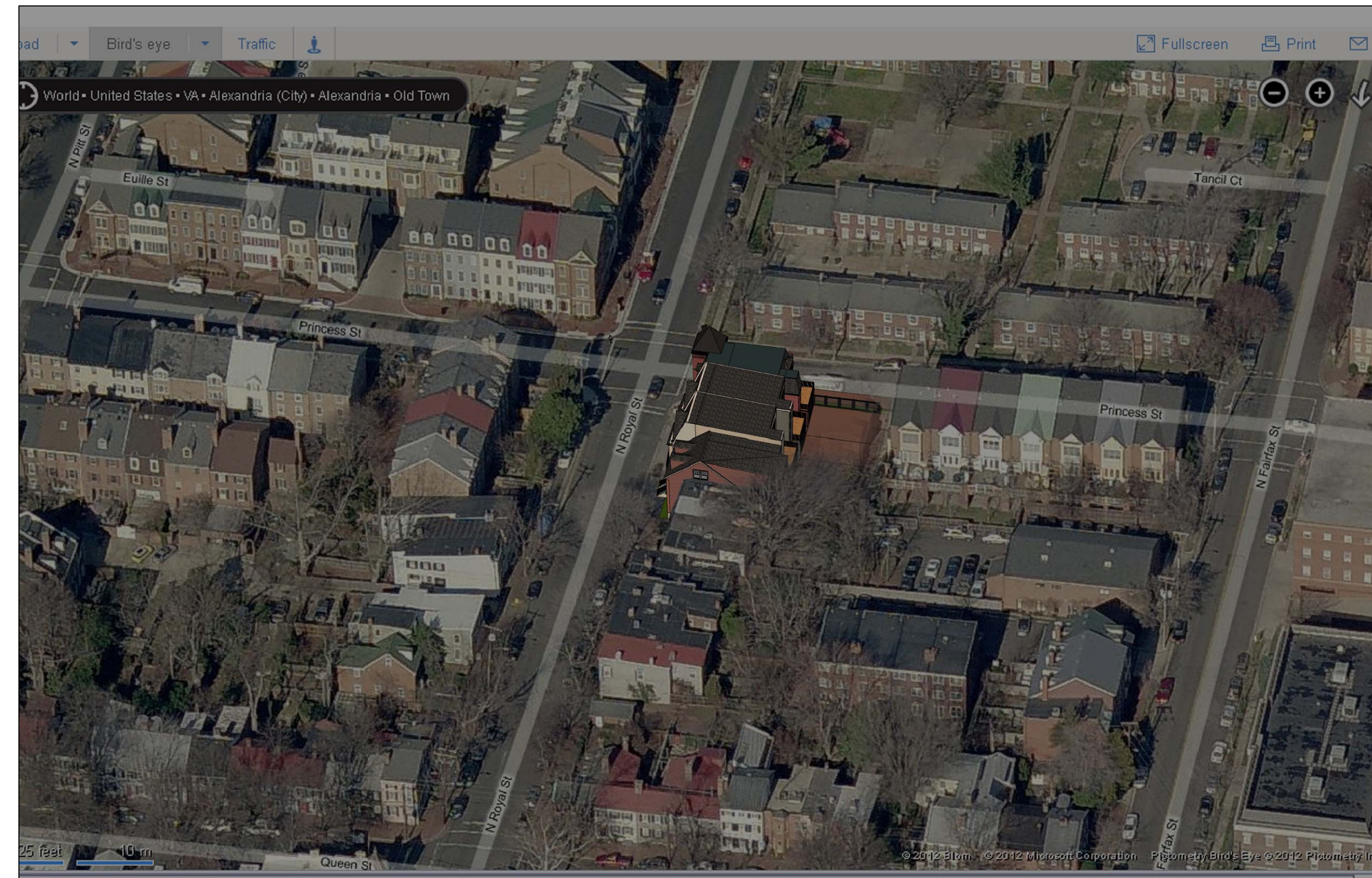
1 VIEW FROM SOUTHWEST  
 A9 SCALE: N.T.S



2 VIEW FROM NORTHWEST  
 A9 SCALE: N.T.S



3 VIEW FROM EAST  
 A9 SCALE: N.T.S



4 VIEW FROM SOUTHEAST  
 A9 SCALE: N.T.S



THE MIDDLETON  
 333 N ROYAL STREET ALEXANDRIA, VIRGINIA 22314  
 BIRD'S EYE VIEWS

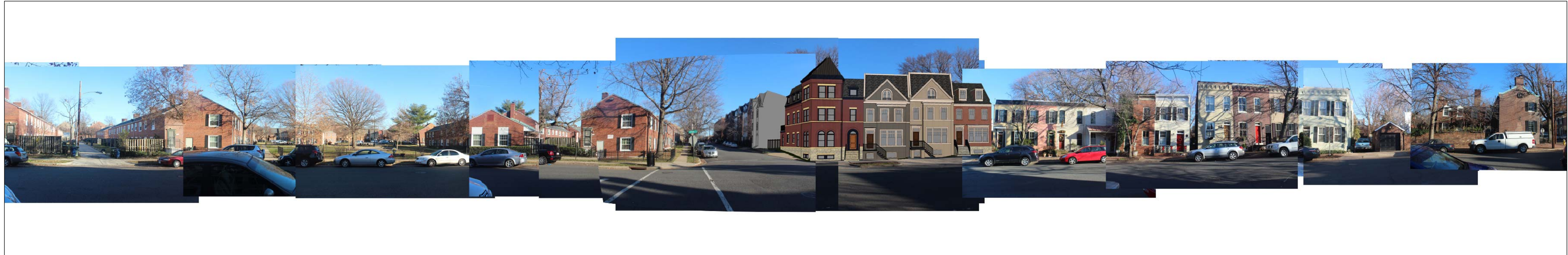
REVISIONS

PROJECT NUMBER	1248
DATE	3/4/13
SCALE	AS NOTED
DRAWN	JMB
DESIGNED	SWK
APPROVED	

SHEET NUMBER  
**A9**  
 SHEET 1 OF 10

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CITY OF ALEXANDRIA  
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 PLAN SUBMITTAL



**1** ROYAL STREET ELEVATION STREETScape  
 A10 SCALE: N.T.S.



**2** ADJACENT PROPERTIES ACROSS ROYAL STREET  
 A10 SCALE: N.T.S.



**3** PRINCESS STREET ELEVATION STREETScape  
 A10 SCALE: N.T.S.

REVISIONS

PROJECT NUMBER	1248
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DESIGNED	SWK
APPROVED	

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## **BAR Concept Review**

5/3/00

Since 1988, the Alexandria Zoning Ordinance has expressly required the "height, mass and scale of buildings or structures" to be a factor used by the Board of Architectural Review in passing on the appropriateness of proposed construction. The Board has since that time -- by unwritten policy -- reviewed projects requiring Planning Commission review of a new building or significant additions under what has been called "Conceptual Review". Applicants requesting conceptual review are docketed for public hearing at a regular session of the Board. In this review, the Board determines whether the "scale, mass and architectural character" of a proposal is appropriate within the historic district. The Board determines in this preliminary review whether the size and architectural style of the building is generally appropriate in relation to its surroundings. For projects on Washington Street or within the Potomac River Vicinity the Board also makes a formal finding of compliance with the additional standards listed in the Zoning Ordinance, to the extent that this is possible without final architectural details.

Detailed design elements: colors, signs, window details, etc. are deferred for restudy and final approval of a Certificate of Appropriateness if, and when, the project is approved by Planning Commission or City Council. The applicant thus avoids spending substantial additional money for design fees to develop architectural details and the Board does not spend time reviewing the details of a project which may not receive approval of, or which may be modified by, Planning Commission or City Council. The applicant is also able to determine early in the review process whether the BAR feels the building envelope is appropriate and can verify the project proforma prior to a large expenditure of professional fees.

Staff then forwards the Board's findings regarding the appropriateness of a proposed project's scale and mass in the staff report to Planning Commission and, in the case of a Development Special Use Permit, to City Council. However, no Certificate of Appropriateness is granted until after the project receives zoning approval by Planning Commission or Council, responds to any revisions required by these other bodies and the applicant returns to the Board for approval of the final design details. However, if a project requires major zoning modifications, staff routes projects to the Planning Commission first based on the presumption that if a project is not legally buildable, then the BAR should not be spending time on design review.

It has been recommended by the Washington Street Task Force that the Board cease the practice of Conceptual Review. While some Board members have been uncomfortable with appearing to approve a project without full knowledge of the architectural detailing, staff believes that there are some significant advantages to the community, the applicant and the Board in continuing Conceptual Review.

If a project is taken to Planning Commission and City Council for approval first, then detailed illustrative drawings of the building will have been presented to citizen associations, City staff, Planning Commission and City Council who will rely on these representations in their approval. For projects in the Potomac River Vicinity or on Washington Street, the Planning Commission

and City Council will necessarily become the bodies required to make a finding of compliance with the additional standards before the project may proceed. In addition, a project of any size requires approval of a Preliminary Site Plan, which involves numerous detailed engineering drawings of the building site. In effect, the entire building will have been designed in some detail and these drawings will form the basis for neighborhood and Council approvals. Design revision by the BAR may require re-approval by all of these groups. Further, the applicant will have invested tens of thousands of dollars in attorney, engineer and architects fees and will be very reluctant to make meaningful changes to the building design. Finally, there would be no benefit for the BAR to deny final approval of a project when the applicant can appeal to City Council -- who would already have approved the project.

Unfortunately, attorneys frequently represent before the Planning Commission and Council that projects which have received only concept review have been "approved" by the BAR. In addition, citizens may not be aware of the BAR public hearing or assume the BAR will deny a request and are then upset that the building envelope has been approved before they have had an opportunity to comment on the size of the project.

Therefore, the Washington Street Task Force has recommended abolishing conceptual review by the BAR and substituting a joint, informational work session of the Planning Commission and BAR for all new buildings within a block of Washington Street. While this proposal has some merit and would allow FAR and traffic impacts to be discussed at the same time that the interrelated subject of building mass and scale is being reviewed, it also has the potential to dilute any real discussions on design because of the practical amount of time this will consume and the difficulty of gathering two boards together for a presentation with public comment. Concept review for major projects today frequently extends over two or three BAR meetings. BAR members often request that certain elements be restudied or simply want to revisit the site and reflect on the applicant's presentation or public comments received. On the other hand, the number of potential development projects requiring this joint review is relatively small, perhaps twice per year.

Staff recommends that the Board continue the practice of conceptual review but incorporate it *as a* formal step in the BAR's Certificate of Appropriateness process for relevant projects throughout the historic districts. The Board would be required to make a formal finding of appropriateness of the scale, mass and architectural character of any new building prior to its review by Planning Commission and Council. The expanded Washington Street standards recommended by the Task Force will provide additional guidance from City Council regarding community expectations for this street. A written policy should also be established so that the BAR, applicants, Council and the public understand exactly what is (and is not) being approved in conceptual review and why. Staff believes that the BAR is the most qualified body to review and comment on design issues and should avoid being drawn into work sessions where traffic, density and use are the primary concerns.

## CONCEPTUAL BAR APPROVAL POLICY

1. **BAR concept approval is required in the following cases:**
  - a. The proposal requires an SUP for additional density or height;
  - b. The proposal requires Planning Commission review for a new building;
  - c. Staff determines that the proposal requires preliminary review because the design would be a principal determining factor in the ultimate approval by other bodies.
  - d. The only exception to the above will be when the zoning approval needed by the Planning Commission or Council is so uncertain and so critical to the basic format of the proposal, that, in staff's opinion, changes to the application are likely and review by the BAR would have to be repeated.
  
2. In a case before it for conceptual approval, the BAR shall make findings on the following issues:
  - a. Appropriateness of scale, mass and general architectural character;
  - b. Additional standards where applicable (such as Washington Street or the Potomac River Vicinity) have been met.